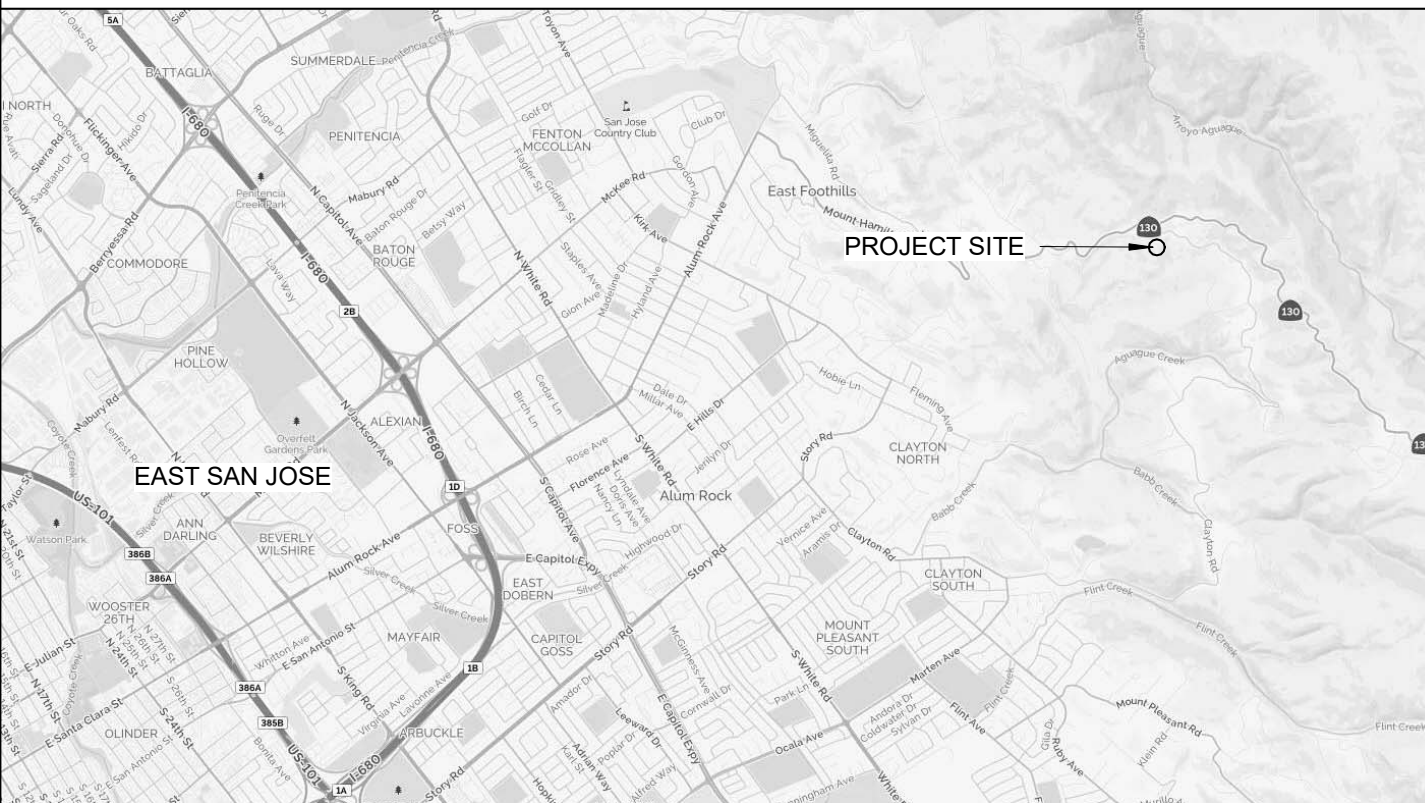



ENERGY NOTES		CODE COMPLIANCE		SHEET INDEX		VICINITY MAP	
<div>1. ALL EXTERIOR WALL ASSEMBLIES SHALL BE INSULATED WITH BLANKET TYPE MINERAL OR GLASS FIBER INSULATION CONFORMING TO FEDERAL SPECIFICATION HH-1-521E WITH A MINIMUM THERMAL RESISTANCE (R) OF R-19.</div> <div>2. ALL ROOF AND FLOOR ASSEMBLIES SHALL BE INSULATED WITH BLANKET TYPE MINERAL OR GLASS FIBER INSULATION CONFORMING TO FEDERAL SPECIFICATION HH-1-521E WITH A MINIMUM THERMAL RESISTANCE (R) OF R-30 [ROOF] AND R-19 [FLOOR]</div> <div>3. ALL WALL ASSEMBLIES OF BATHROOM / BEDROOM/ EQUIPMENT ROOMS/ ETC. MAY BE INSULATED WITH SOUND ATTENUATION BLANKET INSULATION .</div> <div>4. IN ADDITION TO BLANKET INSULATION STANDARDS ABOVE, IN NO CASE SHALL ANY INSULATION CONTAIN ANY ASBESTOS OR ASBESTOS RELATED PARTICULATES.</div> <div>5. ALL INSULATING MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATING MATERIAL.</div> <div>6. THE CONTRACTOR SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSULATION INSTALLER AND THE CONTRACTOR STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24.</div> <div>7. THE CONTRACTOR SHALL PROVIDE THE ORIGINAL OCCUPANT A LIST OF THE HEATING, COOLING, WATER HEATING, AND LIGHTING SYSTEMS AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY.</div> <div>8. A MAINTENANCE LABEL SHALL BE AFFIXED TO ALL EQUIPMENT REQUIRING PREVENTIVE MAINTENANCE, AND A COPY OF THE MAINTENANCE INSTRUCTIONS SHALL BE PROVIDED FOR THE OWNER'S USE.</div> <div>9. MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED IN COMPLIANCE WITH THE APPROPRIATE STANDARDS LISTED IN TABLE 2-53V OF THE ENERGY REGULATIONS.</div> <div>10. THE FOLLOWING OPENINGS IN THE BUILDING ENVELOPE MUST BE CAULKED, SEALED, OR WEATHERSTRIPPED:<div>A. EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, BETWEEN WALL SOLE PLATES AND FLOORS, AND BETWEEN EXTERIOR WALL PANELS.</div><div>B. OPENINGS FOR PLUMBING, ELECTRICAL AND GAS LINES IN EXTERIOR AND INTERIOR WALLS CEILINGS AND FLOORS.</div><div>C. OPENINGS IN THE ATTIC FLOOR.</div><div>D. ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE.</div></div> <div>11. GENERAL LIGHTING FOR KITCHEN AND BATHROOMS MUST BE 25 LUMENS/ WATT OR GREATER. WHEN A BATHROOM HAS MORE THAN ONE LIGHTING FIXTURE, THE MAIN FIXTURE SHALL BE FLUORESCENT. GENERAL LIGHTING IN KITCHEN MUST ALSO BE FLUORESCENT.</div> <div>12. FAN SYSTEMS EXHAUSTING AIR FROM THE BUILDING SHALL BE PROVIDED WITH BACKDRAFT DAMPERS. THERMOSTATICALLY CONTROLLED HEATING OR COOLING SYSTEMS SHALL HAVE AN AUTOMATIC THERMOSTAT WITH A CLOCK MECHANISM WHICH CAN BE PROGRAMMED TO AUTOMATICALLY SET BACK THE THERMOSTAT SET POINTS FOR AT LEAST 2 PERIODS WITHIN 24 HOURS.</div> <div>13. STORAGE TYPE WATER HEATERS AND STORAGE BACK-UP TANKS FOR SOLAR WATER HEATING SYSTEMS SHALL BE EXTERNALLY WRAPPED WITH INSULATION OF R-12 OR GREATER.</div> <div>14. PIPING IN UNCONDITIONED SPACE LEADING TO AND FROM WATER HEATERS SHALL BE WRAPPED WITH INSULATION HAVING A THERMAL RESISTANCE OF R-3 OR GREATER.</div> <div>15. RECIRCULATING HOT WATER PIPING IN UNHEATED SPACES SHALL BE INSULATED WITH R-3.</div> <div>16. GAS FIRED HOUSEHOLD COOKING APPLIANCES, SHOWER HEADS AND FAUCETS SHALL COMPLY WITH CALIFORNIA APPLIANCE EFFICIENCY STANDARDS.</div> <div>17. WATER CLOSETS SHALL BE LOW FLUSH TYPE AS REQUIRED BY LOCAL ORDINANCES [1.6 GAL FLUSH].</div> <div>18. GAS FIRED APPLIANCES SHALL HAVE INTERMITTENT IGNITION DEVICES, NOT CONTINUOUSLY BURNING PILOT LIGHTS; E.G., FURNACES UNDER 175,000 BTU, ALL FAN TYPE FURNACES, CLOTHES DRYERS, STOVES, ETC.</div> <div>19. HVAC EQUIPMENT, WATER HEATERS AND PLUMBING FIXTURES (SHOWER HEADS AND FAUCETS) MUST BE CERTIFIED BY CEC.</div> <div>20. HEATING EQUIPMENT SHALL COMPLY WITH EFFICIENCY STANDARDS AND BE NO LARGER THAN SPECIFIED ON APPROVED PLANS.</div> <div>21. DUCTS MUST BE CONSTRUCTED, INSTALLED AND INSULATED ACCORDING TO CHAPTER 10 OF THE CALIFORNIA STATE MECHANICAL CODE.</div> <div>22. A SUBMITTAL IS REQUIRED FOR RADIANT HEATING SYSTEMS, INCLUDING PLANS, TUBING, LOCATION, AND SPACING.</div>		<div>ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AGENCIES. NOTHING IN THESE PLANS IS TO BE CONSTURED TO PERMIT WORK NOT CONFORMING TO THESE CODES.</div> <div>CALIFORNIA ADMINISTRATIVE CODE</div> <div>CALIFORNIA BUILDING CODE, 2016</div> <div>CALIFORNIA PLUMBING CODE, 2016</div> <div>CALIFORNIA MECHANICAL CODE, 2016</div> <div>CALIFORNIA ELECTRICAL CODE, 2016</div> <div>CALIFORNIA ENERGY CODE, 2016</div> <div>CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC)</div> <div>CITY OF CARMEL-BY-THE-SEA AND ADOPTING ORDINANCES</div> <div>NOTE: THIS PROJECT TO BE REGISTERED WITH CALCERTS</div>		NO.	DESCRIPTION	 <div>PROJECT SITE</div> <div>NOT TO SCALE</div>	
<div>GREEN BUILDING NOTES</div> <div>ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AGENCIES. NOTHING IN THESE PLANS IS TO BE CONSTURED TO PERMIT WORK NOT CONFORMING TO THESE CODES.</div>		<div>HERS INSPECTIONS</div> <div>PROJECT REQUIRES THIRD PARTY HERS TESTING AND/OR DUCT LEAKAGE TEST. SEE CF-1R PAGES FOR ADDITIONAL HERS INSPECTIONS IF ANY.</div> <div>SUBCONTRACTORS TO PROVIDE SIGNED CF-2R FORMS THAT MATCH OR EXCEED COMPLIANCE CALCS.</div>		A0.0	TITLE SHEET	<div>PROJECT DATA</div> <div><div>PROJECT ADDRESS</div><div>CLAYTON ROAD SAN JOSE, CA 95127</div></div> <div><div>OWNER</div><div>ROBERT RAMM 441 MARIPOSA AVENUE, APT A MOUNTAIN VIEW, CA 94041</div></div> <div><div>SCOPE OF WORK</div><div>1. CONSTRUCT SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE. INCLUDES NEW ALL WEATHER DRIVE AND AUTO GATE FROM CLAYTON RD.</div><div>2. CONSTRUCT ACCESSORY DWELLING UNIT</div><div>3. CONSTRUCT EQUESTRIAN BARN</div><div>4. SITE GRADING AND DRAINAGE</div><div>5. INSTALL TWO SEPTIC SYSTEMS</div><div>6. INSTALL SOLAR ARRAY</div></div> <div><div>EXISTING STRUCTURES</div><div>(VACANT LOT) N/A</div></div>	
<div>PLUMBING FIXTURES</div> <div>EXISTING PLUMBING FIXTURES MAY REQUIRE RETROFITTING TO CURRENT CPC REQUIREMENTS AND NEW PLUMBING FIXTURES WILL MEET THE FOLLOWING MIN. REQUIREMENTS: WATER CLOSETS 1.28 GALLONS MAX./FLUSH, URINALS 0.5 GALLONS MAX./FLUSH.</div>		<div>ARCHITECT</div> <div>Tom Meaney 629 State Street, Suite 240 Santa Barbara, CA 93101 (805) 966-7668 LIC. #C14606</div>		<div>SURVEYOR</div> <div>WOOTTON LAND SURVEYING 1242 NORTH SAN PEDRO STREET SAN JOSE, CA 95110 (408) 886-1700</div>			
		<div>LANDSCAPE ARCHITECT</div> <div></div>		<div>CIVIL ENGINEER</div> <div>C3 ENGINEERING INC. 126 BONAFACIO PLACE, SUITE C MONTEREY, CA 93940 (831) 647-1192</div>			
<div>GLAZING NOTES</div> <div>1. GLASS AND GLAZING SHALL CONFORM TO CODE AND WITH U.S. CONSUMER PRODUCT SAFETY COMMISSION REQUIREMENTS.</div> <div>2. GLAZING SUBJECT TO HUMAN IMPACT SHALL CONFORM TO CODE AND WITH U.S. CONSUMER PRODUCT SAFETY COMMISSION REQUIREMENTS. GLAZED OPENINGS IN DOORS, FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE AND WITHIN 5 FT. OF THE TOP OR BOTTOM OF STAIRS OR LANDINGS SHALL BE TEMPERED GLASS APPROVED FOR IMPACT HAZARD. FIXED PANELS [> 9 SQ FT] WITHIN 18" OF THE ADJACENT FLOOR SHALL BE TEMPERED GLASS APPROVED FOR IMPACT HAZARD.</div> <div>3. GLAZING IN SHOWER AND TUBS ENCLOSURES SHALL BE TEMPERED, LAMINATED OR APPROVED PLASTIC.</div> <div>4. EGRESS WINDOWS IN SLEEPING ROOMS SHALL CONFORM TO UBC REQUIREMENTS:: MIN 20" WIDE BY 24" HT CLEAR WHEN IN THE OPEN POSITION. MAX HT AT BOTTOM OF OPENING TO BE 44" .</div>		<div>CONSTRUCTION WASTE MGMT REQ.TS</div> <div>CONSTRUCTION WASTE MANAGEMENT REQUIREMENTS OF CRC R324.1. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CGBC CHAP. 4, DIVISION 4.4 (CALGREEN CODE).</div>		<div>PROJECT DIRECTORY</div> <div><div>ARCHITECT</div><div>Tom Meaney 629 State Street, Suite 240 Santa Barbara, CA 93101 (805) 966-7668 LIC. #C14606</div></div> <div><div>LANDSCAPE ARCHITECT</div><div></div></div> <div><div>SURVEYOR</div><div>WOOTTON LAND SURVEYING 1242 NORTH SAN PEDRO STREET SAN JOSE, CA 95110 (408) 886-1700</div></div> <div><div>CIVIL ENGINEER</div><div>C3 ENGINEERING INC. 126 BONAFACIO PLACE, SUITE C MONTEREY, CA 93940 (831) 647-1192</div></div>		<div>BUILDING DATA</div> <div><div>OCCUPANCY GROUP</div><div>R-3</div></div> <div><div>TYPE OF CONSTRUCTION</div><div>VB</div></div> <div><div>NUMBER OF STORIES</div><div>1</div></div> <div><div>SPRINKLERS</div><div>YES, REFER TO SEPARATE PERMITS, NOTES</div></div> <div><div>PROPOSED FLOOR AREAS</div><div>NETGROSS</div></div> <div><div>MAIN FLOOR</div><div>3,3813,663 SF</div></div> <div><div>ATTACHED 2-CAR GARAGE</div><div>814888 SF</div></div> <div><div>TOTAL</div><div>4,1954,551 SF</div></div> <div><div>OTHER</div><div></div></div> <div><div>COVERED ENTRY, ARCADE, PATIOS</div><div>763 SF</div></div> <div><div>OPEN COURTYARD</div><div>882 SF</div></div> <div><div>PROPOSED PARKING</div><div>2 COVERED</div></div> <div><div>ACCESSORY STRUCTURES</div><div></div></div> <div><div>EQUESTRIAN BARN</div><div>2,9933,176 SF</div></div> <div><div>BARN COVD OVERHANG</div><div>842 SF</div></div> <div><div>ACCESSORY DWELLING UNIT</div><div>1,2071,345 SF</div></div> <div><div>ATTACHED SINGLE CAR GARAGE</div><div>334387 SF</div></div> <div><div>COVERED ENTRY, PATIOS</div><div>1,028 SF</div></div> <div><div>TOTAL</div><div>4,5346,778 SF</div></div>	
<div>GENERAL NOTES</div> <div>1. THESE PLANS ARE THE PROPERTY OF TOM MEANEY ARCHITECT. USE OR COPY IS PERMITTED BY CONTRACT ONLY. ANY REVISIONS TO THESE PLANS, REGARDLESS OF SCOPE WITHOUT WRITTEN PERMISSION, IS PROHIBITED AND SHALL THEREBY ABSOLVE TOM MEANEY ARCHITECT FROM ANY LIABILITY CLAIMS, SUITS, OR LITIGATION BY ANY INTEREST PARTIES IN THE PROJECT.</div> <div>2. THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN DESIRED AND IMPLY THE FINEST QUALITY WORKMANSHIP THROUGHOUT. ANY DESIGN OR DETAIL WHICH APPEARS TO BE INCONSISTENT WITH THE ABOVE SHOULD BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE DESIGNER BY THE CONTRACTOR.</div> <div>3. ALL CONSTRUCTION MEANS, METHODS, MATERIALS AND TECHNIQUES SHALL COMPLY WITH THE BUILDING CODES, ORDINANCES, REGULATIONS AND STANDARDS LISTED.</div> <div>4. THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL VERIFY ALL CONSTRUCTION DOCUMENTS, SITE DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES OR INCONSISTENCIES PRIOR TO STARTING WORK.</div> <div>5. DO NOT SCALE DRAWINGS. APPLICABLE TRADES SHALL USE A COMMON DATUM TO BE DESIGNATED BY THE CONTRACTOR FOR ALL CRITICAL MEASUREMENTS. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS.</div> <div>6. DIMENSIONS ARE TO FACE OR CENTERLINE OF STUD, UNLESS NOTED OTHERWISE.. AT FLOORS AND CEILINGS WITH PLYWOOD SHEATHING DIMENSIONS ARE TO EXTERIOR SIDE OF PLYWOOD.</div> <div>7. REFER TO ADDITIONAL NOTES SHOWN ON THE STRUCTURAL AND/OR CIVIL ENGINEERING SHEETS CONTAINED IN THESE DRAWINGS.</div> <div>8. DURING CONSTRUCTION THE CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS AS REQUIRED.</div> <div>9. WHEREVER EXISTING WORK IS DAMAGED BY ANY OTHER CONSTRUCTION OPERATION, IT SHALL BE REPAIRED OR REPLACED WITH NEW MATERIAL TO MATCH EXISTING AS APPROVED BY THE DESIGNER.</div> <div>10. THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL DEBRIS AND RUBBISH RESULTING FROM THE WORK SPECIFIED HEREIN.</div> <div>11. ALL EXPOSED BOLTS, WASHERS, NAILS, OR METAL CONNECTORS SHALL BE DOUBLE HOT DIP GALVANIZED (UN.O.)</div> <div>12. SHOP DRAWINGS, PROJECT DATA AND OTHER SAMPLES SHALL BE SUBMITTED TO THE DESIGNER AND OWNER WHEN REQUESTED. NO PORTION OF SUCH WORK SHALL BE COMMENCED UNTIL SUBMITTAL HAS BEEN APPROVED BY THE DESIGNER/OWNER.</div> <div>13. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BACKING AND FRAMING FOR WALL MOUNTED ITEMS.</div> <div>14. FIRE STOPS SHALL BE LOCATED AT THE FOLLOWING LOCATIONS (PER UBC REQUIREMENTS):<div>A.) IN CONCEALED SPACES OF STUD WALLS INCLUDING FURRED SPACES - AT FLOOR AND CEILING LEVELS AND AT 10 FLOOR INTERVALS ALONG THE LENGTH OF THE WALL.</div><div>B.) AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.</div><div>C.) IN OPENINGS AROUND VENTS, PIPES, DUCTS CHIMNEYS, AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR A FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.</div><div>D.) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF THE STAIRS IF THE WALLS UNDER THE STAIRS ARE AT EXTERIOR WALL OPENINGS. FLASHING, COUNTER FLASHING AND EXPANSION JOINT MATERIAL SHALL BE CONSTRUCTED IN SUCH A MANNER AS TO BE COMPLETELY WATERPROOFED AND WEATHERPROOFED.</div></div> <div>15. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.</div> <div>16. ALL UTILITY CONNECTORS INCLUDING ELECTRICAL SERVICE, TELEPHONE SERVICE AND CABLE TELEVISION MUST BE PLACED UNDERGROUND FROM THEIR POINT OF ORIGIN AT THE UTILITY POLE TO THE SERVICE METER OR TERMINATION POINT AT THE STRUCTURE.</div>		<div>HIGH FIRE NOTES</div> <div>THIS PARCEL MAY BE LOCATED WITHIN A DESIGNATED HIGH FIRE HAZARD AREA. CONTRACTOR TO VERIFY. ALL ELEMENTS OF NEW CONSTRUCTION MUST COMPLY WITH REQUIREMENTS SET FORTH IN SECTION R327 OF THE 2013 CRC AND S.B. ORDINANCE NO. 5639.</div> <div>SEE FIRE RATED CONSTRUCTION REQUIREMENTS ON A0.3 FOR SPECIFIC INFORMATION.</div>		<div>ASSESSORS PARCEL MAP</div> 			
				<div>ZONING DATA</div> <div><div>APN</div><div>612-40-001</div></div> <div><div>LOT SIZE:</div><div>958,320 SF 22 ACRE</div></div> <div><div>LOT COVERAGE, PROPOSED</div><div></div></div> <div><div>STRUCTURES</div><div>11,329 SF</div></div> <div><div>IMPERVIOUS AREA *</div><div>54,700 SF</div></div> <div><div>* HARDSCAPE, SOLAR PANELS, ALL WEATHER DRIVE</div><div></div></div> <div><div>TOTAL</div><div>14.5% 66029 SF</div></div> <div><div>F.A.R.</div><div></div></div> <div><div>ZONE</div><div>HS-D1</div></div> <div><div>HILLSIDE DESIGNATION</div><div>YES</div></div> <div><div>REQUIRED SETBACKS</div><div></div></div> <div><div>FRONT</div><div></div></div> <div><div>SIDES</div><div></div></div> <div><div>REAR</div><div></div></div> <div><div>HEIGHT LIMITS</div><div></div></div> <div><div>TREES TO BE REMOVED</div><div>YES, REFER TO LANDSCAPE PLANS AND NOTES</div></div> <div><div>WASTE WATER SYSTEM</div><div>SEPTIC</div></div> <div><div>WATER SERVICE</div><div>PRIVATE WATER WELL</div></div> <div><div>COASTAL ZONE</div><div>NO</div></div> <div><div>HIGH FIRE AREA:</div><div>YES</div></div>			

6/11/2018 12:49:19 PM All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meaney and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meaney. Copyright © 2008. All rights reserved. Thomas Meaney Architect, Inc.

