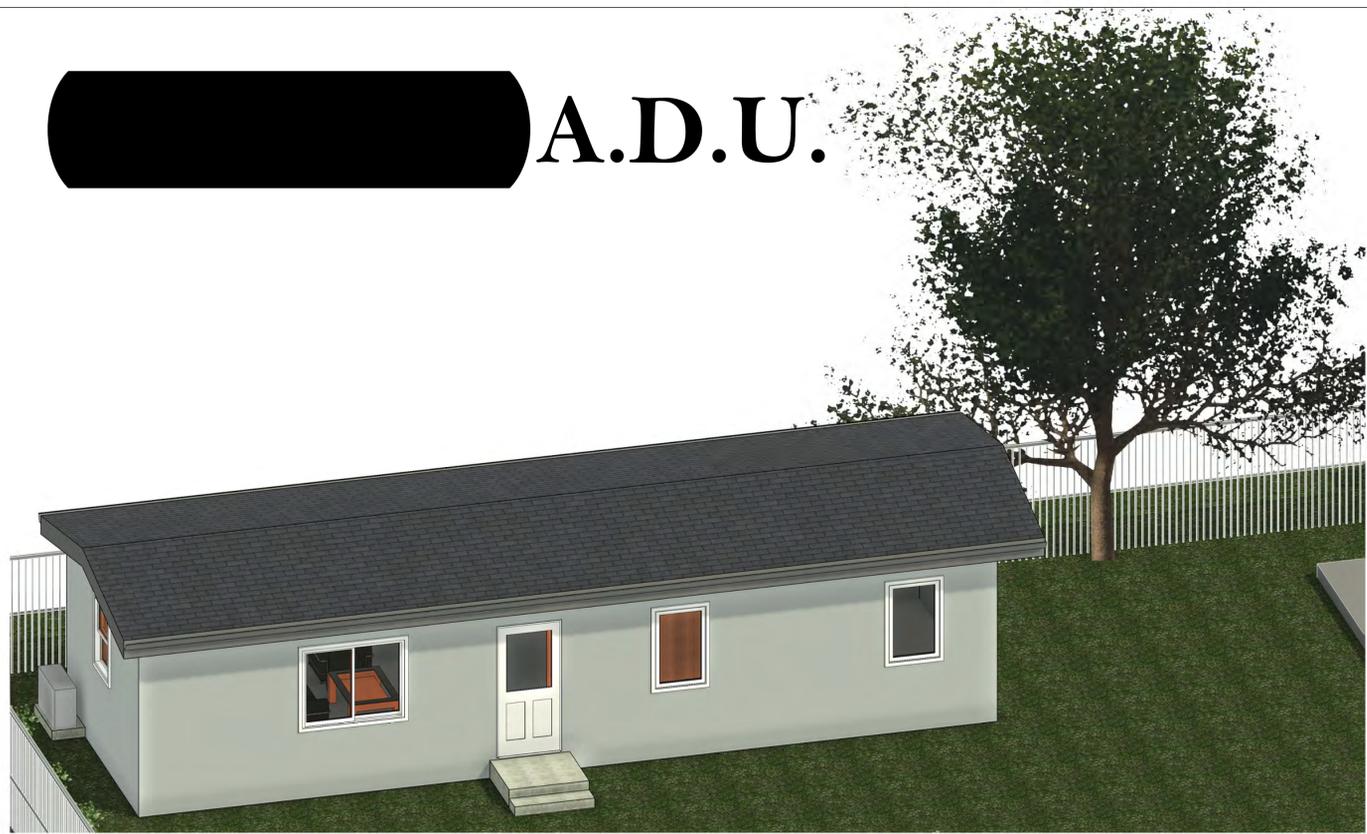




A.D.U.



Permit# DEV23-1770

FIRE MARSHAL
REVIEWED
 By: AG2K20
 DATE: 10/06/2023
 SANTA CLARA COUNTY

SUBJECT TO:
 •STATE LAWS AND REGULATIONS
 •COUNTY ORDINANCES
 •NOTATIONS HEREON
 •FIELD INSPECTIONS & TESTS
 •FINAL INSPECTION

THE STAMPING OF THESE PLANS BY THIS OFFICE SHALL NOT BE CONSTRUED AS APPROVAL OR PERMISSION TO VIOLATE ANY COUNTY OR STATE LAW OR REGULATION.

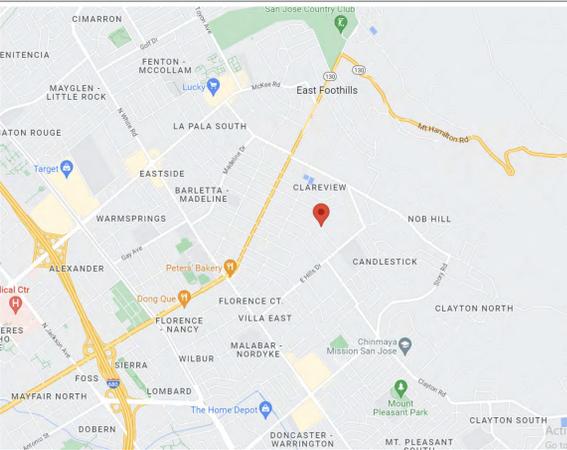
A COPY OF THE APPROVED PERMIT AND PLANS SHALL BE KEPT ON THE JOB SITE DURING CONSTRUCTION.

CALL 72 HOURS PRIOR TO DESIRED INSPECTION OR TEST FOR APPOINTMENT.

natalie paolercio
 3466 Edward Ave.
 Santa Clara CA 95054
 P: 408-248-8000
 F: 408-695-7652
 www.valleyhomebuilders.com



Proposed 3D View **4**



PV SYSTEM WILL BE REQUIRED FOR THIS PROJECT UNDER A SEPARATE PERMIT.
 Per Santa Clara County Ordinance No. NS-1100.135, electrification reach code, prewiring for installation of battery storage of up to 5kwh is required.

- ARCHITECTURAL**
- A0.1 COVER SHEET
 - A0.2.1 GENERAL NOTES
 - A0.2.2 GREEN BUILDING CHECKLIST
 - A0.2.3 GREEN BUILDING CHECKLIST
 - A0.3 EXISTING SITE PLAN
 - A0.4 PROPOSED SITE PLAN & AREA CALCULATIONS
 - A0.5 PROPOSED EROSION CONTROL PLAN
 - BMP-1 BMPs & EROSION CONTROL DETAILS 1
 - BMP-2 BMPs & EROSION CONTROL DETAILS 1
 - A2.1 PROPOSED FIRST FLOOR PLAN & DIM PLAN
 - A2.2 PROPOSED ROOF PLAN
 - A3.1 PROPOSED FRONT & REAR ELEVATIONS
 - A3.2 PROPOSED SIDE ELEVATIONS & SECTIONS
 - A5.1 DETAILS/SPECIFICATIONS
 - A6.1 DOOR & WINDOW SCHEDULE
 - LE2.1 LIGHTING & ELECTRICAL PLAN
 - T-24.1 TITLE 24 REPORT
 - T-24.2 TITLE 24 REPORT

NEW DETACHED 1-BEDROOM ACCESSORY DWELLING UNIT (542.2 SF)

NOTE: EXISTING RESIDENCE DOES NOT HAVE FIRE SPRINKLERS, NO FIRE SPRINKLER REQUIRED FOR NEW ADU.

Vicinity Map **10**

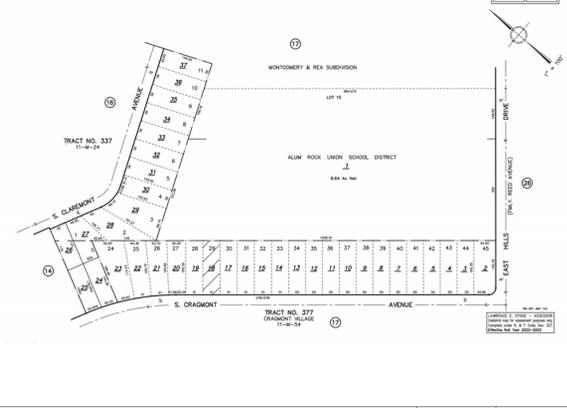
Deferred Submittals **8**

1. LICENSE NUMBER
2. INSURANCE AND WORKER'S COMP POLICIES
3. CONSTRUCTION STAGING PLAN
4. CONSTRUCTION WASTE MANAGEMENT PLAN IN ACCORDANCE WITH CALGREEN 4.408.2

- STRUCTURAL**
- S-1 FOUNDATION PLAN & ROOF FRAMING & FLOOR SHEAR WALLS
 - SD-1 STRUCTURAL DETAILS
 - SD-2 STRUCTURAL DETAILS
 - SD-3 STRUCTURAL DETAILS

Scope of Work **3**

ADDRESS: 224 S. CRAGMONT AVE.	MAX BLDG HEIGHT (ADU):	16'
APN: 601-18-018	EXISTING FLOOR AREA (MH):	1,490.0 SF
ZONING: R1	EXISTING SHED AREA:	205.9 SF
CONSTRUCTION TYPE: TYPE V-B	EXISTING LOT COVERAGE:	1,695.9 SF
OCCUPANCY: R-3/U	(N) ADU SF:	542.2 SF
LOT AREA: 8,178.0 SF	PROPOSED FLOOR AREA:	2,032.2 SF
SETBACKS (ADU):	PROPOSED LOT COVERAGE:	2,238.1 SF
FRONT: 25'		
SIDES: 4'		
REAR: 4'		



Req'd Contractor submittals to Bldg Dept prior to permit issuance **7**

- 2022 CALIFORNIA ADMINISTRATIVE CODE, CAC
- 2022 CALIFORNIA BUILDING CODE, CBC
- 2022 CALIFORNIA RESIDENTIAL BUILDING CODE, CRC
- 2022 CALIFORNIA ELECTRICAL CODE, CEC
- 2022 CALIFORNIA MECHANICAL CODE, CMC
- 2022 CALIFORNIA PLUMBING CODE, CPC
- 2022 CALIFORNIA ENERGY CODE, CEeC
- 2022 CALIFORNIA HISTORICAL CODE, CHC
- 2022 CALIFORNIA FIRE CODE, CFC
- 2022 CALIFORNIA EXISTING BUILDING CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS
- 2022 CALIFORNIA REFERENCED STANDARDS
- SANTA CLARA COUNTY STANDARD DETAIL AND SPECIFICATION SI-7 FOR CONSTRUCTION SITE SAFETY

Project Summary **2**

OWNER:
 [Redacted]

STRUCTURAL ENGINEER:
 MS ENGINEERING & ASSOCIATES, INC.
 4906 EL CAMINO REAL STE. 208
 LOS ALTOS, CA 94022
 PH: (408) 377-6504
 ATTN: MAHMOUD SANATKHANI
 EMAIL: mahmoud@msengineering.net

GENERAL CONTRACTOR:
 VALLEY HOME BUILDERS, INC.
 3466 EDWARD AVE.
 SANTA CLARA, CA 95054
 PH: (408) 992-1039
 ATTN: MEHDI VATANI
 EMAIL: mvatani@valleyhomebuilders.com

TITLE 24 CONSULTANT:
 ARASH FIROUZJAEI
 PH: (408) 623-7660
 EMAIL: ARASH@CALTITLE24.COM

DESIGNER:
 VALLEY HOME BUILDERS, INC.
 NATALIE PAOLERCIO
 PH: (408) 248-8000
 EMAIL: npaolercio@valleyhomebuilders.com

Project Team **1**

NO WORK IN THE ROAD RIGHT-OF-WAY MAY OCCUR WITHOUT A SEPARATE ENCROACHMENT PERMIT!
 (I.E. UTILITY CONNECTIONS, DRIVEWAY APPROACH, RETAINING WALL, FENCES, LANDSCAPING, ETC.)
 RIGHT-OF-WAY INCLUDES AREAS BEYOND THE PROPERTY LINE INCLUDING SIDEWALK, PLANTERS, UNPAVED OR PAVED PORTIONS OF THE ROAD.
 CALL THE ROADS AND AIRPORTS DEPARTMENT AT: (408) 573-2475

COUNTY OF SANTA CLARA BUILDING INSPECTION OFFICE PLANS APPROVED FOR PERMIT
 RECORD NO.: DEV23-1770
 BY: B.Ghorbani Date: 10/06/2023
 HARD COPY OF THESE STAMPED PLANS MUST BE ON THE SITE FOR INSPECTIONS

Parcel Map **9** **Applicable Codes** **6** **Sheet Index** **5** **Project Team** **1**

Revision :

Building Submittal	June 09, 2023
Building Rev 1	Sept. 13, 2023

Contents :

COVER SHEET

Date :
03.10.2023

Drawn by :
NP

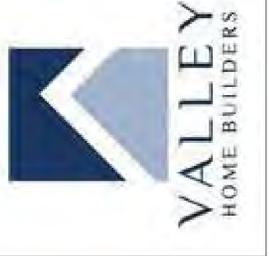
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AS SHOWN

Sheet No. :
A0.1

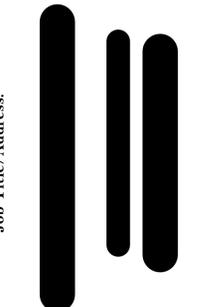
<p>1. DRAWING SHOWS SCOPE OF DEMOLITION ONLY. METHOD OF DEMOLITION REQUIRED TO COMPLETE THE WORK TO BE PER STANDARD INDUSTRY PRACTICES AND WITHIN LIMITATIONS OF GOVERNING REGULATIONS.</p> <p>2. WHEN UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE DESIGN INTENT ARE ENCOUNTERED, CONTRACTOR IS TO NOTIFY OWNER AND ARCHITECT PRIOR TO PROCEEDING.</p> <p>3. VERIFY LOCATION OF REQUIRED STRUCTURAL FRAMING PRIOR TO REMOVAL. DO NOT REMOVE ANY ELEMENT THAT MIGHT RESULT IN A STRUCTURAL DEFICIENCY WITHOUT PROPER TEMPORARY SHORING.</p> <p>4. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED OR INDICATED AS OWNERS PROPERTY, DEMOLITION MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM ON SITE. COMPLY WITH LOCAL REQUIREMENTS FOR OFF-HAULING AND DISPOSAL. VERIFY ITEMS TO BE SALVAGED WITH OWNER IN FIELD.</p> <p>5. NOTIFY ARCHITECT AND OWNER OF SUSPECTED HAZARDOUS MATERIAL. ANY HAZARDOUS MATERIAL SHALL BE REMOVED BY LICENSED HAZMAT CONTRACTOR.</p> <p>6. PROVIDE TEMPORARY PROTECTION FOR ANY EXISTING TREES OR LANDSCAPING TO REMAIN.</p> <p>7. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCING ANY WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.</p> <p>8. THE EXISTING BUILDING SHALL BE PROTECTED DURING THE COURSE OF DEMOLITION.</p> <p>9. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION PRIOR TO COMMENCING DEMOLITION.</p> <p>10. ALL REQUIRED EXCAVATION SHALL BE CLEARED OF ALL CONCRETE AND ORGANIC MATERIALS PRIOR TO BACKFILLING. ALL EXCAVATION SHALL BE FILLED UNDER THE SUPERVISION OF A SOILS ENGINEER WHERE APPLICABLE OR TO ACCEPTED INDUSTRY STANDARDS.</p> <p>11. SAW CUT EXISTING CONCRETE TO BE DEMOLISHED WHEREVER FEASIBLE.</p> <p>12. OWNER TO RETAIN POSSESSION OF ALL DOORS, WINDOWS, BATHROOM MIRRORS, BATHROOM MEDICINE CABINET, AND CEILING LIGHT FIXTURES.</p> <p>13. DEMOLITION PLAN IS A GRAPHIC REPRESENTATION OF SCOPE OF DEMOLITION BUT IS NOT INTENDED TO BE COMPREHENSIVE. CONTRACTOR TO REVIEW EXISTING CONDITIONS RELATIVE TO SCOPE OF NEW WORK ON ALL ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL DEMOLITION REQUIREMENTS, PRIOR TO FINALIZING BID. CONTACT ARCHITECT IN THE EVENT OF ANY CONFLICTS OR DISCREPANCIES.</p>	<p>8. CONTRACTOR SHALL ARRANGE FOR A MEETING AFTER DETERMINING THE PROJECT DIMENSIONAL LAYOUT FOR REVIEW BY THE ARCHITECT AND OWNER.</p> <p>9. CHANGE ORDERS MUST BE PROVIDED IN WRITING AND SHALL BE FOR EITHER ADDITIONS OR SUBTRACTIONS TO THE CONSTRUCTION CONTRACT. CHANGE ORDERS MUST BE SIGNED BY ALL PARTIES BEFORE THE WORK PROCEEDS.</p> <p>10. CONTRACTOR TO REVIEW ALL DESIGN CHANGES OR SUBSTITUTIONS WITH THE ARCHITECT AND RECEIVE APPROVAL FOR ALL CHANGES.</p> <p>11. CODE UPGRADE WORK NOT REQUIRED BY BUILDING INSPECTORS IS TO BE REVIEWED WITH THE ARCHITECT AND OWNER TO DETERMINE COURSE OF ACTION. IF THE CONTRACTOR BELIEVES CODE UPGRADE IS NECESSARY AND IT HAS NOT BEEN REQUIRED BY THE BUILDING INSPECTOR, THE ARCHITECT AND OWNER SHALL DETERMINE WHETHER THE WORK IS TO BE UNDERTAKEN.</p> <p>12. VERIFY ALL EQUIPMENT SIZES BEFORE COMMENCEMENT OF THE WORK.</p> <p>13. ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS ARE "DESIGN/BUILD." PERFORMANCE SPECIFICATIONS ARE TO BE REVIEWED BY THE ARCHITECT AND OWNER BEFORE COMMENCEMENT OF THE WORK, I.E., FURNACE SIZE AND TYPE, ELECTRICAL PANEL SIZES, ETC. PROVIDE SHOP DRAWINGS OF MECHANICAL LAYOUT INCLUDING SOFFIT REQUIREMENTS FOR REVIEW BY OWNER AND ARCHITECT FOR APPROVAL.</p> <p>14. PROVIDE COMPLETE FURRING AND SOFFITS TO INSTALL ALL HORIZONTAL AND VERTICAL HVAC DUCTS, VENTING, AND PLUMBING. CONTRACTOR IS TO CONCEAL ASSEMBLIES ABOVE CEILING WITHOUT USING SOFFITS WHEREVER POSSIBLE. COORDINATE WITH OWNER IN FIELD PRIOR TO INSTALLATION.</p> <p>15. INSTALL ALL EQUIPMENT, FIXTURES, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.</p> <p>16. CONTRACTOR TO COORDINATE WITH OWNER FOR OWNER-PROVIDED MATERIALS AND PRODUCTS.</p> <p>17. CONTRACTOR TO COMBINE VENTS WHEREVER FEASIBLE TO MINIMIZE PIPE PENETRATIONS THROUGH ROOF. VENTS TO BE ROUTED TO SIDE OF ROOF FACING AWAY FROM STREET(S) WHEREVER POSSIBLE. SEE ALSO ROOF PLAN FOR LOCATION OF FALSE CHIMNEYS FOR VENTING.</p> <p>18. PROVIDE INSULATION IN WALLS, FLOORS, CEILINGS, AND ROOFS ADJOINING EXTERIOR OR UNCONDITIONED SPACES--SEE BID INSTRUCTIONS FOR SCHEDULE (INSULATION VALUES TO BE NO LESS THAN AS INDICATED IN TITLE 24 ENERGY REPORT)--INSULATION TO CONFORM TO FLAME SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF CRC 302.10</p> <p>19. PROVIDE WATER-RESISTANT GYP. BD. AT ALL BATH, TOILET, AND LAUNDRY ROOM WALLS THAT WILL BE PAINTED. PROVIDE FIBER-MAT REINFORCED CEMENTITIOUS BACKER UNITS AT ALL WALL AND CEILING SURFACES THAT MAY BE FINISHED WITH TILE PER CRC702.4.2.</p> <p>20. ALL WOOD SHALL BE PAINTED AS FOLLOWS: 20.1. EXTERIOR: TWO COAT OVER PRIMER, STAIN AND SEAL WHERE INDICATE 20.2. INTERIOR: TWO COAT OVER PRIMER, STAIN AND SEAL WHERE INDICATED</p> <p>21. COLORS TO BE SELECTED BY ARCHITECT AND OWNER. FINAL ACCEPTANCE OF COLORS WILL BE FROM JOB-APPLIED SAMPLES. PROVIDE FULL-COAT FINISH SAMPLES ON SURFACE WITH A MINIMUM SIZE OF 25 S.F. FOR APPROVAL BY ARCHITECT AND OWNER.</p> <p>22. ADEQUATE PREPARATION OF THE SUBSTRATE IS IMPERATIVE TO PROPER BONDING OF THE PAINT. PREP EACH SUBSTRATE AS RECOMMENDED BY MANUFACTURER. THOROUGHLY CLEAN ALL SURFACES. REMOVE ANY PAINT WHERE BONDING FAILURE IS EVIDENT AND ROUGHEN SURFACES AS REQUIRED FOR ADHESION OF NEW PAINT.</p> <p>23. TILE FLOORING TO BE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR (I.B.C.), UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COORDINATE WITH OWNER FOR REQUIRED SCHEDULING AND ORDERING INFORMATION. CONTRACTOR SHALL ASSIST IN DETERMINING QUANTITIES WHEN REQUIRED.</p> <p>24. CONTRACTOR SHALL PROVIDE OWNER WITH REQUESTED DATES FOR DELIVERY OF ALL P.B.O. PRODUCTS AND KEEP OWNER ABREAST OF SCHEDULE. OWNER SHALL DETERMINE LEAD TIME FOR ALL PRODUCTS AND PROVIDE DELIVERY WHEN REQUIRED BY CONTRACTOR.</p> <p>25. FOR ALL MATERIALS PROVIDED BY CONTRACTOR WHICH REQUIRE COLOR OR FINISH SELECTION, CONTRACTOR SHALL CONTACT ARCHITECT AND OWNER FOR ALL DECISIONS.</p>	<p>26. THE CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND SAFE AT ALL TIMES AND SHALL LEAVE THE PREMISES CLEAN AND ORDERLY, AND READY FOR OCCUPANCY.</p> <p>27. THE CONTRACT FOR CONSTRUCTION SHALL GENERALLY FOLLOW THE GENERAL CONDITIONS OF AIA CONTRACT A201, 1997 VERSION.</p> <p>28. USE QUARTER ROUND TRIM PIECES (FOR FULL MORTAR BED) OR BULLNOSE EDGE TRIM PIECES (FOR THINSET), OR MFR. METAL EDGING FOR EXPOSED OUTSIDE EDGE CONDITIONS.VERIFY WITH OWNER IN FIELD.</p> <p>29. CONTRACTOR TO COORDINATE WITH THE OWNER FOR ALL A/V AND/OR TELECOM WORK.</p> <p>30. ALL EXPOSED SHEET METAL EDGES TO BE FLAT HEMMED BACK A MINIMUM OF 10 TIMES THE MATERIAL THICKNESS.</p> <p>31. R317.3.1 FASTENERS FOR PRESERVATIVE-TREATED WOOD: FASTENERS, INCLUDING NUTS AND WASHERS, FOR PRESERVATIVE-TREATED WOOD SHALL BE OF HOT-DIPPED, ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE R COPPER. COATING TYPES AND WEIGHTS FOR CONNECTORS IN CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL BE IN ACCORDANCE WITH THE CONNECTOR MANUFACTURER'S RECOMMENDATIONS. IN THE ABSENCE OF MANUFACTURER'S RECOMMENDATIONS, A MINIMUM OF ASTM A655 TYPE G185 ZINC-COATED GALVANIZED STEEL, OR EQUIVALENT, SHALL BE USED.</p>	<p>15. ELECTRICAL BOXES ON OPPOSITE SIDES OF RATED GARAGE WALL TO BE SEPARATED BY HORIZONTAL DISTANCE OF 24" MIN. WITH INDIVIDUAL NON-COMMUNICATING STUD CAVITIES.</p> <p>16. PROVIDE LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) (COMBINATION TYPE) PROTECTION FOR ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, 15 & 20 AMP OUTLETS (FOR RECEPTACLES, LIGHTS, & SMOKE ALARMS) INSTALLED IN FAMILY ROOMS, LIVING ROOMS, LIBRARIES, DENS, BEDROOMS, SUN ROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS. GROUND FAULT (GFCI) IS REQUIRED IN BATHROOMS, GARAGES, ACCESSORY AREAS, EXTERIOR, CRAWLSPACES, AND BASEMENTS. COMBINATION AFCI/GFCI IS REQUIRED IN KITCHENS AND LAUNDRY AREAS PER ART 210.12 AND CEC 210.8</p> <p>17. ALL RECEPTACLES IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES, DISHWASHERS, DISPOSALS), LAUNDRY AREA, SINKS (WITHIN 6 FEET OF THE EDGE OF THE SINKS, BATHTUBS, OR SHOWERS), SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI OR GFI) PROTECTION. (CEC 210.8)</p> <p>18. FOR REMODEL PROJECTS: EXISTING WIRING TO BE UPGRADED TO MEET CURRENT CODE.</p> <p>19. TWO SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED FOR THE KITCHEN AND ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS FOR THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM, OR SIMILAR AREAS. NOTE: THESE CIRCUITS CANNOT SERVE OUTSIDE PLUGS, RANGE HOOD, DISPOSALS, DISHWASHERS OR MICROWAVES-- ONLY THE REQUIRED COUNTERTOP/WALL OUTLETS INCLUDING THE REFRIGERATOR. CEC 210.11(C)(1) & 210.52(B)</p> <p>20. LAUNDRY RECEPTACLE OUTLET TO BE A DEDICATED 20-AMP BRANCH CIRCUIT PER CEC 210.11(C)(2) & 210.52(F). PROVIDE AN ADDITIONAL 30-AMP 4-WIRE CIRCUIT FOR ELECTRICAL DRYER.</p> <p>21. DEDICATED 20-AMP CIRCUIT REQUIRED TO SERVE BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION-WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED.) CEC 210.11(C)(3) & 210.52(D)</p> <p>22. PLACE RECEPTACLES IN REMODELED AREAS @ 12 FEET O.C. MAXIMUM AND WITHIN 6 FEET OF END WALLS. WALL SPACES INCLUDE FIXED PANELS IN EXTERIOR WALLS, EXCLUDING SLIDING PANELS AND ALSO FIXED ROOM DIVIDERS SUCH AS BAR TYPE COUNTERS OR RAILINGS. CEC 210.52(A). OUTLETS ARE REQUIRED WITHIN 24" OF ANY LOCATION ALONG THE COUNTERTOP. CEC 210.52(C)(1).</p> <p>23. SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING, BE EQUIPPED WITH BATTERY BACK-UP, AND BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS. ALARMS SHALL BE AUDIBLE IN ALL SLEEPING ROOMS. SMOKE ALARMS SHALL NOT BE INSTALLED WITHIN 36" HORIZONTAL PATH FROM SUPPLY OR RETURN REGISTERS OF HEATING OR COOLING SYSTEMS AND SHALL BE INSTALLED OUTSIDE OF THE DIRECT AIRFLOW OF THOSE REGISTERS PER CRC SEC. R314 AND 315. SMOKE ALARMS AND SMOKE DETECTORS SHALL NOT BE INSTALLED LESS THAN 36 INCHES FROM THE DOOR OR OPENING OF A BATHROOM WITH A TUB OR SHOWER. REFER TO MANUF. INSTRUCTIONS FOR INSTALLATION IN ROOMS WITH VARIATIONS IN CEILING HEIGHT. OWNER TO PROVIDE DETECTORS FOR INSTALLATION.</p> <p>24. ALL RECESSED LIGHT FIXTURES IN INSULATED CEILINGS SHALL BE IC RATED AND AIR-TIGHT (AT) LABELED AND SHALL HAVE AN ELECTRONIC BALLAST. FIXTURES NOT IC RATED CAN BE USED IN NON-INSULATED AREAS AND SHALL BE SPACED AT LEAST 1/2" FROM COMBUSTIBLE MATERIALS.</p> <p>25. RECEPTACLES INSTALLED OUTDOORS IN LOCATIONS UNPROTECTED FROM THE WEATHER SHALL HAVE AN ENCLOSURE THAT IS WATERPROOF WHETHER OR NOT A PLUG IS INSERTED. ALL 15 & 20 AMP 125 & 250 VOLT NON-LOCKING RECEPTACLES SHALL BE LISTED WEATHER AND TAMPER RESISTANT TYPE (AND MARKED "WR" & "TR") CEC SECTIONS 210.52(E) AND 406.09</p> <p>26. ALL MULTIWIRED BRANCH CIRCUITS REQUIRE SIMULTANEOUS DISCONNECT AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES. MULTIWIRED BRANCH CIRCUITS IN A PANELBOARD OR OTHER ENCLOSURE MUST BE GROUPED TOGETHER BY WIRE TIES OR SIMILAR MEANS TO IDENTIFY THE CORRESPONDING GROUNDED AND UNGROUNDED CONDUCTORS OF THE CIRCUIT.</p> <p>27. A DEDICATED BRANCH CIRCUIT SHALL BE PROVIDED TO WATER HEATER. INSTALL PER MANUFACTURER INSTRUCTIONS</p> <p>28. A 125 V RECEPTACLE SHALL BE LOCATED WITHIN 20 FT OF ALL HEATING, AC AND REFRIGERATION EQUIPMENT</p>												
<table border="1" style="width: 100%; text-align: center;"> <tr> <td style="width: 80%;">Demolition Notes</td> <td style="width: 20%;">1</td> </tr> <tr> <td> <p>1. CONTRACTOR SHALL NOT PERFORM ANY WORK THAT WILL RESULT IN A CHANGE ORDER WITHOUT PRIOR WRITTEN APPROVAL FROM OWNER</p> <p>2. CONTRACTOR SHALL PICK UP ALL PERMITS.</p> <p>3. CONTRACTOR SHALL PROVIDE WORK COMPLETELY AND IN ACCORDANCE WITH CURRENT APPLICABLE CODES.</p> <p>4. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE INCURRED THROUGH ANY ERRORS OR OMISSIONS WITHIN HIS WORK TO THIS PROPERTY OR TO THE ADJACENT PRIVATE AND/OR PUBLICLY OWNED PROPERTIES.</p> <p>5. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. DO NOT SCALE THE DRAWINGS. NOTIFY THE DESIGNER/ARCHITECT OF ANY DISCREPANCIES.</p> <p>6. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND MEASUREMENTS BEFORE STARTING CONSTRUCTION. ALERT DESIGNER/ARCHITECT OF ALL DISCREPANCIES AND/OR VARIATION BEFORE PROCEEDING WITH WORK.</p> <p>7. CONTRACTOR TO REPORT ON THE PROGRESS OF WORK TO THE DESIGNER/ ARCHITECT. AT A MINIMUM, ON A BI-WEEKLY BASIS OR MORE FREQUENTLY AS CONDITIONS WARRANT. MEETINGS WITH THE ARCHITECT SHALL BE SCHEDULED TO ALLOW FOR TIME REQUIRED TO PROVIDE APPROPRIATE RESPONSE TO ANY QUESTIONS OR SITE CONDITIONS.</p> </td> <td></td> </tr> <tr> <td style="text-align: center;">General Notes</td> <td style="text-align: center;">2</td> </tr> </table>	Demolition Notes	1	<p>1. CONTRACTOR SHALL NOT PERFORM ANY WORK THAT WILL RESULT IN A CHANGE ORDER WITHOUT PRIOR WRITTEN APPROVAL FROM OWNER</p> <p>2. CONTRACTOR SHALL PICK UP ALL PERMITS.</p> <p>3. CONTRACTOR SHALL PROVIDE WORK COMPLETELY AND IN ACCORDANCE WITH CURRENT APPLICABLE CODES.</p> <p>4. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE INCURRED THROUGH ANY ERRORS OR OMISSIONS WITHIN HIS WORK TO THIS PROPERTY OR TO THE ADJACENT PRIVATE AND/OR PUBLICLY OWNED PROPERTIES.</p> <p>5. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. DO NOT SCALE THE DRAWINGS. NOTIFY THE DESIGNER/ARCHITECT OF ANY DISCREPANCIES.</p> <p>6. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND MEASUREMENTS BEFORE STARTING CONSTRUCTION. ALERT DESIGNER/ARCHITECT OF ALL DISCREPANCIES AND/OR VARIATION BEFORE PROCEEDING WITH WORK.</p> <p>7. CONTRACTOR TO REPORT ON THE PROGRESS OF WORK TO THE DESIGNER/ ARCHITECT. AT A MINIMUM, ON A BI-WEEKLY BASIS OR MORE FREQUENTLY AS CONDITIONS WARRANT. MEETINGS WITH THE ARCHITECT SHALL BE SCHEDULED TO ALLOW FOR TIME REQUIRED TO PROVIDE APPROPRIATE RESPONSE TO ANY QUESTIONS OR SITE CONDITIONS.</p>		General Notes	2	<table border="1" style="width: 100%; text-align: center;"> <tr> <td style="width: 80%;">General Notes Continued</td> <td style="width: 20%;">3</td> </tr> <tr> <td style="width: 80%;">Electrical Notes</td> <td style="width: 20%;">5</td> </tr> <tr> <td style="width: 80%;">Electrical Notes Continued</td> <td style="width: 20%;">6</td> </tr> </table>	General Notes Continued	3	Electrical Notes	5	Electrical Notes Continued	6		
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natalie paolercio

