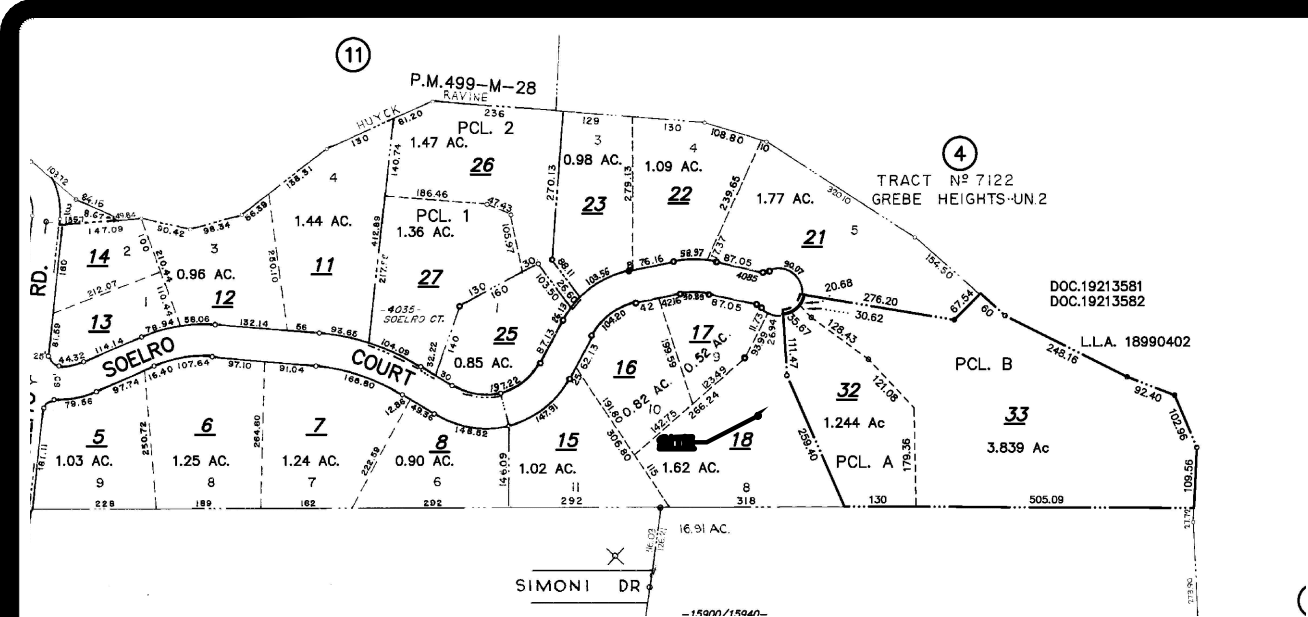
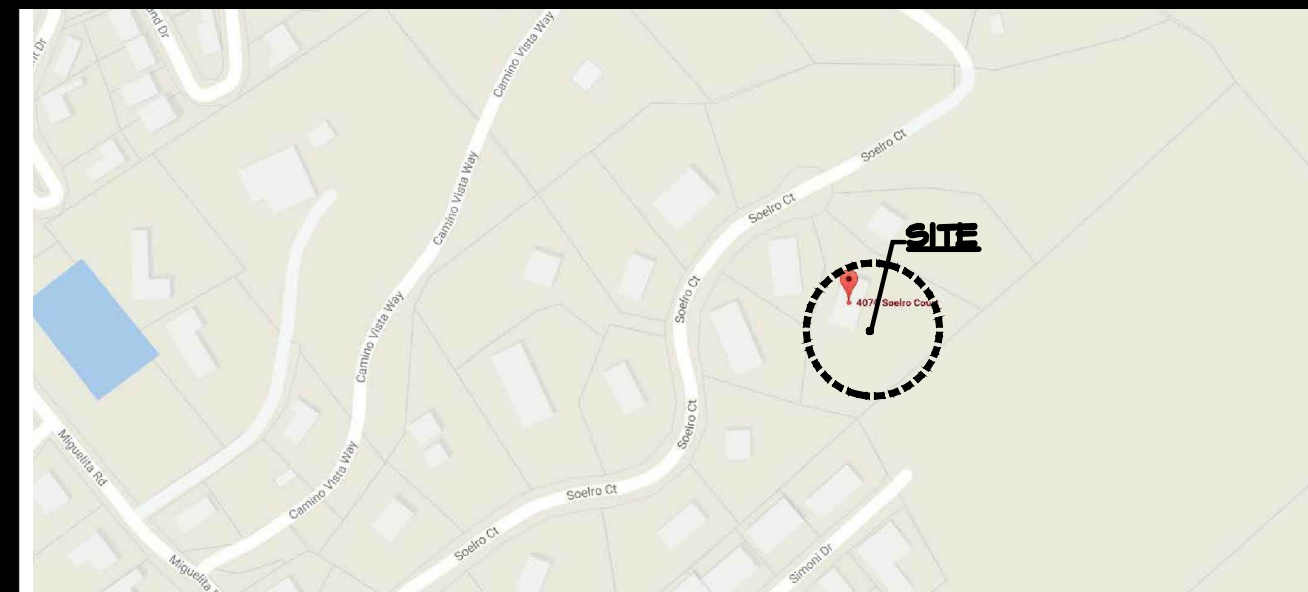




PARCEL MAP

6



VICINITY MAP

6

APN: 61210018
OWNER: SAM WINTER
PROJECT ADDRESS: 4070 SOELRO COURT
SAN JOSE, CA 95127
ZONING: HS-D1
LOT SIZE: 70,551.4 SF
(E) FLOOR AREA: 7,382.9 SF
(P) FLOOR AREA: 8,168.3 SF
(E) IMPERVIOUS SURFACE: 15,860.4 SF
(P) IMPERVIOUS SURFACE: 20,345.2 SF

PROJECT INFORMATION

5

- | | |
|-------------------------------|--------------------------------|
| 1. (N) LAP POOL & PATIO | 6. (N) POOL EQUIP PAD |
| 2. (N) PLAY POOL & PATIO | 7. (N) D.G. OLIVE TREE PATH |
| 3. (N) SPA & PATIO | 8. (N) FRENCH DOORS TO REPLACE |
| 4. (N) BBQ PATIO | (E) WINDOWS @ MAIN HOUSE |
| 5. (N) GARAGE BELOW BBQ PATIO | 9. (N) SECOND UNIT |

SCOPE OF WORK

4

ARCHITECTURAL SHEETS

- | | |
|--|---|
| A0.1 COVER SHEET, PROPOSED SITE PLAN, VICINITY MAP | A6.1 PROPOSED ENLARGED PLANS |
| SU-1 TOPOGRAPHIC SURVEY | ME2.1 PROPOSED SITE MECHANICAL/ELECTRICAL & OUTDOOR LIGHTING PLAN |
| A0.3 EXISTING SITE PLAN W/ (E) FENCE DETAIL | |
| A0.4 IMPERVIOUS AREA CALCULATIONS & CONSTRUCTION STAGING SITE PLAN | LANDSCAPE SHEETS |
| A0.4.1 AREA CALCULATIONS | L1.0 PRELIMINARY LANDSCAPE PLAN |
| A1.1 EXISTING UPPER FLOOR PLAN w/ DEMOLITION NOTES | L2.0 PLANT IMAGES |
| A1.2 (E) CABANA DEMO PLAN, ROOF PLAN & MAIN HOUSE ROOF PLAN | L3.0 HYDROZONE DIAGRAM |
| A2.1 PROPOSED LOWER FLOOR PLAN | CIVIL SHEETS |
| A2.2 PROPOSED UPPER FLOOR PLAN | C1.0 CIVIL TITLE SHEET |
| A3.0 EXISTING ELEVATIONS | C2.0 GRADING & DRAINAGE PLAN |
| A3.1 PROPOSED COLOR & MATERIAL SELECTIONS | C3.0 UTILITY PLAN |
| A3.2 PROPOSED ELEVATION & SECTION | |
| A3.3 PROPOSED SECTIONS | |
| A3.4 PROPOSED SECTIONS | |
| A3.5 PROPOSED SECTIONS | |
| G2.1 GARAGE FLOOR & ROOF PLANS W/ DIMS | |
| G4.1 GARAGE SECTIONS | |
| S2.1 SECOND UNIT FLOOR & ROOF PLANS W/ DIMS | |
| S3.1 SECOND UNIT ELEVATIONS | |
| S4.1 SECOND UNIT SECTIONS | |

- | |
|---|
| A6.1 PROPOSED ENLARGED PLANS |
| ME2.1 PROPOSED SITE MECHANICAL/ELECTRICAL & OUTDOOR LIGHTING PLAN |
| LANDSCAPE SHEETS |
| L1.0 PRELIMINARY LANDSCAPE PLAN |
| L2.0 PLANT IMAGES |
| L3.0 HYDROZONE DIAGRAM |
| CIVIL SHEETS |
| C1.0 CIVIL TITLE SHEET |
| C2.0 GRADING & DRAINAGE PLAN |
| C3.0 UTILITY PLAN |

ARCHITECT
YOUNG & BORLIK
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LEA & BRAZE
ENGINEERING, INC.
2495 INDUSTRIAL
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HAYWARD, CA 94545
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dmaslennikov@leabraz.com

POOL CONTRACTOR
ROYAL POOLS BY ADAMS
2258 CAMDEN AVE.
SAN JOSE, CA 95124
TEL: (408) 206-7322
ATTN: JIM JOHNSON
jjcb04@yahoo.com

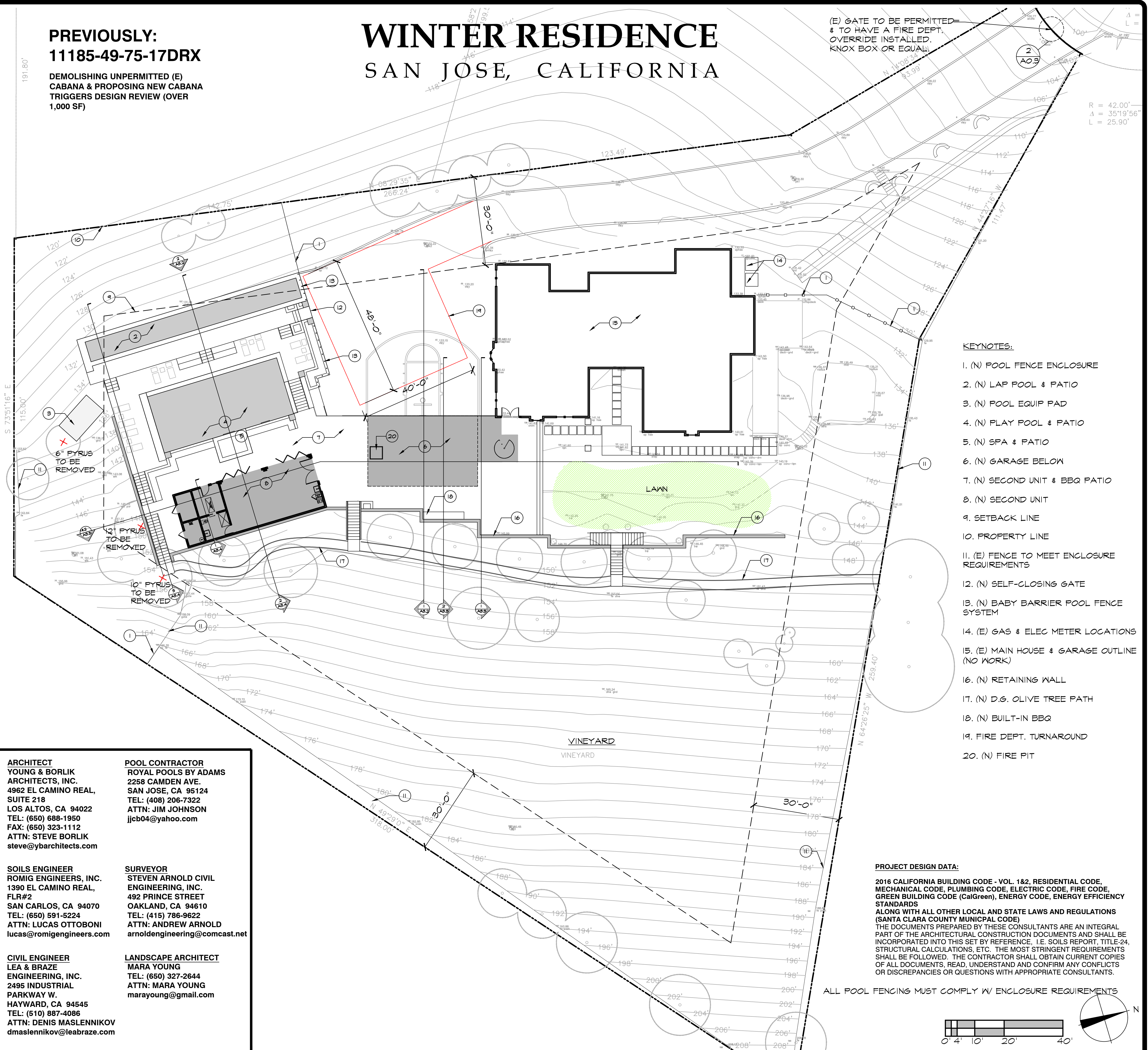
SURVEYOR
STEVEN ARNOLD CIVIL
ENGINEERING, INC.
492 PRINCE STREET
OAKLAND, CA 94610
TEL: (415) 786-9622
ATTN: ANDREW ARNOLD
arnoldengineering@comcast.net

LANDSCAPE ARCHITECT
MARA YOUNG
TEL: (650) 327-2644
ATTN: MARA YOUNG
marayoung@gmail.com

PREVIOUSLY:
11185-49-75-17DRX

DEMOLISHING UNPERMITTED (E)
CABANA & PROPOSING NEW CABANA
TRIGGERS DESIGN REVIEW (OVER
1,000 SF)

WINTER RESIDENCE
SAN JOSE, CALIFORNIA



(E) GATE TO BE PERMITTED
& TO HAVE A FIRE DEPT.
OVERRIDE INSTALLED.
KNOX BOX OR EQUAL

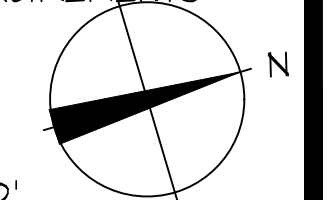
KEYNOTES:

1. (N) POOL FENCE ENCLOSURE
2. (N) LAP POOL & PATIO
3. (N) POOL EQUIP PAD
4. (N) PLAY POOL & PATIO
5. (N) SPA & PATIO
6. (N) GARAGE BELOW
7. (N) SECOND UNIT & BBQ PATIO
8. (N) SECOND UNIT
9. SETBACK LINE
10. PROPERTY LINE
11. (E) FENCE TO MEET ENCLOSURE REQUIREMENTS
12. (N) SELF-CLOSING GATE
13. (N) BABY BARRIER POOL FENCE SYSTEM
14. (E) GAS & ELEC METER LOCATIONS
15. (E) MAIN HOUSE & GARAGE OUTLINE (NO WORK)
16. (N) RETAINING WALL
17. (N) D.G. OLIVE TREE PATH
18. (N) BUILT-IN BBQ
19. FIRE DEPT. TURNAROUND
20. (N) FIRE PIT

PROJECT DESIGN DATA:

2016 CALIFORNIA BUILDING CODE - VOL. 1&2, RESIDENTIAL CODE, MECHANICAL CODE, PLUMBING CODE, ELECTRIC CODE, FIRE CODE, GREEN BUILDING CODE (CalGreen), ENERGY CODE, ENERGY EFFICIENCY STANDARDS
ALONG WITH ALL OTHER LOCAL AND STATE LAWS AND REGULATIONS (SANTA CLARA COUNTY MUNICIPAL CODE)
THE DOCUMENTS PREPARED BY THESE CONSULTANTS ARE AN INTEGRAL PART OF THE ARCHITECTURAL CONSTRUCTION DOCUMENTS AND SHALL BE INCORPORATED INTO THIS SET BY REFERENCE. I.E. SOILS REPORT, TITLE-24, STRUCTURAL CALCULATIONS, ETC. THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED. THE CONTRACTOR SHALL OBTAIN CURRENT COPIES OF ALL DOCUMENTS, READ, UNDERSTAND AND CONFIRM ANY CONFLICTS OR DISCREPANCIES OR QUESTIONS WITH APPROPRIATE CONSULTANTS.

ALL POOL FENCING MUST COMPLY W/ ENCLOSURE REQUIREMENTS



SHEET INDEX

3

CONSULTANTS

2

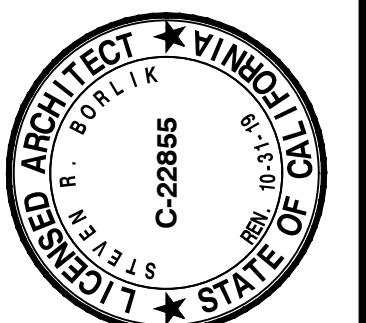
PROPOSED SITE PLAN

1/16" = 1'-0" 1

ISSUE LOG

DESIGN REVIEW	06 18, 2018
SUBMITTAL	06 18, 2018
GRADING APPROVAL	06 18, 2018
SPECIAL PERMIT	06 18, 2018
PLANNING MEETING	SEPT 12, 2018
DESIGN REVIEW	NOV 09, 2018
RESUBMITTAL	NOV 09, 2018
MAT'L SAMPLE SUBMITTAL	DEC 07, 2018
DESIGN REVIEW	JAN 09, 2019
RESUBMITTAL	JAN 09, 2019

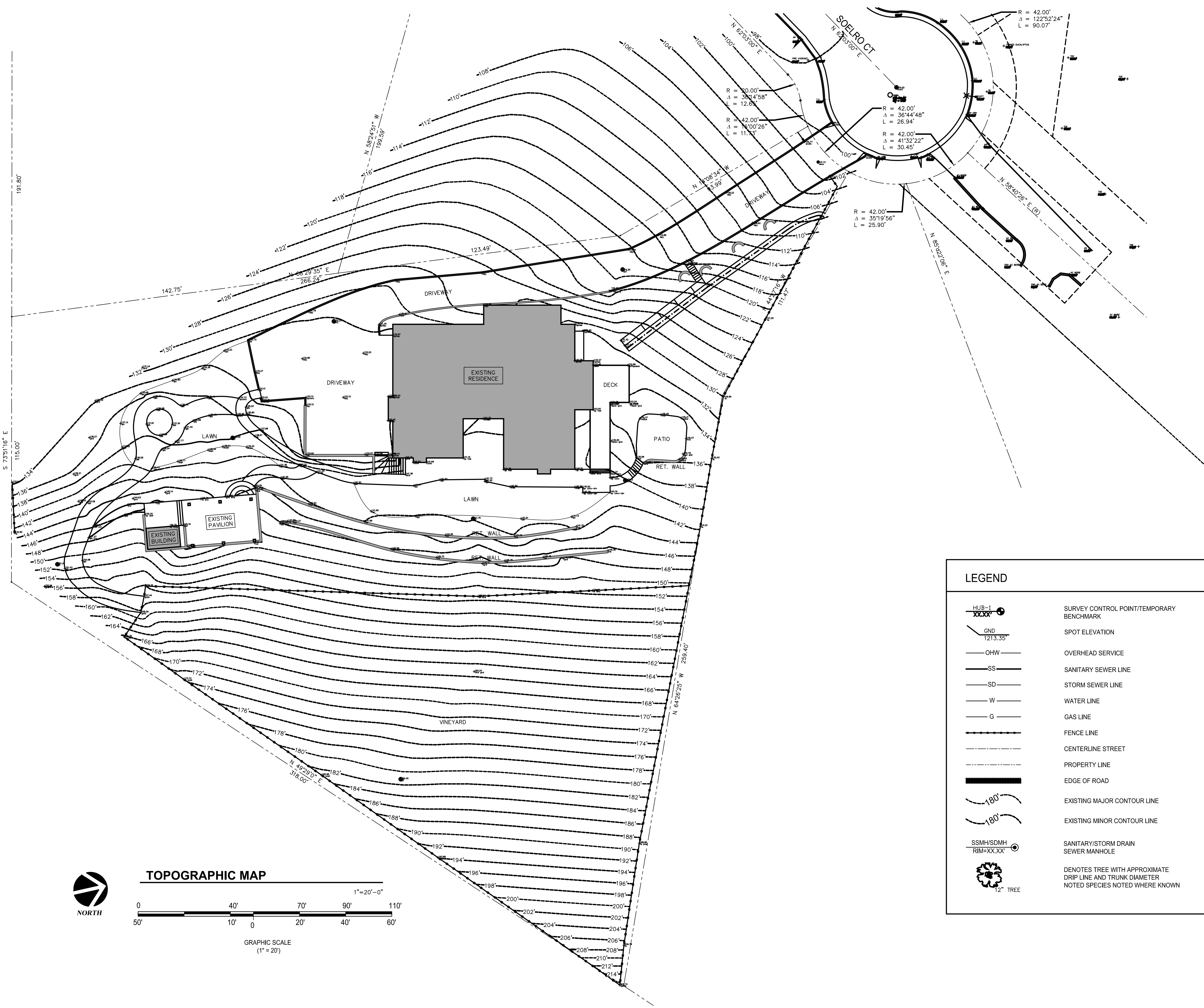
YOUNG AND BORLIK
ARCHITECTS, INCORPORATED
4962 EL CAMINO REAL, SUITE #218 LOS ALTOS, CA 94022
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SITE DESIGN FOR:
STACEY L. AND JOHN S. WINTER
4070 SOELRO COURT
SAN JOSE, CA 95127

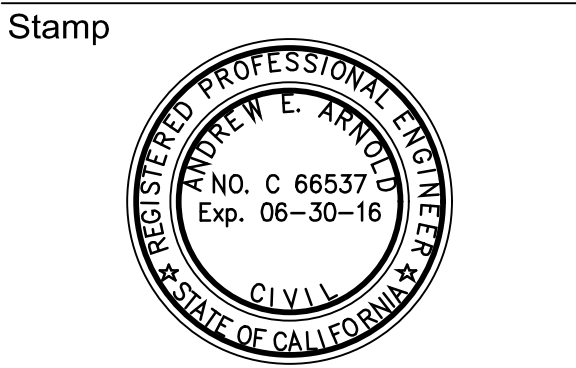
A.P.N. 612-10-018	
CHECKED SRB	DRAWN NP, CS
DATE SEP 11, 2017	
JOB # WINTER	

A0.1



Engineer

STEVEN ARNOLD
CIVIL ENGINEERING, INC.
492 PRINCE STREET
OAKLAND, CALIFORNIA 94610
T: 415-786-9622
email: arnoldengineering@comcast.net



Project Title

4070 SOELRO COURT
SAN JOSE, CALIFORNIA 95127

Client

SAM WINTER
4070 SOELRO COURT
SAN JOSE, CA 95127

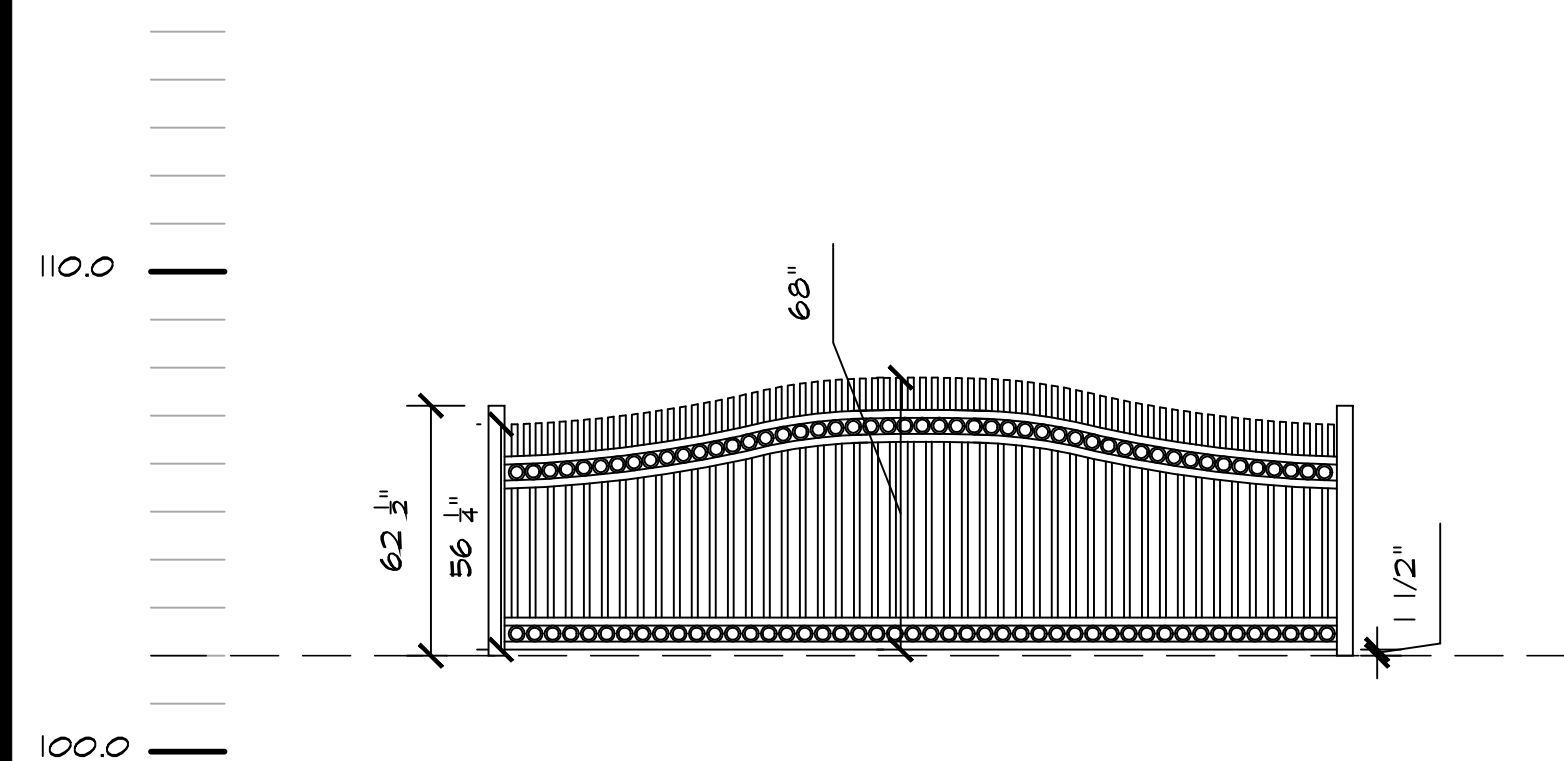
Issues and Revisions		
No.	Description	Date
		09/15/14

Project No.	55-14
Drawn By	SC/AEA
Reviewed By	AEA
Scale	AS SHOWN
Date	September 15, 2014
Sheet Title	

TOPOGRAPHIC
MAP

Sheet #

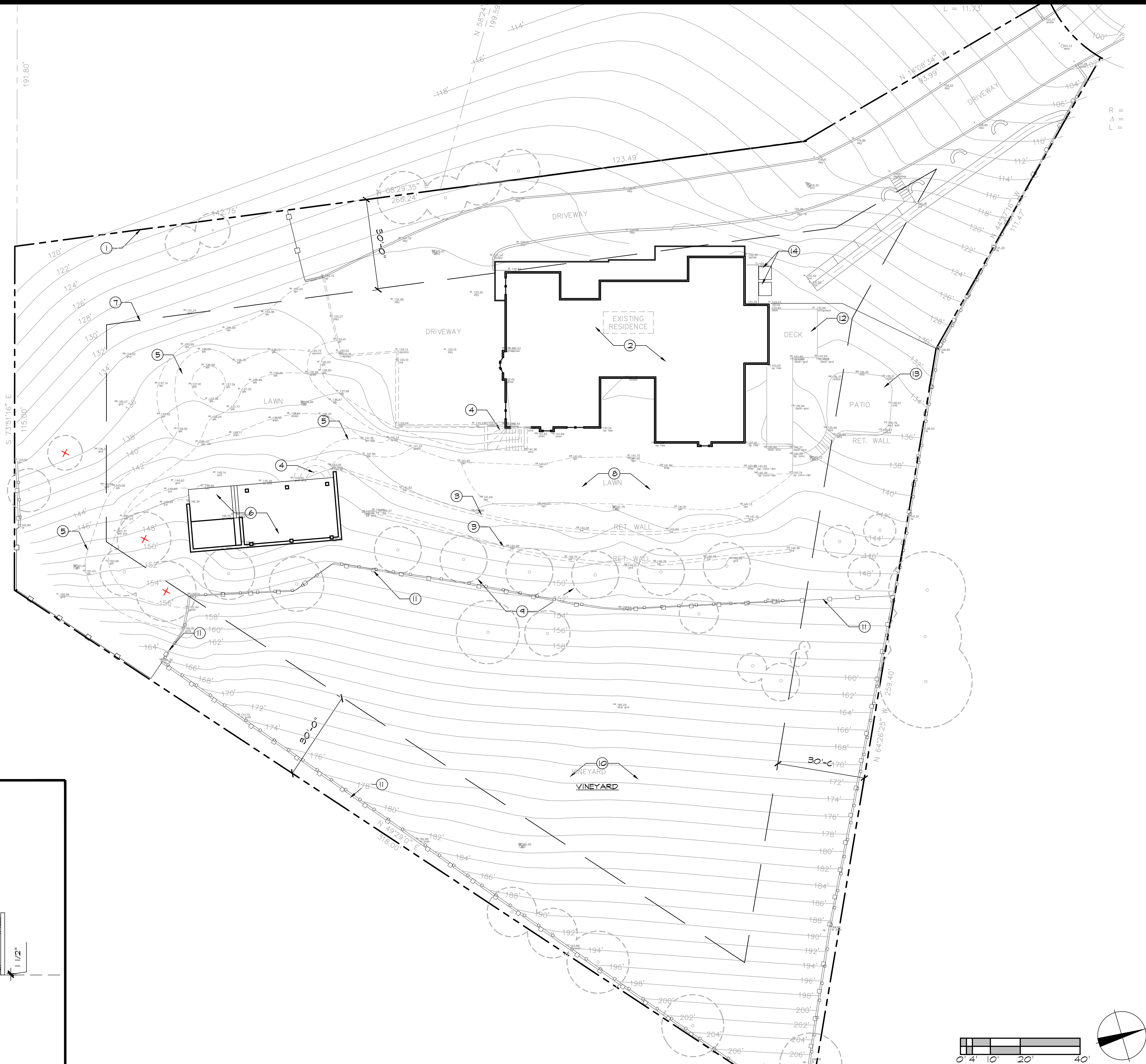
1. PROPERTY LINE
2. (E) MAIN HOUSE TO REMAIN
3. (E) RETAINING WALLS TO BE REMOVED & REPLACED
4. (E) STEPS TO BE REPLACED
5. (E) HARDSCAPE TO BE DEMOLISHED
6. UNPERMITTED (E) CABANA & BATH TO BE REMOVED
7. SETBACK LINE
8. (E) LAWN TO REMAIN
9. (E) OLIVE TREES TO REMAIN, TYPICAL
10. (E) VINEYARD TO REMAIN
11. (E) FENCE TO REMAIN
12. (E) DECK TO REMAIN
13. (E) PATIO TO REMAIN
14. (E) GAS & ELEC METER LOCATIONS TO REMAIN



EXISTING GATE HEIGHT

$$1/4'' = 1'-0''$$

2



EXISTING SITE PLAN

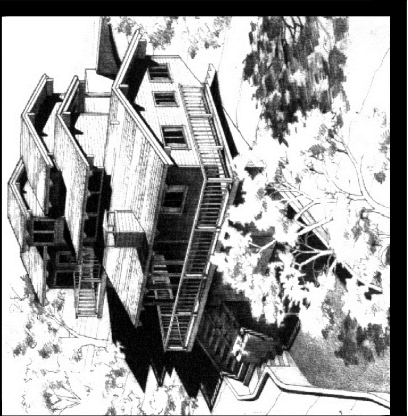
1/16" = 1'-0"