Revision Schedule

#	Date	Description

NOT FOR CONSTRUCTION

TOM MEANEY ARCHITECT

629 STATE STREET • SUITE 240 • SANTA BARBARA, CA • 93101 • TEL (CARMEL) 831.624.4278
(SANTA BARBARA) 805.966.7668 • FAX 805.966.7668 • WWW.TOMMEANEY.COM •

RAMM RESIDENCE

CLAYTON ROAD

SAN JOSE, CA

TITLE SHEET

LICENSED ARCHITECT

THOMAS MEANEY

No. C14606

Renew 03/17

STATE OF CALIFORNIA

Date 2018-06-05

Scale 1/4" = 1'-0"

Drawn ATW

Job # Project

Sheet Number

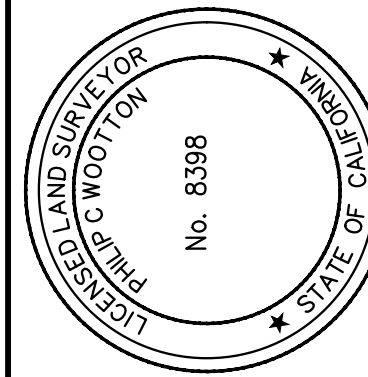
A0.0

Contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project including safety of all personnel property; that this requirement shall be made to apply continuously and

UNAUTHORIZED CHANGES & USES: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

WOOTTON LAND SURVEYING
"SURVEYING THE BAY AREA FOR TWENTY YEARS"
1242 NORTH SAN PEDRO STREET
SAN JOSE, CA 95110
(408) 886-1700

DATE: 4/05/2017
SCALE: 1"=40'
DRAWN BY: PCW
DESIGNED BY:
CHECKED BY: PCW
ALL RIGHTS RESERVED
COPYRIGHT 2017,
WOOTTON LAND SURVEYING



TOPOGRAPHIC SURVEY

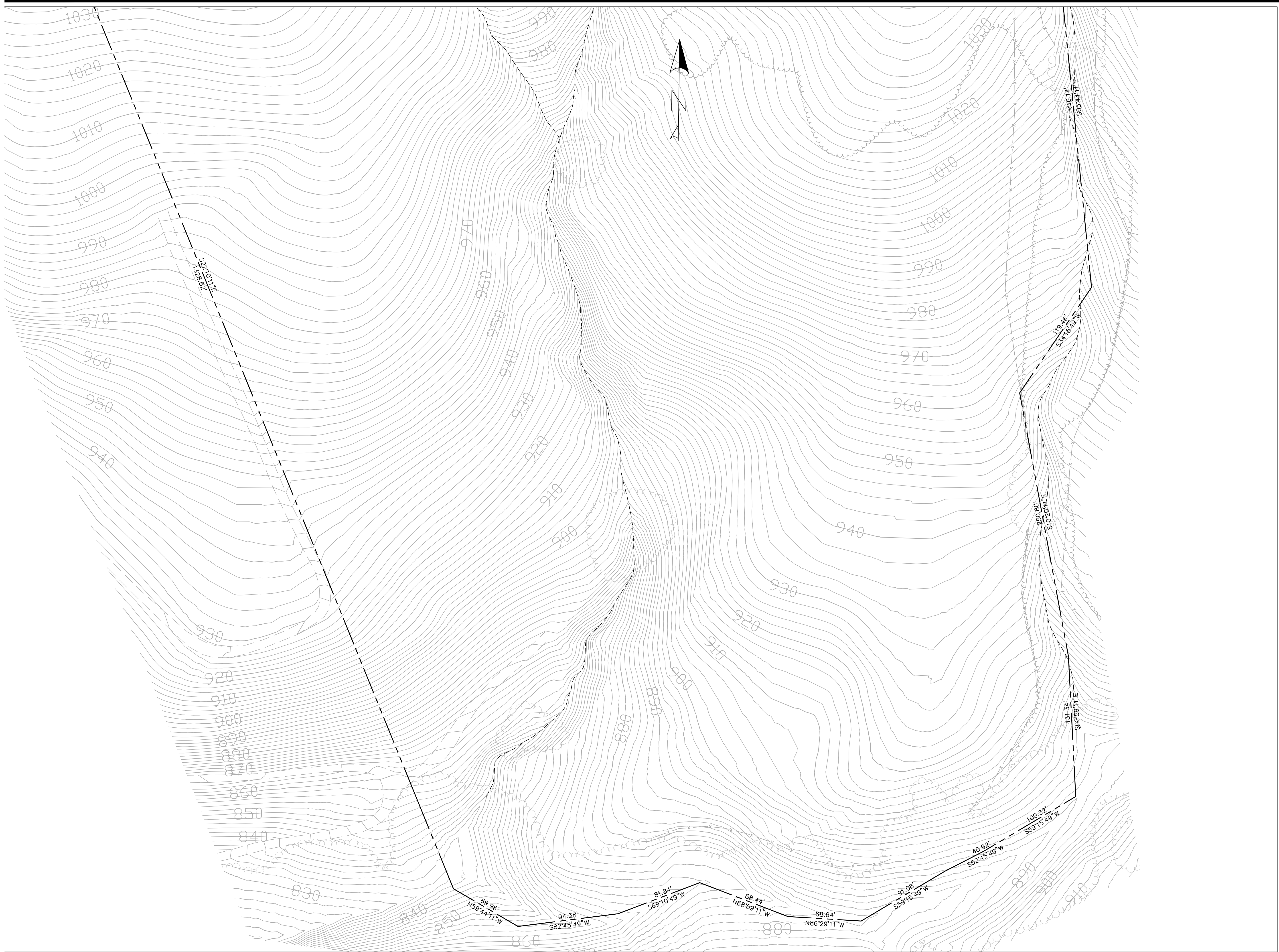
Clayton Road

California

San Jose

[illegible]

\\f:\2017-115 Clayton Road, San Jose\DWG\Topo.dwg 4-05-17 03:49:03 PM philip

[illegible]

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meany and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meany. Copyright © 2006. All rights reserved. Thomas Meany Architect, Inc.

6/6/2018 11:58:55 AM

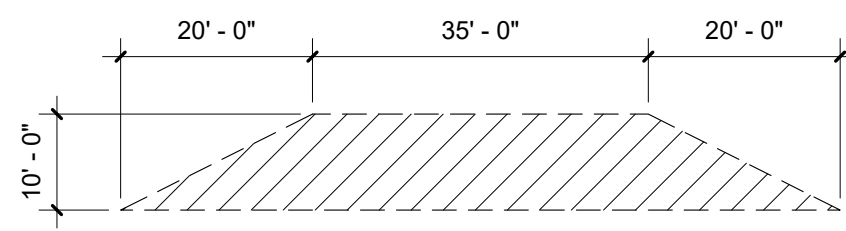
ESTIMATED EARTHWORK

CUT: 1500 CY
FILL: 1500 CY
NET: 0 CY

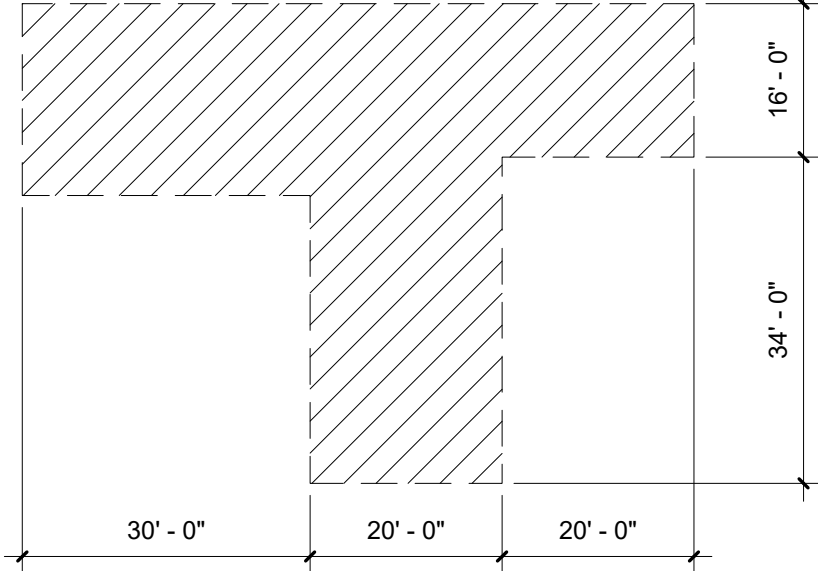
ESTIMATED AREA OF DISTURBANCE

10,800 S.F.

DRIVEWAY TURNOUT

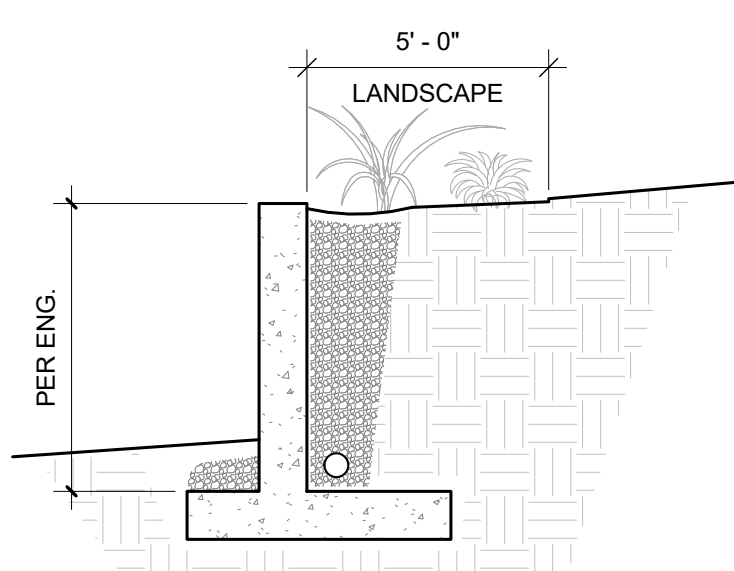


DRIVEWAY TURNAROUND

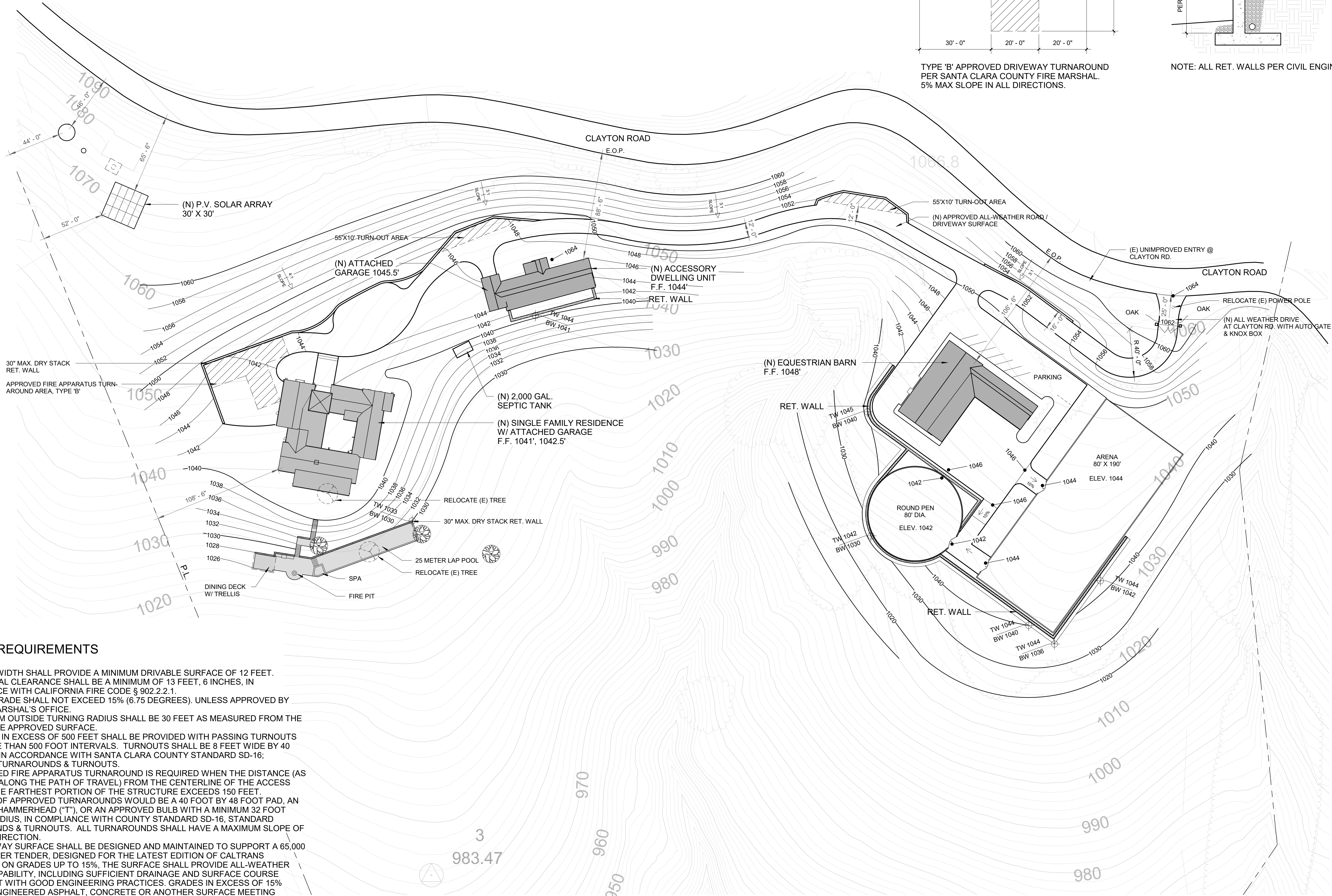


TYPE 'B' APPROVED DRIVEWAY TURNAROUND
PER SANTA CLARA COUNTY FIRE MARSHAL.
5% MAX SLOPE IN ALL DIRECTIONS.

RETAINING WALLS



NOTE: ALL RET. WALLS PER CIVIL ENGINEER



DRIVEWAY REQUIREMENTS

- DRIVEWAY WIDTH SHALL PROVIDE A MINIMUM DRIVABLE SURFACE OF 12 FEET.
- THE VERTICAL CLEARANCE SHALL BE A MINIMUM OF 13 FEET, 6 INCHES, IN ACCORDANCE WITH CALIFORNIA FIRE CODE § 902.2.2.1.
- MAXIMUM GRADE SHALL NOT EXCEED 15% (6.75 DEGREES). UNLESS APPROVED BY THE FIRE MARSHAL'S OFFICE.
- THE MINIMUM OUTSIDE TURNING RADIUS SHALL BE 30 FEET AS MEASURED FROM THE EDGE OF THE APPROVED SURFACE.
- DRIVEWAYS IN EXCESS OF 500 FEET SHALL BE PROVIDED WITH PASSING TURNOUTS AT NO MORE THAN 500 FOOT INTERVALS. TURNOUTS SHALL BE 8 FEET WIDE BY 40 FEET LONG IN ACCORDANCE WITH SANTA CLARA COUNTY STANDARD SD-16; STANDARD TURNAROUNDS & TURNOUTS.
- AN APPROVED FIRE APPARATUS TURNAROUND IS REQUIRED WHEN THE DISTANCE (AS MEASURED ALONG THE PATH OF TRAVEL) FROM THE CENTERLINE OF THE ACCESS ROAD TO THE FARTHEST PORTION OF THE STRUCTURE EXCEEDS 150 FEET. EXAMPLES OF APPROVED TURNAROUNDS WOULD BE A 40 FOOT BY 48 FOOT PAD, AN APPROVED HAMMERHEAD ("T"), OR AN APPROVED BULB WITH A MINIMUM 32 FOOT OUTSIDE RADIUS, IN COMPLIANCE WITH COUNTY STANDARD SD-16, STANDARD TURNAROUNDS & TURNOUTS. ALL TURNAROUNDS SHALL HAVE A MAXIMUM SLOPE OF 5% IN ANY DIRECTION.
- THE DRIVEWAY SURFACE SHALL BE DESIGNED AND MAINTAINED TO SUPPORT A 65,000 POUND WATER TENDER, DESIGNED FOR THE LATEST EDITION OF CALTRANS STANDARD. ON GRADES UP TO 15%, THE SURFACE SHALL PROVIDE ALL-WEATHER DRIVING CAPABILITY, INCLUDING SUFFICIENT DRAINAGE AND SURFACE COURSE CONSISTENT WITH GOOD ENGINEERING PRACTICES. GRADES IN EXCESS OF 15% SHALL BE ENGINEERED ASPHALT, CONCRETE OR ANOTHER SURFACE MEETING COUNTY STANDARD SD-5, SINGLE LOT DRIVEWAY. NOTE THAT FOR DRIVEWAYS NOT REQUIRING A GRADING PERMIT FROM LAND DEVELOPMENT ENGINEERING, DOCUMENTATION OF A COMPACTION TEST MAY BE REQUIRED BY THE FIRE MARSHAL.
- THE DRIVEWAY APPROACH TO A DRIVEWAY SHALL BE DESIGNED AND CONSTRUCTED PER COUNTY STANDARD SD-4, DRIVEWAY APPROACH.

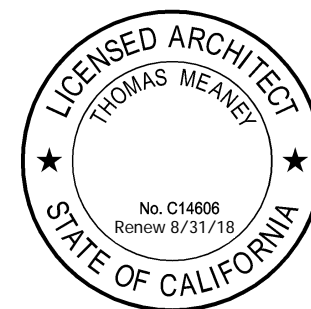
PROPOSED SITE PLAN

1" = 40'-0"

TOM MEANY ARCHITECT

RAMM RESIDENCE
115 CLAYTON ROAD
SAN JOSE, CA

PROPOSED SITE
PLAN



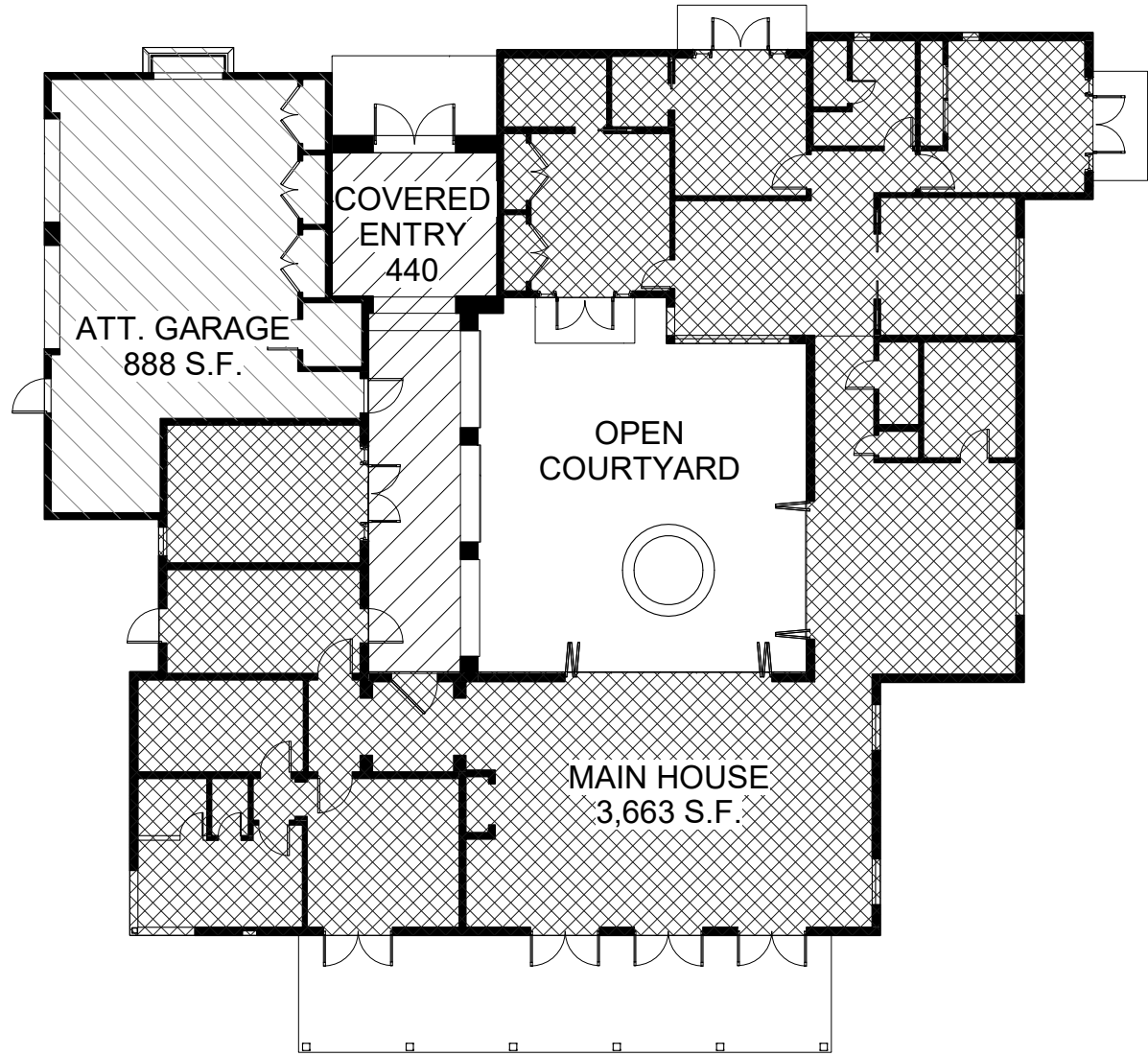
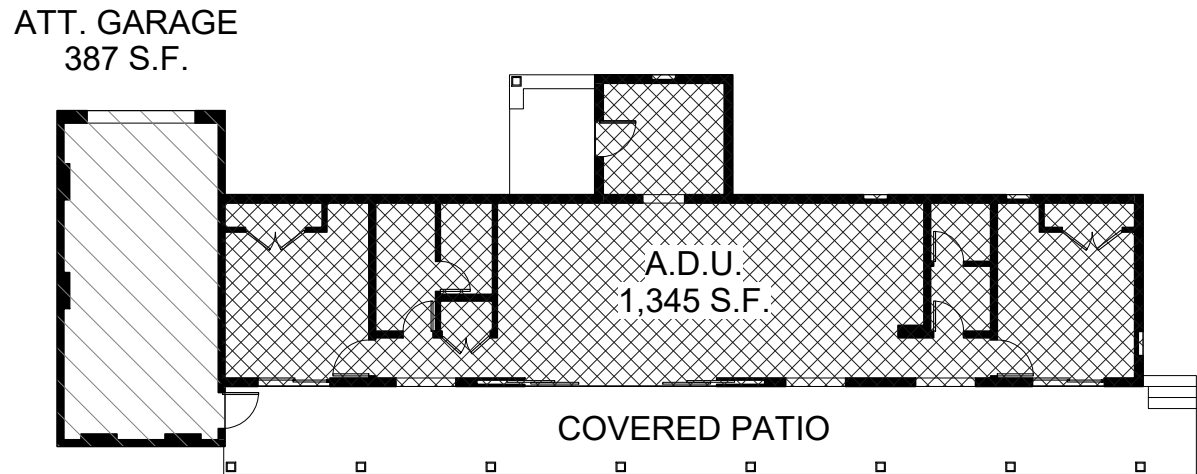
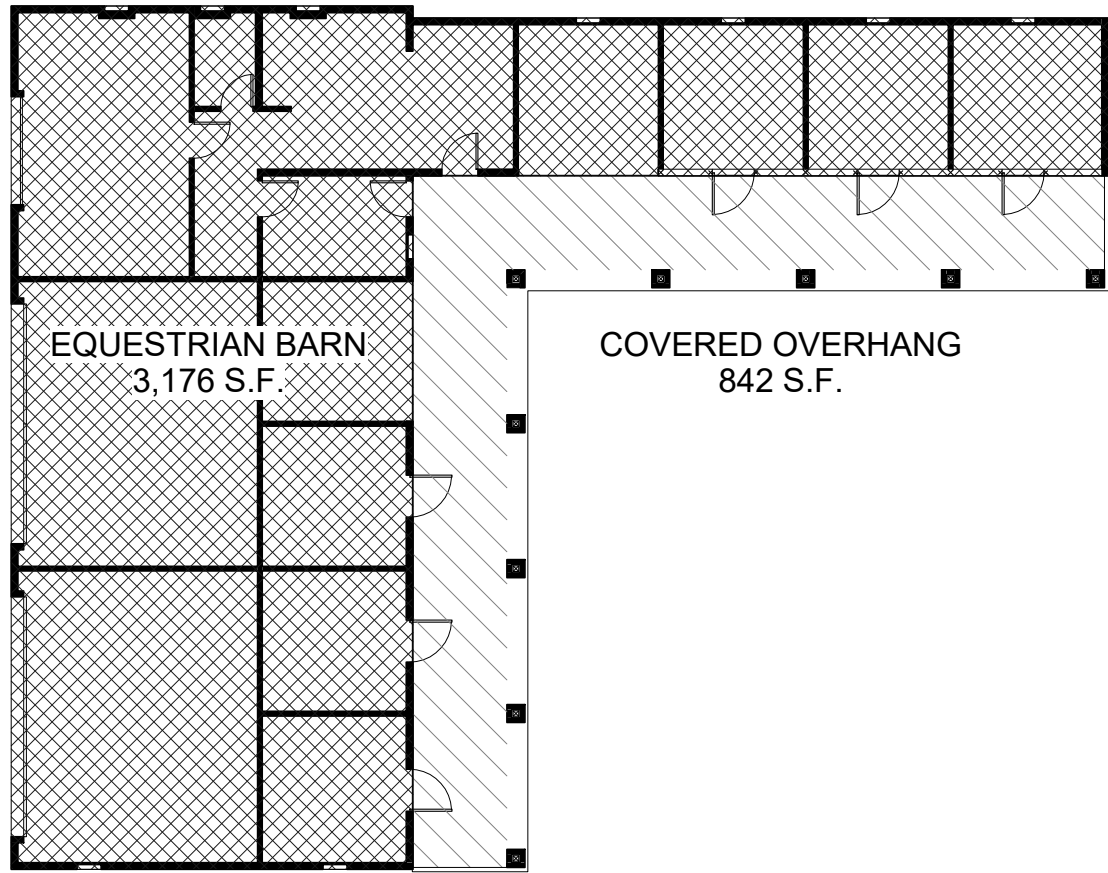
Date: 2018-06-05
Scale: As indicated
Drawn: AW
Job #: Project Number

Sheet

A1.1

6/6/2018 11:26:09 AM

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meany and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meany. Copyright © 2008. All rights reserved. Thomas Meany Architect, Inc.



FLOOR AREA CALCULATION AND F.A.R.

