

Via

REVISION TABLE	
NUMBER	DATE

DIAZ RESIDENCE
0 GRONWALL LN
LOS ALTOS, CA 94024

Project Information

DRAWINGS PROVIDED BY:
Via Builders Inc
4600 El Camino Real #209
Los Altos, CA 94022
650-948-1077 LIC#717805

DATE:

4/2/2021

SCALE:

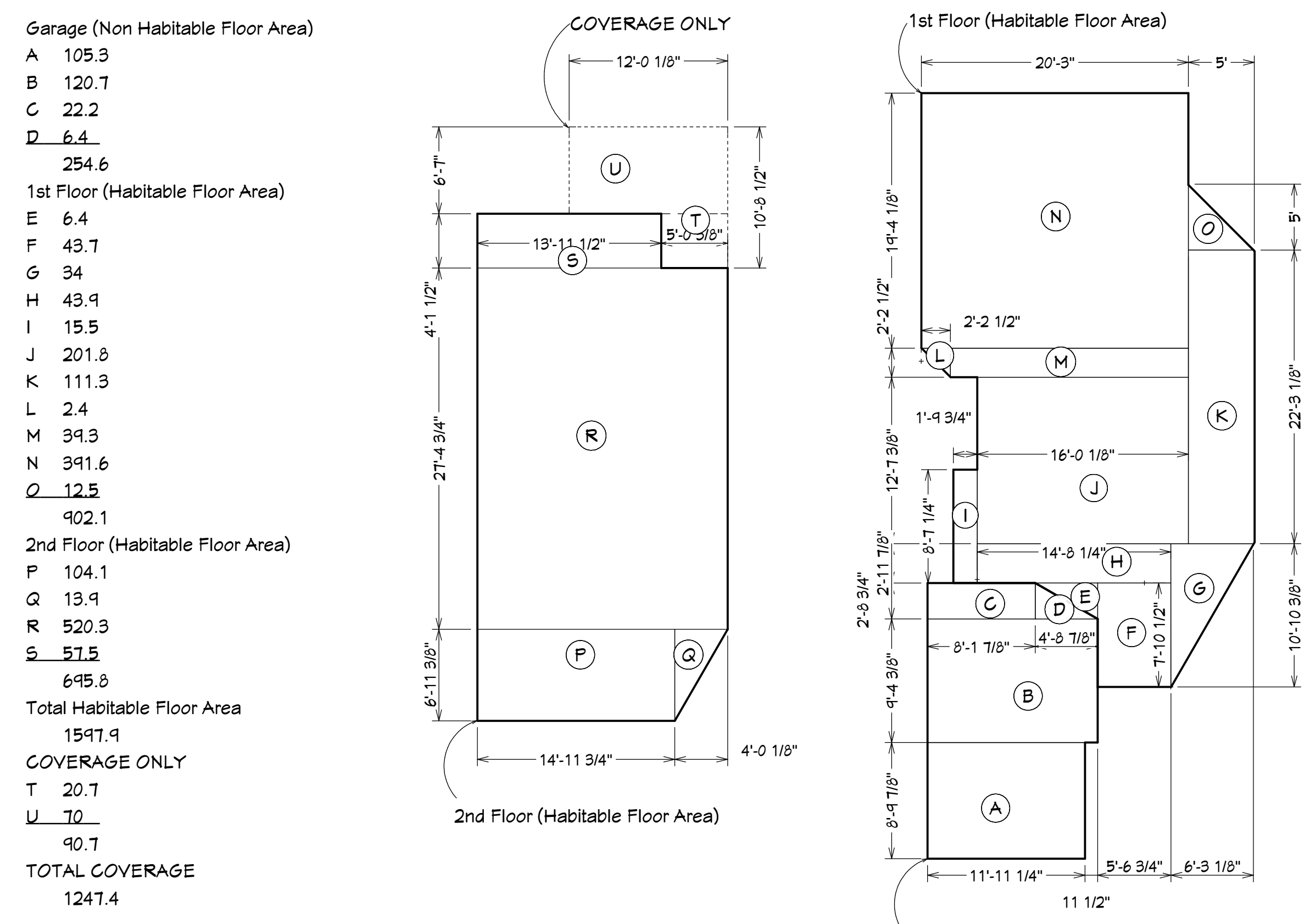
SHEET:

A-1

<u>OWNER</u> Patricia Diaz 0 Gronwall Ln Los Altos, CA 94024 650-814-7281	<u>CONTRACTOR</u> Via Builders Inc 4600 El Camino Real #209 Los Altos, CA 94022 650-948-1077 LIC#717805
<u>ENGINEER</u>	<u>CIVIL ENGINEER</u>

- 2013 California Residential Code
- 2013 California Building Code
- 2013 California Electrical Code
- 2010 California Energy Code
- 2013 California Mechanical Code
- 2013 California Plumbing Code
- 2013 California Green Building Standards
- 2013 California Fire Code

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FLOOR AREA DIAGRAM
See pg C1 for verification

Project Summary
New Home Construction

0 Gronwall Ln, Los Altos
APN: 336-10-038
District: R1-10
Property Size: 5359 sf
Occupancy Type: R3
Type of construction: V-B

Lot Coverage: Allowed lot coverage is 35% x property size:
35 x 5359 sf= 1876 sf
(N) Lot Coverage: 1247.4 sf

Floor Area: Allowed Floor Area is 35% x Net Lot Area:
.35 x 5359 sf= 1876 sf
(N) Floor Area: 1852.5 sf

<u>Setbacks</u>	<u>Allowed</u>	<u>Proposed</u>
Front	5'	5'
Side	0'	
Rear	0'	



CONCEPTUAL RENDERING

0 Gronwall Ln

VICINITY MAP

General

- 1/2" gypsum board installed from foundation to roof sheathing on the garage side at separation wall between garage and residence (CRC Table R302.6)
- 5/8" Type "X" gypsum board installed on ceilings and supporting members (i.e. beams, columns and bearing walls) where living areas are above or ceiling is used as the separation (CRC Table R302.6)
- 1-3/8" minimum solid core or 20 min rated door with self closing and self latching devices at separation wall between garage and residence (CRC R302.5.1)
- Tub/Shower walls must be smooth, hard, non-absorbent surface (e.g. ceramic tile or fiberglass) to a height not less than 6' above the floor (CRC R307.2)
- Minimum 36" deep landing outside all exterior doors not more than 7-3/4" lower than threshold for in-swing doors; and at the same elevation on each side of the door for out-swing doors. (CRC R311.3)
- Depth of landing must be equal to width of stairs (CRC 1009.8)
- 7-3/4" Rise maximum and 10" Run Minimum for all stairs (CRC 302.7)
- 1/2" gypsum board at walls and soffit of enclosed space under stairs
- Must have 6'-8" minimum headroom at stairway (CRC311.7.2)
- Handrails to have a 1-1/4" minimum and 2" maximum grippable cross section, no sharp corners, and at a height of 34" to 38" above nosing, extended continuously from top to bottom of riser, and terminate at newel posts or return walls (CRC R311.7.8.3)
- Guard is required on the open side of the stairway at a height of 34" to 38" and shall have intermediate rails spaced such that a sphere 4-3/8" in diameter cannot pass through (CRC R312.1.3 Exception 2)
- Fireplace and chimney must be pre-manufactured and are required to be listed and installed in accordance with their listings and manufacturer's instructions (CRC R1004)
- Concrete Foundation wall shall extend at least 6" above the finished grade (CRC R404.1.6)