1

ISSUE LOG	
DESIGN REVIEW	
SUBMITTAL	06 18, 2018
GRADING APPROVAL	
	06 18, 2018
SPECIAL PERMIT	
	06 18, 2018
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RESUBMITTAL	JAN 09, 2019

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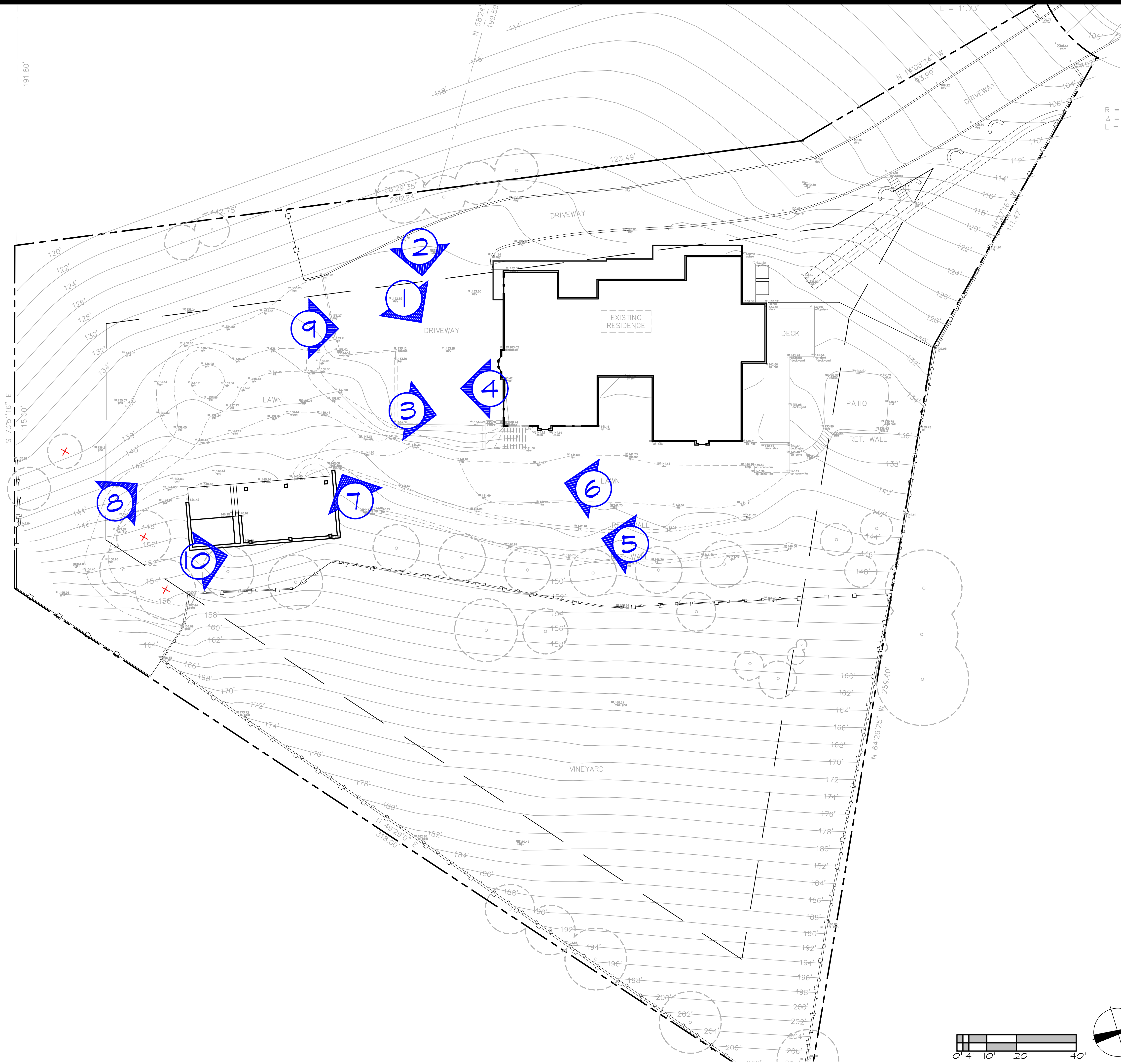
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STACEY L. AND JOHN S. WINTER
4070 SOELRO COURT
SAN JOSE, CA 95127

A.P.N. 612-10-018	
CHECKED SRB	DRAWN NP, CS
DATE SEP 11, 2017	
JOB # WINTER	

A0.3

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DIRECTIONAL SITE PLAN KEY TO PHOTOGRAPHS

1/16" = 1'-0"

ISSUE LOG	
DESIGN REVIEW	08.18.2018
SUBMITTAL	06.18.2018
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DESIGN REVIEW	RESUBMITTAL NOV 09, 2018
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DESIGN REVIEW	RESUBMITTAL JAN 09, 2019

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TEL: (650) 688-1950 FAX: (650) 323-1112 www.ybarchitects.com



SITE DESIGN FOR:

STACEY L. AND JOHN S. WINTER

4070 SOELRO COURT

SAN JOSE, CA 95127

A.P.N. 612-10-018

CHECKED
SRB

DRAWN
NP, CS

DATE
SEP 11, 2017

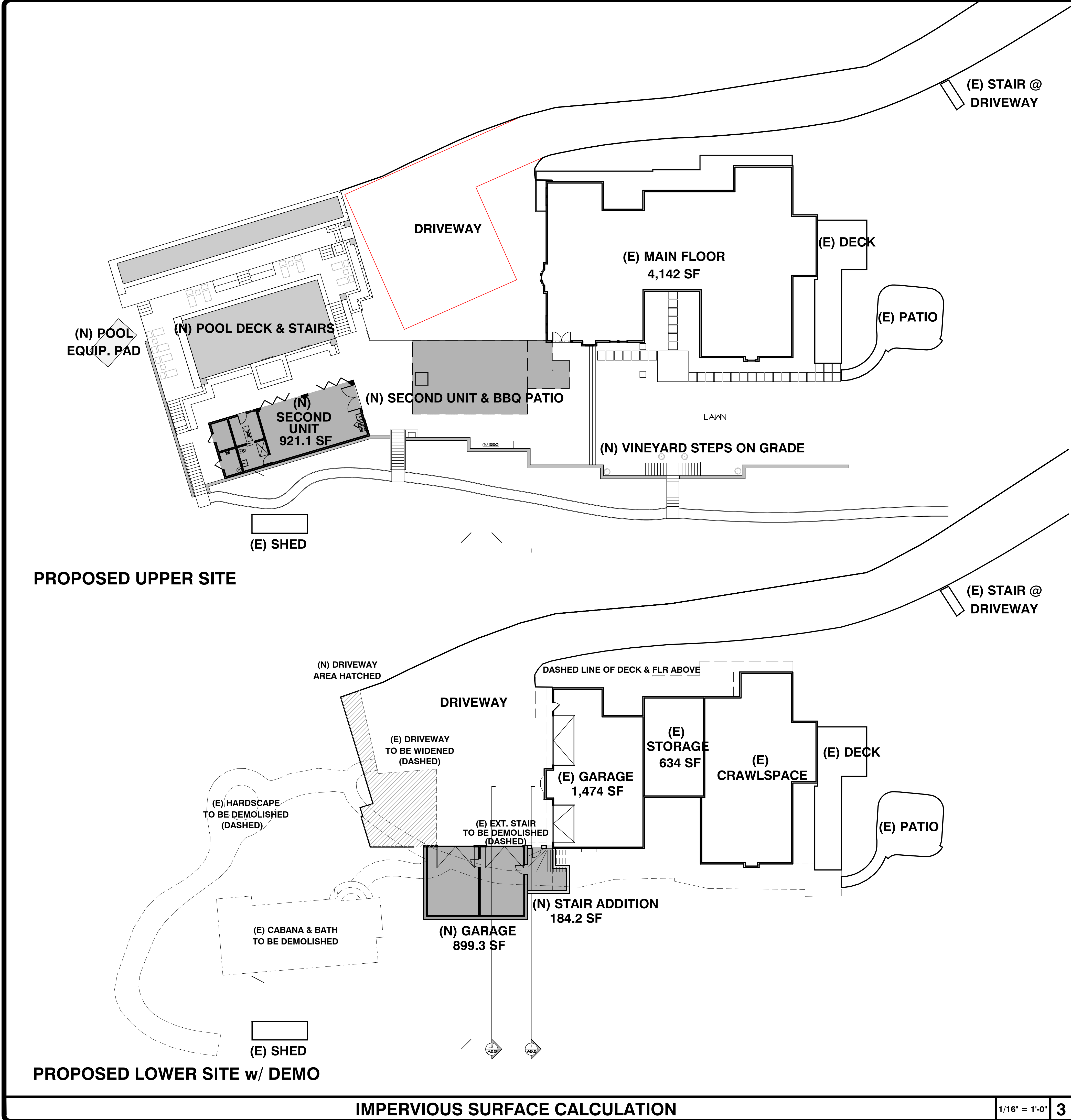
JOB #
WINTER

1/16" = 1'-0"

1

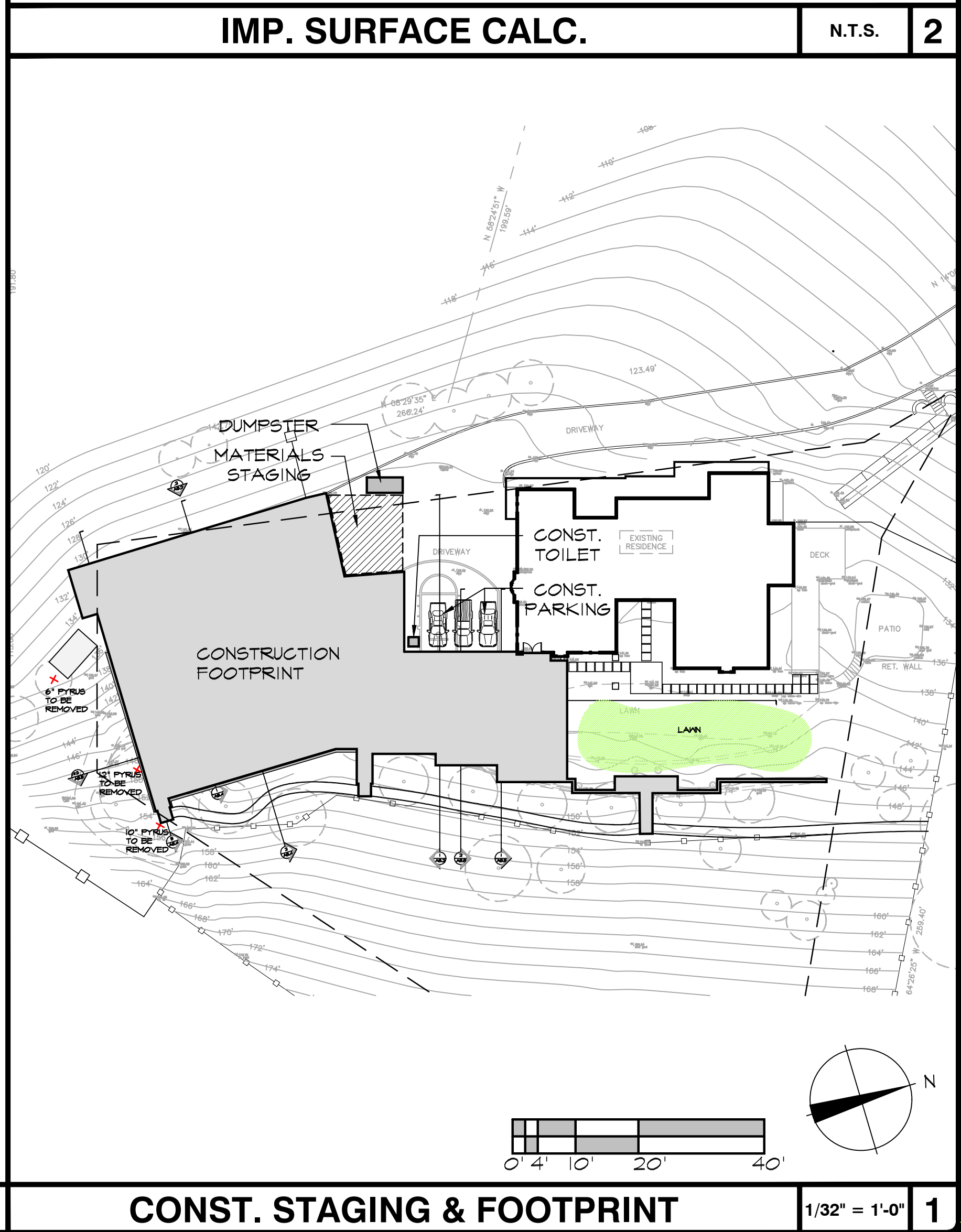
REGISTERED ARCHITECT
STATE OF CALIFORNIA
C-22855
STACEY L. BORLIK

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EXISTING IMPERVIOUS SURFACE CALCULATIONS			
NAME	Dimensions	Area (SF)	NOTES
EXISTING MAIN HOUSE FOOTPRINT		4,142.0	
EXISTING CABANA & BATH		1,132.9	
E DECK		512.9	
E DRIVEWAY		6,431.6	
E PATIO		477.7	
E HARDSCAPE & STEPS		3026.3	
E SHED		108.2	
E STAIR @ DRIVEWAY		28.8	
TOTAL EXISTING IMPERVIOUS SURFACE (SF)		15,860.4	

PROPOSED IMPERVIOUS SURFACE CALCULATIONS			
NAME	Dimensions	Area (SF)	NOTES
EXISTING MAIN HOUSE FOOTPRINT		4,142.0	
E DECK		512.9	
E PATIO		477.7	
EXPANDED DRIVEWAY		7,139.4	
N SECOND UNIT		921.0	
N POOL EQUIP PAD		112.0	
N GARAGE BELOW PATIO		899.3	
N VINEYARD STEPS ON GRADE		183.9	
E SHED		108.2	
E STAIR @ DRIVEWAY		28.8	
N POOL DECK & STAIRS		2,070.6	
N SECOND UNIT & BBQ PATIO		3749.4	
TOTAL PROPOSED IMPERVIOUS SURFACE (SF)		20,345.2	



ISSUE LOG

DESIGN REVIEW
SUBMITTAL 06.18.2018
GRADING APPROVAL
06.18.2018
SPECIAL PERMIT
06.18.2018
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DESIGN REVIEW
RESUBMITTAL NOV. 09. 2018
MAT'L SAMPLE SUBMITTAL
DEC. 07. 2018
DESIGN REVIEW
RESUBMITTAL JAN. 09. 2019

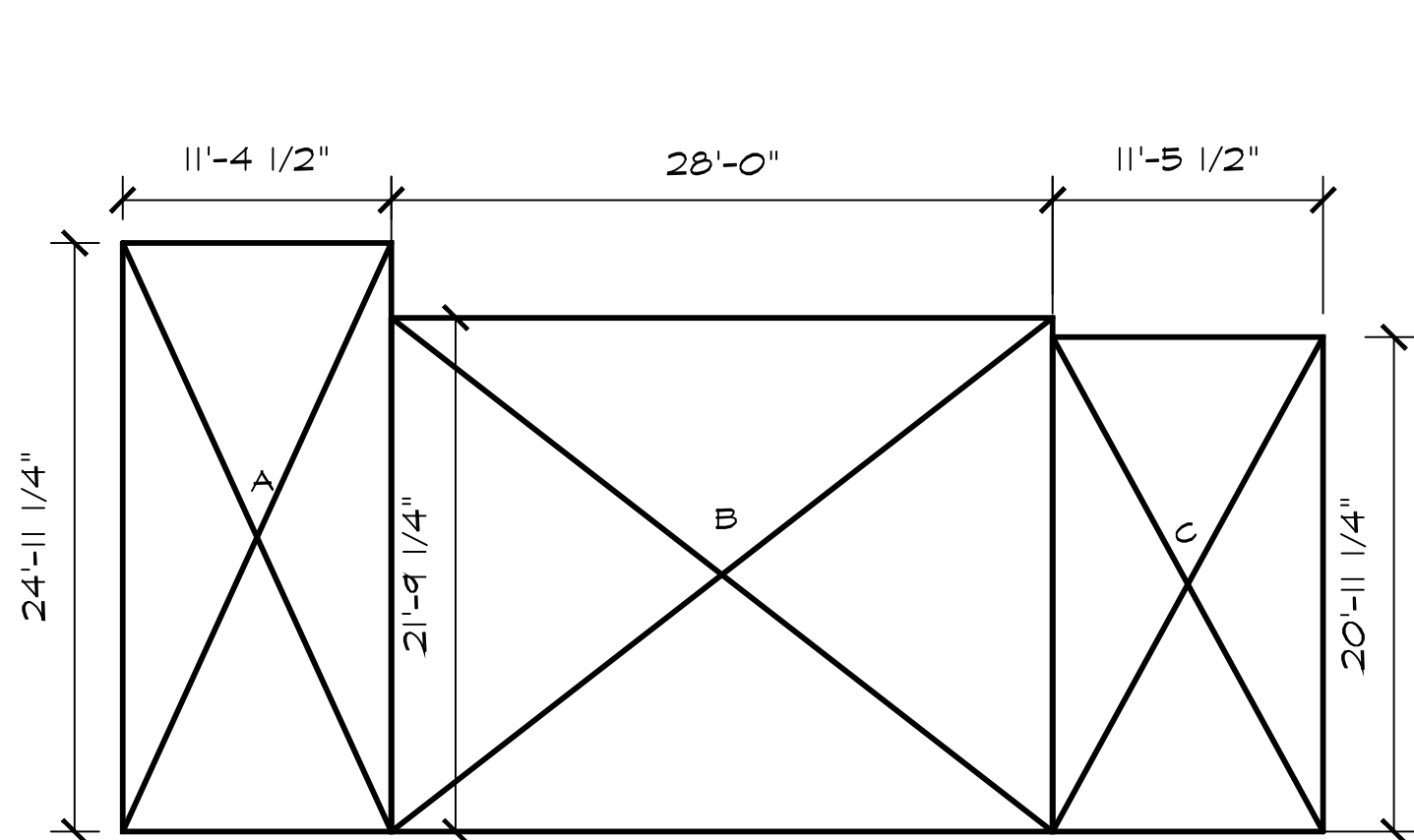
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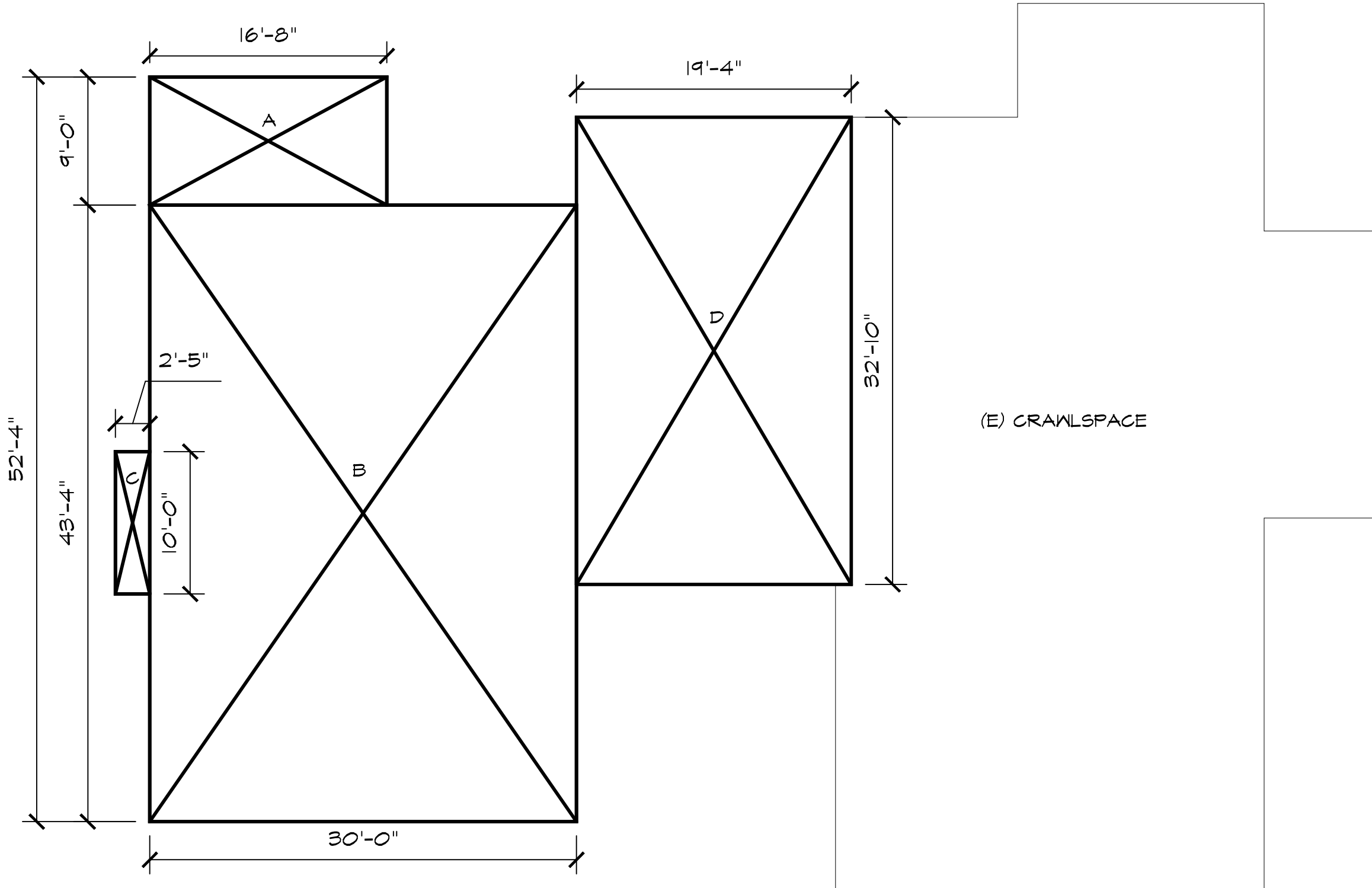
SITE DESIGN FOR:
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4070 SOELRO COURT
SAN JOSE, CA 95127

A.P.N. 612-10-018
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SRB
DATE
SEP 11, 2017
JOB #
WINTER

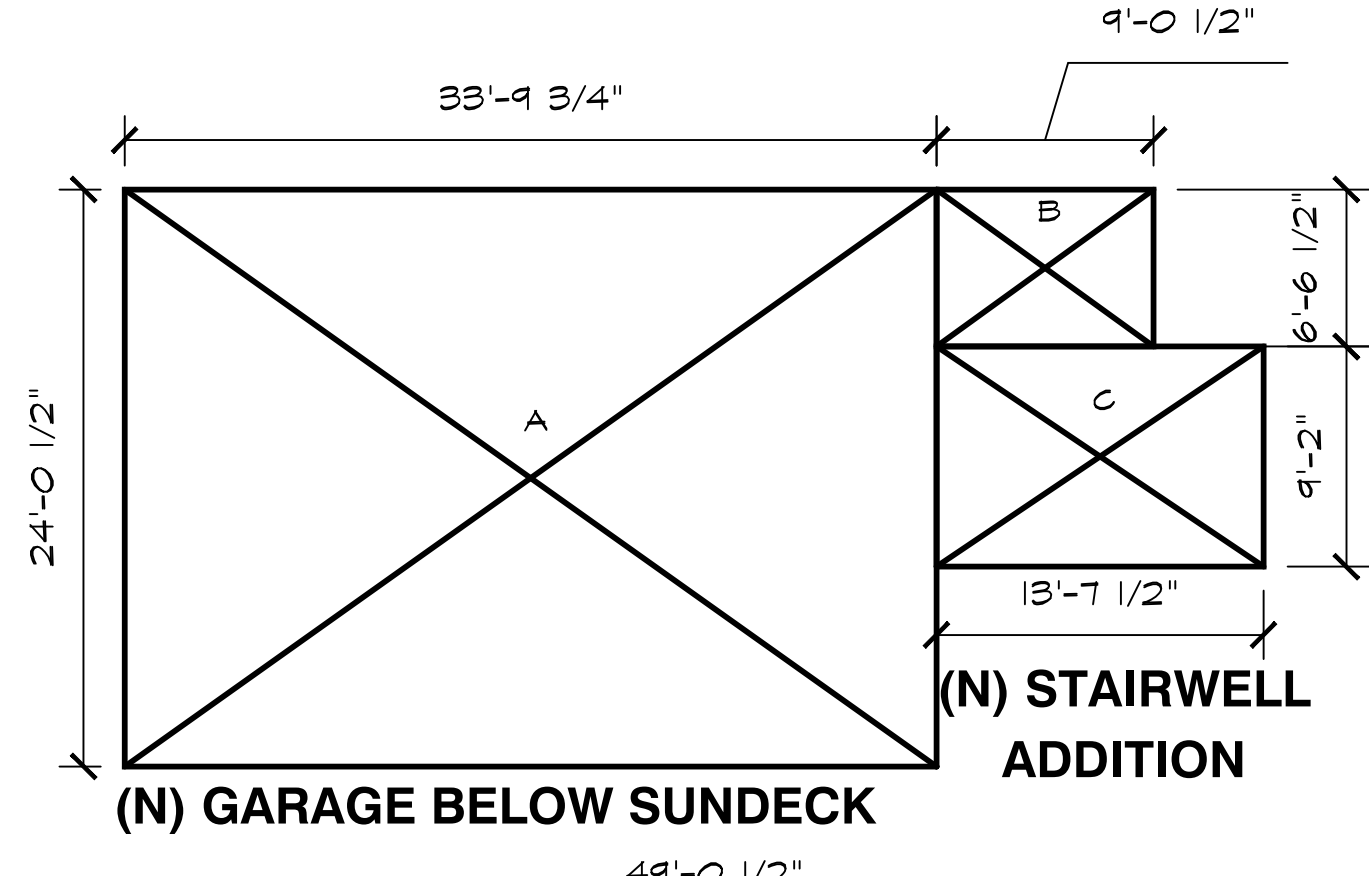
A0.4



(E) UNPERMITTED CABANA TO BE DEMOLISHED

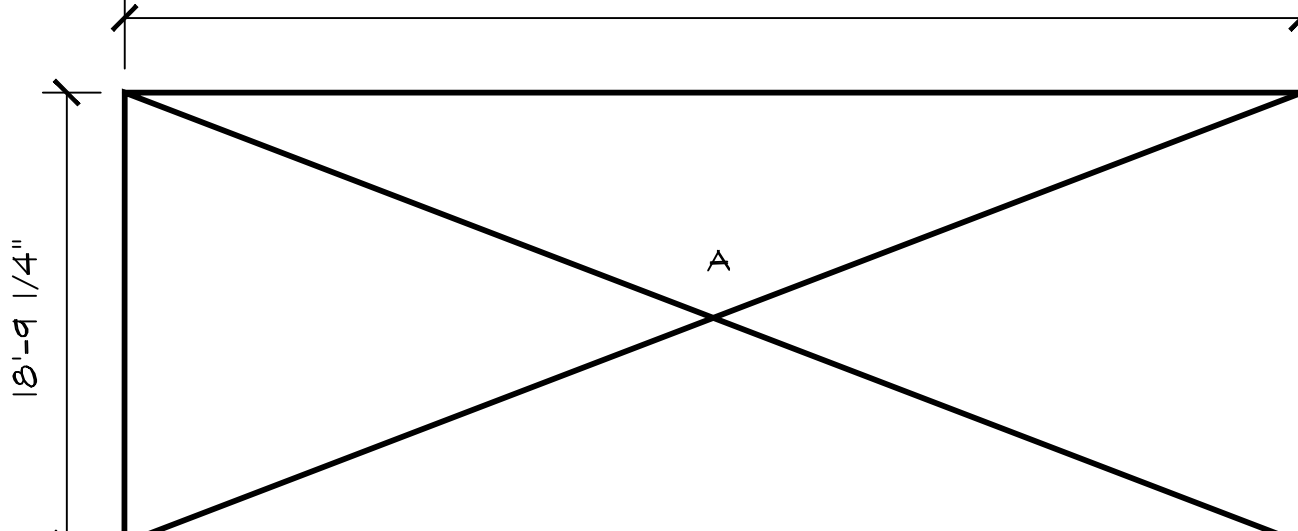


(E) MAIN HOUSE - LOWER LEVEL

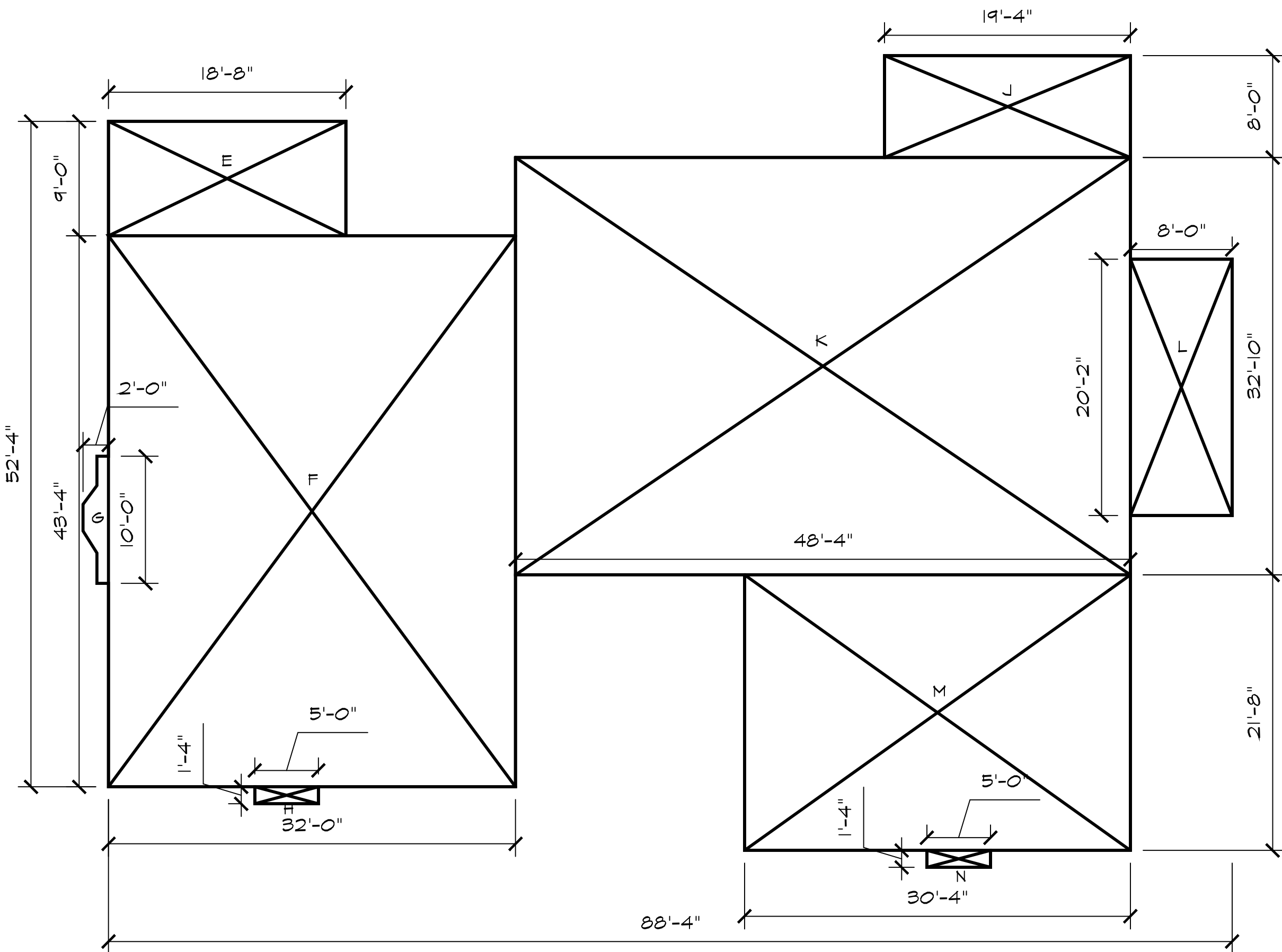


(N) GARAGE BELOW SUNDECK

(N) STAIRWELL ADDITION



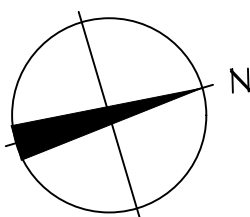
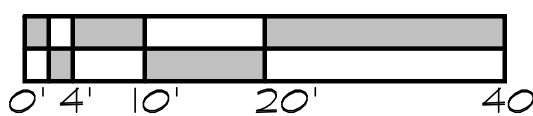
(N) SECOND UNIT



(E) MAIN HOUSE - UPPER LEVEL

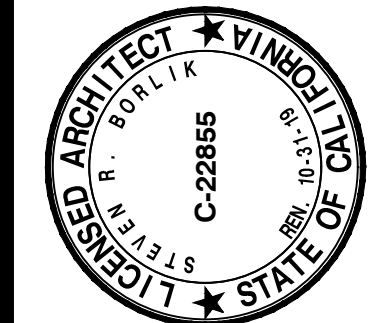
EXISTING FLOOR AREA CALCULATIONS				
NAME	Dimensions	Area (SF)	NOTES	
EXISTING 1ST FLOOR	NO CHANGE			
E		168.0		
F		1,387.0		
G		13.1		
H		6.7		
J		155.0		
K		1,587.0		
L		161.3		
M		657.2		
N		6.7		
total 1st Floor		4,142.0		
EXISTING BMENT STORAGE	NO CHANGE	634.0		
D				
EXISTING BMENT GARAGE	NO CHANGE			
A		150.0		
B		1,300.0		
C		24.0		
total Basement Garage		1,474.0		
EXISTING CABANA & BATH	TO BE DEMOLISHED			
A		283.6		
B		609.4		
C		239.9		
total Existing Cabana & Bath		1132.9		
TOTAL EXISTING FLOOR AREA		7,382.9		

PROPOSED FLOOR AREA CALCULATIONS				
NAME	Dimensions	Area (SF)	NOTES	
EXISTING 1ST FLOOR	NO CHANGE	4,142.0		
EXISTING GARAGE	NO CHANGE	1,474.0		
EXISTING BMENT STORAGE	NO CHANGE	634.0		
N SECOND UNIT	NEW			
A		921.0		
N GARAGE BELOW PATIO	NEW			
A		813.1		
N STAIRWELL ADDITION				
B		59.2		
C		125.0		
total new Stairwell		184.2		
total new Garage and Stairwell	<1,000 SF addition	997.3		
TOTAL PROPOSED FLOOR AREA		8,168.3		



ISSUE LOG	
DESIGN REVIEW	06 18, 2018
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SITE DESIGN FOR:
STACEY L. AND JOHN S. WINTER
4070 SOELRO COURT
SAN JOSE, CA 95127

A.P.N. 612-10-018	
CHECKED SRB	DRAWN NP, CS
DATE SEP 11, 2017	
JOB # WINTER	

A0.4.1

KEYNOTES:

1. REMOVE EXISTING WINDOW & PREPARE FOR NEW DOOR IN PLACE. PROVIDE DUST SCREENING AS NECESSARY TO PROTECT UNTOUCHED AREAS DURING CONSTRUCTION.
2. UNPERMITTED EXISTING CABANA & BATH TO BE CAREFULLY REMOVED.
3. EXISTING GAS & ELEC METER LOCATIONS TO REMAIN.