3466 Edward Ave.
Santa Clara CA 95054
P:408.248.8000
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www.valleyhomebuilders.com



Job Title/Address:



Revision :	
Building Submittal	June 09, 2023
Building Rev 1	Sept. 13, 2023
Contents :	
GENERAL NOTES	
Date :	
03.10.2023	
Drawn by :	
NP	
Scale :	
AS SHOWN	
Sheet No :	
A0.2.1	



COUNTY OF SANTA CLARA
2022 CALGREEN RESIDENTIAL CHECKLIST (MANDATORY)

County Amendments to CALGreen are in Italics.
- Designer to cross out items that are not applicable to the project.
- Installer or designer shall verify all applicable requirements have been satisfied and sign and date each row. County Inspectors will verify completion signatures and supporting documentation DURING CONSTRUCTION.

Table with 5 columns: ITEM #, CALGREEN CODE SECTION, REQUIREMENT, APPLICANT TO COMPLETE (REFERENCE SHEET, Note or Detail No., Date), Installer or Designer Verification (Signature, Date). Includes sections for PLANNING AND DESIGN, ENERGY EFFICIENCY, and WATER EFFICIENCY & CONSERVATION.

Table with 5 columns: ITEM #, CALGREEN CODE SECTION, REQUIREMENT, APPLICANT TO COMPLETE (REFERENCE SHEET, Note or Detail No., Date), Installer or Designer Verification (Signature, Date). Includes sections for MATERIAL CONSERVATION & RESOURCE EFFICIENCY and ENVIRONMENTAL QUALITY.

Table with 5 columns: ITEM #, CALGREEN CODE SECTION, REQUIREMENT, APPLICANT TO COMPLETE (REFERENCE SHEET, Note or Detail No., Date), Installer or Designer Verification (Signature, Date). Includes sections for ENVIRONMENTAL QUALITY and INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS.

TABLE 4.504.5 FORMALDEHYDE LIMITS* Maximum Formaldehyde Emissions in Parts per Million. Table with 2 columns: PRODUCT, CURRENT LIMIT.

COUNTY OF SANTA CLARA BUILDING INSPECTION OFFICE PLANS APPROVED FOR PERMIT
RECORD NO.: DEV23-1770
BY: B.Ghorbani Date: 10/06/2023
HARD COPY OF THESE STAMPED PLANS MUST BE ON THE SITE FOR INSPECTIONS

TABLE 4.504.1 ADHESIVE VOC LIMIT* Less Water and Less Exempt Compounds in Grams per Liter. Table with 2 columns: ARCHITECTURAL APPLICATIONS, VOC LIMIT.

TABLE 4.504.3 VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS* Grams of VOC per Liter of Coating. Table with 2 columns: COATING CATEGORY, VOC LIMIT.

TABLE 4.504.2 SEALANT VOC LIMIT Less Water and Less Exempt Compounds in Grams per Liter. Table with 2 columns: SEALANTS, VOC LIMIT.

TABLE 4.504.4 SEALANT VOC LIMIT Less Water and Less Exempt Compounds in Grams per Liter. Table with 2 columns: SEALANT PRIMERS, VOC LIMIT.

Construction Waste Management (CWM) Plan

Form for Construction Waste Management (CWM) Plan. Fields include Project Name, Job #, Project Manager, Waste Hauling Company, and Contact Name.

All Subcontractors shall comply with the project's Construction Waste Management Plan. Subcontractors who fail to comply with the Waste Management Plan will be subject to backcharges or withholding of payment...

Construction Waste Management (CWM) Worksheet

Form for Construction Waste Management (CWM) Worksheet. Fields include Project Name, Job Number, Project Manager, and Waste Hauling Company.

Table for Construction Waste Management (CWM) Worksheet. Columns: WASTE MATERIAL TYPE, COMMINGLED AND SORTED OFF SITE, SOURCE SEPARATED ON SITE, PROJECTED DIVERSION RATE.

Construction Waste Management (CWM) Acknowledgment

Form for Construction Waste Management (CWM) Acknowledgment. Fields include Project Name, Job Number, Project Manager, and Waste Hauling Company.

Table for Construction Waste Management (CWM) Acknowledgment. Columns: DATE, SUBCONTRACTOR COMPANY NAME, FOREMAN NAME, SIGNATURE.

Project Information

CALGreen One or Two Family Residential Project Mandatory Requirements
County of Santa Clara



CG-1

12/20/2022

natalie paolercio
3466 Edward Ave.
Santa Clara CA 95054
P: 408.248.8000
F: 408.695.7652
www.valleyhomebuilders.com

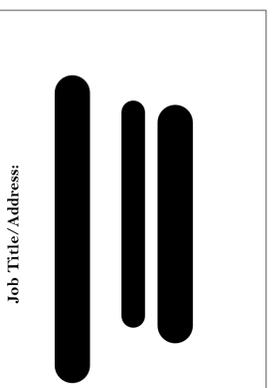


Table with 2 columns: Revision, Date. Rows: Building Submittal (June 09, 2023), Building Rev 1 (Sept. 13, 2023).

Contents: GREEN BUILDING CHECKLIST

Date: 03.10.2023

Drawn by: NP

Scale: AS SHOWN

CALGREEN 2022 NOTES – MANDATORY REQUIREMENTS:

1. PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. SEE CALGREEN 4.106.2 FOR FURTHER DETAILS.

2. CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE FLOW TOWNS TO KEEP WATER FROM ENTERING BUILDINGS, SWALES, WATER COLLECTION AND DISPOSAL SYSTEMS, FRENCH DRAINS, WATER RETENTION GARDENS, AND OTHER MEASURES CAN BE USED. EXCEPTION: ADDITIONS AND ALTERATIONS NOT ALTERING THE DRAINAGE PATH.

3. FOR ANY NEW DWELLING UNITS WITH ATTACHED GARAGES AND FOR REBUILDS OF EXISTING DWELLING UNITS THAT INCLUDE A PANEL UPGRADE OR CONSTRUCTION BETWEEN THE PANEL AND PARKING AREA, INSTALL A LEVEL 2 EV READY SPACE AND LEVEL 1 EV READY SPACE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "LEVEL 2 EV-READY."

EXCEPTION: FOR EACH DWELLING UNIT WITH ONLY ONE PARKING SPACE, INSTALL A LEVEL 2 EV READY SPACE.

LEVEL 1 EV READY SPACE IS A PARKING SPACE SERVED BY A COMPLETE ELECTRIC CIRCUIT WITH A MINIMUM OF 110/120 VOLT, 20-AMPERE CAPACITY, INCLUDING ELECTRICAL PANEL CAPACITY; AN OVERPROTECTION DEVICE; A MINIMUM 1" DIAMETER RACEWAY THAT MAY INCLUDE MULTIPLE CIRCUITS AS ALLOWED BY THE COUNTY ELECTRICAL CODE; PROPERLY SIZED CONDUCTORS; GROUNDING AND BONDING; AND EITHER (A) A RECEPTACLE LABELED "ELECTRIC VEHICLE OUTLET" WITH AT LEAST A 1/2" FONT ADJACENT TO THE PARKING SPACE, OR (B) LABELED ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE).

LEVEL 2 EV READY SPACE IS A PARKING SPACE SERVED BY A COMPLETE ELECTRIC CIRCUIT WITH A MINIMUM OF 208/240 VOLT, 40-AMPERE CAPACITY, INCLUDING THE REQUIRED ELECTRICAL PANEL CAPACITY; AN OVERCURRENT PROTECTION DEVICE; A MINIMUM 1" DIAMETER RACEWAY THAT MAY INCLUDE MULTIPLE CIRCUITS AS ALLOWED BY THE COUNTY ELECTRICAL CODE; PROPERLY SIZED CONDUCTORS; GROUNDING AND BONDING; AND EITHER (A) A RECEPTACLE LABELED "ELECTRIC VEHICLE OUTLET" WITH A MINIMUM 1/2" FONT, ADJACENT TO THE PARKING SPACE, OR (B) A BLANK LABELED ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) WITH A MINIMUM OUTPUT OF 40 AMPERES.

4. ACCESSORY DWELLING UNITS (ADU) AND JUNIOR ACCESSORY DWELLING UNITS (JADU) WITHOUT ADDITIONAL PARKING SPACES AND WITHOUT ELECTRICAL PANEL UPGRADE OR NEW PANEL INSTALLATION ARE EXEMPT FROM REQUIREMENTS ON NOTE 3. ADUS AND JADUS WITHOUT ADDITIONAL PARKING BUT WITH ELECTRICAL PANEL UPGRADES OR NEW PANELS MUST HAVE RESERVED BREAKERS AND ELECTRICAL CAPACITY ACCORDING TO THE REQUIREMENTS OF NOTE 3.

5. ALL NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY, OR FINAL PERMIT APPROVAL BY BUILDING AND INSPECTION DIVISION. SEE CIVIL CODE SECTION 1101.1, ET SEQ., FOR THE DEFINITION OF A NONCOMPLIANT PLUMBING FIXTURE, TYPES OF RESIDENTIAL BUILDINGS AFFECTED AND OTHER IMPORTANT ENACTMENT DATES.

- A. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS.
- B. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS.
- C. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWER-HEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.
- D. THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.
- E. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

6. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE.

7. RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH COUNTY OF SANTA CLARA WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT.

8. Not used.

9. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE COUNTY OF SANTA CLARA.

10. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CALGREEN SECTION 4.408.2 OR 4.408.3.

A. A CONSTRUCTION WASTE MANAGEMENT PLAN IS PROVIDED. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE COUNTY OF SANTA CLARA.

- 1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
- 2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).
- 3. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE TAKEN.
- 4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
- 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

B. A WASTE MANAGEMENT COMPANY CAN BE UTILIZED IF APPROVED BY THE COUNTY OF SANTA CLARA. SEE CALGREEN 4.408.3 FOR FURTHER DETAILS.

11. DOCUMENTATION SHALL BE PROVIDED TO THE COUNTY OF SANTA CLARA WHICH DEMONSTRATES COMPLIANCE WITH NOTE 10.

12. AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE, OR OTHER MEDIA ACCEPTABLE TO THE COUNTY OF SANTA CLARA INCLUDES ALL OF THE REQUIRED INFORMATION, SHALL BE PLACED IN THE BUILDING. SEE CALGREEN 4.410.1 FOR DETAILS OF REQUIRED INFORMATION.

13. ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE SANTA CLARA COUNTY ORDINANCES AND BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGULATION 6, RULE 3.

14. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE COUNTY OF SANTA CLARA TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM.

15. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF CALGREEN TABLES 4.504.1 OR 4.504.2 AS REPRODUCED ON SHEET CG-1. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED BELOW.

AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.

16. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS AS SHOWN IN TABLE 4.504.3 SHEET CG-1. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NON-FLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3, SHEET CG-1 SHALL APPLY.

17. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(A)(2) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(E)(1) AND (F)(1) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.

18. VERIFICATION OF COMPLIANCE WITH NOTES 15, 16, AND 17 SHALL BE PROVIDED AT THE REQUEST OF THE COUNTY OF SANTA CLARA.

19. ALL CARPET AND CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350)

ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1, SHEET CG-1.

20. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350)

21. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN TABLE 4.504.5 SHEET CG-1.

22. VERIFICATION OF COMPLIANCE WITH NOTE 21 SHALL BE PROVIDED AT THE REQUEST OF THE COUNTY OF SANTA CLARA.

23. CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY CBC, CHAPTER 19 OR CONCRETE SLAB-ON-GROUND FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY CRC CHAPTER 5, SHALL COMPLY WITH FOLLOWING REQUIREMENT:

A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING:

- A. A 4-INCH-THICK BASE OF 1/2 INCH OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN, WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING, SHALL BE USED.
- B. A SLAB DESIGN SPECIFIED BY THE LICENSED DESIGN PROFESSIONAL.

24. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURERS' DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.

25. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:

- A. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
- B. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.
 - 1. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF ≤ 50 PERCENT TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.
 - 2. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL.

26. HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:

- A. THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J—2016 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
- B. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D—2016 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
- C. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S—2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

27. HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS INCLUDING DUCTS AND EQUIPMENT BY A NATIONALLY OR REGIONALLY RECOGNIZED TRAINING OR CERTIFICATION PROGRAM. UNCERTIFIED PERSONS MAY PERFORM HVAC INSTALLATIONS WHEN UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF A PERSON TRAINED AND CERTIFIED TO INSTALL HVAC SYSTEMS OR CONTRACTOR LICENSED TO INSTALL HVAC SYSTEMS.

28. IF REQUIRED BY THE COUNTY OF SANTA CLARA, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE COUNTY OF SANTA CLARA FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE PROJECT THEY ARE INSPECTING FOR COMPLIANCE WITH THIS CODE.

29. DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE COUNTY OF SANTA CLARA WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE. WHEN SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IS NECESSARY TO VERIFY COMPLIANCE, THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPRIATE SECTION OR IDENTIFIED IN THE APPLICATION CHECKLIST.

Project Information

**COUNTY OF SANTA CLARA
BUILDING INSPECTION OFFICE
PLANS APPROVED FOR PERMIT**

 RECORD NO.: DEV23-1770
 BY: B.Ghortani Date: 10/06/2023

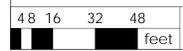
 HARD COPY OF THESE STAMPED PLANS
MUST BE ON THE SITE FOR INSPECTIONS

CALGreen One or Two Family Residential Project Mandatory Requirements
County of Santa Clara



CG-2

05/26/2023



natalia paolercio

3466 Edward Ave.
 Santa Clara CA 95054
 P: 408.248.8000
 F: 408.695.7652
 www.valleyhomebuilders.com



Job Title/Address:

Revision :	
Building Submittal	June 09, 2023
Building Rev 1 ¹	Sept. 13, 2023

Contents :
GREEN BUILDING CHECKLIST

Date :
03.10.2023

Drawn by :
NP

Scale :
AS SHOWN

Sheet No :
A0.2.3

NOTE: NO NEW OR UPGRADED UTILITIES PROPOSED WITHIN THE COUNTY RIGHT-OF-WAY

EXISTING UNPERMITTED SHED TO BE LEGALIZED UNDER SEPARATE PERMIT

A.D.U. SETBACK LINE, TYP.

EXISTING PLANTING TO REMAIN & PROTECT DURING CONSTRUCTION, SHOWN HATCHED

MAIN HOUSE SETBACK LINE, TYP.

EXISTING 1-STORY MAIN RESIDENCE & EXTERIOR DECK TO REMAIN (NO CHANGE); PROTECT DURING CONSTRUCTION

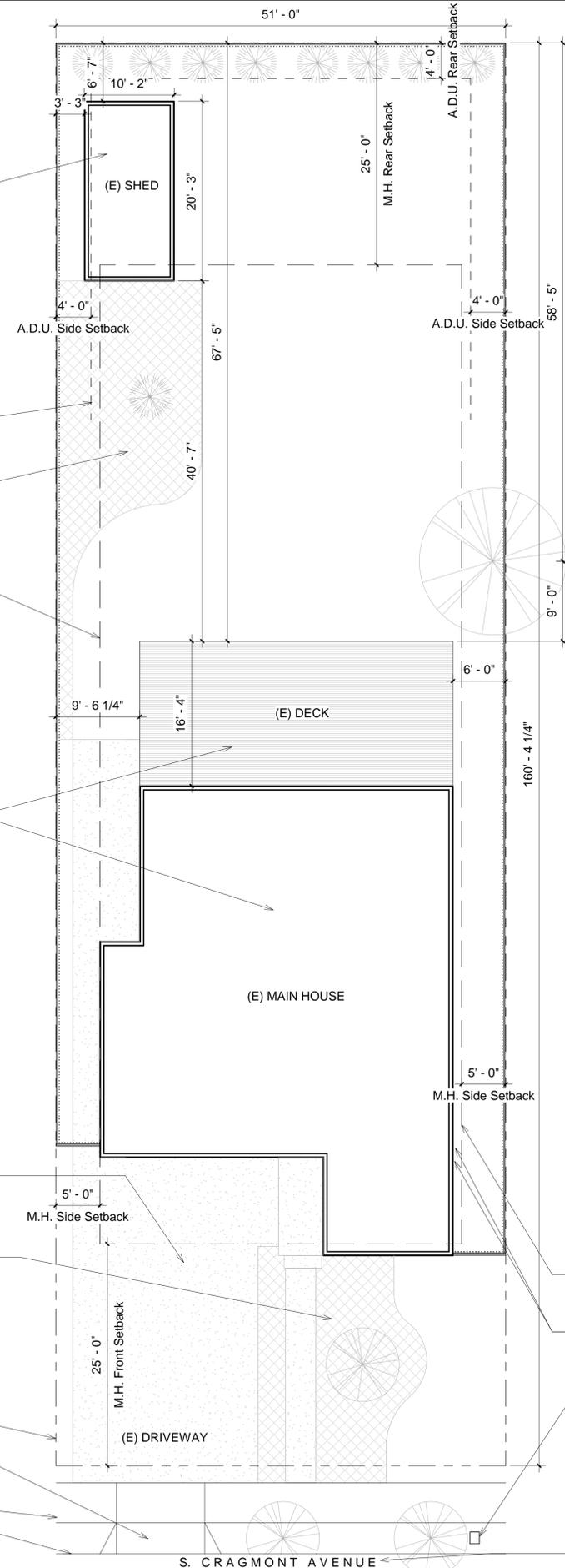
EXISTING DRIVEWAY TO REMAIN; PROTECT DURING CONSTRUCTION

EXISTING PLANTING TO REMAIN & PROTECT DURING CONSTRUCTION, SHOWN HATCHED

PROPERTY LINE, TYP.

EXISTING DRIVEWAY APPROACH TO REMAIN

EXISTING SIDEWALK AND CURB



GENERAL NOTES:

- CONTRACTOR TO COORDINATE ANY REQUIRED/PROPOSED METER & UTILITY UPGRADES w/ RESPECTIVE AGENCIES.
- PROTECT EXISTING TREES TO REMAIN AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME.
- NOTIFY ARCHITECT AND OWNER OF SUSPECTED HAZARDOUS MATERIAL. ANY HAZARDOUS MATERIAL SHALL BE REMOVED BY LICENSED HAZMAT CONTRACTOR.
- PROVIDE TEMPORARY PROTECTION FOR ANY EXISTING TREES OR LANDSCAPING TO REMAIN.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCING ANY WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
- THE EXISTING BUILDING SHALL BE PROTECTED DURING THE COURSE OF DEMOLITION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION PRIOR TO COMMENCING DEMOLITION.
- ALL REQUIRED EXCAVATION SHALL BE CLEARED OF ALL CONCRETE AND ORGANIC MATERIALS PRIOR TO BACKFILLING. ALL EXCAVATION SHALL BE FILLED UNDER THE SUPERVISION OF A SOILS ENGINEER WHERE APPLICABLE OR TO ACCEPTED INDUSTRY STANDARDS.

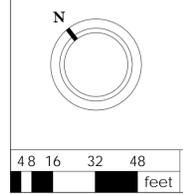


FIRE HYDRANT LOCATED WITHIN 400' EXTERIOR PATH OF TRAVEL TO ALL PORTIONS OF NON-SPRINKLERED STRUCTURE (CFC SECTION 507.5.1)

- EXISTING SEWER CLEANOUT
- EXISTING 200 AMP ELECTRICAL PANEL & GAS METER TO REMAIN
- EXISTING WATER METER TO REMAIN

S. CRAGMONT AVENUE IS A COUNTY MAINTAINED ROAD

**COUNTY OF SANTA CLARA
BUILDING INSPECTION OFFICE
PLANS APPROVED FOR PERMIT**
RECORD NO.: DEV23-1770
BY: B.Ghorbani Date: 10/06/2023
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Job Title/Address:

Issue Log :

Building Submittal	June 09, 2023
Building Rev 1 ¹	Sept. 13, 2023

Contents :
EXISTING SITE PLAN

Date :
03.10.2023

Drawn by :
NP

Scale :
AS SHOWN

Sheet No :
A0.3

NOTE: NO NEW OR UPGRADED UTILITIES PROPOSED WITHIN THE COUNTY RIGHT-OF-WAY

NOTE: NO PROPOSED LANDSCAPE

PLAN MUST BE POSTED ON JOB FOR FINAL APPROVAL

NO ENCROACHMENT WITHIN ANY EASEMENT OR RIGHT-OF-WAY IS APPROVED

THIS APPROVAL DOES NOT LEGALIZE ANY UNPERMITTED STRUCTURES THAT EXIST ON THE PROPERTY AND ARE NOT PART OF THE PROPOSED PROJECT SCOPE.

County of Santa Clara - Planning Division
APPROVED AS SUBMITTED
 RECORD # DEV23-1770

THIS PROJECT IS APPROVED TO SUBMIT FOR DEVELOPMENT PLAN REVIEW. IT IS UNLAWFUL TO MAKE ANY CHANGES OR ALTERATIONS TO THESE PLANS WITHOUT THE WRITTEN APPROVAL FROM THE PLANNING DIVISION.

LAND USE ENTITLEMENT
 APPROVED FOR ISSUANCE OF GRADING PERMIT ONLY
 APPROVED FOR ISSUANCE OF BUILDING PERMIT ONLY
 PLANNER DATE

joanna.wilk 10/9/2023
 NOTES front: 25 feet, side & rear: 4 feet

Building Setback Certification (BSC) is Required by a Licensed Land Surveyor
 DEV Record No. DEV23-1770

Surveyor shall complete the County of Santa Clara Building Location Certification Form Prior to requesting a foundation inspection.

