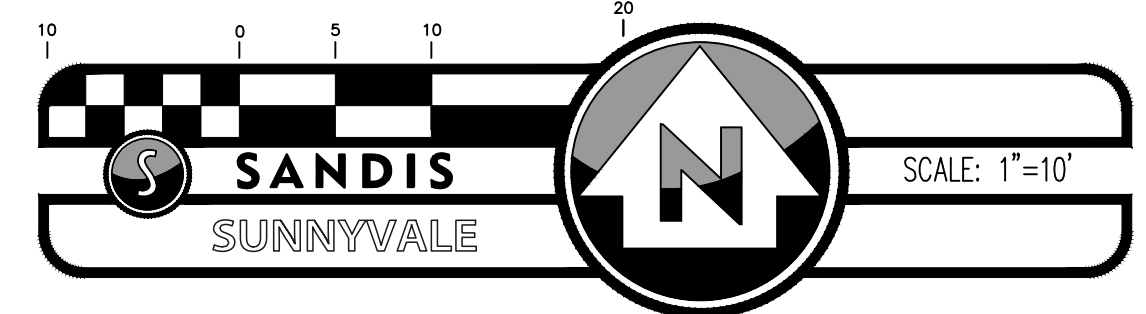


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**LEGEND**  
 NATIVE PLANTING ON STREAM BANKS

**LOT SIZE VERIFICATION:**  
 NET LOT AREA: 5,359 SF  
 BASED ON TOPOGRAPHIC SURVEY BY  
 WILSON SURVEYS DATED DECEMBER 2014

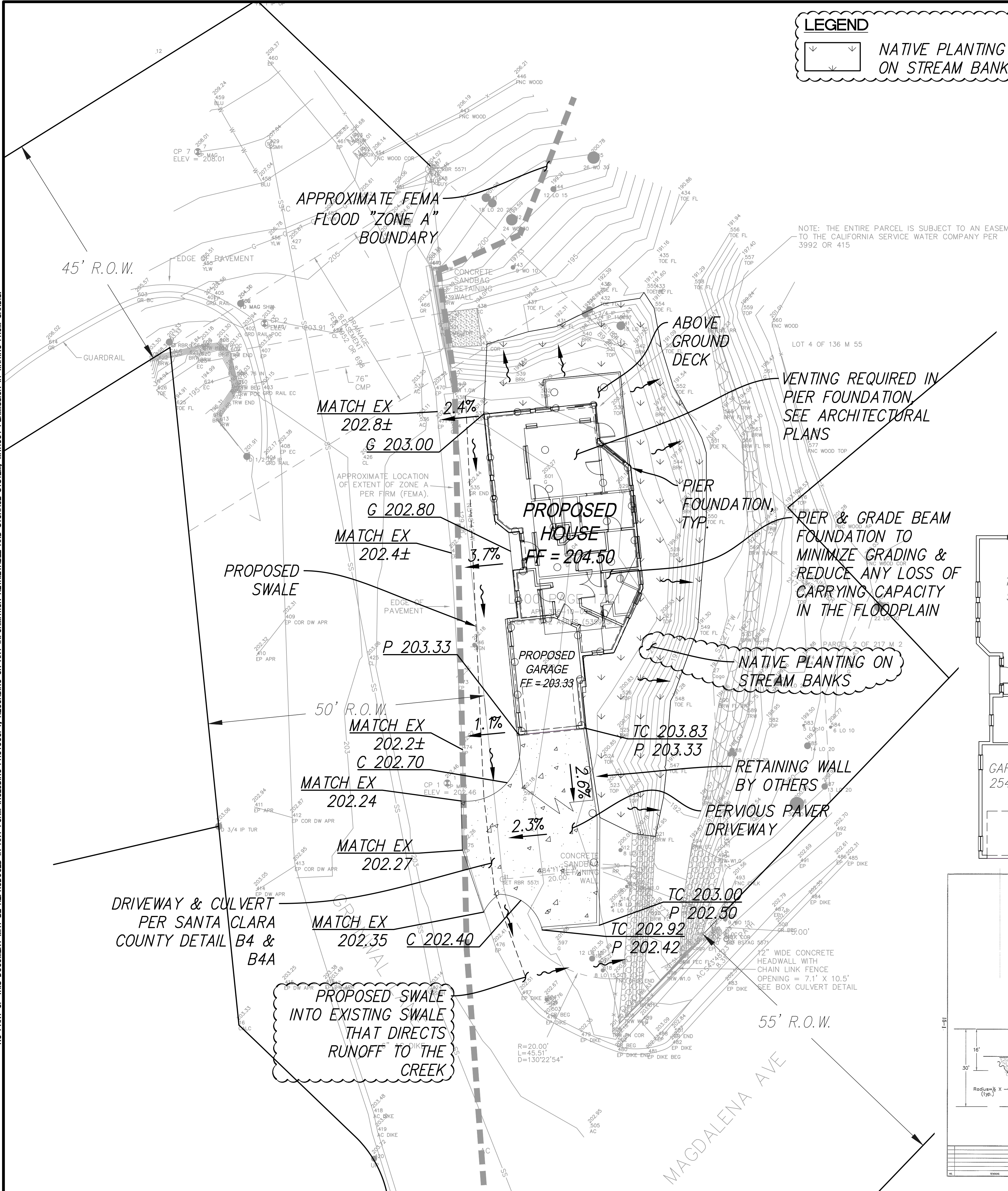
1ST FLOOR AREA = 902.1 SF  
 2ND FLOOR AREA = 695.8 SF  
 GARAGE AREA = 254.6 SF  
 DECK AREA = 90.7 SF