LEGEND

- KEYNOTES
- (E) WALL TO REMAIN
- - - (E) WALL TO BE DEMOLISHED

DEMOLITION NOTES:

EXISTING ELEMENTS TO BE REMOVED OR MODIFIED SHOWN DASHED, TYPICAL. SEE ALSO PROPOSED FLOOR PLAN A2.1.

PRIOR TO DEMOLITION, WALK THROUGH WITH OWNER AND VERIFY ANY REMOVED PLUMBING, LIGHTING, FINISHES, WINDOWS, DOORS, ETC. TO BE SAVED FOR REUSE OR RELOCATION.

VERIFY CITY REQ'D WASTE DIVERSION PROGRAMS FOR DEMOLITION & CONSTRUCTION DEBRIS PRIOR TO DEMOLITION.

PROVIDE DUST SCREENING AS NECESSARY TO PROTECT UNTOUCHED AREAS DURING CONSTRUCTION.

SEAL OFF DUCT OPENINGS & VENTS PRIOR TO DEMOLITION & THROUGHOUT CONSTRUCTION TO PREVENT DUST INFILTRATION.

PRIOR TO DEMOLITION, VERIFY COMPLIANCE WITH E.P.A. REQ'D PRACTICES & CERTIFICATION FOR LEAD CONTAMINATION.

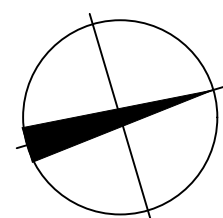
THE ENVIRONMENTAL PROTECTION AGENCY (E.P.A.) REQUIRES THAT FIRMS PERFORMING RENOVATION, REPAIR, AND PAINTING PROJECTS THAT DISTURB LEAD-BASED PAINT IN PRE-1978 HOMES, CHILD CARE FACILITIES, AND SCHOOLS BE CERTIFIED BY E.P.A. AND THAT THEY USE CERTIFIED RENOVATORS WHO ARE TRAINED BY E.P.A.-APPROVED TRAINING PROVIDERS TO FOLLOW LEAD-SAFE WORK PRACTICES.

<http://www.epa.gov/lead/pubs/renovation.htm>

CONTRACTORS TO PROVIDE ALL WORK IN COMPLIANCE WITH REQUIRED LEAD-SAFE WORK PRACTICES, PROJECT DOCUMENTATION, AND PROFESSIONAL CERTIFICATIONS.

THE ARCHITECT HAS NOT BEEN RETAINED TO SURVEY FOR OR OTHERWISE DISCOVER THE PRESENCE OF HAZARDOUS MATERIALS INCLUDING BUT NOT LIMITED TO ASBESTOS, ASBESTOS PRODUCTS, PCB'S, OR OTHER TOXIC SUBSTANCES. THE ARCHITECT IS NOT RESPONSIBLE FOR THE HANDLING, REMOVAL OR DISPOSAL OF OR EXPOSURE OR PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE.

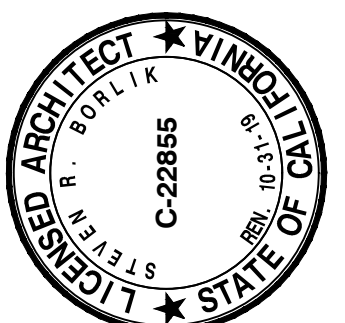
EXISTING DECK AND UPPER PATIO LEVEL FLOOR PLAN



ISSUE LOG

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4070 SOELRO COURT
SAN JOSE, CA 95127

A.P.N. 612-10-018

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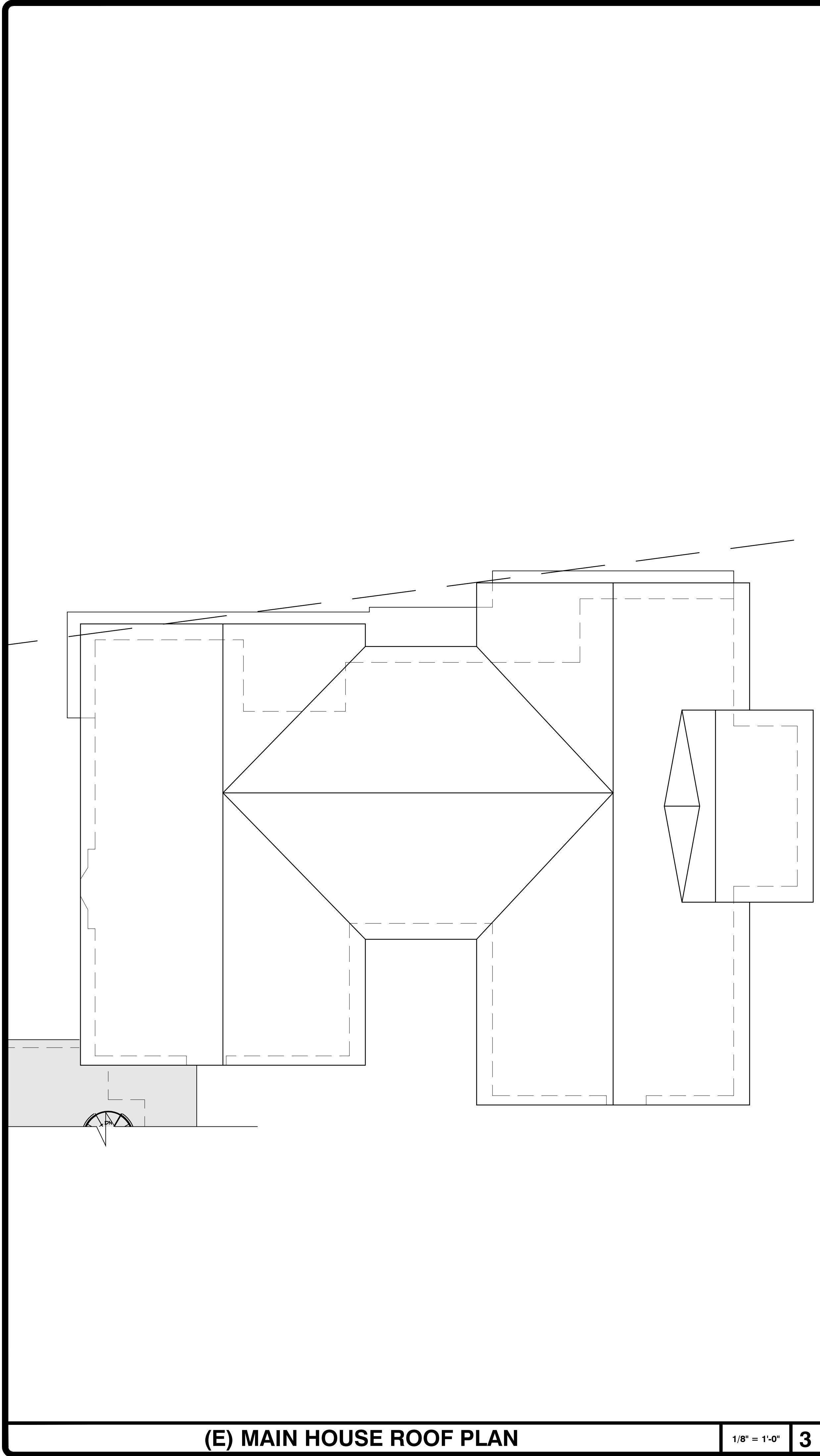
DATE
SEP 11, 2017

JOB #
WINTER

A1.1

1/8" = 1'-0"

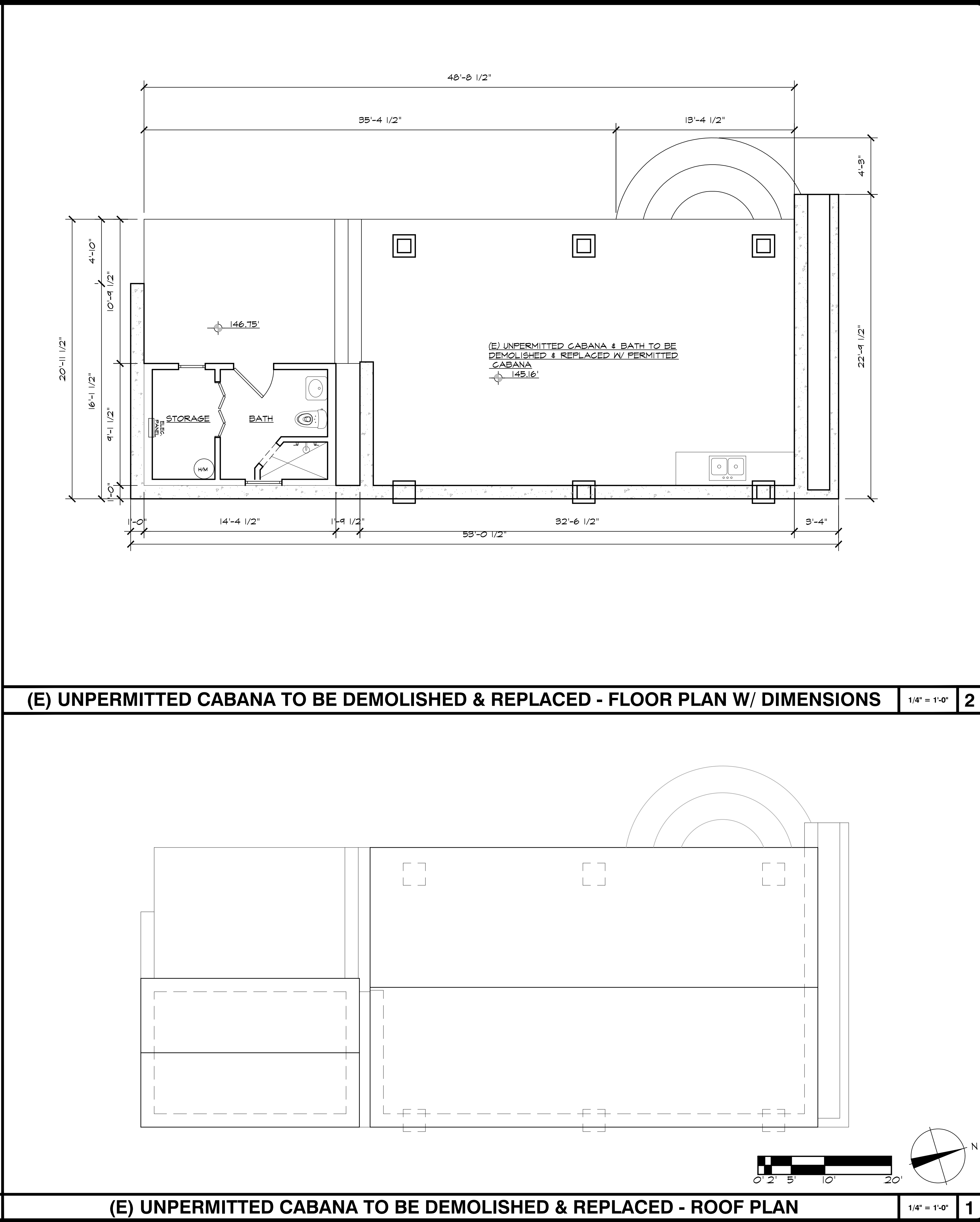
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(E) MAIN HOUSE ROOF PLAN

1/8" = 1'-0"

3



(E) UNPERMITTED CABANA TO BE DEMOLISHED & REPLACED - FLOOR PLAN W/ DIMENSIONS

1/4" = 1'-0"

2

(E) UNPERMITTED CABANA TO BE DEMOLISHED & REPLACED - ROOF PLAN

1/4" = 1'-0"

1

ISSUE LOG

DESIGN REVIEW	08 18, 2018
SUBMITTAL	08 18, 2018
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REGISTERED ARCHITECT

STATE OF CALIFORNIA

C-22885

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A1.2

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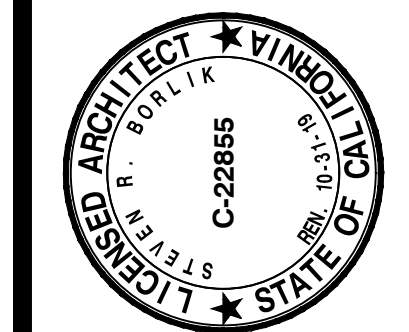
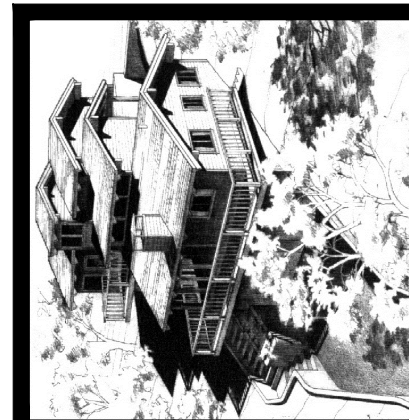
1. (N) GARAGE BELOW SUN DECK
2. (N) LAP POOL & PATIO
3. (E) ASPHALT DRIVEWAY
4. PROPERTY LINE
5. SETBACK LINE
6. (E) HOUSE TO REMAIN
7. (N) REGULATION BASKETBALL KEY
8. (N) STAIRWELL ADDITION W/ SPIRAL STAIR
9. (N) TRASH BIN ENCLOSURE
10. (N) GARAGE RETAINING WALL
11. TREE TO BE RELOCATED FOR NEW STAIR

 PROPOSED WALL
 FLOOR PLAN KEY NOTES

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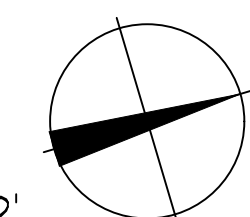
JOB #
WINTER

A2.1

GENERAL NOTES:
VERIFY ALL HARDSCAPE, DRIVEWAY, AND LANDSCAPE LAYOUTS
AND FINISHES WITH OWNER.

FINISHES - VERIFY EXTERIOR FINISHES W/ OWNER IN FIELD. PAINT GRADE INTERIOR AND EXTERIOR TRIM FINISH. VERIFY FINISH SELECTIONS, BASEBOARD, CEILING TRIM, AND DOOR & WINDOW CASINGS W/ OWNER AND ARCHITECT IN FIELD. PROVIDE BLOCKING AS NECESSARY.

FLOOR FINISH - VERIFY ALL FLOOR FINISH SELECTIONS w/
OWNER PRIOR TO CONSTRUCTION. CONTRACTOR AND FLOOR
SUBCONTRACTORS TO DETERMINE FINISH HEIGHTS OF SLABS
FOR DIFFERENT FLOOR FINISHES PRIOR TO CONCRETE FORMING.

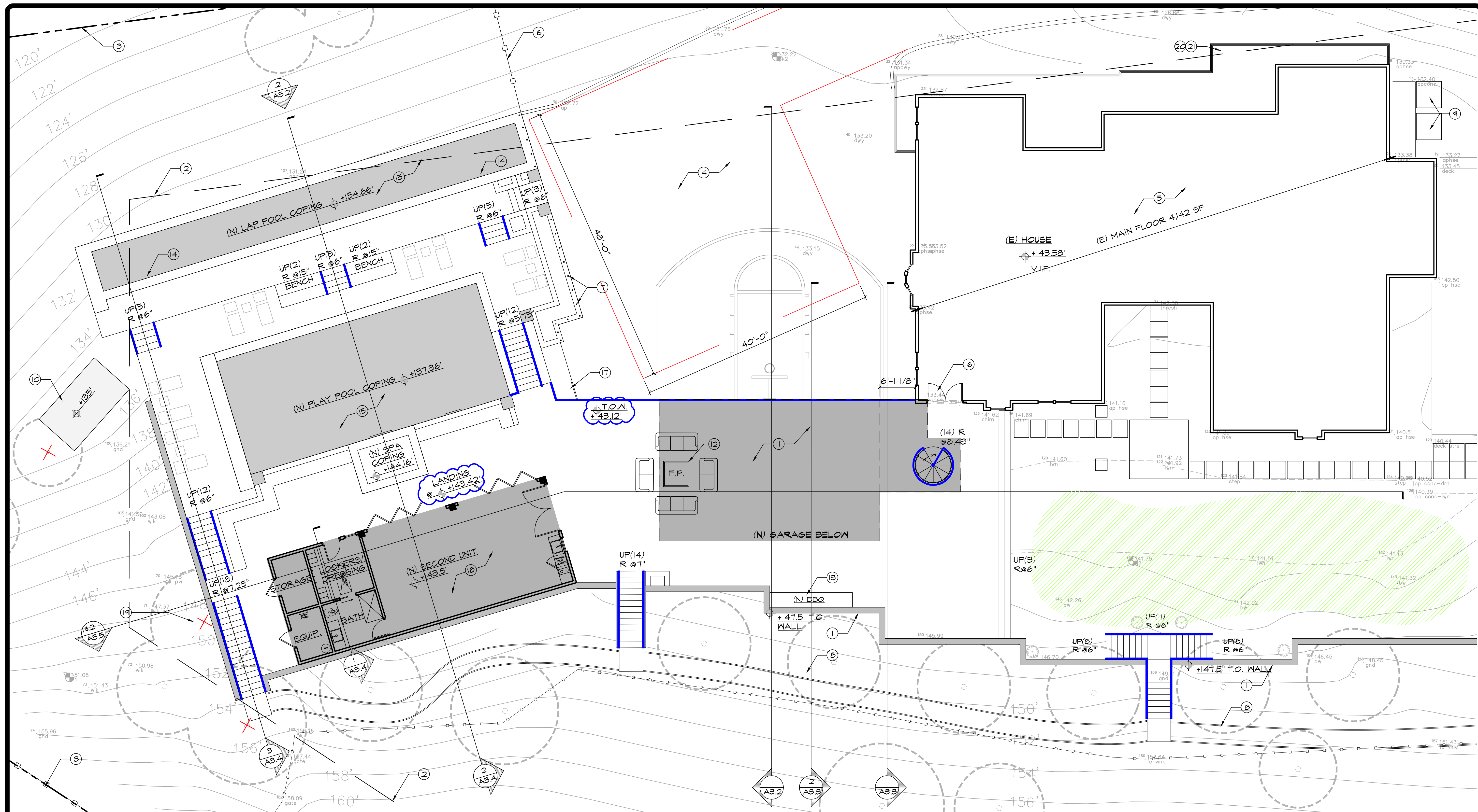


PROPOSED BASEMENT GARAGE AND LOWER LEVEL FLOOR PLAN

$$1/8'' = 1'-0''$$

1

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KEYNOTES:

- (N) RETAINING WALL
- SETBACK LINE
- PROPERTY LINE
- (E) ASPHALT DRIVEWAY
- (E) HOUSE TO REMAIN
- (N) POOL FENCE ENCLOSURE
- (N) 5'-0" BABY BARRIER POOL FENCING
- (N) D.G. OLIVE TREE PATH
- (E) GAS & ELEC METER LOCATIONS
- (N) POOL EQUIPMENT PAD
- (N) SUN DECK ABOVE (N) GARAGE
- (N) FIRE PIT & SEATING
- (N) BUILT-IN BBQ
- (N) HANDRAILS FOR LAP POOL
- SEE POOL DESIGN & DRAWINGS BY ROYAL POOLS
- (N) FRENCH DOOR TO REPLACE (E) WINDOW
- (N) FENCE TRASH BIN ENCLOSURE
- (N) SECOND UNIT
- TREE RELOCATED FOR VINEYARD STAIRS

20. PER 4.50.030 NONCONFORMING BUILDINGS:

A BUILDING OR STRUCTURE WHOSE USE CONFORMS TO ZONING REGULATIONS, BUT IS NONCONFORMING WITH RESPECT TO CURRENTLY APPLICABLE SETBACK, HEIGHT, FAR, OR OTHER DEVELOPMENT REGULATIONS, SHALL BE SUBJECT TO ALL OF THE FOLLOWING LIMITATIONS:

A. CONFORMING EXPANSION. SUCH A BUILDING OR STRUCTURE MAY BE EXPANDED OR STRUCTURALLY ALTERED PROVIDED ADDITIONS FULLY COMPLY WITH APPLICABLE DEVELOPMENT STANDARDS, EXCEPT AS PROVIDED IN SUBSECTION B, BELOW. ANY SETBACK-NONCONFORMING OR HEIGHT-NONCONFORMING PORTIONS OF A BUILDING MAY REMAIN ONLY IF THEY SUBSTANTIALLY MAINTAIN THEIR STRUCTURAL FORM AND INTEGRITY. IN THE COURSE OF CONSTRUCTION, IF WALLS BECOME DISCONNECTED FROM SUPPORTING CEILINGS AND ROOF JOISTS AND ALL BRACING PERPENDICULAR WALLS, THEY RELINQUISH THEIR RIGHT TO MAINTAIN A NONCONFORMING SETBACK ENCROACHMENT.

B. SETBACK-NONCONFORMING EXPANSION ALLOWANCES. A LIMITED EXPANSION OF A BUILDING ALONG A NONCONFORMING SETBACK LINE, OR THE REDESIGN OF A ROOF OVER A SETBACK-NONCONFORMING PORTION OF A BUILDING MAY BE ALLOWED PURSUANT TO SUBSECTIONS 4.20.110(C)(4) AND 4.20.110(C)(5).

21. PER 4.20.110(A)(2) SETBACK ENCROACHMENTS AND HEIGHT EXCEPTIONS

COVERED PORCHES MAY ALSO ENCROACH INTO THE FRONT YARD SETBACK ONLY, TO THE EXTENT PROVIDED IN THE TABLE BELOW, PROVIDED THEY ARE NOT ENCLOSED BY WALLS, SCREENING OR OTHER SUCH CONTINUOUS VERTICAL COMPONENTS.

Yard	Maximum Encroachment Distance (feet)	Maximum Encroachment Area (square feet)
Front	4	96
Side	4	64
Rear	6	96

KEY TO SYMBOLS:

- PROPOSED WALL
- FLOOR PLAN KEY NOTES
- RAILING



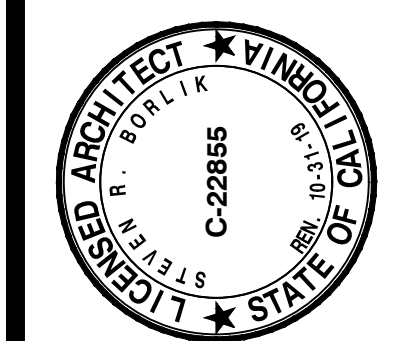
PROPOSED DECK AND UPPER PATIO LEVEL FLOOR PLAN

1/8" = 1'-0"

1

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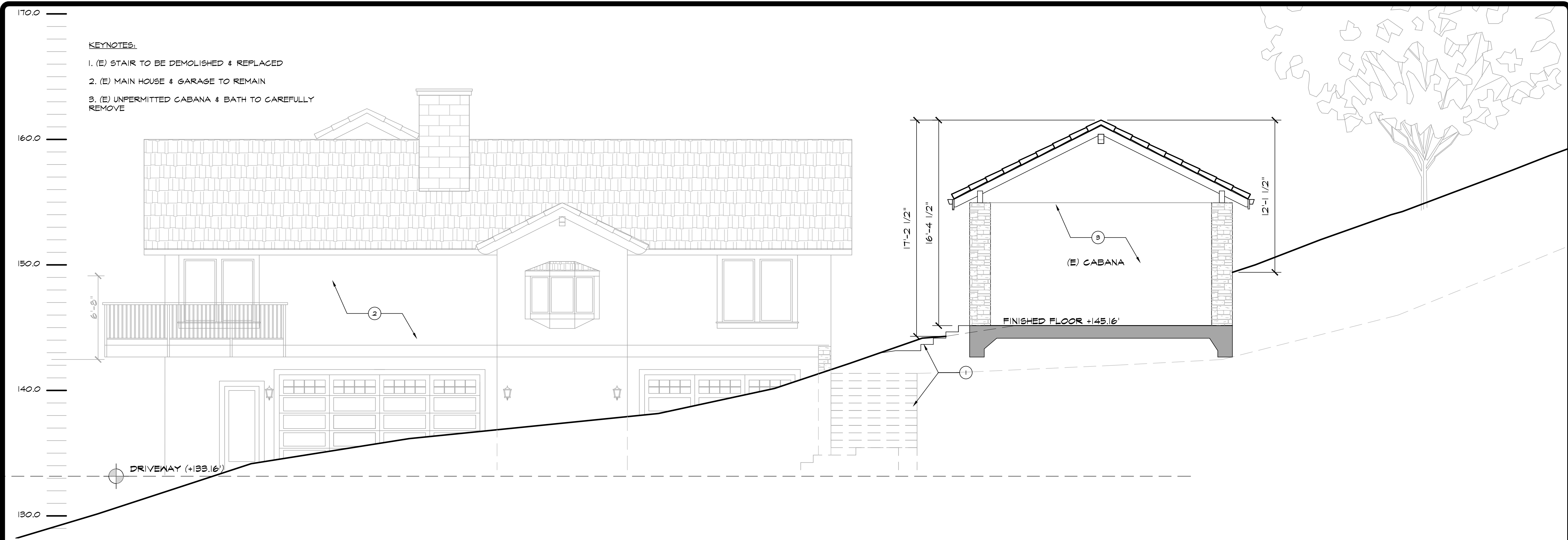
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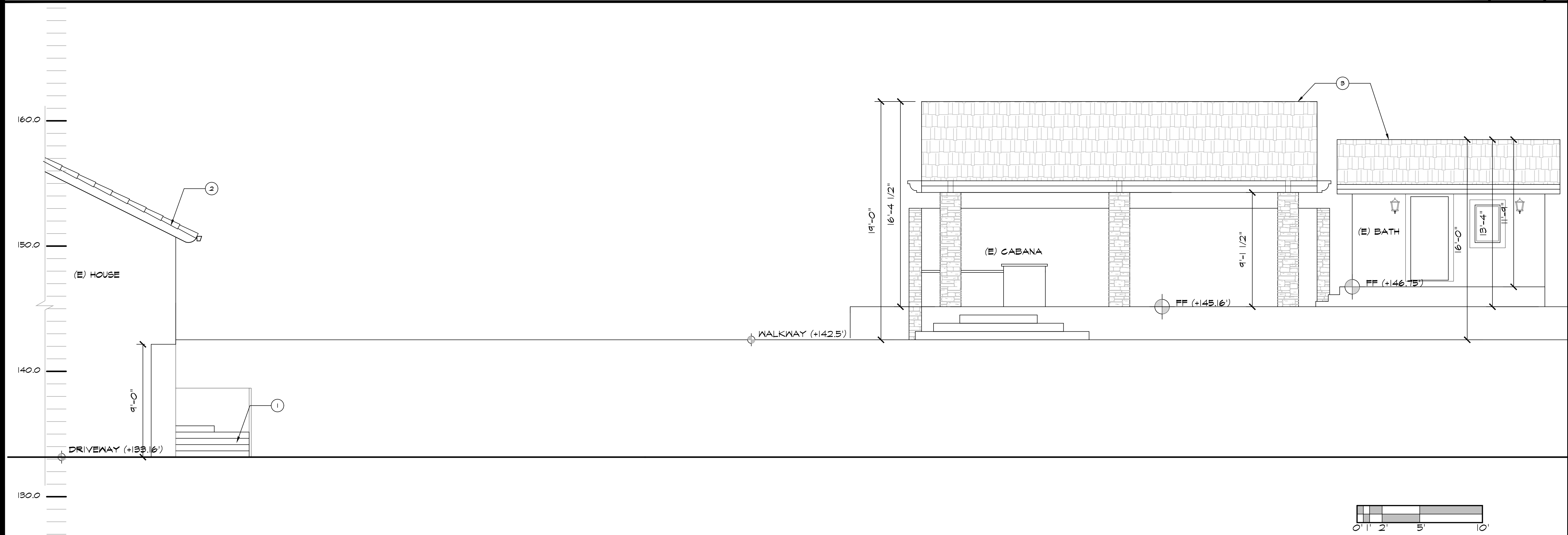
A2.2



EXISTING SECTION THRU CABANA

1/4" = 1'-0"

2



EXISTING FRONT SITE ELEVATION

1/4" = 1'-0"

1

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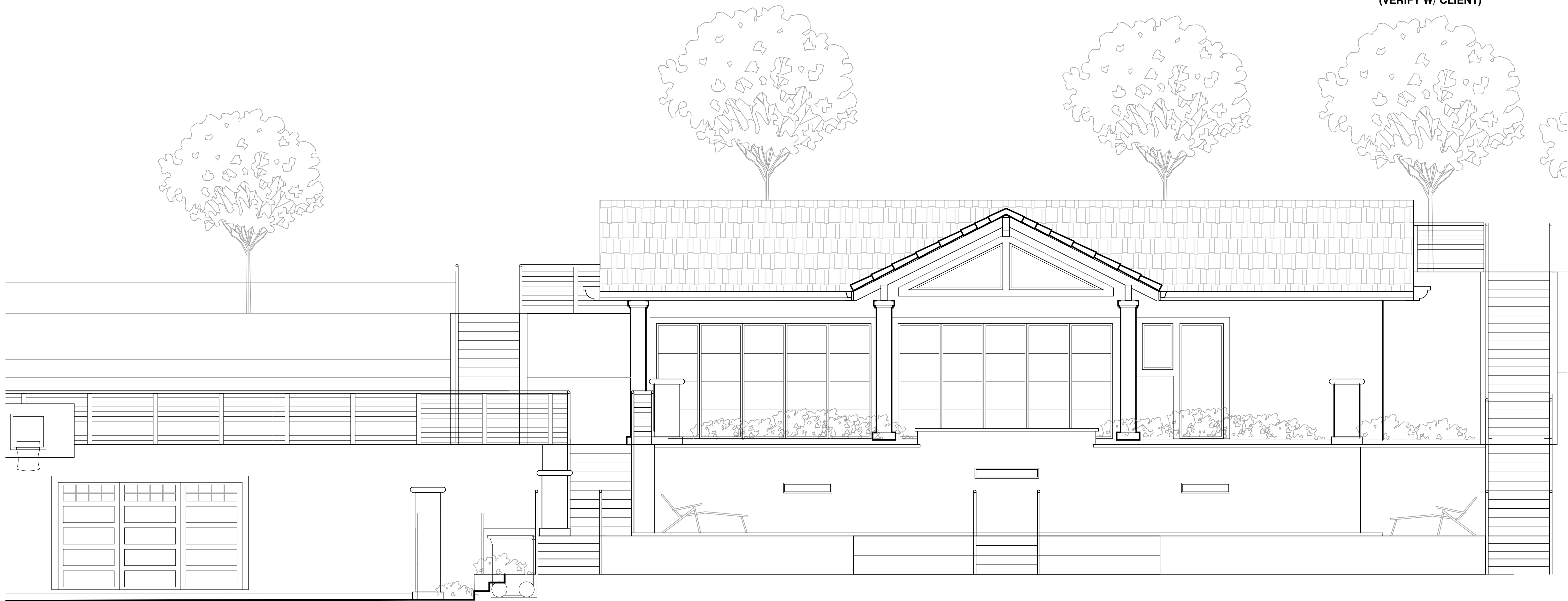
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A3.0



(E) HOUSE REFERENCE PHOTOS



4070 SOELRO COURT, SAN JOSE

COLORS & MATERIALS INTENT TO MATCH EXISTING HOUSE AND CONFORM TO SANTA CLARA COUNTY ZONING ORDINANCE REGULATIONS. THESE SAMPLES ARE PROVIDED FOR DESIGN REFERENCE.