1/16" = 1'-0"

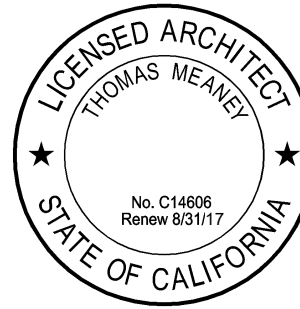
FLOOR AREA RATIO

LOT AREA		
GROSS LOT AREA	22 ACRE	958,320
NET LOT AREA	22 ACRE	958,320
MAXIMUM ALLOWED F.A.R. (N1)		5,700 S.F.
FLOOR AREA CALCULATIONS		
MAIN HOUSE		3,663 S.F.
ATTACHED GARAGE		888
COVERED ENTRY AND ARCADE		440
ACCESSORY DWELLING UNIT *		1,345
ATTACHED GARAGE		387
EQUESTRIAN BARN *		3,176
GRAND TOTAL		4,991 S.F.
F.A.R.		88%

NOT FOR CONSTRUCTION

RAMM RESIDENCE
CLAYTON ROAD
SAN JOSE, CA

F.A.R. & AREA
CALCULATIONS



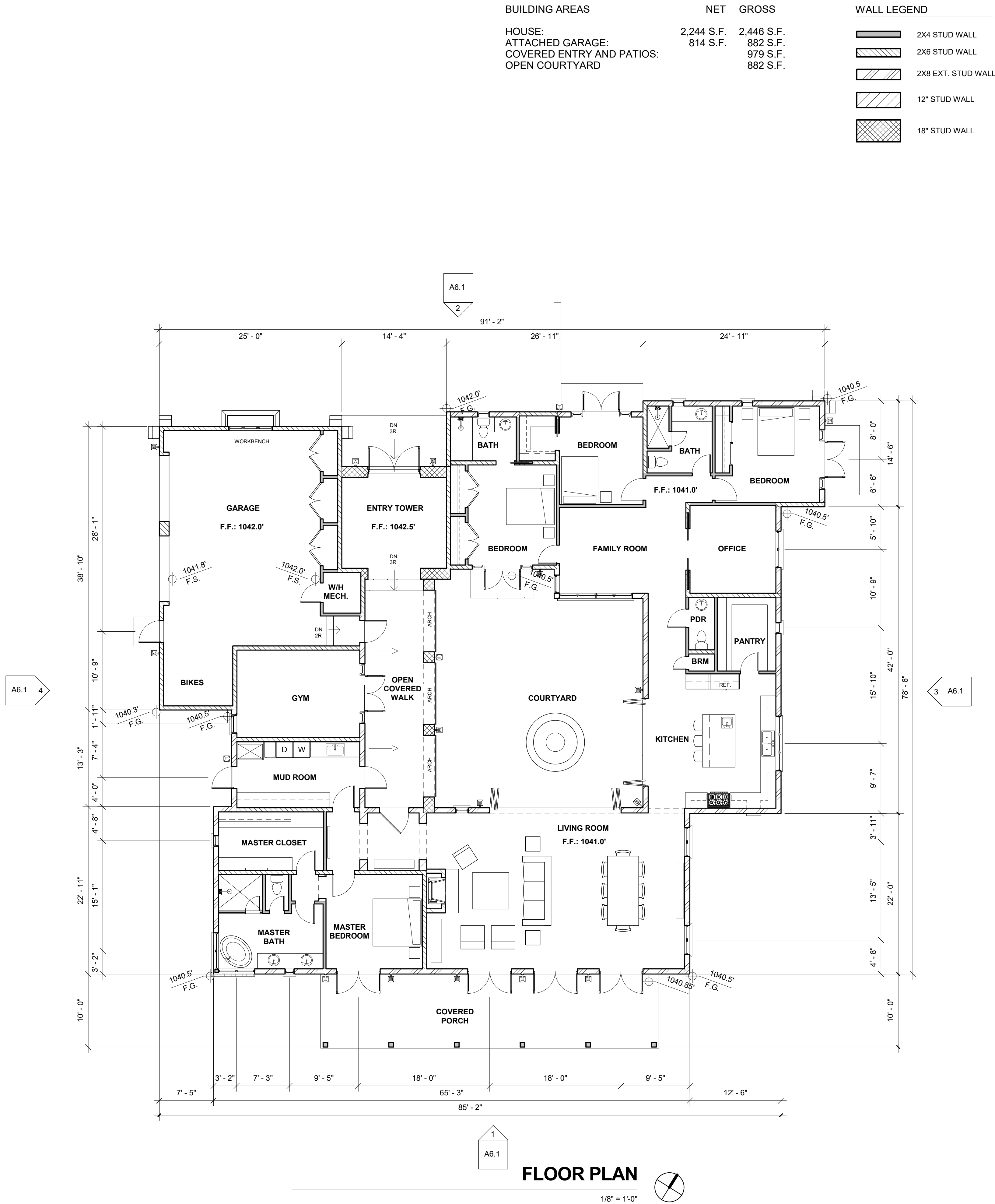
Date: 2018-06-05
Scale: 1/16" = 1'-0"
Drawn: ATW
Job #: Project Number

Sheet

A1.2

TOM MEANY ARCHITECT
629 STATE STREET • SUITE 240 • SANTA BARBARA, CA • 93101 • TEL (CARMEL) 831.624.4278
(SANTA BARBARA) 805.966.7668 • FAX 805.966.7698 • WWW.TOMMEANY.COM

Revision Schedule		
#	Date	Description



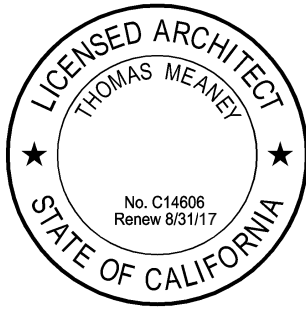
FLOOR PLAN

1/8" = 1'-0"

NOT FOR CONSTRUCTION

RAMM RESIDENCE
CLAYTON ROAD
SAN JOSE, CA

FLOOR PLAN



Date: 2018-06-01
Scale: As indicated
Drawn: ATW
Job #: Project Number

Sheet

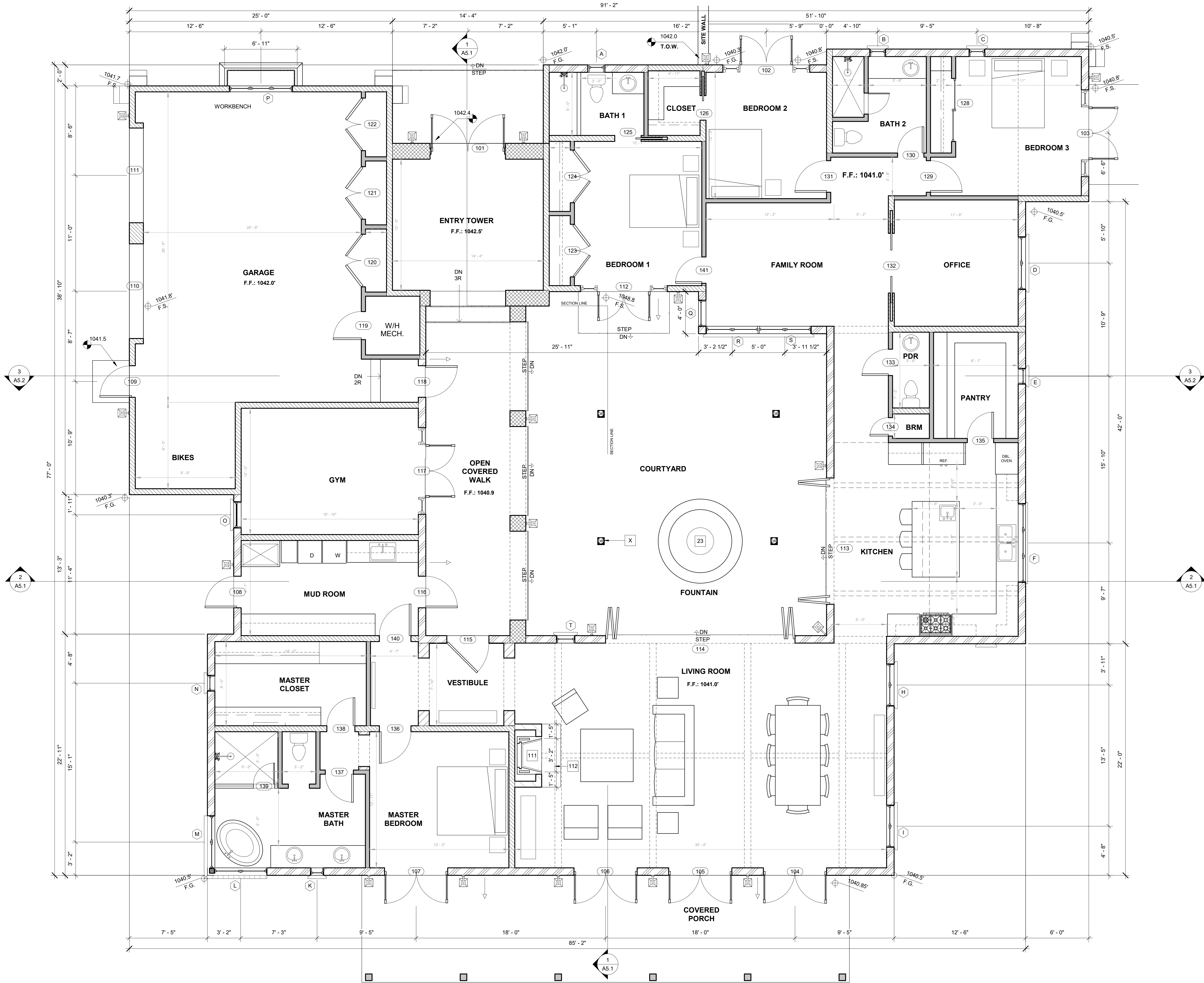
A2.1

T M
TOM MEANEY ARCHITECT

629 STATE STREET • SUITE 240 • SANTA BARBARA, CA • 93101 • TEL (CARMEL) 831.624.4278
(SANTA BARBARA) 805.966.7668 • FAX 805.966.7698 • WWW.TOMMEANEY.COM •

Revision Schedule		
#	Date	Description

6/1/2018 3:22:58 PM All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meaney and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meaney. Copyright © 2008 All rights reserved. Thomas Meaney Architect, Inc.



NOT FOR CONSTRUCTION

Revision Schedule

#	Date	Description

TOM MEANEY ARCHITECT

629 STATE STREET • SUITE 240 • SANTA BARBARA, CA • 93101 • TEL (CARMEL) 831.624.4278
(SANTA BARBARA) 805.966.7668 • FAX 805.966.7698 • WWW.TOMMEANEY.COM •

RAMM RESIDENCE
CLAYTON ROAD
SAN JOSE, CA

FLOOR PLAN

LICENSED ARCHITECT
THOMAS MEANEY
No. C14898
Renew 8/31/17
STATE OF CALIFORNIA

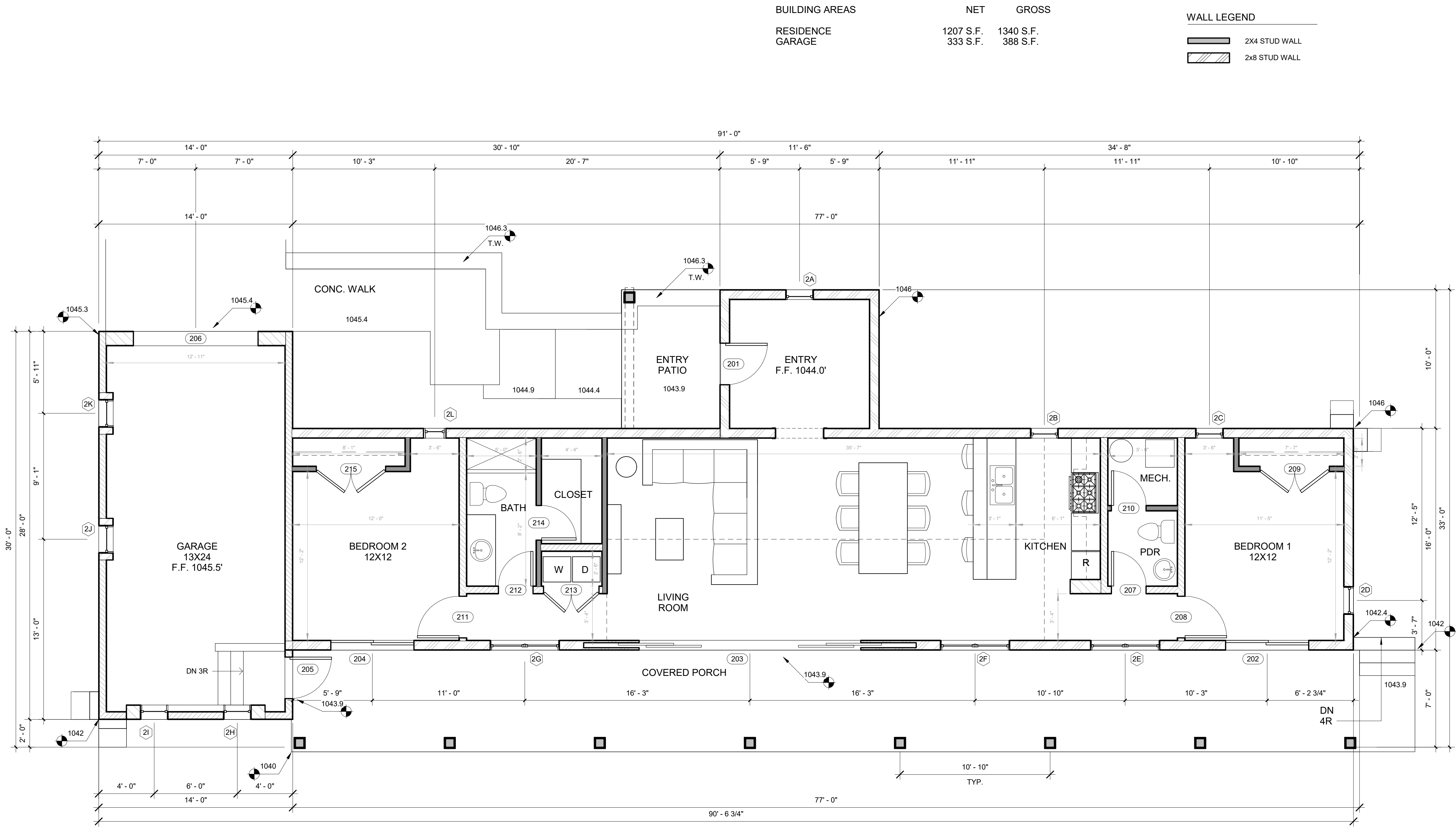
Date	2018-06-01
Scale	1/4" = 1'-0"
Drawn	ATW
Job #	Project Number

Sheet

A2.2

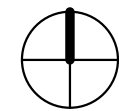
All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meany and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meany. Copyright © 2006. All rights reserved. Thomas Meany Architect, Inc.

6/5/2018 12:34:19 PM



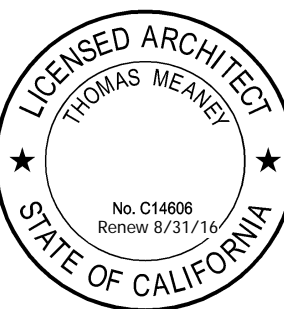
ACCESSORY DWELLING UNIT PLAN

1/4" = 1'-0"



RAMM RESIDENCE - ACC. DWELLING UNIT
115 CLAYTON ROAD
SAN JOSE, CA

PROPOSED
ACCESSORY
DWELLING UNIT



Date 2018-06-05
Scale As indicated
Drawn AW
Job # Project Number
Sheet

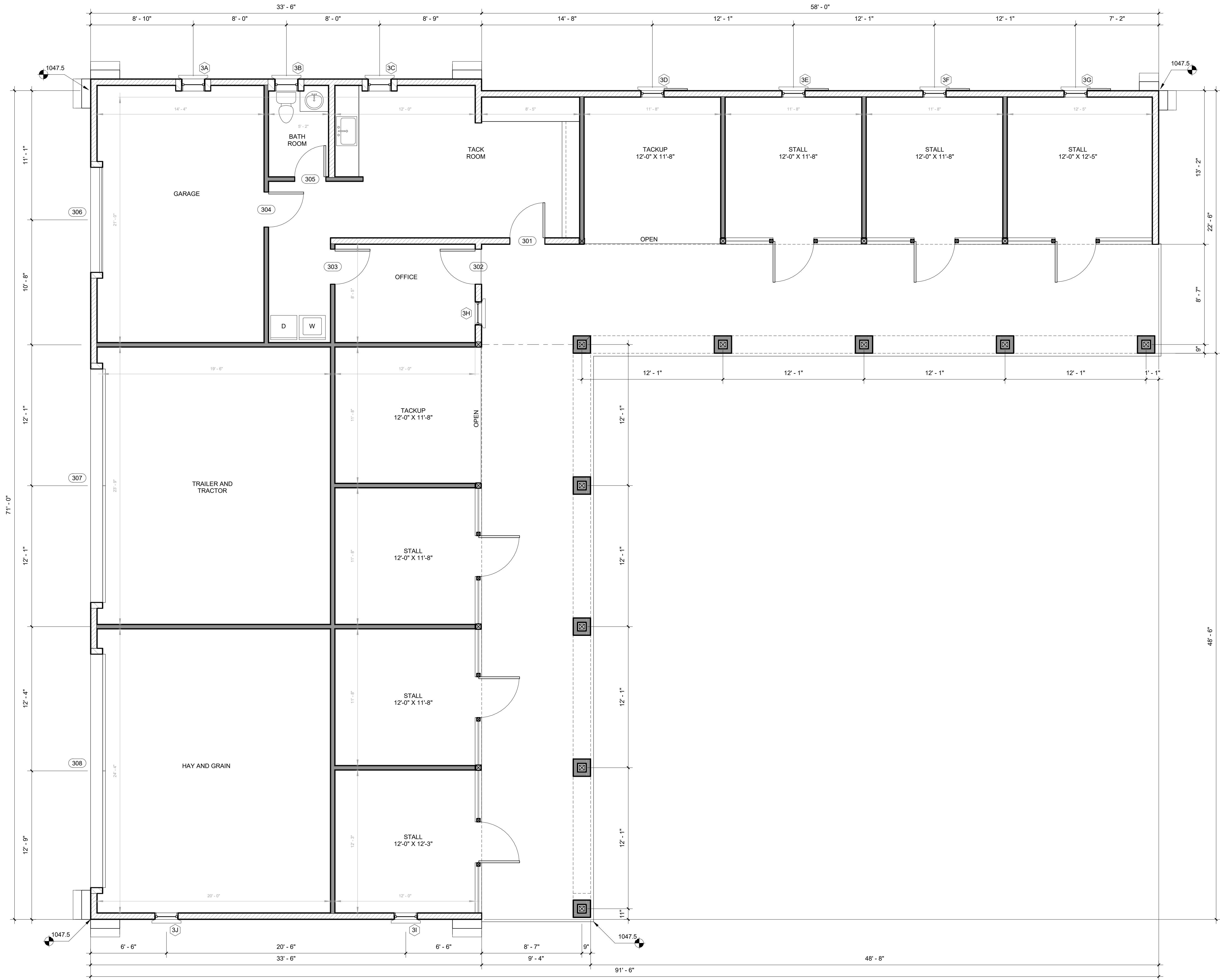
A2.3

TOM MEANY ARCHITECT

629 STATE STREET • SUITE 240 • SANTA BARBARA, CA • 93101 • TEL (CARMEL) 831-624-4278 (SANTABARBARA) 805-966-7668 • FAX 805-966-7698 • WWW.TOMMEANY.COM

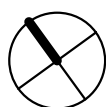
6/1/2018 3:55:46 PM

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meaney and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meaney. Copyright © 2008. All rights reserved. Thomas Meaney Architect, Inc.



EQUESTRIAN BARN PLAN

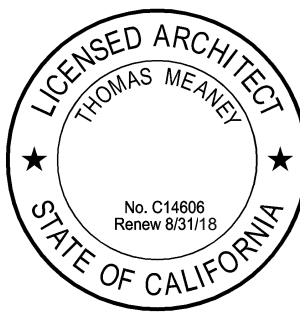
1/4" = 1'-0"



NOT FOR CONSTRUCTION

RAMM RESIDENCE - EQUEST. BARN
115 CLAYTON ROAD
SAN JOSE, CA

EQUESTRIAN
BARN PLAN



Date: 2018-06-01
Scale: 1/4" = 1'-0"
Drawn: ATW
Job #: Project Number

Sheet

A2.4

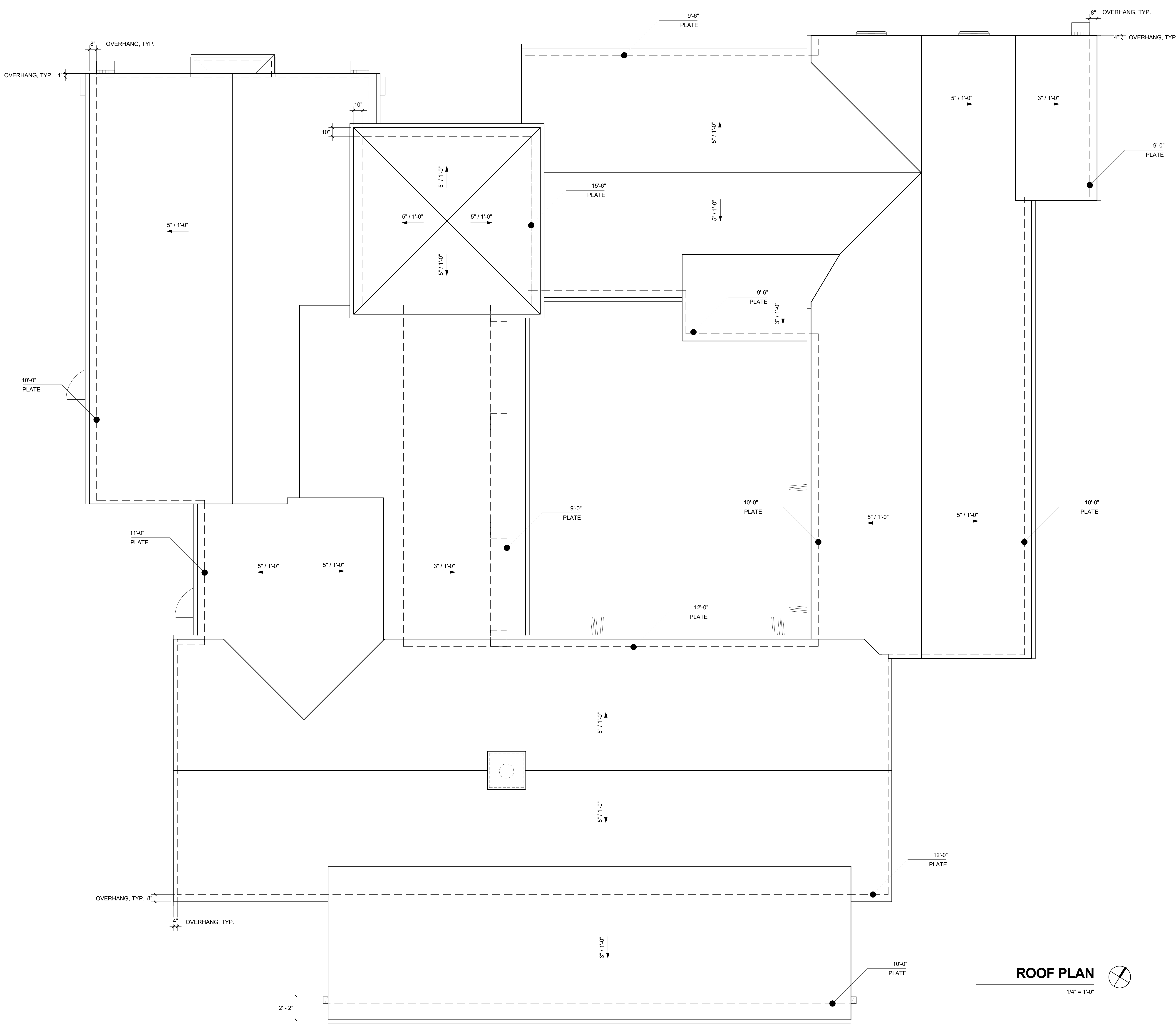
T M
TOM MEANEY ARCHITECT

629 STATE STREET • SUITE 240 • SANTA BARBARA, CA • 93101 • TEL (CARMEL) 831.624.4278
(SANTA BARBARA) 805.966.7668 • FAX 805.966.7698 • WWW.TOMMEANEY.COM •

Revision Schedule		
#	Date	Description

6/1/2018 3:26:46 PM

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meaney and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meaney. Copyright © 2008. All rights reserved. Thomas Meaney Architect, Inc.