BSC required for the ADU structure.
 BSC required for the following property lines:

North East Other: rear and eas
 South West

Zoning Required Setback: 4 Planning Approved Setback: 6' 5' and

Notes:

GENERAL NOTES:

- CONTRACTOR TO COORDINATE ANY REQUIRED/PROPOSED METER & UTILITY UPGRADES w/ RESPECTIVE AGENCIES.
- PROTECT EXISTING TREES TO REMAIN AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME.
- NOTIFY ARCHITECT AND OWNER OF SUSPECTED HAZARDOUS MATERIAL. ANY HAZARDOUS MATERIAL SHALL BE REMOVED BY LICENSED HAZMAT CONTRACTOR.
- PROVIDE TEMPORARY PROTECTION FOR ANY EXISTING TREES OR LANDSCAPING TO REMAIN.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCING ANY WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
- THE EXISTING BUILDING SHALL BE PROTECTED DURING THE COURSE OF DEMOLITION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION PRIOR TO COMMENCING DEMOLITION.
- ALL REQUIRED EXCAVATION SHALL BE CLEARED OF ALL CONCRETE AND ORGANIC MATERIALS PRIOR TO BACKFILLING. ALL EXCAVATION SHALL BE FILLED UNDER THE SUPERVISION OF A SOILS ENGINEER WHERE APPLICABLE OR TO ACCEPTED INDUSTRY STANDARDS.

natalie paolercio

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 www.valleyhomebuilders.com



Job Title/Address:
 [Redacted]

Issue Log :

Building Submittal	June 09, 2023
Building Rev 1	Sept. 13, 2023

Contents :

PROPOSED SITE PLAN & AREA CALCULATIONS

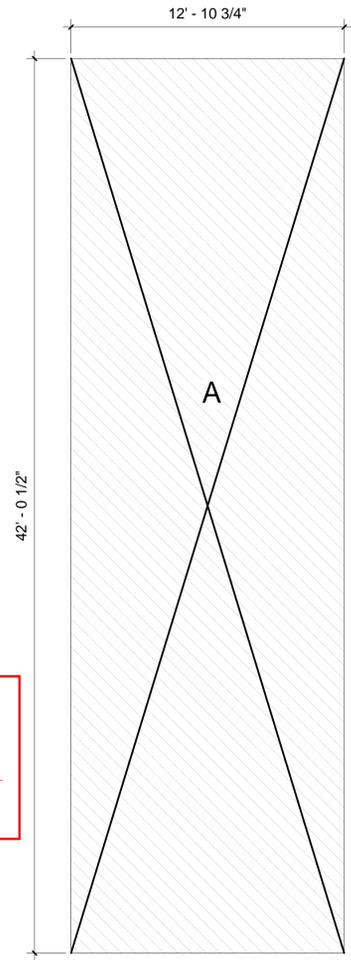
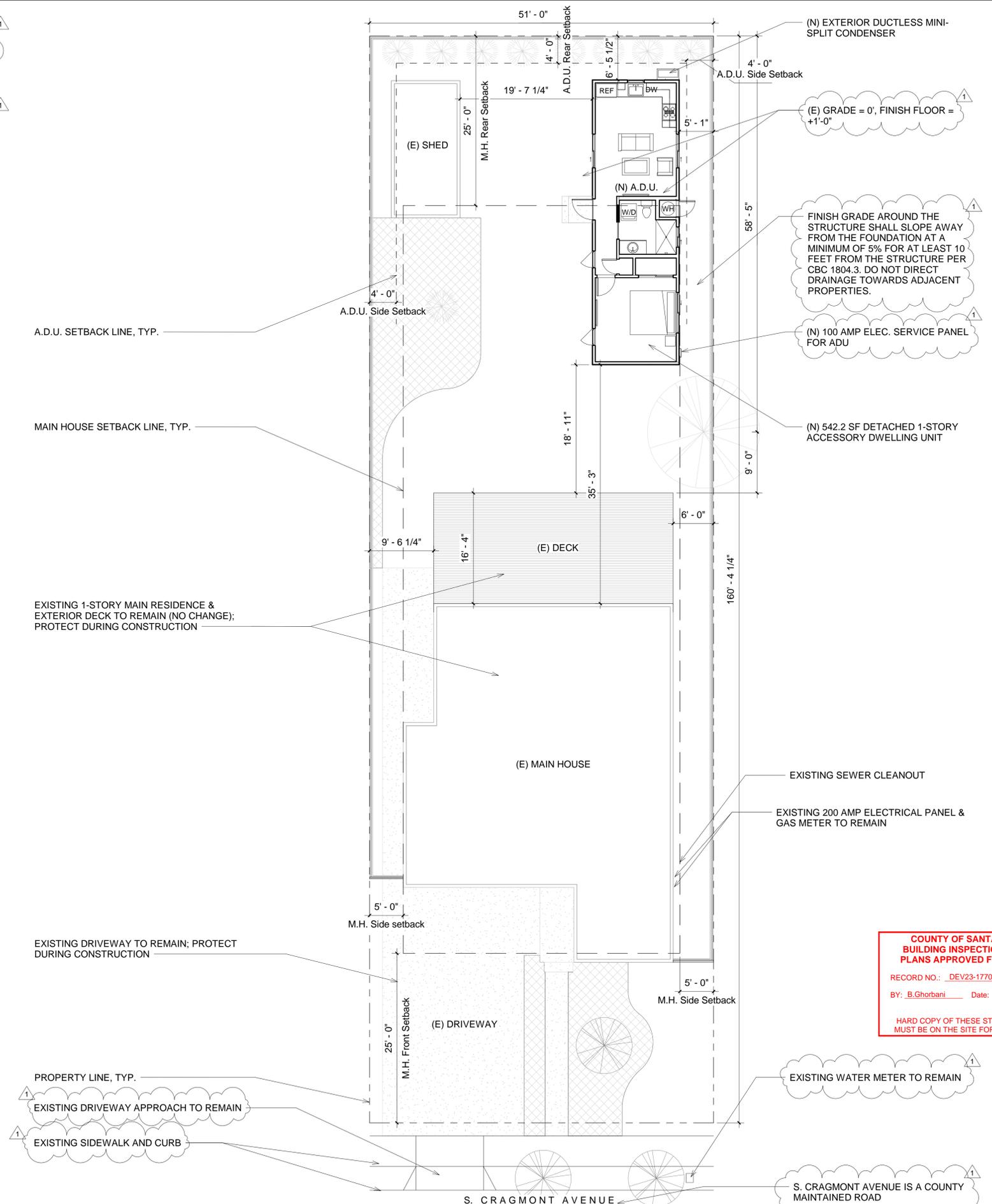
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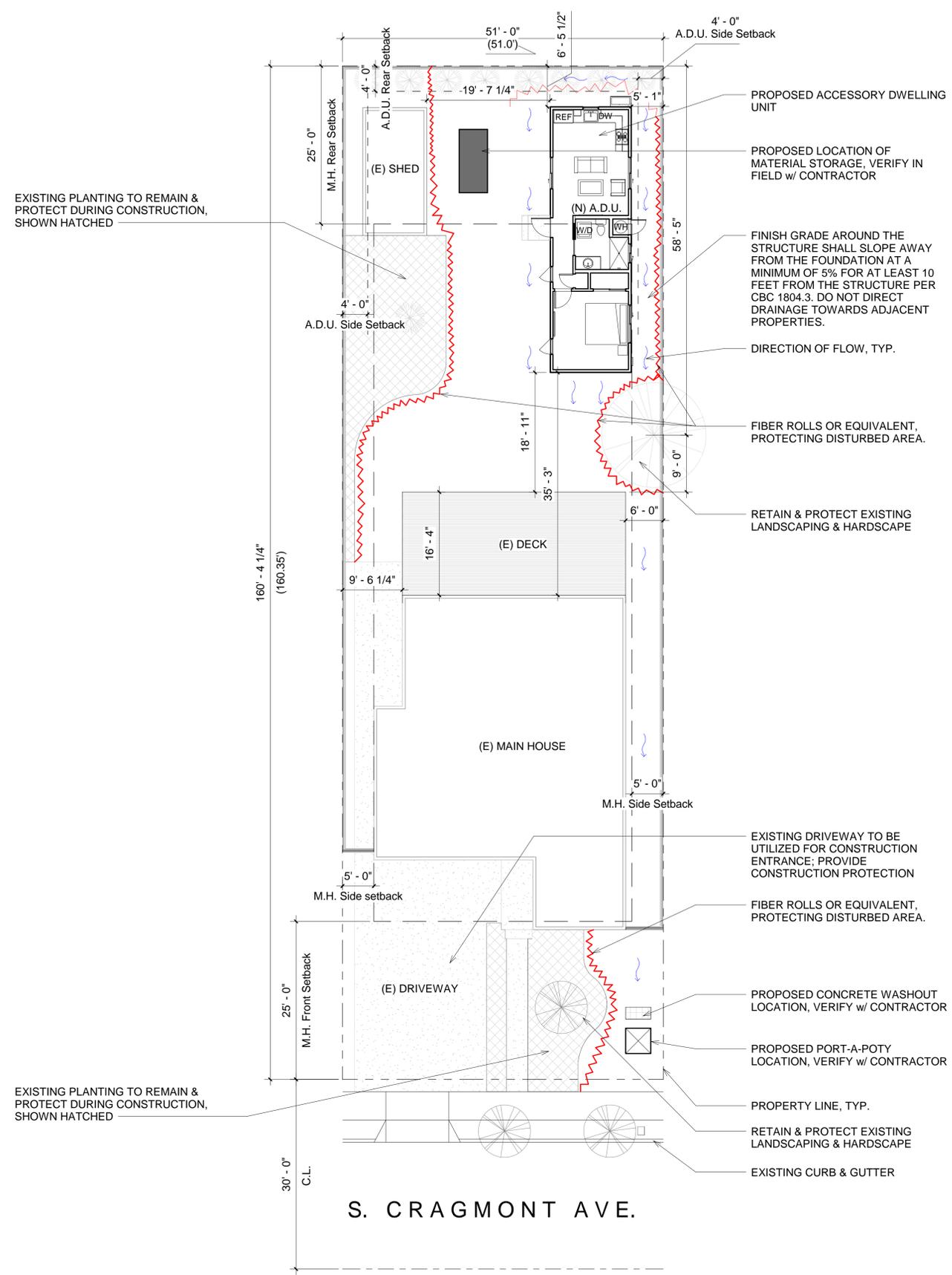
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COUNTY OF SANTA CLARA
 BUILDING INSPECTION OFFICE
 PLANS APPROVED FOR PERMIT
 RECORD NO.: DEV23-1770
 BY: B.Ghorbani Date: 10/06/2023
 HARD COPY OF THESE STAMPED PLANS
 MUST BE ON THE SITE FOR INSPECTIONS



GENERAL NOTES:

1. CONTRACTOR TO COORDINATE ANY REQUIRED/PROPOSED METER & UTILITY UPGRADES w/ RESPECTIVE AGENCIES.
2. PROTECT EXISTING TREES TO REMAIN AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME.
3. NOTIFY ARCHITECT AND OWNER OF SUSPECTED HAZARDOUS MATERIAL. ANY HAZARDOUS MATERIAL SHALL BE REMOVED BY LICENSED HAZMAT CONTRACTOR.
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8. ALL REQUIRED EXCAVATION SHALL BE CLEARED OF ALL CONCRETE AND ORGANIC MATERIALS PRIOR TO BACKFILLING. ALL EXCAVATION SHALL BE FILLED UNDER THE SUPERVISION OF A SOILS ENGINEER WHERE APPLICABLE OR TO ACCEPTED INDUSTRY STANDARDS.

EROSION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE ONSITE AND READILY ACCESSIBLE PRIOR TO CONSTRUCTION.
2. SWEEP OR SCRAPE UP SOILS TRACKED ONTO THE ROAD AT THE END OF EACH DAY. DO NOT HOSE INTO STREET, GUTTER, OR STORM DRAIN.
3. REVEGETATE DISTURBED AREAS. EXPOSED BARE DIRT SHALL BE COVERED WITH MULCH, JUT NETTING OR OTHER EROSION CONTROL BLANKET.
4. ALL TEMPORARY STOCKPILES SHALL BE COVERED WITH 6 MIL PLASTIC SHEETS, SUITABLY ANCHORED.
5. THE SITE SHALL BE MONITORED BY THE CONTRACTOR/ OWNER AFTER RAIN EVENT TO VERIFY EROSION CONTROL MEASURES ARE FUNCTIONING.

**COUNTY OF SANTA CLARA
BUILDING INSPECTION OFFICE
PLANS APPROVED FOR PERMIT**

RECORD NO.: DEV23-1770
 BY: B.Ghorbani Date: 10/06/2023

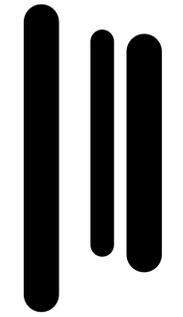
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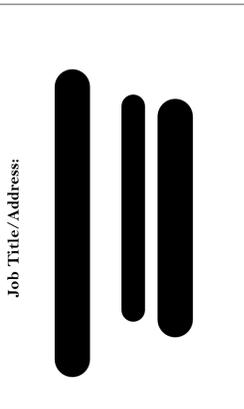
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PROPOSED EROSION CONTROL PLAN

Date :
03.10.2023

Drawn by :
NP

Scale :
AS SHOWN

Sheet No :
A0.5 



Issue Log :

Building Submittal	June 09, 2023
Building Rev 1	Sept. 13, 2023

Contents :

BMPs & Erosion Control Details Sheet 1	
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Date :
03.10.2023

Drawn by :
NP

Scale :
AS SHOWN

Sheet No :
BMP-1

Project Information

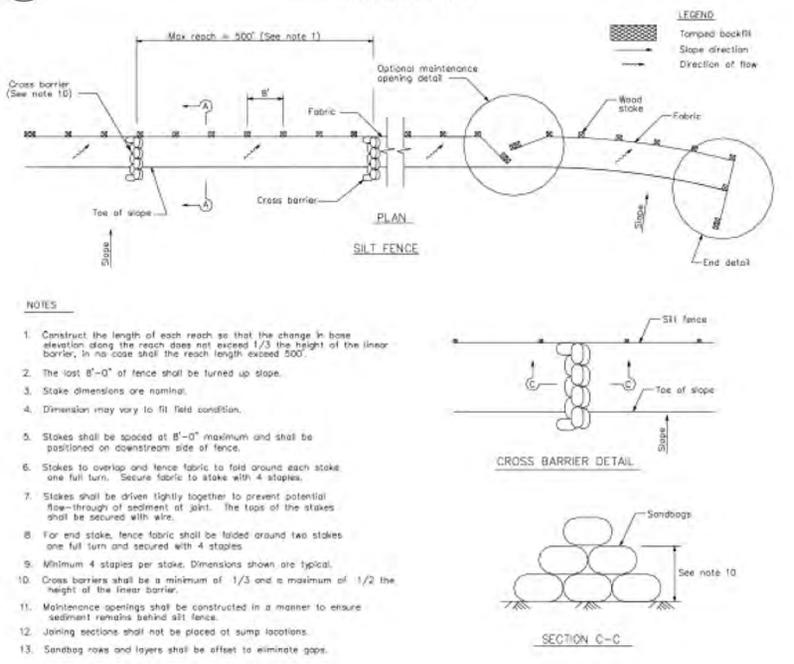
STANDARD EROSION CONTROL NOTES

- Sediment Control Management:**
 - Tracking Prevention & Clean Up:** Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.
 - Storm Drain Inlet and Catch Basin Inlet Protection:** All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber rolls or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.
 - Storm Water Runoff:** No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.
 - Dust Control:** The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.
 - Stockpiling:** Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures (tarps, straw bales, silt fences, etc.) to ensure silt does not leave the site or enter the storm drain system or neighboring watershed.
- Erosion Control:** During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
- Inspection & Maintenance:** Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- Project Completion:** Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

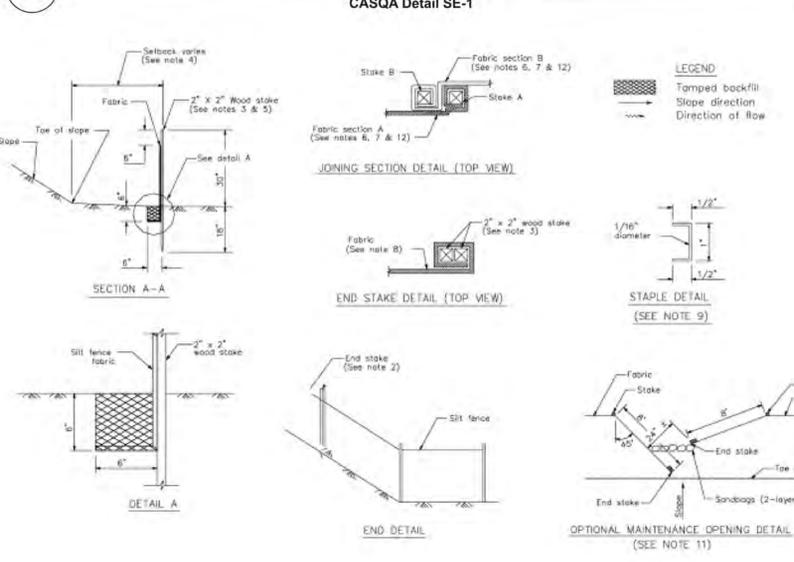
STANDARD BEST MANAGEMENT PRACTICE NOTES

- Solid and Demolition Waste Management:** Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-3) or latest.
- Hazardous Waste Management:** Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- Spill Prevention and Control:** Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
- Vehicle and Construction Equipment Service and Storage:** An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-9) or latest.
- Material Delivery, Handling and Storage:** In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- Handling and Disposal of Concrete and Cement:** When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
- Pavement Construction Management:** Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- Contaminated Soil and Water Management:** Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
- Sanitary/Septic Water Management:** Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
- Inspection & Maintenance:** Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

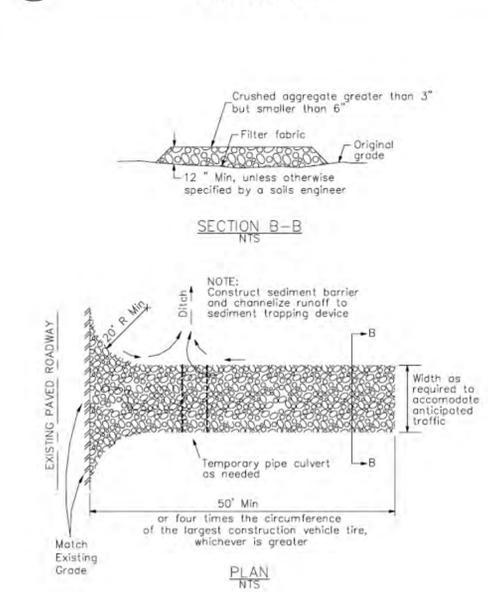
1 Silt Fence CASQA Detail SE-1



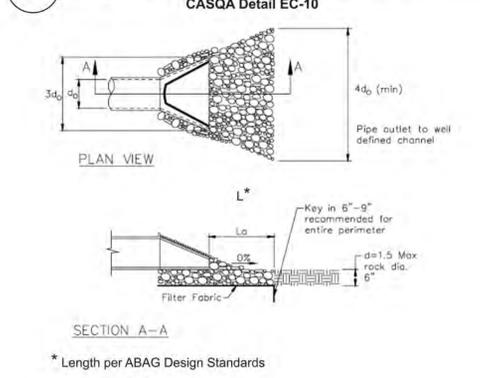
2 Silt Fence CASQA Detail SE-1



3 Stabilized Construction Entrance/Exit CASQA Detail TC-1



4 Velocity Dissipation Devices CASQA Detail EC-10



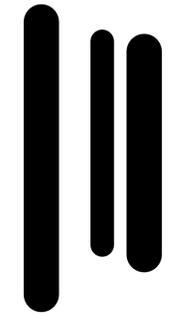
Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

Best Management Practices and Erosion Control Details Sheet 1
County of Santa Clara



BMP-1

Job Title/Address:



Issue Log :

Building Submittal	June 09, 2023
Building Rev 1	Sept. 13, 2023

Contents :

BMPs & Erosion Control Details Sheet 2

Date :

03.10.2023

Drawn by :

NP

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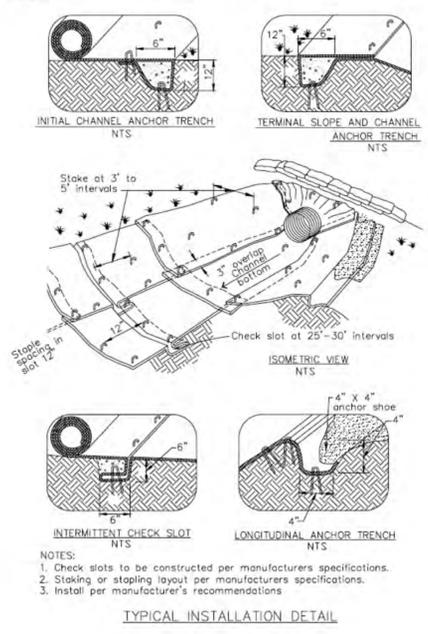
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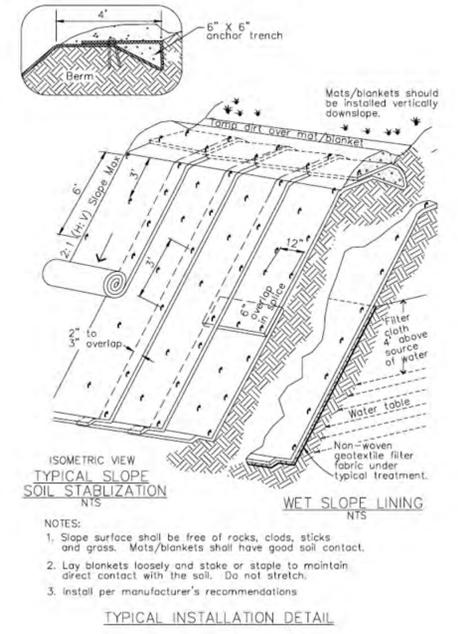
BMP-2

Project Information

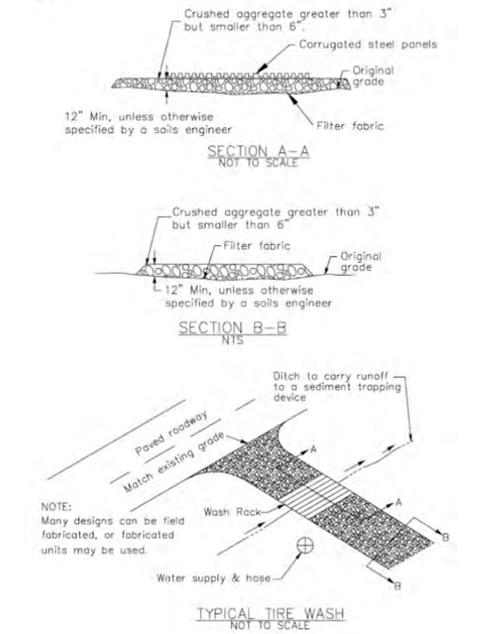
7 Geotextiles and Mats
CASQA Detail EC-7



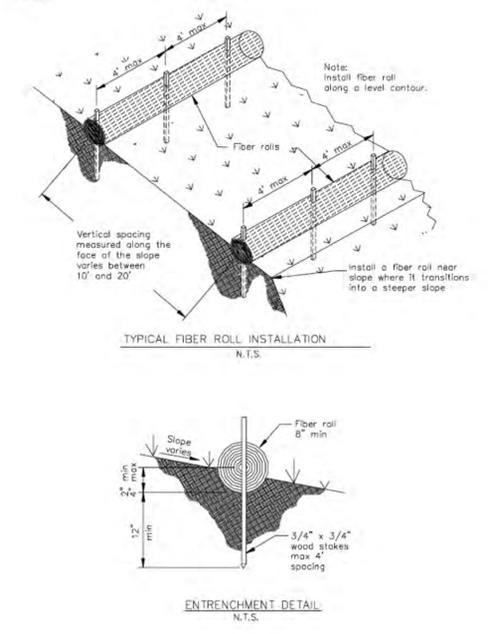
5 Geotextiles and Mats
CASQA Detail EC-7



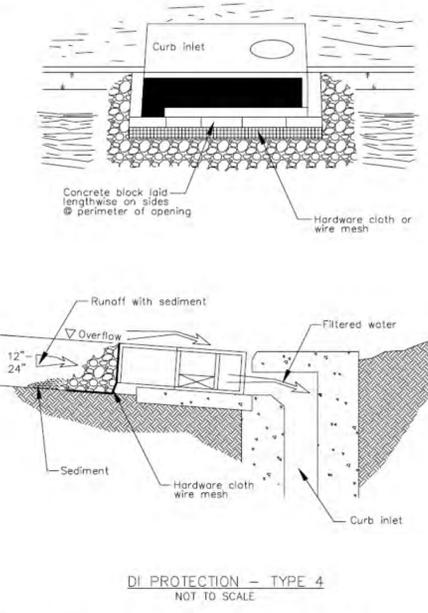
3 Entrance/Outlet Tire Wash
CASQA Detail TC-3



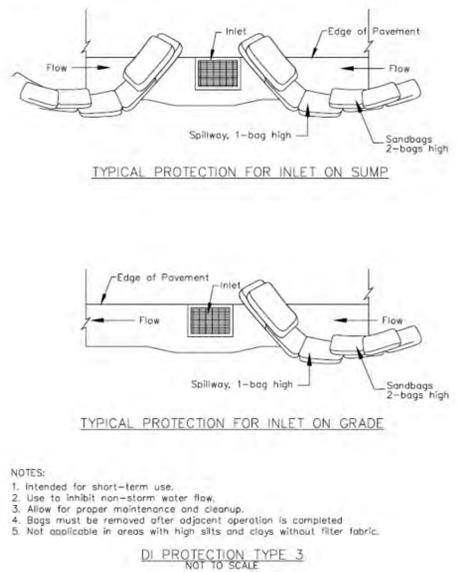
1 Fiber Rolls
CASQA Detail SE-5



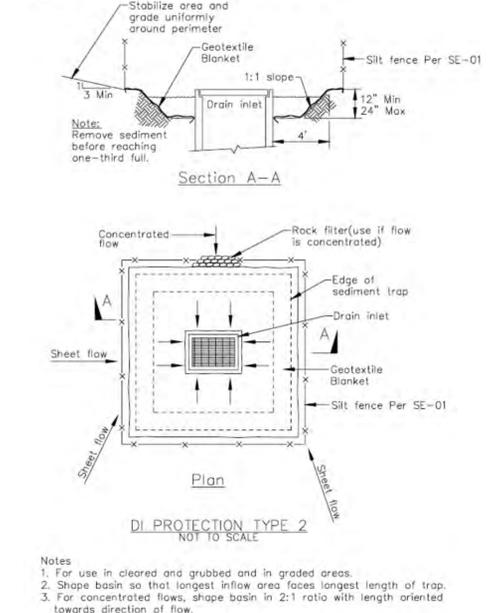
8 Storm Drain Inlet Protection
CASQA Detail SE-10



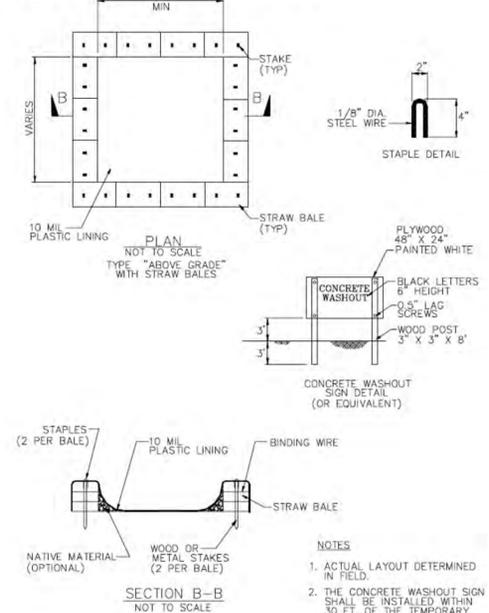
6 Storm Drain Inlet Protection
CASQA Detail SE-10



4 Storm Drain Inlet Protection
CASQA Detail SE-10



2 Concrete Waste Management
CASQA Detail WM-8

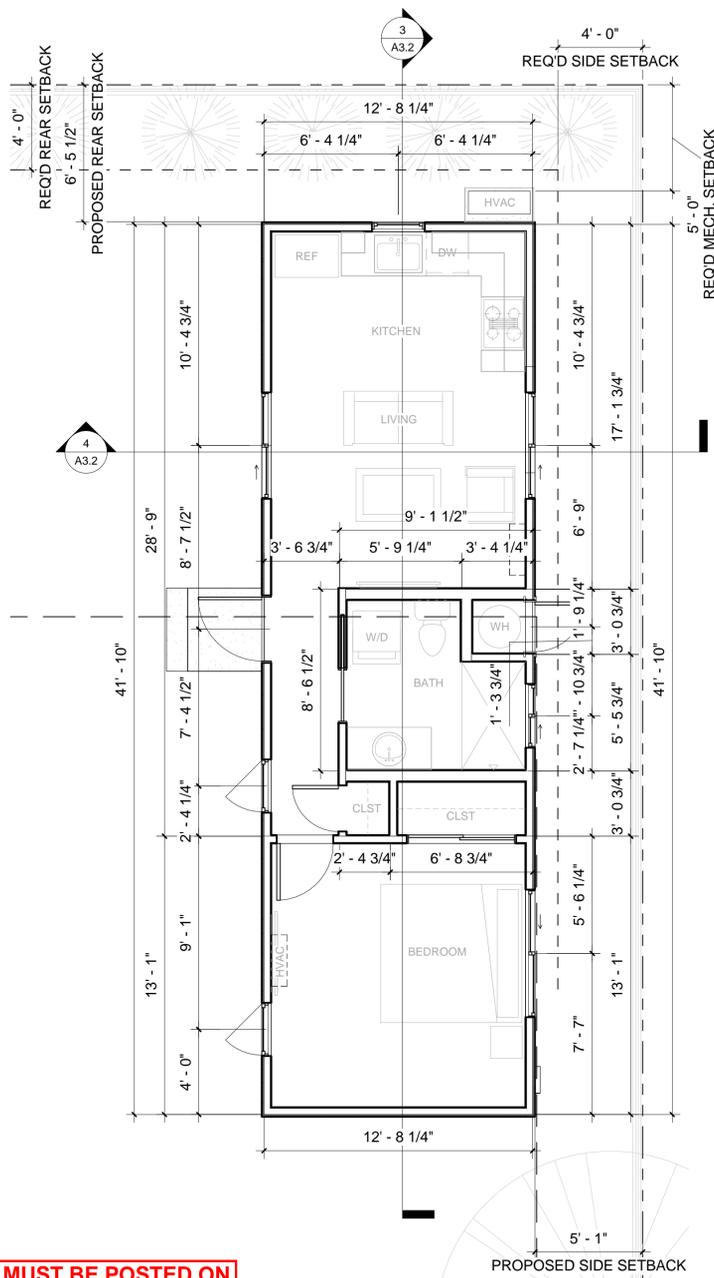


Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

Best Management Practices and Erosion Control Details Sheet 2
 County of Santa Clara



BMP-2



PLAN MUST BE POSTED ON JOB FOR FINAL APPROVAL

NO ENCROACHMENT WITHIN ANY EASEMENT OR RIGHT-OF-WAY IS APPROVED

THIS APPROVAL DOES NOT LEGALIZE ANY UNPERMITTED STRUCTURES THAT EXIST ON THE PROPERTY AND ARE NOT PART OF THE PROPOSED PROJECT SCOPE.

County of Santa Clara - Planning Division
 (6) PREPARED AS SUBMITTED
 RECORD # DEV23-1770

THIS PROJECT IS APPROVED TO SUBMIT FOR DEVELOPMENT PLAN REVIEW. IT IS UNLAWFUL TO MAKE ANY CHANGES OR ALTERATIONS TO THESE PLANS WITHOUT THE WRITTEN APPROVAL FROM THE PLANNING DIVISION.