PAINTED STUCCO: KELLY MOORE PAINT, "OAKWOOD" LRV = 40



PAINTED STUCCO EXTERIOR FINISH TO MATCH (E) HOUSE (OAKWOOD) (VERIFY W/ CLIENT)



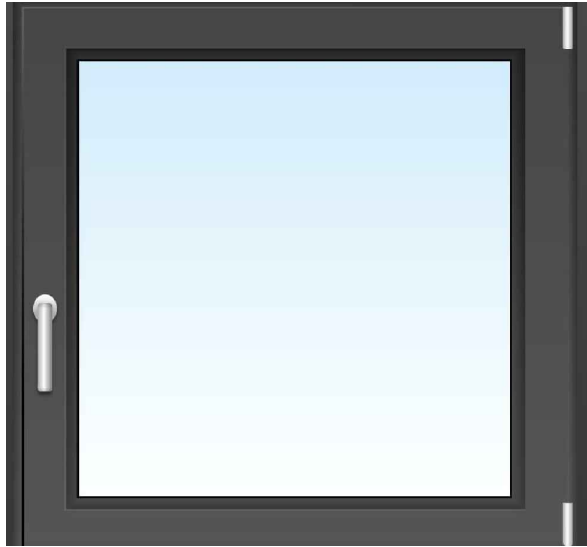
FASCIA BOARD: KELLY MOORE PAINT, "TIN MAN" LRV = 38



FLAT CONCRETE TILE - EAGLE ROOFING (PONDEROSA, 5502 ARCADIA CANYON BROWN) (VERIFY W/ CLIENT)



WINDOWS: KELLY MOORE PAINT, "BEAVER PELT" LRV = 12



WINDOWS TO MATCH EXISTING HOUSE (BEAVER PELT) (VERIFY W/ CLIENT)

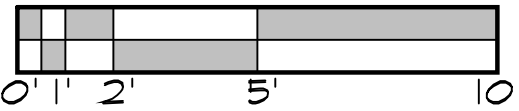


CABLE RAILING



5'-0" BABY BARRIER POOL FENCE SYSTEM

NOTE: LRV .45 OR LESS FOR COLOR REQUIRED



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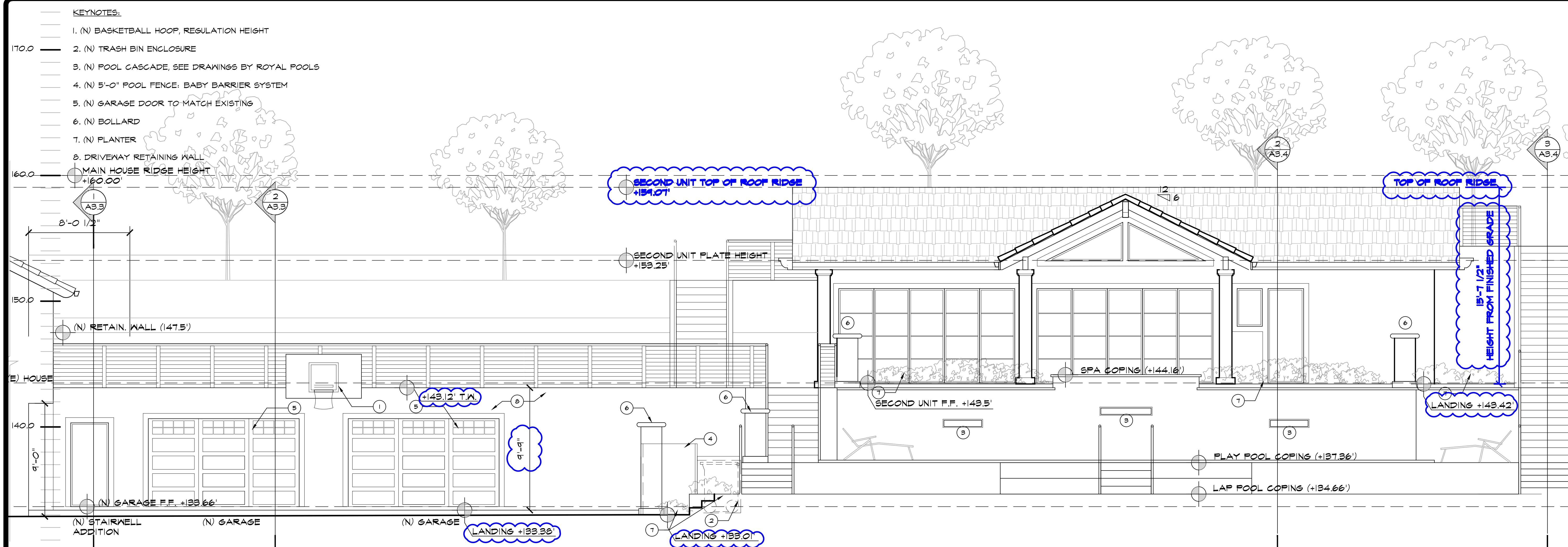
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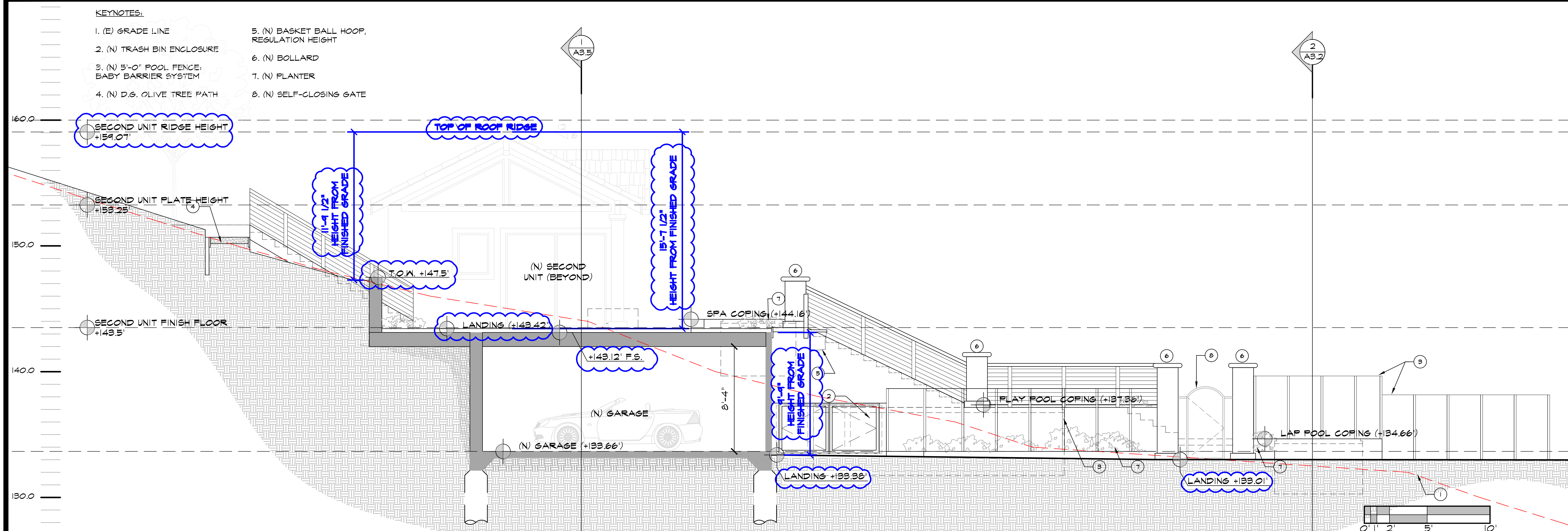
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PROPOSED FRONT SITE ELEVATION SHOWING POOL w/ SECOND UNIT BEYOND

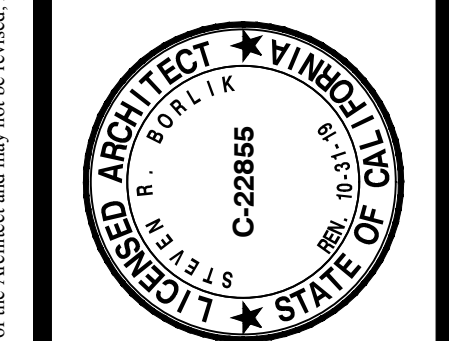
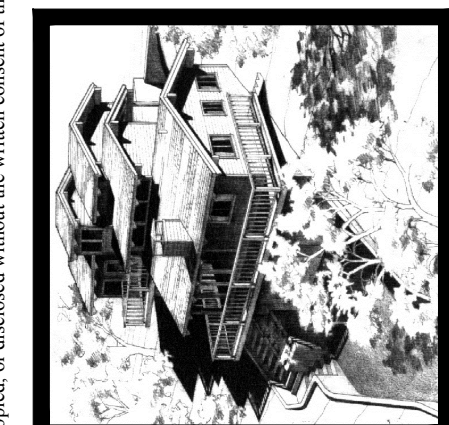


PROPOSED SECTION THROUGH GARAGE w/ SECOND UNIT BEYOND

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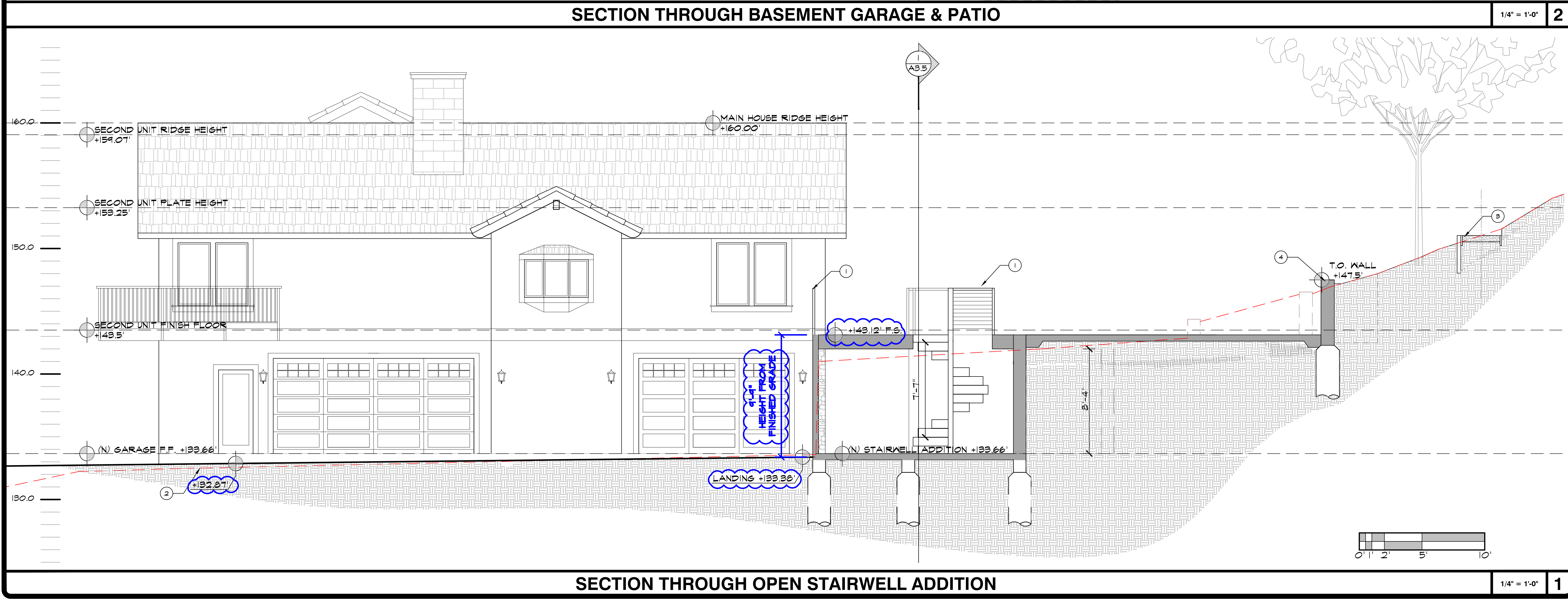
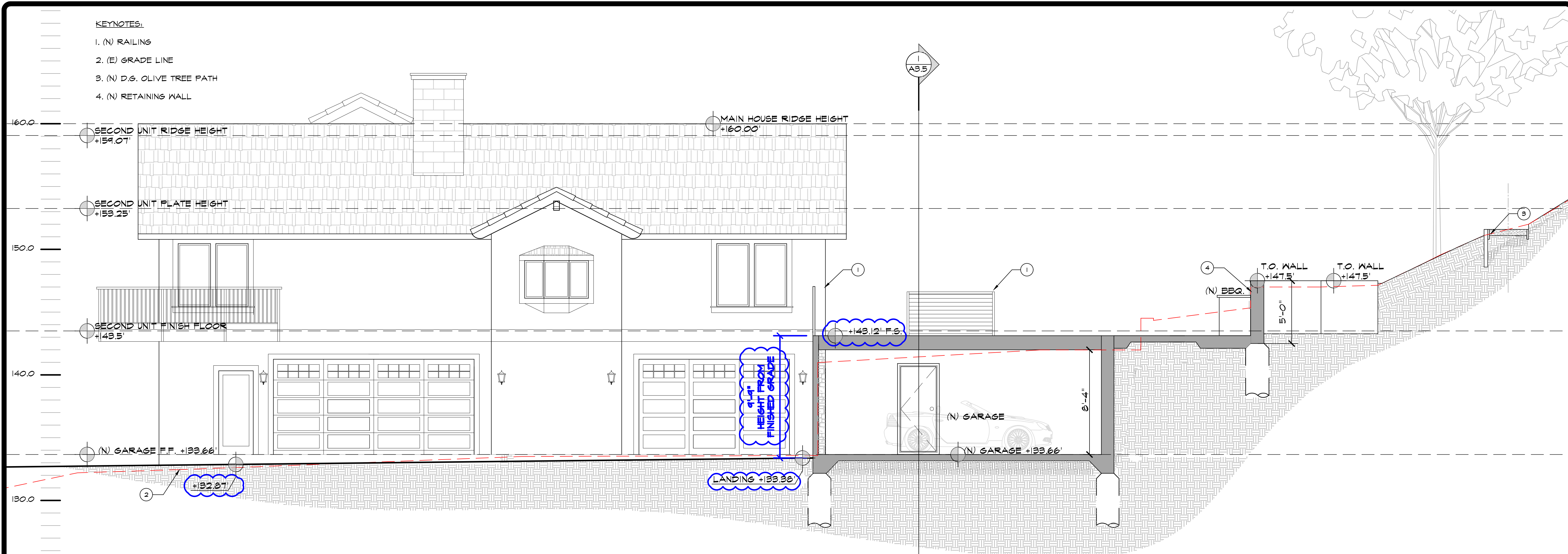
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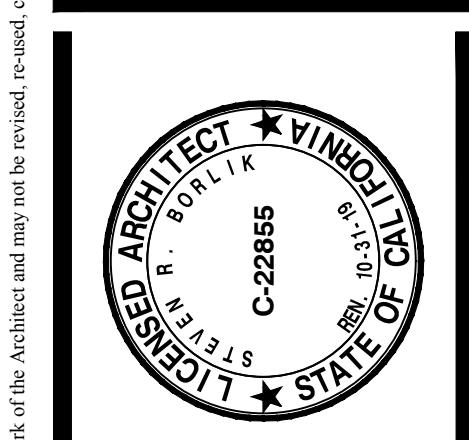
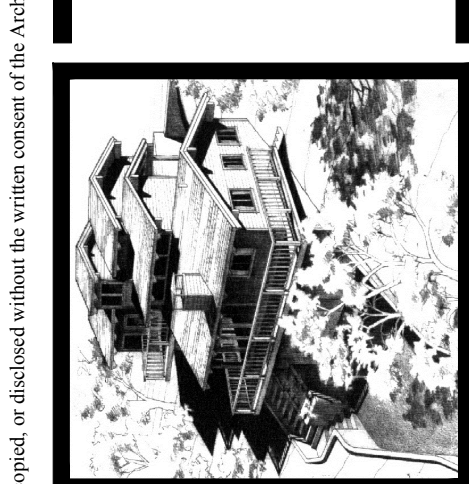
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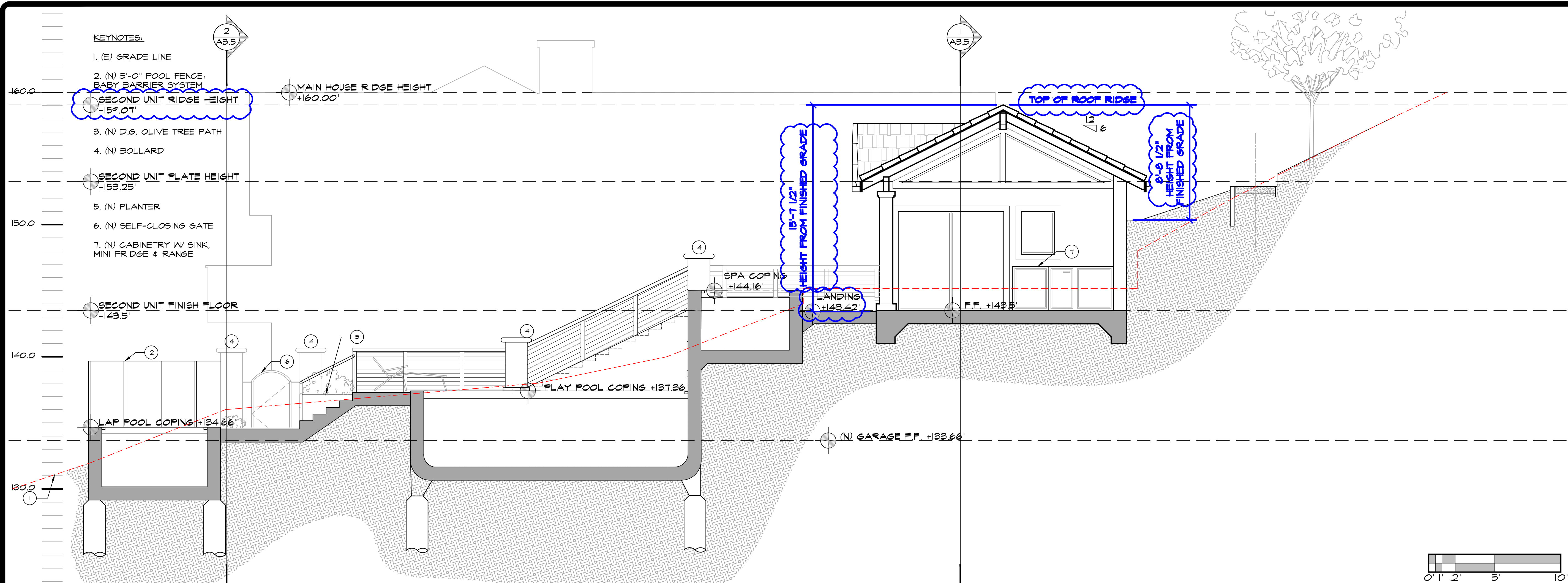


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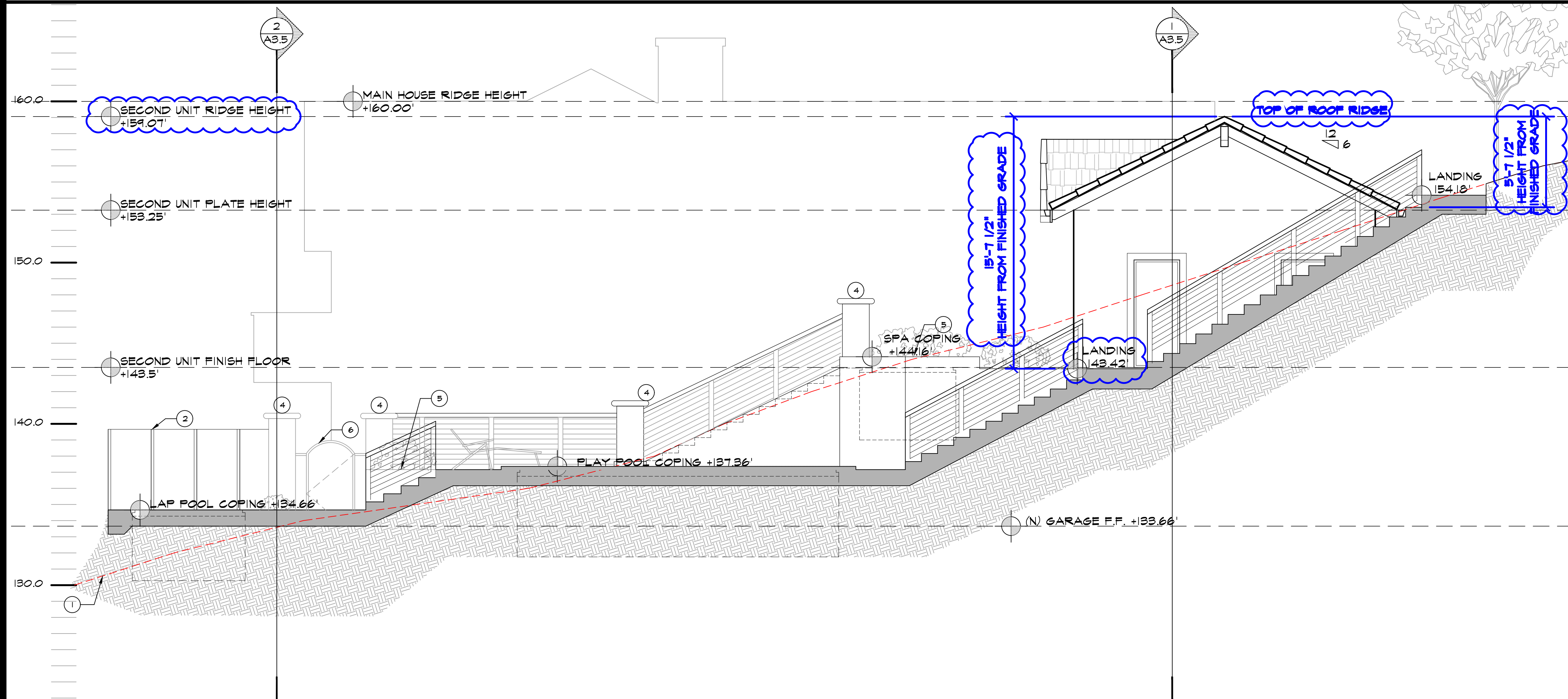
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A3.3	



SECTION THRU (N) SECOND UNIT & POOLS

1/4" = 1'-0"

2



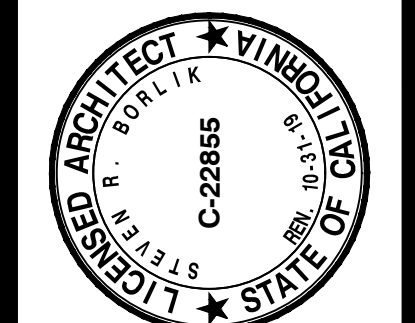
SECTION THRU VINEYARD STAIRS & POOL PATIO

1/4" = 1'-0"

3

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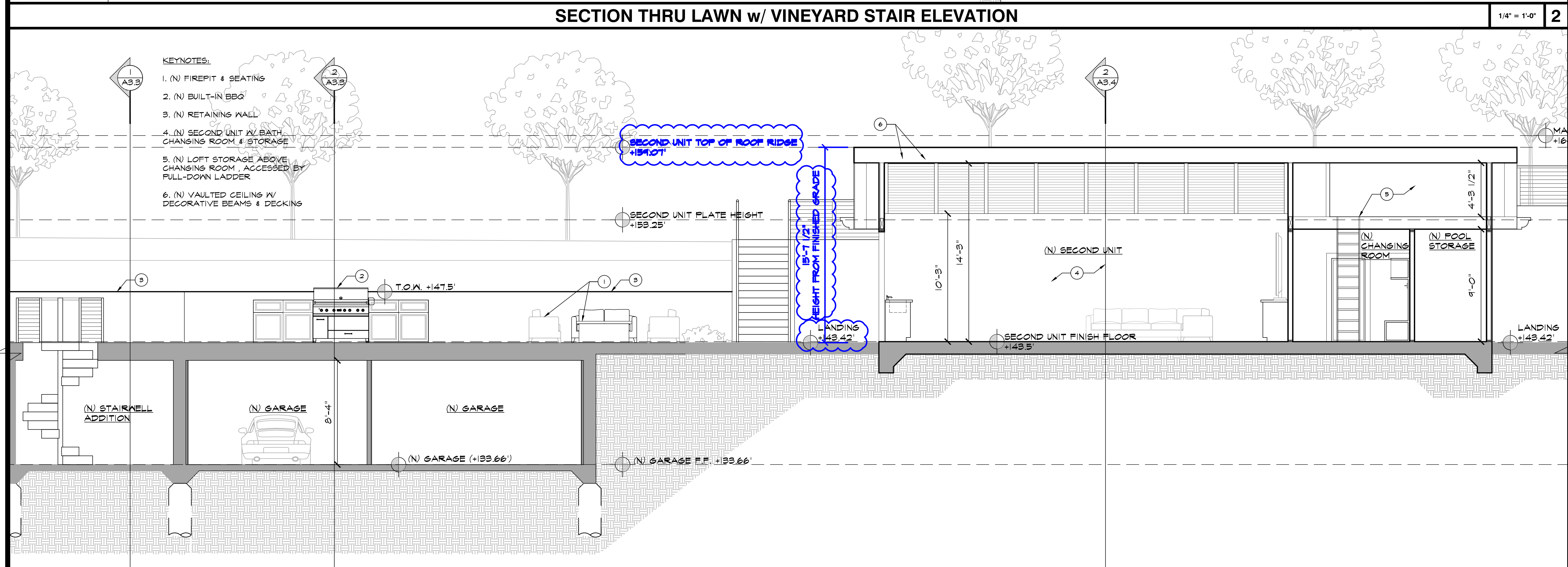
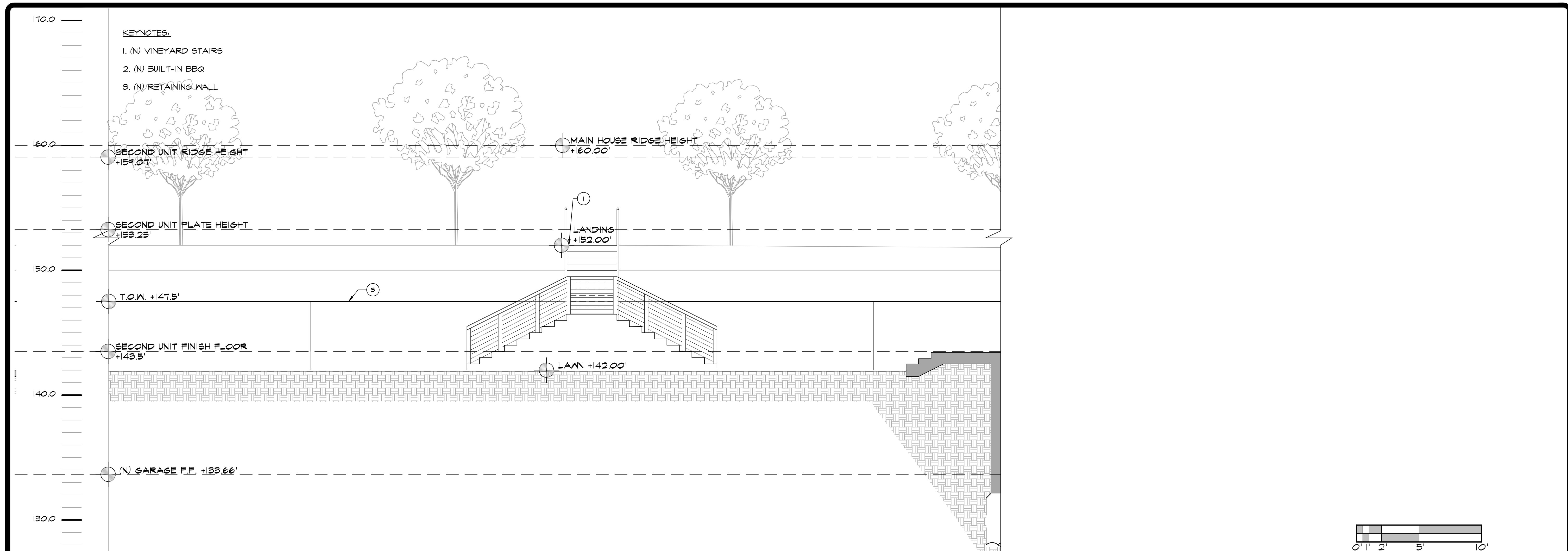


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A3.4

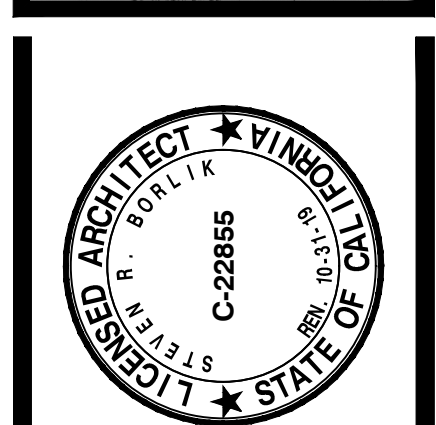
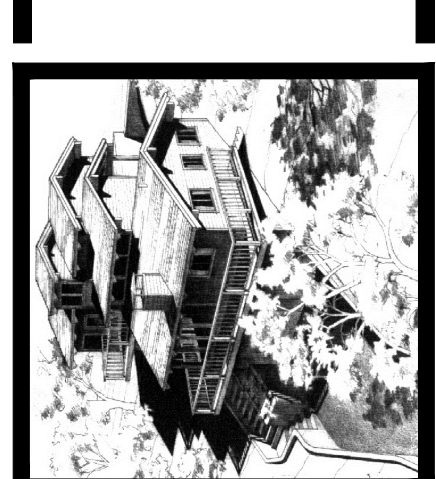
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LONGITUDINAL SECTION THRU STAIRWELL ADDITION, GARAGE, SUNDECK & SECOND UNIT