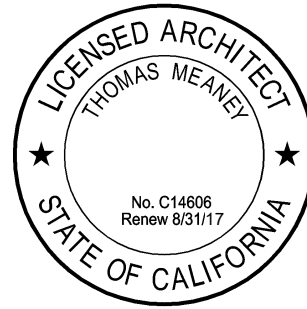
ROOF PLAN

1/4" = 1'-0"

NOT FOR CONSTRUCTION

RAMM RESIDENCE
CLAYTON ROAD
SAN JOSE, CA

ROOF PLAN



Date: 2018-06-01
Scale: 1/4" = 1'-0"
Drawn: ATW
Job #: Project Number

Sheet

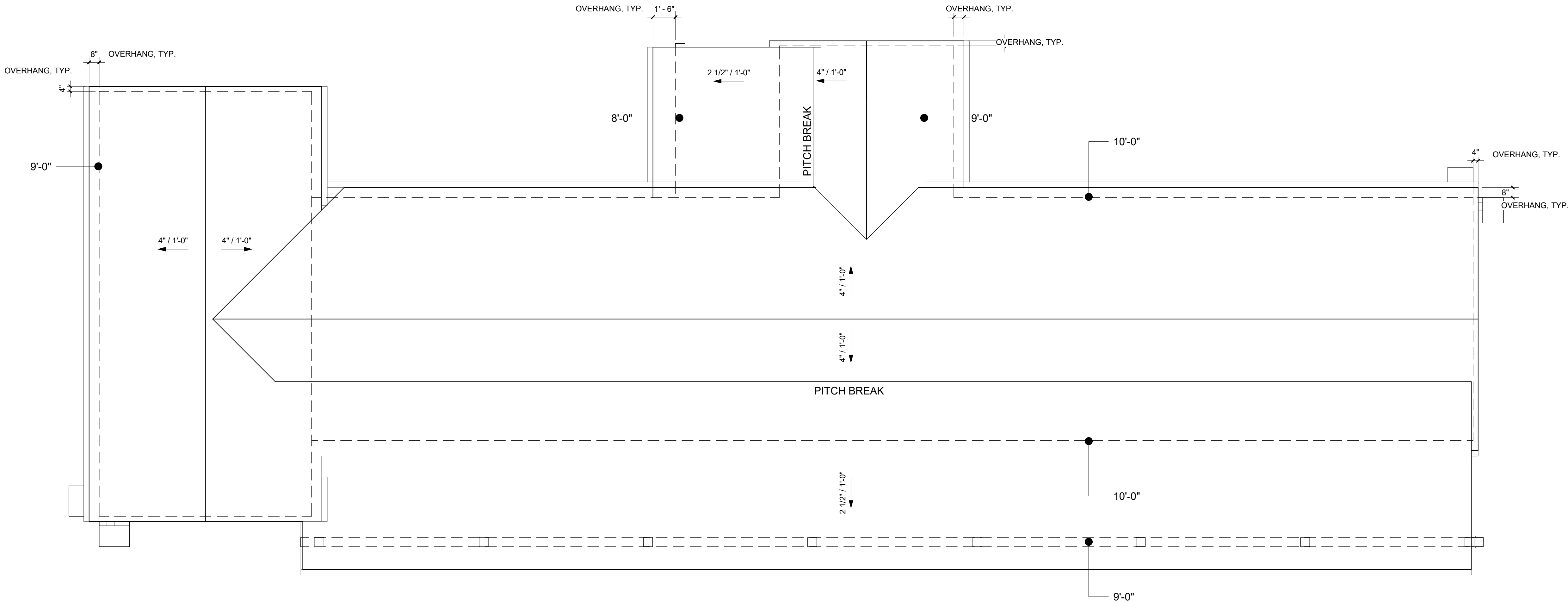
A3.1

T M

TOM MEANEY ARCHITECT

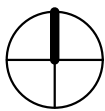
629 STATE STREET • SUITE 240 • SANTA BARBARA, CA • 93101 • TEL (CARMEL) 831.624.4278
(SANTA BARBARA) 805.966.7668 • FAX 805.966.7698 • WWW.TOMMEANEY.COM •

Revision Schedule		
#	Date	Description



ROOF PLAN

1/4" = 1'-0"



Date 2018-06-05
Scale 1/4" = 1'-0"
Drawn AW
Job # Project Number

Sheet

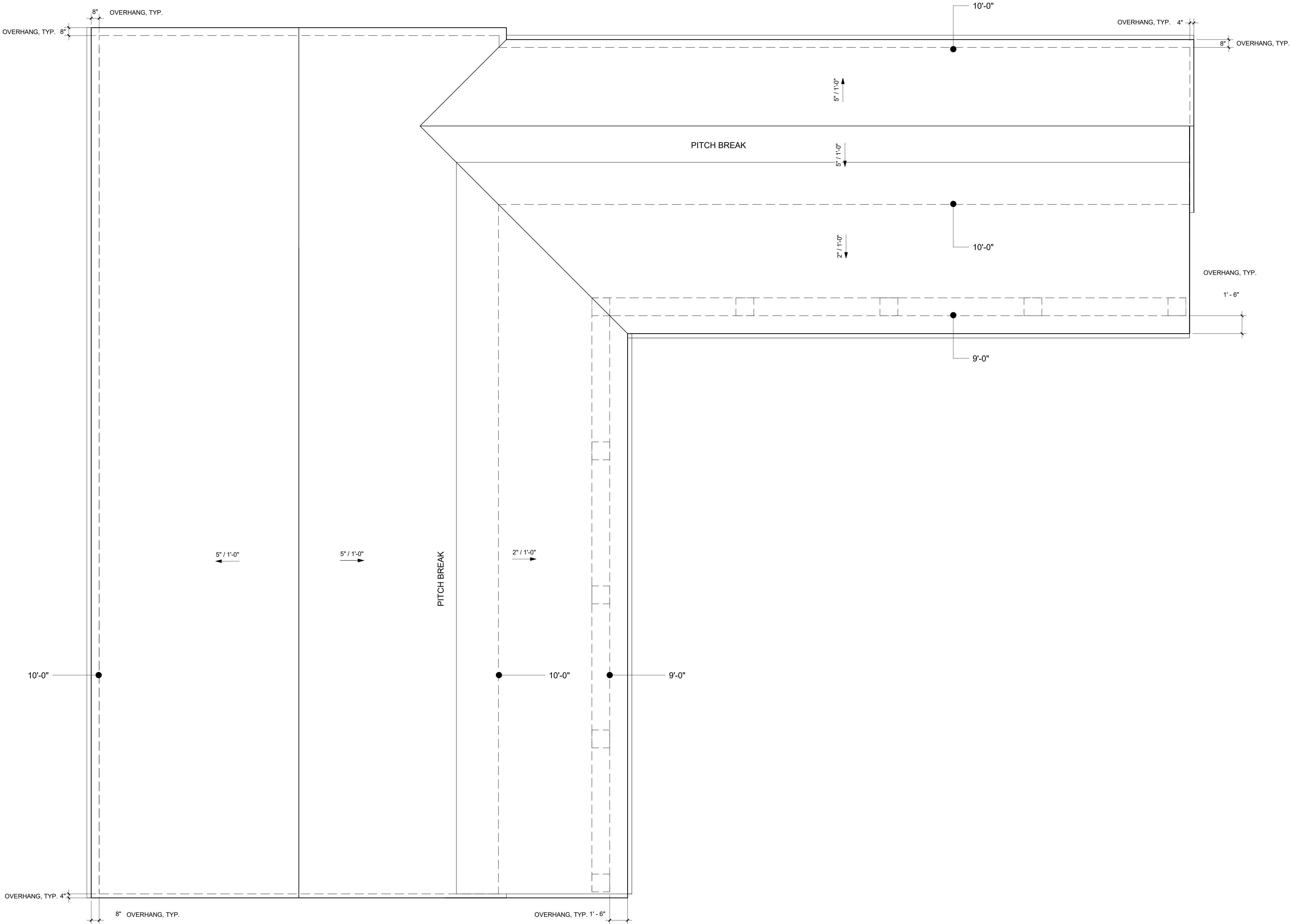
RAMM RESIDENCE - ACC. DWELLING UNIT
115 CLAYTON ROAD
SAN JOSE, CA

TOM MEANEY ARCHITECT



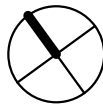
629 STATE STREET • SUITE 240 • SANTA BARBARA, CA • 93101 • TEL (CARMEL) 831-624-4278 (SANTABARBARA) 805-966-7668 • FAX 805-966-7698 • WWW.TOMMEANEY.COM

6/1/2018 3:56:26 PM All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meaney and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meaney. Copyright © 2008. All rights reserved. Thomas Meaney Architect, Inc.



EQUESTRIAN BARN PLAN

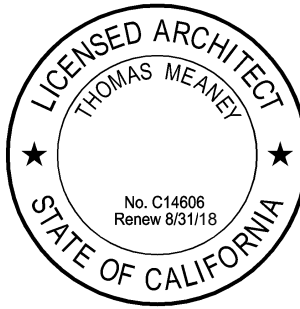
1/4" = 1'-0"



NOT FOR CONSTRUCTION

RAMM RESIDENCE - EQUEST. BARN
115 CLAYTON ROAD
SAN JOSE, CA

EQ. BARN ROOF
PLAN



Date 2018-06-01
Scale 1/4" = 1'-0"
Drawn ATW
Job # Project Number

Sheet

A3.4

Revision Schedule

#	Date	Description
---	------	-------------

T

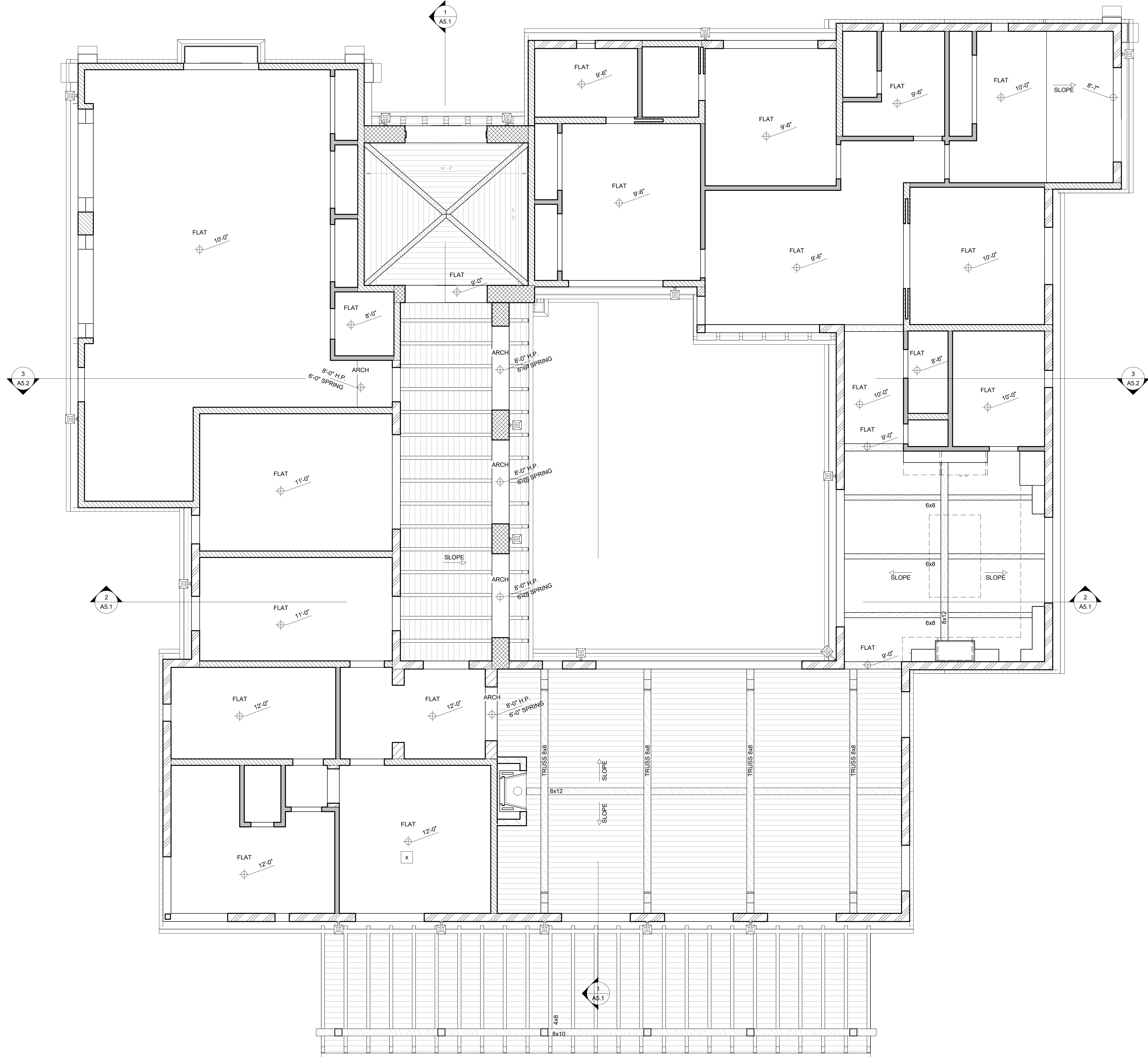
M

ARCHITECT

629 STATE STREET • SUITE 240 • SANTA BARBARA, CA • 93101 • TEL (CARMEL) 831.624.4278
(SANTA BARBARA) 805.966.7668 • FAX 805.966.7698 • WWW.TOMMEANEY.COM •

6/1/2018 3:26:06 PM All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meaney and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meaney. Copyright © 2008. All rights reserved. Thomas Meaney Architect, Inc.

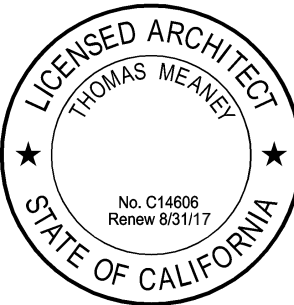
A6.1 4



NOT FOR CONSTRUCTION

RAMM RESIDENCE
CLAYTON ROAD
SAN JOSE, CA

REFLECTED
CEILING PLAN



Date: 2018-06-01
Scale: 1/4" = 1'-0"
Drawn: ATW
Job #: Project Number

Sheet

A4.1

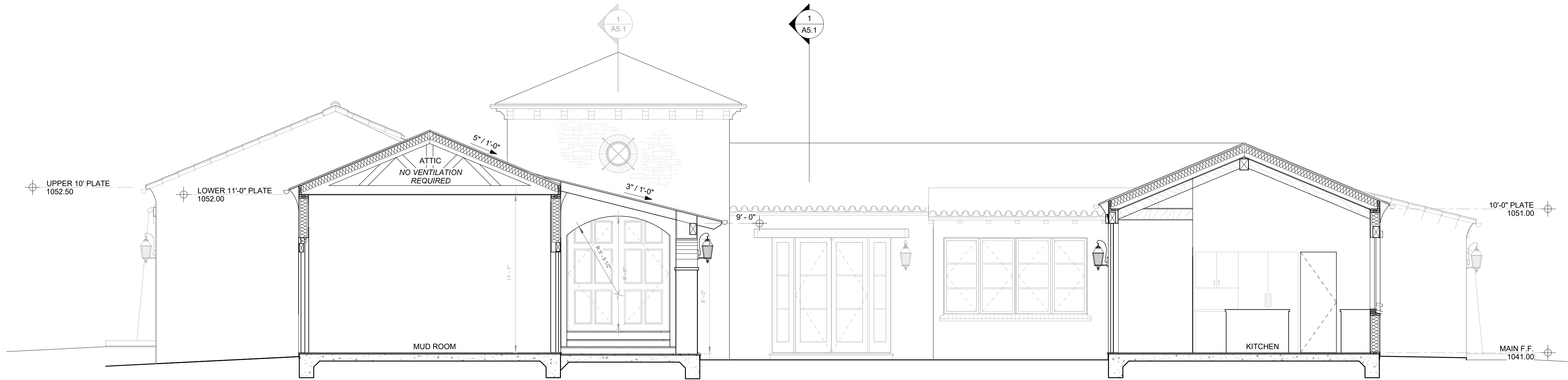
TOM MEANEY ARCHITECT

629 STATE STREET • SUITE 240 • SANTA BARBARA, CA • 93101 • TEL (CARMEL) 831.624.4278
(SANTA BARBARA) 805.966.7668 • FAX 805.966.7698 • WWW.TOMMEANEY.COM

Revision Schedule		
#	Date	Description

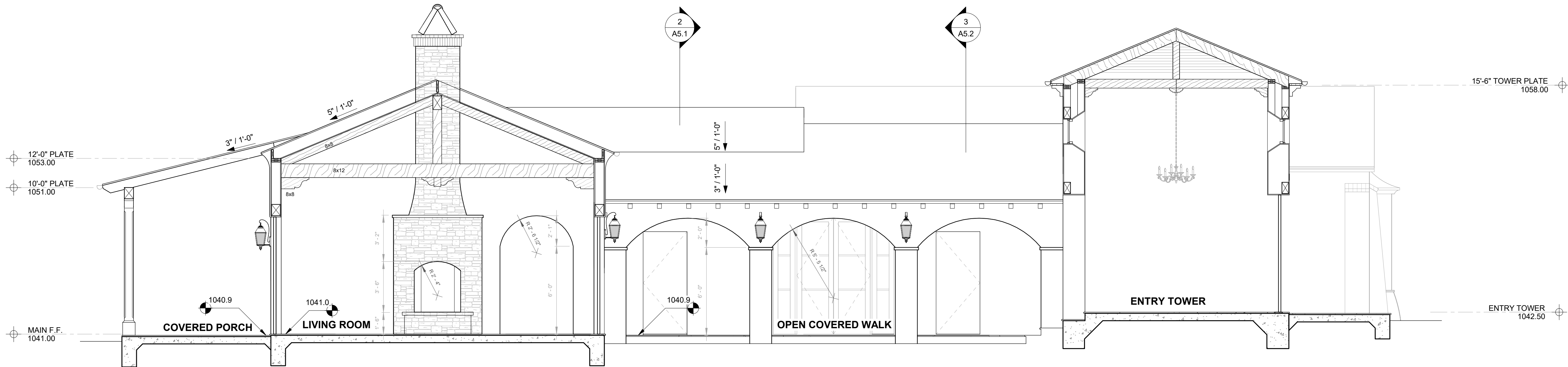
6/1/2018 3:29:40 PM

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meaney and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meaney. Copyright © 2008. All rights reserved. Thomas Meaney Architect, Inc.



SECTION 2

1/4" = 1'-0"



SECTION 1

1/4" = 1'-0"

NOT FOR CONSTRUCTION

RAMM RESIDENCE
CLAYTON ROAD
SAN JOSE, CA

BUILDING
SECTIONS



Date 2018-06-01
Scale 1/4" = 1'-0"
Drawn ATW
Job # Project Number

Sheet

A5.1

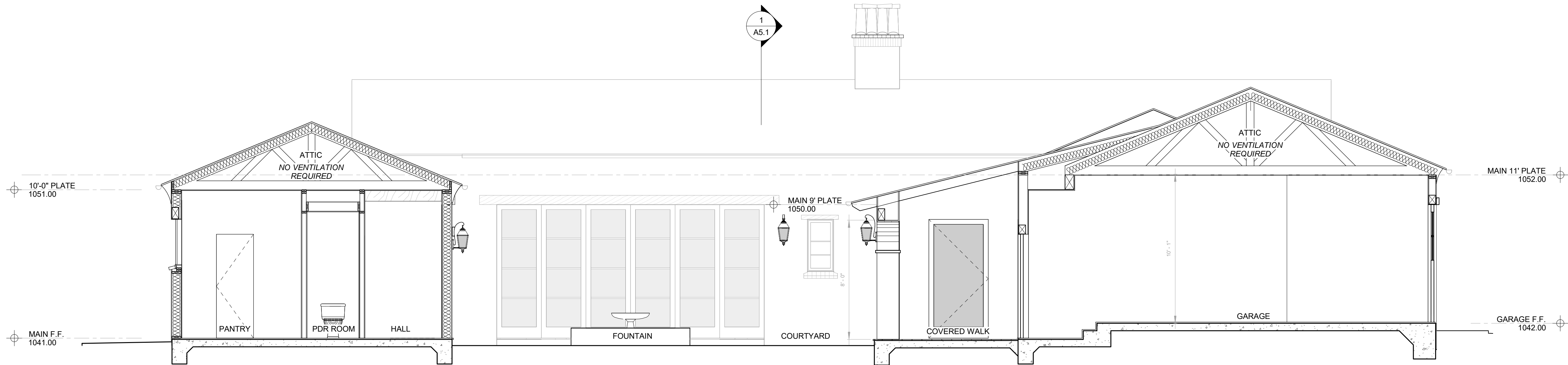
TOM MEANEY ARCHITECT

629 STATE STREET, SUITE 240 • SANTA BARBARA, CA • 93101 • TEL (CARMEL) 831.624.4278
(SANTA BARBARA) 805.966.7668 • FAX 805.966.7698 • WWW.TOMMEANEY.COM

Revision Schedule		
#	Date	Description

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meaney and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meaney. Copyright © 2008. All rights reserved. Thomas Meaney Architect, Inc.

6/1/2018 3:31:59 PM



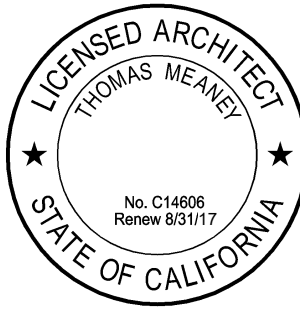
SECTION 3

1/4" = 1'-0"

NOT FOR CONSTRUCTION

RAMM RESIDENCE
CLAYTON ROAD
SAN JOSE, CA

BUILDING
SECTIONS



Date 2018-06-01
Scale 1/4" = 1'-0"
Drawn ATW
Job # Project Number

Sheet

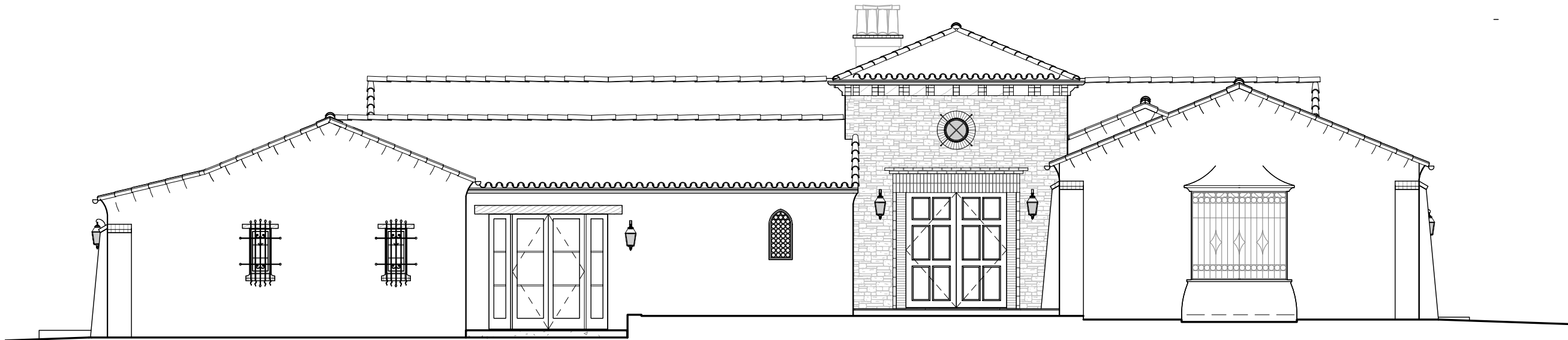
A5.2

T M
T O M M E A N E Y A R C H I T E C T

629 STATE STREET • SUITE 240 • SANTA BARBARA, CA • 93101 • TEL (CARMEL) 831.624.4278
(SANTA BARBARA) 805.966.7668 • FAX 805.966.7698 • WWW.TOMMEANEY.COM •

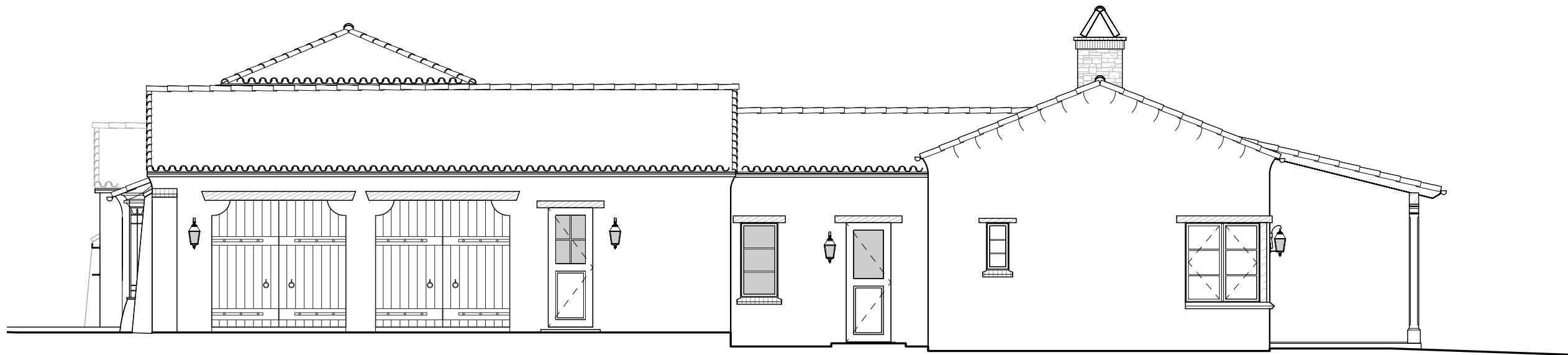
Revision Schedule		
#	Date	Description

6/1/2018 3:40:03 PM All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meaney and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meaney. Copyright © 2008. All rights reserved. Thomas Meaney Architect, Inc.