LAND USE ENTITLEMENT
 APPROVED FOR ISSUANCE OF GRADING PERMIT ONLY
 APPROVED FOR ISSUANCE OF BUILDING PERMIT ONLY

PLANNER DATE
 joanna.wilk 10/9/2023
 front: 25 feet, side & rear: 4 feet

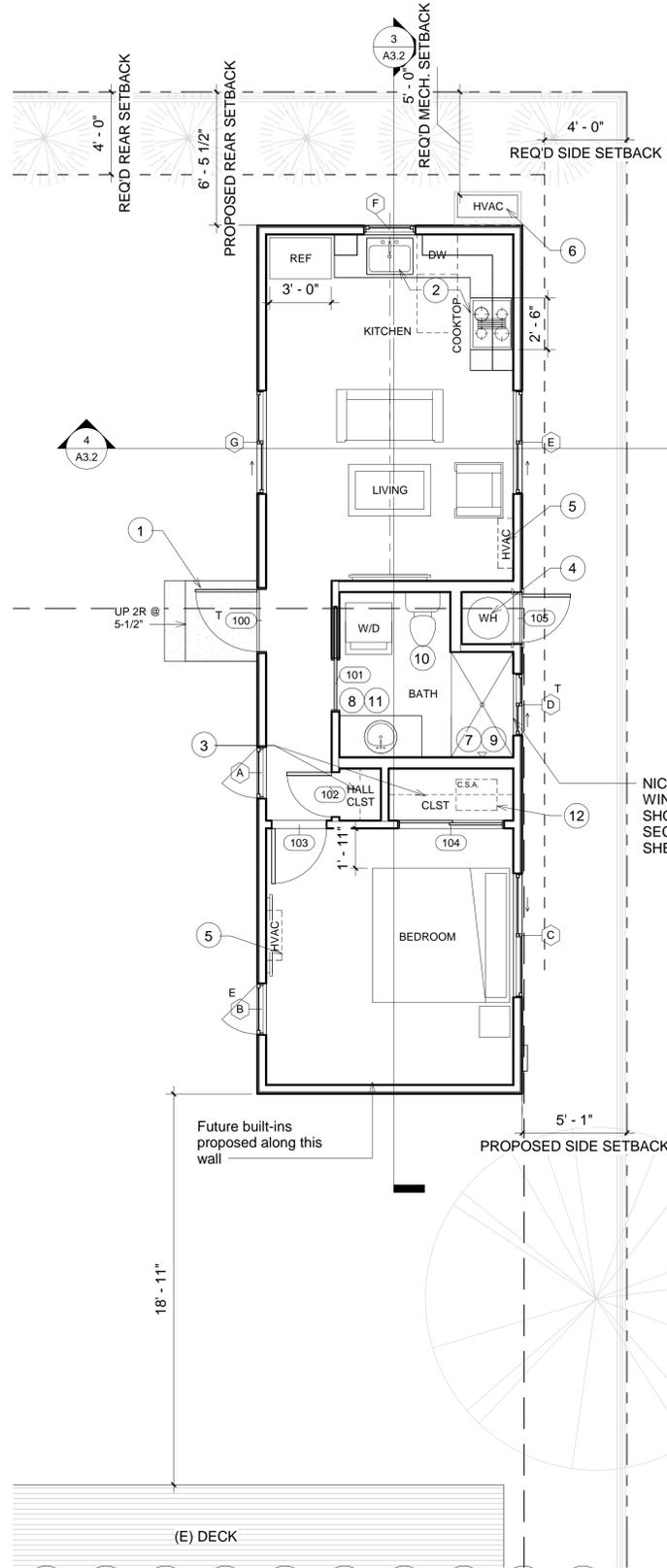
Building Setback Certification (BSC) is required by a Licensed Land Surveyor DEV Record No. DEV23-1770

Surveyor shall complete the County of Santa Clara Building Location Certification Form Prior to requesting a foundation inspection.

BSC required for the adu structure.

BSC required for the following property lines:
 North East Other: rear and eas
 South West

Zoning Required Setback: 4' Planning-Approved Setback: 6'5" and 1'



NOTES:

NEW SECTION R327.1.1 AGING IN PLACE REQUIREMENTS CALL FOR SOLID BLOCKING TO BE PROVIDED IN BATHROOM WALLS FOR FUTURE ADDITION OF GRAB BARS IN AT LEAST ONE BATHROOM ON THE ENTRY LEVEL

ELECTRICAL RECEPTACLE OUTLETS, SWITCHES, AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION, AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS SHALL BE LOCATED NOT MORE THAN 48 INCHES MEASURED TO THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES MEASURED TO THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR PER SECTION R327.1.2 AGING IN PLACE REQUIREMENTS.

FLOOR PLAN NOTES:

A. OUTSIDE LANDING MUST BE NO MORE THAN 1.5" BELOW THE TOP OF THRESHOLDS @OUT-SWINGING EXTERIOR EGRESS DOORS, AND NO MORE THAN 7.75" BELOW THE TOP OF THRESHOLDS @IN-SWINGING EXTERIOR EGRESS DOORS PER CRC 311.3.1. DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH A LANDING NO MORE THAN 7.75" BELOW THE TOP OF THRESHOLD PER CRC 311.3.2.

B. EMERGENCY ESCAPE/EGRESS OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SF, A NET CLEAR HEIGHT OF NOT LESS THAN 24" & A NET CLEAR WIDTH NOT LESS THAN 20". THE SILL HEIGHT SHALL NOT EXCEED 44" MEASURED FROM THE FLOOR. NOT LESS THAN ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE DOOR SHALL BE SIDE-HINGED.

C. SEE DOOR & WINDOW SCHEDULE & PROPOSED ELEVATIONS FOR ADDITIONAL INFORMATION.

D. MINIMUM CLASS 'C' ROOFING 0/ 30# FELT. FASTENERS FOR THE ROOFING SHALL BE CORROSION RESISTANT.

E. ADHESIVES, SEALANTS, CAULKS, PAINTS, & COATINGS SHALL COMPLY WITH THE VOC LIMITS. [CALGREEN 4.504.2.1 & 4.504.2.2.

F. ALL DIMENSIONS SHOWN ARE TAKEN AT FACE OF STUD OR CENTERLINE OF WINDOWS & DOORS UNLESS OTHERWISE NOTED.

KEYNOTES:

1. (N) LANDING--MIN. 3' DEEP x WIDTH OF DOOR--MAX. 7-3/4" RISER HEIGHT TO TOP OF THE DOOR THRESHOLD OR DOOR TRACK TO THE EXTERIOR LANDING IN ORDER TO VERIFY COMPLIANCE WITH CRC R311.3.1 OR R311.3.2.

2. VERIFY NEW KITCHEN CABINETRY, COUNTERTOPS, APPLIANCES & FINISH SELECTIONS w/ OWNER & DESIGNER PRIOR TO ORDER. ALL NEW APPLIANCES TO BE ELECTRIC.

3. PROVIDE CLOSET POLES, CABINETRY & BUILT-INS AS SHOWN. VERIFY SELECTION w/ OWNER.

4. NEW ELECTRIC WATER HEATER & RECIRCULATION PUMP -- NEEA RATED HEAT PUMP WATER HEATER. RHEEM PERFORMANCE PLATINUM 40 GAL 10-YEAR HYBRID HIGH EFFICIENCY SMART TANK ELECTRIC WATER HEATER OR EQUIVALENT. PROVIDE SEISMIC RESTRAINTS PER CMC303.4.

5. NEW DUCTLESS MINI-SPLIT WALL MOUNTED UNIT (SHOWN DASHED); DAIKIN MULTI-ZONE MINI-SPLIT HEAT PUMP.

6. NEW EXTERIOR MINI-SPLIT CONDENSER UNIT FAN ON 3" CONCRETE PAD.

7. SHOWER FLOORS & WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE & SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6' ABOVE THE FLOOR PER R307.2.

8. VERIFY NEW CABINETRY, COUNTERTOPS, FIXTURES & FINISH SELECTIONS @ BATH w/ OWNER & DESIGNER PRIOR TO ORDER.

9. NEW OR RECONFIGURED SHOWER STALLS SHALL BE A MINIMUM FINISHED INTERIOR OF 1,024 SQUARE INCHES, BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER CIRCLE. ANY DOORS SHALL SWING OUT OF THE ENCLOSURE HAVE A CLEAR OPENING OF 22 INCHES MINIMUM. (CPC 408.5, 408.6).

10. THE WATER CLOSET SHALL HAVE A CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT. (CPC 402.5)

11. CURRENT WATER EFFICIENCY STANDARDS FOR VARIOUS PLUMBING FIXTURES:

- WATER CLOSET: 1.28 GALLONS/FLUSH
- SHOWERHEAD: 1.8 GALLONS/MINUTE AT 80 PSI
- FAUCET-BATH: 1.2 GALLONS/MINUTE AT 60 PSI

12. (N) MIN. 18" X 24" CRAWLSPACE ACCESS.

13. ATTIC ACCESS NOT REQUIRED FOR ATTIC SPACES LESS THAN 30" TALL (PER SECTION R807)

**COUNTY OF SANTA CLARA
 BUILDING INSPECTION OFFICE
 PLANS APPROVED FOR PERMIT**

RECORD NO.: DEV23-1770

BY: B.Ghorbani Date: 10/06/2023

HARD COPY OF THESE STAMPED PLANS MUST BE ON THE SITE FOR INSPECTIONS

FLOOR PLAN KEYNOTE

(N) WALL: EXTERIOR: 2x4 STUDS @16" O.C.; INTERIOR 2x4 STUDS @16" O.C-- SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 2 LAYERS OF BUILDING PAPER (FOR STUCCO ONLY)/1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2-- INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD

DOOR KEY-- SEE A6.1 FOR MORE INFORMATION

WINDOW KEY-- SEE A6.1 FOR MORE INFORMATION

FLOOR PLAN LEGEND

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Job Title/Address:

Revision :

Building Submittal	June 09, 2023
Building Rev 1	Sept. 13, 2023

Contents :

PROPOSED FIRST FLOOR PLAN, DIM PLAN, & AREA CALCS

Date :

03.10.2023

Drawn by :

NP

Scale :

AS SHOWN

Sheet No :

A2.1

ROOF PLAN NOTES:

1. ASPHALT COMP. SHINGLES OVER 30# FELT OVER PLYWOOD SHEATHING OVER 2X RAFTERS PER STRUCTURAL. VERIFY FINAL SELECTIONS W/ OWNER PRIOR TO PLACING ORDER. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
2. PLUMBING VENTS TO BE MIN. 10' AWAY FROM, OR AT LEAST 3' ABOVE ANY OPERABLE WINDOW OR SKYLIGHTS PER CPC 906.2.
3. ROUTE PLUMBING VENTS WITHIN ATTIC SPACE SO THAT ROOF PENETRATIONS ARE BEHIND MAIN ROOF RIDGE & ARE NOT VISIBLE FROM THE STREET.
4. PROVIDE (N) GUTTERS & DOWNSPOUTS AT LOCATIONS SHOWN.
5. PROVIDE INSULATION VALUES PER TITLE 24 REPORT.
6. IF ROOF PROJECTION <5' FROM PROPERTY LINE, PROVIDE 1-HOUR FIRE RATING ON UNDERSIDE UNLESS:
 - A. THE FIRE-RESISTANCE RATING SHALL BE PERMITTED TO BE REDUCED 0 HOURS ON THE UNDERSIDE OF THE EAVE OVERHANG IF FIREBLOCKING IS PROVIDED FROM THE WALL TOP PLATE TO THE UNDERSIDE OF THE ROOF SHEATHING.
 - B. THE FIRE-RESISTANCE RATING SHALL BE PERMITTED TO BE REDUCED TO 0 HOURS ON THE UNDERSIDE OF THE RAKE OVERHANG WHERE GABLE VENT OPENINGS ARE NOT INSTALLED.

NOTE: NO ATTIC ACCESS REQUIRED; ATTIC LESS THAN 30" IN HEIGHT (PER SECTION R807)

ROOF PLAN NOTES

ASPHALT/COMP SHINGLE ROOFING

2X RAFTERS PER STRUCTURAL. SEE TITLE 24 REPORT FOR REQUIRED INSULATION VALUE @ FLAT CEILING (BATT, SHOWN SHADED)

2X CEILING JOISTS PER STRUCTURAL. SEE PROPOSED ROOF PLAN FOR ATTIC VENT CALCS.

1/2" OSB SHEATHING w/ RADIANT BARRIER

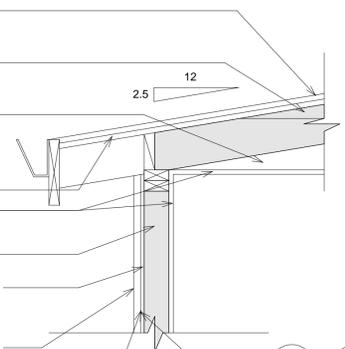
5/8" GYPSUM BOARD TYPE 'X'

SEE TITLE 24 REPORT FOR REQUIRED INSULATION VALUE @ EXTERIOR WALL (BATT, SHOWN SHADED)

PLYWOOD SHEATHING PER STRUCTURAL

PAINTED STUCCO, 7/8" WITH INTERIOR SURFACE TREATMENT, OVER TWO LAYERS GRADE 'D' BUILDING PAPER RAN INDEPENDENTLY WITH FLASHING IN BETWEEN PER R703.2.

ONE LAYER OF NO. 15 ASPHALT FELT, FREE FROM HOLES & BREAKS, COMPLYING WITH ASTM D226 FOR TYPE 1 FELT OR OTHER APPROVED WATER-RESISTIVE BARRIER SHALL BE APPLIED OVER STUDS OR SHEATHING OF ALL EXTERIOR WALLS. NO. 15 ASPHALT FELT SHALL BE APPLIED HORIZONTALLY, W/ THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2" WHERE JOINTS OCCUR. FELT SHALL BE LAPPED NOT LESS THAN 6". OTHER APPROVED MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE WATER-RESISTIVE BARRIER MATERIALS SHALL BE CONTINUOUS TO THE TOP OF WALLS & TERMINATED AT PENETRATIONS @ BUILDING APPENDAGES IN A MANNER TO MEET THE REQS. OF THE EXTERIOR WALL ENVELOPE PER SECTION R703.1.



IN ADDITION TO COMPLYING WITH SECTION R703.7.3.1, A SPACE OR DRAINAGE MATERIAL NOT LESS THAN 3/16 INCH (5 MM) IN DEPTH SHALL BE ADDED TO THE EXTERIOR SIDE OF THE WATER-RESISTIVE BARRIER (AS REQUIRED FOR STUCCO WALLS IN MARINE CLIMATE ZONES PER CRC R703.7.3.2.)

Proposed Typical Eave Detail

1"=1'-0" 3

ASPHALT/COMP SHINGLE ROOFING

2X RAFTERS PER STRUCTURAL. SEE TITLE 24 REPORT FOR REQUIRED INSULATION VALUE @ FLAT CEILING (BATT, SHOWN SHADED)

2X CEILING JOISTS PER STRUCTURAL. SEE PROPOSED ROOF PLAN FOR ATTIC VENT CALCS.

PROVIDE FIRE BLOCKING FROM THE WALL TOP PLATE TO THE UNDERSIDE OF THE ROOF SHEATHING. NO GABLE VENT OPENINGS TO BE INSTALLED. (FIRE PROTECTION @ UNDERSIDE NOT REQUIRED PER EXCEPTION)

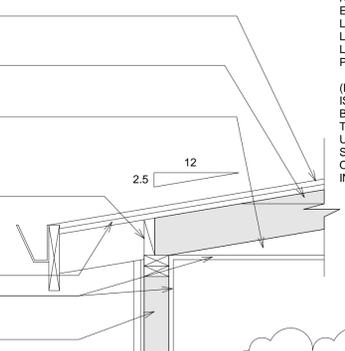
1/2" OSB SHEATHING w/ RADIANT BARRIER

5/8" GYPSUM BOARD TYPE 'X'

SEE TITLE 24 REPORT FOR REQUIRED INSULATION VALUE @ EXTERIOR WALL (BATT, SHOWN SHADED)

PLYWOOD SHEATHING PER STRUCTURAL

PAINTED STUCCO, 7/8" WITH INTERIOR SURFACE TREATMENT, OVER TWO LAYERS GRADE 'D' BUILDING PAPER RAN INDEPENDENTLY WITH FLASHING IN BETWEEN PER R703.2.



NOTE: 1-HOUR FIRE RATING FOR EXTERIOR WALLS LOCATED LESS THAN 5' FROM PROPERTY LINE & FOR EAVE PROJECTIONS LOCATED BETWEEN 2' - 5' FROM PROPERTY LINE.

(EXCEPTION: FIRE PROTECTION IS NOT REQUIRED IF FIRE BLOCKING IS PROVIDED FROM THE WALL TOP PLATE TO THE UNDERSIDE OF THE ROOF SHEATHING & GABLE VENT OPENINGS ARE NOT INSTALLED.)

IN ADDITION TO COMPLYING WITH SECTION R703.7.3.1, A SPACE OR DRAINAGE MATERIAL NOT LESS THAN 3/16 INCH (5 MM) IN DEPTH SHALL BE ADDED TO THE EXTERIOR SIDE OF THE WATER-RESISTIVE BARRIER (AS REQUIRED FOR STUCCO WALLS IN MARINE CLIMATE ZONES PER CRC R703.7.3.2.)

Proposed Fire Rated Eave Detail

1"=1'-0" 2

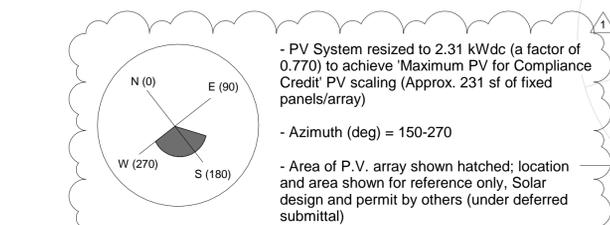
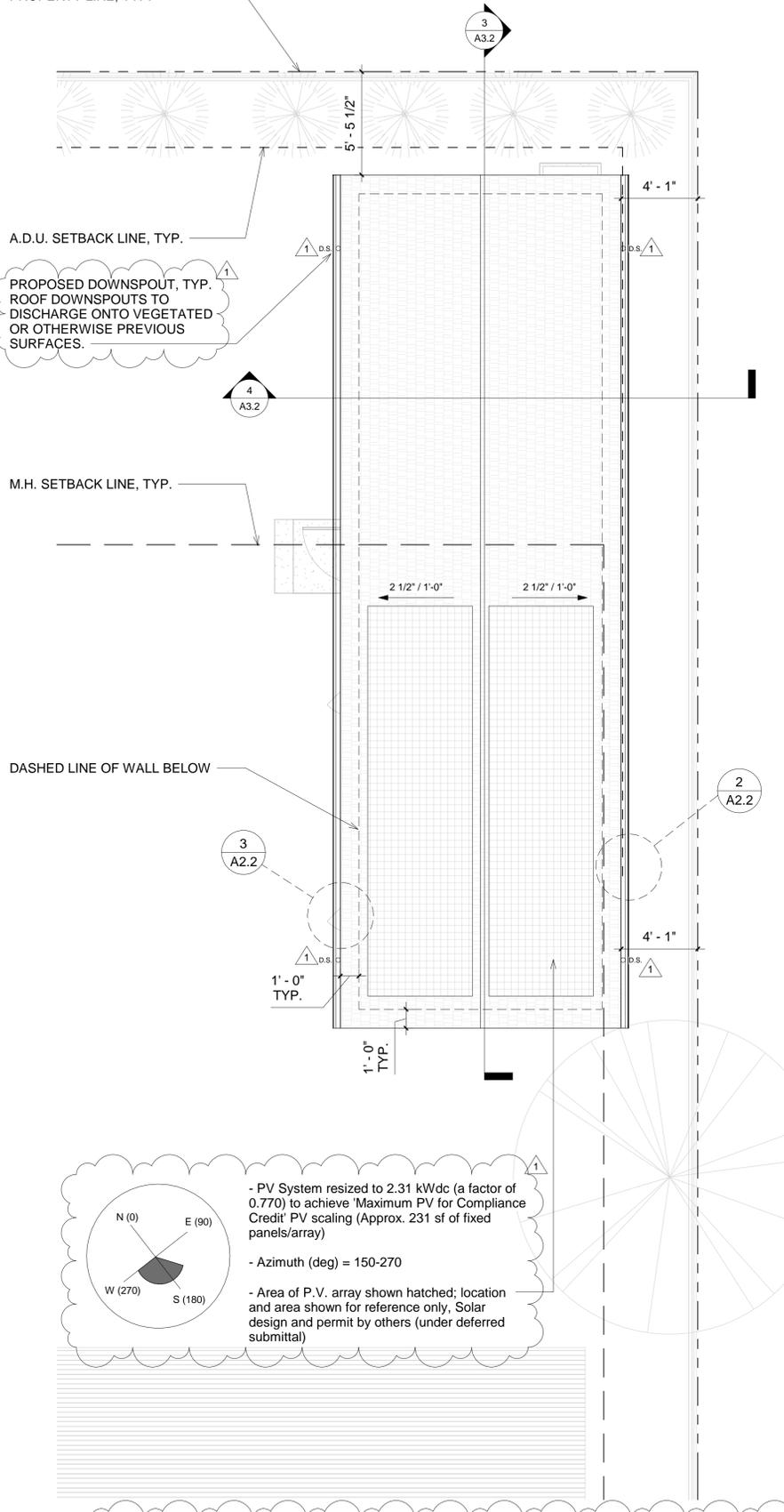
PROPERTY LINE, TYP.

A.D.U. SETBACK LINE, TYP.

M.H. SETBACK LINE, TYP.

DASHED LINE OF WALL BELOW

N



REQUIRED PV SYSTEMS											
01	02	03	04	05	06	07	08	09	10	11	12
DC System Size (kWdc)	Exception	Module Type	Array Type	Power Electronics	CFI	Azimuth (deg)	Tilt Input	Array Angle (deg)	Tilt: (in 12)	Inverter Eff. (%)	Annual Solar Access (%)
2.31	NA	Standard (16-17%)	Fixed	none	true	150-270	n/a	n/a	<=7.12	96	98

Proposed Roof Plan

1/4"=1'-0" 1

VENTILATION CALCULATIONS:

1. CRAWLSPACE VENT. CALCS:

NEW CRAWLSPACE AREA: 542.2 SF

REQ'D VENT AREA = 542.2 SF / 150 = 3.6 SF x 144 = 518.4 SQ. IN.
USE 6"x14" VENTS w/ SCREENING PER SECTION CBC 1202.4.1. = 84 SQ. IN. PER VENT
518.4 SQ. IN. / 84 SQ. IN. = 6.17 = 7 VENTS

NOTES: VENTS ARE NOT TO BE LOCATED IN SHEAR WALLS OR SIMPSON STRONG WALLS; OPENINGS FOR CRAWL SPACE VENTS SHALL BE LOCATED CLOSE TO CORNERS WHEN POSSIBLE TO PROVIDE CROSS VENTILATION.

2. ATTIC VENT. CALCS:

NEW ATTIC AREA: 542.2 SF

REQ'D VENT AREA = 542.2 SF / 300 = 1.8 SF x 144 = 259.2 SQ. IN.
REQ'D HIGH VENT AREA = 259.2 SQ. IN. / 2 = 129.6 SQ. IN.
REQ'D LOW VENT AREA = 259.2 SQ. IN. / 2 = 129.6 SQ. IN.

UPPER ROOF VENTILATION:

USE COR-A-VENT RIDGE VENT V-300 OR EQUIVALENT: 13.5 SQ. IN. PER LINEAR FT.

TOTAL VENT AREA = 10 FT. x 13.5 SQ. IN.
= 135 SQ. IN. > 129.6 SQ. IN.

LOWER ROOF VENTILATION:

USE COR-A-VENT CONTINUOUS IN-VENT OR EQUIVALENT: 6.75 SQ. IN. PER LINEAR FT.

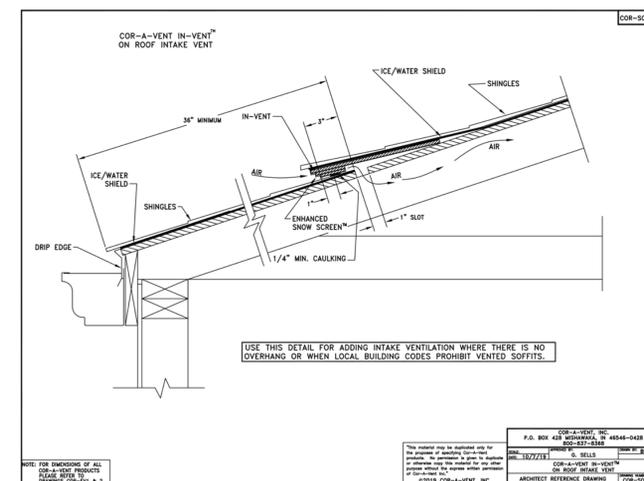
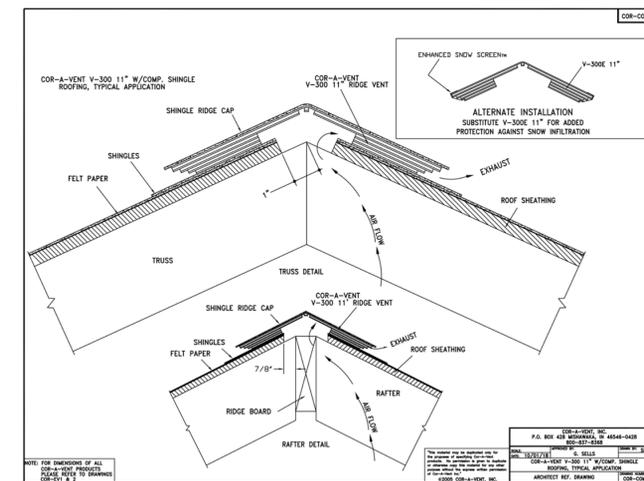
TOTAL VENT AREA = 20 FT. x 6.75 SQ. IN.
= 135 SQ. IN. > 129.6 SQ. IN.

**COUNTY OF SANTA CLARA
BUILDING INSPECTION OFFICE
PLANS APPROVED FOR PERMIT**

RECORD NO.: DEV23-1770

BY: B.Ghorbani Date: 10/06/2023

HARD COPY OF THESE STAMPED PLANS
MUST BE ON THE SITE FOR INSPECTIONS



VENTILATION CALCS & DETAILS

natalie paolercio

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Santa Clara CA 95054
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F: 408.695.7652
www.valleyhomebuilders.com



Job Title/Address:



Revision :

Building Submittal	June 09, 2023
Building Rev 1	Sept. 13, 2023

Contents :

PROPOSED ROOF PLAN

Date :

03.10.2023

Drawn by :

NP

Scale :

AS SHOWN

Sheet No :

A2.2

GENERAL NOTES:

1. BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION THAT IS LEGIBLE & VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND (ARABIC NUMBERS OR ALPHABETICAL LETTERS), NOT LESS THAN 4" IN HEIGHT WITH A STROKE NOT LESS THAN .5".
2. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR, W/ A WIDTH NOT LESS THAN THE DOOR SERVED & A DIMENSION OF NOT LESS THAN 36" MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 2%.
3. LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 1 1/2" LOWER THAN THE TOP OF THE THRESHOLD OR 7-3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7 3/4 INCHES BELOW THE TOP OF THE THRESHOLD.
4. EMERGENCY ESCAPE/EGRESS OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SF, A NET CLEAR HEIGHT OF NOT LESS THAN 24" & A NET CLEAR WIDTH NOT LESS THAN 20". THE SILL HEIGHT SHALL NOT EXCEED 44" MEASURED FROM THE FLOOR.
5. NOT LESS THAN ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE DOOR SHALL BE SIDE-HINGED.
6. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5-PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.

COMPOSITE ASPHALT SHINGLE ROOFING, CERTAINTED LANDMARK PRO SHINGLES OR EQUIVALENT; BLACK OR DARK GRAY, VERIFY SELECTION w/ OWNERS.

MILGARD TRINSIC VINYL FRAME DUAL PANE EXTERIOR DOORS & WINDOWS (NO TRIM); ALSO SEE SHEET A6.1 FOR DOOR & WINDOW SCHEDULE. (WHITE EXT. & EXT. FRAMES)

EXTERIOR WALLS TO BE PAINTED STUCCO

NEW ELECTRIC DUCTLESS MINI-SPLIT CONDENSER UNIT; PROVIDE MIN. 3" CONCRETE PAD.

Ridge Height
11' - 2 3/4"

1st Flr Plate Height
9' - 0 5/8"

Finish Floor
1' - 0"

(E) Grade
0' - 0"

48 16 32 48
feet

Proposed Front Elevation 1/4"=1'-0" 2

NOTE: SEE A0.2.1 FOR GENERAL NOTES

PLAN MUST BE POSTED ON JOB FOR FINAL APPROVAL

NO ENCROACHMENT WITHIN ANY EASEMENT OR RIGHT-OF-WAY IS APPROVED

THIS APPROVAL DOES NOT LEGALIZE ANY UNPERMITTED STRUCTURES THAT EXIST ON THE PROPERTY AND ARE NOT PART OF THE PROPOSED PROJECT SCOPE.

County of Santa Clara - Planning Division

APPROVED AS SUBMITTED

RECORD # DEV23-1770

THIS PROJECT IS APPROVED TO SUBMIT FOR DEVELOPMENT PLAN REVIEW. IT IS UNLAWFUL TO MAKE ANY CHANGES OR ALTERATIONS TO THESE PLANS WITHOUT THE WRITTEN APPROVAL FROM THE PLANNING DIVISION.

- LAND USE ENTITLEMENT
- APPROVED FOR ISSUANCE OF GRADING PERMIT ONLY
- APPROVED FOR ISSUANCE OF BUILDING PERMIT ONLY

PLANNER DATE
joanna.wilk 10/9/2023

front: 25 feet, side & rear: 4 feet

NOTES

Building Setback Certification (BSC) is Required by a Licensed Land Surveyor
DEV Record No. DEV23-1770

Surveyor shall complete the County of Santa Clara Building Location Certification Form Prior to requesting a foundation inspection.

BSC required for the adu structure.