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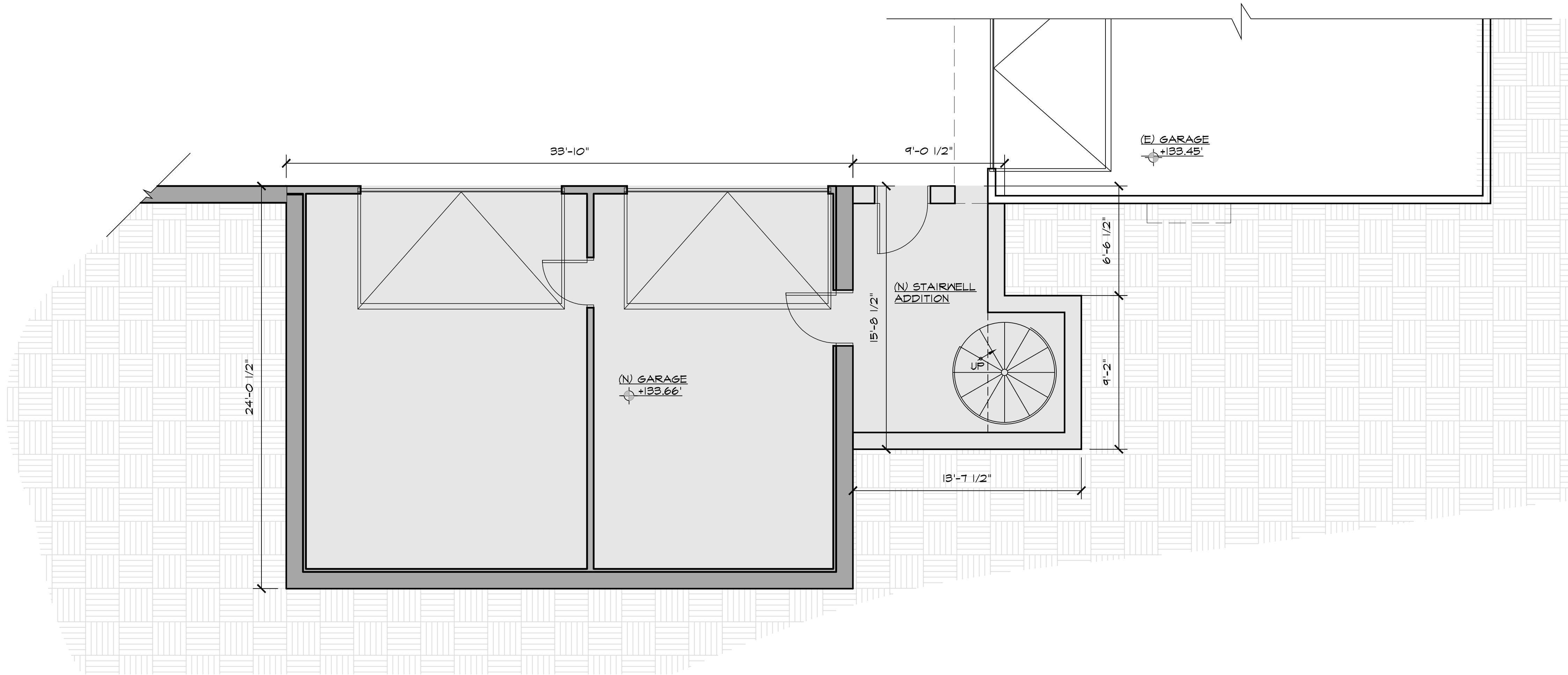
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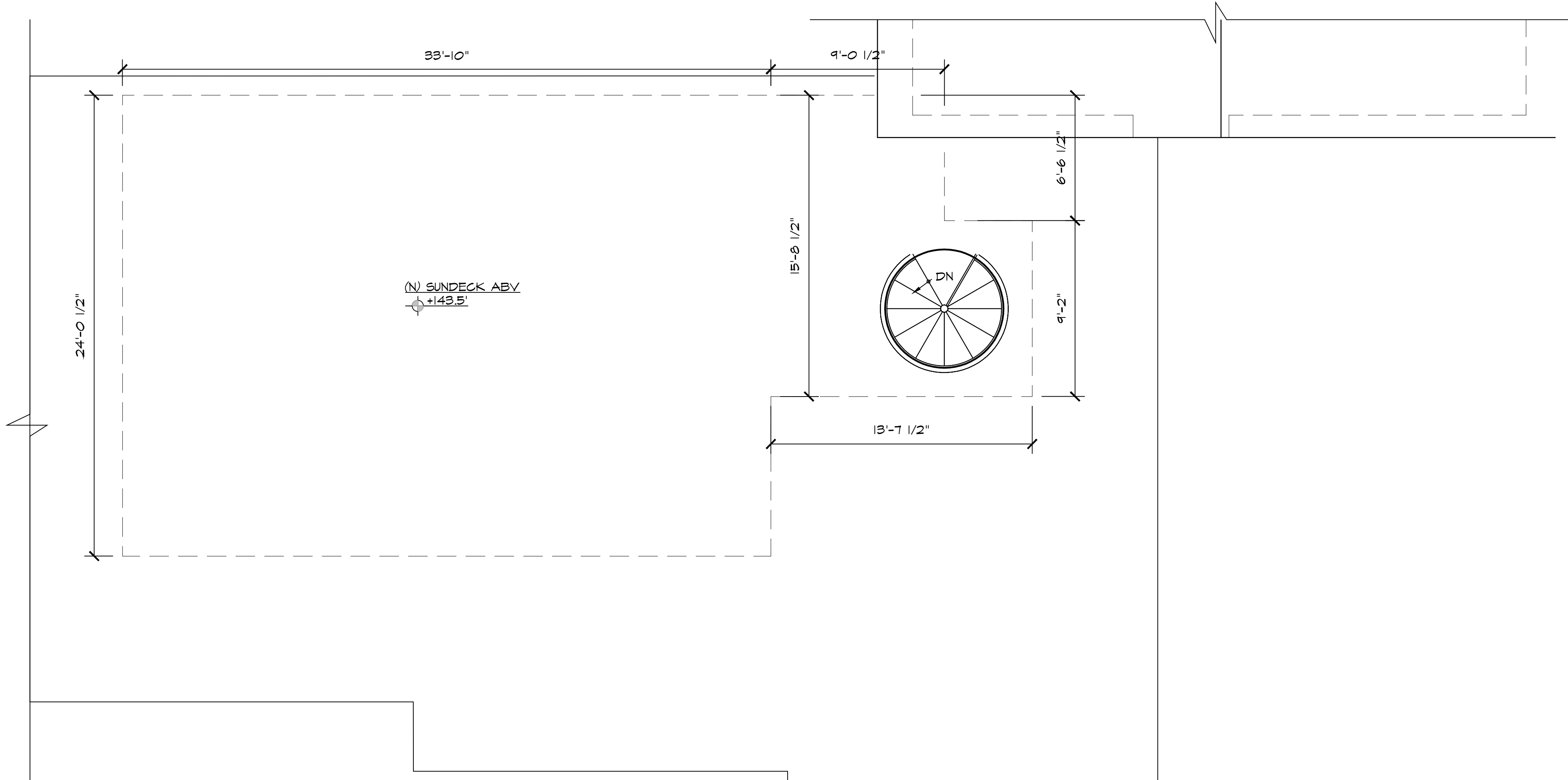
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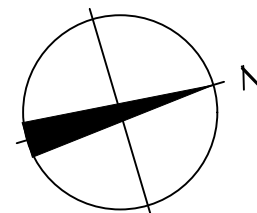
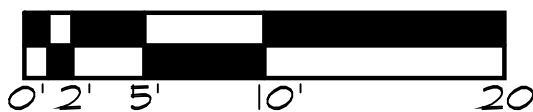
(N) GARAGE FLOOR PLAN W/ DIMENSIONS

1/4" = 1'-0"

2



(N) GARAGE ROOF PLAN (SUNDECK ABV)

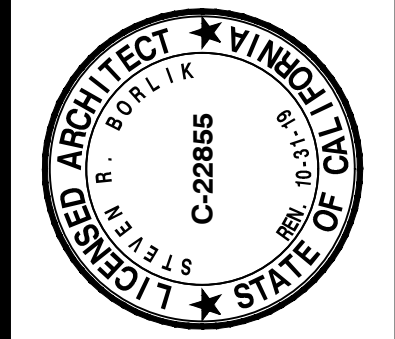


1/4" = 1'-0"

1

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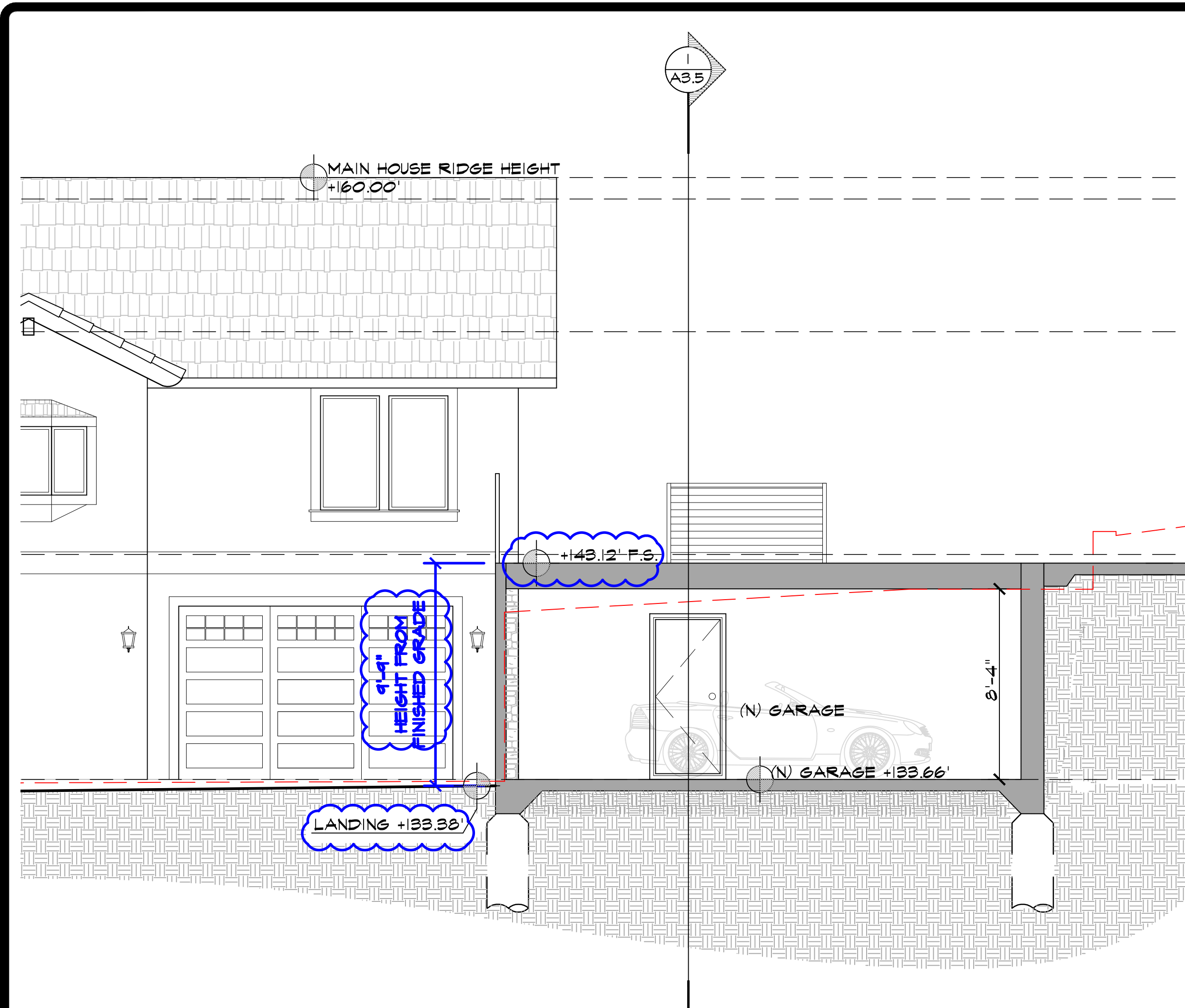
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4962 EL CAMINO REAL, SUITE #218 LOS ALTOS, CA 94022
TEL: (650) 688-1950 FAX: (650) 323-1112 www.ybarchitects.com



SITE DESIGN FOR:
STACEY L. AND JOHN S. WINTER
4070 SOELRO COURT
SAN JOSE, CA 95127

A.P.N. 612-10-018	
CHECKED SRB	DRAWN NP, CS
DATE SEP 11, 2017	
JOB # WINTER	

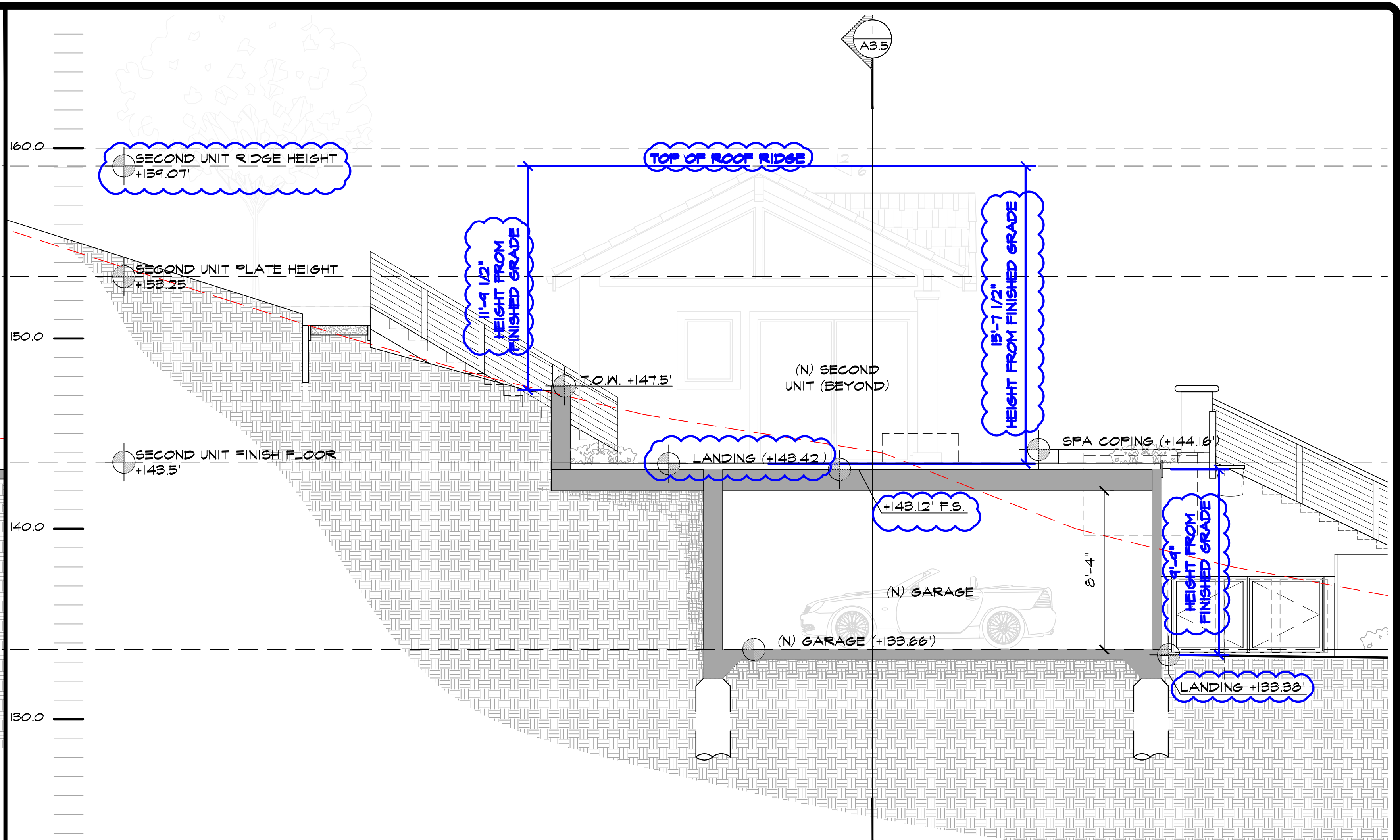
G2.1



SECTION THRU (N) GARAGE

1/4" = 1'-0"

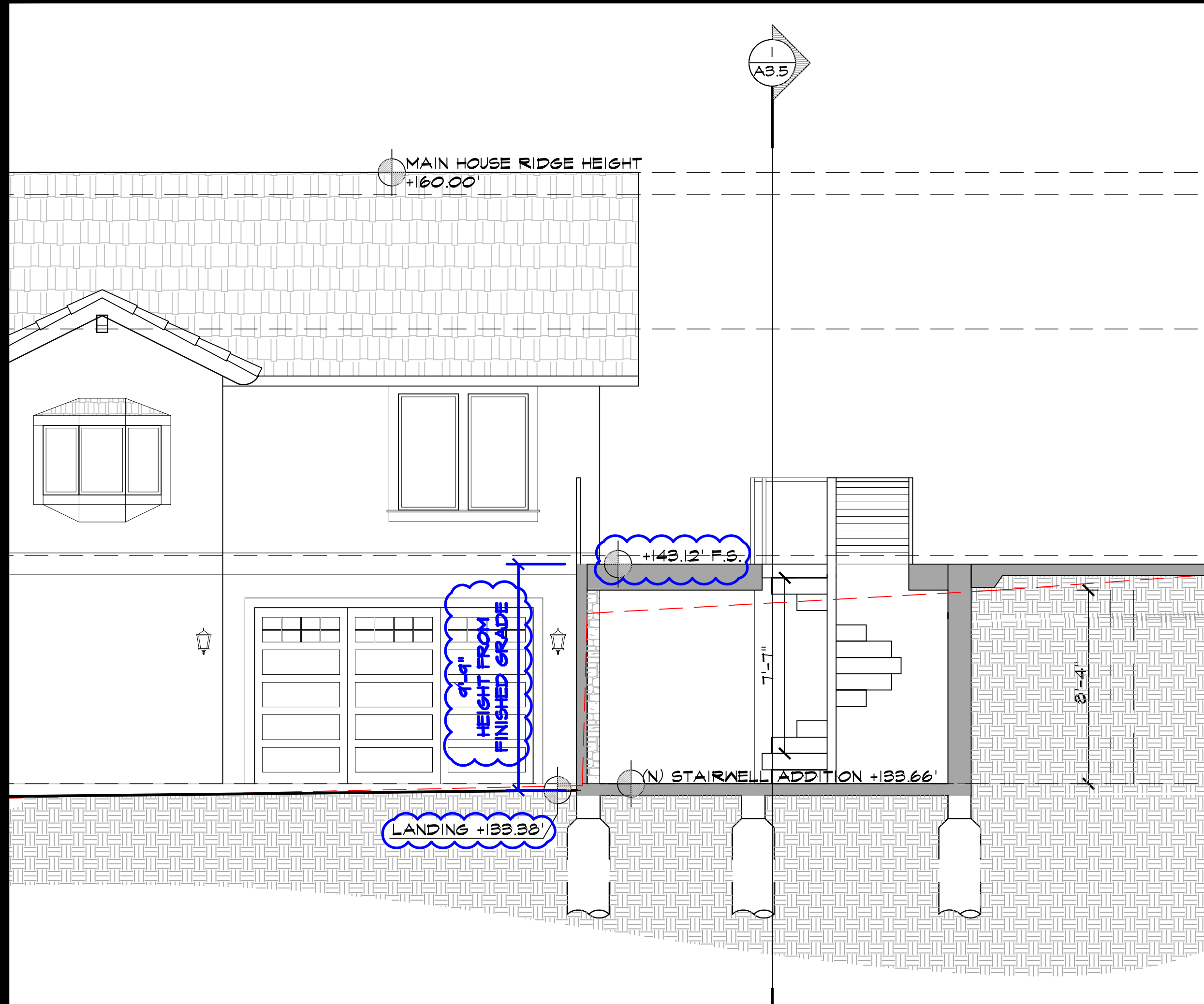
4



SECTION THRU (N) GARAGE

1/4" = 1'-0"

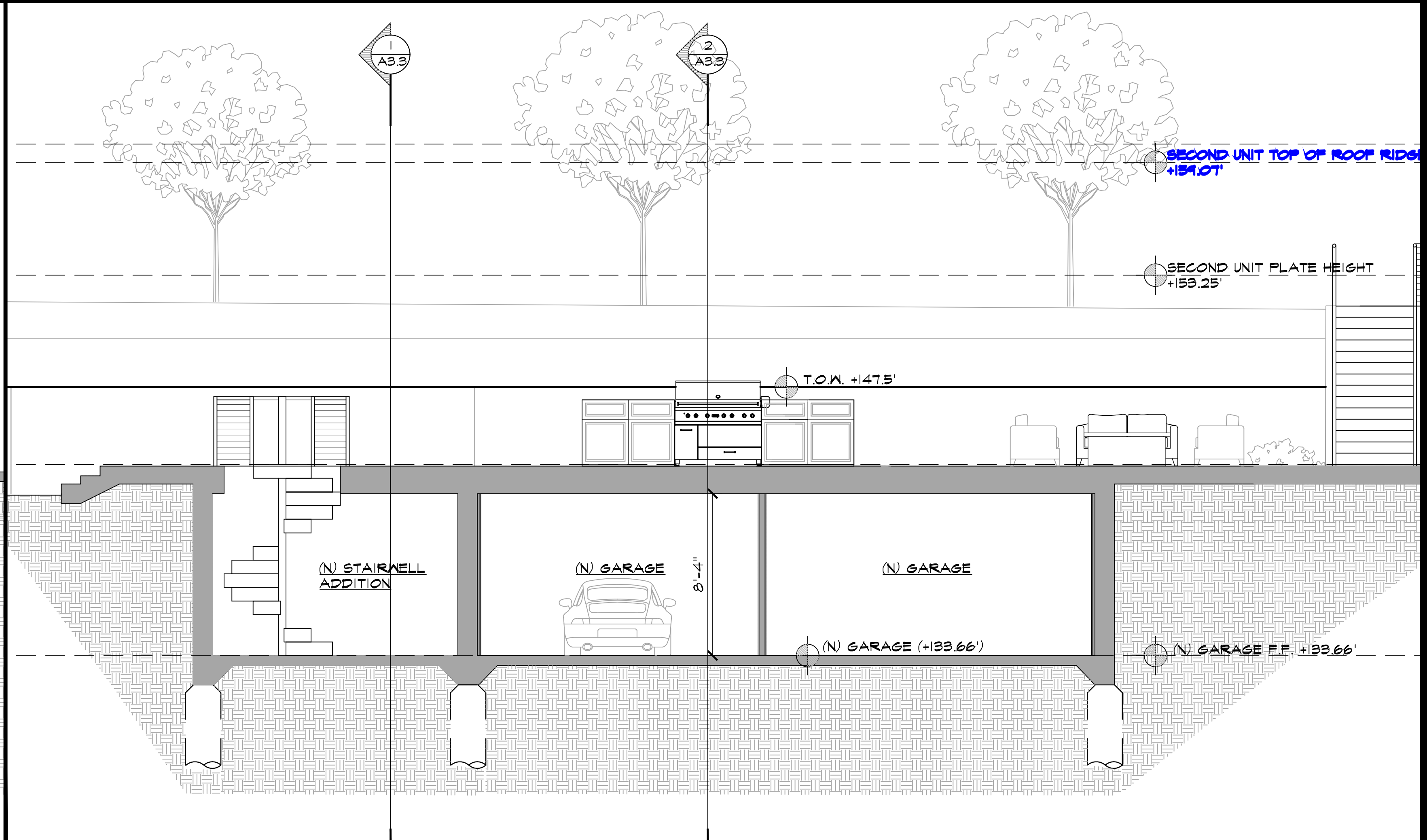
2



SECTION THRU (N) STAIRWELL ADDITION

1/4" = 1'-0"

3



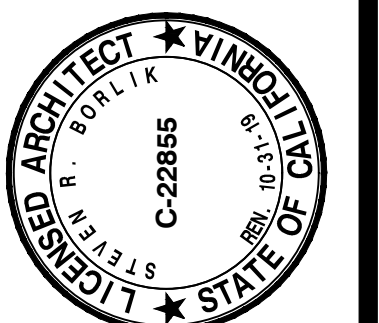
SECTION THRU (N) STAIRWELL, GARAGE AND SUNDECK

1/4" = 1'-0"

1

ISSUE LOG	
DESIGN REVIEW	08.18.2018
SUBMITTAL	08.18.2018
GRADING APPROVAL	08.18.2018
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RESUBMITTAL	NOV 09, 2018
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DESIGN REVIEW	JAN 09, 2019
RESUBMITTAL	JAN 09, 2019

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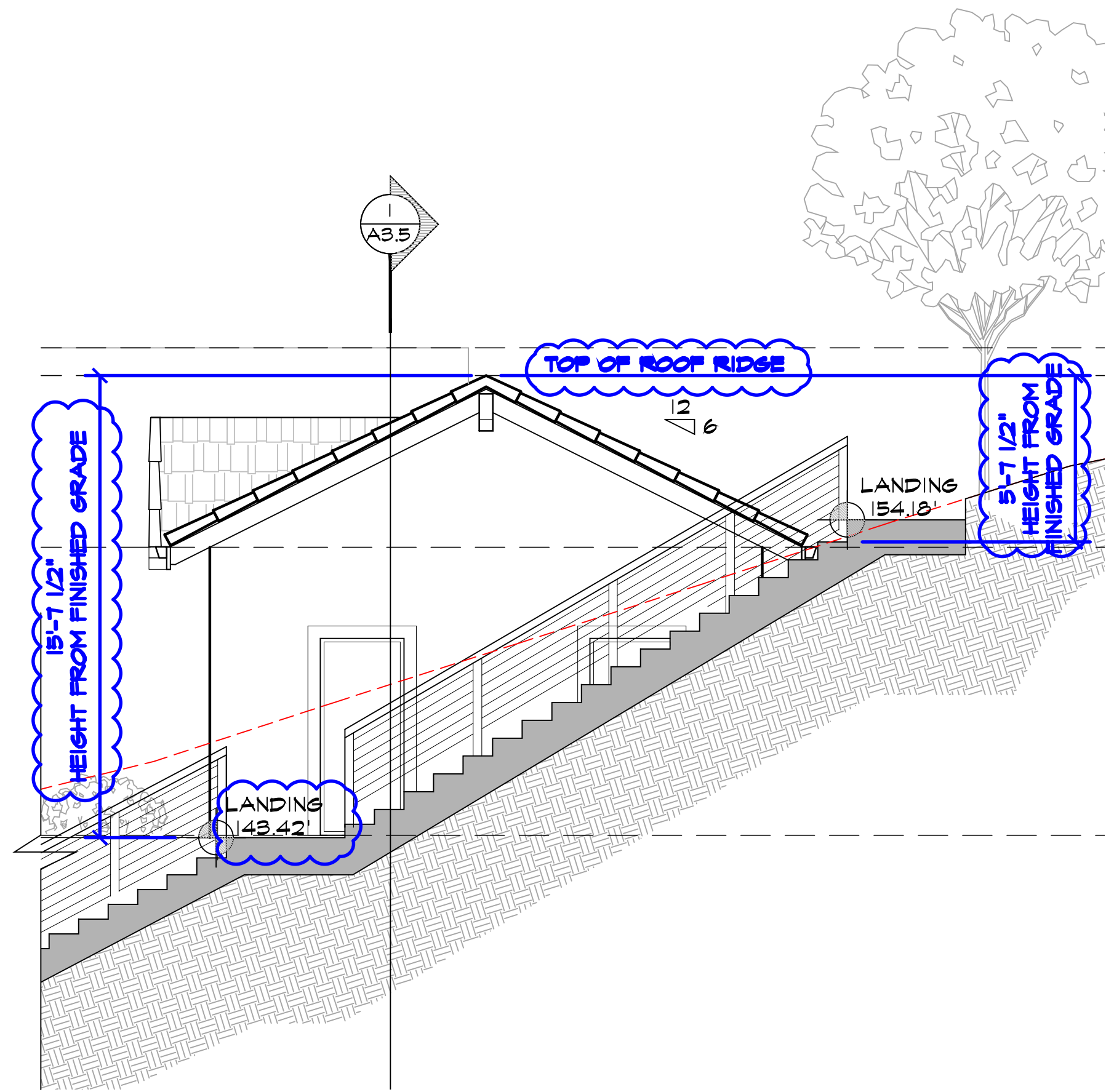


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G4.1

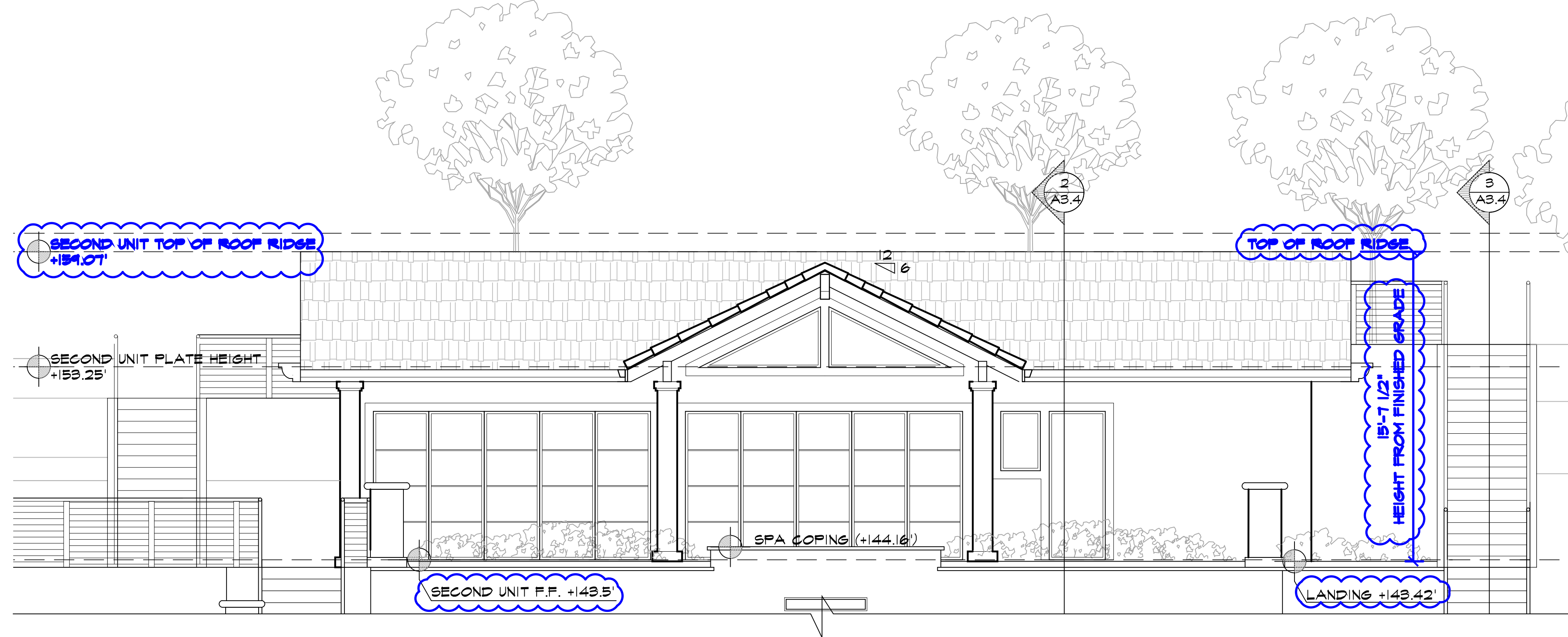
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RIGHT ELEVATION - SECOND UNIT