Mechanical

- All air ducts penetrating seperation wall or ceiling between garage and living area shall be 26 GA. minimum (CRC R302.5.2)
- Door to furnace room must be 24" wide minimum
- Furnace room shall provide a minimum 30" clear working space
- Indoor Air Quality and Exhaust- each bathroom shall be mechanically vented and shall comply with the following per Calgreen Section 4.506
 - i. Fans shall be ENERGY STAR compliant and be ducted to terminate to the outside of the building
 - ii. Unless functioning as a component of a whole house ventilation system, fans must be controlled by humidity control

Electrical

- Carbon monoxide alarms shall be installed in this dwelling unit per CRC R315
- Carbon Monoxide alarms shall be listed as complying with UL 2034 and UL 2075
- Two small appliance brach circuits are required for the kitchenand are limited to supplying wall and counter space outlets for the kitchen, pantry, breakfast room, dinning room or similar areas. These circuits can not serve outside plugs, range hood, disposals, dishwashers or microwaves- only the required countertop/ wall outlets including the refrigerator.
- All branch circuits that supply 120-volt, single phase, 15- and20- ampere outlets installed in dwelling unit family rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be ARC-fault circuit interrupter (AFCI) protected per CEC 210.12(B)
- GFCI protection is required Bathrooms, Garages, outdoor receptacles & receptacles serving countertop within 6' of laundry, utility or wet bar sink

A dedicated 20 amp branch circuit shall be provided to supply the laundry receptacle outlet

A dedicated 20 amp circuit is required to serve the bathroom outlets. This circuit cannot supply any other receptacles, lights, fans, etc. (Exception- where the circuit supplies a single bathroom, outlets for other equipment within the same bathroom shall be permitted to be supplied.)

Plumbing

- Per California Civil Code 1101.4(a), all noncompliant plumbing fixtures throughout the entire house must be upgraded to meet new water efficient plumbing fixtures:
 - a. Water Closets with flow rates exceeding 1.6 gpf to be upgraded to 1.28 gpf maximum
 - b. Shower heads with flow rates exceeding 2.5 gpm to be upgraded to 2.0 gpm @ 80 psi
 - c. Bathroom faucets with flow rates exceeding 2.2 gpm to be upgraded to 1.8 gpm @ 60 psi
 - d. Kitchen faucets with flow rates exceeding 2.2 gpm to be upgraded to 1.8 gpm @ 60 psi
 - Seismic anchorage of water heater to include anchors or straps at points within the upper & lower 1/3rd of its verticle dimension. Lower strap must be a minimum 4" above the controls
 - Water Heater shall have a pressure relief valve with a drain to the exterior
 - Water Heater shall installed at least 18" above floor and be protected from vehicle impact (e.g. Bollard)
 - Water closets to have maximum 1.28gpf
 - Showerheads to have maximum flow of 2 gallons per minute at 80psi
 - Lavatory faucets have a maximum flow rate not to exceed 1.5 gallons per minute at 60 psi
 - Kitchen faucet has a maximum flow rate not to exceed 1.8 gallons per minute at 60 psi
 - Shower and tub shower combinations shall be provided with individual control valves of the pressure balance or thermostatic mixing valve type (CPC Section 418.0)
 - First hour rating of Water Heater must be 80 gallons per CPC Table 5-1
- Per the Residential Mandatory Measures of the 2013 California Green Building Code:
- A copy of the operation & maintenance manual will be given to the building occupant or owner addressing items 1 through 10 in section 4.401.1.
 - Duct systems are to be sized, designed, and equipment shall be selected per section 4.507.2. HVAC system installers must be trained and certified and special inspectors employed by the enforcing agency must be qualified.
 - Automatic irrigation systems controllers installed at the time of final inspection shall be weather based (4.304.1)
 - Rodent Proofing- Annular spaces around pipes, electrical cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency per Calgreen Section 4.406.1
 - Cover duct openings and other related air distribution component openings during construction per Calgreen Section 4.504.1
 - Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits per Calgreen Section 4.504.2.1
 - Paints, stains ans other coatings shall be compliant with VOC limits per Calgreen Section 4.504.2.2
 - Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds. Verification of compliance shall be provided per Calgreen Section 4.504.2.3
 - Carpet and carpet systems shall be compliant with VOC limits per Calgreen Section 4.504.3
 - Minimum 80% of floor area recieving resilient flooring shall comply with 4.504.4
 - Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards per Calgreen Section 4.504.5
 - Install capillary break and vapor retarder at slab on grade foungrations (4.505.2)
 - Check moisture content of building materials in wall and floor framing before enclosure (4.505.3)
 - Each bathroom shall be mechanically ventilated with an Energy Star exhaust fan, and fan must be controlled by humidity control (4.506.1)



