

PRELIMINARY GRADING PLANS [APN 654-64-012]
JAMES LE RESIDENTIAL DEVELOPMENT
BELLA MADEIRA LANE
SAN JOSE, SANTA CLARA COUNTY

PROJECT SCOPE OF WORK

- THE PROJECT IS A NEW RESIDENTIAL DEVELOPMENT, DOUBLE STORY WITH BASEMENT GARAGE AND MEDIA ROOM.
- APPROXIMATE SQUARE FOOTAGE = 2,400 SQ FT (REFER FLOOR PLAN DRAWINGS), AND APPROXIMATELY 1,000 SQ FT BASEMENT AREA.
- THE PROJECT REQUIRES:
 - CONSTRUCTION OF ACCESS ROAD OF APPROXIMATELY 500 FT LONG.
 - CONSTRUCTION OF RETAINING WALLS
 - CONSTRUCTION OF CONCRETE BLOCK WALLS
 - CONSTRUCTION OF SEPTIC TANK AND LEACH FIELDS

GENERAL SITE CONDITIONS

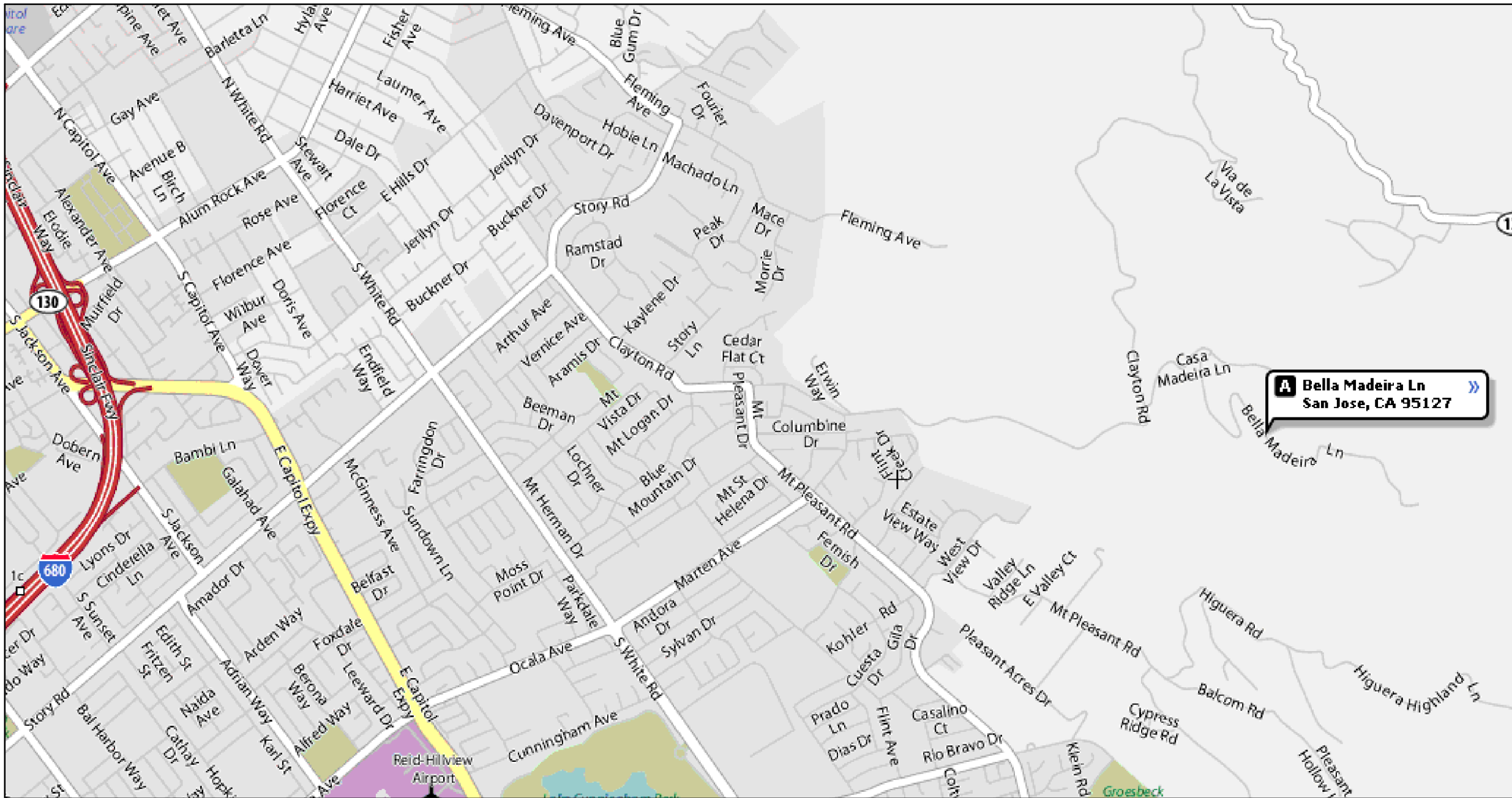
- THE DEVELOPMENT IS ON SLOPED GROUND.
- GEOLOGICAL AND GEOTECHNICAL INVESTIGATION ASSESSMENT FOR SITE HAS BEEN COMPLETED, AND SUBMITTED TO COUNTY.

SITE DRAINAGE AND STORM WATER MANAGEMENT

- SITE DRAINAGE PATTERN SHALL BE MAINTAINED TO EXISTING CONDITIONS AS MUCH AS PRACTICAL.
- THE RUNOFF FROM THE DEVELOPED AREA SHALL MATCH THE EXISTING CONDITIONS RUNOFF FOR A 2-YEAR 24 HOUR EVENT. STORAGE SHALL BE PROVIDED TO MAINTAIN THE PEAK FLOW TO PRE-DEVELOPMENT CONDITIONS.