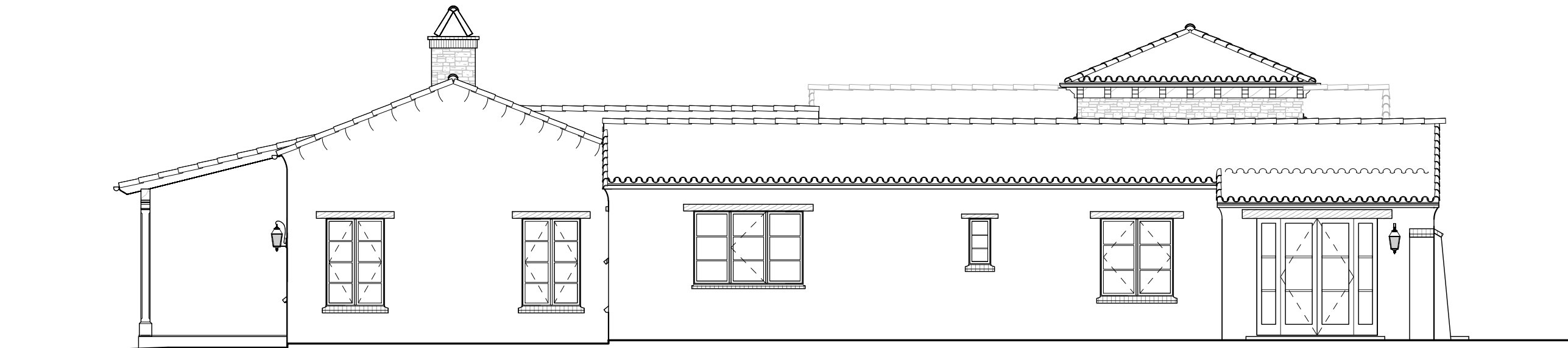
NORTH ELEVATION

1/8" = 1'-0"



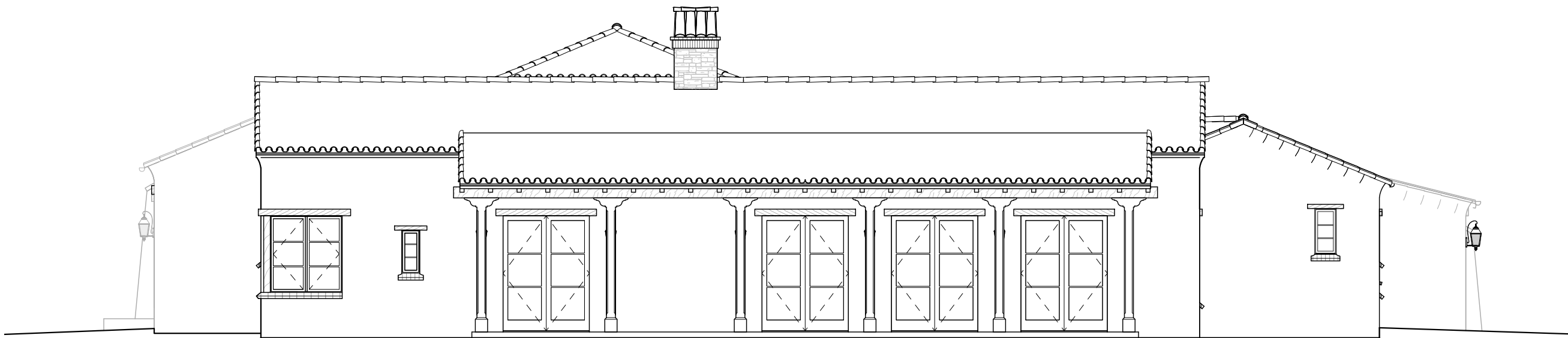
WEST ELEVATION

1/8" = 1'-0"



EAST ELEVATION

1/8" = 1'-0"



SOUTH ELEVATION

1/8" = 1'-0"

NOT FOR CONSTRUCTION

RAMM RESIDENCE
CLAYTON ROAD
SAN JOSE, CA

EXTERIOR
ELEVATIONS



Date 2018-06-01
Scale 1/8" = 1'-0"
Drawn ATW
Job # Project Number

Sheet

A6.1

Revision Schedule

#	Date	Description
---	------	-------------

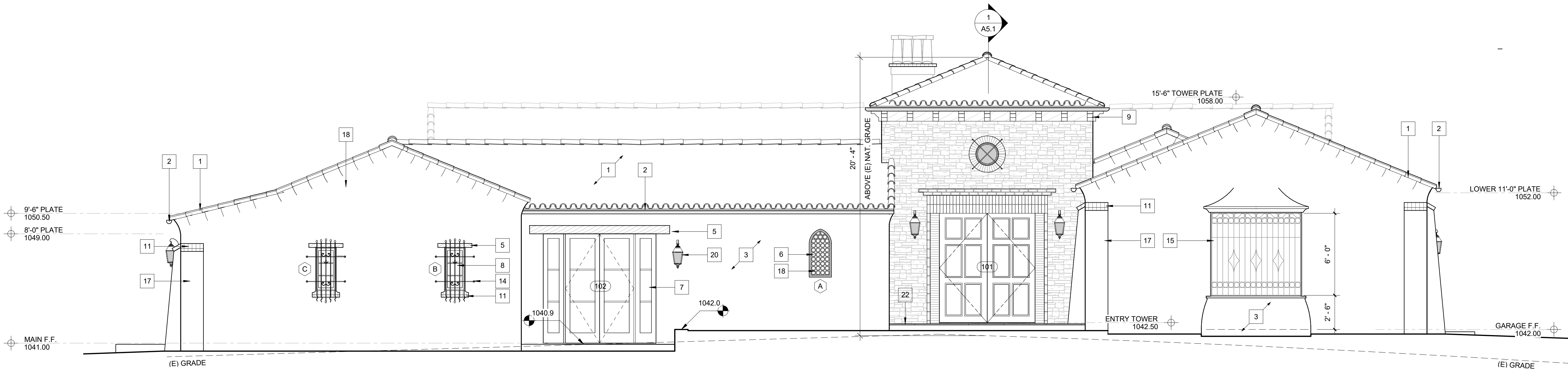
T

M

ARCHITECT

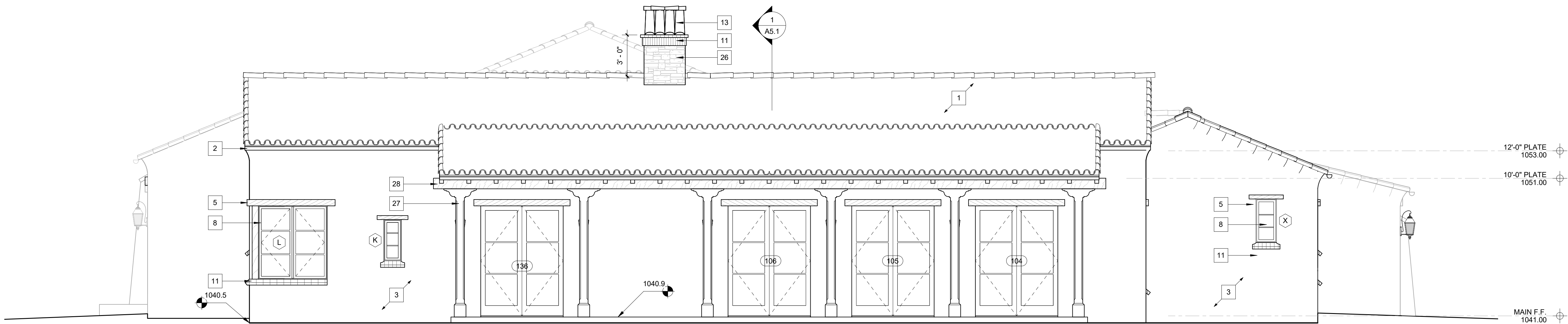
629 STATE STREET • SUITE 240 • SANTA BARBARA, CA • 93101 • TEL (CARMEL) 831.624.4278
(SANTA BARBARA) 805.966.7668 • FAX 805.966.7698 • WWW.TOMMEANEY.COM •

6/1/2018 3:35:11 PM
All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meaney and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meaney. Copyright © 2008. All rights reserved. Thomas Meaney Architect, Inc.



NORTH ELEVATION

1/4" = 1'-0"



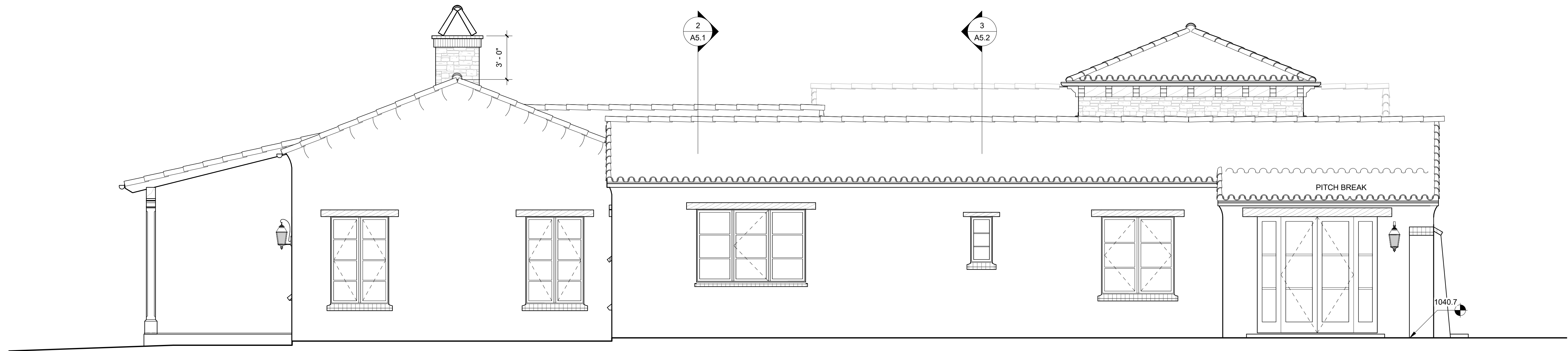
SOUTH ELEVATION

1/4" = 1'-0"

Revision Schedule
| Date | Description
TOM MEANEY ARCHITECT
629 STATE STREET • SUITE 240 • SANTA BARBARA, CA • 93101 • TEL (CARMEL) 831.624.4278
(SANTA BARBARA) 805.966.7668 • FAX 805.966.7698 • WWW.TOMMEANEY.COM

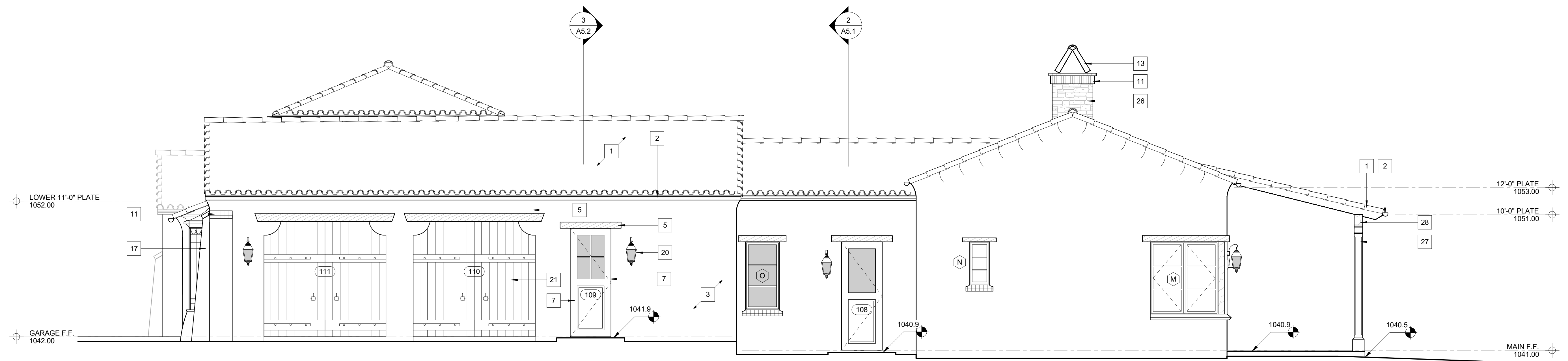
NOT FOR CONSTRUCTION
RAMM RESIDENCE
CLAYTON ROAD
SAN JOSE, CA
EXTERIOR
ELEVATIONS
LICENSED ARCHITECT
THOMAS MEANEY
No. C14806
Renew 03/1/17
STATE OF CALIFORNIA
Date 2018-06-01
Scale 1/4" = 1'-0"
Drawn ATW
Job # Project
Number
Sheet

A6.2



EAST ELEVATION

1/4" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"

RAMM RESIDENCE
CLAYTON ROAD
SAN JOSE, CA

**EXTERIOR
ELEVATIONS**

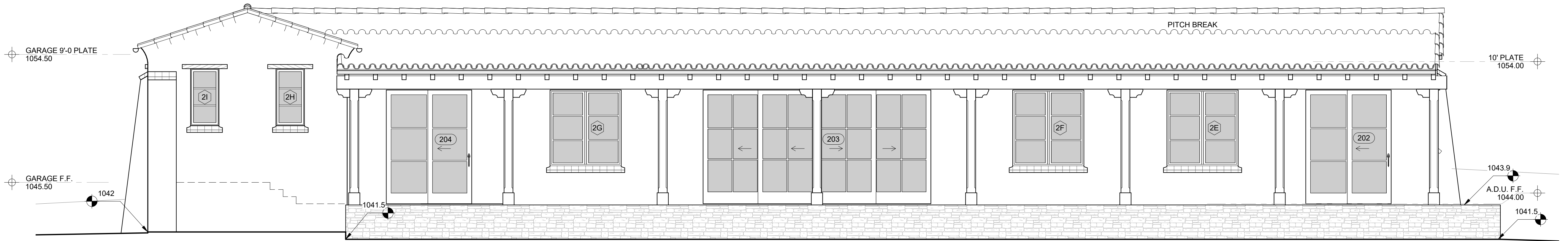
Date 2018-06-01
Scale 1/4" = 1'-0"
Drawn AW
Job #
Project Number

Sheet

A6.3

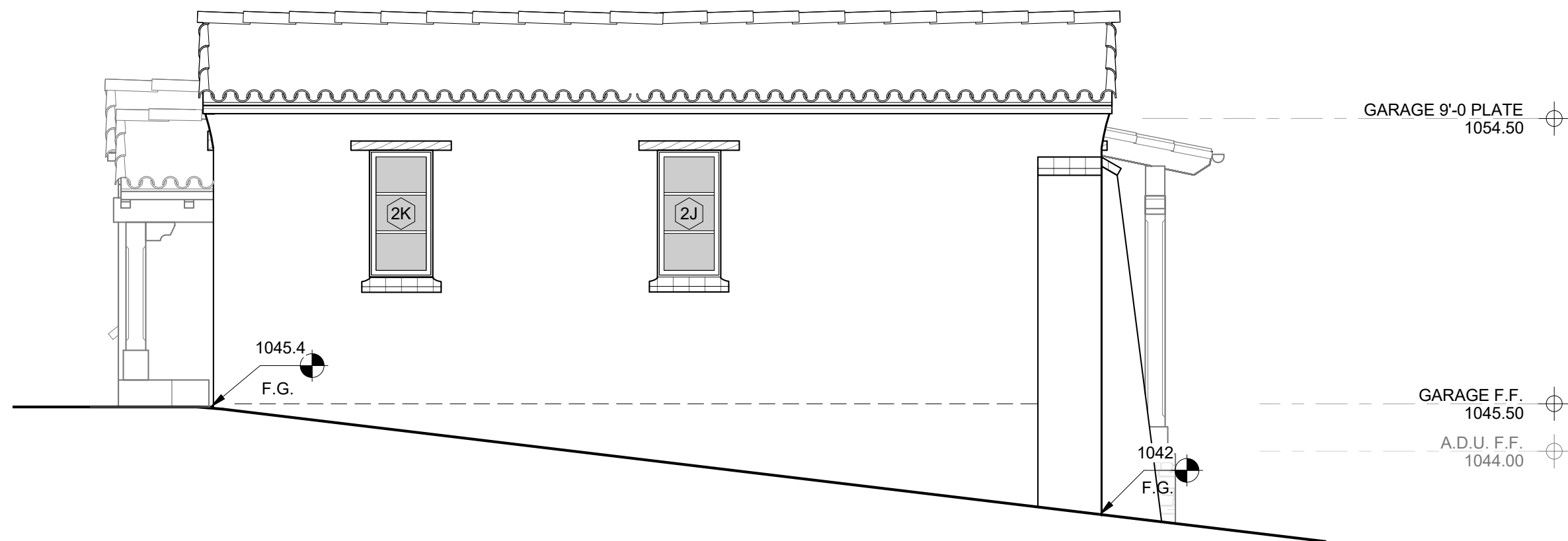
All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meany and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meany. Copyright © 2006. All rights reserved. Thomas Meany Architect, Inc.

6/5/2018 12:38:15 PM



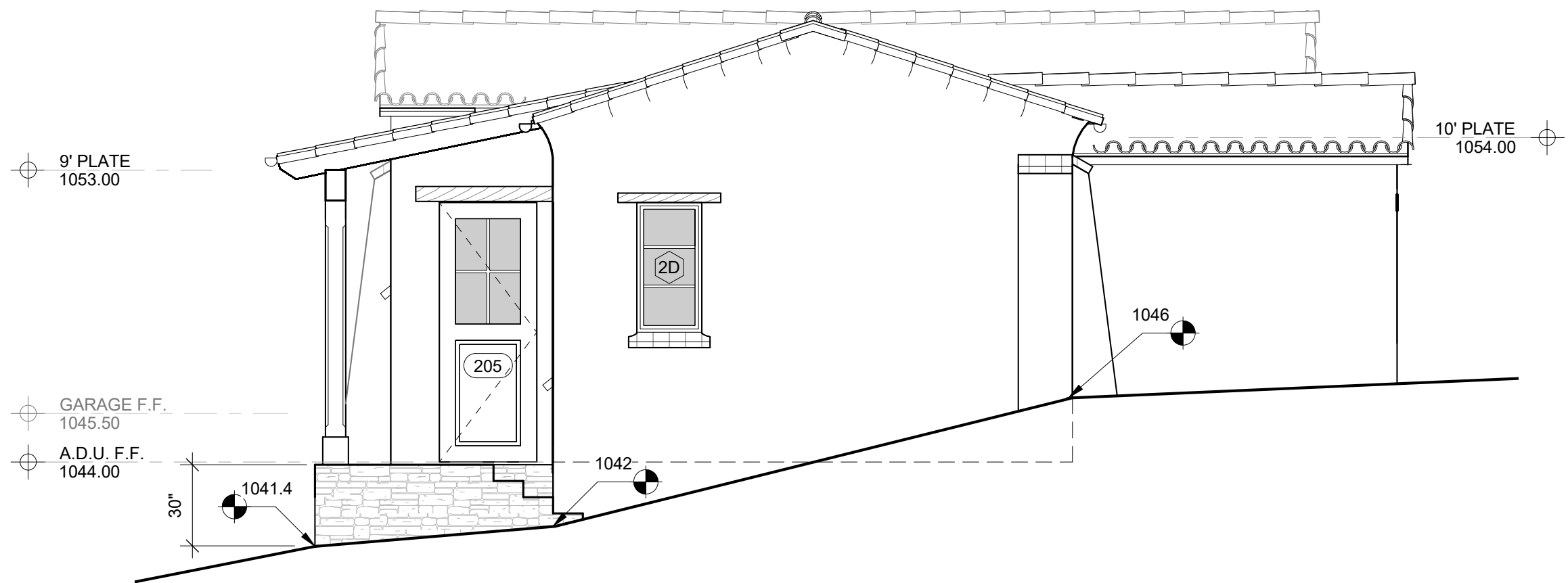
SOUTH ELEVATION

1/4" = 1'-0"



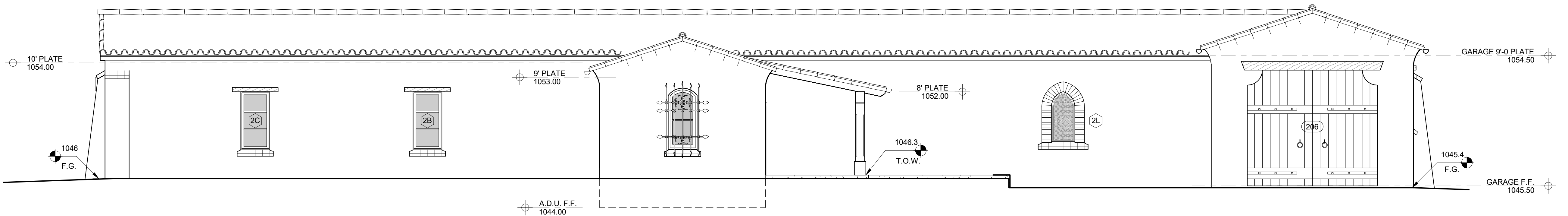
WEST ELEVATION

1/4" = 1'-0"



EAST ELEVATION

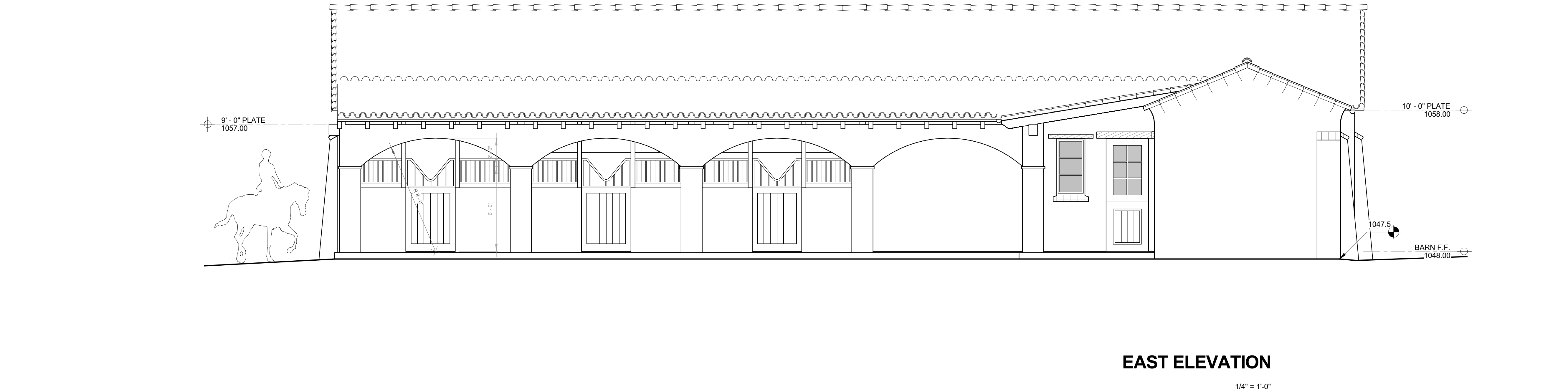
1/4" = 1'-0"



NORTH ELEVATION

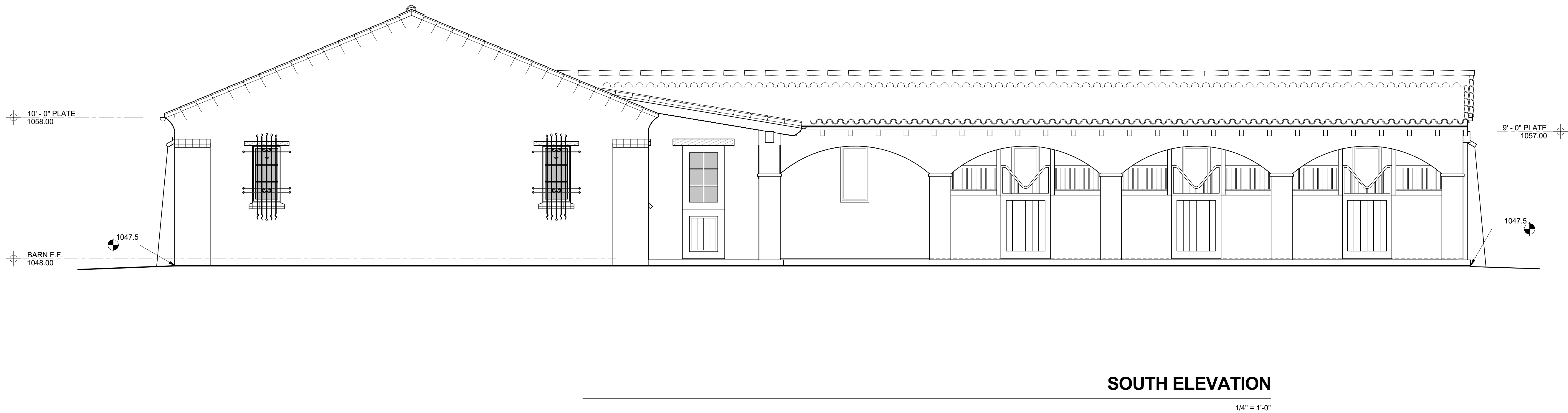
1/4" = 1'-0"

6/1/2018 3:57:08 PM
All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meaney and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meaney. Copyright © 2008. All rights reserved. Thomas Meaney Architect, Inc.