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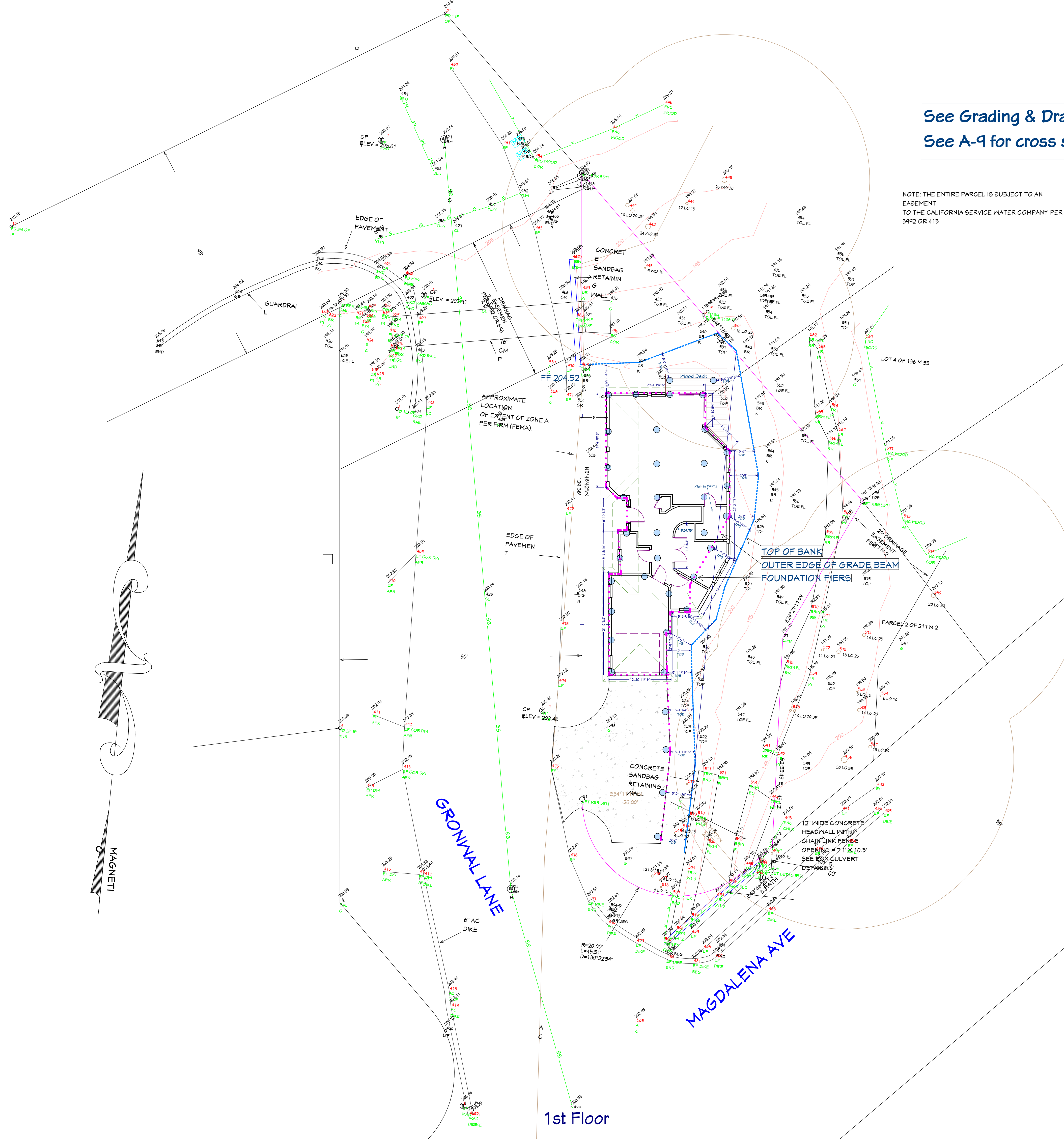
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See Grading & Drainage Plan C1 for elevation data
See A-9 for cross section of grade & foundation