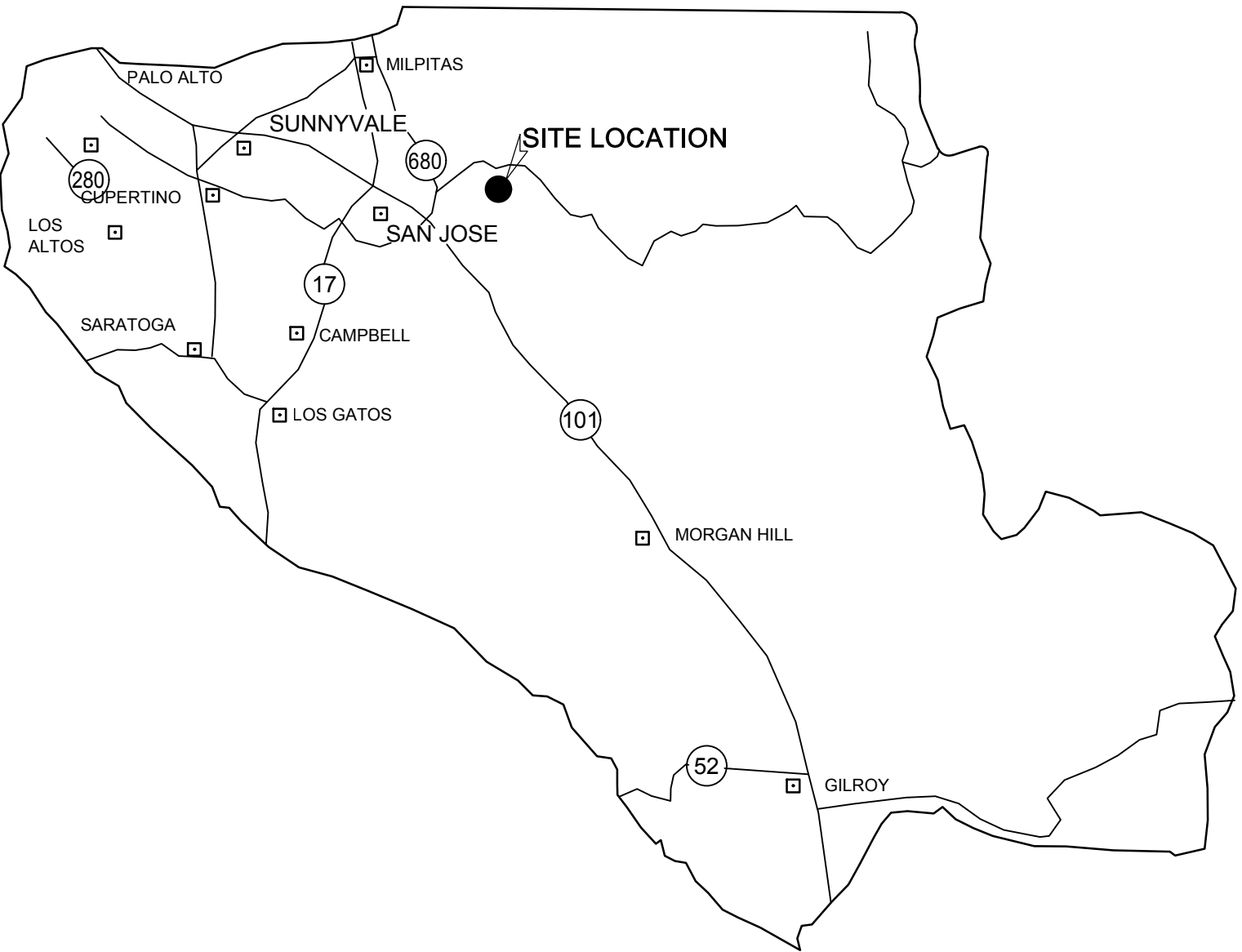
TREE SURVEY AND REMOVAL

- A DETAILED ARBORIST REPORT PREPARED FOR THE TREES TO BE REMOVED BY THIS DEVELOPMENT.
- THE TREES NOT TO BE REMOVED SHALL BE PROTECTED IN ACCORDANCE WITH COUNTY REQUIREMENTS.



LOCATION MAP

NTS



COUNTY LOCATION MAP

NTS



VICINITY MAP

NTS

SEPTIC AND LEACH FIELD PLAN*	
4.1	LEACH FIELD AND SEPTIC SYSTEM
10	LEACH FIELD PLAN AND DETAILS
10.1	LEACH FIELDS PLAN AND DETAILS
10.2	PROPOSED SUMP PUMP AND STORAGE TANK SPECIFICATION

*SUBMITTED SEPARATELY

LEGEND

DESCRIPTION	TO BE CONST.	EXISTING
PROPERTY LINE		
LIMITS OF WORK OR BOUNDARY		
CURB AND GUTTER		
SIDEWALK		
CITY SURVEY MONUMENT		
SEPTIC TIGHT-LINE		
SEPTIC TANK		
STORM SEWER		
STORM DRAIN MANHOLE		
DRAINAGE INLET AT CURB		
ELECTROLIER		
EDGE OF PAVEMENT		
PACING CONFORM OR OVERLAY TO FORM SMOOTH AC TRANSITION		
CATCH BASIN		

SHEET INDEX

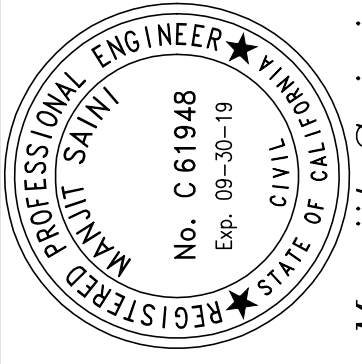
CIVIL PLANS	
C-1	COVER SHEET AND GENERAL NOTES
C-2	NOT USED
C-3	TOPOGRAPHIC SURVEY AND EXISTING SITE CONDITIONS
C-4	SITE GRADING KEY PLAN
C-4.1	GRADING PLAN / FIRE TURNAROUND PLAN
C-4.2	GRADING PLAN
C-5	NOT USED
C-6	DRIVEWAY GRADING / PLAN & PROFILE
C-7	NOT USED
C-7.1	HOUSE PAD SECTION / DRIVEWAY SECTION AND DETAIL
C-7.2	HOUSE PAD SECTION / DRIVEWAY SECTION AND DETAIL
C-8	DRIVEWAY CROSS SECTIONS / APPROACH PLAN PROFILE
C-9	GRADING DETAILS
C-10	NOT USED
C-11	TREE PLAN
L-1	TREE MITIGATION PLAN
ARCHITECTURAL PLANS	
A-1	COVER SHEET
A-2	SITE PLAN
A-3	LOWER LEVEL FLOOR PLAN
A-4	MAIN LEVEL FLOOR PLAN
A-5	UPPER LEVEL FLOOR PLAN
A-6	EXTERIOR ELEVATIONS-1
A-7	EXTERIOR ELEVATIONS
A-8	SECTIONS
A-9	SECTIONS
A-10	FLOOR AREA CALS.
LANDSCAPE PLANS	
L-1	NOT USED
L-2	NOT USED
ENGINEER'S NAME: <u>MANJIT SAINI, PE</u>	
<u> </u>	



INDER ENGINEERING LLC

JAMES LE
BELLA MADEIRA LANE
SAN JOSE, CA
APN: 654-64-012

COVER SHEET AND
GENERAL NOTES



Manjit Saini
ENGINEERING

REVISIONS			21 AUG 2019
NO.	1	PER MARCH 2018 COUNTY COMMENTS	DESIGNED BY: T. PENG
	2	PER OCT 2018 COUNTY COMMENTS	DRAWN BY: N.SINGH
			CHECKED BY: M. SAINI
			APPROVED BY: M. SAINI