EAST ELEVATION

1/4" = 1'-0"



SOUTH ELEVATION

1/4" = 1'-0"

NOT FOR CONSTRUCTION

RAMM RESIDENCE - EQUEST. BARN
115 CLAYTON ROAD
SAN JOSE, CA

EXTERIOR
ELEVATIONS



Date: 2018-06-01
Scale: 1/4" = 1'-0"
Drawn: ATW
Job #: Project Number

Sheet

A6.5

Revision Schedule

#	Date	Description
---	------	-------------

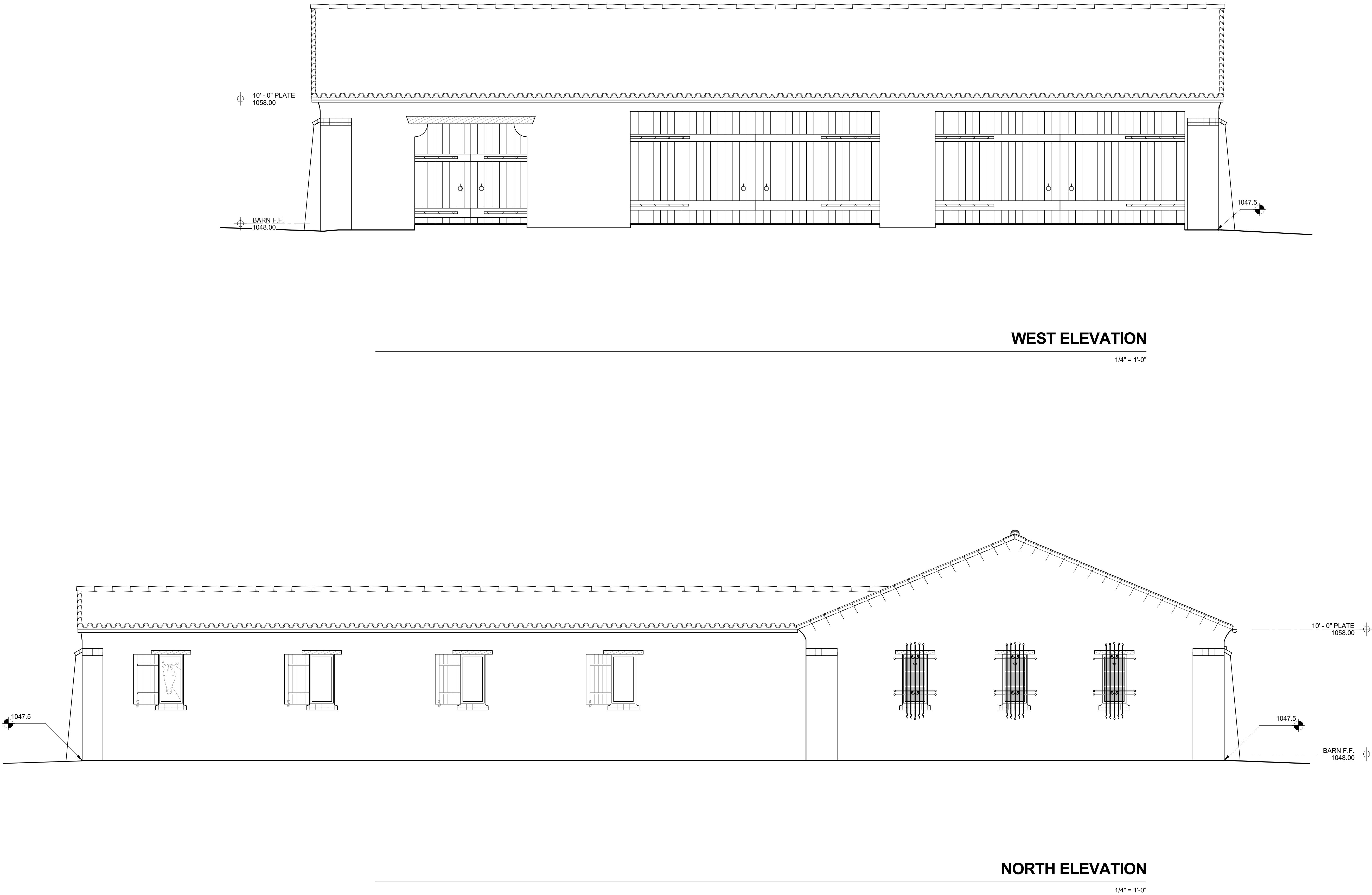
T M

T O M M E A N E Y

A R C H I T E C T

629 STATE STREET • SUITE 240 • SANTA BARBARA • CA • 93101 • TEL (CARMEL) 831.624.4278
(SANTA BARBARA) 805.966.7668 • FAX 805.966.7698 • WWW.TOMMEANEY.COM •

6/1/2018 3:57:39 PM All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meaney and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meaney. Copyright © 2008 All rights reserved. Thomas Meaney Architect, Inc.



NOT FOR CONSTRUCTION

Revision Schedule

#	Date	Description
---	------	-------------

T M

T O M M E A N E Y

A R C H I T E C T

629 STATE STREET • SUITE 240 • SANTA BARBARA, CA • 93101 • TEL (CARMEL) 831.624.4278
(SANTA BARBARA) 805.966.7668 • FAX 805.966.7698 • WWW.TOMMEANEY.COM •

RAMM RESIDENCE - EQUEST. BARN

115 CLAYTON ROAD

SAN JOSE, CA

EXTERIOR ELEVATIONS

LICENSED ARCHITECT

THOMAS MEANEY

No. C14898

Renew 03/1/18

STATE OF CALIFORNIA

Date

2018-06-01

Scale

1/4" = 1'-0"

Drawn

ATW

Job #

Project Number

Sheet

A6.6

6/1/2018 3:41:22 PM All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meaney and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meaney. Copyright © 2008. All rights reserved. Thomas Meaney Architect, Inc.

6/1/2018 3:41:22 PM

EXTERIOR FINISHES

1.

CLASS 'A' ROOF, RECLAIMED TERRA COTTA TILE CAPS & TERRA COTTA TILE PANS. STAGGER TILE FIELD AND VERIFY SUPPLY & LAY W/ ARCHITECT. WIRED INSTALLATION, STACK EAVE TILES TWO HIGH WITH STAGGERED OVERHANG TOP TILE OF 1'-3", MORTAR BIRDS MOUTH OPENING TO PREVENT THE INTRUSION OF POTENTIAL FLAMES AND EMBERS, OVER EXTERIOR PLY AND 2 LAYERS WATERPROOF BITUMINOUS UNDERLAYMENT (1 LAYER BASE SHEET NAILED & 1 LAYER GRANULATED TOP SHEET TORCH DOWN), VALLEY FLASHING 24 GAUGE CORROSION RESISTANT SHEET METAL OVER 36" MIN. WIDE UNDERLAYMENT OF 72# MINERAL-SURFACED NON-PERFORMANCE CAP SHEET SHEET (ASTM D3909) THE FULL LENGTH OF VALLEY
2.

5'0" HALF ROUND COPPER GUTTER W/ 4'0" COPPER DOWNSPOUT, HINGED COPPER GUTTER GUARD, LOCK ON STYLE, COMPATIBLE W/ 5" GUTTERS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS, CONNECT DRAINAGE TO STORM DRAIN SYSTEM
3.

7/8" EXTERIOR PLASTER, INTEGRAL COLOR, SUPPLY: DAVIS COLORS (WWW.DAVISCOLORS.COM), SMOOTH STEEL TROWEL FINISH W/ TIGHT HAND FORMED CORNERS, INTEGRATE FIBERGLASS MESH INTO WET BASE BROWN COAT (OMEGA PRODUCTS INTERNATIONAL CRACK ISOLATION SYSTEM OR EQUIVALENT), OVER METAL LATHE, TWO LAYERS JUMBO TEX 60 MIN. WEATHER RESISTANT BARRIER, AND EXTERIOR PLY, EXTERIOR FINISH TO EXTEND FROM TOP OF FOUNDATION TO ROOF TERMINATING AT 2" NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, COLOR: VERIFY W/ ARCHITECT
4.

2X8 BRICK SURROUND & HEADER TO MATCH ROOF PER DETAIL, SUPPLY: GEORGE DAVIDSON, VERIFY W/ ARCHITECT
5.

EXPOSED CEDAR LINTEL, SEMI-TRANSPARENT STAIN COLOR - DRIFTWOOD (VERIFY W/ ARCHITECT), NON-TREATED, PLUMB CUT ENDS W/ EASED EDGES, TEXTURE PER ARCHITECT, SIZES: 3 1/2" AT OPENINGS 3'-0" OR LESS, 5 1/2" AT OPENINGS 3'-0"-6'-0", AND 7 1/2" AT OPENINGS GREATER THAN 6'-0", OVERHANG BEYOND SIDES TO BE TWICE THE HEIGHT OF LINTEL
6.

LEADED WINDOW - PER WINDOW SCHEDULE SHEET A8.2
7.

EXTERIOR DOOR - PER DOOR SCHEDULE SHEET A8.2
8.

EXTERIOR WINDOW - PER WINDOW SCHEDULE SHEET A8.2
9.

6X6 APPLIED DOUGLAS FIR RAFTER TAILS PER DETAIL, 32" O.C. MAX. *REFER TO NOTE
10.

2X6 T&G KILN DRIED DOUGLAS FIR EAVES PER DETAIL, NO 'V' GROOVE
11.

1 1/2" THICK TERRA COTTA SILL TRIM PER DETAIL, OVER SCRATCH COAT, METAL LATHE, TYVEK AND EXTERIOR PLY, SUPPLY: GEORGE DAVIDSON, COLOR: VERIFY W/ ARCHITECT
12.

NON WOOD BURNING FIREPLACE PER PLAN, ALL FIREBOXES SET FLUSH W/ TOP OF HEARTH ON NON-COMBUSTIBLE METAL FRAMING PER MFR. SPEC., 20" MIN. CLEARANCE FROM FIREPLACE OPENING TO COMBUSTIBLE FLOORING, PROVIDE COMBUSTION AIR INTAKE FROM OUTSIDE AIR DIRECTLY INTO FIREBOX MIN. 6 SQUARE INCHES AND EQUIPPED WITH A READILY ACCESSIBLE / OPERABLE / TIGHT- FITTING DAMPER, EXTERIOR AIR INTAKE BELOW FIREBOX AND SCREENED W/ 1/4" CORROSION RESISTANT WIRE MESH, PROVIDE GAS SUPPLY & KEY IN ACCORDANCE TO MFR SPECS. AND WITHIN 6' MAX. FROM THE GAS OUTLET, PROVIDE GLASS DOORS COVERING THE ENTIRE OPENING OF FIREBOX, PROVIDE APPROVED INSTALLATION INSTRUCTIONS AT JOB SITE AT TIME OF INSPECTION, MASONRY FIREPLACE, MFR: ISOKERN IBV 36 - CUSTOM GAS (WWW.ISOKERN.NET), FIREBOX SIZE - 36"WX42"H, HEARTH HEIGHT - VERIFY W/ARCHITECT, FIREPLACE INSTALLATION PER MFR SPECS, REPORTS & LISTINGS (ICC ESR 2316 / UL127 / ULC610 / UL103HT / ANSI Z223.1 / ANSI Z21.50)
13.

CHIMNEY PER DETAIL, W/ CLASS 'A' INSULATED DOUBLE WALL, STAINLESS STEEL FLUE FOR ALL CHIMNEY LENGTHS & ASSOCIATED COMPONENTS PER MFR SPECS, REPORTS & LISTINGS (UL103), MFR: DURAVENT - DURATECH 12" (WWW.DURAVENT.COM), PROVIDE SHROUD AND SPARK ARRESTOR TO COMPLY PER (CRC SECTION R1003.9.1), CHIMNEY TO EXTEND 2' ABOVE ANY PORTION OF THE BUILDING AND ROOF WITHIN 10' OF THE CHIMNEY OUTLET AND 3' ABOVE THE HIGHEST POINT WHERE CHIMNEY PASSES THROUGH ROOF, NET FREE AREA UNDER CHIMNEY CAP TO BE 4 TIMES GREATER THAN THE AREA OF THE CHIMNEY FLUE OUTLET
14.

HAND FORGED IRON WINDOW GRILLE PER DETAIL, PROVIDE SHOP DRAWINGS & SAMPLE TO ARCHITECT, TYPICAL FOR ALL IRONWORK
15.

HAND FORGED BAY WINDOW IRON GRILLE PER PLAN & DETAIL, PROVIDE SHOP DRAWINGS AND SAMPLE TO 10X12 DOUGLAS FIR BEAM PER DETAIL, *REFER TO NOTE
16.

SQUARE COLUMN PER PLAN & DETAIL, VERIFY W/ ARCHITECT
17.

BUTTRESS PER PLAN & DETAIL, PLASTER TO MATCH 3
18.

GFRC PLASTER GRILLE PER PLAN & DETAIL, PLASTER TO MATCH 3
19.

8" C.M.U. BLOCK WALL, W/ PLASTER TO MATCH 3
20.

EXTERIOR WALL MOUNTED SCONCE PER PLAN, 30 WATT HIGH EFFICIENCY LAMP W/ HEAVY SEEDED OBSCURED GLASS, MFR: STEVEN HANDELMAN STUDIOS, REFER TO MFR. CUT SHEETS FOR MORE INFORMATION
21.

CEDAR PLANK GARAGE DOOR, WIRE BRUSHED PLANKS W/ EASED EDGES, 1/4" VERTICAL SAW CUT SEAM AT CENTER, HAND HAMMERED 1/8"x2" IRON STRAPS W/ DECORATIVE CLAVOS BOLT HEADS EVERY OTHER BOARD THROUGHOUT LENGTH, DECORATIVE IRON PULL RINGS, SEMI-TRANSPARENT STAIN - PROVIDE SAMPLE TO ARCHITECT- TYPICAL, REFER TO DOOR SCHEDULE
22.

12"x12" TERRA COTTA PAVERS & STAIR TREADS, SLOPE 1/8" PER FT. TO DRAIN AWAY FROM STRUCTURES, STAIR LANDINGS 2% SLOPE MAX., PROVIDE 36" MIN. LANDING FROM FACE OF BUILDING WALL TO EDGE OF LANDING IN THE DIRECTION OF EGRESS AT EACH GRADE LEVEL EXIT, SUPPLY: GEORGE DAVIDSON
23.

FOUNTAIN, VERIFY W/ LANDSCAPE PLANS
24.

WEEP SCREED, PROFILE TO ALLOW PLASTER BELOW SCREED PER DETAIL, PROVIDE 26 GAUGE MIN. GALVANIZED WEEP SCREED AT FOUNDATION, 4" MIN. ABOVE GRADE OR 2" MIN. ABOVE CONCRETE/PAVING WHERE OCCURS
25.

STEGO WRAP 15 MIL CLASS I VAPOR BARRIER OR EQUIVALENT BELOW CRAWL SPACE RAT SLABS AND GARAGE FOUNDATION SLAB, VERIFY W/ GEOTECHNICAL REPORT
26.

1 1/2" THICK ADHERED STONE VENEER W/ OVERSIZED CORNERS, LAY HORIZONTAL OVER SCRATCH COAT, METAL LATHE, GRADE D BUILDING PAPER (TWO LAYERS AT SHEAR WALLS), AND EXTERIOR PLY, OVERGROUT TO MATCH PLASTER COLOR, VERIFY SAMPLE W/ ARCHITECT.
27.

8x8 DOUGLAS FIR POST W/ 1/2 BEVEL EDGES
28.

8x10 DOUGLAS FIR BEAM

*NOTE - ALL COLORS VERIFY W/ ARCHITECT IN FIELD, ALL WOOD & HEAVY TIMBERS NON-TREATED, LIGHT SANDBLAST TEXTURE W/ EASED EDGES, SEMI-TRANSPARENT STAIN, FRAZEE, U.N.O. PROVIDE SAMPLE TO ARCHITECT- TYPICAL

INTERIOR FINISHES

101.

DRYWALL - 5/8", CORNER FORM & TEXTURE PER ARCHITECT, W/ HAND FORMED CORNERS, PROVIDE SAMPLES
102.

DRYWALL - 5/8" TYPE X, CORNER FORM & TEXTURE PER ARCHITECT, PROVIDE SAMPLES
103.

DRYWALL - 5/8" TYPE WR, CORNER FORM & TEXTURE PER ARCHITECT, PROVIDE SAMPLES
104.

ICYNENE SPRAY FOAM INSULATION AT ALL RAFTER BAYS & ATTIC EXTERIOR WALLS, R-30 PER T-24 ENERGY COMPLIANCE, NO ATTIC VENTILATION REQUIRED. ICYNENE PROSEAL ECO MD-R-210 U.N.O. ICC-ER REPORT# ESR-3493
105.

BATT INSULATION AT ALL EXTERIOR WALLS, R-19 PER T-24 ENERGY COMPLIANCE
106.

BATT INSULATION AT ALL INTERIOR WALLS AND FRAMED FLOORS
107.

30"x30" ATTIC ACCESS, PROVIDE 30" MIN. HEADROOM CLEARANCE ABOVE OPENING
108.

FLOORING, FLUSH W/ ADJACENT FLOORING, VERIFY W/ ARCHITECT, PROVIDE SAMPLES
109.

TILE FLOORING, THINSET OVER 3/8" MIN. HARDIE BACKERBOARD, RECESS TO FLUSH W/ ADJACENT FLOOR FINISH, VERIFY W/ ARCHITECT, PROVIDE SAMPLES
110.

EPOXY COATING OVER CONCRETE GARAGE SLAB, VERIFY W/ OWNER
111.

36" ISOKERN MASONRY FIREPLACE PER PLAN, REFER TO DETAIL, MFR: ISOKERN - (WWW.ISOKERN.NET), FIREPLACE INSTALLATION PER MFR SPECS, REPORTS & LISTINGS (ICC ESR 2316 / UL127 / ULC610 / UL103HT / ANSI Z223.1 / ANSI Z21.50), FIREBOX SET FLUSH W/ TOP OF HEARTH ON NON-COMBUSTIBLE METAL FRAMING PER MFR. SPEC., HEARTH HEIGHT PER PLAN & 20" MIN. CLEARANCE FROM FIREPLACE OPENING TO COMBUSTIBLE FLOORING, PROVIDE COMBUSTION AIR INTAKE FROM OUTSIDE AIR DIRECTLY INTO FIREBOX MIN. 6 SQUARE INCHES AND EQUIPPED WITH A READILY ACCESSIBLE/OPERABLE/TIGHT- FITTING DAMPER, EXTERIOR AIR INTAKE BELOW FIREBOX AND SCREENED W/ 1/4" CORROSION RESISTANT WIRE MESH, PROVIDE GAS SUPPLY & KEY IN ACCORDANCE TO MFR SPECS. AND WITHIN 6' MAX. FROM THE GAS OUTLET, PROVIDE GLASS DOORS COVERING THE ENTIRE OPENING OF FIREBOX, PROVIDE APPROVED INSTALLATION INSTRUCTIONS AT JOB SITE AT TIME OF INSPECTION
112.

STONE HEARTH, VERIFY W/ ARCHITECT
113.

PLASTER NICHE, VERIFY W/ ARCHITECT
114.

STONE SILL, VERIFY W/ ARCHITECT
115.

NOT USED
116.

2X6 T&G CEDAR, NO 'V' GROOVE, NON-TREATED, LIGHT SANDBLAST, TEXTURE, EASED EDGES AND SEMI-TRANSPARENT STAIN - PROVIDE SAMPLE TO ARCHITECT.
117.

FROSTED TEMPERED GLASS PARTION AND DOOR, PER OWNER
118.

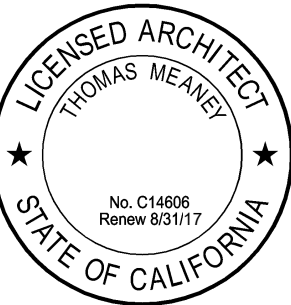
8X10 APPLIED WOOD RIDGE BEAM W/ 8X8 END CORBEL PER DETAIL, SMOOTH W/ 1/2" COVE, VERIFY W/ ARCHITECT
119.

6X6 APPLIED WOOD BEAM, VERIFY W/ ARCHITECT

NOT FOR CONSTRUCTION

RAMM RESIDENCE
CLAYTON ROAD
SAN JOSE, CA

FINISHES



Date 2018-06-01
Scale 1/4" = 1'-0"
Drawn ATW
Job # Project Number

Sheet

A8.1

TOM MEANEY ARCHITECT

629 STATE STREET • SUITE 240 • SANTA BARBARA, CA • 93101 • TEL (CARMEL) 831.624.4278
(SANTA BARBARA) 805.966.7668 • FAX 805.966.7668 • WWW.TOMMEANEY.COM •

Revision Schedule		
#	Date	Description

6/1/2018 3:46:08 PM All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meaney and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meaney. Copyright © 2008. All rights reserved. Thomas Meaney Architect, Inc.