NOTE: THE ENTIRE PARCEL IS SUBJECT TO AN
EASEMENT
TO THE CALIFORNIA SERVICE WATER COMPANY PER
3442 OR 415



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Site Plan

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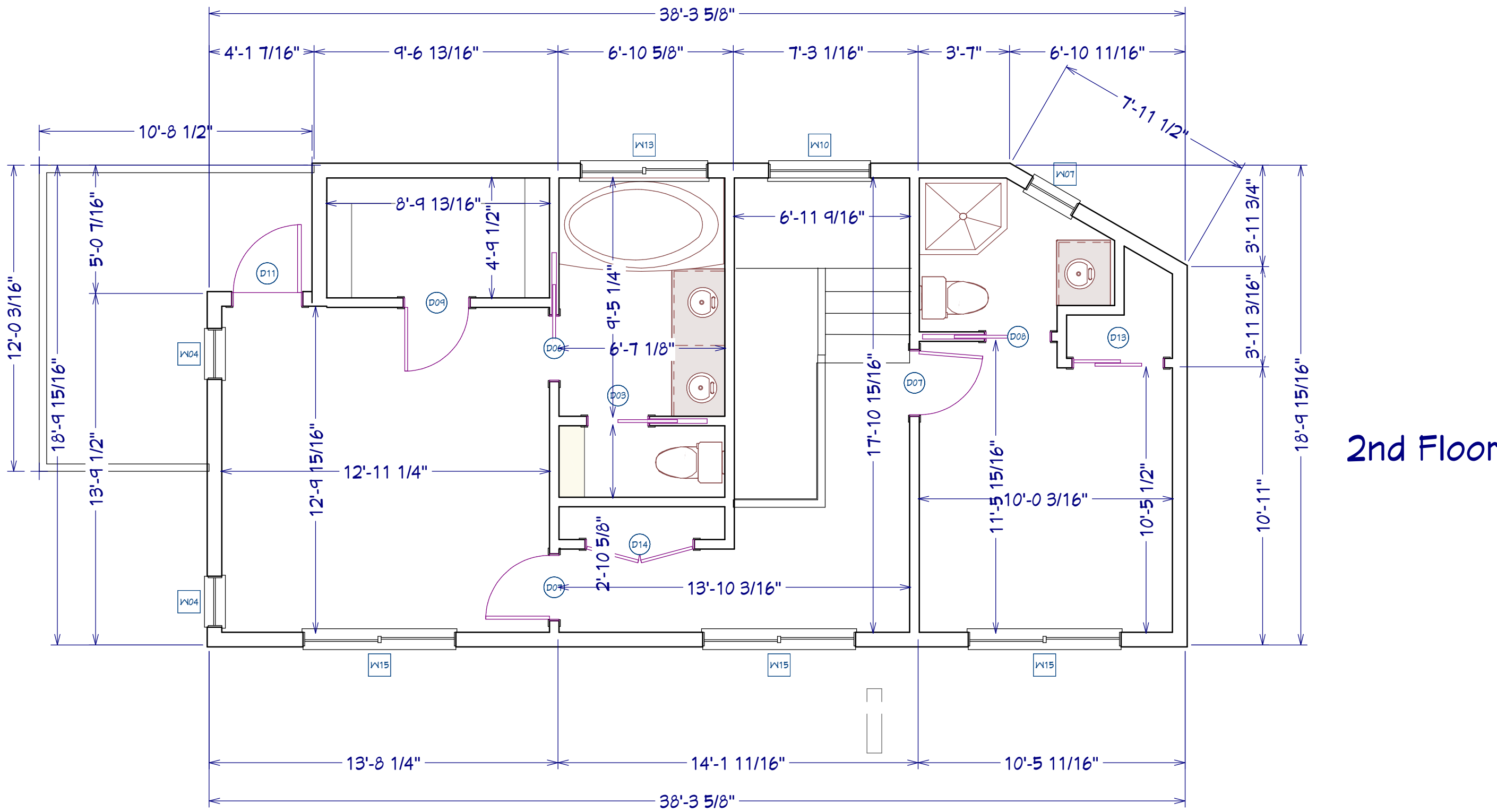
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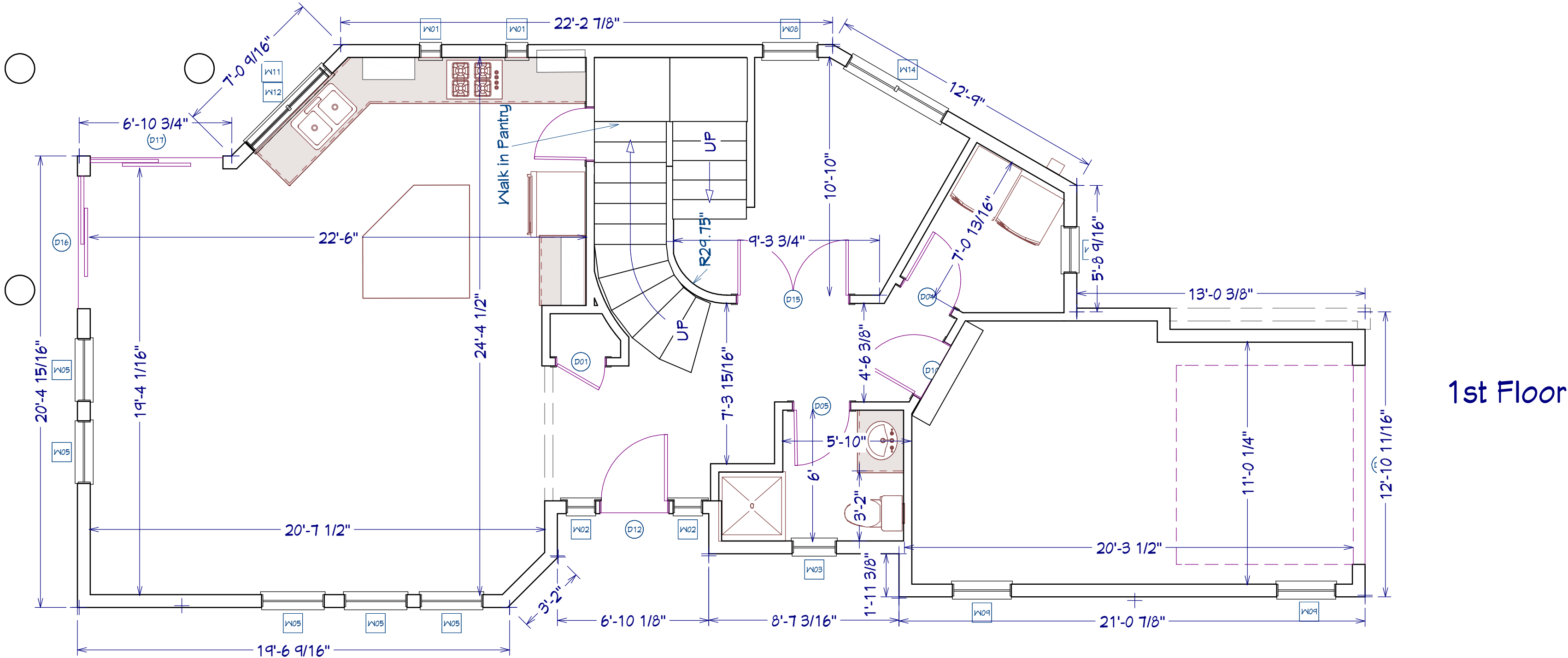
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DOOR SCHEDULE											
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	THICKNESS	FIRE
D01	2268	1	1	2268 R IN	26"	80"	28"X82 1/2"	HINGED-DOOR P04	2X6X31" (2)	1 3/8"	
D02	2468	1	1	2468 L IN	28"	80"	30"X82 1/2"	HINGED-GLASS PANEL	2X6X33" (2)	1 3/8"	
D03	2468	1	2	2468 L	28"	80"	58"X82 1/2"	POCKET-DOOR P04	2X6X61" (2)	1 3/8"	
D04	2668	1	1	2668 L IN	30"	80"	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)	1 3/8"	
D05	2668	1	1	2668 R IN	30"	80"	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)	1 3/8"	
D06	2668	1	2	2668 L	30"	80"	62"X82 1/2"	POCKET-PANEL	2X6X65" (2)	1 3/8"	
D07	2668	2	2	2668 L IN	30"	80"	32"X82 1/2"	HINGED-PANEL	2X6X35" (2)	1 3/8"	
D08	2668	1	2	2668 R	30"	80"	62"X82 1/2"	POCKET-PANEL	2X6X65" (2)	1 3/8"	
D09	2668	1	2	2668 R IN	30"	80"	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)	1 3/8"	
D10	2868	1	1	2868 L EX	32"	80"	34"X83"	EXT. HINGED-SLAB	2X6X37" (2)	1 3/8"	YES
D11	2868	1	2	2868 R EX	32"	80"	34"X83"	EXT. HINGED-GLASS PANEL	2X6X37" (2)	1 3/4"	
D12	3080	1	1	3080 R EX	36"	96"	38"X99"	EXT. HINGED-DOOR P11	2X6X41" (2)	1 3/4"	