BSC required for the following property lines:

North East Other: rear setback

South West

Zoning Required Setback: 4 Planning-Approved Setback: 6'5" and 1'

Notes

COUNTY OF SANTA CLARA
BUILDING INSPECTION OFFICE
PLANS APPROVED FOR PERMIT

RECORD NO.: DEV23-1770

BY: B.Ghorbani Date: 10/06/2023

HARD COPY OF THESE STAMPED PLANS MUST BE ON THE SITE FOR INSPECTIONS

PROVIDE LOUVERED DOOR @ WATER HEATER CLOSET (SEE SPEC ON SHEET A5.1)

48 16 32 48
feet

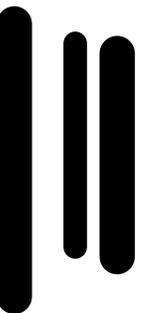
Proposed Rear Elevation 1/4"=1'-0" 1

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Job Title/Address:



Revision :

Building Submittal June 09, 2023

Building Rev 1 1 Sept. 13, 2023

Contents :

PROPOSED FRONT & REAR ELEVATIONS

Date :

03.10.2023

Drawn by :

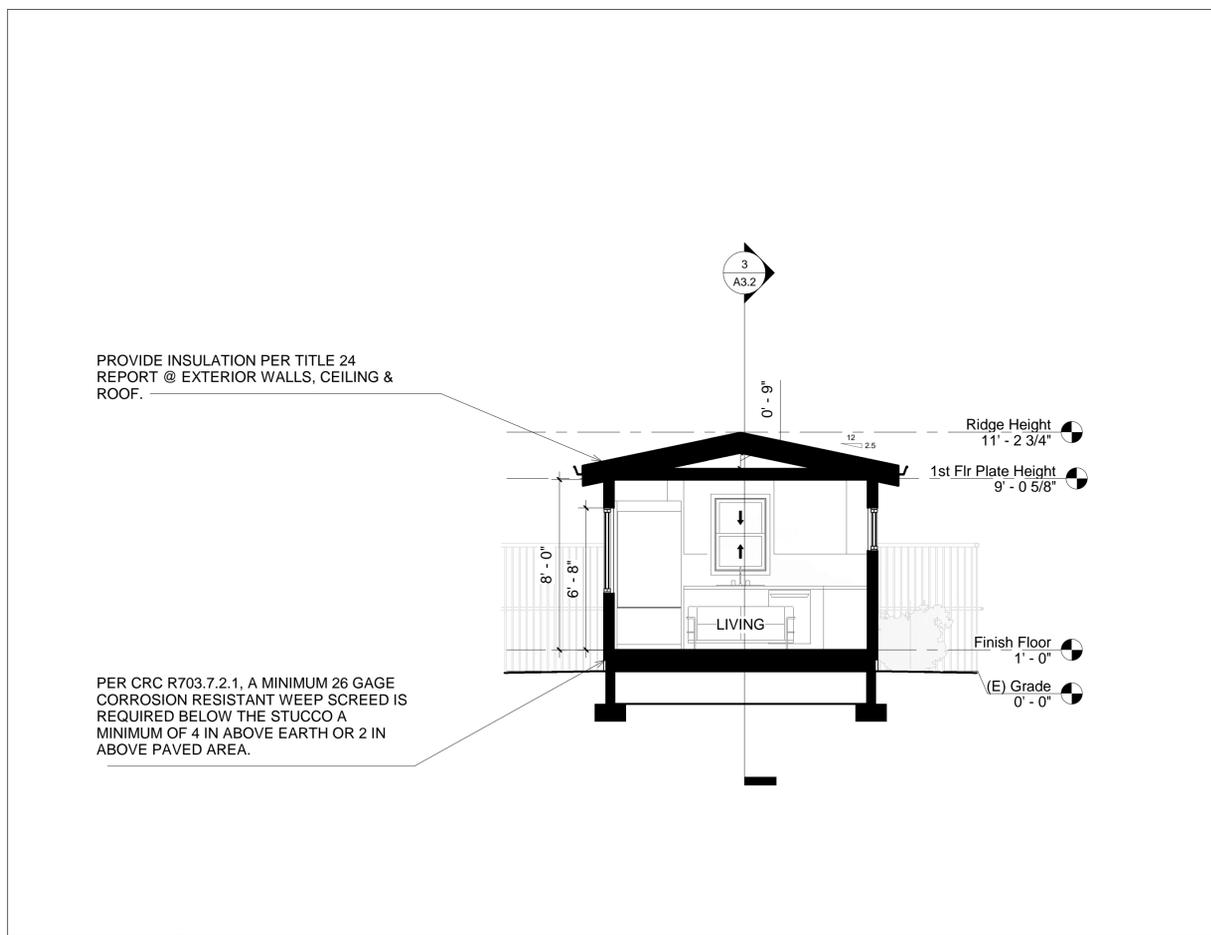
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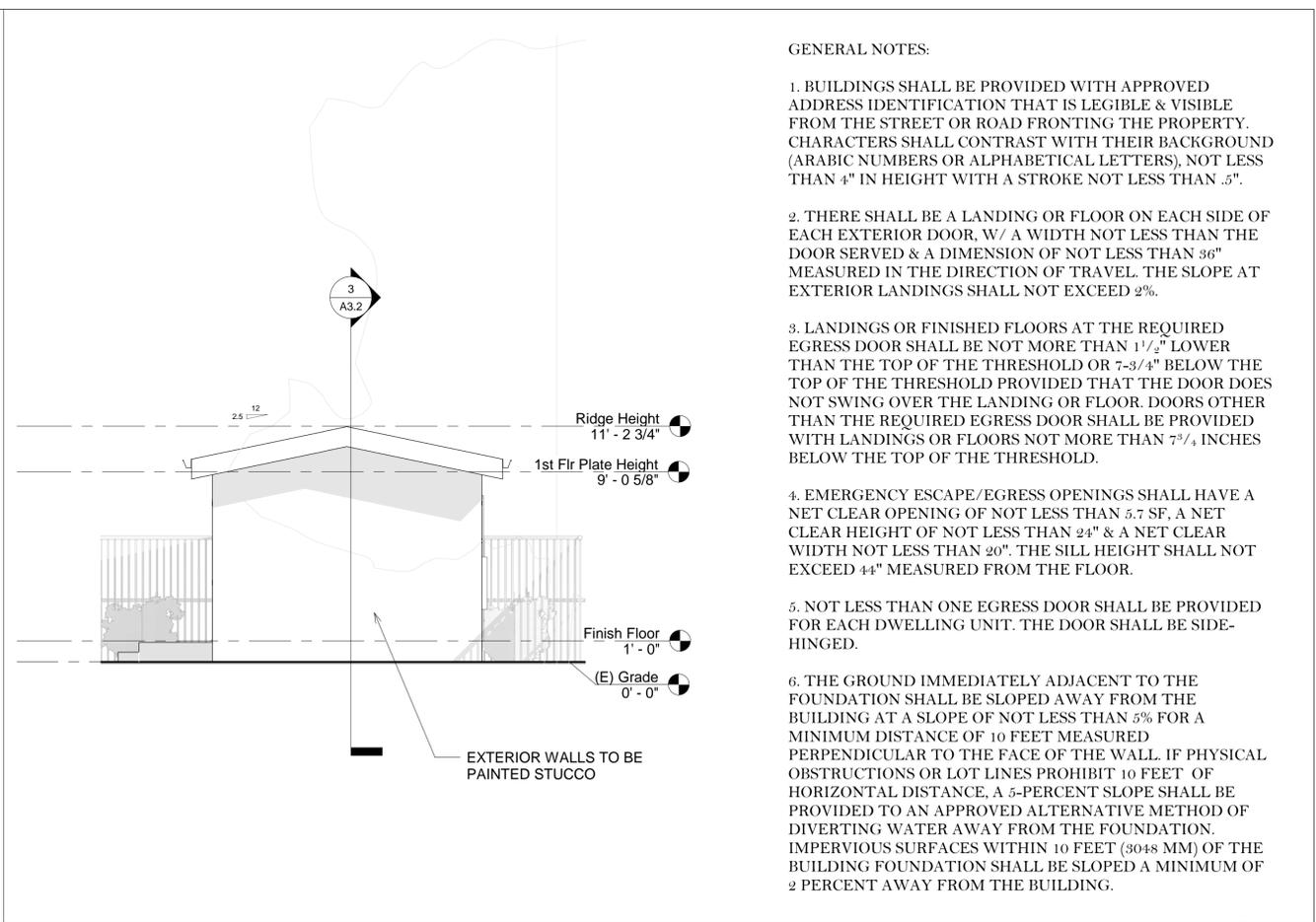
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Sheet No :

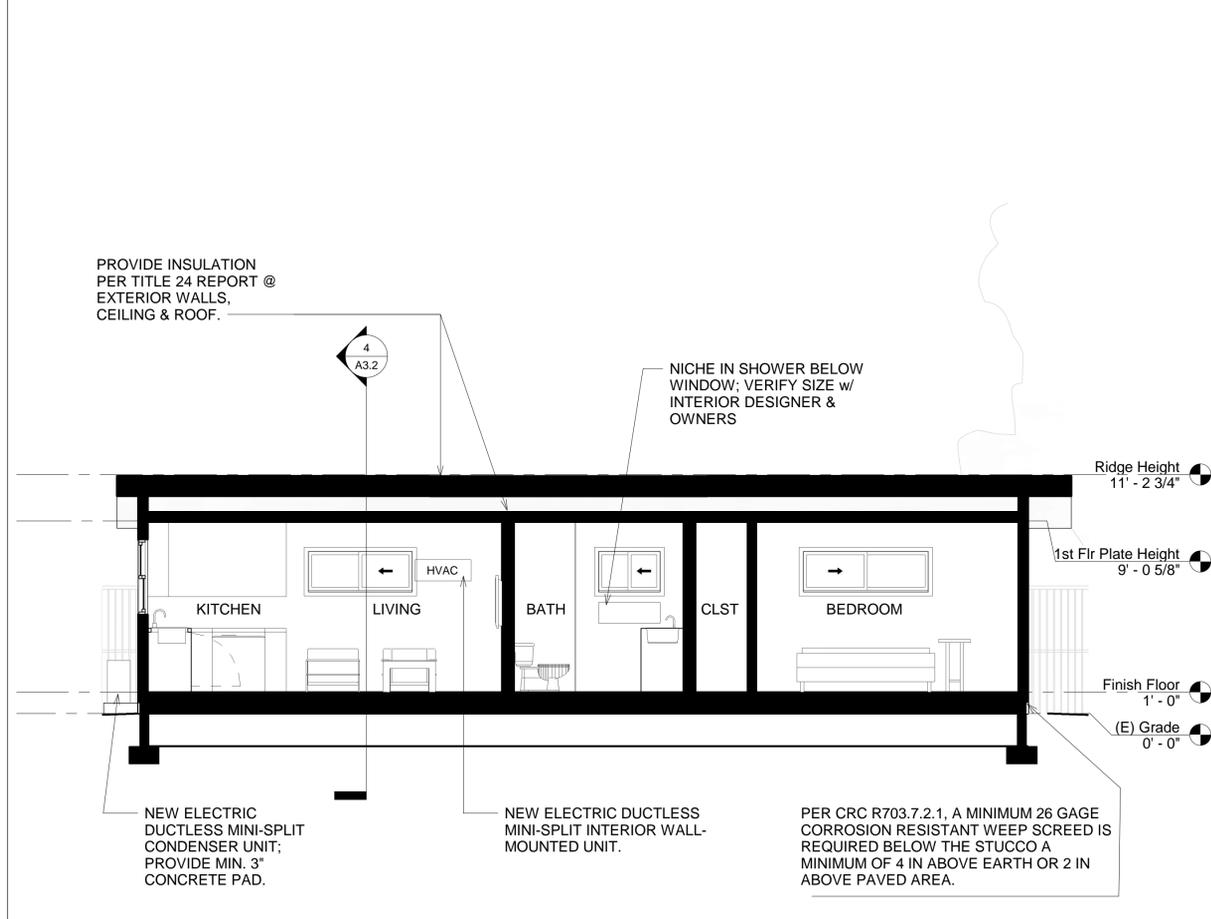
A3.1



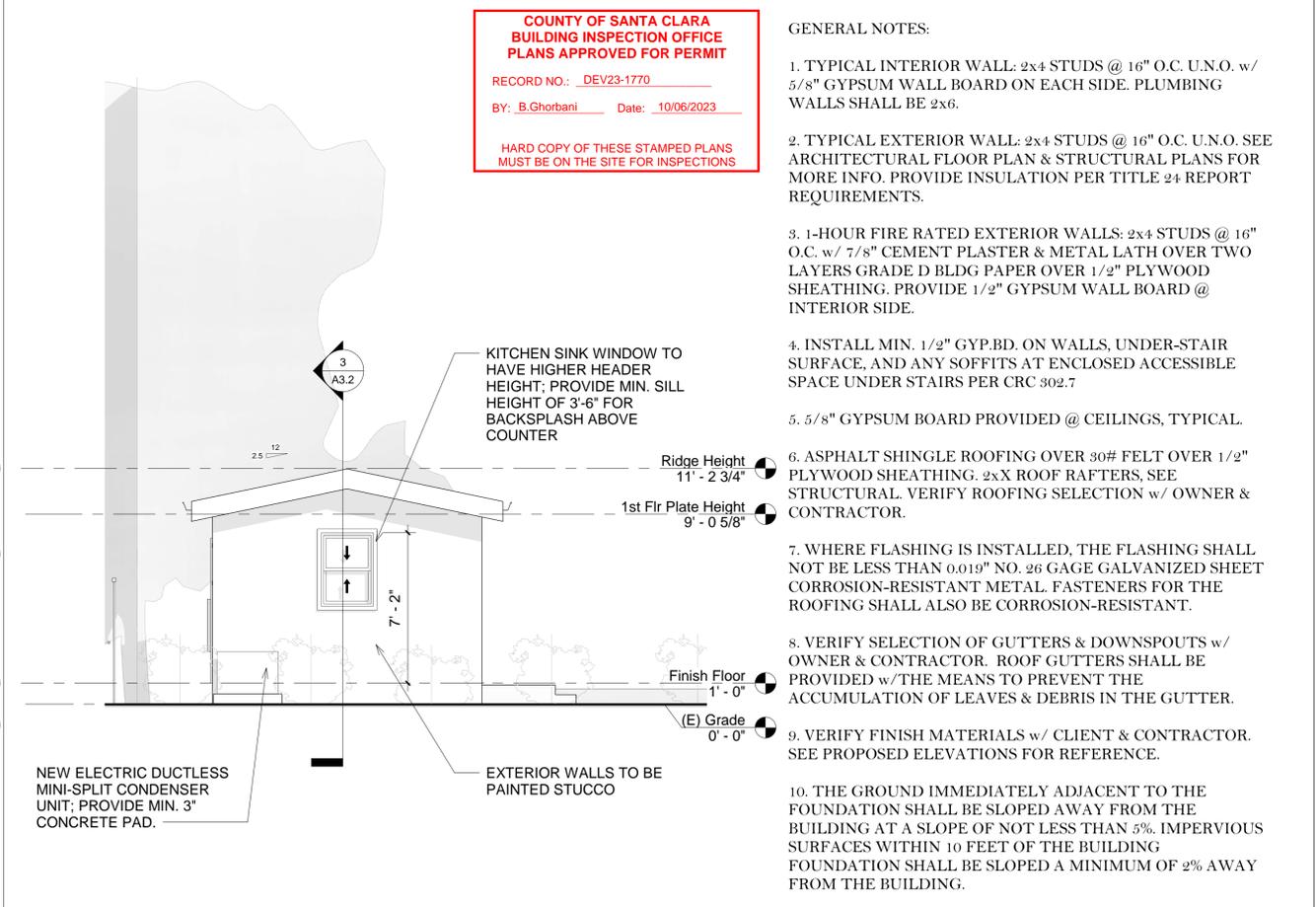
Proposed Section 1/4"=1'-0" **4**



Proposed Right Side Elevation 1/4"=1'-0" **2**



Proposed Section 1/4"=1'-0" **3**



Proposed Left Side Elevation 1/4"=1'-0" **1**

GENERAL NOTES:

1. BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION THAT IS LEGIBLE & VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND (ARABIC NUMBERS OR ALPHABETICAL LETTERS), NOT LESS THAN 4" IN HEIGHT WITH A STROKE NOT LESS THAN .5".
2. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR, W/ A WIDTH NOT LESS THAN THE DOOR SERVED & A DIMENSION OF NOT LESS THAN 36" MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 2%.
3. LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 1 1/2" LOWER THAN THE TOP OF THE THRESHOLD OR 7-3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7 3/4" INCHES BELOW THE TOP OF THE THRESHOLD.
4. EMERGENCY ESCAPE/EGRESS OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SF, A NET CLEAR HEIGHT OF NOT LESS THAN 24" & A NET CLEAR WIDTH NOT LESS THAN 20". THE SILL HEIGHT SHALL NOT EXCEED 4" MEASURED FROM THE FLOOR.
5. NOT LESS THAN ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE DOOR SHALL BE SIDE-HINGED.
6. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5-PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.

GENERAL NOTES:

1. TYPICAL INTERIOR WALL: 2x4 STUDS @ 16" O.C. U.N.O. w/ 5/8" GYPSUM WALL BOARD ON EACH SIDE. PLUMBING WALLS SHALL BE 2x6.
2. TYPICAL EXTERIOR WALL: 2x4 STUDS @ 16" O.C. U.N.O. SEE ARCHITECTURAL FLOOR PLAN & STRUCTURAL PLANS FOR MORE INFO. PROVIDE INSULATION PER TITLE 24 REQUIREMENTS.
3. 1-HOUR FIRE RATED EXTERIOR WALLS: 2x4 STUDS @ 16" O.C. w/ 7/8" CEMENT PLASTER & METAL LATH OVER TWO LAYERS GRADE D BLDG PAPER OVER 1/2" PLYWOOD SHEATHING. PROVIDE 1/2" GYPSUM WALL BOARD @ INTERIOR SIDE.
4. INSTALL MIN. 1/2" GYP.BD. ON WALLS, UNDER-STAIR SURFACE, AND ANY SOFFITS AT ENCLOSED ACCESSIBLE SPACE UNDER STAIRS PER CRC 302.7
5. 5/8" GYPSUM BOARD PROVIDED @ CEILINGS, TYPICAL.
6. ASPHALT SHINGLE ROOFING OVER 30# FELT OVER 1/2" PLYWOOD SHEATHING. 2xX ROOF RAFTERS, SEE STRUCTURAL. VERIFY ROOFING SELECTION w/ OWNER & CONTRACTOR.
7. WHERE FLASHING IS INSTALLED, THE FLASHING SHALL NOT BE LESS THAN 0.019" NO. 26 GAGE GALVANIZED SHEET CORROSION-RESISTANT METAL. FASTENERS FOR THE ROOFING SHALL ALSO BE CORROSION-RESISTANT.
8. VERIFY SELECTION OF GUTTERS & DOWNSPOUTS w/ OWNER & CONTRACTOR. ROOF GUTTERS SHALL BE PROVIDED w/THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES & DEBRIS IN THE GUTTER.
9. VERIFY FINISH MATERIALS w/ CLIENT & CONTRACTOR. SEE PROPOSED ELEVATIONS FOR REFERENCE.
10. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5%. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.

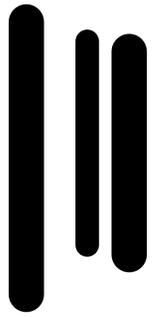
**COUNTY OF SANTA CLARA
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RECORD NO.: DEV23-1770
BY: B.Ghorbani Date: 10/06/2023
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Job Title/Address:



Revision :

Building Submittal	June 09, 2023
Building Rev 1	Sept. 13, 2023

Contents :

PROPOSED SIDE ELEVATIONS

Date :

03.10.2023

Drawn by :

NP

Scale :

AS SHOWN

Sheet No :

A3.2

Job Name: _____ Tag# _____

DAIKIN

Submittal Data Sheet CTSX07LVJU
5-Ton Wall Mounted Indoor Unit



12 YEAR PARTS LIMITED WARRANTY

Indoor Specifications

Airflow Rate (cfm)	Cooling		Heating	
	H	M	H	M
	332	261	350	290
	L	SL	L	SL
	194	145	233	219

Sound (dBA)
H / M / L / SL 38 / 32 / 25 / 22 38 / 33 / 28 / 25

Dimensions (H x W x D) (in) 11-5/8 x 31-1/2 x 8-7/16

Weight (Lbs) 20

Nominal Capacity (Btu/hr) 7,000

*See Outdoor Unit for Rated Capacities

Electrical

	Cooling	Heating
Running Current (Rated) (A)	.09 / .08*	.11 / .10*
Power Consumption (Rated) (W)	18/18*	21/21*

*208/230V

Complete warranty details available from your local dealer or at www.daikincomfort.com. To receive the 12-Year Parts Limited Warranty, online registration must be completed within 60 days of installation. Online registration is not required in California or Quebec. If product is installed in a commercial application, limited warranty period is 5 years.

Job Name: _____ Tag# _____

DAIKIN

Submittal Data Sheet 4MXL36TVJU
4 Port, 3-Ton Outdoor Heat Pump



12 YEAR PARTS LIMITED WARRANTY

Outdoor Specifications

Airflow Rate (cfm)	Cooling		Heating	
	H	M	H	M
	3,684	3,356	3,029	3,138
	M	M	M	M
	L	L	L	L
	2,756	1,500		

Sound Pressure Level (dBA) 53 / 55

Dimensions (H x W x D) (in) 34-1/4 x 43-5/16 x 18-1/8

Weight (Lbs) 214

Efficiency

	SEER	EER	HSPF	COP
Non-Ducted	21.7	12.5	11.2	4.26
Ducted	16.9	11.0	9.1	3.5
Mixed	19.3	11.75	10.15	3.88

Performance

Cooling (Btu/hr)	
Rated (Min/Max)	34,400
Operating Range	14°F - 115°F

Rated Cooling Conditions: Indoor: 80°F DB/67°F WB Outdoor: 95°F DB/75°F WB

Heating (Btu/hr)	
Rated	36,600
Operating Range	-13°F - 60°F

Rated Heating Conditions: Indoor: 70°F DB/60°F WB Outdoor: 47°F DB/43°F WB

Electrical

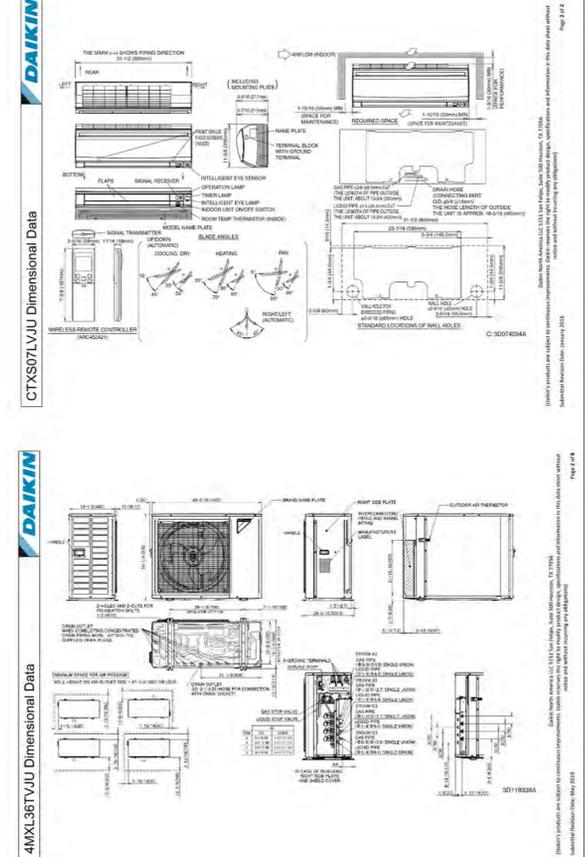
	208/60/1	230/60/1
System MCA	32.5	32.5
System MFA	35	35
Compressor RLA	27	27
Outdoor fan motor FLA	1.15	1.15
Outdoor fan motor W	84	84

MFA: Max. fuse amps; MCA: Min. circuit amps (A); FLA: Full load amps (A)
RLA: Rated load amps (A) W: Fan motor rated output (W)

Piping

	1/4
Liquid (in)	1/4
Gas (in)	3/8
Drain (in)	5/8

Complete warranty details available from your local dealer or at www.daikincomfort.com. To receive the 12-Year Parts Limited Warranty, online registration must be completed within 60 days of installation. Online registration is not required in California or Quebec. If product is installed in a commercial application, limited warranty period is 5 years.



Optional Accessories

Included	Part Number	Description
	BRP072A43	Wireless Interface Adapter (S21 Adapter Included)
	DACA-TS-1	Daikin ENVI Intelligent Thermostat Kit
	BRC944B2-A08	Wired Remote Controller Kit (Includes BRC944B2 & BRCW901A08)
	BRCW901A03	Wired Remote Controller Cable - 10 ft (For BRC944B2)
	BRCW901A08	Wired Remote Controller Cable - 25 ft (For BRC944B2)
	KRP928HB2S	Interface adaptor for DIII-NET
	DACA-CP1-1	Inline Condensate Pump (Fits inside all Daikin wall & floor mount units)
	DACA-CP4-1	External Condensate Pump
	KAF970A46	Air-purifying filter with photocatalytic deodorizing function (without frame)

Submittal Revision Date: January 2018 Page 1 of 2

Optional Accessories

Included	Part Number	Description
	BRP072A43	Wireless Interface Adapter (S21 Adapter Included)
	DACA-TS-1	Daikin ENVI Intelligent Thermostat Kit
	BRC944B2-A08	Wired Remote Controller Kit (Includes BRC944B2 & BRCW901A08)
	BRCW901A03	Wired Remote Controller Cable - 10 ft (For BRC944B2)
	BRCW901A08	Wired Remote Controller Cable - 25 ft (For BRC944B2)
	KRP928HB2S	Interface adaptor for DIII-NET
	DACA-CP1-1	Inline Condensate Pump (Fits inside all Daikin wall & floor mount units)
	DACA-CP4-1	External Condensate Pump
	KAF970A46	Air-purifying filter with photocatalytic deodorizing function (without frame)

Submittal Revision Date: May 2015 Page 1 of 8

DAIKIN ELECTRIC DUCTLESS MINI-SPLIT HEAT PUMP SYSTEM

N.T.S. 2

PERFORMANCE PLATINUM™



The new degree of comfort™

PERFORMANCE PLATINUM™ Hybrid Electric is the most efficient water heater available

Efficiency

- High 3.75 - 4.0 UEF reduces operating cost
- ENERGY STAR® rated

Performance

- Delivers hot water faster than most standard electric water heaters - 60-87 gallons first-hour delivery, depending on model
- Ambient operating range: 37-145° F is widest in class, offering more days of HP operation annually, designed to meet Northern Climate Spec. (Tier 4)

Easy Installation

- Easy access side connections
- Quick access to electrical junction box
- Easily replaces a standard electric water heater

Integration

- Electronic control for easy temperature adjustment and mode management
- Audible alarm for service alerts

Operation Modes

- Energy Saver
- Heat Pump
- High Demand
- Electric
- Vacation/Away: 2-28 days (or placed on hold indefinitely)

Plus...

- Premium grade anode rod with resistor extends the life of the tank
- 3/4" NPT water inlet and outlet; 3/4" condensate drain connectors
- Incoloy stainless steel resistor elements
- Dry-fire protection
- Easy access, top mounted washable air filter
- 2" Non-CFC foam insulation
- Enhanced flow brass drain valve
- Temperature and pressure relief valve installed
- Low lead compliant

Warranty

- 10-Year limited warranty for tank and parts, 1-year full in-home labor warranty
- See Residential Warranty Certificate for complete information



30 Amps

PERFORMANCE PLATINUM™ Hybrid
40, 50, 65 and 80-Gallon Capacities
208-240 Volt / 1 PH Electric

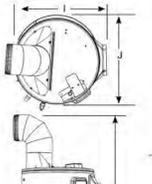
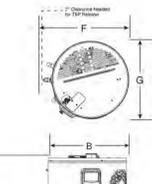
Units meet or exceed ANSI requirements and have been tested according to DOE procedures. Units meet or exceed the energy efficiency requirements of NAECA, ASHRAE standard 90, ICC Code and all state energy efficiency performance criteria.

*WiFi broadband internet connection required.

See specifications chart on back.

PERFORMANCE PLATINUM™ Hybrid Specifications

Fuel Type	Desc.	Vertical Gal. Cap.	Initial Gal. Cap.	Model Number	Electric Breaker Size	Uniform Energy Factor (UEF)	Estimated First Hour Delivery (GPD)	Element Wattage	Compressor Btu/hr	Prod. No. Rating G.P.F.	Recovery in G.P.F. 1st 1/2 Hr	Tank Height A	Dim. B	HL to Cold Inlet & Drain Valve	HL to Hot Outlet & T&P	Net Wt. (LBS)	Gross Wt. (LBS)
Electric	T40	40	36	XE80T10H45J0	30	3.75	5104	4,500	4,300	60	27	63"	20-1/4"	3-5/8"	39-5/8"	137	174
Electric	T50	50	45	XE80T10H45J0	30	3.75	5104	4,500	4,300	87	27	62"	22-1/4"	3-5/8"	39-5/8"	178	218
Electric	T65	65	59	XE80T10H45J0	30	3.65	5155	4,500	4,300	75	27	65"	24-1/4"	3-7/8"	42-3/8"	225	262
Electric	T80	80	72	XE80T10H45J0	30	4.00	5146	4,500	4,300	87	27	75"	24-1/4"	3-7/8"	42-3/8"	244	281

NOMINAL GALLON CAPACITY	MODEL NUMBER	DIMENSIONS (SHOWN IN INCHES)									
		A	B	C	D	E	F	G	H	I	J
40	XE80T10H45J0	62-5/16	20-1/4	47	3-5/8	39-5/8	23-3/8	20-1/2	79-7/8	22-3/8	23-1/4
50	XE80T10H45J0	61-3/4	22-1/4	47	3-5/8	39-5/8	25-3/8	22-1/2	78-5/8	24-3/8	25-9/16
65	XE80T10H45J0	64-3/16	24-1/4	49	3-7/8	42-3/8	27-1/2	24-5/8	81-1/8	26-1/2	27-3/8
80	XE80T10H45J0	74-9/16	24-1/4	59	3-7/8	42-3/8	27-1/2	24-5/8	91	26-1/2	27-3/8

FOR REFERENCE ONLY

In keeping with its policy of continuous progress and product improvement, Rheem reserves the right to make changes without notice.