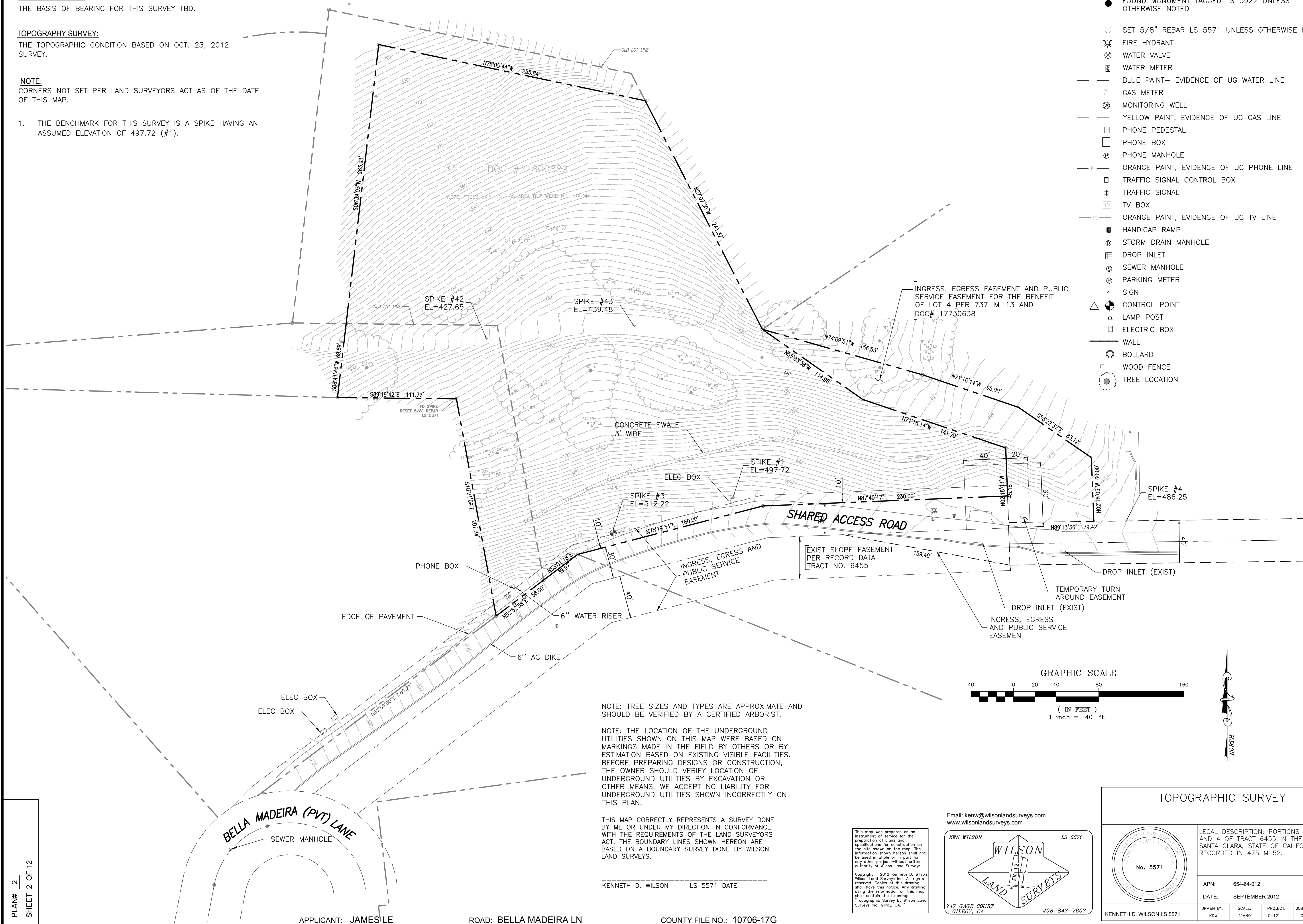
C-1

BASIS OF BEARING:
THE BASIS OF BEARING FOR THIS SURVEY TBD.

TOPOGRAPHY SURVEY:
THE TOPOGRAPHIC CONDITION BASED ON OCT. 23, 2012 SURVEY.

NOTE:
CORNERS NOT SET PER LAND SURVEYORS ACT AS OF THE DATE OF THIS MAP.

1. THE BENCHMARK FOR THIS SURVEY IS A SPIKE HAVING AN ASSUMED ELEVATION OF 497.72 (#1).



NOTE: TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.

NOTE: THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THIS MAP WERE BASED ON MARKINGS MADE IN THE FIELD BY OTHERS OR BY ESTIMATION BASED ON EXISTING VISIBLE FACILITIES. BEFORE PREPARING DESIGNS OR CONSTRUCTION, THE OWNER SHOULD VERIFY LOCATION OF UNDERGROUND UTILITIES BY EXCAVATION OR OTHER MEANS. WE ACCEPT NO LIABILITY FOR UNDERGROUND UTILITIES SHOWN INCORRECTLY ON THIS PLAN.

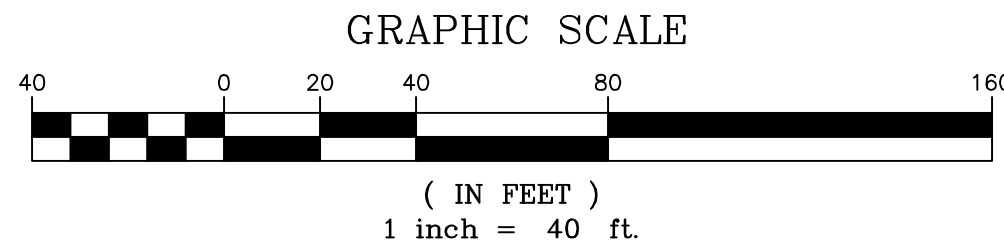
THIS MAP CORRECTLY REPRESENTS A SURVEY DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE BOUNDARY LINES SHOWN HEREON ARE BASED ON A BOUNDARY SURVEY DONE BY WILSON LAND SURVEYS.

KENNETH D. WILSON LS 5571 DATE

COUNTY FILE NO.: 10706-17G

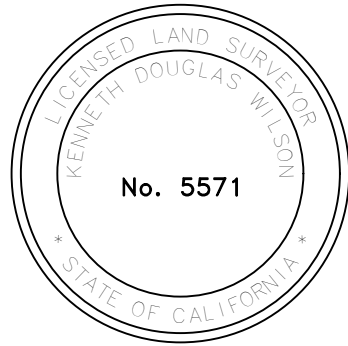
LEGEND

- FOUND MONUMENT TAGGED LS 5922 UNLESS OTHERWISE NOTED
- SET 5/8" REBAR LS 5571 UNLESS OTHERWISE NOTED
- ⛑ FIRE HYDRANT
- ⊗ WATER VALVE
- Ⓜ WATER METER
- BLUE PAINT— EVIDENCE OF UG WATER LINE
- GAS METER
- Ⓢ MONITORING WELL
- YELLOW PAINT, EVIDENCE OF UG GAS LINE
- PHONE PEDESTAL
- PHONE BOX
- Ⓢ PHONE MANHOLE
- ORANGE PAINT, EVIDENCE OF UG PHONE LINE
- TRAFFIC SIGNAL CONTROL BOX
- ★ TRAFFIC SIGNAL
- TV BOX
- ORANGE PAINT, EVIDENCE OF UG TV LINE
- ▬ HANDICAP RAMP
- Ⓢ STORM DRAIN MANHOLE
- Ⓢ DROP INLET
- Ⓢ SEWER MANHOLE
- Ⓢ PARKING METER
- SIGN
- △ CONTROL POINT
- ★ LAMP POST
- ELECTRIC BOX
- WALL
- BOLLARD
- WOOD FENCE
- TREE LOCATION



NORTH

TOPOGRAPHIC SURVEY



LEGAL DESCRIPTION: PORTIONS OF LOTS 1 AND 4 OF TRACT 6455 IN THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA AS RECORDED IN 475 M 52.