D13	3668	1	2	3668 R IN	42"	80"	44"X82 1/2"	SLIDER-DOOR P04	2X6X47" (2)	1 3/8"	
D14	4268	1	2	4268 L/R IN	50"	80"	52"X82 1/2"	DOUBLE HINGED-DOOR P04	2X8X55" (2)	1 3/8"	
D15	5068	1	1	5068 L/R IN	60"	80"	62"X82 1/2"	DOUBLE HINGED-DOOR P04	2X8X65" (2)	1 3/8"	
D16	6080	1	1	6080 L EX	72"	96"	74"X99"	EXT. SLIDER-GLASS PANEL	2X10X77" (2)	1 3/4"	
D17	6080	1	1	6080 R EX	72"	96"	74"X99"	EXT. SLIDER-GLASS PANEL	2X10X77" (2)	1 3/4"	
D18	9080	1	1	9080	108"	96"	110"X99"	GARAGE-GARAGE DOOR CHD05	2X12X116" (2)	1 3/4"	



WINDOW SCHEDULE										
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	EGRESS	DESCRIPTION	TEMPERED
W01	1046SC	2	1	1046SC	12"	54"	13"X55"		SINGLE CASEMENT-HR	
W02	1454FX	2	1	1454FX	16"	64"	17"X65"		FIXED GLASS	YES
W03	2030SC	1	1	2030SC	24"	36"	25"X37"		SINGLE CASEMENT-HR	
W04	2038SH	2	2	2038SH	24"	44"	25"X45"		SINGLE HUNG	
W05	21050SC	5	1	21050SC	34"	60"	35"X61"		SINGLE CASEMENT-HR	
W06	2140SC	1	1	2140SC	25 1/8"	48"	26 1/8"X49"		SINGLE CASEMENT-HR	
W07	2140SH	1	2	2140SH	25 1/8"	48"	26 1/8"X49"		SINGLE HUNG	
W08	2650FX	1	1	2650FX	30"	60"	31"X61"		FIXED GLASS-CT	
W09	2846SC	2	1	2846SC	32"	54"	33"X55"		SINGLE CASEMENT-HR-CT	
W10	4050FX	1	2	4050FX	48"	60"	49"X61"		FIXED GLASS-CT	
W11	4914FX	1	1	4914FX	57"	16"	58"X17"		FIXED GLASS-AT	
W12	5040LS	1	1	5040LS	60"	48"	61"X49"		LEFT SLIDING	
W13	5040LS	1	2	5040LS	60"	48"	61"X49"		LEFT SLIDING	
W14	5046LS	1	1	5046LS	60"	54"	61"X55"		LEFT SLIDING	
W15	6042LS	3	2	6042LS	72"	50"	73"X51"		LEFT SLIDING	