1/4" = 1'-0"

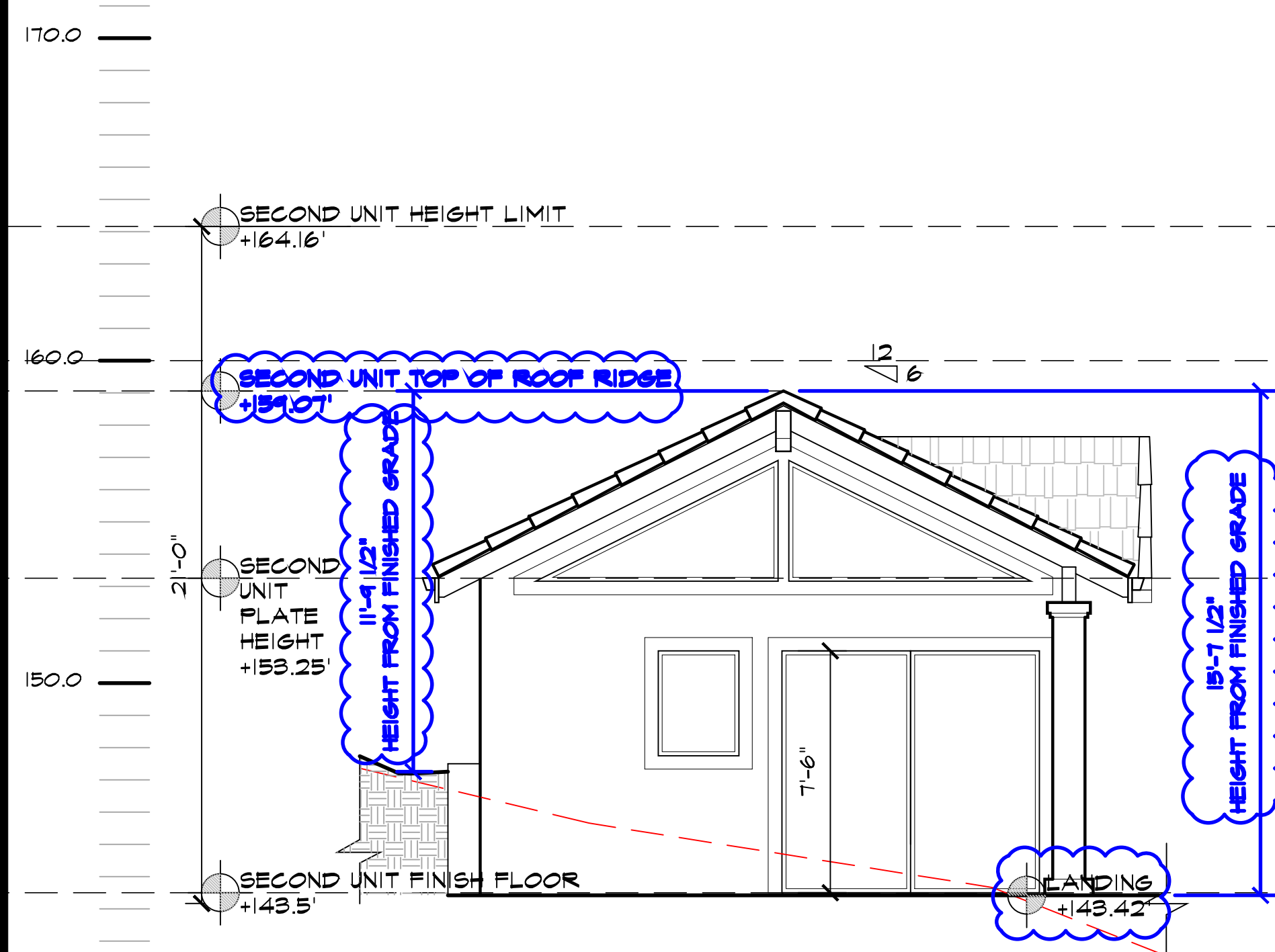
4



FRONT ELEVATION - SECOND UNIT

1/4" = 1'-0"

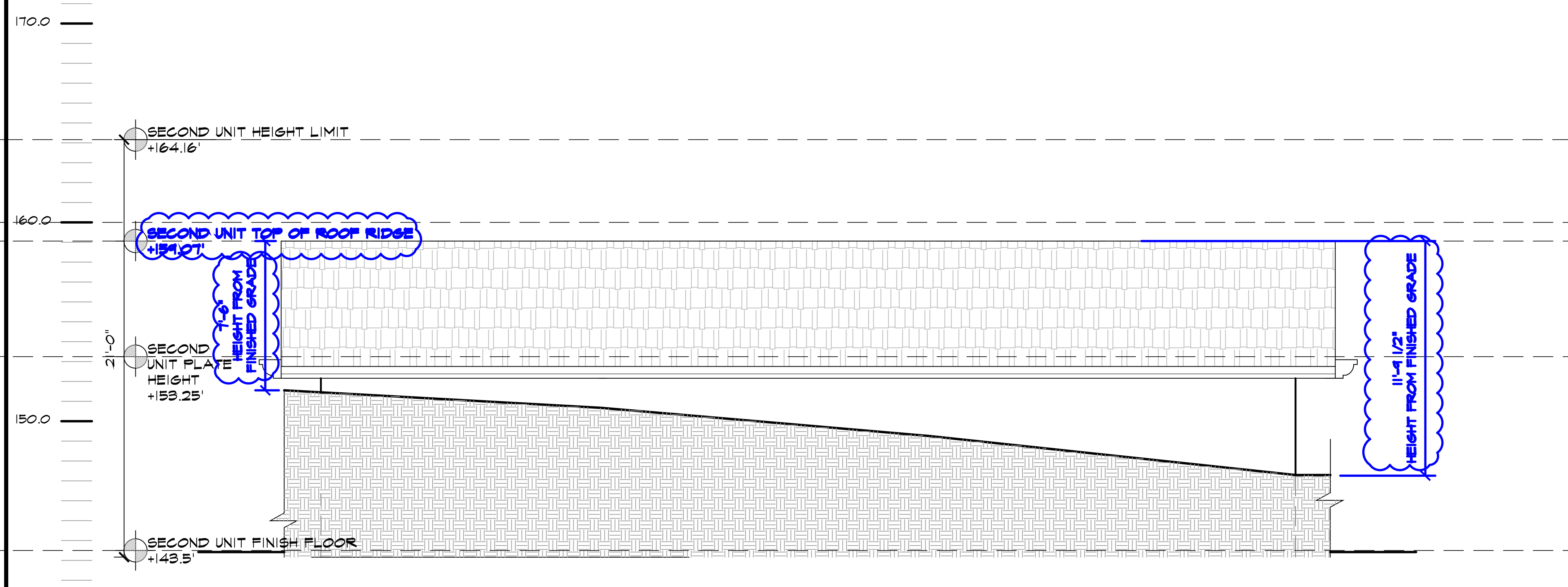
2



LEFT ELEVATION - SECOND UNIT

1/4" = 1'-0"

3



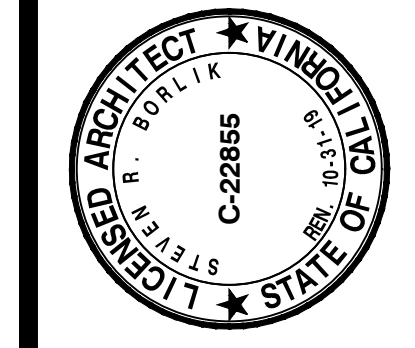
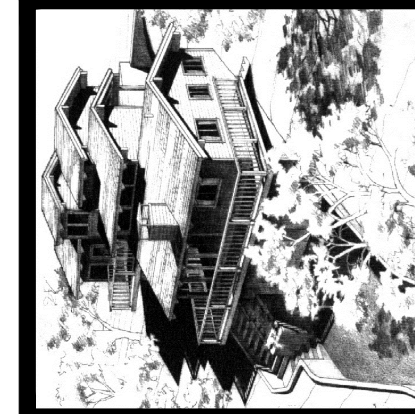
REAR ELEVATION - SECOND UNIT

1/4" = 1'-0"

1

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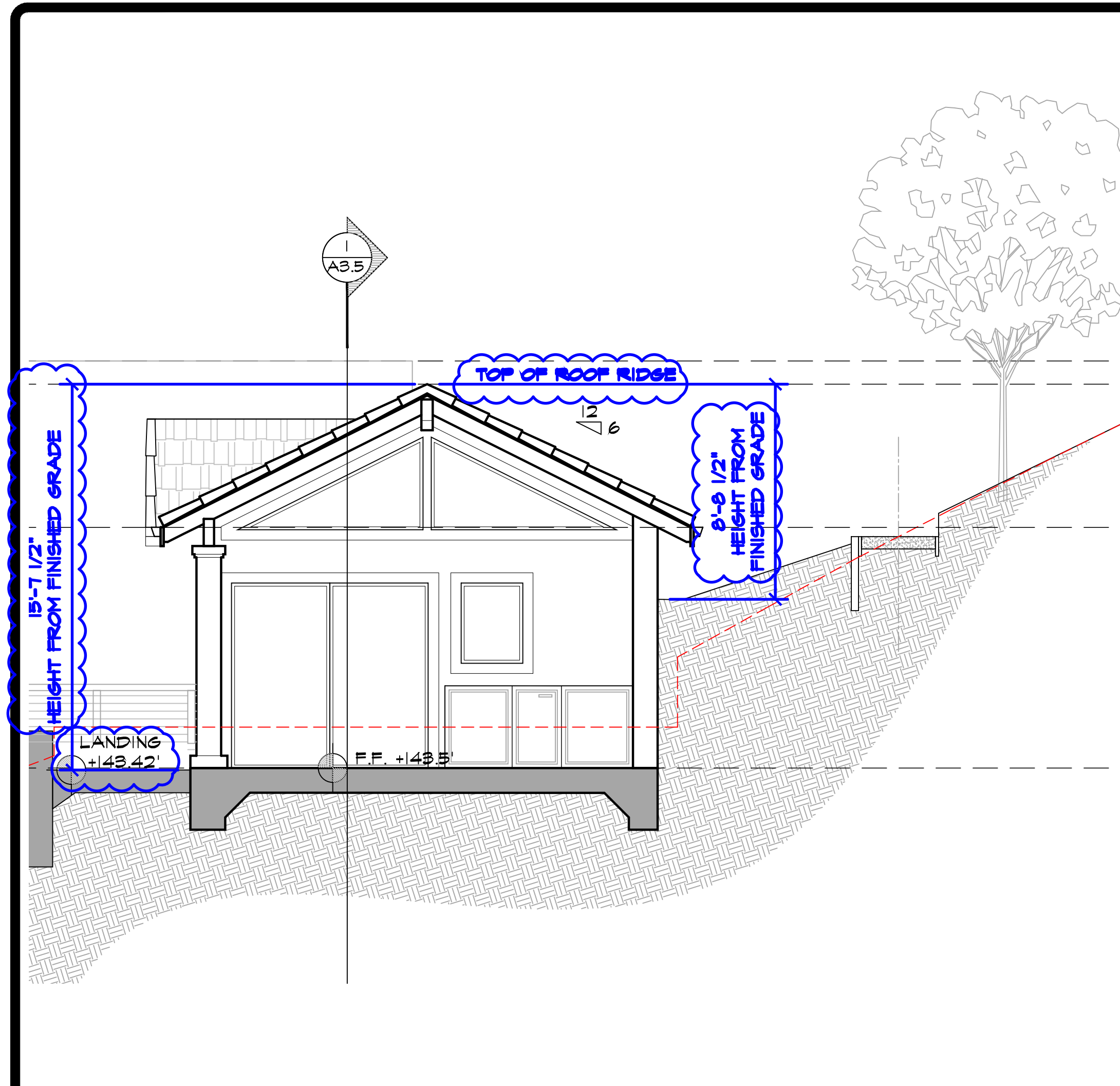
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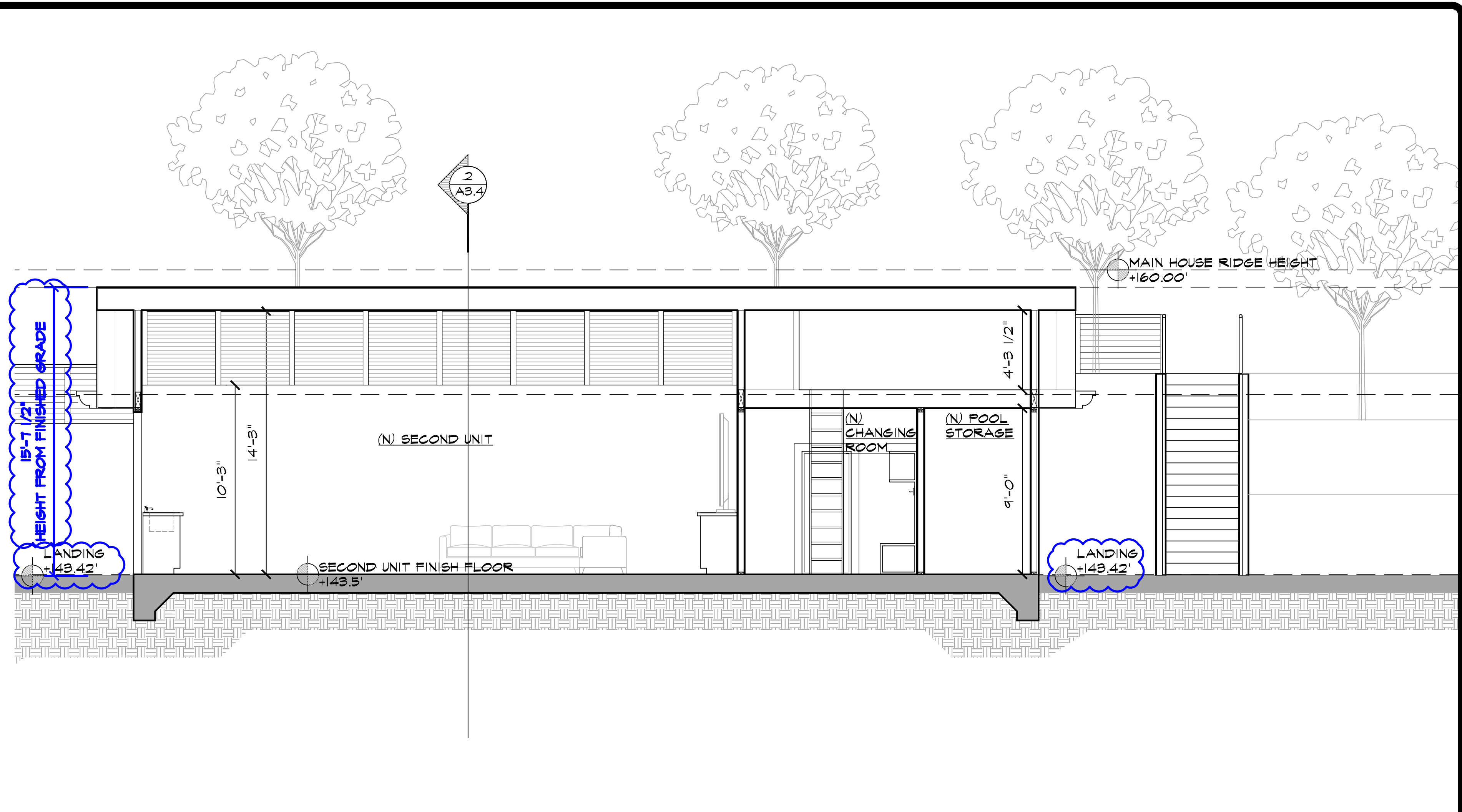
S3.1



SECTION THRU (N) SECOND UNIT

1/4" = 1'-0"

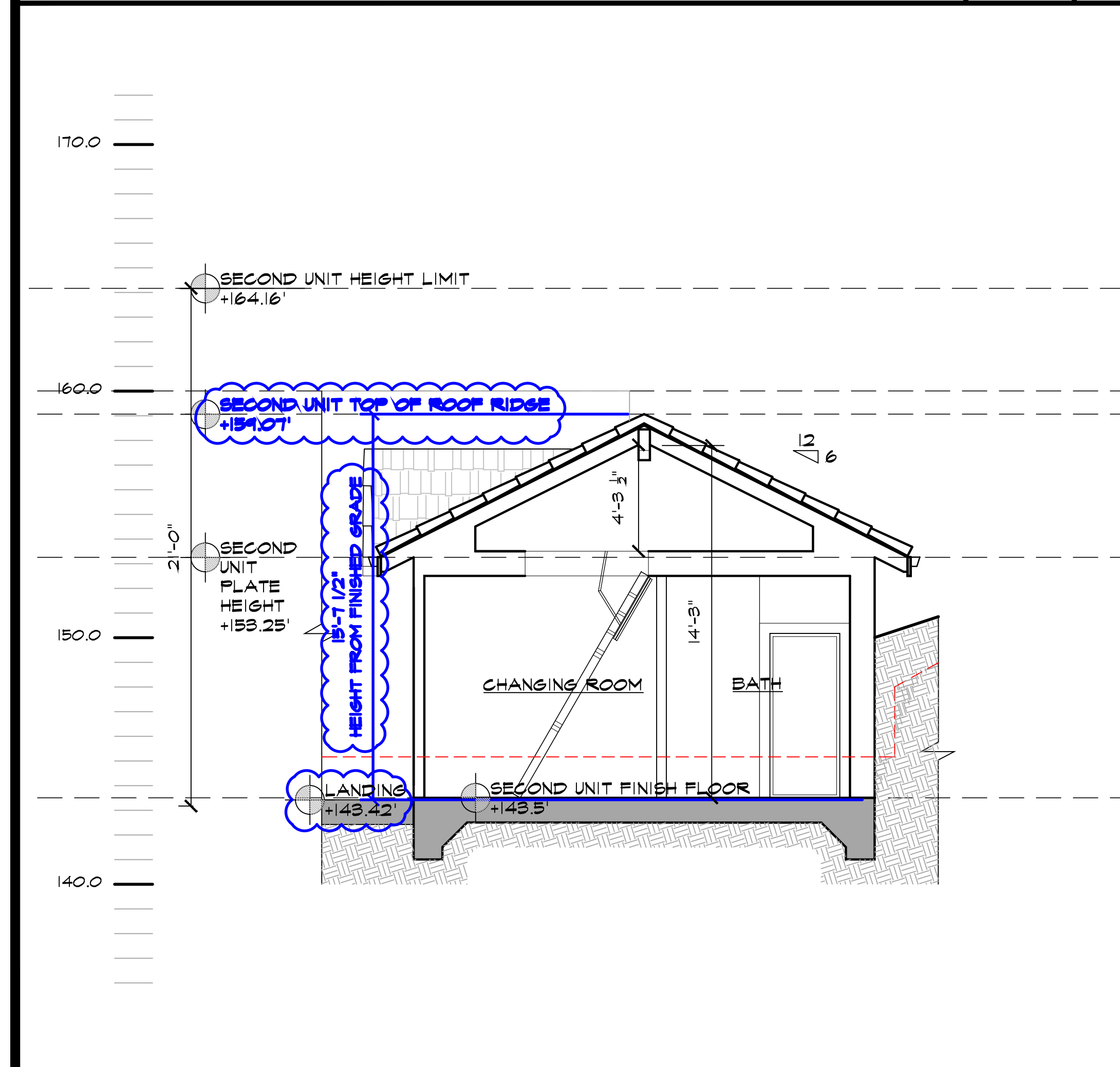
4



SECTION THRU (N) SECOND UNIT, CHANGING ROOM & POOL STORAGE

1/4" = 1'-0"

2



SECTION THRU CHANGING ROOM & BATH

1/4" = 1'-0"

3



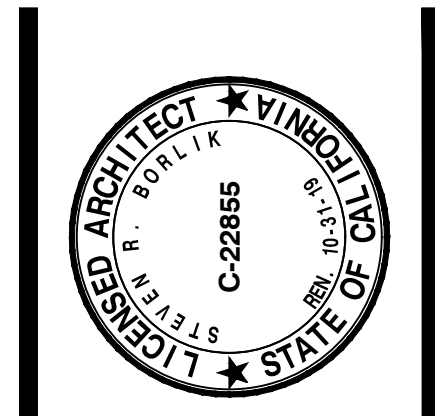
SECTION THRU (N) SECOND UNIT, CHANGING ROOM & POOL STORAGE

1/4" = 1'-0"

1

ISSUE LOG	
DESIGN REVIEW	08 18, 2018
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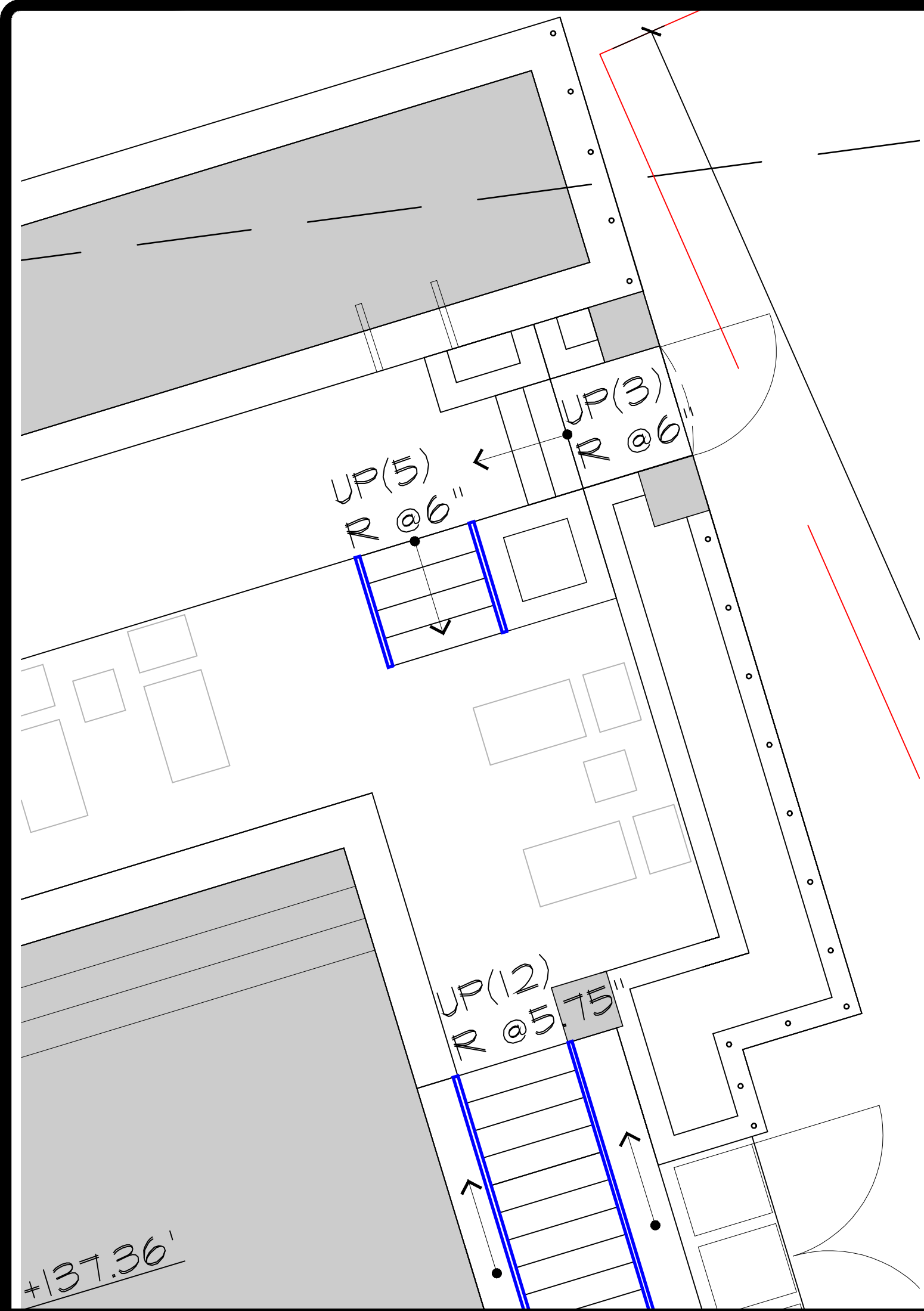


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S4.1

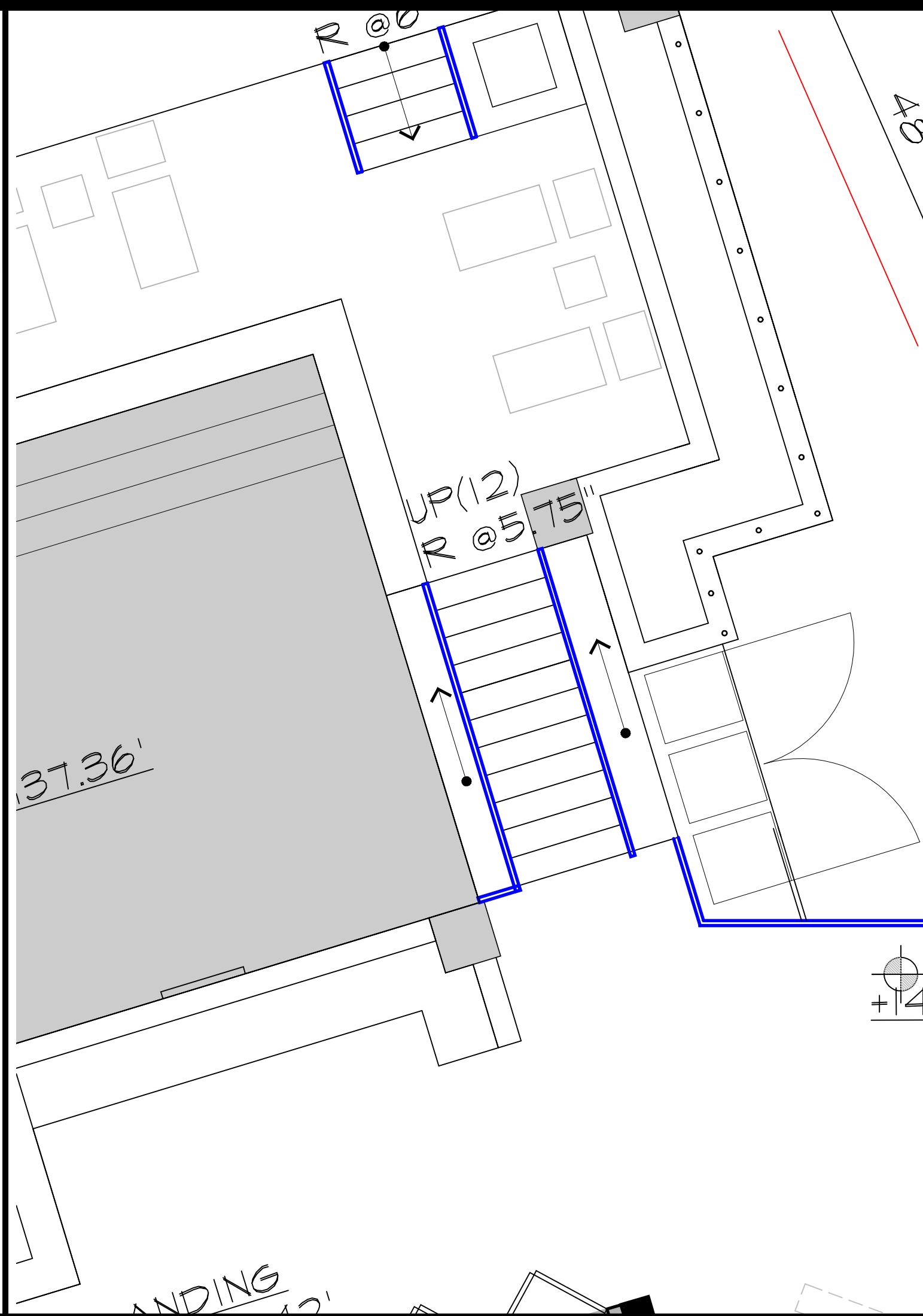
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LOWER STAIRS @ LAP POOL

1/4" = 1'-0"

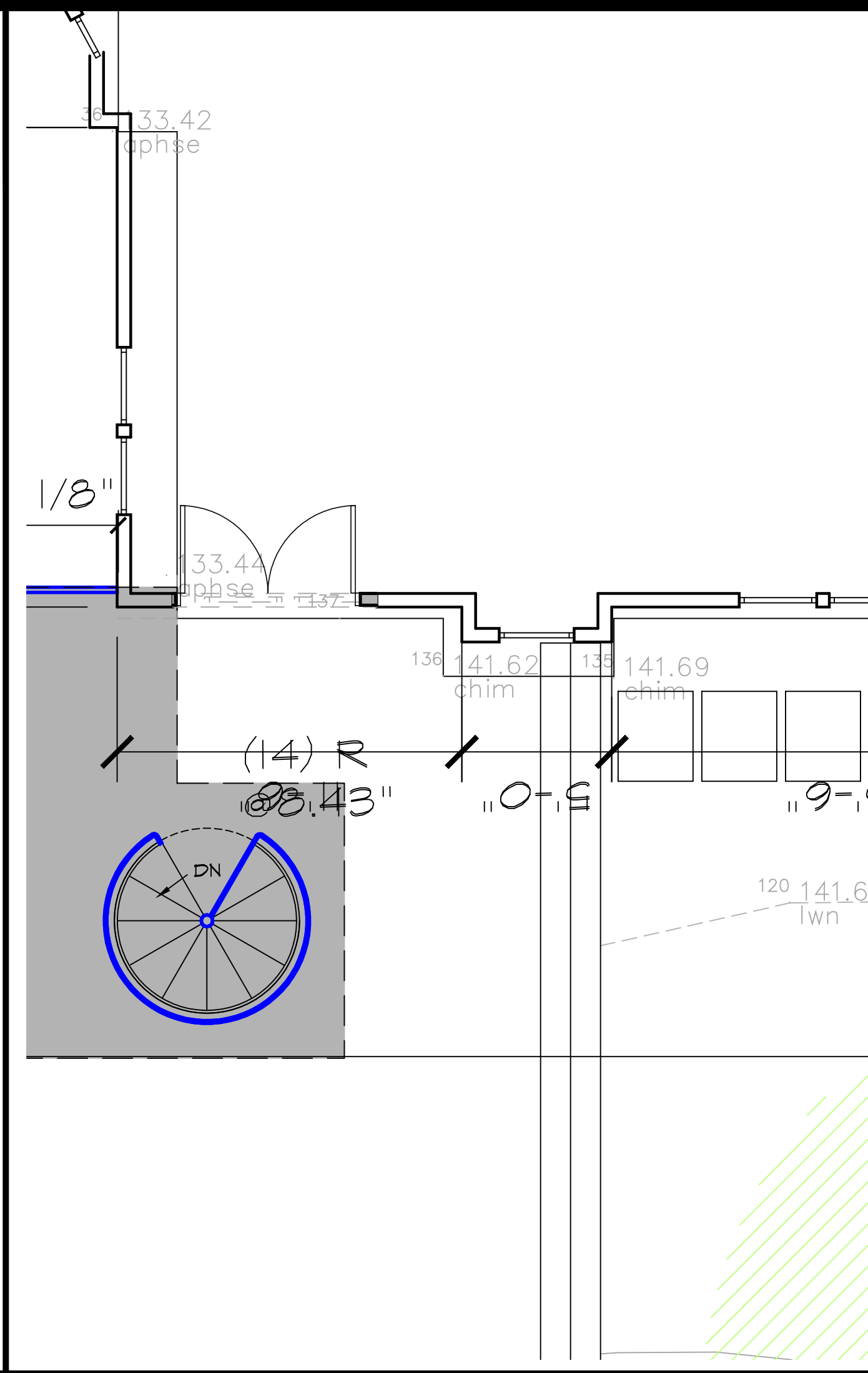
4



UPPER STAIR @ PLAY POOL

1/4" = 1'-0"