DOOR SCHEDULE								DOOR SCHEDULE							
MAIN HOUSE								ACCESSORY DWELLING UNIT							
NO.	LOCATION	TYPE	WIDTH	HEIGHT	FINISH	FRAME	REMARKS	NO.	LOCATION	TYPE	WIDTH	HEIGHT	FINISH	FRAME	REMARKS
101	ENTRY	A	7'-0"	8'-0"	BRUSHED	STEEL	CUSTOM	201	ENTRY	D	3'-0"	7'-0"	STAINED	WOOD	SASH
102	BEDROOM 2	B	5'-0"	8'-0"	STAINED	WOOD	PAIR, FRENCH, W/ 18"W OPERABLE SIDE LITES	202	BEDROOM 1	H	5'-9"	8'-0"	BRUSHED	STEEL	PAIR, SLIDER, TEMPERED
103	BEDROOM 3	B	5'-0"	8'-0"	STAINED	WOOD	PAIR, FRENCH, W/ 18"W OPERABLE SIDE LITES	203	LIVING ROOM	I	16'-0"	8'-0"	BRUSHED	STEEL	QUAD, POCKETED SLIDER, TEMPERED
104	LIVING ROOM	C	6'-0"	8'-0"	STAINED	WOOD	PAIR, FRENCH	202	BEDROOM 2	H	5'-9"	8'-0"	BRUSHED	STEEL	PAIR, SLIDER, TEMPERED
105	LIVING ROOM	C	6'-0"	8'-0"	STAINED	WOOD	PAIR, FRENCH	205	GARAGE	D	3'-0"	7'-0"	STAINED	WOOD	SASH
106	LIVING ROOM	C	6'-0"	8'-0"	STAINED	WOOD	PAIR, FRENCH	206	GARAGE	E	9'-0"	8'-0"	STAINED	WOOD	SINGLE, CEDAR PLANK - WIRE BRUSH, SECTIONAL
107	MASTER BEDROOM	C	6'-0"	8'-0"	STAINED	WOOD	PAIR, FRENCH	207	POWDER		2'-6"	6'-8"	STAINED	WOOD	SWING, PANEL, SOLID CORE
108	MUDROOM	D	3'-0"	7'-0"	STAINED	WOOD	SASH	208	BEDROOM 1		3'-0"	6'-8"	STAINED	WOOD	SWING, PANEL, SOLID CORE
109	GARAGE	D	3'-0"	7'-0"	STAINED	WOOD	SASH	209	BEDROOM 1 CLOSET		5'-0"	6'-8"	STAINED	WOOD	DOUBLE, SOLID CORE
110	GARAGE	E	9'-0"	8'-6"	STAINED	WOOD	SINGLE, CEDAR PLANK - WIRE BRUSH, SECTIONAL	210	MECH		2'-6"	6'-8"	STAINED	WOOD	SWING, PANEL, SOLID CORE
111	GARAGE	E	9'-0"	8'-6"	STAINED	WOOD	SINGLE, CEDAR PLANK - WIRE BRUSH, SECTIONAL	211	BEDROOM 2		3'-0"	6'-8"	STAINED	WOOD	SWING, PANEL, SOLID CORE
112	BEDROOM 1	B	5'-0"	8'-0"	STAINED	WOOD	PAIR, FRENCH, W/ 18"W OPERABLE SIDE LITES	212	BATHROOM		2'-6"	6'-8"	STAINED	WOOD	SWING, PANEL, SOLID CORE
113	KITCHEN	F	12'-0"	9'-0"	BRUSHED	STEEL	4-PANEL FRENCH FOLDING	213	LAUNDRY		4'-0"	6'-8"	STAINED	WOOD	DOUBLE, SOLID CORE
114	LIVING ROOM	G	16'-0"	9'-0"	BRUSHED	STEEL	6-PANEL FRENCH FOLDING	214	BEDROOM 2 CLOSET		2'-6"	6'-8"	STAINED	WOOD	SWING, PANEL, SOLID CORE
115	VESTIBULE	H	4'-0"	8'-0"	BRUSHED	STEEL	SINGLE FRENCH								
116	MUDROOM	D	3'-0"	7'-0"	STAINED	WOOD	SASH	EQUESTRIAN BARN							
117	GYM	B	5'-0"	8'-0"	STAINED	WOOD	PAIR, FRENCH, W/ 18"W OPERABLE SIDE LITES	301	TACK ROOM		3'-0"	6'-8"	STAINED	WOOD	SWING, PANEL, SOLID CORE
118	GARAGE	D	3'-0"	7'-0"	STAINED	WOOD	SASH	302	OFFICE		3'-0"	6'-8"	STAINED	WOOD	SWING, PANEL, SOLID CORE
120	GARAGE STORAGE	I	6'-0"	7'-0"	STAINED	WOOD	DOUBLE, SOLID CORE	303	OFFICE		3'-0"	6'-8"	STAINED	WOOD	SWING, PANEL, SOLID CORE
119	GARAGE W/H, MECH		3'-0"	7'-0"	STAINED	WOOD	SINGLE, SOLID CORE	304	GARAGE		3'-0"	6'-8"	STAINED	WOOD	SWING, PANEL, SOLID CORE
120	GARAGE STORAGE	I	6'-0"	7'-0"	STAINED	WOOD	DOUBLE, SOLID CORE	305	BATHROOM		2'-8"	6'-8"	STAINED	WOOD	SWING, PANEL, SOLID CORE
121	GARAGE STORAGE	I	6'-0"	7'-0"	STAINED	WOOD	DOUBLE, SOLID CORE	306	GARAGE	E	9'-0"	8'-0"	STAINED	WOOD	SINGLE, CEDAR PLANK - WIRE BRUSH, SECTIONAL
122	GARAGE STORAGE	I	6'-0"	7'-0"	STAINED	WOOD	DOUBLE, SOLID CORE	307	TRACTOR GARAGE	J	20'-0"	9'-0"	STAINED	WOOD	DUAL, SWING, CEDAR PLANK - WIRE BRUSH
123	BEDROOM 1 CLOSET		5'-0"	6'-8"	STAINED	WOOD	DOUBLE, SOLID CORE	308	TRACTOR GARAGE	J	20'-0"	9'-0"	STAINED	WOOD	DUAL, SWING, CEDAR PLANK - WIRE BRUSH
124	BEDROOM 1 CLOSET		5'-0"	6'-8"	STAINED	WOOD	DOUBLE, SOLID CORE								
125	BATH 1		2'-6"	6'-8"	STAINED	WOOD	SINGLE, POCKET, PANEL								
126	BEDROOM 2 CLOSET		2'-4"	6'-8"	STAINED	WOOD	SINGLE, POCKET, PANEL								
127	BATH 2		2'-0"	6'-0"	TEMPERED	GLASS	1/2", SHOWER, DUAL SWING								
128	BEDROOM 3		6'-0"	6'-0"	STAINED	WOOD	PAIR, SLIDING CLOSET, SOLID CORE								
129	BEDROOM 3		3'-0"	7'-0"	STAINED	WOOD	SWING, PANEL, SOLID CORE								
130	BATH 2		3'-0"	7'-0"	STAINED	WOOD	SWING, PANEL, SOLID CORE								
131	BEDROOM 2		3'-0"	7'-0"	STAINED	WOOD	SWING, PANEL, SOLID CORE								
132	OFFICE		5'-0"	7'-0"	STAINED	WOOD	DOUBLE POCKET, PANEL, SOLID CORE								
133	POWDER		2'-6"	6'-8"	STAINED	WOOD	SWING, PANEL, SOLID CORE								
134	BROOM		1'-9"	6'-8"	STAINED	WOOD	SWING, PANEL, SOLID CORE								
135	PANTRY		2'-6"	6'-8"	STAINED	WOOD	SWING, PANEL, SOLID CORE								
136	MASTER BEDROOM		3'-0"	7'-0"	STAINED	WOOD	SWING, PANEL, SOLID CORE								
137	MASTER BATH		2'-8"	7'-0"	STAINED	WOOD	SWING, PANEL, SOLID CORE								
138	MASTER CLOSET		2'-8"	7'-0"	STAINED	WOOD	SWING, PANEL, SOLID CORE								
139	MASTER BATH SHOWER		2'-0"	6'-0"	TEMPERED	GLASS	1/2", SHOWER, DUAL SWING								
140	MUDROOM		3'-0"	7'-0"	STAINED	WOOD	SWING, PANEL, SOLID CORE								
141	BEDROOM 1		3'-0"	7'-0"	STAINED	WOOD	SWING, PANEL, SOLID CORE								
* VERIFY DESIRED DIMENSIONS AND TYPE W/ OWNER, TYP.															

DOOR/WINDOW GLAZING NOTES

1.

GLASS AND GLAZING SHALL CONFORM TO CODE AND WITH U.S. CONSUMER PRODUCT SAFETY COMMISSION REQUIREMENTS.
2.

GLAZING SUBJECT TO HUMAN IMPACT SHALL CONFORM TO CODE AND WITH U.S. CONSUMER PRODUCT SAFETY COMMISSION REQUIREMENTS. GLAZED OPENINGS IN DOORS, FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE AND WITHIN 5 FT. OF THE TOP OR BOTTOM OF STAIRS OR LANDINGS SHALL BE TEMPERED GLASS APPROVED FOR IMPACT HAZARD. FIXED PANELS [> 9 SQ FT] WITHIN 18" OF THE ADJACENT FLOOR SHALL BE TEMPERED GLASS APPROVED FOR IMPACT HAZARD.
3.

GLAZING IN SHOWER AND TUBS ENCLOSURES SHALL BE TEMPERED, LAMINATED OR APPROVED PLASTIC.
4.

EGRESS WINDOWS IN SLEEPING ROOMS SHALL CONFORM TO UBC REQUIREMENTS:: MIN 20" WIDE BY 24" HT CLEAR WHEN IN THE OPEN POSITION. MAX HT AT BOTTOM OF OPENING TO BE 44".
5.

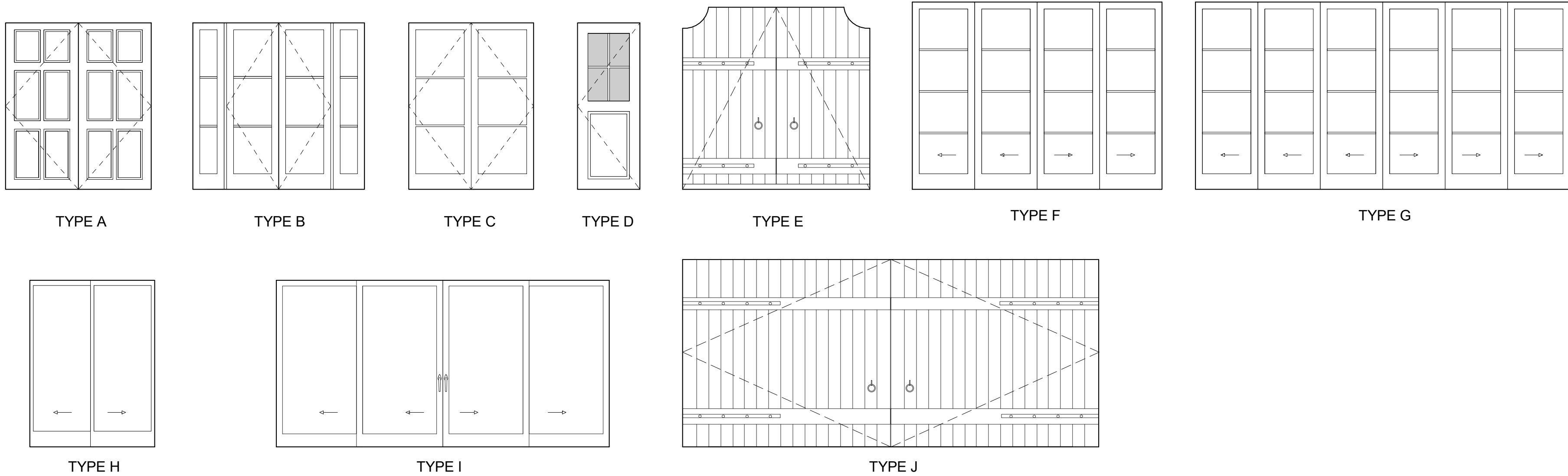
GLAZING IN EXTERIOR DOORS AND WINDOWS SHALL CONFORM TO HIGH FIRE REQUIREMENTS WITH AT LEAST ONE TEMPERED PANE.
6.

VERIFY OPENINGS FOR REPLACEMENT WINDOWS
7.

ALL GLAZING TO MEET MIN. REQUIREMENTS*:
WINDOWS: .17 SHGC, .32 U-FACTOR
DOORS: .07 SHGC, .37 U-FACTOR
8.

THE NFRC THERMAL PERFORMANCE LABELS SHALL REMAIN ON THE WINDOWS AND DOORS UNTIL FINAL INSPECTION

DOOR TYPES



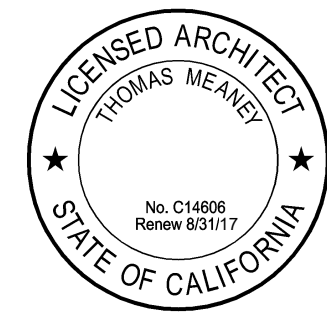
Revision Schedule		
#	Date	Description

TOM MEANEY ARCHITECT

629 STATE STREET • SUITE 240 • SANTA BARBARA, CA • 93101 • TEL (CARMEL) 831.624.4278
(SANTA BARBARA) 805.966.7668 • FAX 805.966.7698 • WWW.TOMMEANEY.COM •

RAMM RESIDENCE
CLAYTON ROAD
SAN JOSE, CA

DOOR SCHEDULE

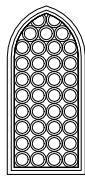
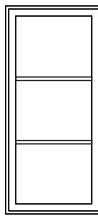
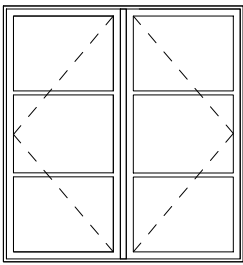
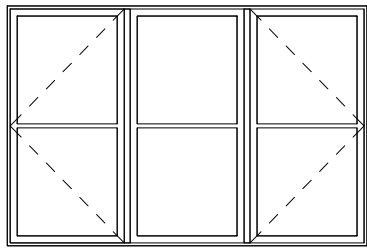
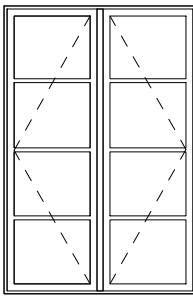
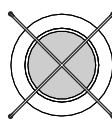
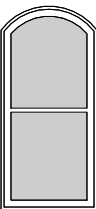



Date 2018-06-01
Scale 1/4" = 1'-0"
Drawn ATW
Job # Project Number

Sheet
A8.2

NOT FOR CONSTRUCTION

[illegible]

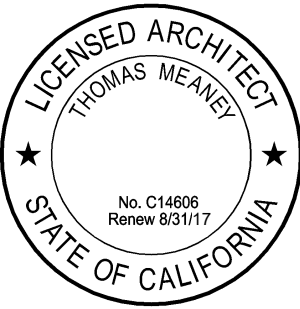
DOOR/WINDOW GLAZING NOTES		WINDOW TYPES						
1.	GLASS AND GLAZING SHALL CONFORM TO CODE AND WITH U.S. CONSUMER PRODUCT SAFETY COMMISSION REQUIREMENTS.							
2.	GLAZING SUBJECT TO HUMAN IMPACT SHALL CONFORM TO CODE AND WITH U.S. CONSUMER PRODUCT SAFETY COMMISSION REQUIREMENTS. GLAZED OPENINGS IN DOORS, FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE AND WITHIN 5 FT. OF THE TOP OR BOTTOM OF STAIRS OR LANDINGS SHALL BE TEMPERED GLASS APPROVED FOR IMPACT HAZARD. FIXED PANELS [> 9 SQ FT] WITHIN 18" OF THE ADJACENT FLOOR SHALL BE TEMPERED GLASS APPROVED FOR IMPACT HAZARD.							
3.	GLAZING IN SHOWER AND TUBS ENCLOSURES SHALL BE TEMPERED, LAMINATED OR APPROVED PLASTIC.							
4.	EGRESS WINDOWS IN SLEEPING ROOMS SHALL CONFORM TO UBC REQUIREMENTS:: MIN 20" WIDE BY 24" HT CLEAR WHEN IN THE OPEN POSITION. MAX HT AT BOTTOM OF OPENING TO BE 44" .							
5.	GLAZING IN EXTERIOR DOORS AND WINDOWS SHALL CONFORM TO HIGH FIRE REQUIREMENTS WITH AT LEAST ONE TEMPERED PANE.							
6.	VERIFY OPENINGS FOR REPLACEMENT WINDOWS							
7.	ALL GLAZING TO MEET MIN. REQUIREMENTS*: WINDOWS: .17 SHGC, .32 U-FACTOR DOORS: .07 SHGC, .37 U-FACTOR							
8.	THE NFRC THERMAL PERFORMANCE LABELS SHALL REMAIN ON THE WINDOWS AND DOORS UNTIL FINAL INSPECTION							
								
		TYPE A	TYPE B	TYPE C	TYPE D	TYPE E	TYPE F	TYPE G


TOM MEANEY | ARCHITECT
 629 STATE STREET • SUITE 240 • SANTA BARBARA, CA • 93101 • TEL (CARMEL) 831.624.4278
 (SANTA BARBARA) 805.966.7668 • FAX 805.966.7698 • WWW.TOMMEANEY.COM •

NOT FOR CONSTRUCTION

RAMM RESIDENCE
CLAYTON ROAD
SAN JOSE, CA

WINDOW SCHEDULE



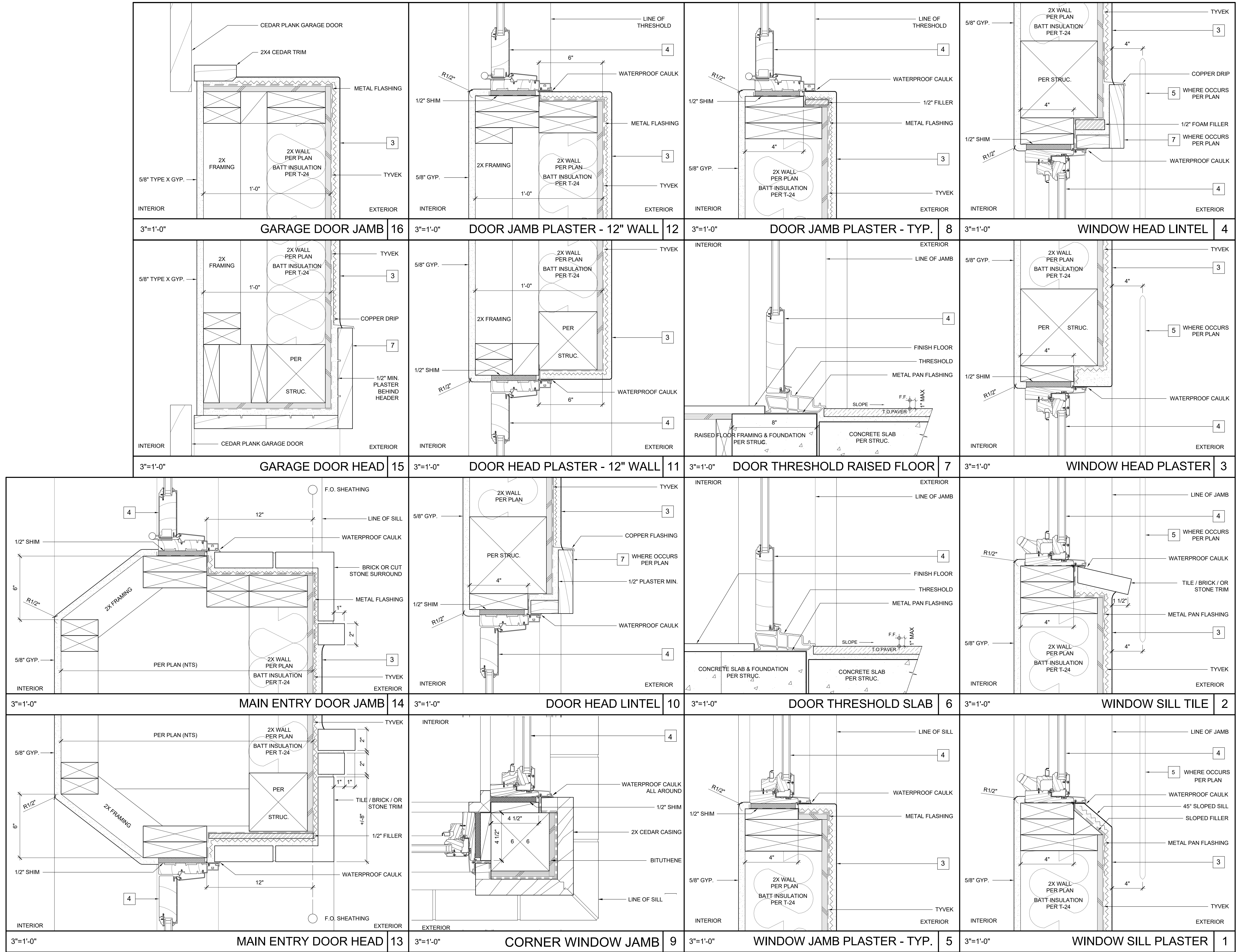
Date	2018-06-01
Scale	1/4" = 1'-0"
Drawn	ATW
Job #	Project Number

Sheet

A8.3

6/12/2018 3:51:04 PM All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meaney and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meaney. Copyright © 2008. All rights reserved. Thomas Meaney Architect, Inc.

NOTES
1. ALL KEYNOTES PER FINISH SCHEDULE ON ELEVATION SHEETS



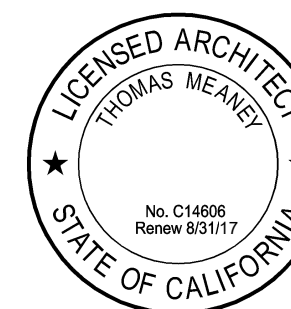
Revision Schedule		
#	Date	Description

TOM MEANEY ARCHITECT
629 STATE STREET, SUITE 240 • SANTA BARBARA, CA • 93101 • TEL (CARMEL) 831.624.4278
(SANTA BARBARA) 805.966.7668 • FAX 805.966.7698 • WWW.TOMMEANEY.COM

NOT FOR CONSTRUCTION

RAMM RESIDENCE
CLAYTON ROAD
SAN JOSE, CA

ARCHITECTURAL
DETAILS

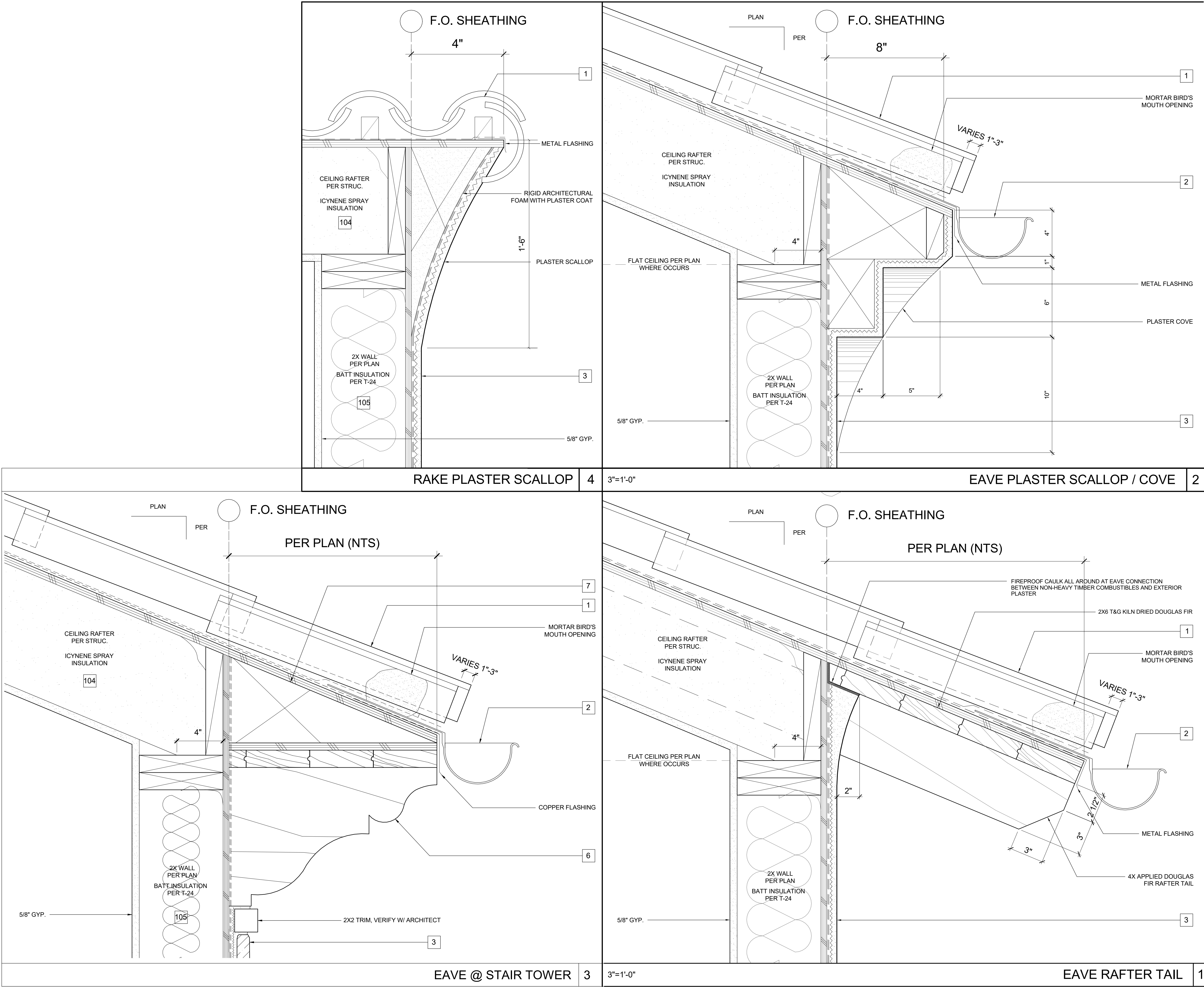


Date: 2018-06-01
Scale: 3" = 1'-0"
Drawn: ATW
Job #: Project Number

Sheet
A9.1

6/1/2018 3:51:30 PM
All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meaney and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meaney. Copyright © 2008. All rights reserved. Thomas Meaney Architect, Inc.