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Floor Plan

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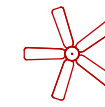
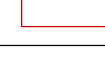
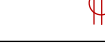
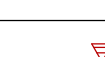
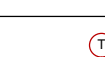
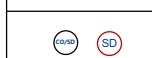
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1/4" = 1'

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A-3

In Progress

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Carbon/Smoke Combo, Standard
	Electrical Breaker Panel



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Mechanical Plan

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SCALE:

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A-4

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Roof Plan

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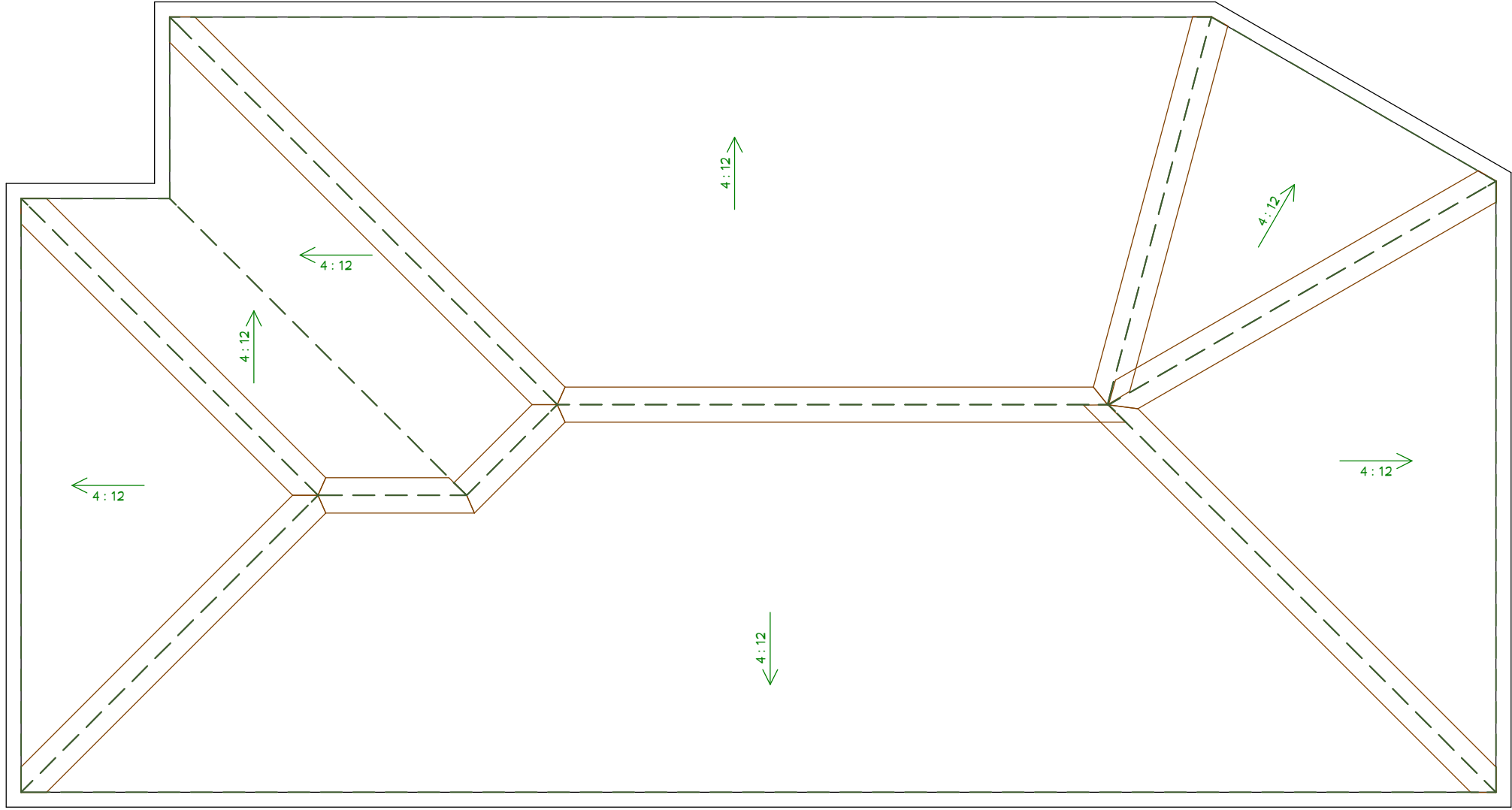
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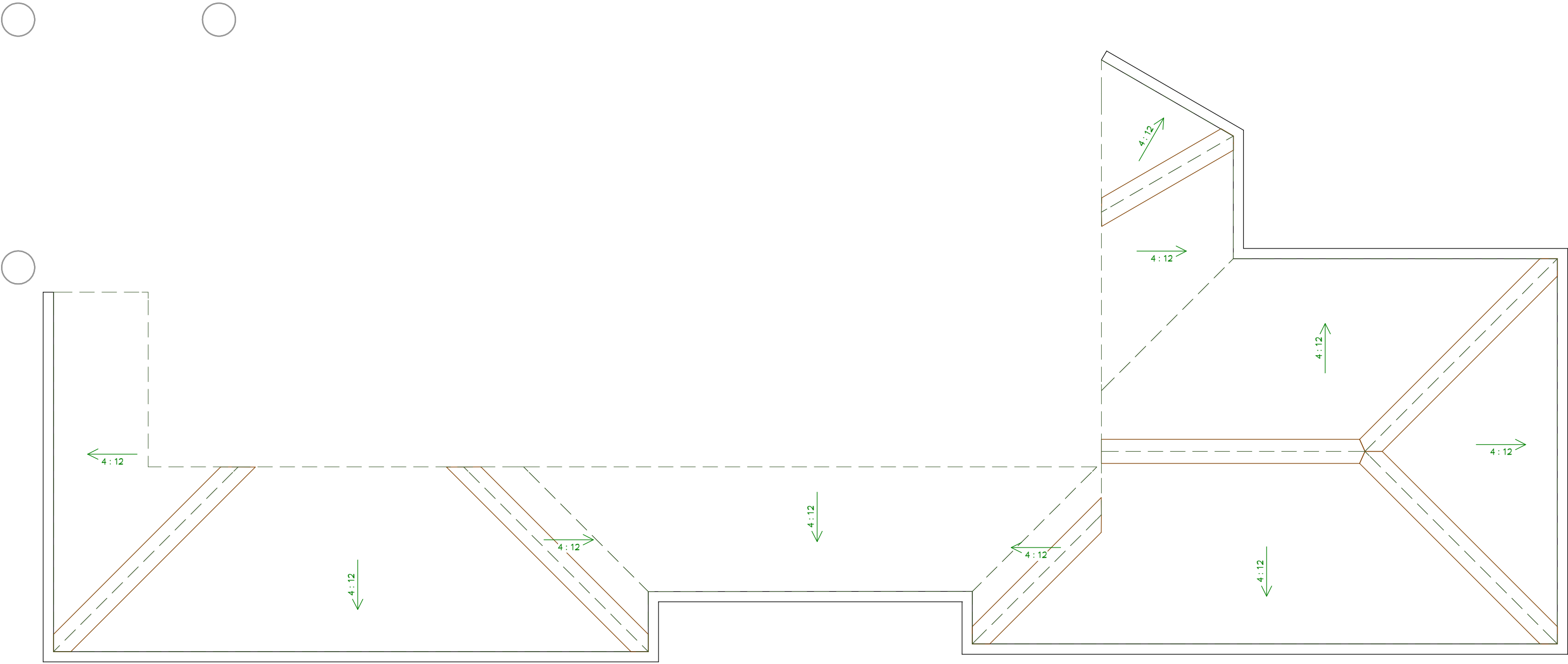
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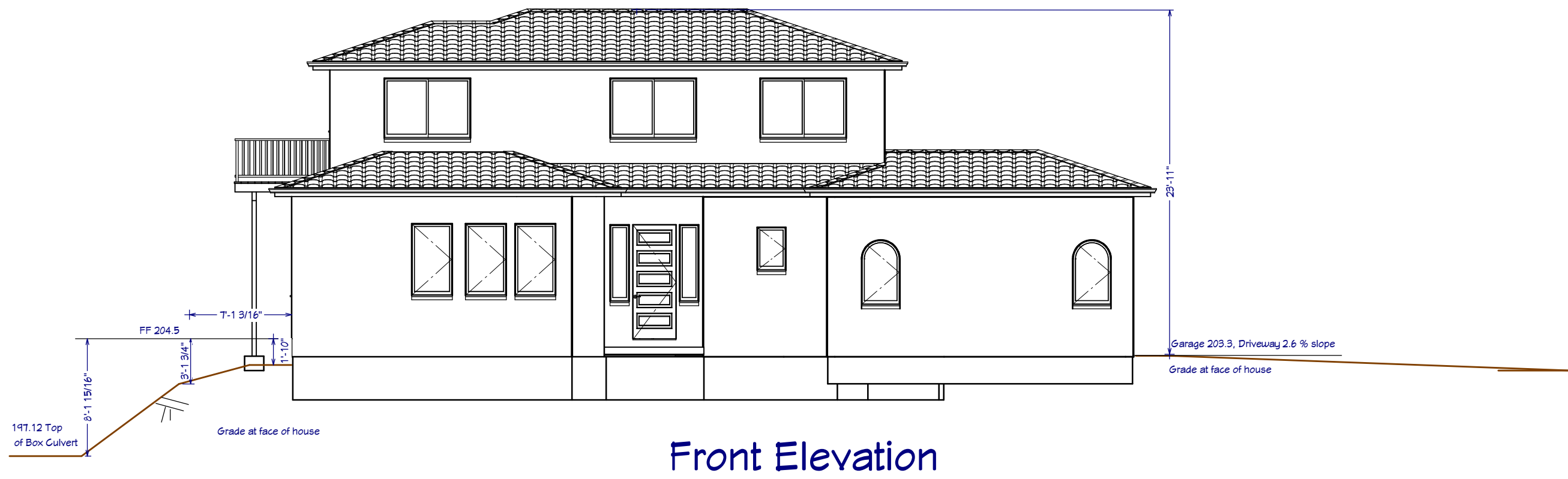
A-5