APPROXIMATE GRADING VOLUMES/DEPTHS		
	QUANTITIES (CY)	MAX. DEPTH (FT)
CUT (EXTERIOR)	5	1.0
FILL (EXTERIOR)	5	1.8

**NOTE:**  
 QUANTITIES BASED ON A CUT AND FILL UNDER A 1 FOOT CROSS SECTION OF PERVIOUS PAVEMENT.  
**NOTE:**  
 ACCORDING TO THE CURRENT FLOOD INSURANCE RATE MAP THE EXISTING PARCEL IS COMPLETELY WITHIN ZONE A. SINCE THE BASE FLOOD ELEVATION FOR ZONE A IS NOT DETERMINED, AN ESTIMATED BASE FLOOD ELEVATION HAS BEEN DETERMINED USING THE MANUAL "MANAGING FLOODPLAIN IN APPROXIMATE ZONE A AREAS - A GUIDE FOR OBTAINING AND DEVELOPING BASE (100 YEAR) FLOOD ELEVATIONS". THIS ELEVATION HAS BEEN DETERMINED TO BE 202.50.

IT SHOULD BE NOTED THAT THE AREA COVERED BY THE SHADED AREA AS SHOWN ON THE FLOOD INSURANCE RATE MAP DOES NOT NECESSARILY AND EXACTLY CORRESPOND WITH THE ESTIMATED FLOOD ZONE AS DESCRIBED ABOVE.