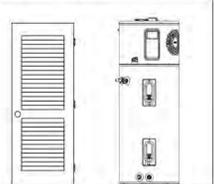
Rheem Water Heating • 1118 Northmeadow Parkway, Suite 100
Roswell, Georgia 30076 • www.rheem.com

Hybrid Water Heater Installation Guidelines to Provide Optimal Efficiency

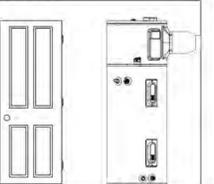
Heater: Not Ducted
Room size: Larger than 700 ft³ (e.g. 7' x 10' x 10')
Requirements: No additional ventilation needed.



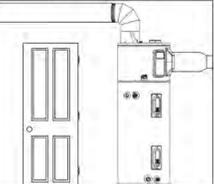
Heater: Not Ducted
Room size: Smaller than 700 ft³ (e.g. 7' x 10' x 10').
Requirements: Full louvered door OR two louvers top and bottom. See below.



Heater: Ducted with inlet OR outlet duct
Room size: Any size room
Requirements: Air gap under door equal to 18 in³ (0.75" clearance)



Heater: Ducted with inlet AND outlet duct
Room size: Any size room
Requirements: No additional ventilation needed.



1276 FORM NO. T10PFB10-30 Rev. 2

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VALLEY HOME BUILDERS

|||

Job Title/Address:

Issue Log:	
Building Submittal	June 09, 2023
Building Rev 1	Sept. 13, 2023

Contents :

ARCHITECTURAL SPECIFICATIONS

Date :
03.10.2023

Drawn by :
NP

Scale :
AS SHOWN

Sheet No :
A5.1

N.T.S. 1

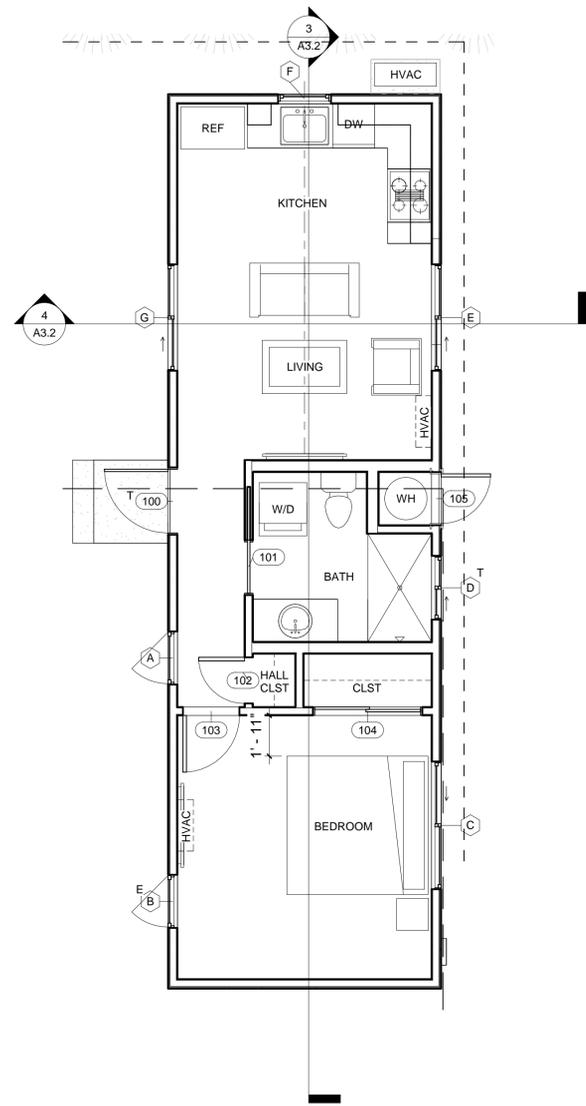
Door Schedule					
Mark	Description	Width	Height	Operation	Comments
100	Solid Core Door w/ Glass Panel	3' - 0"	6' - 8"	Lockset	Exterior, Tempered (Entry)
101	Solid Core Pocket Door	2' - 6"	6' - 8"	Privacy	Interior (Bath)
102	Solid Core Door	2' - 2"	6' - 8"	Passage	Interior (Hall Clst)
103	Solid Core Door	2' - 8"	6' - 8"	Privacy	Interior (Bedroom)
104	Sliders	5' - 0"	6' - 8"	Passage	Interior (Clst)
105	Louver Door	2' - 4"	6' - 8"	Passage	Exterior (WH Clst)

Window Schedule				
Mark	Description	Width	Height	Comments
A	Casement Window	2' - 6"	4' - 0"	Dbl pane (Hall)
B	Casement Window	2' - 6"	4' - 0"	Dbl pane (Bedroom); Egress
C	2-Panel Sliders	6' - 0"	2' - 0"	Dbl pane (Bedroom)
D	2-Panel Sliders	3' - 0"	2' - 0"	Dbl pane (Bath); Tempered
E	2-Panel Sliders	5' - 0"	2' - 0"	Dbl pane (Living)
F	Single Hung Window	2' - 6"	3' - 6"	Dbl pane (Kitchen); 7'-2" Header
G	2-Panel Sliders	5' - 0"	4' - 0"	Dbl pane (Living)



NOTE: ALL EXTERIOR DOORS & WINDOWS TO BE MILGARD TRINSIC OR EQUAL (WHITE INT & EXT FRAMES); NO TRIM PROPOSED (STUCCO EXTERIOR)

NOTE:
Per CRC R308.4, provide tempered safety glass at these glazing locations on the plans:
a. Doors and enclosure for shower.
b. Glazing in wall adjacent to shower.



GENERAL NOTES:

1. VERIFY MATERIAL SELECTION, MANUFACTURER SELECTION, LOCATION & SIZES OF WINDOWS/DOORS/SKYLIGHTS w/ DESIGNER, OWNER & CONTRACTOR PRIOR TO ORDER. DO NOT ORDER DIRECTLY OFF THIS SCHEDULE. FIELD VERIFY ROUGH OPENINGS PRIOR TO PLACING ORDER. WHEN ALL ROUGH OPENINGS ARE FRAMED, NOTIFY DESIGNER & OWNER FOR A WALK-THROUGH.

2. **TEMPERED GLAZING** (CBC 2406.4, 2403.1 AND CRC 308.1, R308.4) TEMPERED GLAZING SHALL BE INSTALLED IN THE LOCATIONS LISTED BELOW. TEMPERED GLAZING SHALL BE PERMANENTLY IDENTIFIED BY A MANUFACTURER MARKING THAT IS PERMANENTLY APPLIED AND CANNOT BE REMOVED WITHOUT BEING DESTROYED (E.G. SAND BLASTED, ACID ETCHED, CERAMIC FIRED, LASER ETCHED, OR EMBOSSED).

- WITHIN A PORTION OF WALL ENCLOSING A TUB/SHOWER WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE AND DRAIN INLET.
- WITHIN 60 INCHES OF A TUB/SHOWER WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
- GLAZING ON THE HINGE-SIDE OF AN IN-SWINGING DOOR THAT IS INSTALLED PERPENDICULAR TO A DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE DOOR.

3. ALL PANES OF GLAZING IN DOORS TO BE TEMPERED.

4. **R337.8.2.1 EXTERIOR WINDOWS, SKYLIGHTS AND EXTERIOR GLAZED DOOR ASSEMBLY REQUIREMENTS**
EXTERIOR WINDOWS, SKYLIGHTS AND EXTERIOR GLAZED DOOR ASSEMBLIES SHALL COMPLY WITH ONE OF THE FOLLOWING REQUIREMENTS:

1. BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION R308 SAFETY GLAZING, OR
2. BE CONSTRUCTED OF GLASS BLOCK UNITS, OR
3. HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257, OR
4. BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.

5. EXTERIOR DOORS SHALL COMPLY W/ ONE OF THE FOLLOWING PER CRC 327.8.3:

1. THE EXTERIOR SURFACE OR CLADDING SHALL BE OF NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL, OR
2. SHALL BE CONSTRUCTED OF SOLID CORE WOOD THAT COMPLIES W/ THE FOLLOWING:
 - A. STILES & RAILS SHALL NOT BE LESS THAN 1-3/8" THICK
 - B. RAISED PANELS SHALL NOT BE LESS THAN 1-1/4" THICK, EXCEPT FOR THE EXTERIOR PERIMETER OF THE RAISED PANELS THAT MAY TAPER TO A TONGUE NOT LESS THAN 3/8" THICK
3. SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MIN. WHEN TESTED ACCORDING TO NFPA 252.
4. SHALL BE TESTED TO MEET THE PERFORMANCE REQ. OF SFM STANDARD 12-8A-1

6. VERIFY CODE COMPLIANCE OF NOTED EGRESS WINDOWS WITH MANUF. PRIOR TO PLACING WINDOW ORDER--WINDOWS MARKED "EGRESS" TO HAVE BOTTOM OF CLEAR OPENING NO MORE THAN 44" A.F.F.; MINIMUM NET CLEAR OPENABLE DIMENSIONS - HEIGHT: 24 INCHES; WIDTH: 20 INCHES; AREA: 5.7 SQUARE FEET (5.0 SQUARE FEET AT GRADE FLOOR OPENINGS)

7. SKYLIGHT MANUF.: VELUX. SKYLIGHTS TO BE FIXED U.N.O. PROVIDE POWER PER MANUF. INSTRUCTIONS. SKYLIGHT UNITS TO BE TESTED AND LABELED IN ACCORDANCE WITH AAMA/WDMA/CSA 101/LS.2/A440 PER CRC R308.6.9

8. CURBS FOR SKYLIGHTS: UNIT SKYLIGHTS INSTALLED IN A ROOF w/ A PITCH LESS THAN 3:12 SHALL BE MOUNTED ON A CURB EXTENDING NOT LESS THAN 4" ABOVE THE PLANE OF THE ROOF, UNLESS OTHERWISE SPECIFIED IN THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

9. TESTING & LABELING: UNIT SKYLIGHTS & TUBULAR DAYLIGHTING DEVICES SHALL BE TESTED BY AN APPROVED INDEPENDENT LAB, & BEAR A LABEL IDENTIFYING THE MANUFACTURER, PERFORMANCE GRADE RATING & APPROVED INSPECTION AGENCY TO INDICATE COMPLIANCE w/ THE REQUIREMENTS OF AAMA/WDMA/CSA 101/LS.2/A440.

10. SEE TITLE-24 DOCUMENTS FOR MAXIMUM U-FACTORS AND SHGC VALUES--CONTRACTOR NOT TO WASH WINDOWS OR REMOVE LABELS PRIOR TO INSPECTION AND VERIFICATION OF VALUES

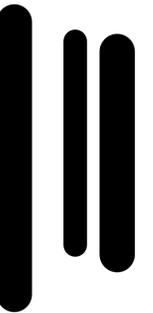
COUNTY OF SANTA CLARA
BUILDING INSPECTION OFFICE
PLANS APPROVED FOR PERMIT
 RECORD NO.: DEV23-1770
 BY: B.Ghorbani Date: 10/06/2023
 HARD COPY OF THESE STAMPED PLANS
 MUST BE ON THE SITE FOR INSPECTIONS

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Job Title/Address:



Revision :

Building Submittal	June 09, 2023
Building Rev 1	Sept. 13, 2023

Contents :

DOOR & WINDOW SCHEDULE

Date :

03.10.2023

Drawn by :

NP

Scale :

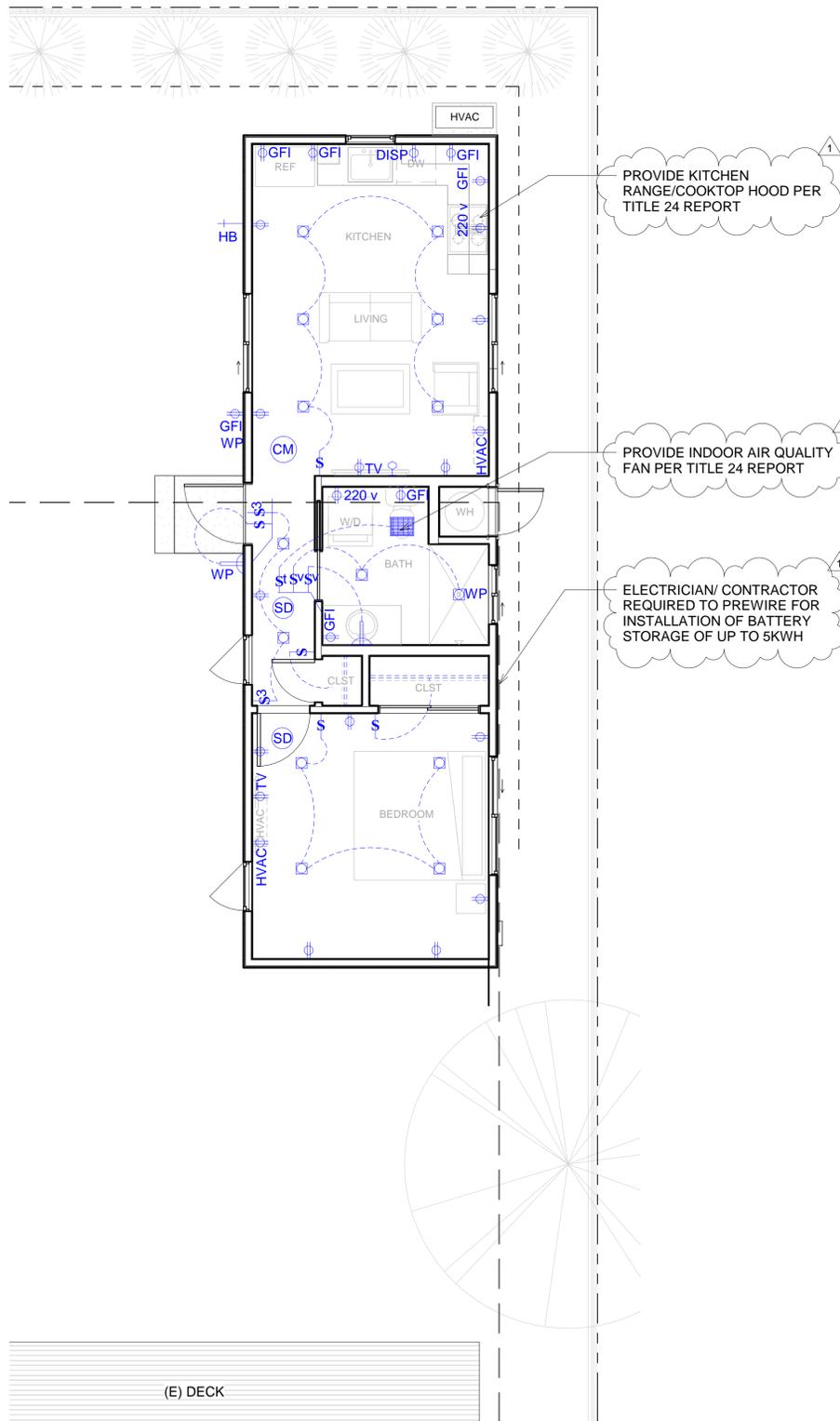
AS SHOWN

Sheet No :

A6.1

BATHROOM NOTES:

1. VERIFY NEW CABINETRY, COUNTERTOPS, FIXTURES & FINISH SELECTIONS w/ OWNER & DESIGNER PRIOR TO ORDER. VERIFY LOCATIONS.
2. NEW OR RECONFIGURED SHOWER STALLS SHALL BE A MINIMUM FINISHED INTERIOR OF 1,024 SQUARE INCHES, BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER CIRCLE. ANY DOORS SHALL SWING OUT OF THE ENCLOSURE HAVE A CLEAR OPENING OF 22 INCHES MINIMUM. (CPC 408.5, 408.6).
3. SHOWER FLOORS SHALL BE LINED WITH AN APPROVED SHOWER PAN OR AN ON-SITE BUILT WATERTIGHT APPROVED LINING (I.E. HOT MOP). ON-SITE BUILT SHOWER LININGS SHALL EXTEND A MINIMUM OF 3 INCHES VERTICALLY UP THE WALL AND SHALL BE SLOPED 1/4" PER FOOT TO WEEP HOLES. (CPC 408.7).
4. THE WATER CLOSET SHALL HAVE A CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT. (CPC 402.5)
5. WHERE THE WATER CLOSET (OR OTHER PLUMBING FIXTURE) COMES INTO CONTACT WITH THE WALL OR FLOOR, THE JOINT SHALL BE CAULKED AND SEALED TO BE WATERTIGHT. (CPC 402.2)
6. DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS, LAMINATED SAFETY GLASS OR APPROVED PLASTIC. CRC 308.4.5.
7. CURRENT WATER EFFICIENCY STANDARDS FOR VARIOUS PLUMBING FIXTURES:
 WATER CLOSET: 1.28 GALLONS/FLUSH
 SHOWERHEAD: 1.8 GALLONS/MINUTE AT 80 PSI
 FAUCET-BATH: 1.2 GALLONS/MINUTE AT 60 PSI
8. DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS, LAMINATED SAFETY GLASS OR APPROVED PLASTIC. CRC 308.4.5.
9. SHOWER AND TUB/SHOWER WALLS TO HAVE SMOOTH, HARD, NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G. CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) TO A HEIGHT OF 72" ABOVE THE DRAIN INLET. PLEASE NOTE: WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS. CRC SECTIONS R307.2 AND R702.3.8.
10. EXHAUST FANS WITH A MINIMUM VENTILATION RATE OF 50 CFM ARE REQUIRED IN ALL BATHROOMS, EVEN IF AN OPERABLE WINDOW IS INSTALLED. EXHAUST FANS AND LIGHTING SHALL HAVE SEPARATE CONTROL SWITCHES (EVEN IF A COMBINATION UNIT IS INSTALLED). THE EXHAUST FAN MAY NEED TO BE SUPPLIED BY A GFCI PROTECTED CIRCUIT BASED ON THE MANUFACTURER'S REQUIREMENTS. (CEES 150.0(K), 150.0(O)).
11. PLUMBING AND EQUIPMENT VENTING: WHERE FEASIBLE, VENT ALL PLUMBING FIXTURES & EXHAUST VENTS TO ROOF. VERIFY ALL LOCATIONS OF VENTS WITH ARCHITECT PRIOR TO INSTALLATION. ALL EXTERIOR PENETRATIONS ARE TO BE MADE WATERTIGHT.
12. ALL PLUMBING WORK SHALL BE IN COMPLIANCE WITH THE LATEST ADOPTED CPC CODES.
13. INSTALL ALL EQUIPMENT, FIXTURES, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
14. ALL RECEPTACLES SHALL BE GFCI PROTECTED AND TAMPER-RESISTANT (TR). IF ANY NEW/ADDITIONAL OUTLETS ARE INSTALLED, THE BATHROOM SHALL HAVE A DEDICATED 20-AMP CIRCUIT. (CEC 210.8, 210.11, 406.12)
15. LIGHTING FIXTURES LOCATED WITHIN 3 FEET HORIZONTALLY AND 8 FEET VERTICALLY OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD SHALL BE LISTED FOR A DAMP LOCATION, OR LISTED FOR WET LOCATIONS WHERE SUBJECT TO SHOWER SPRAY. (CEC 410.10). ALL INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICIENCY.
16. AT LEAST ONE LIGHT FIXTURE SHALL BE CONTROLLED BY A VACANCY SENSOR SWITCH THAT REQUIRES A MANUAL ON ACTIVATION (DOES NOT AUTOMATICALLY TURN ON) AND AUTOMATICALLY TURNS OFF WITHIN 30 MINUTES AFTER THE ROOM IS VACATED. ALL OTHER LIGHT FIXTURES SHALL BE CONTROLLED BY A VACANCY SENSOR OR DIMMER.



NOTE: PROVIDE POWER FOR ADDRESS NUMBER ILLUMINATION PER MANUF. INSTRUCTIONS

- CEILING FAN/LIGHT COMBO
- 3" RECESSED LED CAN DOWNLIGHT
- 3" RECESSED LED CAN DOWNLIGHT FOR SLOPED CEILING
- CEILING MOUNTED LIGHT FIXTURE
- LED UNDERCABINET OR CLOSET STRIP LIGHTING
- INDOOR OR OUTDOOR WALL SCONCE LIGHT FIXTURE
- EXHAUST FAN/LIGHT COMBO
- EXHAUST FAN TO BE CONTINUOUS 20 CFM MIN. & MUST VENT TO EXTERIOR-- FAN SHALL COMPLY WITH ASHRAE 62.2, SECTION 5 & SHALL BE ENERGY STAR COMPLIANT--FAN & LIGHT TO BE SWITCHED SEPARATELY--FAN TO BE CONTROLLED BY A HUMIDITY CONTROL CAPABLE OF ADJUSTMENT FOR RELATIVE HUMIDITY RANGE OF 50-80% PER CALGREEN 4.506.1.2. PANASONIC WHISPER GREEN SELECT-- FAN ONLY --CONTRACTOR TO INSTALL HANGING VIBRATION ISOLATOR AND BACK DRAFT DAMPER --SEE MECHANICAL PLANS FOR MORE INFO
- HARDWIRED & INTERCONNECTED SMOKE DETECTOR WITH BATTERY BACK-UP TYPICAL THROUGHOUT HOUSE AT LOCATIONS SHOWN. SMOKE DETECTORS WITHIN 20 FEET OF A KITCHEN, OR A ROOM WITH A WOOD BURNING STOVE OR FIREPLACE, SHALL BE PHOTOELECTRIC. OTHER SMOKE DETECTORS TO BE DUAL SENSOR (PHOTO/ION)--INSTALL PER MANUF. INSTRUCTIONS. SEE NOTE 23 UNDER 4/A0.1a FOR ADDITIONAL SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR REQUIREMENTS
- HARDWIRED & INTERCONNECTED SMOKE DETECTOR & CARBON MONOXIDE COMBO DETECTOR WITH BATTERY BACK-UP--INSTALL PER MANUF. INSTRUCTIONS. DETECTOR TO BE LISTED AS COMPLYING WITH UL 2034 AND UL 2075 AND INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720.
- CONTINUOUSLY OPERATING WHOLE HOUSE FAN TO MEET ASHRAE STANDARD 62.2. OPERATION AT LESS THAN 1 SONES. A LABEL IS REQUIRED AT THE SWITCH TO INFORM OCCUPANTS THAT THE FAN IS A WHOLE HOUSE VENTILATION FAN AND SHOULD BE LEFT ON WHILE THE HOME IS OCCUPIED--PANASONIC OR EQUAL
 $Q_{fan} = 0.01(LIVING AREA) + 7.5(NO. OF BDRMS+1) = XX CFM MIN.$
- SINGLE POLE SWITCH
- DIMMER SWITCH
- THREE WAY (DIMMER) SWITCH
- MANUAL-ON/AUTO-OFF VACANCY SENSOR SWITCH
- TIMER SWITCH
- WATERPROOF
- DUPLEX RECEPTACLE
- DUPLEX RECEPTACLE WITH ARC-FAULT CIRCUIT INTERRUPTER PROTECTION (AFCI)
- DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER PER CEC 210-8(A)(B)
- 220v 220V RECEPTACLE
- NETWORK CONNECTION

NOTE:
 PER SANTA CLARA COUNTY ORDINANCE NO. NS-1100.135 ,ELECTRIFICATION REACH CODE, PREWIRING FOR INSTALLATION OF BATTERY STORAGE OF UP TO 5KWH IS REQUIRED.

NOTE:
 COOKING EQUIPMENT AND CLOTHES DRYER MUST BE ELECTRIC POWERED TO BE IN COMPLIANCE WITH THE SANTA CLARA COUNTY ALL ELECTRIC ORDINANCE

COUNTY OF SANTA CLARA
BUILDING INSPECTION OFFICE
PLANS APPROVED FOR PERMIT

RECORD NO.: DEV23-1770
 BY: B.Ghorbani Date: 10/06/2023

HARD COPY OF THESE STAMPED PLANS
 MUST BE ON THE SITE FOR INSPECTIONS

Lighting & Electrical Plan

1/4"=1'-0" 1

LIGHTING/ ELECTRICAL PLAN LEGEND

natalie paolercio

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Contents :
LIGHTING & ELECTRICAL PLAN

Date :
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NP

Scale :
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Sheet No :

LE2.1



CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: New ADU Calculation Date/Time: 2023-05-08T21:13:06-07:00
 Calculation Description: SFR Input File Name: 2036 - VHB - San Jose.rbd22

CF1R-PRF-01E

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GENERAL INFORMATION			
01	Project Name	New ADU	
02	Run Title	SFR	
03	Project Location		
04	City	05	Standards Version
06	Zip code	07	Software Version
08	Climate Zone	09	Front Orientation (deg/ Cardinal)
10	Building Type	11	Number of Dwelling Units
12	Project Scope	13	Number of Bedrooms
14	Addition Cond. Floor Area (ft²)	15	Number of Stories
16	Existing Cond. Floor Area (ft²)	17	Fenestration Average U-factor
18	Total Cond. Floor Area (ft²)	19	Glazing Percentage (%)
20	ADU Bedroom Count	n/a	

COMPLIANCE RESULTS	
01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.
03	This building incorporates one or more Special Features shown below

Registration Number: 223-P01054212A-000-000-0000000-0000
 CA Building Energy Efficiency Standards - 2022 Residential Compliance
 Registration Date/Time: 2023-05-08 21:19:46
 Report Version: 2022.0.000
 Schema Version: rev 20220901
 HERS Provider: CalCERTS, Inc.
 Report Generated: 2023-05-08 21:14:10

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CF1R-PRF-01E

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ENERGY USE INTENSITY				
	Standard Design (kBtu/ft² - yr)	Proposed Design (kBtu/ft² - yr)	Compliance Margin (kBtu/ft² - yr)	Margin Percentage
Gross EUI¹	31.49	29.6	1.89	6
Net EUI²	14.3	6.58	7.72	53.99

Notes
 1. Gross EUI is Energy Use Total (not including PV) / Total Building Area.
 2. Net EUI is Energy Use Total (including PV) / Total Building Area.