2nd Floor



1st Floor

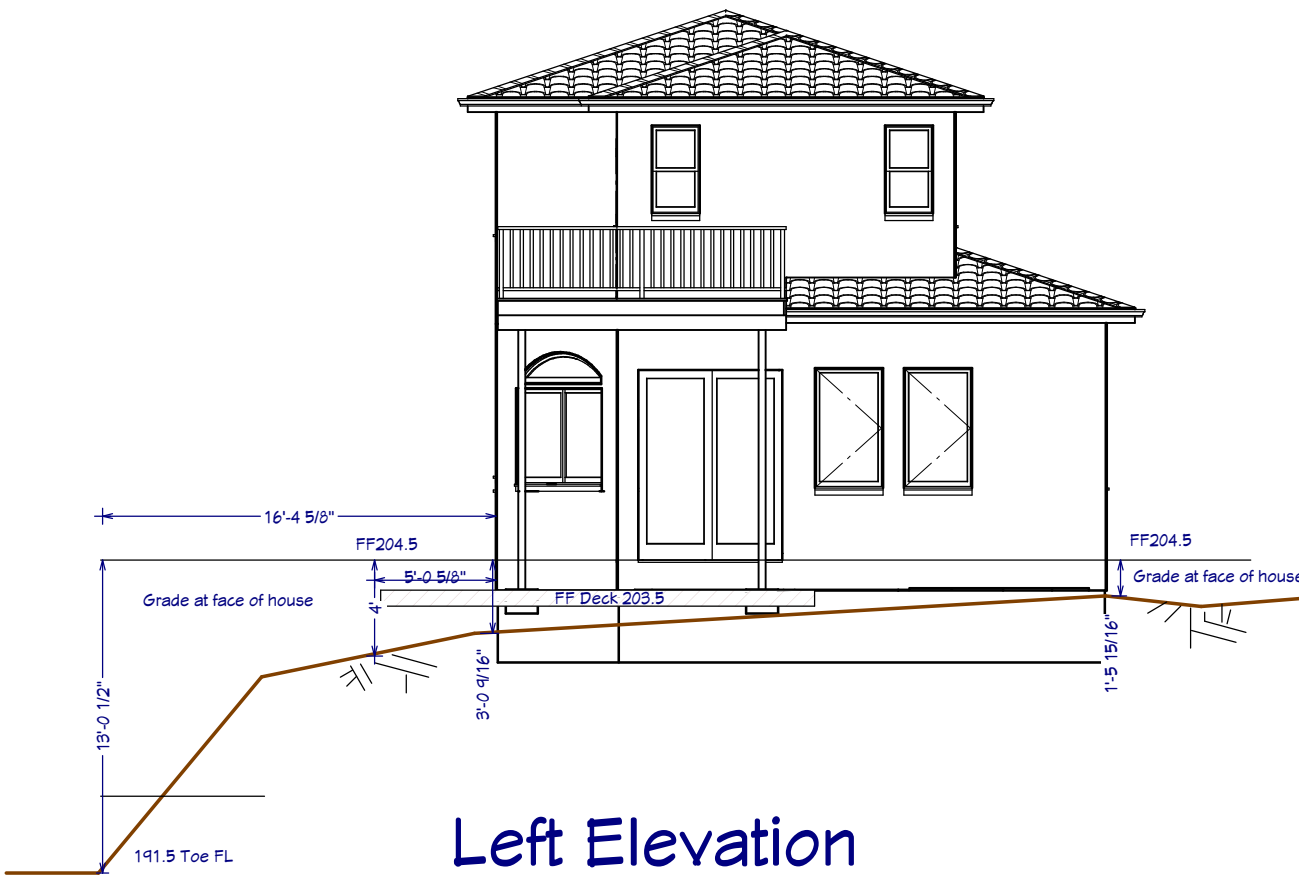




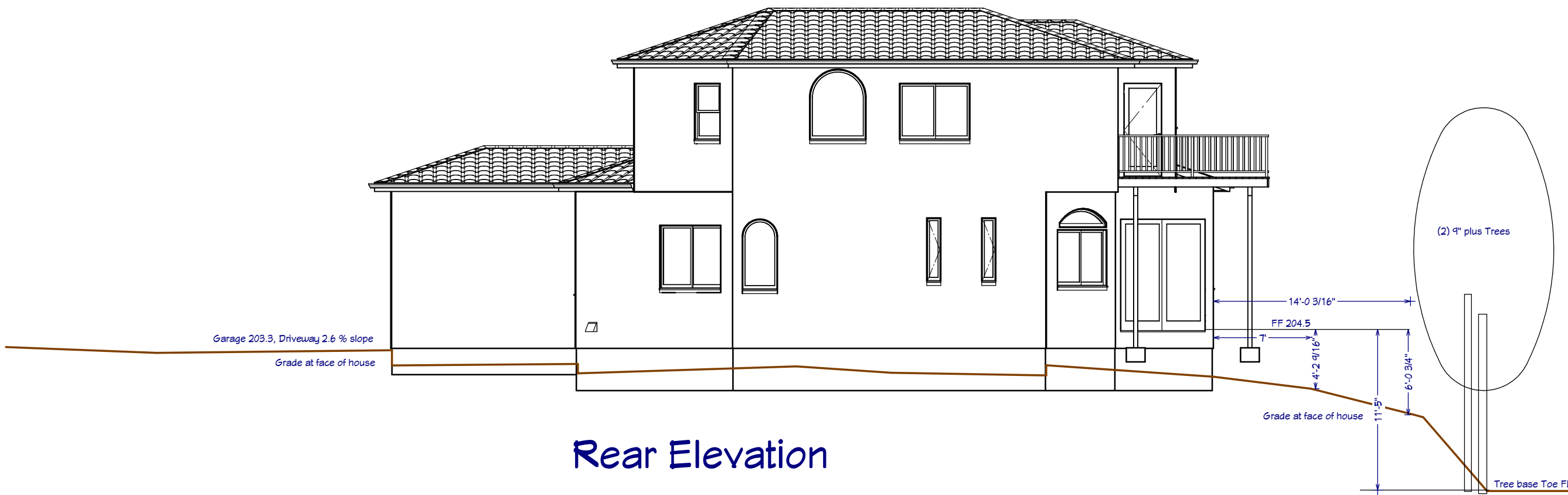
Front Elevation



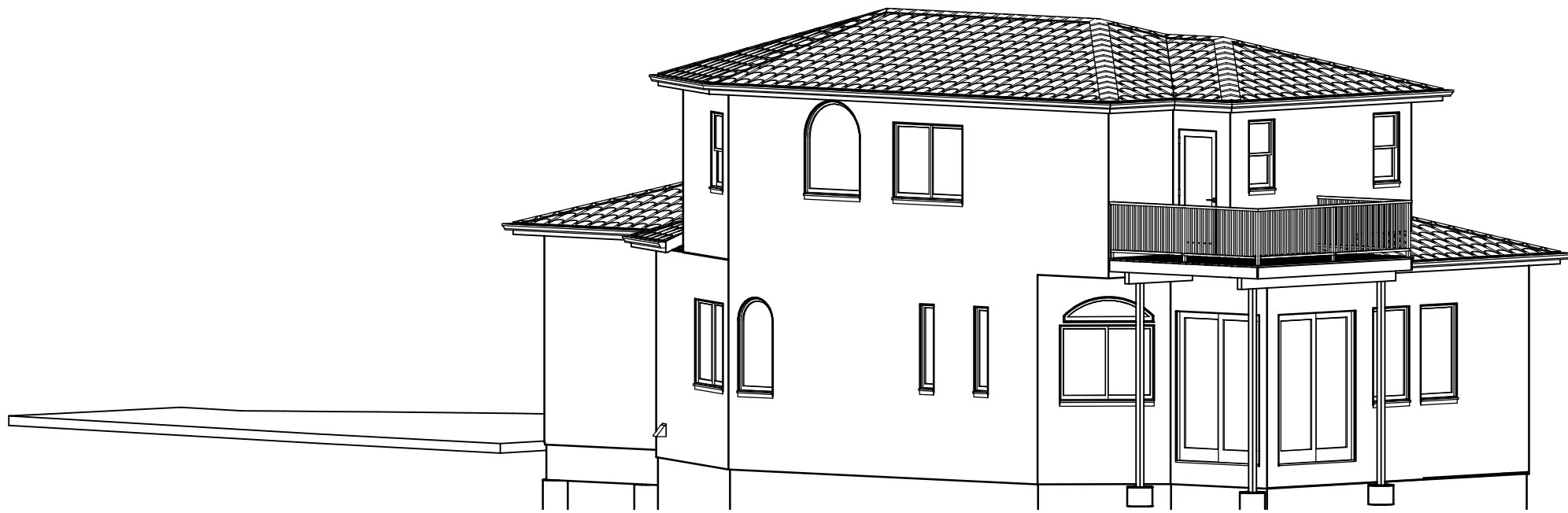
Front Right



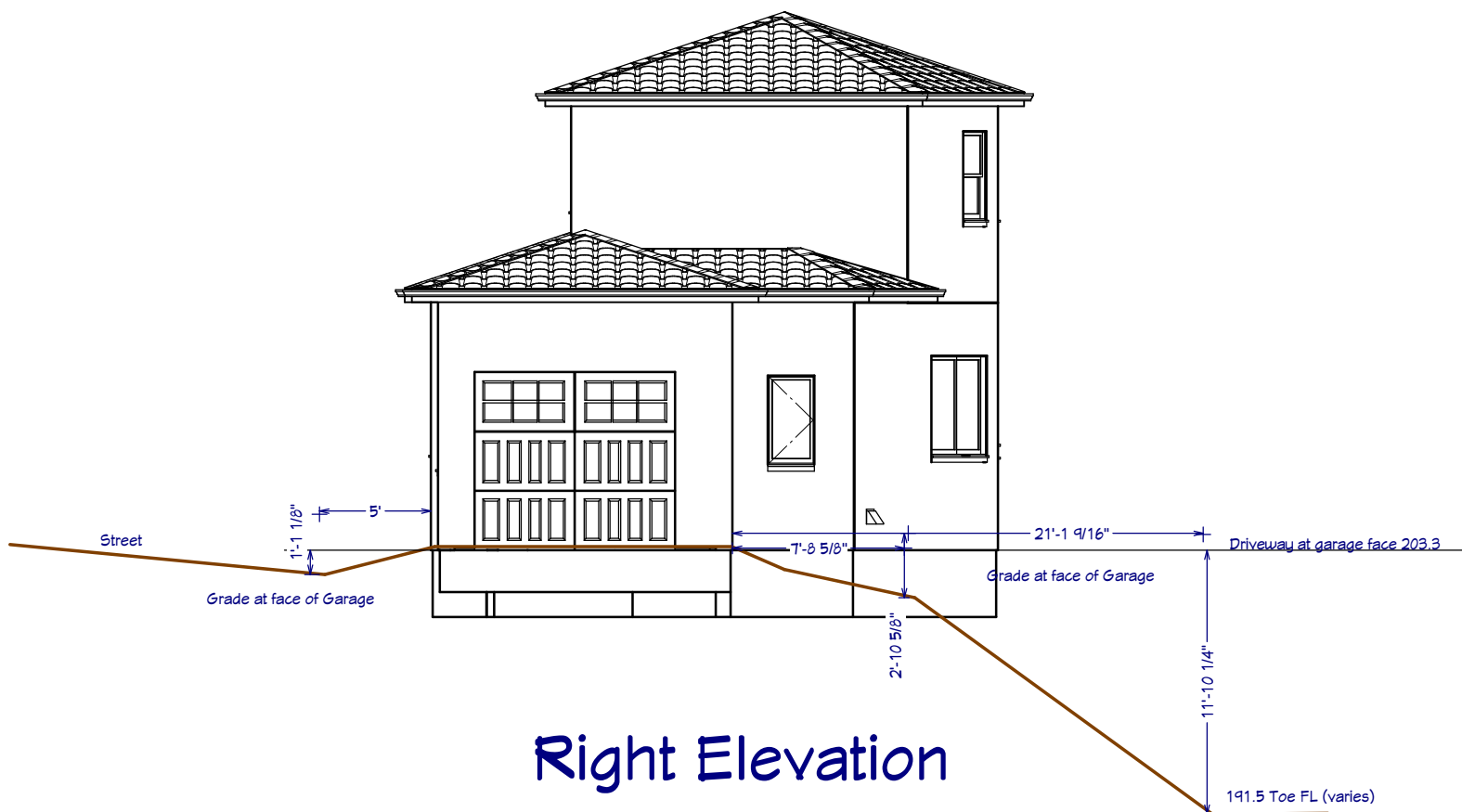
Left Elevation



Rear Elevation



Rear Left



Right Elevation

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Elevations

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In Progress