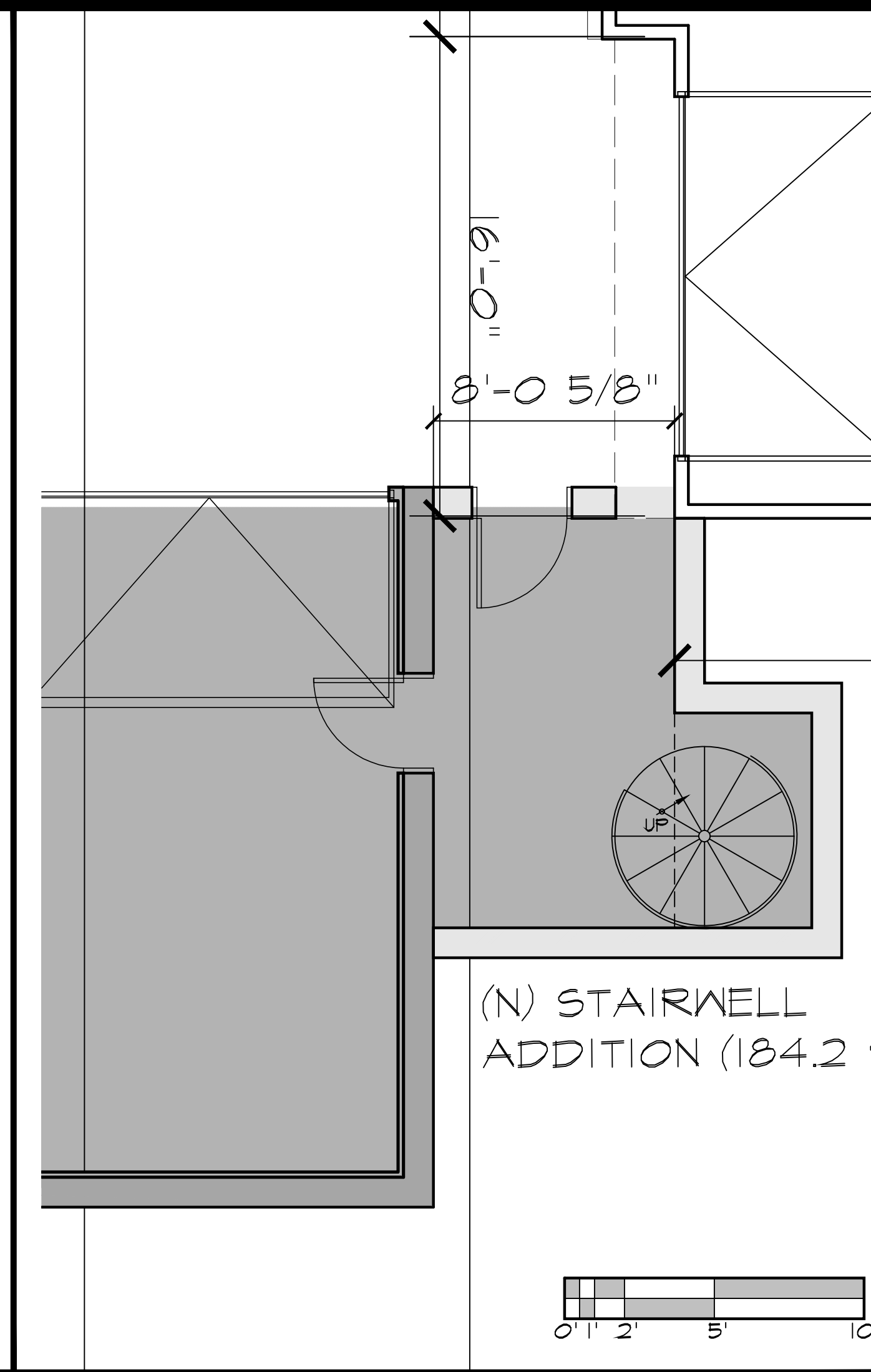
3



SPIRAL STAIR @ (N) DECK

1/4" = 1'-0"

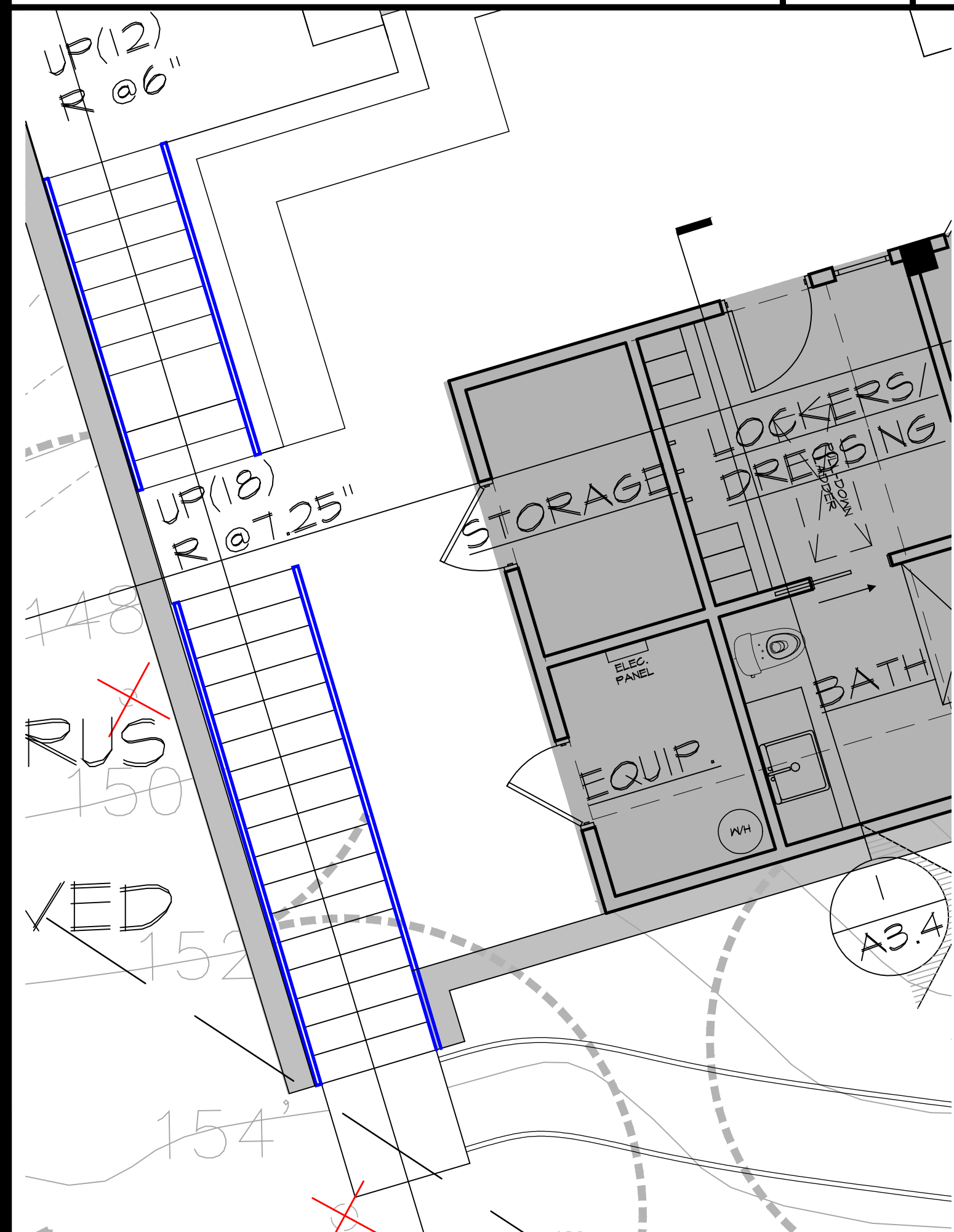
2



SPIRAL STAIR @ GARAGE

1/4" = 1'-0"

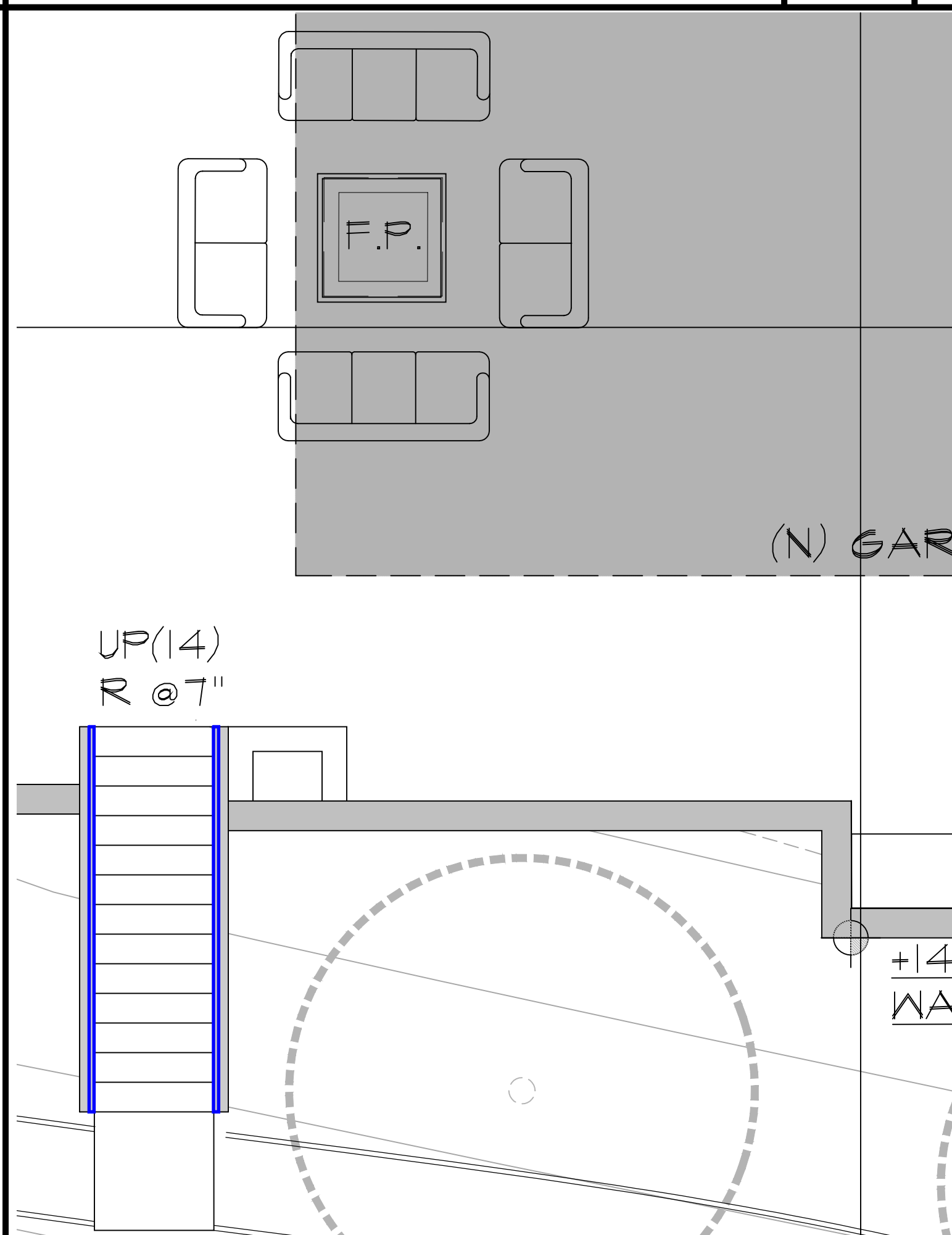
1



SIDE ACCESS STAIRS @ 2ND UNIT

1/4" = 1'-0"

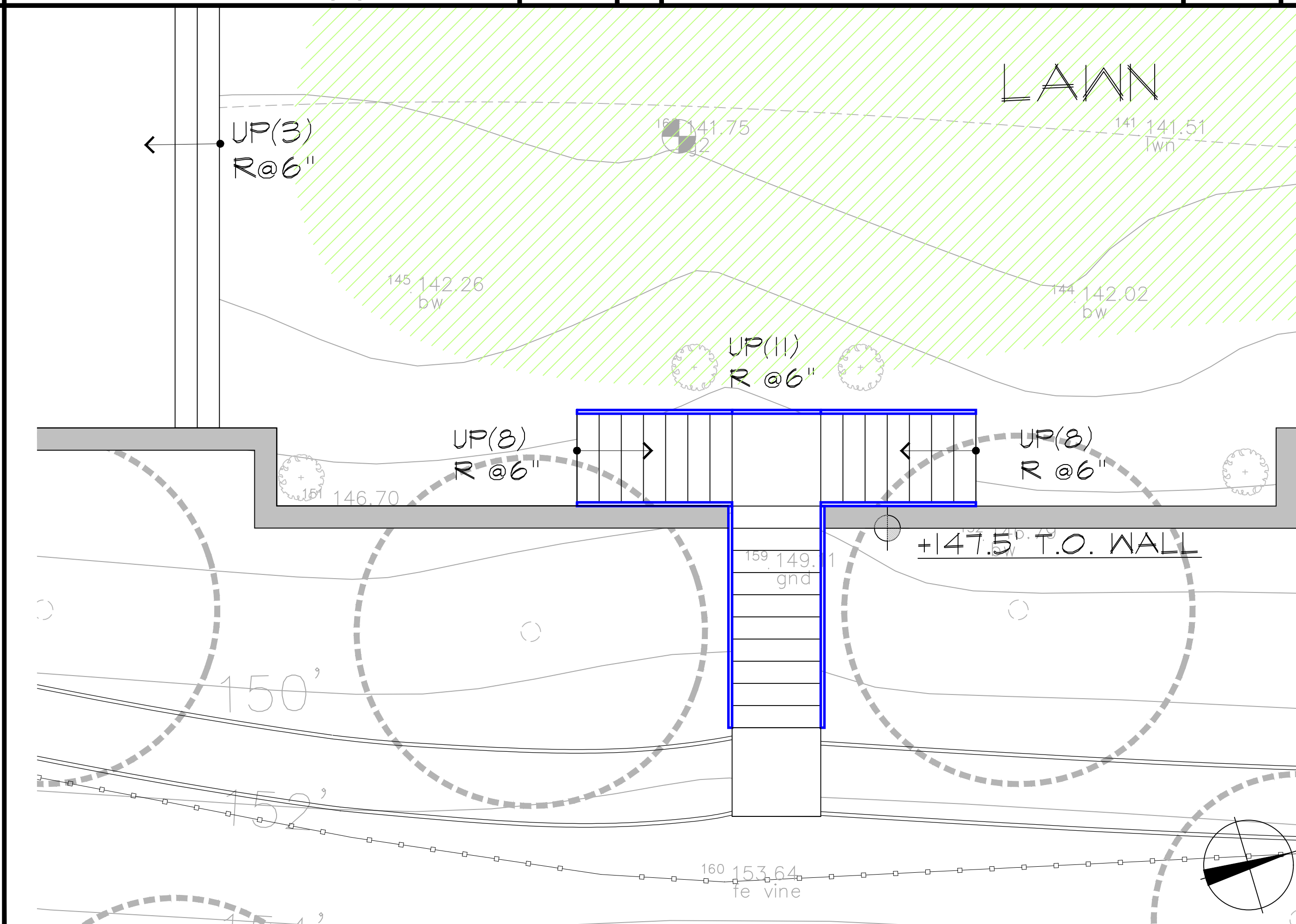
7



UPPER STAIR @ 2ND UNIT

1/4" = 1'-0"

6



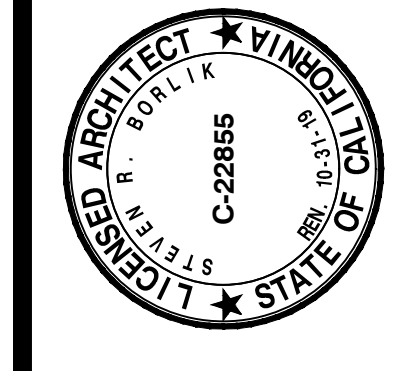
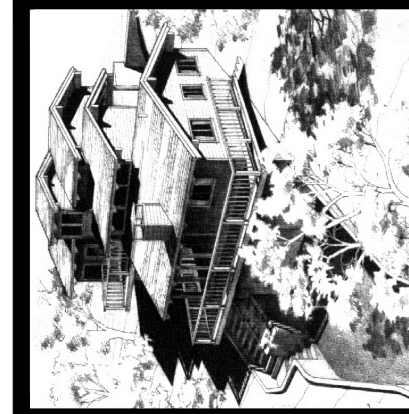
VINEYARD STAIRS

1/2" = 1'-0"

5

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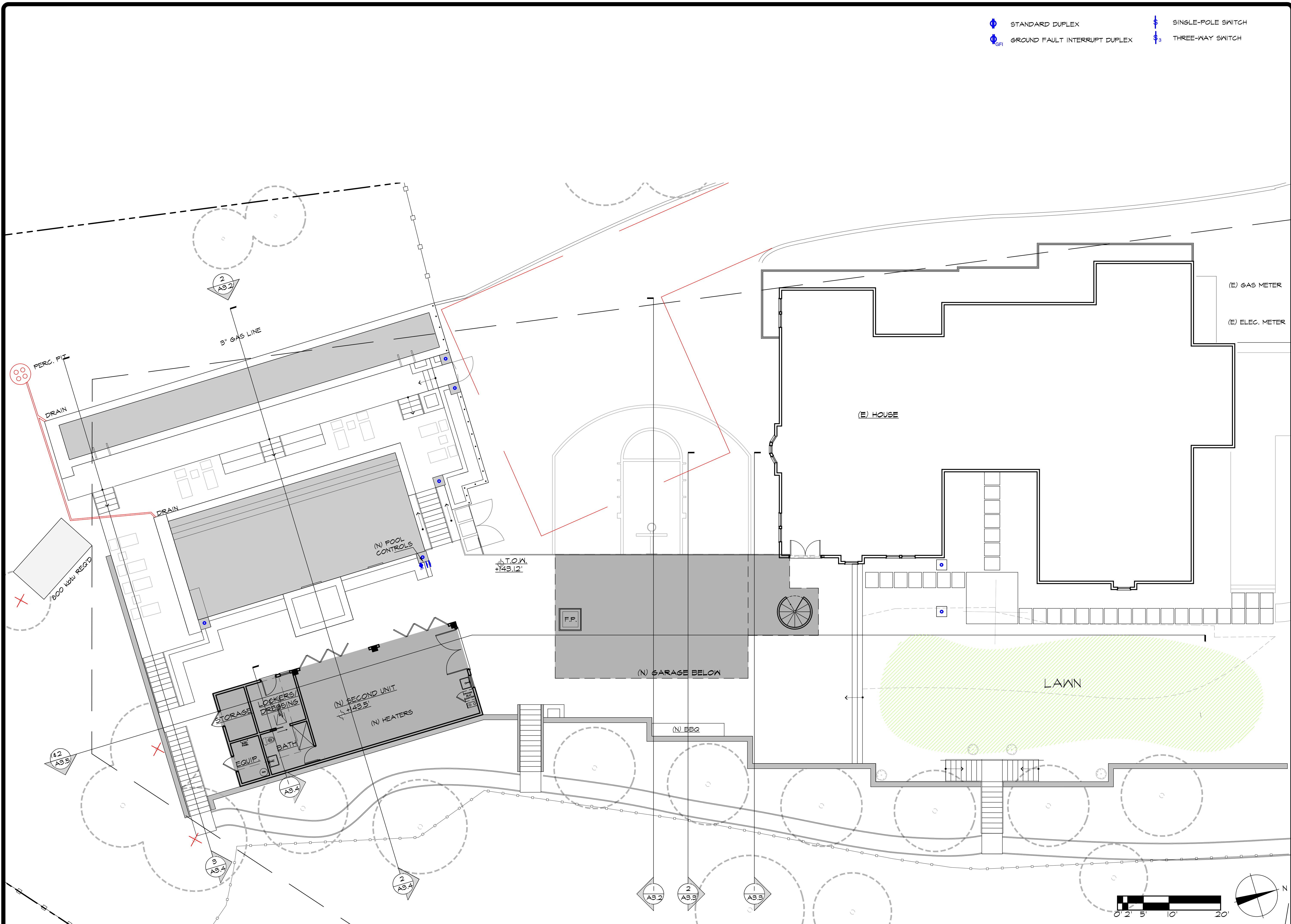


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A6.1

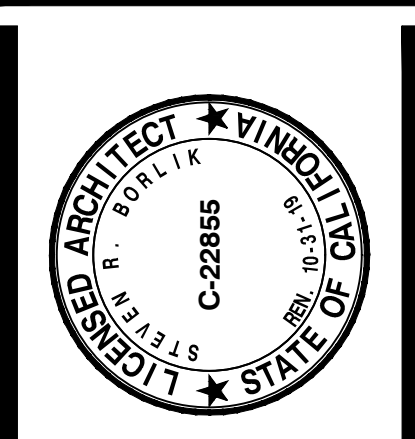
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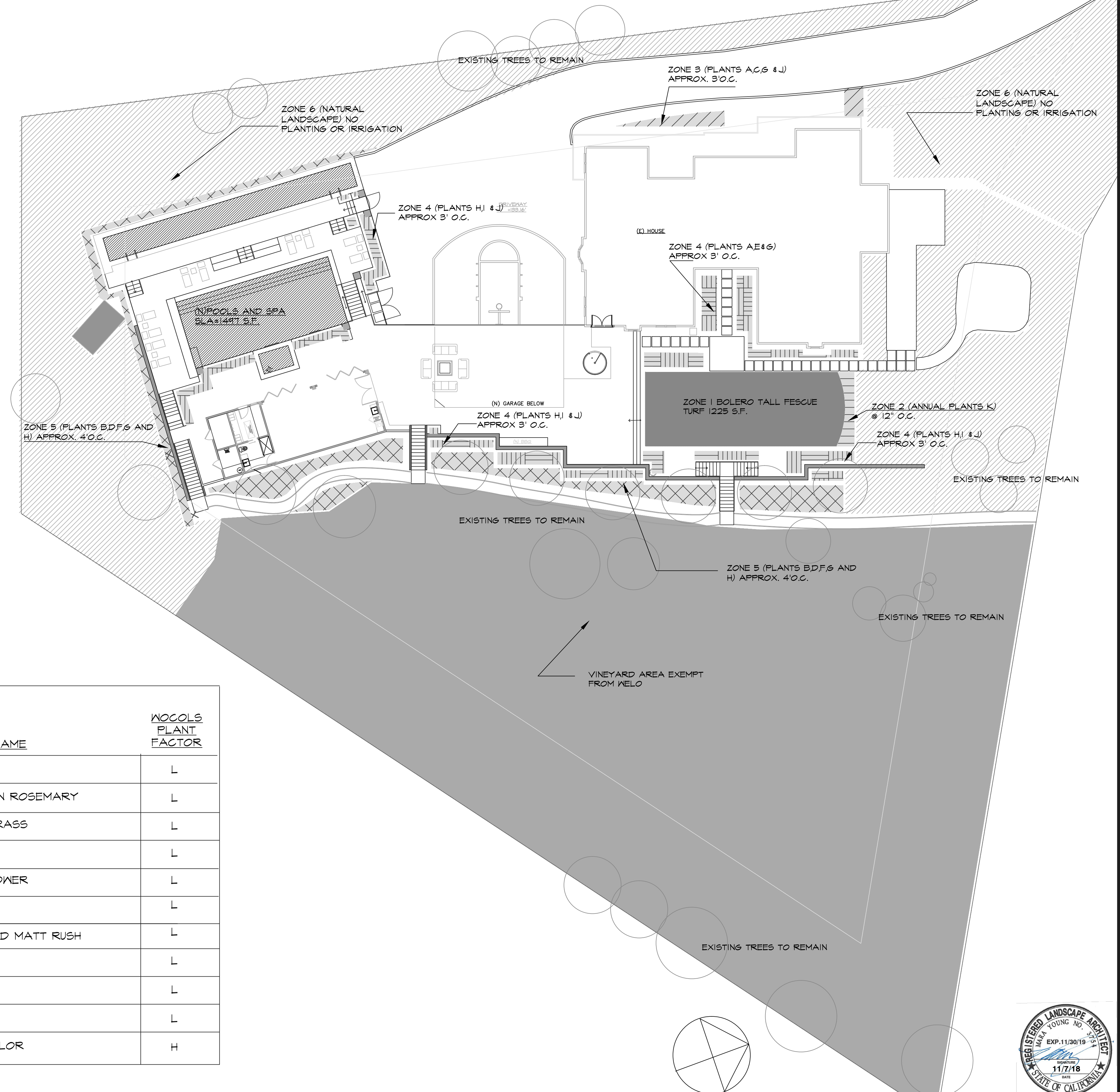
A.P.N. 612-10-018	
CHECKED SRB	DRAWN NP, CS
DATE SEP 11, 2017	
JOB # WINTER	
ME2.1	

PROPOSED SITE MECHANICAL / ELECTRICAL & OUTDOOR LIGHTING PLAN

I WILL COMPLY WITH THE CRITERIA OF THE SUSTAINABLE LANDSCAPE ORDINANCE. I HAVE APPLIED THE PRINCIPALS FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.

TOTAL TURF SHALL NOT EXCEED 25% OF THE LANDSCAPED AREA OR 1250 S.F. WHICHEVER IS LESS IN AREA. ALL PORTIONS OF TURF AREA SHALL BE WIDER THAN 8'-0" AND TURF SHALL NOT BE PLANTED ON SLOPES EXCEEDING 25%

A MIN 3" LAYER OF MULCH SHALL BE ADDED ON ALL EXPOSED SOIL SURFACES, WITH THE EXCEPTION OF TURF OR HYDROSEED.



PLANT LIST					NOCOLS PLANT FACTOR
#	QU.	SIZE	BOTANICAL NAME	COMMON NAME	
A	AS SHOWN	5G	MYRTUS COMMUNIS 'COMPACTA'	MRYTLE	L
B		2G	WESTRINGIA 'MUNDI'	AUSTRALIAN ROSEMARY	L
C		5G	MISCANTHUS 'MORNING LIGHT'	EULALIA GRASS	L
D		1G	ROSEMARINUS PROSTRATUS	ROSEMARY	L
E		5G	LOROPETALUM 'PURPLE PIXIE'	FRINGE FLOWER	L
F		5G	CHONDROPETALUM ELEPHANTUM	CAPE RUSH	L
G		1G	LOMONDRA 'PLATINUM BEAUTY'	VARIEGATED MATT RUSH	L
H		5G	LAVANDULA INTERMEDIO 'GROSSO'	LAVENDER	L
I		5G	SALVIA 'HOT-LIFTS'	SAGE	L
J		1G	ARCTOSTAPHYOS 'EMERALD CARPET'	MANZANITA	L
K		1G	ANNUALS: FANSY, PRIMROSE ETC	ANNUAL COLOR	H

$$1/16'' = 1'-0''$$

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MARA YOUNG
LANDSCAPE ARCHITECT
202-2-2-1111

PRELIMINARY LANDSCAPE PLAN

STACEY L. AND JOHN S. WINTER
4070 SOLERO COURT
SAN JOSE, CA 95127

APN: 612-10-018

DRAWN MY
CHECKED MY
DATE 11/7/18
SCALE 1/16"=1'-0"
JOB NO. xxx
SHEET

L-1

OF SHEETS

PLANT LIST					WOCOLS PLANT FACTOR
#	QU.	SIZE	BOTANICAL NAME	COMMON NAME	
A	AS SHOWN	5G	MYRTUS COMMUNIS 'COMPACTA'	MRYTLE	L
B		2G	WESTRINGIA 'MUNDI'	AUSTRALIAN ROSEMARY	L
C		5G	MISCANTHUS 'MORNING LIGHT'	EULALIA GRASS	L
D		1G	ROSEMARINUS PROSTRATUS	ROSEMARY	L
E		5G	LOROPETALUM 'PURPLE PIXIE'	FRINGE FLOWER	L
F		5G	CHONDROPETALUM ELEPHANTUM	CAPE RUSH	L
G		1G	LOMONDRA 'PLATINUM BEAUTY'	VARIEGATED MATT RUSH	L
H		5G	LAVANDULA INTERMEDIO 'GROSSO'	LAVENDER	L
I		5G	SALVIA 'HOT-LIPTS'	SAGE	L
J		1G	ARCTOSTAPHYOS 'EMERALD CARPET'	MANZANITA	L
K		1G	ANNUALS: PANSY, PRIMROSE ETC	ANNUAL COLOR	H



PLANT A -MYRTUS COMMUNIS 'COMPACTA'
TRUE MYRTLE



PLANT B -WESTRINGIA 'MUNDI'
COAST ROSEMARY



PLANT C -MISCANTHUS 'MORNING LIGHT'
EULALIA GRASS



PLANT D- ROSMARINUS PROSTRATUS
ROSEMARY



PLANT E- LOROPETALUM 'PURPLE PIXIE'
FRINGE FLOWER



PLANT F - CHONDROPETALUM ELEPHANTUM
CAPE RUSH



PLANT G - LOMONDRA 'PLATINUM BEAUTY'
VARIEGATED MATT RUSH



PLANT H -LAVANDULA INT. 'GROSSO'
LAVENDER



PLANT I-SALVIA 'HOT-LIPS'
SAGE



PLANT J -ARCTOSTAPHYLOS 'EMERALD
CARPET'-MANZANITA



PLANT K -ANNUAL COLOR

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PLANT IMAGES

STACEY L. AND JOHN S. WINTER
4070 SOLERO COURT
SAN JOSE, CA 95127



PLANT IMAGES

NTS 1

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CHECKED MY
DATE 11/7/18
SCALE NTS
JOB NO. xxx
SHEET L-2
OF SHEETS

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ET _o)						
Hydrozone # [Planting Description]	Plant Factor (PF)	Irrigation Method ^a	Irrigation Efficiency (IE) ^b	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area Estimated Total Water Use (ETWU) ^c
Regular Landscape Areas						
Zone 1 fescue/turf	.6	spray	.75	.8	1225	980
Zone 2 flowers high water use	.7	spray	.75	.93	71	66
Zone 3, 4 & 5	.30	drip	.81	.37	1842	681
Zone 6 natural landscape	0	0	0	0	24804	0
				Totals	27942	1727
Special Landscape Areas						
				1	1497	1497
				1		
				1		
				Totals	1497 ^d	1497 ^d
					ETWU Total	
						98,741
				Maximum Allowed Water Allowance (MAWA) ^e		495,782

Hydrozone ♦ Planting Description ♦ 1) front lawn 2) low water use plantings 3) medium water use planting	Irrigation Method overhead spray or drip	Irrigation Efficiency 0.75 for spray head 0.81 for drip	ET_W (Annual Gallons Required) $E_t \times 0.62 \times \text{ETAF} \times \text{Area}$ where 0.62 is a conversion factor that converts acres in per acre year to gallons per square foot per year.
MAWA (Annual Gallons Allowed) = (E_{to}) (0.62) (1/ETAF) × LA + ((ETAF) × SLA) where 0.62 is a conversion factor that converts acres in per acre year to gallons per square foot per year. LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.			