REQUIRED PV SYSTEMS											
01	02	03	04	05	06	07	08	09	10	11	12
DC System Size (kWdc)	Exception	Module Type	Array Type	Power Electronics	CFI	Azimuth (deg)	Tilt Input	Array Angle (deg)	Tilt (x in 12)	Inverter Eff. (%)	Annual Solar Access (%)
2.31	NA	Standard (14-17%)	Fixed	none	true	150-270	n/a	n/a	<=7:12	96	98

REQUIRED SPECIAL FEATURES
 The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

- PV System: 2.31 kWdc
- Indoor air quality, balanced fan
- IAQ Ventilation System: as low as 0.1 W/CFM
- IAQ Ventilation System: Heat Recovery: minimum 85 SRE and 85 ASRE
- IAQ Ventilation System: supply outside air inlet, filter, and H/ERV cores accessible per RACM Reference Manual
- Cool roof
- Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater; specific brand/model, or equivalent, must be installed

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CF1R-PRF-01E

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	Energy Design Ratings			Compliance Margins		
	Source Energy (EDR1)	Efficiency² EDR (EDR2efficiency)	Total³ EDR (EDR2total)	Source Energy (EDR1)	Efficiency² EDR (EDR2efficiency)	Total³ EDR (EDR2total)
Standard Design	36.5	31.2	30.4			
Proposed Design	33.1	30.6	24.6	3.4	0.6	5.8

RESULT: PASS

¹Efficiency EDR includes improvements like a better building envelope and more efficient equipment
 ²Total EDR includes efficiency and demand response measures such as photovoltaic (PV) system and batteries
 ³Building complies when source energy, efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded

- Standard Design PV Capacity: 1.73 kWdc
- PV System resized to 2.31 kWdc (a factor of 0.770) to achieve Maximum PV for Compliance Credit PV Scaling

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

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HERS FEATURE SUMMARY						
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry						
<ul style="list-style-type: none"> Quality insulation installation (QII) Indoor air quality ventilation Kitchen range hood Verified Refrigerant Charge Verified heat pump rated heating capacity 						

BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
New ADU	542.2	1	1	1	0	1

ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft²)	App. Ceiling Height	Water Heating System 1	Status
ADU	Conditioned	HVAC System 1	542.2	8	DHW System	New

OPAQUE SURFACES							
01	02	03	04	05	06	07	08
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft²)	Window and Door Area (ft²)	Tilt (deg)
Exterior Wall F	ADU	New Wall	315	Front	103	0	90
Exterior Wall R-n	ADU	New Wall	225	Right	336	46.5	90
Exterior Wall I	ADU	New Wall	45	Left	336	60	90
Exterior Wall back	ADU	New Wall	135	Back	103	12	90
Ceiling (below attic) 1	ADU	R30 Ceiling below attic-2	n/a	n/a	542.2	n/a	n/a
Floor Over Crawlspace 1	ADU	New Crawl Space	n/a	n/a	542	n/a	n/a

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ENERGY USE SUMMARY						
Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft² - yr)	Standard Design TDV Energy (EDR2) (KTDV/ft² - yr)	Proposed Design Source Energy (EDR1) (kBtu/ft² - yr)	Proposed Design TDV Energy (EDR2) (KTDV/ft² - yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	2.91	19.65	2.87	22.16	0.04	-2.51
Space Cooling	0.92	31.99	0.98	38.42	-0.06	-6.43
IAQ Ventilation	0.99	10.6	0.58	6.24	0.41	4.36
Water Heating	3.66	39.42	2.84	32.71	0.82	6.71
Self Utilization/Flexibility Credit				0		0
Efficiency Compliance Total	8.48	101.66	7.27	99.53	1.21	2.13
Photovoltaics	-2.79	-94.64	-3.74	-124.02		
Battery			0	0		
Flexibility						
Indoor Lighting	1.12	10.99	1.12	10.99		
Appl. & Cooking	9.57	75.91	9.56	75.68		
Plug Loads	6.63	68.98	6.63	68.98		
Outdoor Lighting	0.22	2.01	0.22	2.01		
TOTAL COMPLIANCE	23.23	164.91	21.06	133.17		

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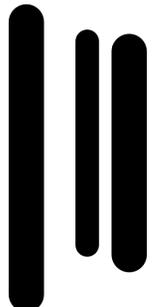
ATTIC							
01	02	03	04	05	06	07	08
Name	Construction	Type	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof
Attic	Asphalt Shingle Roof	Ventilated	5	0.99	0.99	No	Yes

FENESTRATION / GLAZING													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
E	Window	Exterior Wall R-n	Right	225	5	2	1	10	0.32	NFRC	0.22	NFRC	Bug Screen
D	Window	Exterior Wall R-n	Right	225	2.5	3	1	7.5	0.32	NFRC	0.22	NFRC	Bug Screen
C	Window	Exterior Wall R-n	Right	225	6	2	1	12	0.32	NFRC	0.22	NFRC	Bug Screen
A	Window	Exterior Wall I	Left	45	2.5	4	1	10	0.32	NFRC	0.22	NFRC	Bug Screen
B	Window	Exterior Wall I	Left	45	2.5	4	1	10	0.32	NFRC	0.22	NFRC	Bug Screen
G	Window	Exterior Wall I	Left	45	5	4	1	20	0.32	NFRC	0.22	NFRC	Bug Screen
F	Window	Exterior Wall back	Back	135	4	3	1	12	0.32	NFRC	0.22	NFRC	Bug Screen

OPAQUE DOORS			
01	02	03	04
Name	Side of Building	Area (ft²)	U-factor
105	Exterior Wall R-n	17	0.2
100	Exterior Wall I	20	0.2

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Job Title/Address:

Revision :

Building Submittal	June 09, 2023
Building Rev 1	Sept. 13, 2023

Contents :

TITLE 24 REPORT

Date :

03.10.2023

Drawn by :

NP

Scale :

AS SHOWN

Sheet No :

T24-1

COUNTY OF SANTA CLARA
 BUILDING INSPECTION OFFICE
 PLANS APPROVED FOR PERMIT
 RECORD NO.: DEV23-1770
 BY: B.Ghorbani Date: 10/06/2023
 HARD COPY OF THESE STAMPED PLANS
 MUST BE ON THE SITE FOR INSPECTIONS

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01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
New Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-15	None / None	0.095	Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Exterior Finish: 3 Coat Stucco
Asphalt Shingle Roof	Attic Roofs	Wood Framed Ceiling	2x4 Top Chord of Roof Truss @ 24 in. O. C.	R-0	None / None	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/Sheathing/Decking Cavity / Frame: no insul. / 2x4 Top Chrd
New Crawl Space	Floors Over Crawlspace	Wood Framed Floor	2x6 @ 16 in. O. C.	R-19	None / 19	0.026	Floor Surface: Hardwood Floor Deck: Wood Siding/Sheathing/Decking Cavity / Frame: R-19 / 2x6 Sheathing / Insulation: R-19 Sheathing
R30 Ceiling below attic-2	Ceilings (below attic)	Wood Framed Ceiling	2x8 @ 16 in. O. C.	R-30	None / None	0.033	Over Ceiling Joists: R-11.2 insul. Cavity / Frame: R-18.9 / 2x8 Inside Finish: Gypsum Board

BUILDING ENVELOPE - HERS VERIFICATION				
01	02	03	04	05
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Required	Not Required	N/A	n/a	n/a

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DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	
I, I certify that this Certificate of Compliance documentation is accurate and complete.	
Documentation Author Name: Arash Firouzjaei	Documentation Author Signature: <i>Arash Firouzjaei</i>
Company: Cal Title 24	Signature Date: 2023-08-18 08:20:57
Address: 2455 Autumnvale Dr San Jose, CA 95131	CEA/HERS Certification Identification (if applicable): 546100 Phone: 650-353-7784

RESPONSIBLE PERSON'S DECLARATION STATEMENT	
I certify the following under penalty of perjury, under the laws of the State of California:	
1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance. 2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.	
Responsible Designer Name: Natalie Paolercio	Responsible Designer Signature: <i>Natalie Paolercio</i>
Company: VALLEY HOME BUILDERS INC	Date Signed: 2023-08-18 09:16:40
Address: 3466 EDWARD AVENUE SANTA CLARA, CA 95054	License: 408-248-8000 X123

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.



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WATER HEATING SYSTEMS								
01	02	03	04	05	06	07	08	09
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (#)
DHW System	Domestic Hot Water (DHW)	Standard	Water Heater	1	n/a	None	n/a	Water Heater (1)

WATER HEATERS - NEEA HEAT PUMP							
01	02	03	04	05	06	07	08
Name	# of Units	Tank Vol. (gal)	NEEA Heat Pump Brand	NEEA Heat Pump Model	Tank Location	Duct Inlet Air Source	Duct Outlet Air Source
Water Heater	1	40	Rheem	RheemPRODPH40TOR H120	Outside	Outside	Outside

WATER HEATING - HERS VERIFICATION						
01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW System - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required

SPACE CONDITIONING SYSTEMS								
01	02	03	04	05	06	07	08	09
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type
HVAC System 1	Heat pump heating/cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback

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HVAC - HEAT PUMPS												
01	02	03	04	05	06	07	08	09	10	11	12	13
Name	System Type	Number of Units	Heating			Cooling			Zonally Controlled	Compressor Type	HERS Verification	
			Efficiency Type	HSPF / HSPF2 / COP	Cap 47	Cap 17	Efficiency Type	SEER / SEER2				EER / EER / CEER
Heat Pump System 1	Ductless MiniSplit HP	1	HSPF	8.2	12000	12000	EERSEER	14	11.87	Not Zonal	Single Speed	Heat Pump System 1-hers-htpump

HVAC HEAT PUMPS - HERS VERIFICATION								
01	02	03	04	05	06	07	08	09
Name	Verified Airflow	Airflow Target	Verified EER/EER2	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1-hers-htpump	Not Required	0	Not Required	Not Required	Yes	No	Yes	Yes

INDOOR AIR QUALITY (IAQ) FANS								
01	02	03	04	05	06	07	08	09
Dwelling Unit	Airflow (CFM)	Fan Efficiency (W/CFM)	IAQ Fan Type	Includes Heat/Energy Recovery?	IAQ Recovery Effectiveness - SRE	Includes Fault Indicator Display?	HERS Verification	Status
Sfarn IAQVentPnt 1-1	130	0.1	Balanced	Yes	85	No	Yes	

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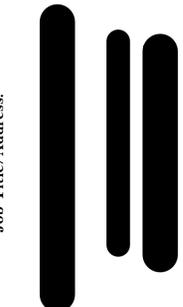
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Date :

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Drawn by :

NP

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T24-2

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 PLANS APPROVED FOR PERMIT
 RECORD NO.: DEV23-1770
 BY: B.Ghorbani Date: 10/06/2023
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FOUNDATION NOTES:

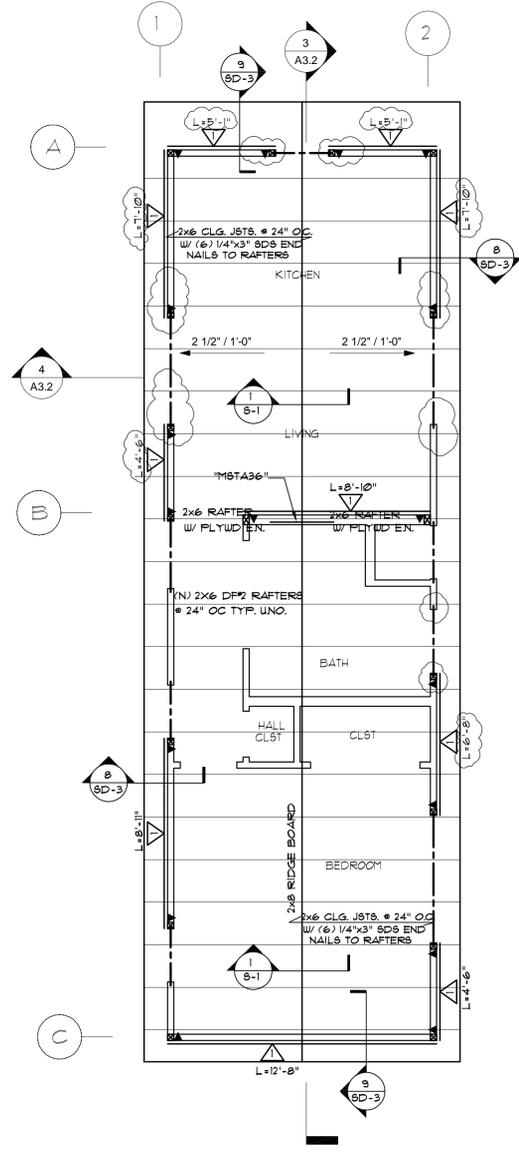
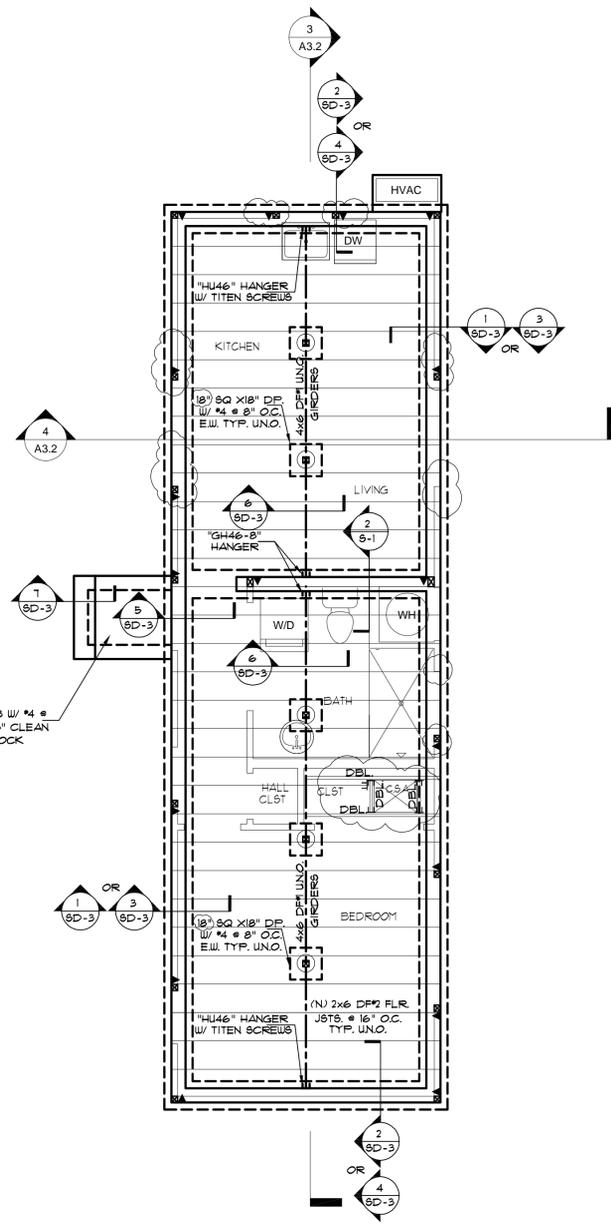
- 1-NEW FLR SHTG. : 3/4" CDX, T4G FLYWD. W/10d @ 6" O.C. (E)10" O.C. (F)
- 2-NEW FLR JOISTS: 2x6 DF#2 @ 16" O.C. UNO ON PLANS.
- 3-SEE SHEET 8D-2 FOR SHEAR WALL SCHEDULE.
- 4-PROVIDE UNDER FLOOR VENTILATION AS PER CBC (MIN. OF 1/10 OF FLOOR AREA).
- 5-PROVIDE 2X SOLID BLOCKING BELOW WALLS PERPENDICULAR TO JOISTS.
- 6- PROVIDE DBL. JST. UNDER WALLS PARALLEL TO JST.
- 7- ALL FASTENERS ATTACHED TO PRESSURE TREATED MATERIAL SHALL BE HOT-DIP GALVANIZED (ASTM A153) OR STAINLESS STEEL OR SILICON BRONZE OR COPPER MATERIAL (INCLUDING ANCHOR BOLTS, HOLDOWN RODS, FLYWD. EDGE NAILS, ETC.) CBC 2304.10.05
- 8-ALL HARDWARE TO BE "SIMPSON" UNLESS NOTED OTHERWISE ON PLANS.

ROOF FRAME NOTES:

- 1- HEADERS: SEE SCHEDULE ON SHEET 8D-1
- 2-(N) RAFTERS : 2x6 DF#2 @ 24" O.C. TYP. UNO ON PLANS.
- 3-ROOF SHTG. : 1/2" CDX FLYD. W/10d @ 6" O.C. (E.), 12" O.C. (F.)
- 4-HIPS/ VALLEYS AND RIDGES SHALL BE ONE SIZE LARGER THAN RAFTERS, UNO ON PLANS
- 5-WALLS : 2x4 DF#2 @ 16" O.C. USE 2x6 DF#2@16" O.C. FOR WALLS OVER 10'-0" IN HEIGHT.
- 6-CLG. JST SCHEDULE: 2x6 DF#2 @ 24" O.C., Lmax=12'-6"
2x8 DF#2 @ 24" O.C., Lmax=16'-0"
2x10 DF#2 @ 24" O.C., Lmax=19'-0"
- 7-PROVIDE 'LUS' HANGERS FOR NEW RAFTERS & HIPS / VALLEYS. USE 'L70' AT SKEWED CONNECTION.
- 8- WRAP THE ENTIRE EXTERIOR OF THE ADDITION W/ 1/2" CDX FLYWD. OR OSB UNO. BY SHR. WALL SCH.
- 9- ROOFING MATERIAL : COMP. (MAX. WEIGHT 40 PSF)

TYP. BEAM/JOIST HANGER SCHEDULE (UNO. ON PLANS)	
2x6 JOIST	"LU526"
2x8 JOIST	"LU528"
2x10, 2x12 JOIST	"LU610"
2x6 RAFTERS	"LRU26Z"
1.75x11.88 LVL	"HU11"
3.5x11.88 PSL	"HU412"
5.25 x11.88 PSL	"HU612"
1 X PSL	"GLTY"
4 X 6 BEAM	"HU46"
4 X 8 BEAM	"HU48"
4 X 10 BEAM	"HU410"
4 X 12 BEAM	"HU412"
6 X 8 BEAM	"HU68"
6 X 10 BEAM	"HU610"
6 X 12 BEAM	"HU612"

NOTE: USE SKEWED HANGERS @ ANGLED CONNECTIONS

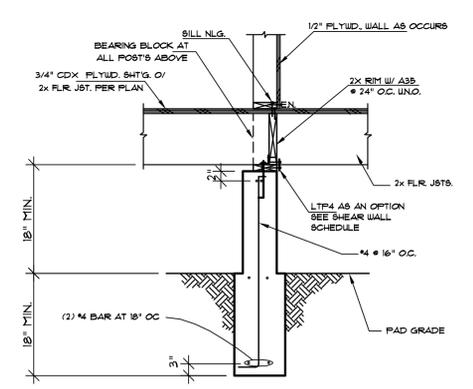


FOUNDATION PLAN

SC: 1/4" = 1'-0"

ROOF FRAMING AND FLOOR SHEAR WALLS

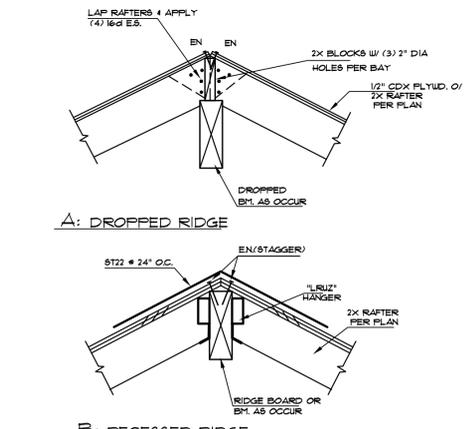
SC: 1/4" = 1'-0"



NOTE: SEE DETAIL 1/8D-3 FOR ADDITIONAL INFO. NOT SHOWN

2 TYPICAL INT. FOOTING DETAIL

N.T.S.



1 TYPICAL RIDGE DETAIL

N.T.S.

LEGEND :

- HOLDOWNS:**
- ▲ HDUB W/ 9/8x24 PER 9/SD-2
- POSTS: (SEE DETAILS 10, 11 & 12/SD-3)**
- 4x4 ■ 6x4 ■ 6x6
 - □ 4x OR 6x KING POST
- NEW 2x4 STUDS @ 16" O.C.
- NEW 2x6 STUDS @ 16" O.C.
- INDICATES 2xCLG. JST @ 24" O.C.
- NEW ROOF FRAMING
- OUTLINE OF NEW FOUNDATION

COUNTY OF SANTA CLARA
BUILDING INSPECTION OFFICE
PLANS APPROVED FOR PERMIT

RECORD NO: DEV23-1770

BY: B.Ghorbani Date: 10/06/2023

HARD COPY OF THESE STAMPED PLANS MUST BE ON THE SITE FOR INSPECTIONS

MS Engineering & Assoc., Inc.
Consulting Structural Engineering Services
4906 EL Camino Real Suite 208
Los Altos, CA 94022

REGISTERED PROFESSIONAL ENGINEER
No. 48545
Exp. 06/30/2024
CIVIL
STATE OF CALIFORNIA

DRAWING TITLE

DRAWN E.S. CHECKED M.S.

PROJECT NO. DATE
23-051 06/08/23

CAD FILE NO.

DRAWING NO.

S - 1

OF SHEET

GENERAL:

- 1. PROPOSED CONSTRUCTION SHALL BE IN FULL COMPLIANCE WITH 2022 CALIFORNIA BUILDING CODE AS WELL AS ALL THE APPLICABLE LOCAL CITY AND COUNTY CODES.
2. ALL SHORING AND TEMPORARY BRACING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
3. REFER TO ARCHITECTURAL PLANS FOR ALL ARCHITECTURAL LAYOUTS, COMPONENTS AND DIMENSIONS. THIS INCLUDES THE LOCATIONS AND SIZE OF DOORS AND WINDOWS.
4. ALL THE BUILDING DIMENSIONS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR AND VERIFIED WITH ARCHITECTURAL PLANS PRIOR TO START OF CONSTRUCTION.
5. FRAMING CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE FRAMED IN ACCORDANCE WITH THE CONVENTIONAL CONSTRUCTION REQUIREMENTS OF 2022 CBC CODE.
6. ANY DEVIATIONS FROM THE PLANS, WHICH ARE NECESSITATED BY FIELD CONDITIONS OR ANY CONDITIONS DIFFERENT FROM THOSE INDICATED ON PLAN, SHALL BE CALLED TO THE ATTENTION OF THE STRUCTURAL ENGINEER PRIOR TO CONTINUING CONSTRUCTION. ALL WORK IS TO BE COORDINATED SO THAT COOPERATION BETWEEN THE TRADES, WHERE REQUIRED, IS ACCOMPLISHED.
7. DIMENSIONS SHOWN ON PLANS WOULD TAKE PRECEDENCE OVER SCALE INDICATED ON PLANS.
8. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
9. ALL OPENINGS AND CUTS FOR PLUMBING, DUCTS, VENTILATION, SHALL BE VERIFIED AND CHECKED BY THE GENERAL CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
10. ALL MATERIALS AND PRODUCTS USED IN CONSTRUCTION SHALL BE APPROVED AND CERTIFIED BY GOVERNING AGENCIES AND/OR RECOGNIZED TESTING COMPANIES IN COMPLIANCE WITH ASTM STANDARDS AND OTHER QUALITY ASSURANCE REGULATIONS.
11. TYPICAL DETAILS SHALL APPLY WHERE NO SPECIFIC DETAILS OR SECTIONS ARE GIVEN.
12. CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED FINISH MATERIAL AND/OR STRUCTURAL MEMBERS AS REQUIRED AND AS CONFIRMED BY THE BUILDING INSPECTOR AND STRUCTURAL ENGINEER.
13. MATERIAL NOTES AND SPECIFICATIONS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THE PROJECT SPECIFICATIONS.
14. THE CONTRACTOR AND/OR SUB-CONTRACTORS WORK SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE, OR LOCAL BUILDING CODES.
15. TRADE NAMES AND MANUFACTURERS REFERRED TO ARE FOR QUALITY STANDARDS ONLY. EQUIVALENT SUBSTITUTIONS WILL BE PERMITTED.

EPOXY AND ANCHORS:

- 1. DEFORMED BAR EPOXY AT EXISTING FOUNDATIONS; CONTRACTOR SHALL USE SIMPSON EPOXY SET XP. APPLICATION SHALL BE IN COMPLIANCE WITH THE MANUFACTURER'S APPROVED RECOMMENDATIONS.
2. EPOXIED BOLTS (HOLD-DOWNS, ANCHOR BOLTS, ETC.); USE SIMPSON EPOXY SET XP. ANCHOR BOLTS AND HOLD-DOWNS SHALL BE THREADED STAINLESS OR GALVANIZED OR ZINC COATED STEEL. EPOXY APPLICATION SHALL BE IN STRICT COMPLIANCE WITH THE SIMPSON COMPANY APPROVED SPECS. PROVIDE SPECIAL INSPECTION FOR ALL HOLD-DOWN EPOXIED INSTALLATION. CONTRACTOR SHALL CONTACT THE LOCAL GOVERNMENT AGENCY FOR ANY ADDITIONAL REQUIREMENTS BY THE AGENCY FOR EPOXY APPLICATION.

STRUCTURAL OBSERVATION:

PROVIDE STRUCTURAL OBSERVATION PER CBC 1102(5), 1103(4). STRUCTURAL ENGINEER OF RECORD WILL PERIODICALLY REVIEW PROGRESS OF THE WORK FOR GENERAL CONFORMANCE WITH THE CONTRACT DOCUMENTS. HOWEVER HIS REVIEW WILL NOT BE CONSIDERED AS SPECIAL INSPECTION UNLESS SPECIFICALLY APPROVED. THE CONTRACTOR SHALL NOTIFY THE EOR FOR STRUCTURAL OBSERVATIONS OF THE FOLLOWING ITEMS PRIOR TO PROCEEDING WITH WORK THAT WOULD PREVENT OBSERVATION:
- FOUNDATION EXCAVATIONS AND PLACING STEEL REINFORCEMENT.
- WOOD FRAMED WALLS PRIOR TO COVERING OR INSTALLING WALL FINISHES.
- THE COMPLETE STRUCTURAL SYSTEM, JUST PRIOR TO WALL FINISHES.

ABBREVIATIONS:

Table with 3 columns: Abbreviation, Description, and Notes. Includes entries like A.B. ANCHOR BOLT, BM. BEAM, BLK. BLOCK OR BLOCKING, CBC. CALIFORNIA BUILDING CODE, etc.

SHOP DRAWINGS:

SHOP DRAWINGS ARE AN AID FOR FIELD PLACEMENT AND ARE SUPERSEDED BY THE STRUCTURAL DRAWINGS. ANY REVIEW OF SHOP DRAWINGS BY THIS OFFICE IS ONLY FOR GENERAL CONFORMANCE TO THE STRUCTURAL REQUIREMENTS AND IN NO WAY GUARANTEES THE ACCURACY OR COMPLETENESS OF INFORMATION THEREON. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSURE ALL CONSTRUCTION IS IN FULL COMPLIANCE WITH THE LATEST SET OF STRUCTURAL DRAWINGS.

PRESSURE TREATED MUDSILL ANCHORAGE TO FOUNDATION

- 1. SEE SHEAR WALL SCHEDULE FOR ANCHOR BOLT SIZE AND SPACING AT SHEAR WALLS. MUDSILLS AT ALL OTHER WALLS SHALL BE ATTACHED TO THE FOUNDATION WITH 5/8" DIAMETER X 12" DEEP ANCHORS W/ MIN. 1" EMBEDMENT IN TO CONCRETE AT 4'-0" O.C. EACH PIECE OF SILL PLATE IS TO HAVE A MIN. OF 2 ANCHORS PER PIECE 12" MAXIMUM FROM EACH END.
2. ALL PLATES ON CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
3. USE 3" SQ. X 0.225" THK. PLATE WASHERS FOR ANCHOR BOLTS.
4. ALL METAL HARDWARE IN DIRECT CONTACT WITH PRESSURE TREATED MATERIAL SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED OR ZINC COATED, AS PER CALIFORNIA BUILDING CODE (CBC).

MATERIAL SPECIFICATIONS:

LUMBER SCHEDULE:

Table with 2 columns: MEMBER, GRADE OF WOOD (U.N.O.). Lists materials like 2x or 3x MUDSILLS, 4x HEADERS OR BEAMS, 6x AND LARGER, etc.

PLYWOOD SHEATHING:

- 1. PLYWOOD SHEATHING AT ROOF AND FLOOR: LOCATION, GRADING, NAILING (U.N.O.). ROOF - 1/2" CDX OR 1/2" OSB, APA (32/16), 10d # 6" EDGE, 12" FIELD. FLOOR - 3/4" T&G, APA (32/16), 10d # 6" EDGE, 10" FIELD.
2. CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD FOR PLYWOOD CHANGE TO OSB.
3. ALL NAILS SHALL BE COMMON NAILS OR HOT DIPPED GALVANIZED BOX NAILS.
4. INDIVIDUAL PIECES OF PLYWOOD SHALL NOT BE LESS THAN 24" IN THE LEAST DIMENSION NOR LESS THAN 4'-0" SQ. TOTAL AREA.
5. ALL PLYWOOD MUST BE APA RATED.
6. PRE-DRILL HOLES WHERE PLYWOOD OR FRAMING TENDS TO SPLIT.
7. PROVIDE EDGE NAILING ALONG ALL JOISTS, TRUSSES, BEAMS, COLLECTORS AND BLOCKING OVER OR IN LINE WITH SHEAR WALLS. (2 - ROWS REQUIRED AT EACH OF THESE LOCATIONS).
8. DO NOT OVER DRIVE NAILS INTO PLYWOOD SHEATHING, ANYMORE THAN TO PROVIDE THE NAIL HEAD FLUSH WITH THE PLYWOOD SURFACE.

FLOOR JOIST

- 1. FLOOR JOISTS SHALL BE TJI JOISTS MADE BY TRUSS JOIST INC. ALL ENGINEERED FLOOR JOISTS SHALL BE DESIGNED FOR MIN L/480 (DL+LL) DEFLECTION. SEE PLANS FOR TJI SIZE, TYPE AND LAYOUT.

PARALLAM BEAMS (PBL):

- PARALLAM 22 (PBL) BEAMS SHOWN ON PLANS SHALL HAVE THE MATERIAL PROPERTY SPECS SHOWN BELOW: E = 2200000 PSI, Fd = 2300 PSI, Fv = 230 PSI. USE VOLCANIZED PARALLAMS IN AREAS SUBJECT TO MOISTURE.

MICROLAM BEAMS:

- MICROLAM 20 (LVL) BEAMS ARE TO BE THE SIZE SHOWN ON PLANS, AND TO BE MANUFACTURED BY TRUSS JOIST CORP. MICROLAM BEAMS SHALL HAVE THE FOLLOWING ALLOWABLE DESIGN STRESSES: E = 2000000 PSI, Fd = 2600 PSI, Fv = 285 PSI.

TIMBERSTRAND:

- TIMBERSTRAND (LSL) MEMBERS ARE TO BE THE SIZE SHOWN ON PLANS AND TO BE MANUFACTURED BY TRUSS JOIST CORP.

GLULAM BEAMS (GLB):

- 1. CONTRACTOR SHALL SUBMIT A.I.T.C. CERTIFICATE OF COMPLIANCE FOR ALL GLULAM BEAMS USED IN THE PROJECT. THE CERTIFICATE SHALL BE SUBMITTED TO THE LOCAL BUILDING JURISDICTION AND THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL.
2. ALL FABRICATION AND WORKMANSHIP SHALL CONFORM TO THE CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR STRUCTURAL GLUED LAMINATED DOUGLAS FIR (COAST REGION) LUMBER BY THE WEST COAST LUMBERMANS ASSOCIATION AND THE CURRENT EDITION OF TIMBER CONSTRUCTION.
3. FINISH OF GLULAM SHALL BE PROTECTED AGAINST ANY WEATHERING. THE MEMBERS SHALL BE INDUSTRIAL APPEARANCE GRADE IN CONFORMANCE WITH THE STANDARD APPEARANCE GRADES OF THE A.I.T.C.