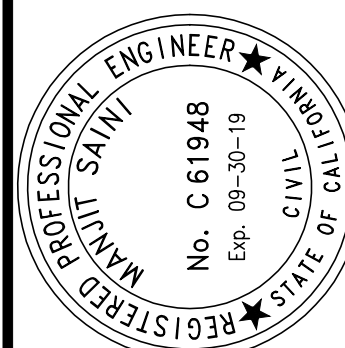
APN: 654-64-012
DATE: SEPTEMBER 2012

DRAWN BY: KDW SCALE: 1"=40' PROJECT: C-121 JOB NUMBER: C-121 SHEET: 1 OF 1



JAMES LE
BELLA MADEIRA LANE
SAN JOSE, CA
APN: 654-64-012

**TOPOGRAPHIC SURVEY AND
EXISTING SITE CONDITIONS**



Manjit Saini

DATE:	21 AUG 2019
DESIGNED BY:	T. PENG
DRAWN BY:	N. SINGH
CHECKED BY:	M. SAINI
APPROVED BY:	M. SAINI

REVISIONS	
NO.	
1	PER MARCH 2018 COUNTY COMMENTS
2	PER OCT 2018 COUNTY COMMENTS

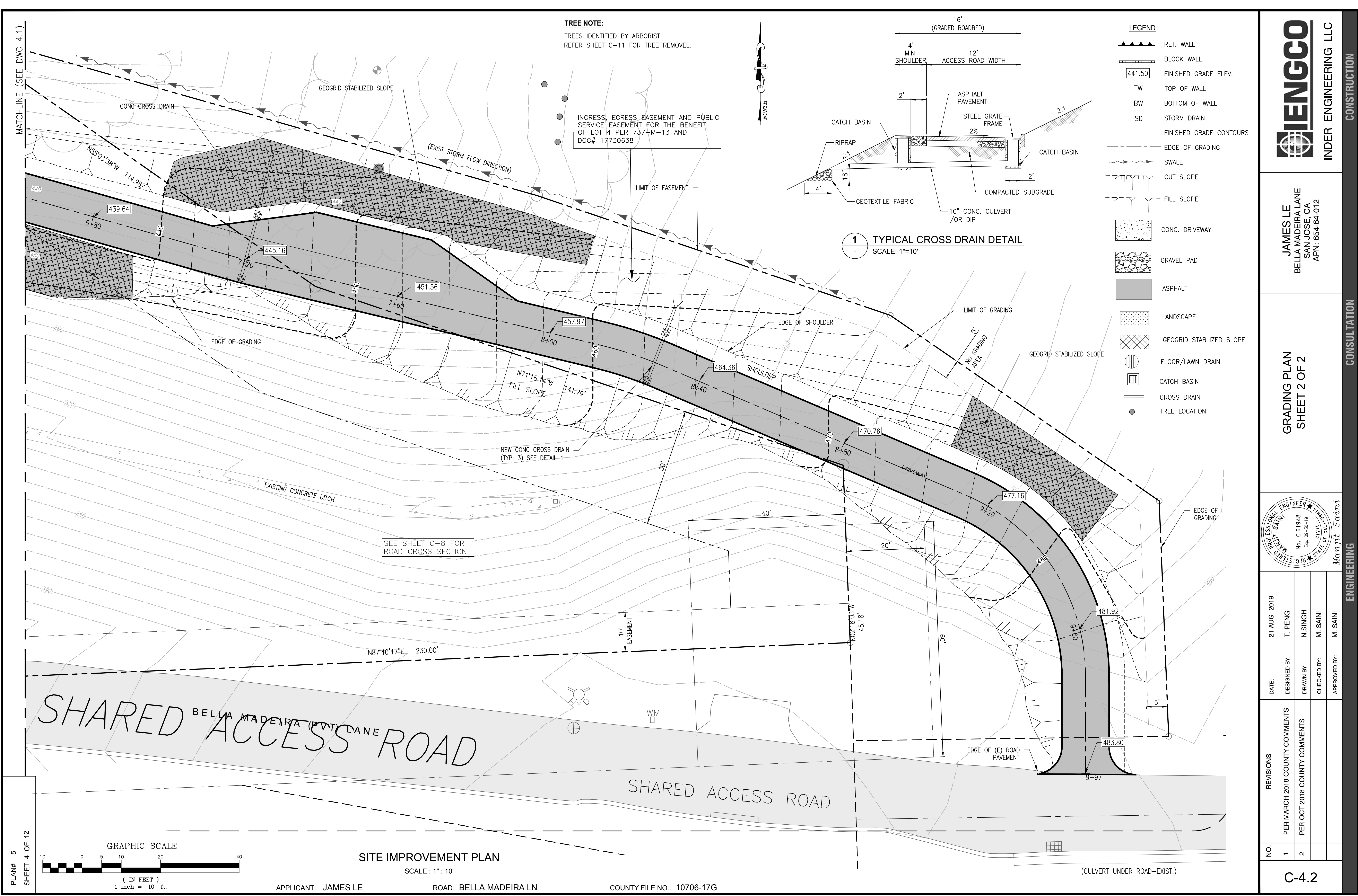
C-3

CONSULTATION

ENGINEERING

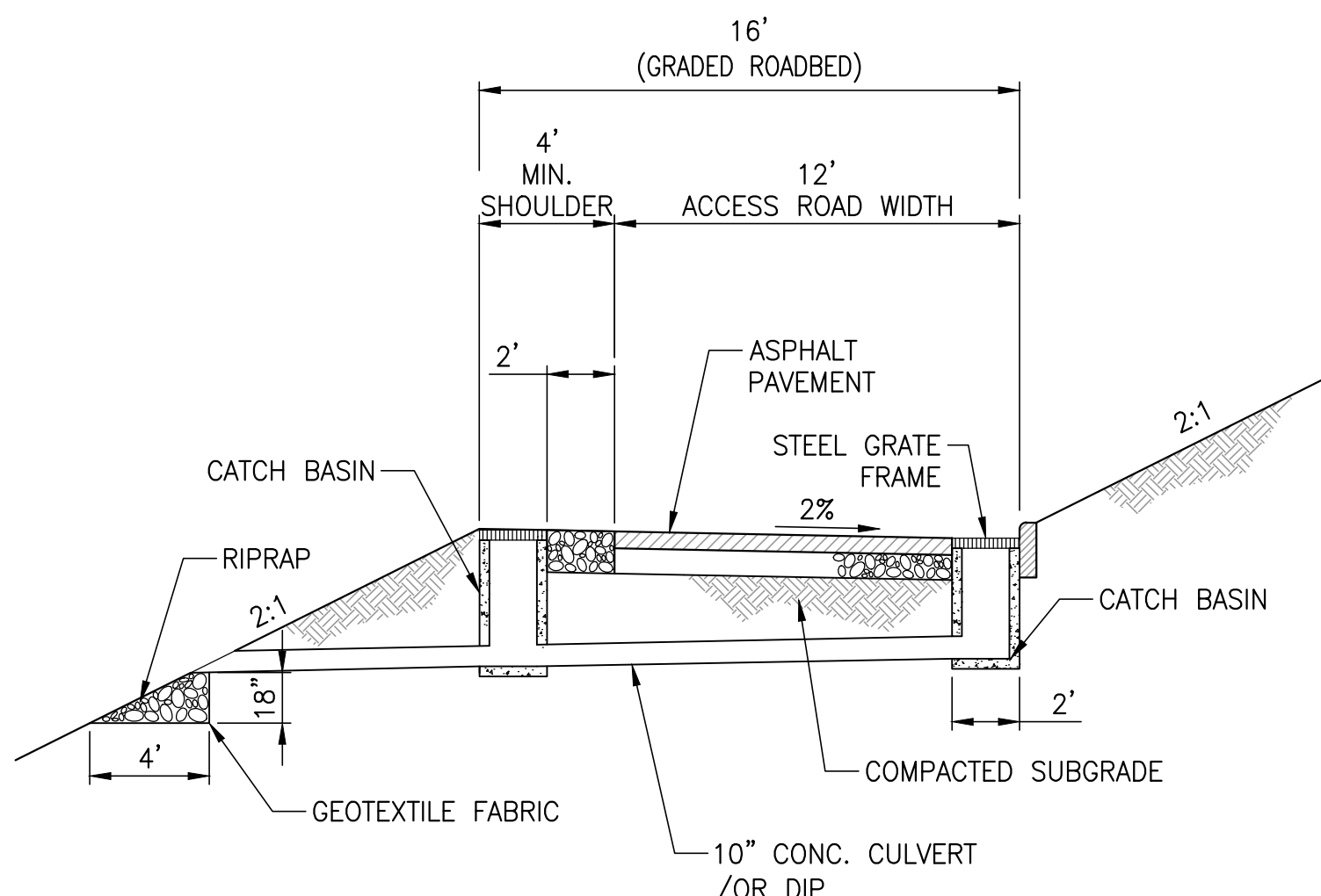
CONSTRUCTION

INDER ENGINEERING LLC



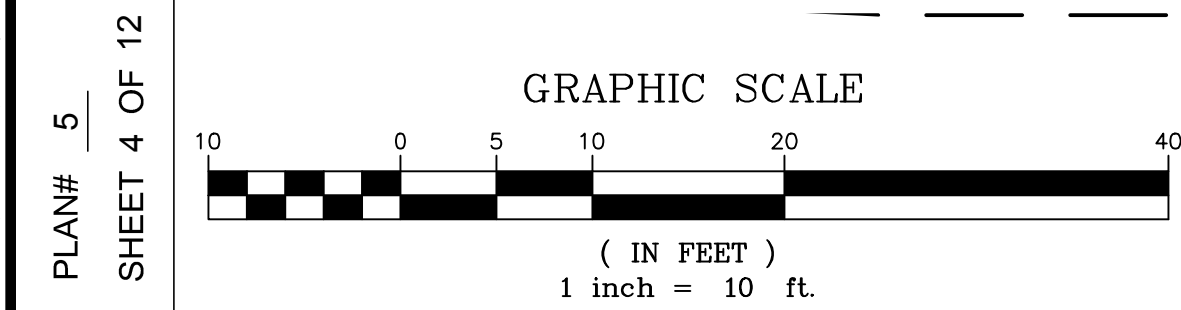
TREE NOTE:
TREES IDENTIFIED BY ARBORIST.
REFER SHEET C-11 FOR TREE REMOVAL.