ETAF Calculations

Regular Landscape Areas

Total ETAF x Area	(B)	1727
Total Area	(A)	27942
Average ETAF	$B \div A$	.06

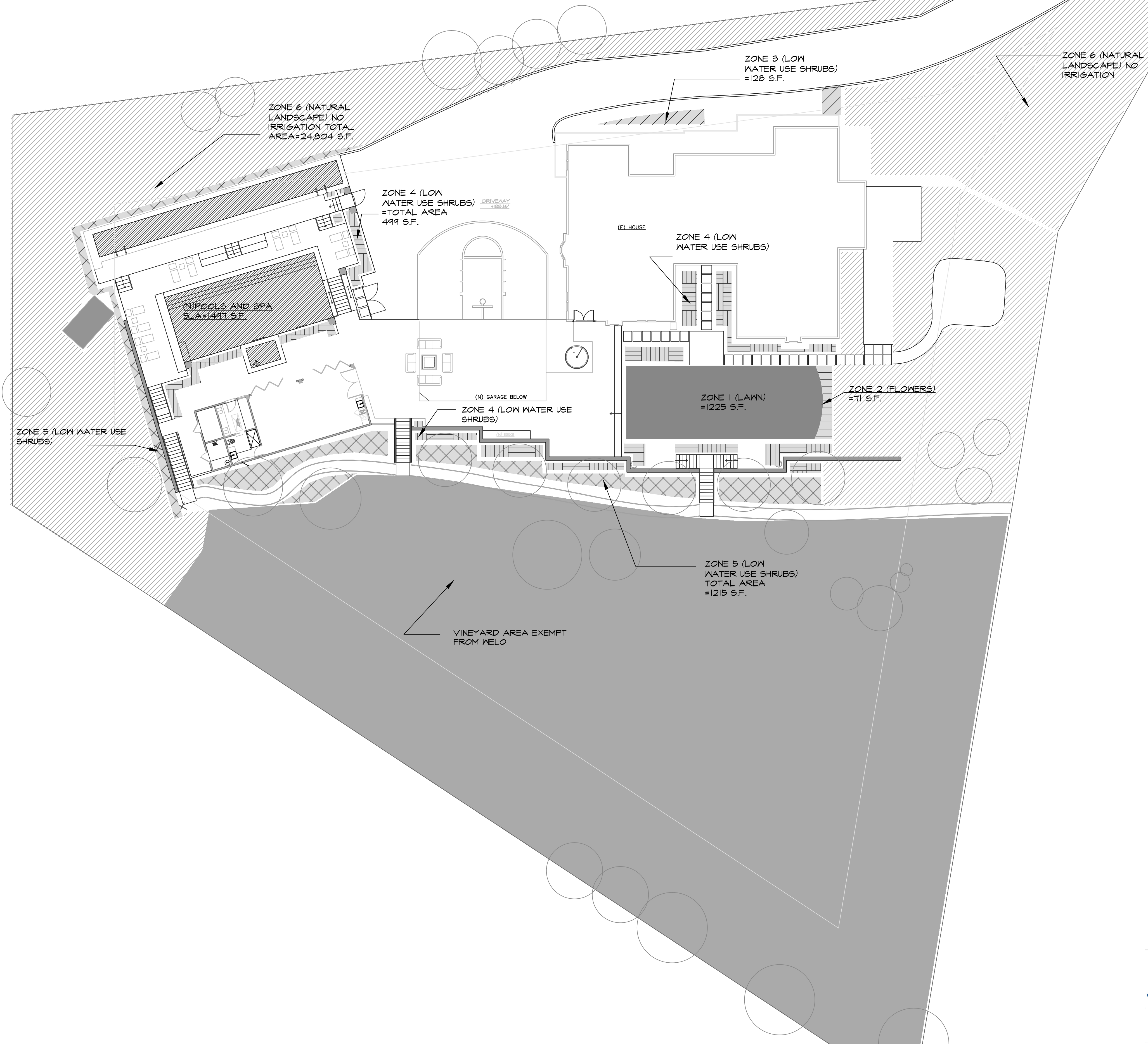
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas		
Total ETAF x Area	(B+D)	3224
Total Area	(A+C)	29439
Sitewide ETAF	$(B+D) \div (A+C)$	.10

A copy of this form may be obtained from Department of Water Resources website:
<http://www.water.ca.gov/wateruseefficiency/landscapeordinance/>

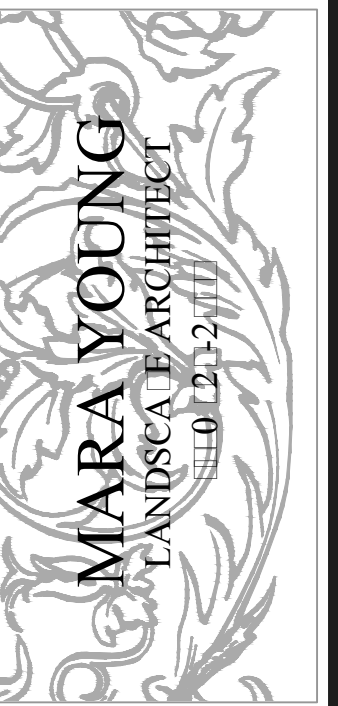
HYDROZONES

ZONE 1 (LAWN)	=1225 S.F.
ZONE 2 (FLOWERS)	=71 S.F.
ZONE 3 (LOW WATER USE SHRUBS)	=120 S.F.
ZONE 4 (LOW WATER USE SHRUBS)	=499 S.F.
ZONE 5 (LOW WATER USE SHRUBS)	=1215 S.F.
ZONE 6 (NATURAL LANDSCAPE) NO IRRIGATION	=24,804 S.F.
SLA (SWIMMING POOLS)	=1497 S.F.
TOTAL LANDSCAPE AREA	= 29,439 S.F.
HIGH WATER USE AREA	= 1568 S.F. (5%)



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HYDROZONE DIAGRAM

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4070 SOLERO COURT
SAN JOSE, CA 95127

APN: 612-10-018

DRAWN
MY
CHECKED
MY
DATE
11/7/18
SCALE
1/16" = 1'-0"
JOB NO.
xxx
SHEET

L-3

F SHEETS


$$1/16'' = 1'-0''$$

HYDROZONE DIAGRAM

$$1/16'' = 1'-0''$$

PLAN #
SHEET

COUNTY OF SANTA CLARA

General Construction
Specifications

GENERAL CONDITIONS

1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY EARTH SYSTEM PACIFIC AND DATED MAY 15, 2014 AND SUBSEQUENT ADDENDUMS TO THE REPORT DATED JANUARY 25, 2016 AND MARCH 11, 2016. THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY. DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
2. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
3. DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
4. DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
5. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
6. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
7. UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKES ARE TO BE DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORNER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION 16-18).
8. THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
9. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

CONSTRUCTION STAKING

1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.
2. ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
3. PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.
4. PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

CONSTRUCTION INSPECTION

1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
2. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
3. INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6888 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
4. DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
5. THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR TO COMMENCEMENT OF THE BUILDING FOUNDATION.

SITE PREPARATION (CLEARING AND GRUBBING)

1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
 - A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
 - B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.
2. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

UTILITY LOCATION, TRENCHING & BACKFILL

1. CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
2. ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
3. ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE. UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.
4. TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH BACKFILL RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
5. TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH BACKFILL RESTORATION REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
6. BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

RETAINING WALLS

1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.
2. SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

3. TW/FO REPRESENTS FINISHED EARTHEN GRADE OR PAVEMENT ELEVATION AT TOP OF WALL, NOT ACTUAL TOP OF WALL MATERIAL. BW/FO REPRESENTS FINISH EARTHEN GRADE OR PAVEMENT ELEVATION AT BOTTOM OF WALL NOT INCLUDING FILL FOUNDATION. GRADES INDICATED ON THESE PLANS REFER TO THE FINISHED GRADES ADJACENT TO THE RETAINING WALL, NOT INCLUDING FOOTING, FREEBOARD, ETC. DIMENSIONS SHOWN DENOTE THE EFFECTIVE WALL HEIGHT ONLY. THE ACTUAL WALL HEIGHT AND DEPTH MAY DIFFER DUE TO CONSTRUCTION REQUIREMENTS.
4. REFER TO ARCHITECTURAL, LANDSCAPE ARCHITECTURE, AND/OR STRUCTURAL PLANS FOR DETAILS, WALL ELEVATIONS, SUBDRAIN, WATERPROOFING, FINISHES, COLORS, STEEL REINFORCING, MATERIALS, ETC. PROVIDE CURBS OR OTHER MEANS OF CURING FINISH MATERIALS AS NECESSARY (WET SET INTO THE WALL).
5. ALL RETAINING WALLS SHOULD HAVE A BACK-OF-WALL SUB-SURFACE DRAINAGE SYSTEM TO PREVENT HYDROSTATIC PRESSURE.
6. PROVIDE GUARDRAIL (WHERE APPLICABLE AND DESIGNED BY OTHERS) AS REQUIRED FOR GRADE SEPARATION OF 30 INCHES OR MORE MEASURED 5' HORIZONTALLY FROM FACE OF WALL, PER CBC.

GRADING

1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IT SHALL BE STRIPPED OF ALL VEGETATION, TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE THE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEYED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
2. EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED ON A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
3. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS.
4. THE UPPER 8" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 92% OF MAXIMUM DENSITY.
5. MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

SEE GRADING QUANTITIES ON SHEET C-1.1

- NOTE: GRADING QUANTITIES REPRESENT BANK YARDAGE. IT DOES NOT INCLUDE ANY SWELLING OR SHRINKAGE FACTORS AND IS INTENDED TO REPRESENT IN-SITU CONDITIONS. QUANTITIES DO NOT INCLUDE EXCAVATION, TRENCHING, STORM DRAINAGE FOUNDATIONS, OR PIERS. ADDITIONAL EARTHWORK, SUCH AS KEYWAYS OR BENCHING MAY BE REQUIRED BY THE GEOTECHNICAL ENGINEER IN THE FIELD AT TIME OF CONSTRUCTION. CONTRACTOR TO VERIFY QUANTITIES. EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE. EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.
7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE WITH THE WORK IN THE FIELD.
 8. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
 9. THE UPPER 8" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO 92% FOR ON-SITE PAVEMENTS PER GEOTECHNICAL REPORT.
 10. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
 11. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.
 12. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.
 13. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.
 14. TOTAL DISTURBED AREA FOR THE PROJECT SHALL BE 43,453.45 SQ. FT.
 15. VOID NO. N/A. - UNDER 1 ACRE (43,560 SF) THRESHOLD.
 16. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

TREE PROTECTION

1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
 - A. FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIFLINE OF THE TREE OR GROVE OF TREES.
 - B. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.
 - C. FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
 - D. SIGNAGE STATING, "WARNING- THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT <http://www.sccplanning.gov>." SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY.
2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACE AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

ACCESS ROADS AND DRIVEWAYS

1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15' LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT PROVED DEPTH CONCRETE REINFORCED PRIOR TO ANY COMBUSTIBLE FRAMING.
3. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
4. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
5. ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT (I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, PAVEMENT, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC.).

STREET LIGHTING

1. PACIFIC GAS & ELECTRIC ELECTROLUER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

SANITARY SEWER

1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

PORTLAND CEMENT CONCRETE

1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH GRADE OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
2. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
3. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
4. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
5. SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED OUT ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
6. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
7. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.
8. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
9. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS: OBTAIN AN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
 - A. 15 MILES PER HOUR (MPH) SPEED LIMIT
 - B. 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
 - C. TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY
10. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
11. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
12. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDB.
13. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
14. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE INSPECTED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
15. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
16. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.
17. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY DURATION OF THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INTO THE ADJACENT WATER COURSE. BMPs SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS.
 - B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
 - C. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.
19. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE AND SITUATIONALLY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

- ESTIMATED EARTHWORK QUANTITIES
- | LOCATION | CUT (C.Y.) | FILL (C.Y.) | VERT. DEPTH | EXPORT (C.Y.) |
|-----------------------|------------|-------------|-------------|---------------|
| RESIDENCE | 0 | 0 | 0' | |
| ACCESSORY STRUCTURE | 110 | 0 | 3' | |
| GARAGE | 195 | 0 | 6' | |
| STAIRWELL | 45 | 0 | 6' | |
| POOL/HARDSCAPE | 550 | 80 | 7' | |
| LANDSCAPE | 35 | 10 | 2' | |
| DRIVEWAY | 95 | 0 | 3.5' | |
| OFF SITE IMPROVEMENTS | 0 | 0 | 0' | |
| TOTAL | 1,030 | 90 | | 940 |

- COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS
- ISSUED BY: _____ DATE: _____
- ENCROACHMENT PERMIT NO. _____

STORM DRAINAGE AND STORMWATER MANAGEMENT

1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAS612008 / ORDER NO. R2-2009-0047 AND NPDES PERMIT CAS000004 / ORDER NO. 2013-0001-DWQ.
2. DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
3. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW.
4. UPON INSTALLATION OF PERMANENT FLOW OF WATER IN ROADSIDE DITCHES, THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE () WERE () WERE NOT) MINOR FIELD CHANGES MARKED WITH THE SYMBOL (X). THERE () WERE () WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL A.

DATE _____ SIGNATURE _____

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

GEOTECHNICAL ENGINEER OBSERVATION

1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.

COUNTY OF SANTA CLARA

ISSUED BY: _____ DATE: _____

ENCROACHMENT PERMIT NO. _____

NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT-OF-WAY WITHOUT AN ENCROACHMENT PERMIT, INCLUDING THE STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.

ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED PLAN AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED MAY 10, 2016 FILE(S) NO. TBD

DATE _____ SIGNATURE _____

C63127

R.C.E. NO.

EXPIRATION DATE _____

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE _____ SIGNATURE _____

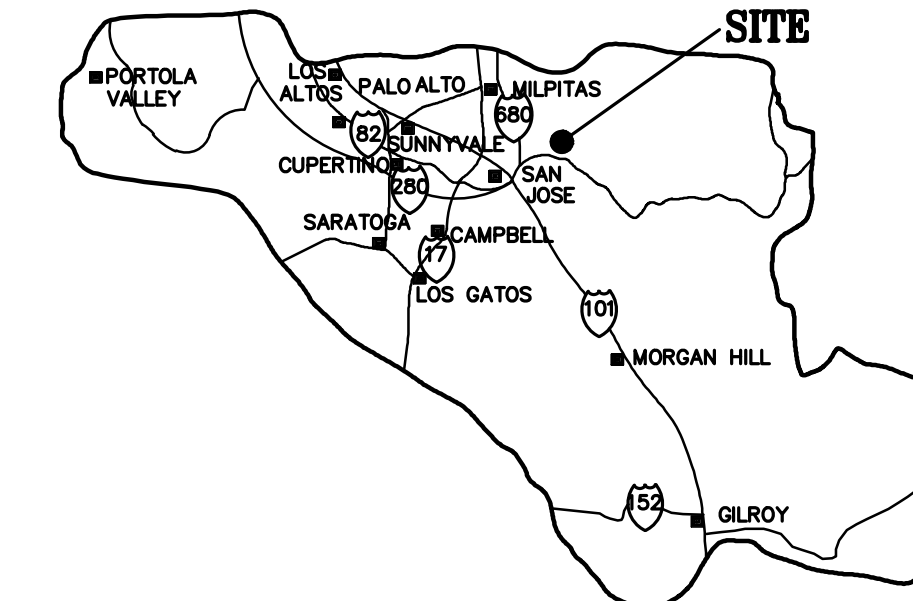
R.C.E. NO. _____ EXPIRATION DATE _____



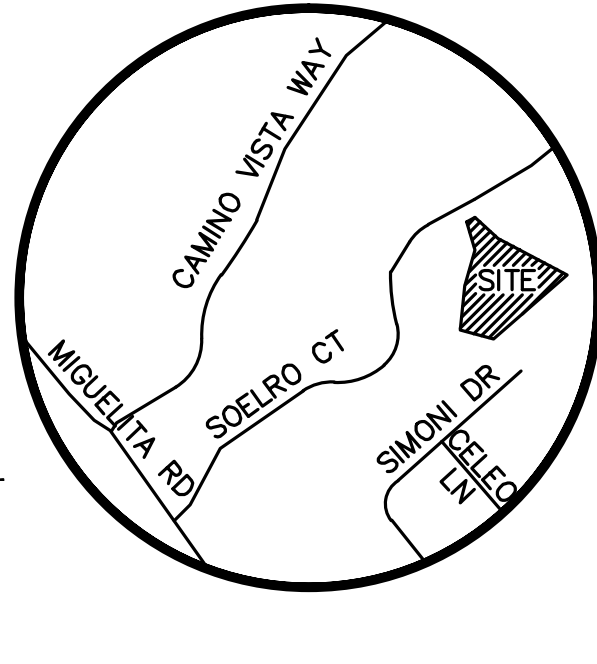
COUNTY FILE NO.: TBD

PRELIMINARY GRADING PLAN
4070 SOELRO COURT
UNINCORPORATED SANTA CLARA COUNTY, CALIFORNIA
APN: 612-10-018

SEE LEGEND ON SHEET C-1.1



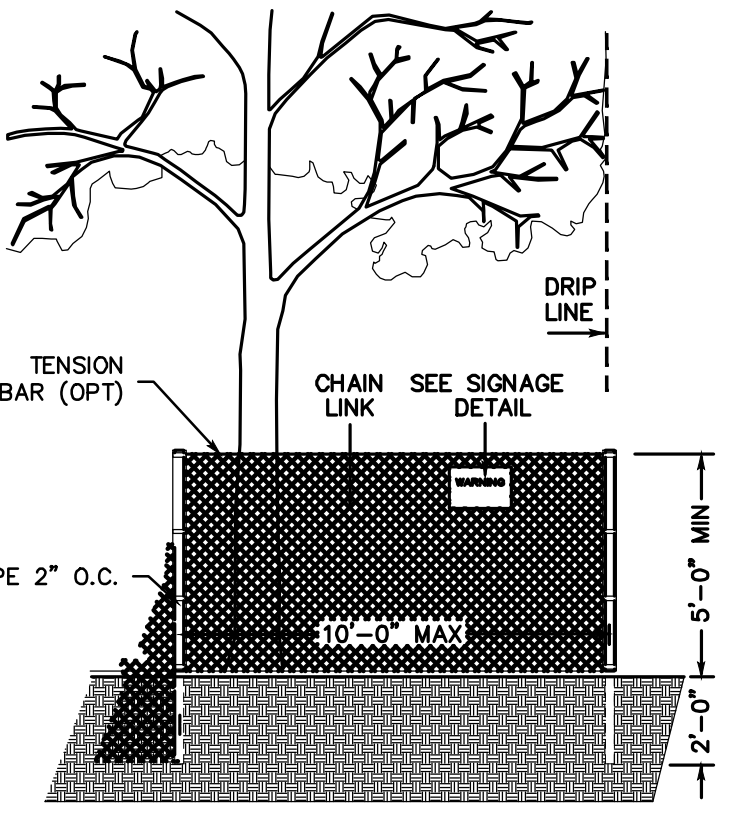
COUNTY LOCATION MAP



VICINITY MAP
NO SCALE

SURVEY MONUMENT PRESERVATION

1. THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION.
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG OR OTHERWISE IDENTIFY WITH PAINT OR OTHER MARKINGS ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY.
3. THE LANDOWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS AND RESET PERMANENT MONUMENT(S) IN THE SURFACE OF THE NEW CONSTRUCTION OR SET A WITNESS MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT COULD BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.



EXISTING TREE PROTECTION DETAILS

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCE SHALL BE MINIMUM 5 FEET TALL, CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION. REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

COUNTY OF SANTA CLARA
LAND DEVELOPMENT ENGINEERING & SURVEYING

GRADING / DRAINAGE PERMIT NO. _____

ISSUED BY: _____ DATE: _____

SCOPE OF WORK

1. THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE EROSION CONTROL PLAN. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE DESIGN OF THE EROSION CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSION CONTROL PLAN TO PREVENT ILLICIT DISCHARGES FROM THE SITE DURING CONSTRUCTION.
2. SITE CLEARING AND GRADING FOR CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE, AC DRIVEWAY, TEMPORARY AND PERMANENT EROSION CONTROL MEASURES ON THESE PLANS.
3. PRIOR TO GRADING COMPLETION AND RELEASE OF BOND, ALL GRADED AREAS SHALL BE RESEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADED SLOPES AND REDUCE THE POTENTIAL FOR EROSION ON THE SUBJECT PROPERTY.
4. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
5. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR ROUND BASIS, DEPENDING ON THE SEASON, WEATHER AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE AND SITUATIONALLY APPROPRIATE EROSION CONTROL MEASURE MAY RESULT IN A VIOLATION, FINES, AND A STOPPAGE OF WORK.
6. GRADING WORK BETWEEN OCTOBER 15 AND APRIL 15 IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.
7. PRIOR TO GRADING COMPLETION, A CONSTRUCTION OBSERVATION LETTER FROM THE GEOTECHNICAL ENGINEER SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE COUNTY GEOLOGIST.
8. ONSITE STORM DRAIN IMPROVEMENTS.

SHEET INDEX

C-1.0	PRELIMINARY TITLE SHEET
C-2.0	PRELIMINARY GRADING & DRAINAGE PLAN
C-3.0	PRELIMINARY UTILITY PLAN

OWNERS' INFORMATION:	SAM WINTER 4070 SOELRO COURT SAN JOSE, CA 95127
SITE INFORMATION:	4070 SOELRO COURT SAN JOSE, CA 95127 APN: 612-10-018



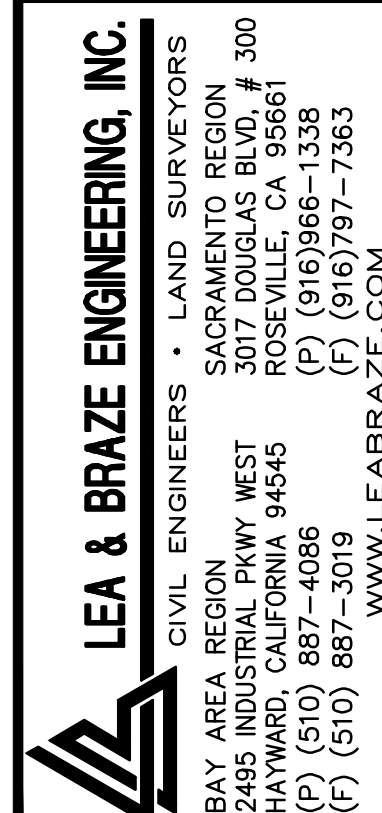
CIVIL ENGINEERS • LAND SURVEYORS

BAY AREA REGION
2495 INDUSTRIAL PKWY WEST
HAYWARD, CALIFORNIA 94545
(P) (510) 887-4086
(F) (510) 887-3019

SACRAMENTO REGION
3017 DOUGLAS BLVD, # 300
ROSEVILLE, CA 95661
(P) (916)966-1338
(F) (916)797-7363

WWW.LEABRAZE.COM

JOB NO. 2170650	DATE: 11-11-18
Revision 1 Date	APN 612-10-018
Revision 2 Date	Sheet C-1.0
Revision 3 Date	Co. File TBD
	1 OF 3



WINTER RESIDENCE
4070 SOELRO COURT
(UNINCORPORATED SANTA CLARA COUNTY)
SAN JOSE, CALIFORNIA

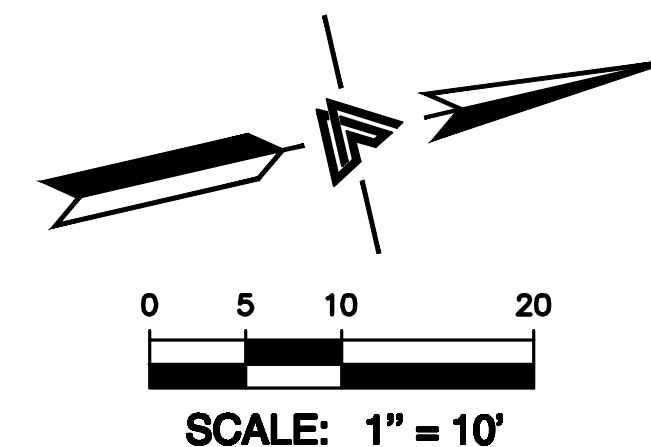
PRELIMINARY GRADING & DRAINAGE PLAN

ADN: 612-10-018

SANTA CLARA COUNTY

11

ETS



- | FLATWORK | KEYNOTES | 1 | TO | 7 | |
|----------|----------|---|----|---|
|----------|----------|---|----|---|

- DEMOLITION** KEYNOTES **41** TO **43**
- 41** DEMOLISH (E) IMPROVEMENTS AS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.
- 42** REMOVE (E) TREE. CONTRACTOR SHALL OBTAIN THE PROPER TREE REMOVAL PERMITS AS REQUIRED.
- 43** PROVIDE TREE PROTECTION AROUND TREES TO REMAIN. SEE DETAIL 6 ON SHEET ER-2.

NOTE:
FOR CONSTRUCTION STAKING
SCHEDULING OR QUOTATIONS
PLEASE CONTACT ALEX ABAYA
AT LEA & BRAZE ENGINEERING
(510)887-4086 EXT 116.
aabaya@leabrazz.com

*** BUILDING PAD NOTE:**
ADJUST PAD LEVEL AS
REQUIRED. REFER TO
STRUCTURAL PLANS
FOR SLAB SECTION OR
CRAWL SPACE DEPTH
TO ESTABLISH PAD
LEVEL.



1.

RECEIVED
JAN 09 2019

COUNTY OF SANTA CLARA
PLANNING OFFICE



2.



3.



4.



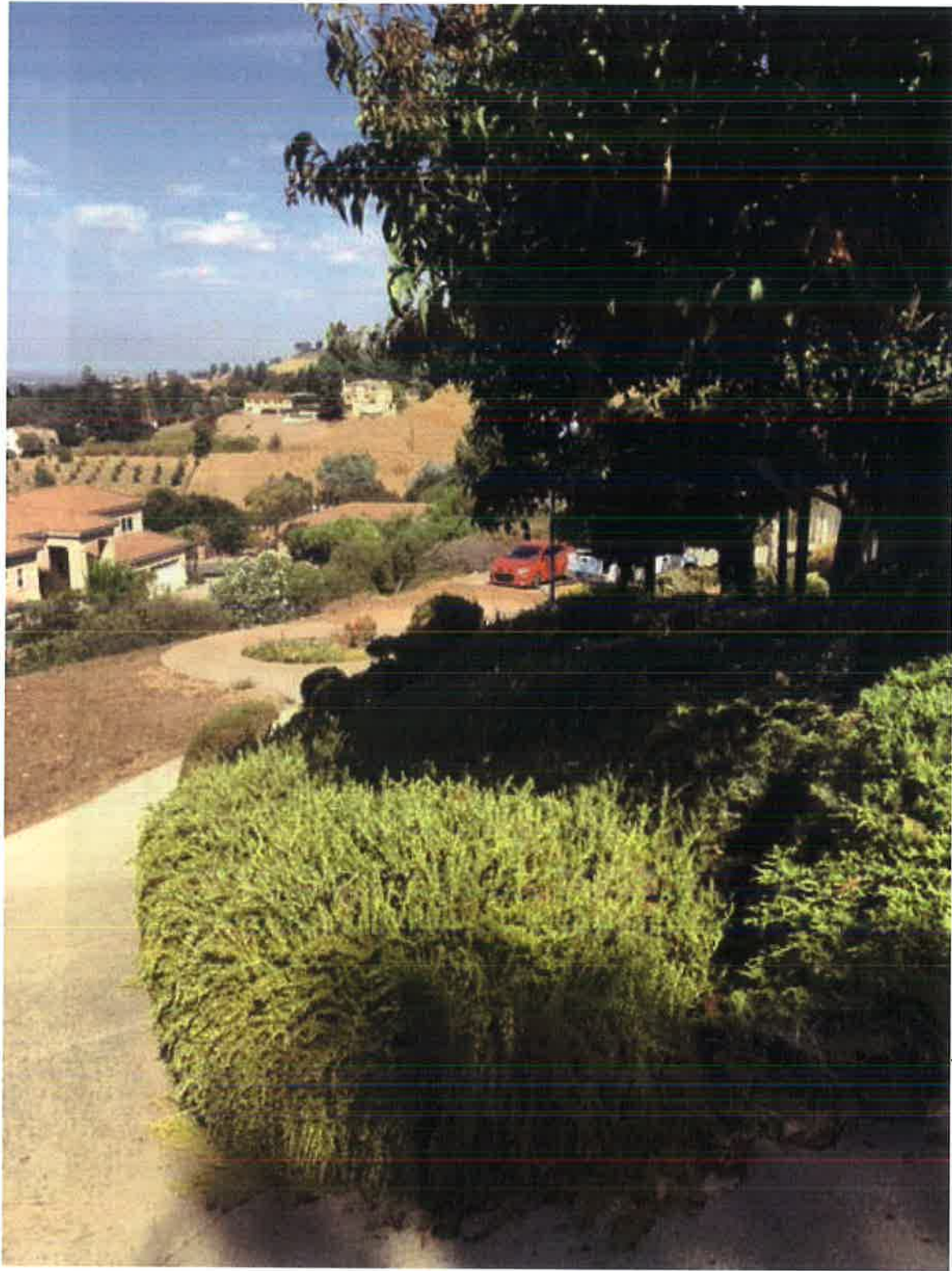
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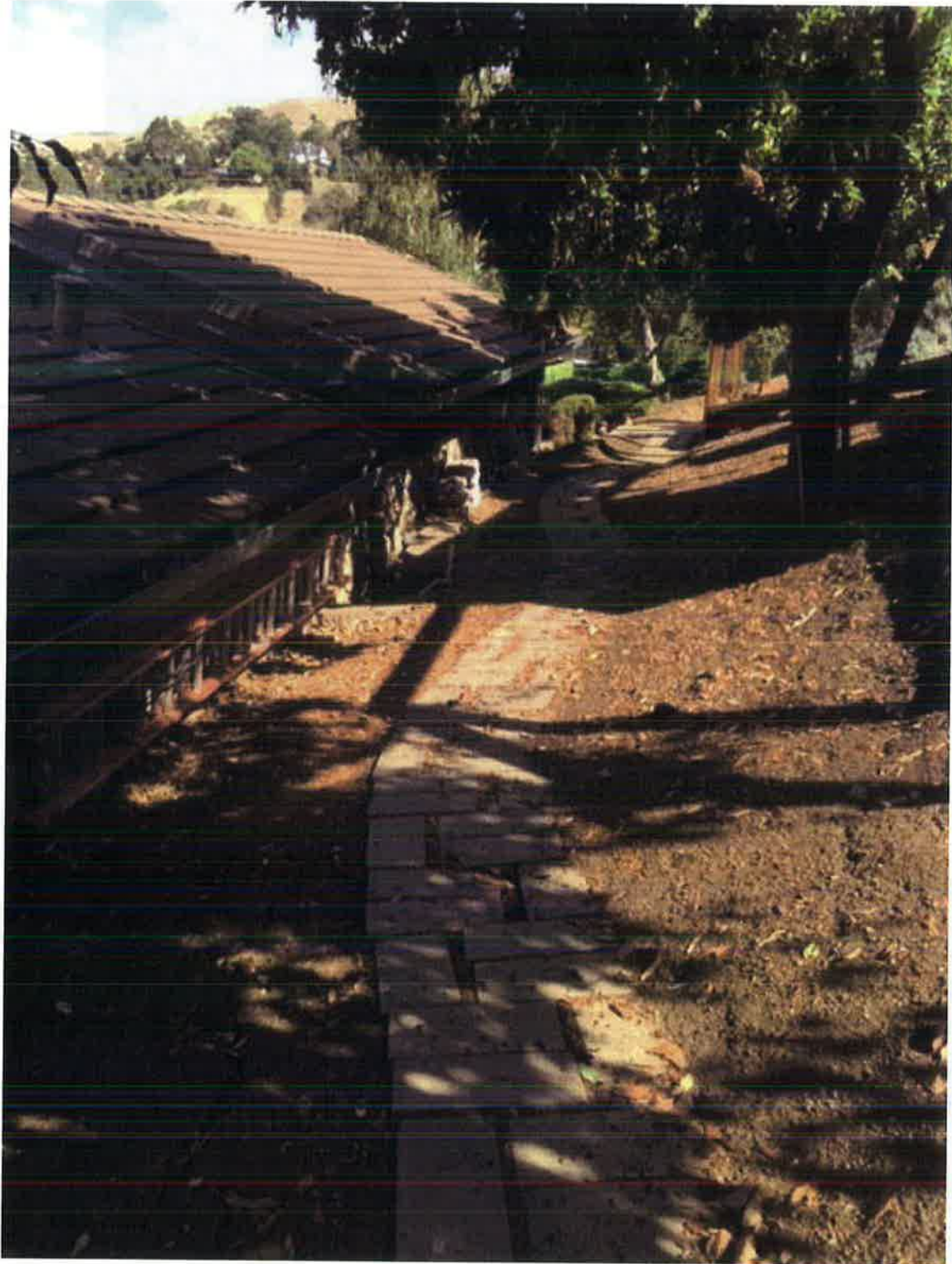
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8.



9.



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