POURED IN PLACE CONCRETE:

- 1. MINIMUM COMPRESSIVE STRENGTH SHALL BE 2500 PSI AT 28 DAYS. (DESIGN BASED ON 3000 PSI)
2. SLUMP FOR CONCRETE SHALL BE MINIMUM OF 4".
3. AGGREGATES SHALL BE NATURAL SAND AND ROCK CONFORMING TO ASTM C33, WITH MAXIMUM AGGREGATE SIZE OF 3/4".
4. CEMENT SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C-150, TYPE II.
5. USE MINIMUM CEMENT CONTENT SHALL BE 6 BAGS PER CUBIC YARD FOR 2500 PSI CONCRETE.
6. THE FOLLOWING MINIMUM CLEAR DISTANCES BETWEEN REINFORCING STEEL AND FACE OF CONCRETE SHALL BE MAINTAINED UNLESS NOTED OTHERWISE:
POURED AGAINST FORMS 2"
POURED AGAINST EARTH 3"
7. PIPES MAY PASS THROUGH STRUCTURAL CONCRETE IN SLEEVES, BUT SHALL NOT BE EMBEDDED THEREIN. PIPES OR DUCTS EXCEEDING ONE-THIRD THE SLAB OR FOOTING THICKNESS SHALL NOT BE PLACED IN THE STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED.
8. DOUELS, ANCHOR BOLTS AND OTHER EMBEDDED ITEMS ARE TO BE SECURED IN PLACE BEFORE CONCRETE IS POURED.
9. REFER TO ARCHITECTURAL DRAWINGS FOR REVEALS, AREAS OF TEXTURED CONCRETE OR SPECIAL FINISHES. ITEMS REQUIRED TO BE CAST INTO CONCRETE, CURBS AND SLAB DEPRESSIONS.
10. OPTIONAL COLD JOINTS MAY BE USED WHERE SHOWN. COLD JOINT EDGES SHALL BE CLEAN AND FREE OF EXTRANEUS AND INTENTIONALLY ROUGHENED.
11. FEA GRAVEL AGGREGATE IS NOT ALLOWED IN CONCRETE MIX.

REINFORCING STEEL:

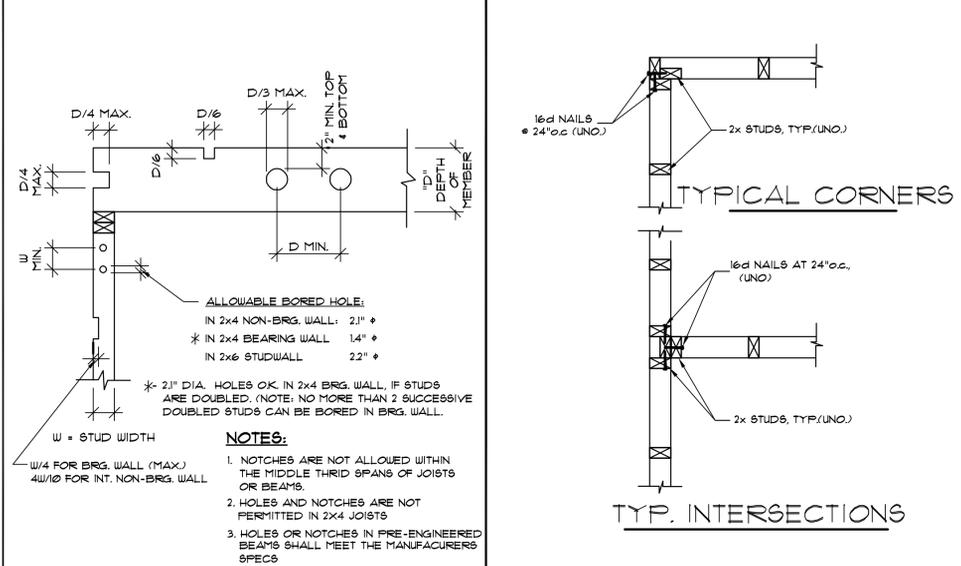
- 1. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 40 FOR SIZES # 4 AND SMALLER AND GRADE 60 FOR SIZES # 5 AND LARGER.
2. WELDING OF REINFORCING STEEL SHALL CONFORM TO AWS D1.1 USING PROPER LOW HYDROGEN ELECTRODES. ALL BARS TO BE WELDED SHALL CONFORM TO ASTM A106.
3. WELDED FABRIC (MESH, W/F) SHALL CONFORM TO THE LATEST REVISED ASTM A955. SMOOTH WIRE FABRIC SHALL CONFORM TO ASTM A95, YIELD STRENGTH 60 KSI.
4. ALL BARS IN CONCRETE SHALL BE LAPPED A MINIMUM OF 42 BARS DIAMETERS (2'-0" MIN.) AT ALL SPLICES UNLESS NOTED OTHERWISE.
5. SPLICES OF HORIZONTAL REBAR IN FOOTINGS SHALL BE STAGGERED 4'-0" MINIMUM.
6. ALL BENDING OF REINFORCING STEEL SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE.
7. ALL REINFORCING SHALL BE CLEAN AND FREE OF EXTRANEUS MATERIAL.

FASTENING SCHEDULE (CBC TABLE 2304.10.1)

Table with 2 columns: Description and Size. Lists fasteners like JOIST TO SILL OR GIRDER, TOENAIL, BRIDGING TO JOIST, TOENAIL EACH END, 1" x 6" SUBFLR, OR LESS TO EA. JOIST, FACE NAIL, etc.

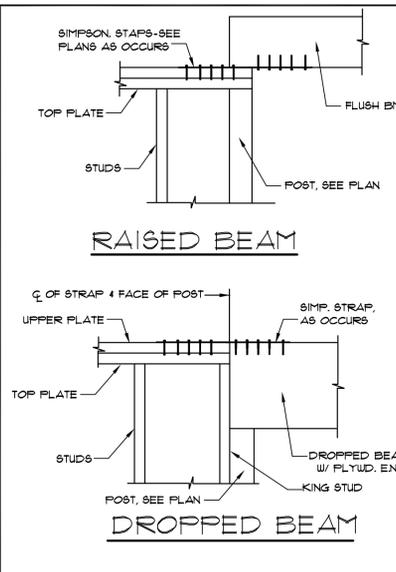
Table with 2 columns: Description and Value. Includes DESIGN DATA, SEISMIC IMPORTANCE FACTOR, MAPPED SPECTRAL RESPONSE ACCELERATIONS, SITE CLASS, etc.

NAILING (U.N.O.) ON PLANS

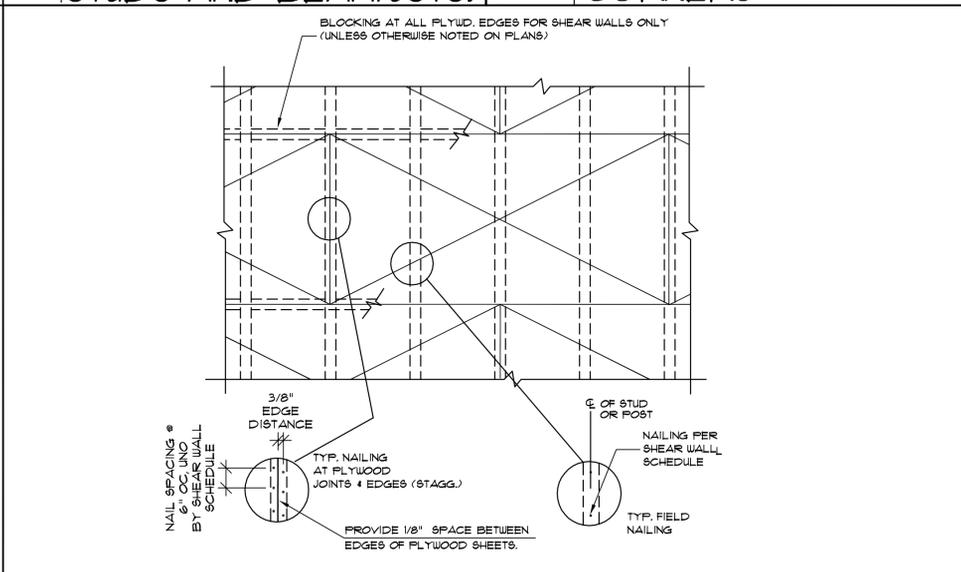


1 TYP. NOTCH OR HOLE @ STUDS AND BEAM/JOISTS.

2 TYP. STUD CONN. @ CORNERS



4 TYP. STRAPS @ BEAMS

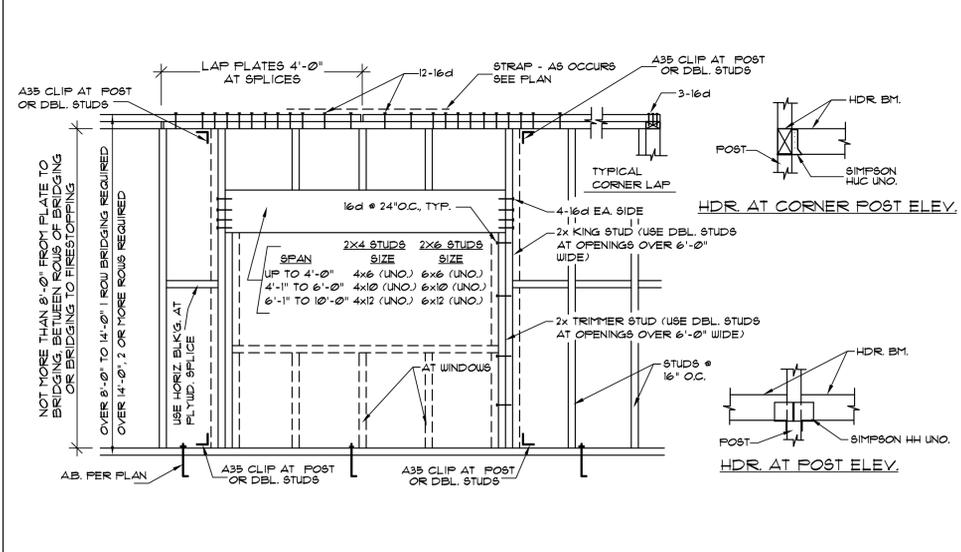


3 TYP. PLYWD. NAILING AT STUD WALLS

COUNTY OF SANTA CLARA BUILDING INSPECTION OFFICE PLANS APPROVED FOR PERMIT. RECORD NO.: DEV23-1770. BY: B.Ghorbani Date: 10/06/2023. HARD COPY OF THESE STAMPED PLANS MUST BE ON THE SITE FOR INSPECTIONS.

STRUCTURAL STEEL (IF USED):

- 1. ALL FABRICATION AND ERECTION SHALL CONFORM TO THE LATEST EDITION OF THE AISC MANUAL OF STEEL CONSTRUCTION.
2. ALL STRUCTURAL STEEL SHALL CONFORM TO THE ASTM A36.
3. MUDSILL ANCHOR BOLTS AND MACHINE BOLTS SHALL CONFORM TO ASTM A307. ALL-THREAD ANCHORS SHALL CONFORM TO ASTM A36 (U.N.O.).
4. ALL STEEL TUBE (TS) MEMBERS SHALL CONFORM TO ASTM A46.
5. ALL WELDING TO BE PERFORMED BY A CERTIFIED WELDER AND TO BE SPECIALLY INSPECTED BY A CERTIFIED TESTING AGENCY UNLESS WELDING IS PERFORMED IN AN ICBO APPROVED, CERTIFIED WELDING SHOP.
6. ALL WELDING TO BE PERFORMED WITH E70XX ELECTRODES. SEE PLANS FOR WELDING TYPE.
7. ALL BOLTS, NUTS AND WASHERS SHALL CONFORM TO ASTM A307, HOT DIPPED GALVANIZED OR EQUIVALENT RUST PREVENTATIVE COATING, WHERE EXPOSED TO WEATHER OR EARTH.



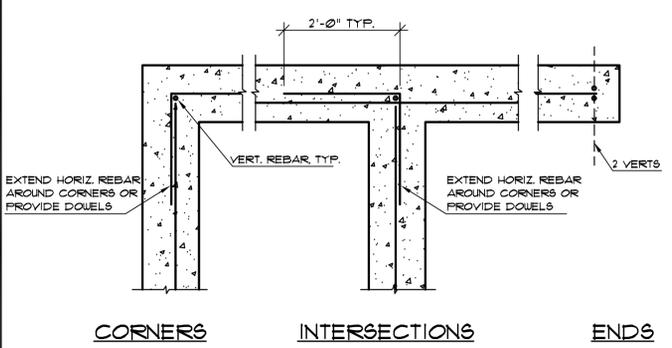
5 TYP. HEADER SCHEDULE (U.N.O. ON PLANS)

Project information including drawing title (SD-1), sheet number (OF SHEET), drawing no., project no. date, and company logo for MS Engineering & Assoc., Inc. with contact information: 4906 EL Camino Real Suite 208, Los Altos, CA 94022.

SHEAR WALL SCHEDULE

MARK	MATERIAL	PLYWOOD NAILING	SHEAR WALL	SHEAR TRANSFER	SILL PLATE CONNECTIONS	SHEAR WALL CAPACITY
1	1/2" CDX PLYWOOD P.L. 24/0 (Note 1)	10d AT 6" O.C. EN. 10d AT 12" O.C. FN.	A35 # 24" O.C. OR LTP4 AT 16" O.C.	16d AT 5" O.C.	5/8" # AB. AT 4'-0" O.C. TABLE 12E NDS 2018	260
2	1/2" CDX PLYWOOD P.L. 24/0 (Note 1)	10d AT 4" O.C. EN. 10d AT 12" O.C. FN.	A35 # 12" O.C. OR LTP4 AT 16" O.C.	16d AT 4" O.C.	5/8" # AB. AT 3'-3" O.C. TABLE 12E NDS 2018	348
3	1/2" CDX PLYWOOD P.L. 24/0 (Note 2)	10d AT 3" O.C. EN. 10d AT 12" O.C. FN.	A35 # 8" O.C. OR LTP4 AT 12" O.C.	16d AT 3" O.C.	5/8" # AB. AT 2'-6" O.C. TABLE 12E NDS 2018	490
4	1/2" CDX PLYWOOD P.L. 24/0 (Note 2)	10d AT 2" O.C. EN. 10d AT 12" O.C. FN.	2 - A35 # 12" O.C. OR LTP4 AT 8" O.C.	16d AT 2" O.C.	5/8" # AB. AT 1'-6" O.C. TABLE 12E NDS 2018	710

- SHEAR WALL NOTES:**
- BLOCK ALL PLYWOOD EDGES
 - BLOCK AND NAIL ALL ADJOINING PLYWOOD EDGES WITH 3x OR 4x LUMBER AND STAGGER NAILS (PLATES, STUDS, POST, BLOCKING, ETC.)
 - OFFSET PANEL JOINTS ON DIFFERENT FRAMING MEMBERS WHERE PLYWOOD SHEAR MATERIAL OCCURS ON EACH SIDE OF WALL. OTHERWISE USE 3x MIN. LUMBER NAILS SHALL BE STAGGERED ON BOTH SIDES.
 - USE PNEUMATICALLY DRIVEN 16d NAILS FOR ALL SPACING LESS THAN 6" O.C. IF SILL PLATES SPLITS, NAILS SHALL BE DRIVEN IN PRE-DRILLED HOLES. NAILS SHALL NOT BE UNDERDRIVEN, OVERDRIVEN AND/OR SLANTED.
 - ALL NAILS SHALL BE COMMON.
 - PLYWOOD SHALL BE APPLIED DIRECTLY OVER THE STUDS.
 - ALL STUDS SHALL BE AT 16" O.C. (MAX.).
 - OSB APA RATED SHEATHING MAY BE USED, EXCEPT FOR STRUCTURAL I PLYWOOD SHEAR WALL.
 - USE 5/8 DIA. ALL-THREAD ROD EMBED 1" INTO (E) CONCRETE AND SET W/ SIMPSON 'SET-XP' EPOXY AT EXISTING FOOTING CONDITIONS ONLY. SEE DETAIL AND SPECS ON PLANS.
 - PROVIDE 3" SQ. X 0.225" THK. PLATE WASHERS FOR ANCHOR BOLTS.
 - ALL ANCHOR BOLTS OR HARDWARE IN CONTACT W/ PRESSURE TREATED LUMBER SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED OR ZINC COATED PER CBC.
 - APPLY (2) ROWS OF PLYWOOD EDGE NAILS AT ALL HOLDDOWN POSTS. HOLDDOWN POSTS SHALL BE CONTINUOUS FROM THE HOLDDOWN BRACKET TO THE TOP PLATE.
 - " " " INDICATES LOCATION LENGTH 4 TYPE ON PLAN
 - OF SHEAR WALL ON PLANS
 - BLOCK AND NAIL ALL JOINTS WITH NAILING SPECIFIED IN SHEAR WALL SCHEDULE.
 - DO NOT OVERDRIVE NAILS INTO PLYWOOD. IF NAIL GUN IS USED, GUN SHOULD BE ADJUSTED TO UNDERDRIVE NAIL, THEN NAILS ARE TO BE HAND DRIVEN SO THAT THE HEAD OF THE NAIL IS FLUSH WITH THE FACE OF THE PLYWOOD.
 - ALL HOLDDOWNS, STRAPS AND ANGLES CALLED OUT ON THESE PLANS ARE TO BE MANUFACTURED BY SIMPSON CO. OR EQUAL.
 - ALL SIMPSON PRODUCTS ARE TO BE INSTALLED PER SIMPSON CO. SPECIFICATIONS.
 - WHEN PLYWOOD IS APPLIED ON BOTH FACES, REDUCE ANCHOR BOLT SPACING, SILL NAILING SPACING AND BLOCK CLIP SPACING BY HALF. USE 3x LUMBER AT ALL PLYWOOD EDGE NAILS.
 - EXISTING 2x MIDSILL, APPLY 2x BLOCK OR RIM OR REDUCE THE ANCHOR BOLTS SPACING BY HALF



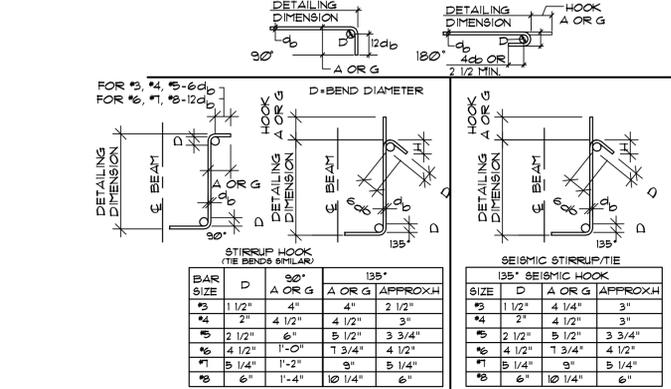
5 TYPICAL REBAR @ FT'G. CORNERS & INTERSECTIONS

BAR SIZES	D=FINISHED INSIDE BEND DIAMETER	
	STANDARD HOOKS	STIRRUP/TIE HOOKS
#3, #4, #5	6db	4db
#6, #7, #8	6db	6db
#9, #10, #11	8db	8db
#14, #18	10db	10db

db = NOMINAL BAR DIAMETER

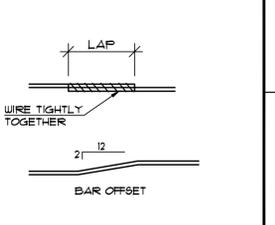
BAR SIZE	DIMENSIONS OF STANDARD 180° HOOKS, ALL GRADES		DIMENSIONS OF STANDARD 90° HOOKS, ALL GRADES	
	A OR B	J	A OR G	D
#3	5"	3"	2 1/4"	6"
#4	6"	4"	3"	8"
#5	7"	5"	3 3/4"	10"
#6	8"	6"	4 1/2"	12"
#7	10"	7"	5 1/4"	14"
#8	11"	8"	6"	16"
#9	13"	11 3/4"	9 1/2"	18"
#10	15"	13 1/4"	11 1/2"	20"
#11	17"	15 1/4"	13 1/2"	22"
#14	21"	19 3/4"	17 1/4"	28"
#18	27"	25 1/4"	22 1/4"	36"

NOTE: SEE ACI 318-19 FOR ANY SPECIFIC REBAR STANDARDS NOT SHOWN BELOW

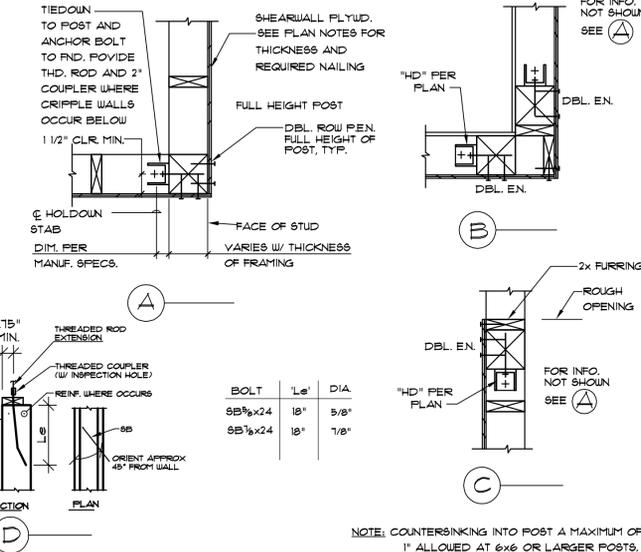


8 TYP. STANDARD REBAR HOOKS

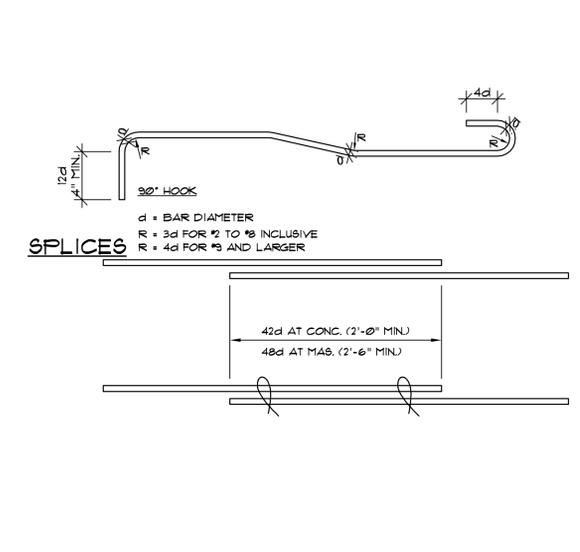
BAR SIZE	LAP : FT. - IN.	
	TOP BARS	OTHER BARS
#3	2'-3"	1'-10"
#4	3'-1"	2'-5"
#5	3'-10"	3'-0"
#6	5'-0"	3'-10"
#7	6'-10"	5'-3"
#8	8'-11"	7'-0"
#9	11'-4"	8'-10"
#10	14'-4"	11'-0"
#11	17'-9"	13'-1"



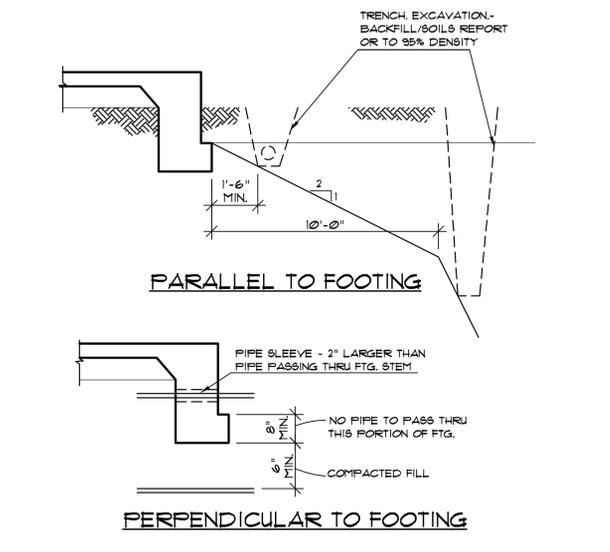
10 TYP. REBAR SPLICES



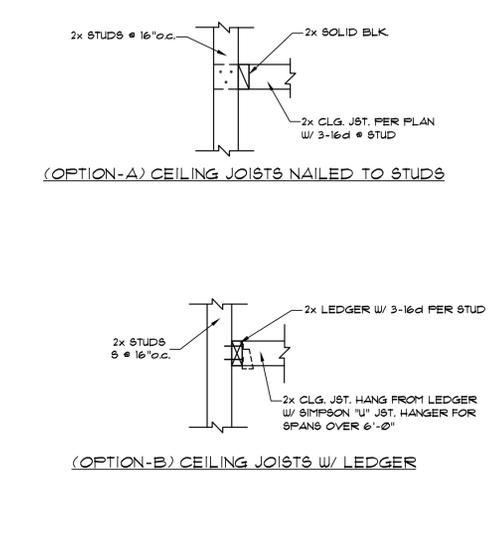
9 TYPICAL HOLDDOWN INSTALLATION DETAIL



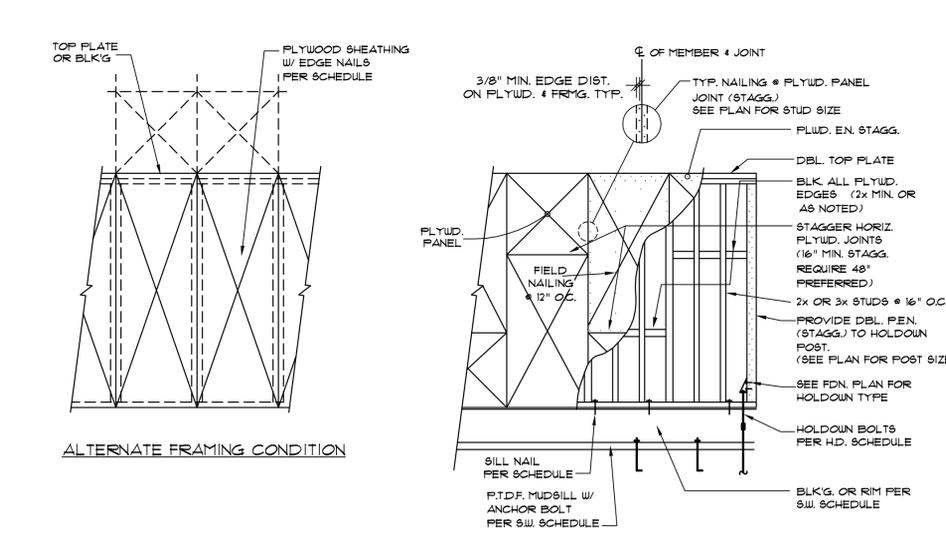
6 TYPICAL REBAR DET.



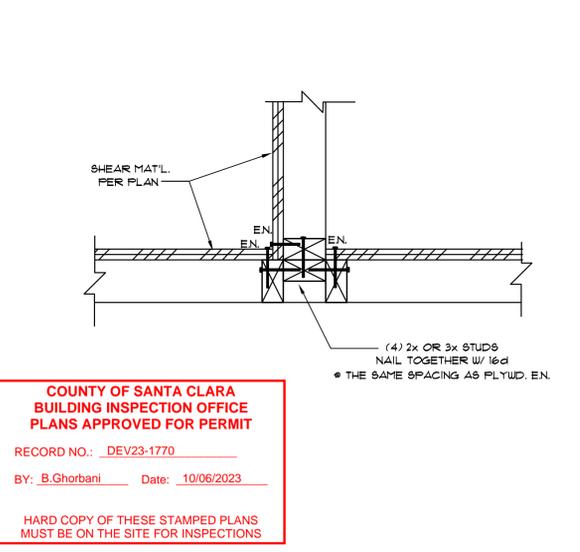
3 TRENCH DETAIL



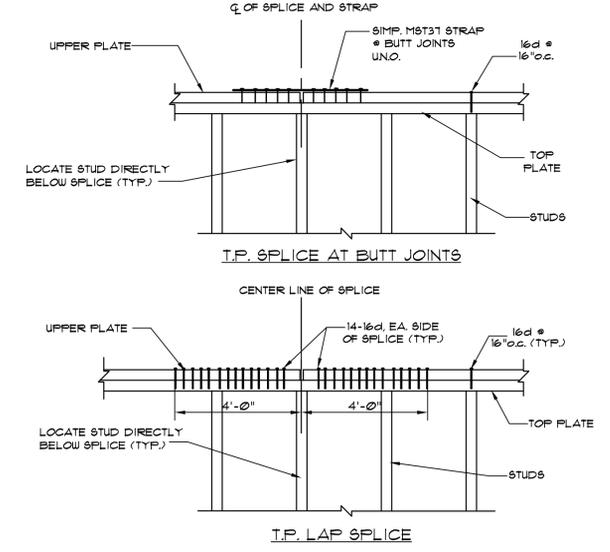
1 TYP. CL'G. JSTS. @ BALLON FRAME WALL



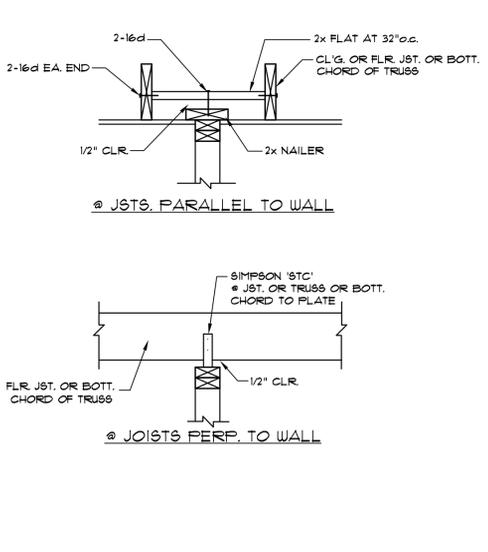
11 TYP. PLYWOOD SHEAR WALLS



7 TYP. SHEAR TRANSFER DET. @ WALL INTERSECTIONS



4 TYP. TOP PL. SPLICE DET.



2 TYP. NON-BRG. WALL @ TOP CONN.

COUNTY OF SANTA CLARA
BUILDING INSPECTION OFFICE
PLANS APPROVED FOR PERMIT
RECORD NO.: DEV23-1770
BY: B.Ghorbani Date: 10/06/2023
HARD COPY OF THESE STAMPED PLANS
MUST BE ON THE SITE FOR INSPECTIONS

MS Engineering & Assoc., Inc.
Consulting Structural Engineering Services
4906 EL Camino Real Suite 208
Los Altos, CA 94022



DRAWN	CHECKED
E.S.	M.S.
PROJECT NO.	DATE
23-051	06/08/23
CAD FILE NO.	
DRAWING NO.	

SD-2
OF SHEET