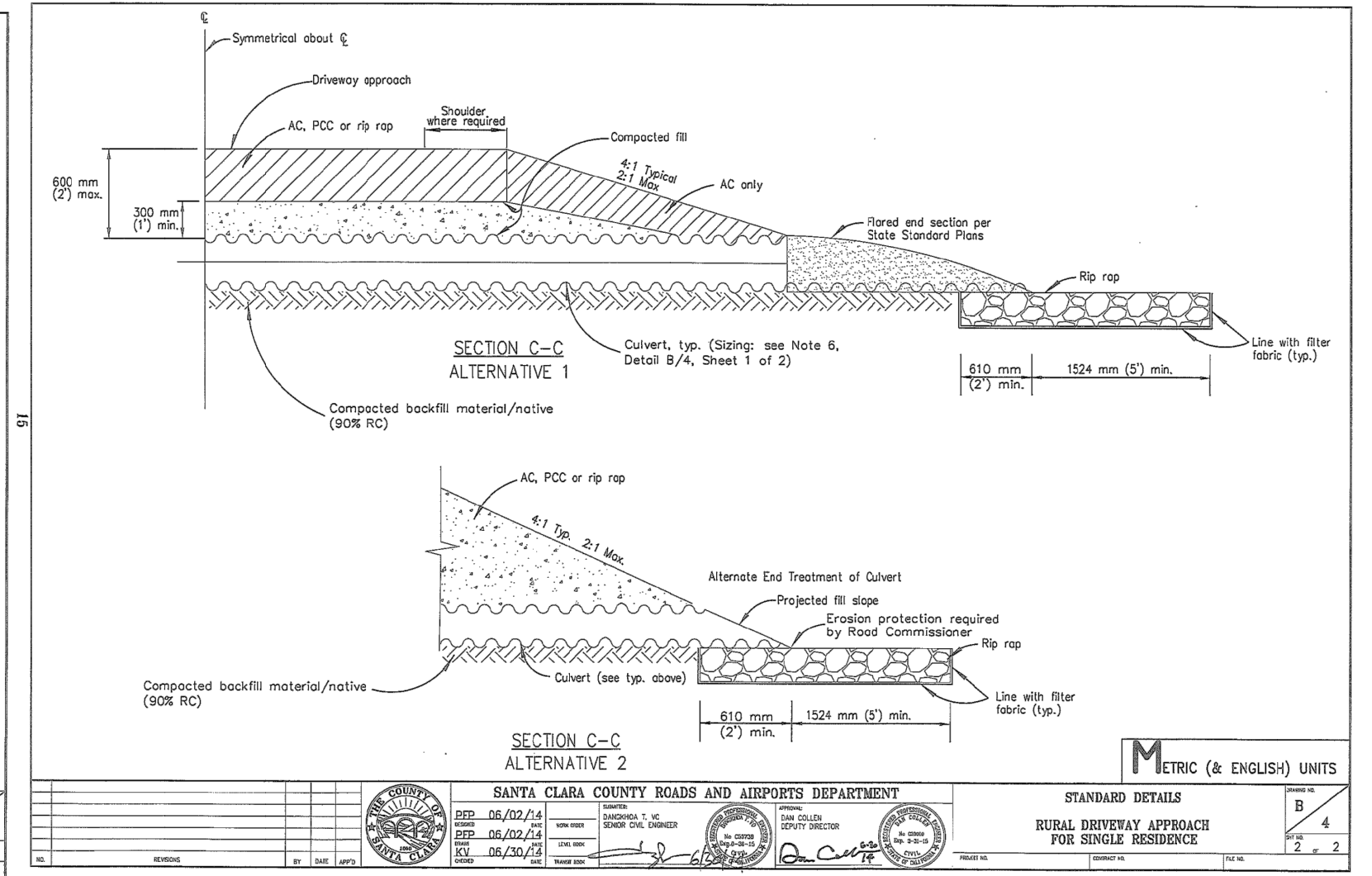