INGRESS, EGRESS EASEMENT AND PUBLIC SERVICE EASEMENT FOR THE BENEFIT OF LOT 4 PER 737-M-13 AND DOC# 17730638



1 TYPICAL CROSS DRAIN DETAIL
SCALE: 1"=10'

- LEGEND**
- RET. WALL
 - BLOCK WALL
 - 441.50 FINISHED GRADE ELEV.
 - TW TOP OF WALL
 - BW BOTTOM OF WALL
 - SD STORM DRAIN
 - FINISHED GRADE CONTOURS
 - EDGE OF GRADING
 - SWALE
 - CUT SLOPE
 - FILL SLOPE
 - CONC. DRIVEWAY
 - GRAVEL PAD
 - ASPHALT
 - LANDSCAPE
 - GEOGRID STABILIZED SLOPE
 - FLOOR/LAWN DRAIN
 - CATCH BASIN
 - CROSS DRAIN
 - TREE LOCATION



SITE IMPROVEMENT PLAN
SCALE : 1" : 10'

APPLICANT: JAMES LE ROAD: BELLA MADEIRA LN COUNTY FILE NO.: 10706-17G

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CONSTRUCTION

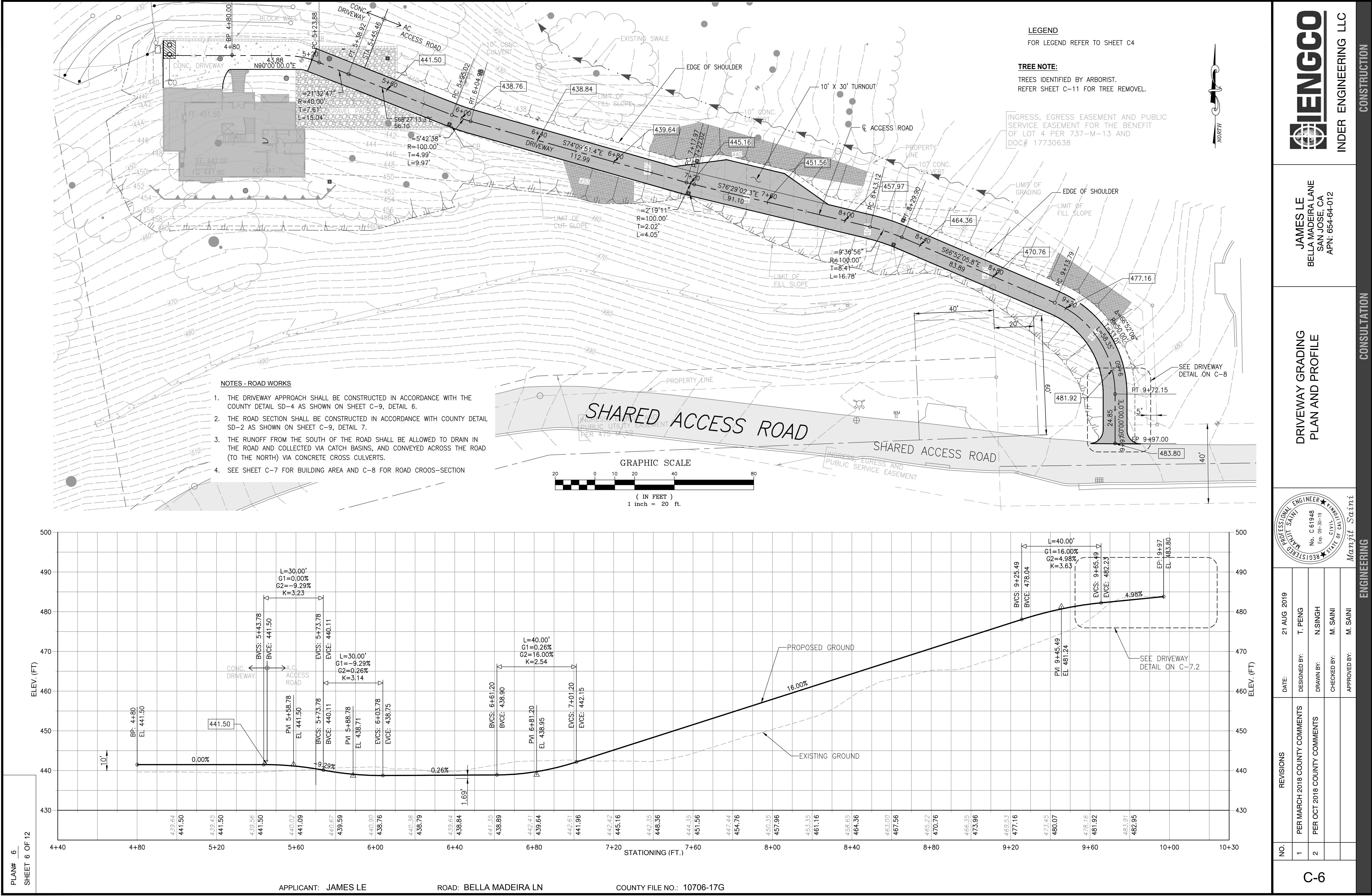
JAMES LE
BELLA MADEIRA LANE
SAN JOSE, CA
APN: 654-64-012