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Cross Sections

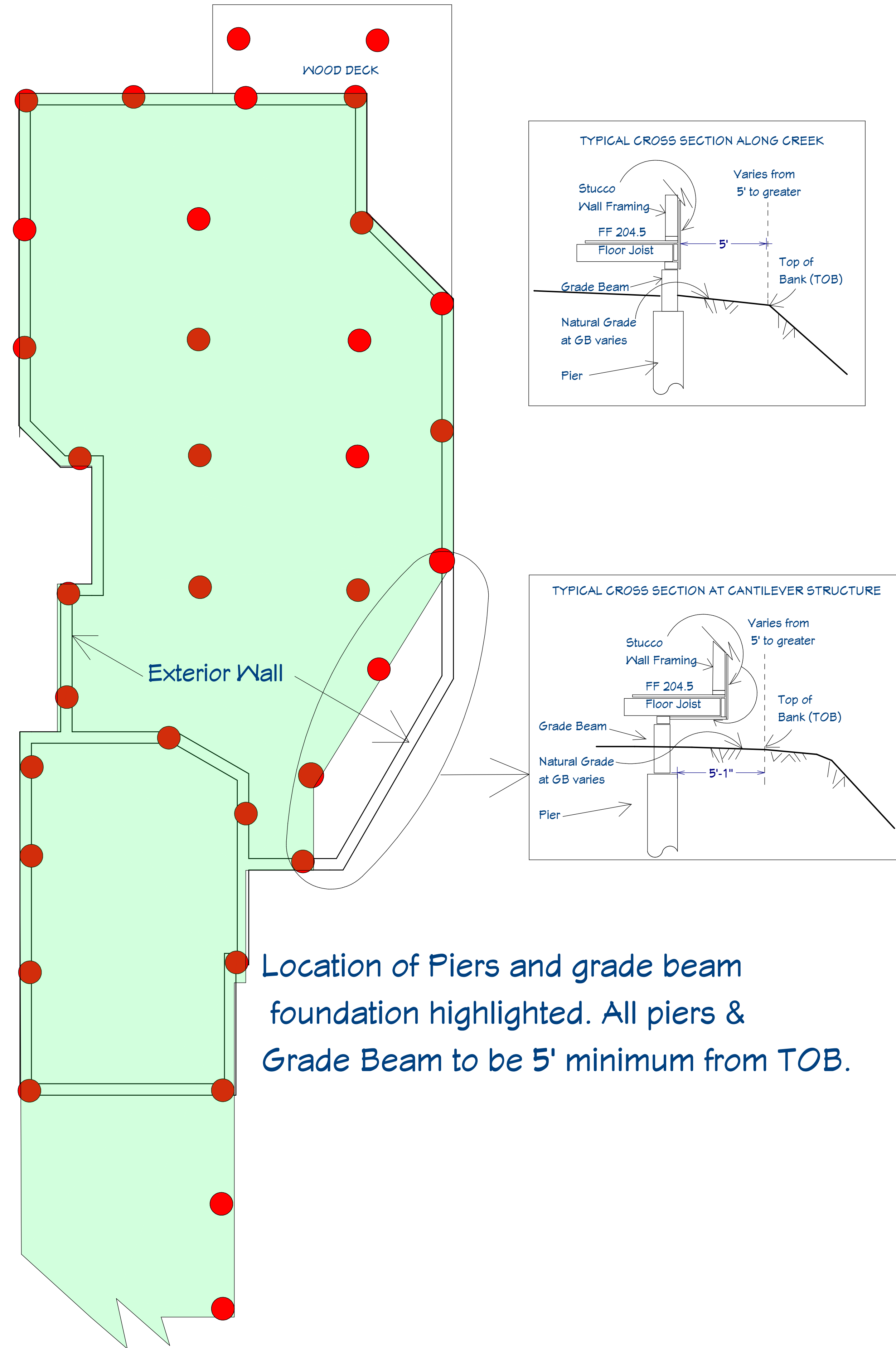
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A-7



Location of Piers and grade beam foundation highlighted. All piers & Grade Beam to be 5' minimum from TOB.

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Foundation Concept

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