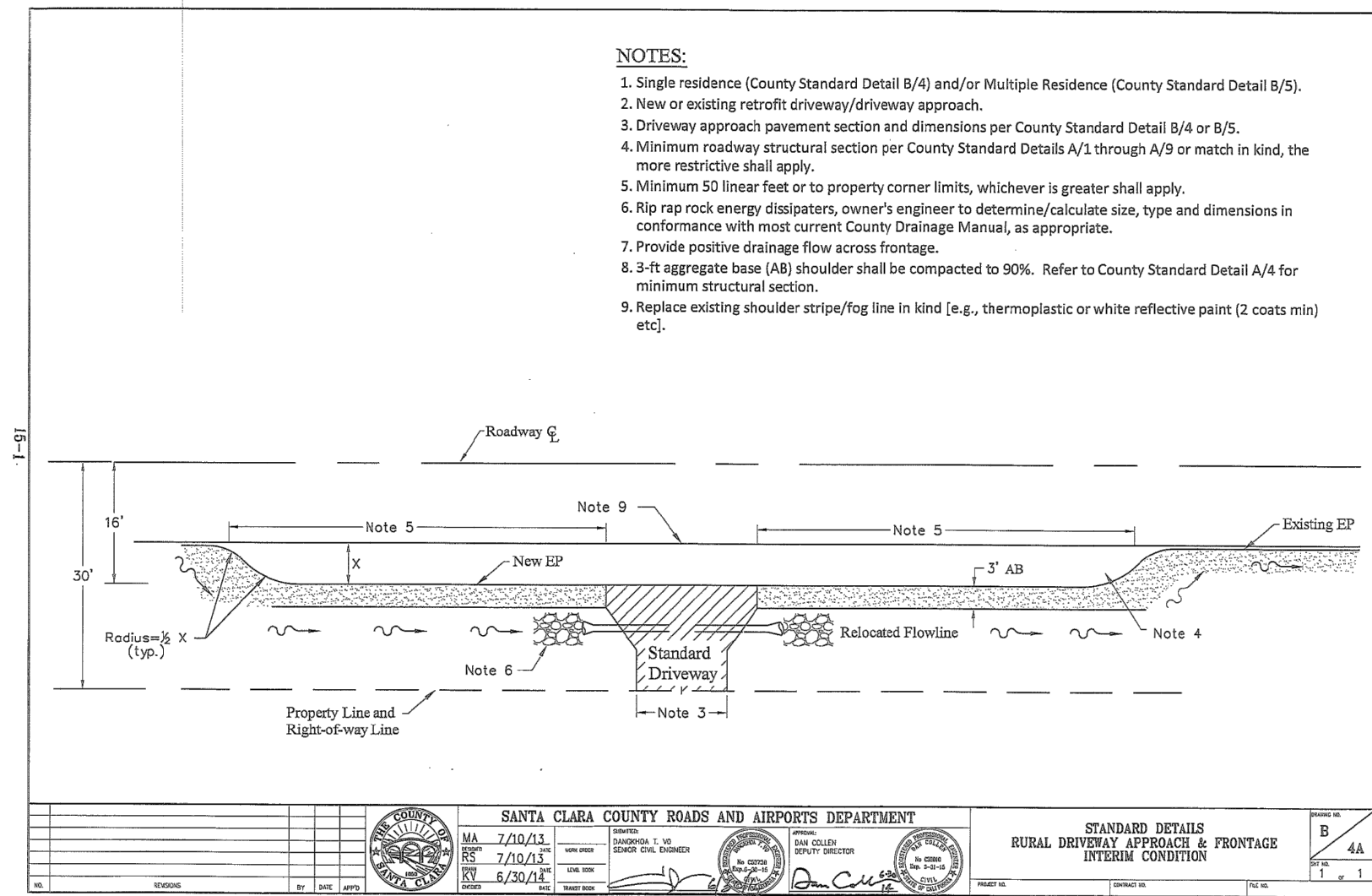
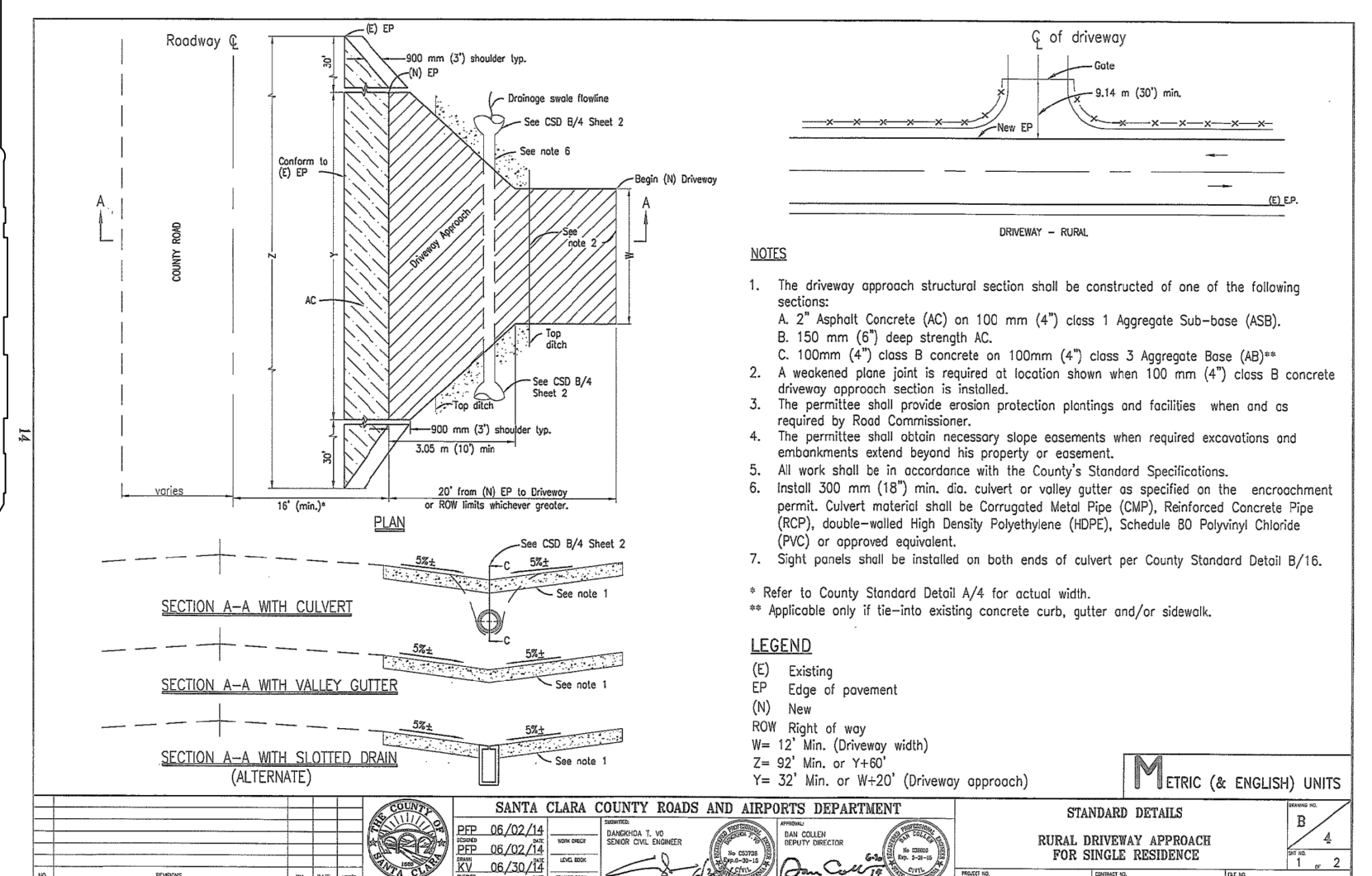