GRADING PLAN
SHEET 2 OF 2

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ENGINEERING

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1	PER MARCH 2018 COUNTY COMMENTS	21 AUG 2019	T. PENG			
2	PER OCT 2018 COUNTY COMMENTS			N. SINGH	M. SAINI	M. SAINI

C-4.2

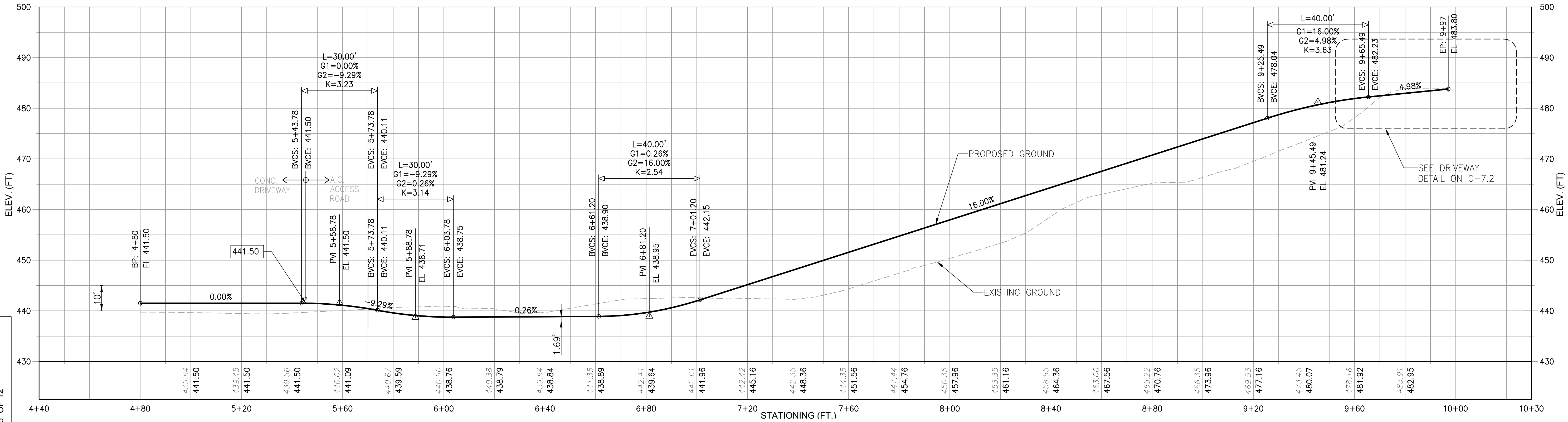
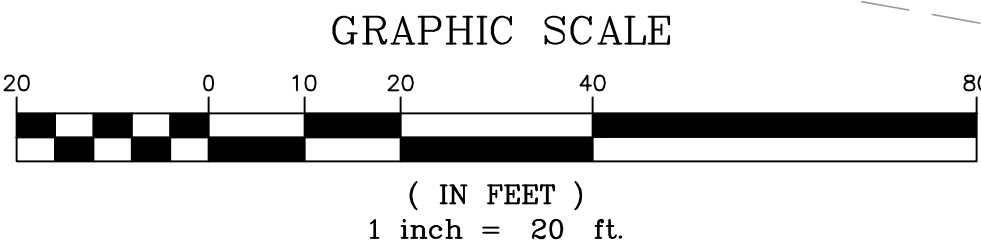


LEGEND
FOR LEGEND REFER TO SHEET C4

TREE NOTE:
TREES IDENTIFIED BY ARBORIST.
REFER SHEET C-11 FOR TREE REMOVAL.

INGRESS, EGRESS EASEMENT AND PUBLIC SERVICE EASEMENT FOR THE BENEFIT OF LOT 4 PER 737-M-13 AND DOC# 17730638

- NOTES - ROAD WORKS
1. THE DRIVEWAY APPROACH SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE COUNTY DETAIL SD-4 AS SHOWN ON SHEET C-9, DETAIL 6.
 2. THE ROAD SECTION SHALL BE CONSTRUCTED IN ACCORDANCE WITH COUNTY DETAIL SD-2 AS SHOWN ON SHEET C-9, DETAIL 7.
 3. THE RUNOFF FROM THE SOUTH OF THE ROAD SHALL BE ALLOWED TO DRAIN IN THE ROAD AND COLLECTED VIA CATCH BASINS, AND CONVEYED ACROSS THE ROAD (TO THE NORTH) VIA CONCRETE CROSS CULVERTS.
 4. SEE SHEET C-7 FOR BUILDING AREA AND C-8 FOR ROAD CROOS-SECTION



PLAN# 6
SHEET 6 OF 12

JAMES LE
BELLA MADEIRA LANE
SAN JOSE, CA
APN: 654-64-012

DRIVEWAY GRADING
PLAN AND PROFILE

Manjit Saini
REGISTERED PROFESSIONAL ENGINEER
CIVIL
STATE OF CALIFORNIA

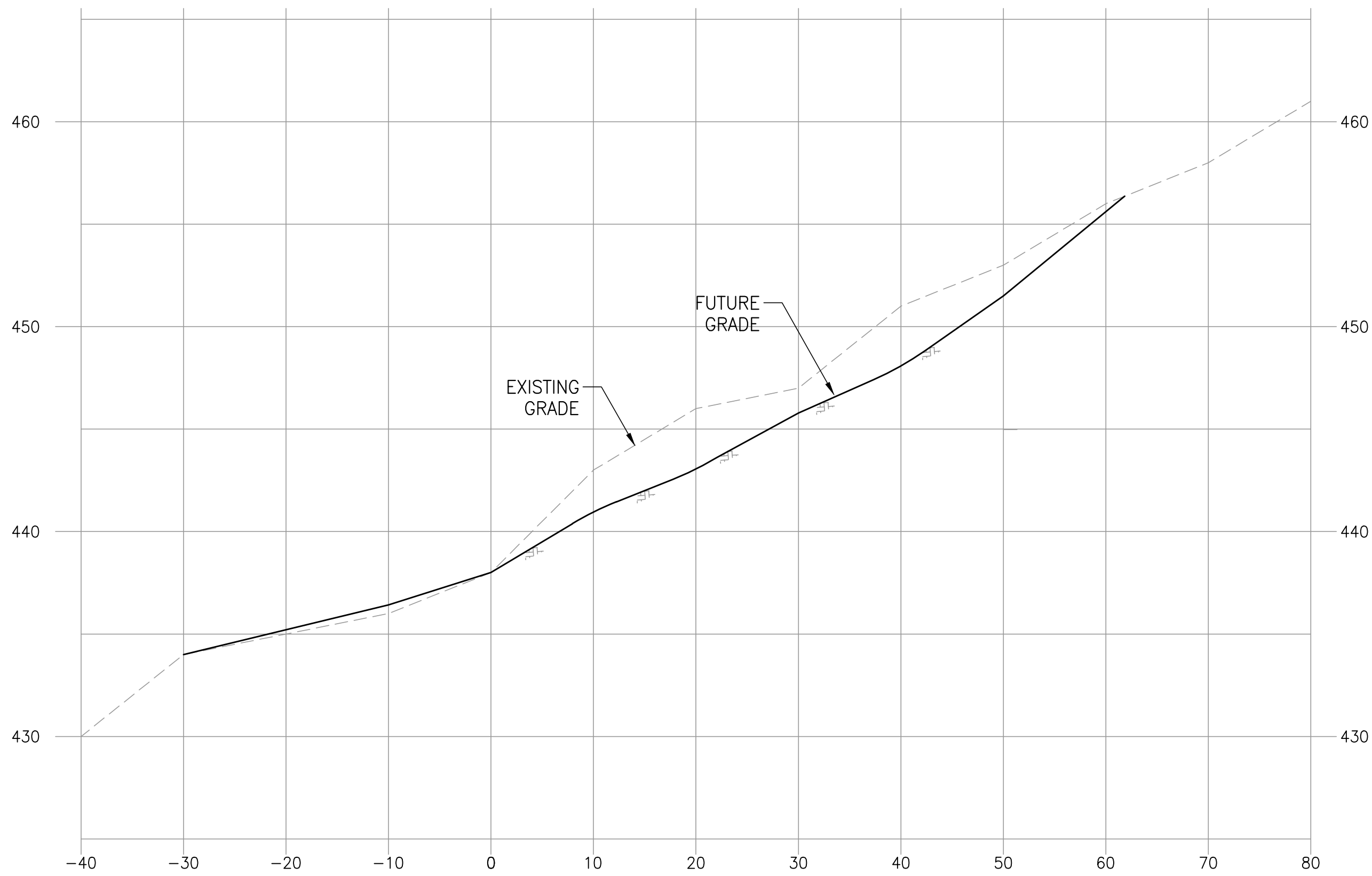
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C-6