NOTES
1. ALL KEYNOTES PER FINISH SCHEDULE ON ELEVATION SHEETS

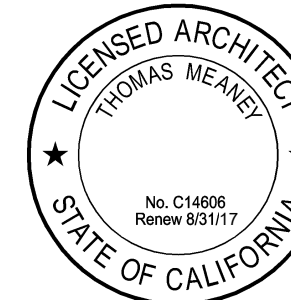


Revision Schedule		
#	Date	Description

TOM MEANEY ARCHITECT
629 STATE STREET • SUITE 240 • SANTA BARBARA, CA • 93101 • TEL (CARMEL) 831.624.4278
(SANTA BARBARA) 805.966.7668 • FAX 805.966.7698 • WWW.TOMMEANEY.COM

RAMM RESIDENCE
CLAYTON ROAD
SAN JOSE, CA

ARCHITECTURAL
DETAILS



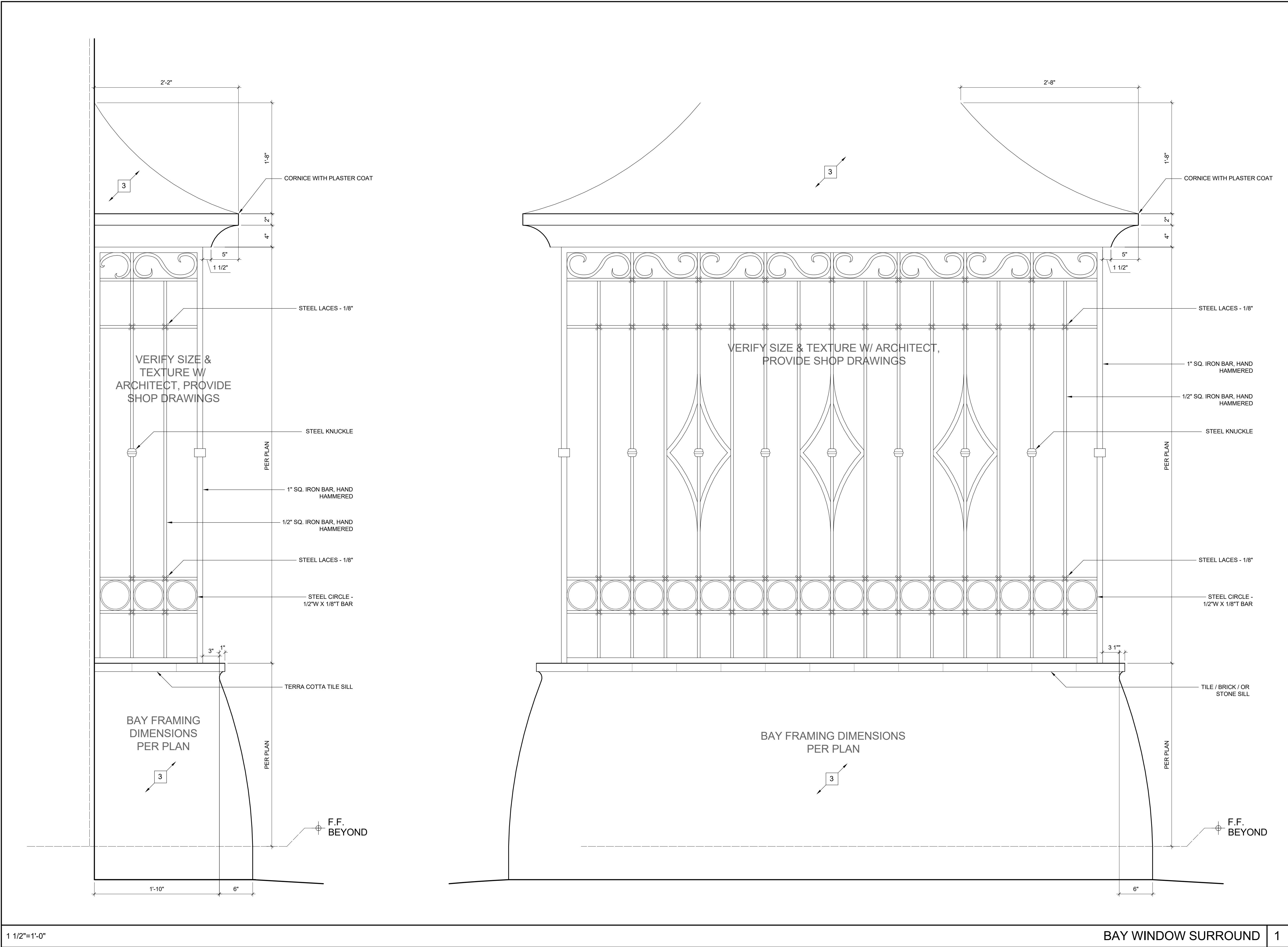
Date: 2018-06-01
Scale: 3" = 1'-0"
Drawn: ATW
Job #: Project Number

Sheet

A9.2

NOT FOR CONSTRUCTION

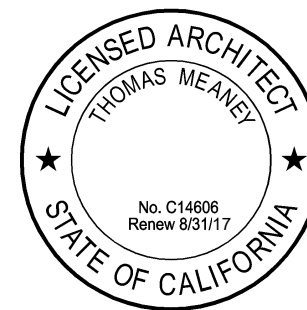
6/1/2018 3:52:46 PM All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meaney and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meaney. Copyright © 2008. All rights reserved. Thomas Meaney Architect, Inc.



NOT FOR CONSTRUCTION

RAMM RESIDENCE
CLAYTON ROAD
SAN JOSE, CA

ARCHITECTURAL
DETAILS



Date: 2018-06-01
Scale: 1 1/2" = 1'-0"
Drawn: ATW
Job #: Project Number

Sheet

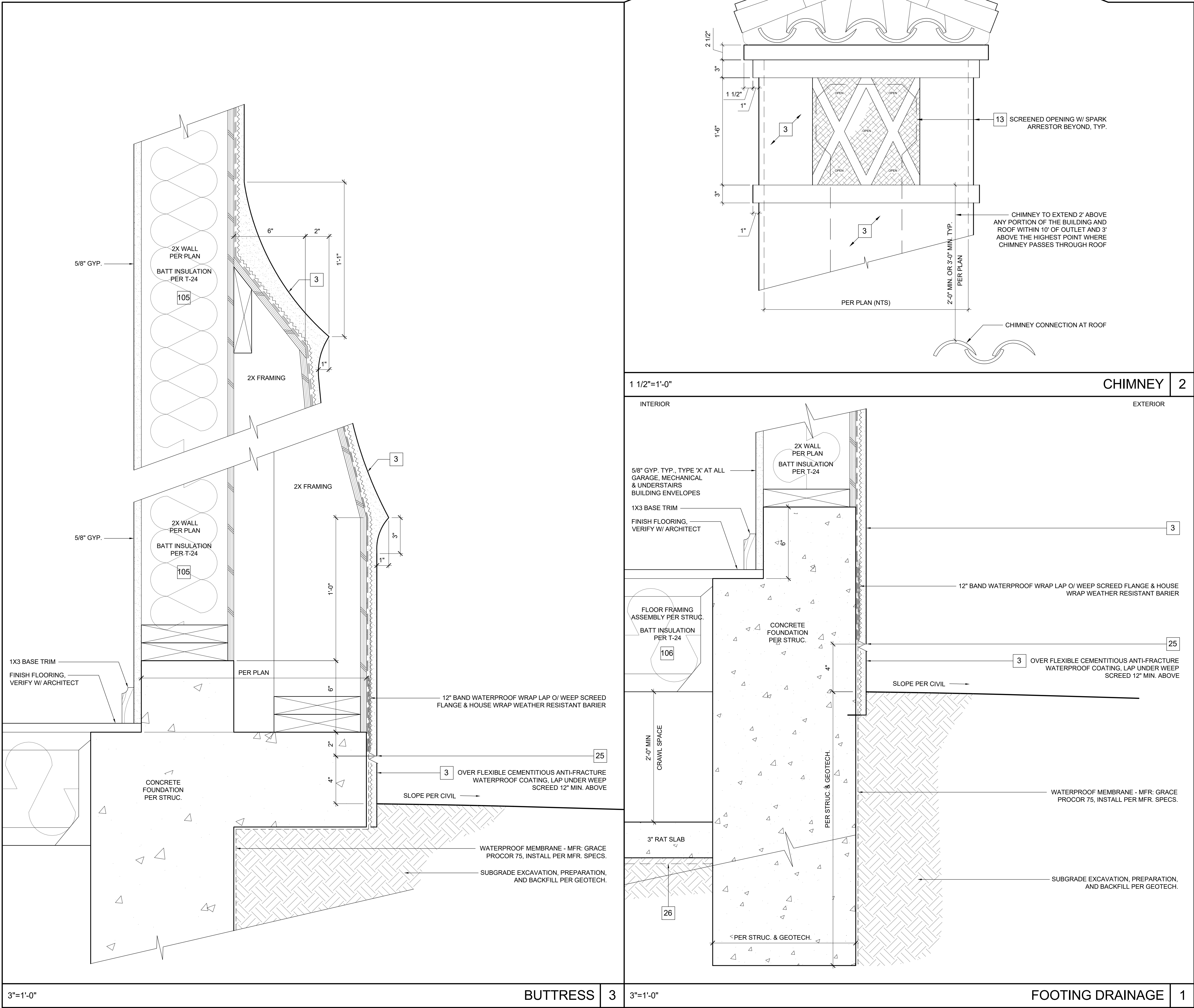
A9.3

TOM MEANEY ARCHITECT

629 STATE STREET, SUITE 240 • SANTA BARBARA, CA • 93101 • TEL (CARMEL) 831.624.4278
(SANTA BARBARA) 805.966.7668 • FAX 805.966.7698 • WWW.TOMMEANEY.COM

#	Date	Description
---	------	-------------

6/1/2018 3:53:07 PM All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meaney and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meaney. Copyright © 2008 All rights reserved. Thomas Meaney Architect, Inc.



NOTES
1. ALL KEYNOTES PER FINISH SCHEDULE ON ELEVATION SHEETS

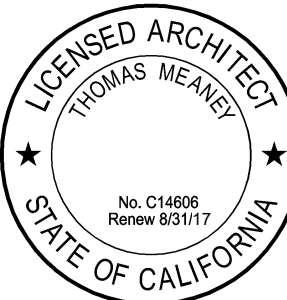
Revision Schedule		
#	Date	Description

TOM MEANEY ARCHITECT
629 STATE STREET • SUITE 240 • SANTA BARBARA, CA • 93101 • TEL (CARMEL) 831.624.4278
(SANTA BARBARA) 805.966.7668 • FAX 805.966.7698 • WWW.TOMMEANEY.COM

NOT FOR CONSTRUCTION

RAMM RESIDENCE
CLAYTON ROAD
SAN JOSE, CA

ARCHITECTURAL
DETAILS



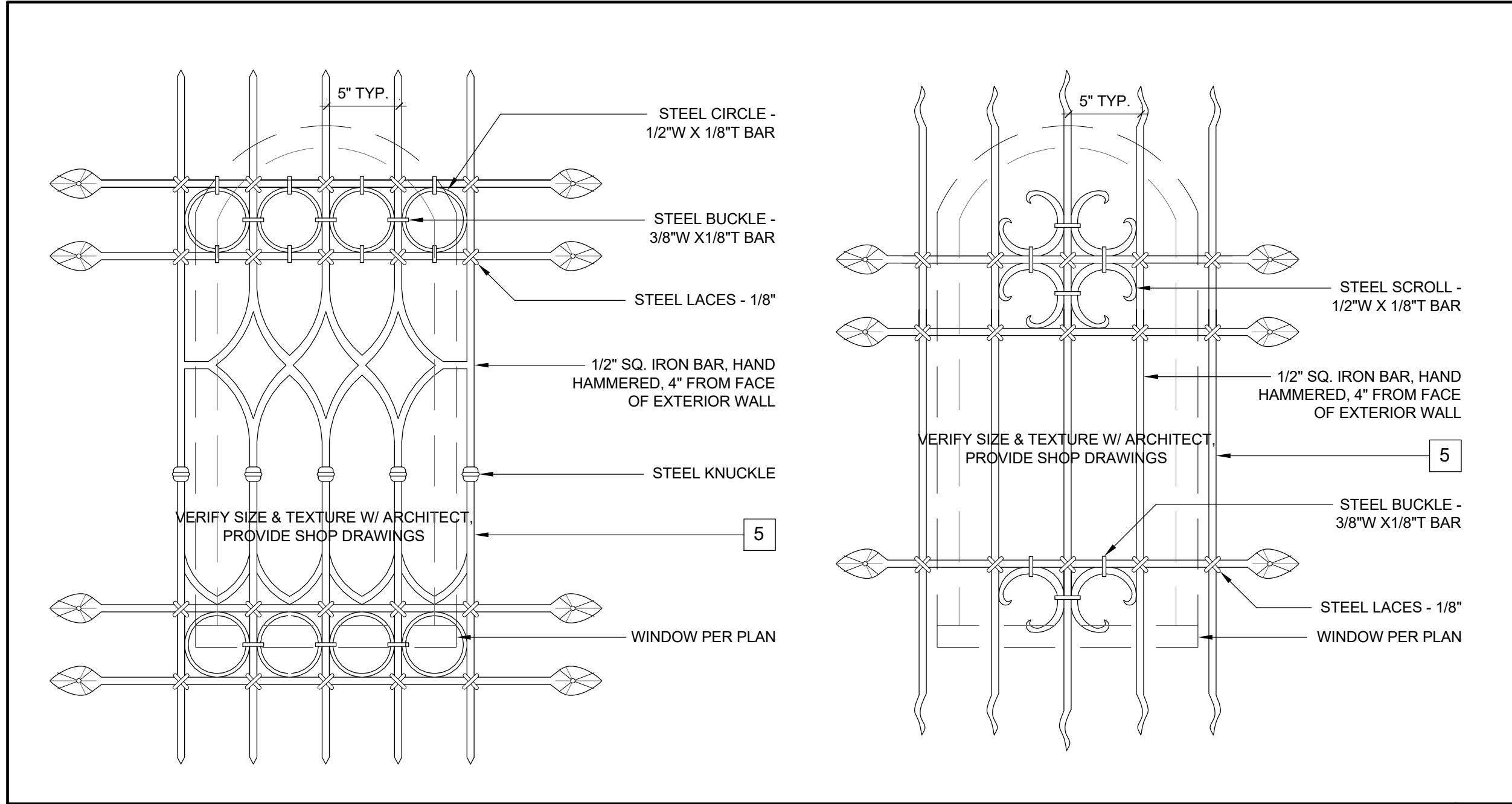
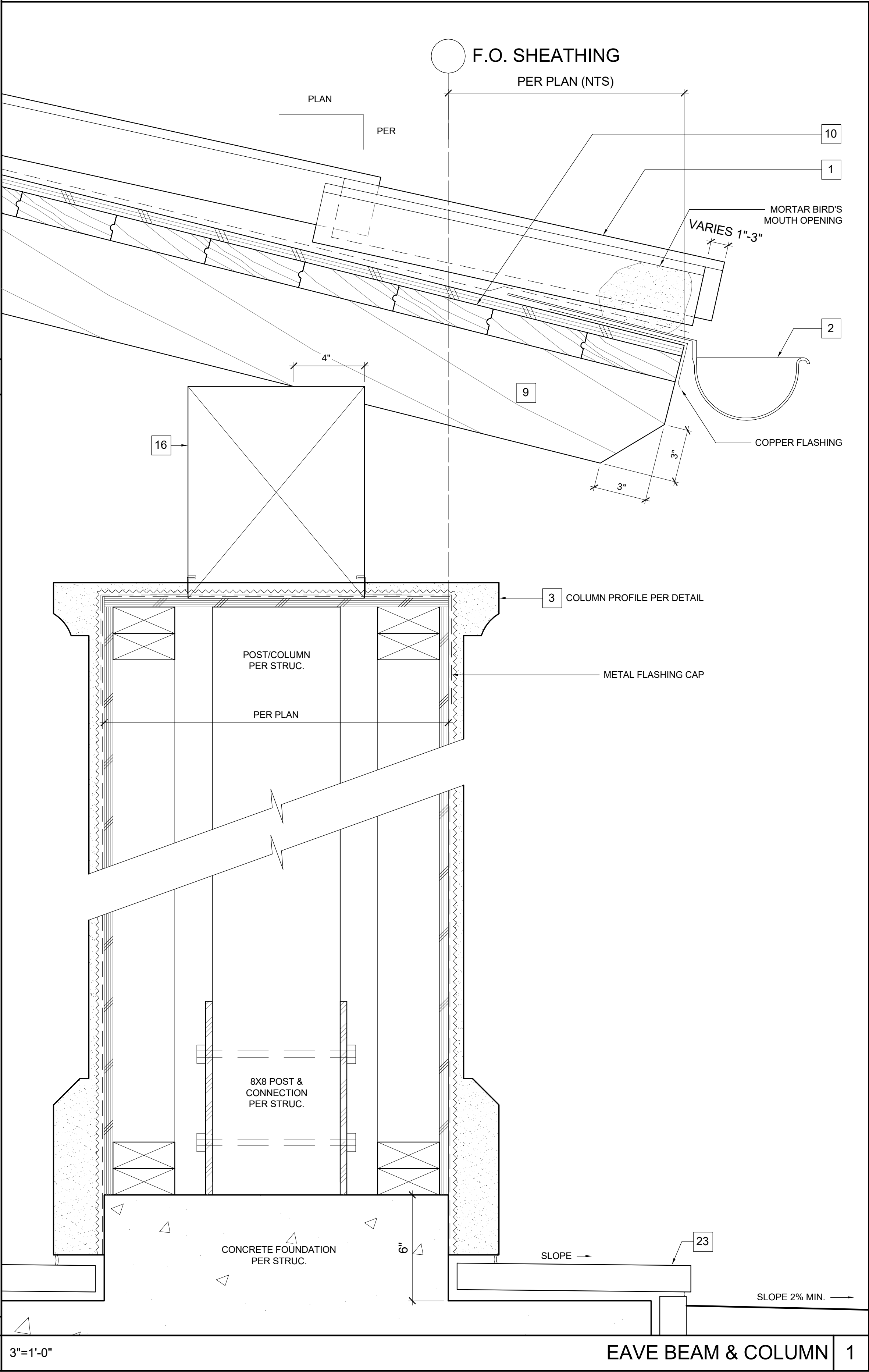
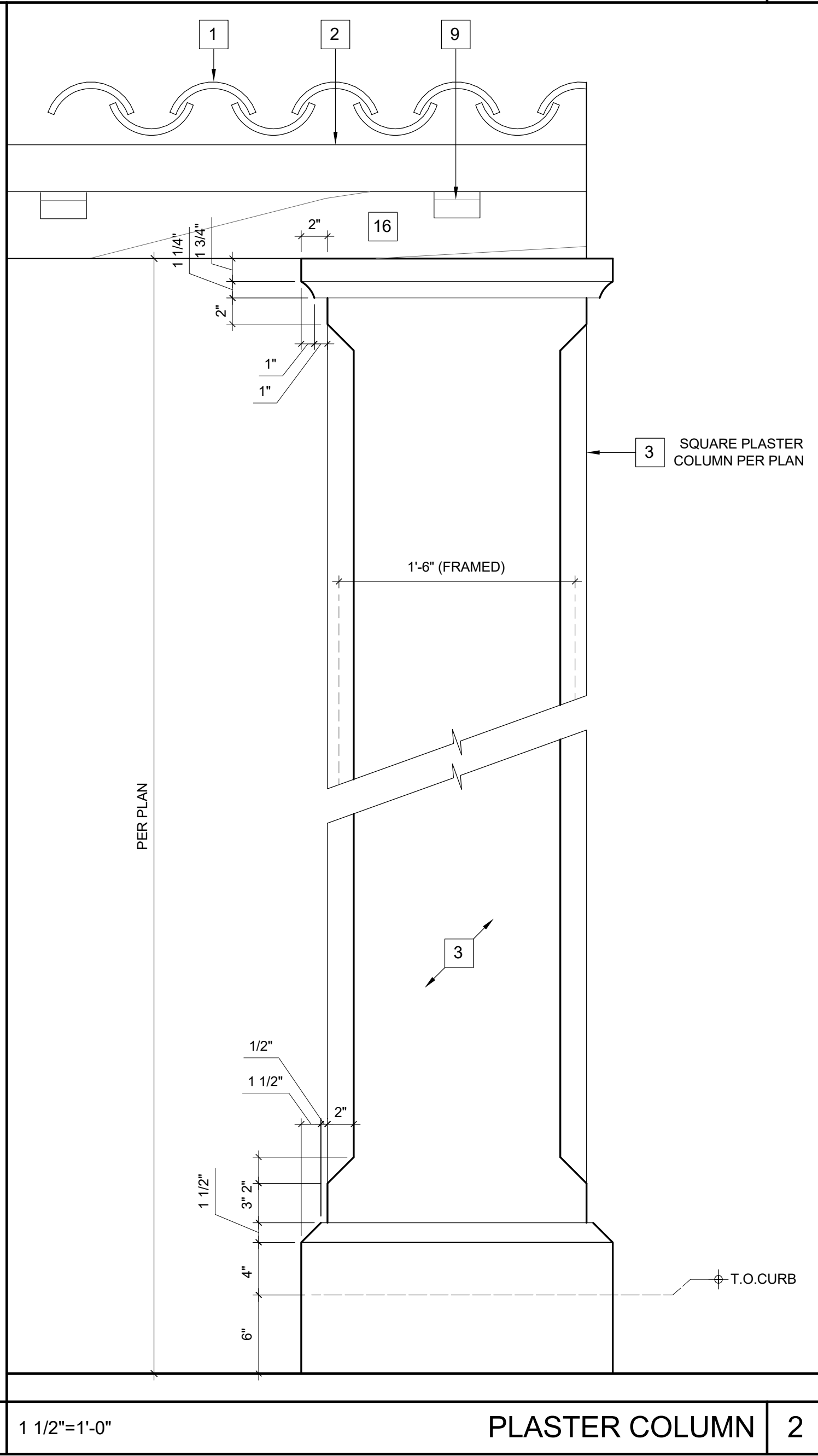
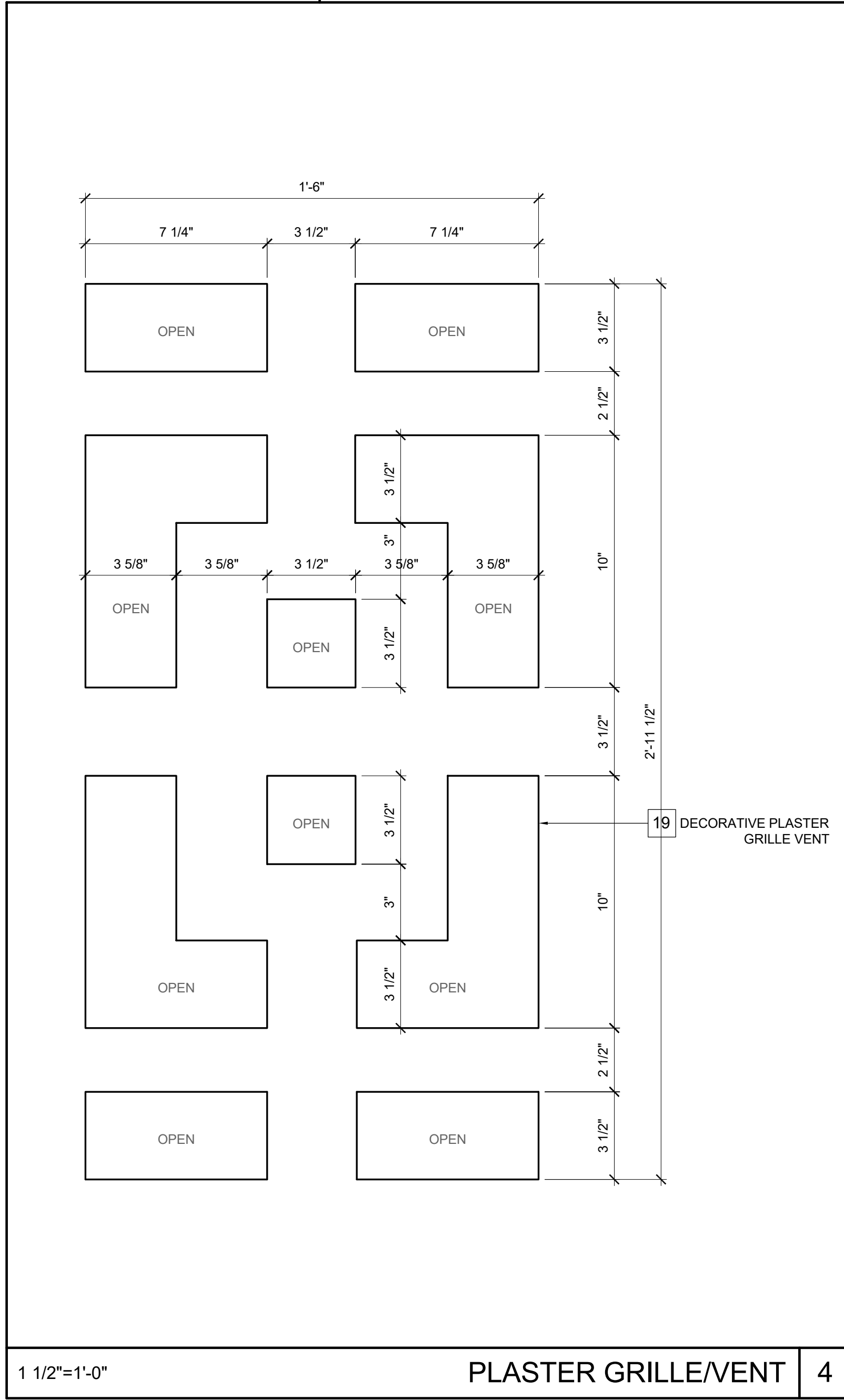
Date: 2018-06-01
Scale: 3" = 1'-0"
Drawn: ATW
Job #: Project Number

Sheet
A9.4

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meaney and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meaney. Copyright © 2014 All rights reserved. Thomas Meaney Architect, Inc.

6/1/2018 3:53:39 PM

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Thomas Meaney and were created and developed for use in conjunction with the specified project. None of such ideas, designs, or plans shall be used for any purpose without the written permission of Thomas Meaney. Copyright © 2008 All rights reserved. Thomas Meaney Architect, Inc.



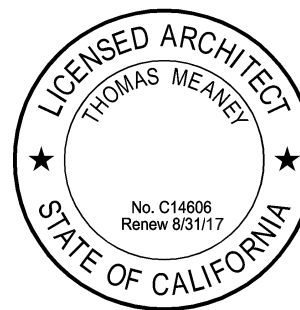
NOTES
1. ALL KEYNOTES PER FINISH SCHEDULE ON ELEVATION SHEETS

Revision Schedule		
#	Date	Description

NOT FOR CONSTRUCTION

RAMM RESIDENCE
CLAYTON ROAD
SAN JOSE, CA

ARCHITECTURAL
DETAILS



Date: 2018-06-01
Scale: 3" = 1'-0"
Drawn: ATW
Job #: Project Number

Sheet

A9.5

TOM MEANEY ARCHITECT
629 STATE STREET • SUITE 240 • SANTA BARBARA, CA • 93101 • TEL (CARMEL) 831.624.4278
(SANTA BARBARA) 805.966.7668 • FAX 805.966.7698 • WWW.TOMMEANEY.COM