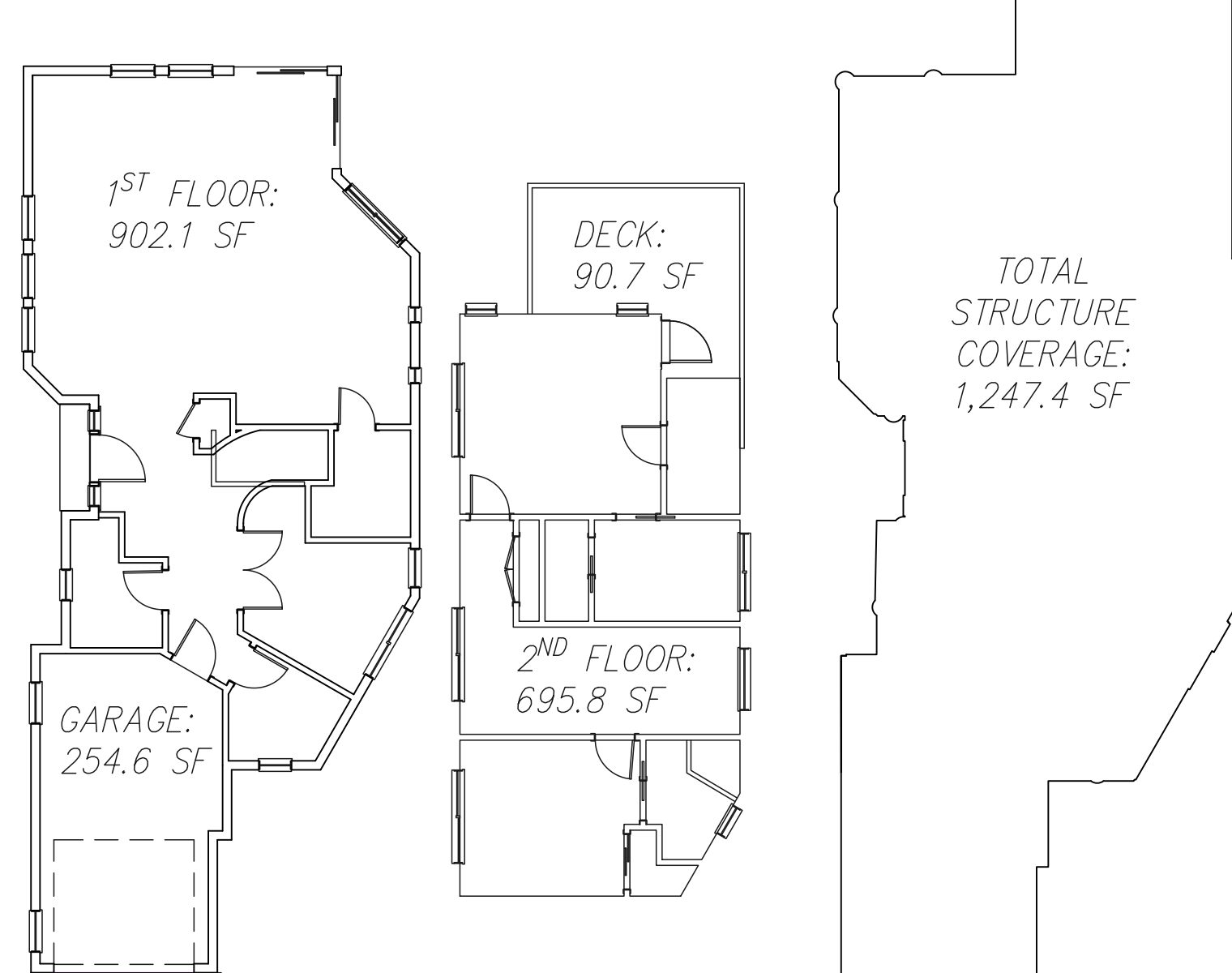