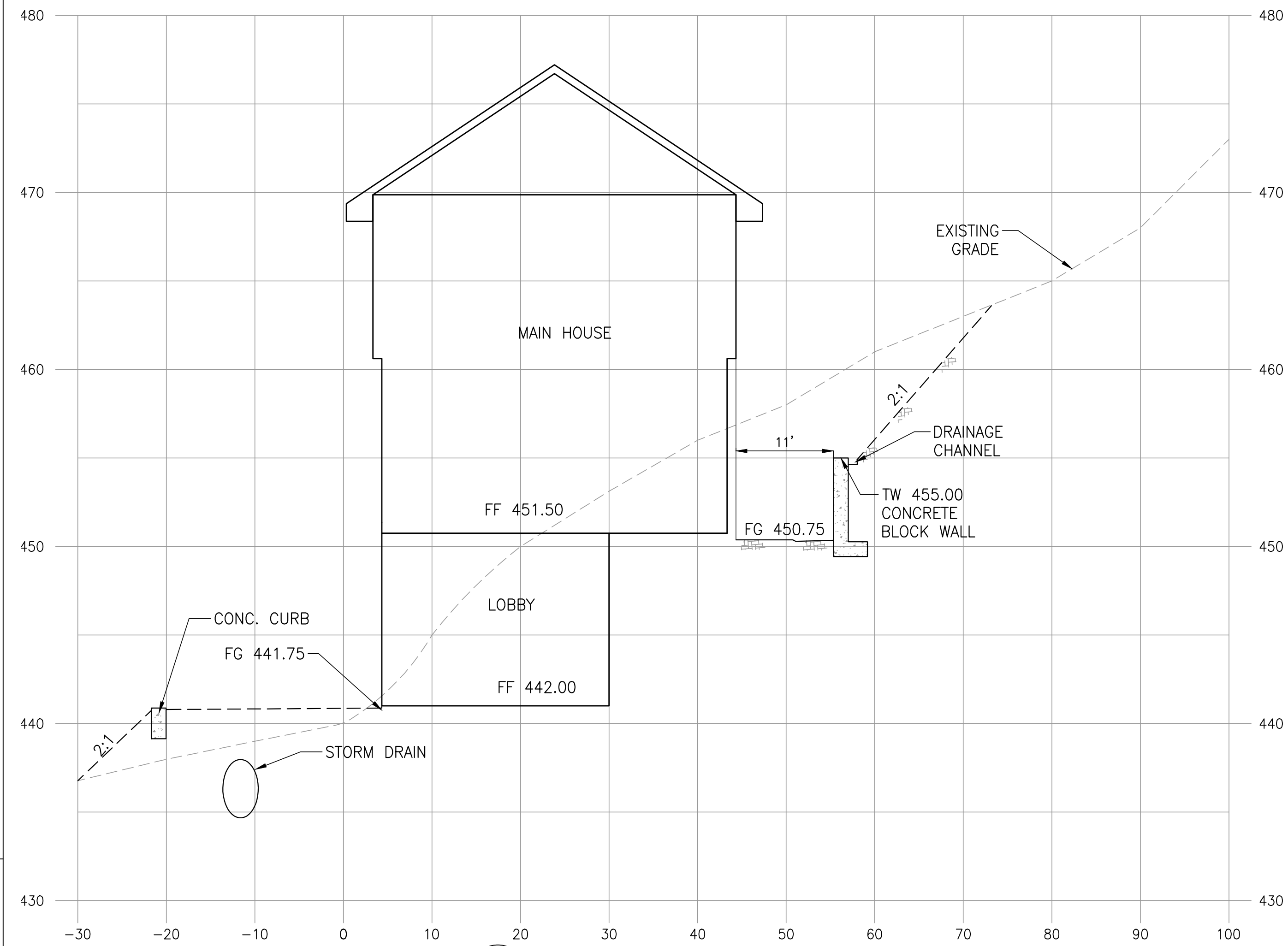
ENGINEERING

CONSULTATION

CONSTRUCTION



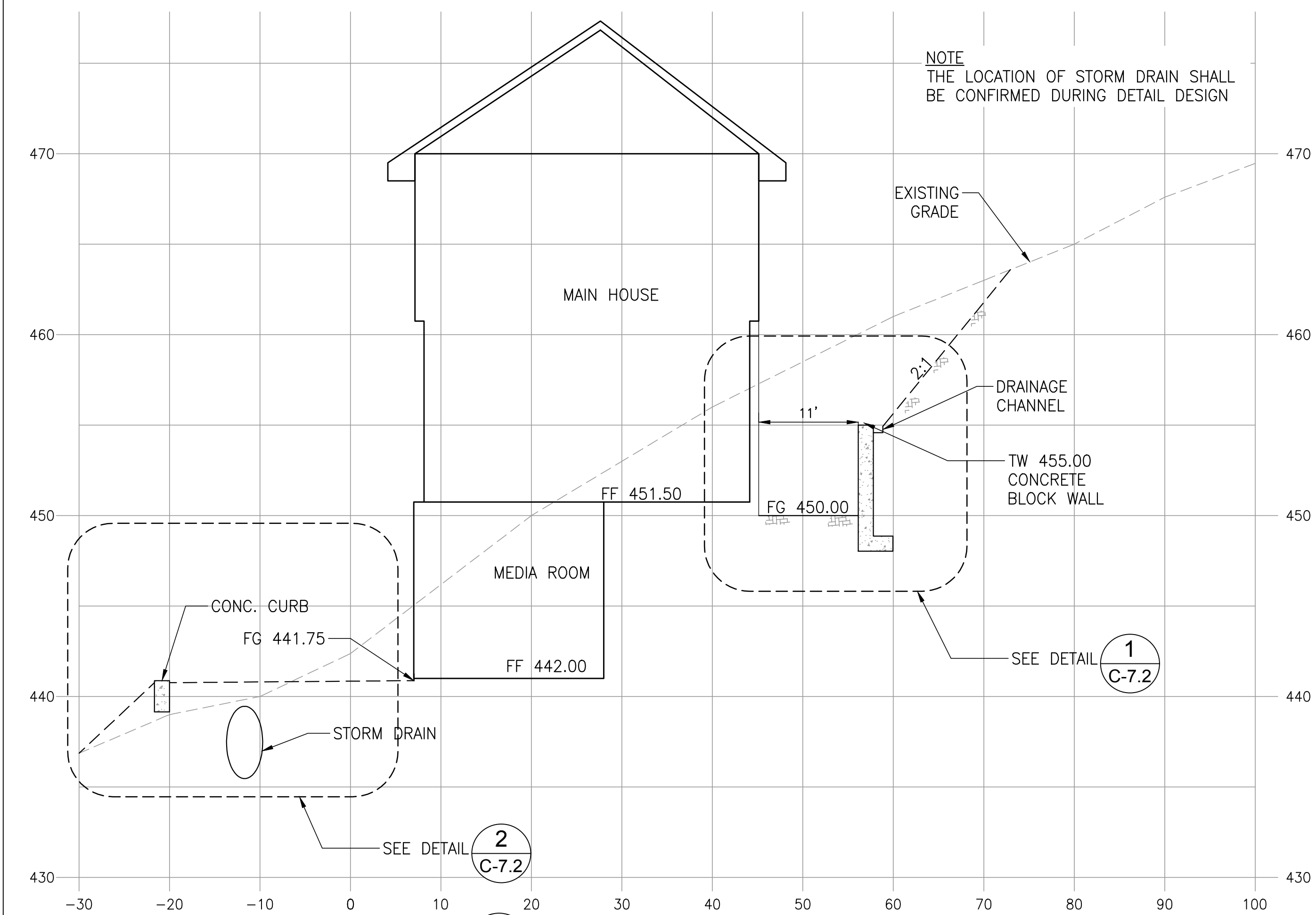
A HOUSE PAD SECTION
C-4.1 SCALE: (H) 1"=10'; (V) 1"=5'



C HOUSE PAD SECTION
C-4.1 SCALE: (H) 1"=10'; (V) 1"=5'



B HOUSE PAD SECTION
C-4.1 SCALE: (H) 1"=10'; (V) 1"=5'



D HOUSE PAD SECTION
C-4.1 SCALE: (H) 1"=10'; (V) 1"=5'