**FLOOR AREA REQUIREMENTS:**  
 (AREA INSIDE EXTERIOR WALLS ON EACH FLOOR)  
 = 35% OF NET LOT AREA  
 = 0.35\*5359  
 = 1876 SF

**FLOOR AREA:**  
 = 902.1+695.8+254.6  
 = 1852.5 SF < 1876.0 SF

**LOT COVERAGE REQUIREMENTS:**  
 (AREA OF ALL STRUCTURES OVER 6 FEET IN HEIGHT)  
 = 35% OF PROPERTY SIZE  
 = 1876 SF

**LOT COVERAGE: 1,247.4 SF < 1876.0 SF**



**SANDIS** CIVIL ENGINEERS SURVEYORS PLANNERS  
 1700 Winchester Boulevard, Campbell, CA 95008 | P. 408.636.0900 | F. 408.636.0999 | www.sandis.net  
 SILICON VALLEY TRI-VALLEY CENTRAL VALLEY SACRAMENTO EAST BAY/SF

DATE: 03/12/2020  
 SCALE: 1"=10'  
 DRAWN BY: JS  
 APPROVED BY: CB  
 DRAWING NO.: 215015

DATE: MARCH 12, 2020  
 CHAD J. BROWNING  
 R.C.E. NO. 68315, EXPIRES 9-30-21

No.	REVISION/ISSUE	DATE	BY

GRADING AND DRAINAGE PLAN

PATRICIA DIAZ  
 GRONWALL LANE - APN 336-10-038  
 LOS ALTOS CALIFORNIA

SHEET  
**C-1**  
 OF 1 SHEETS  
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