PLAN# 7
SHEET 7 OF 12

APPLICANT: JAMES LE

ROAD: BELLA MADEIRA LN

COUNTY FILE NO.: 10706-17G



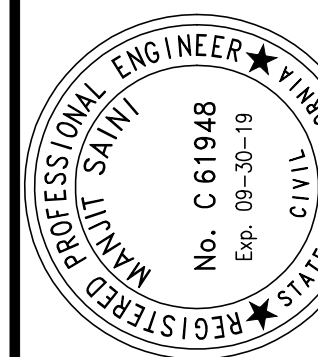
INDER ENGINEERING LLC

CONSTRUCTION

JAMES LE
BELLA MADEIRA LANE
SAN JOSE, CA
APN: 654-64-012

HOUSE PAD SECTION
DRIVEWAY SECTION AND DETAIL

CONSULTATION

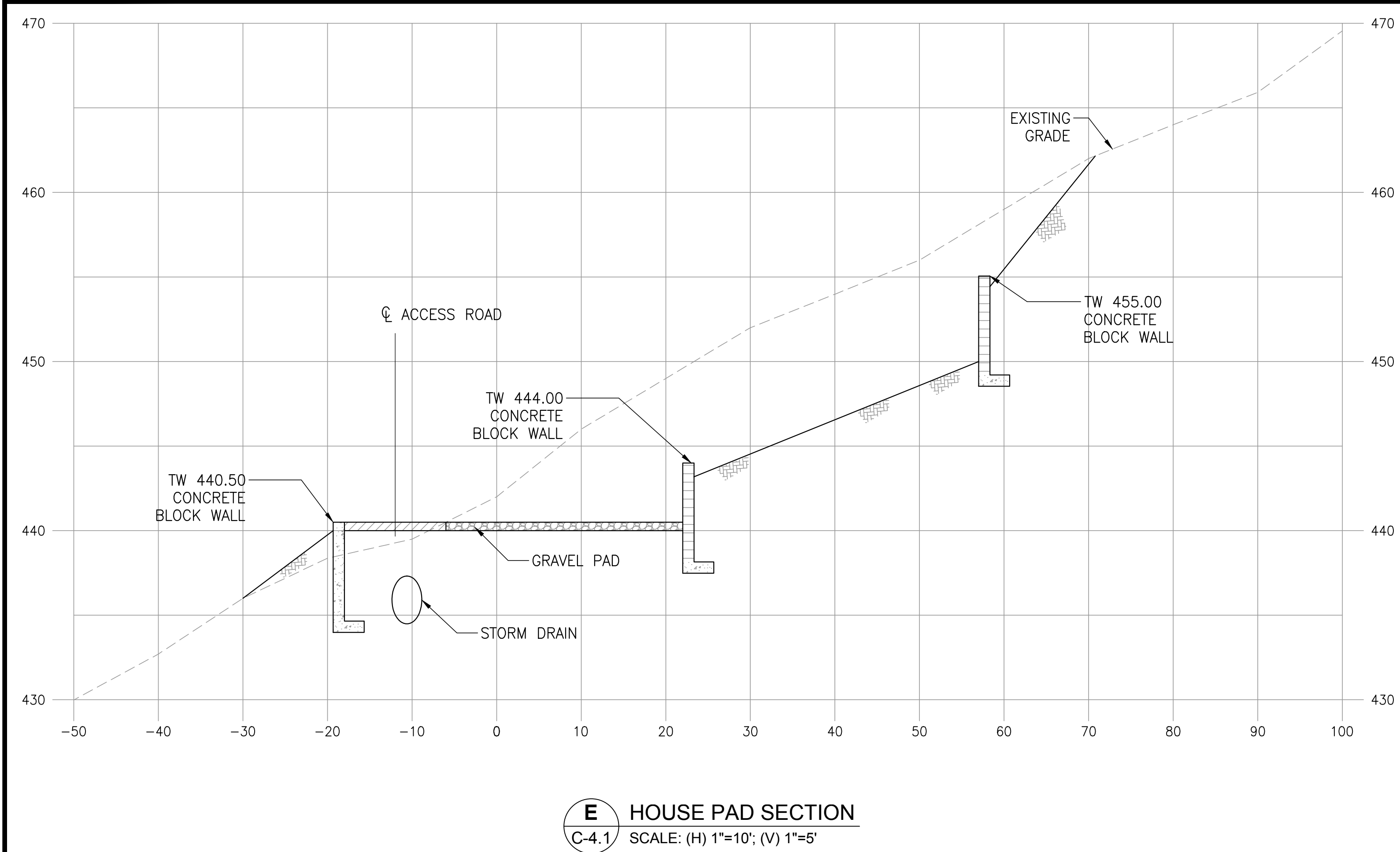


Manjit Saini

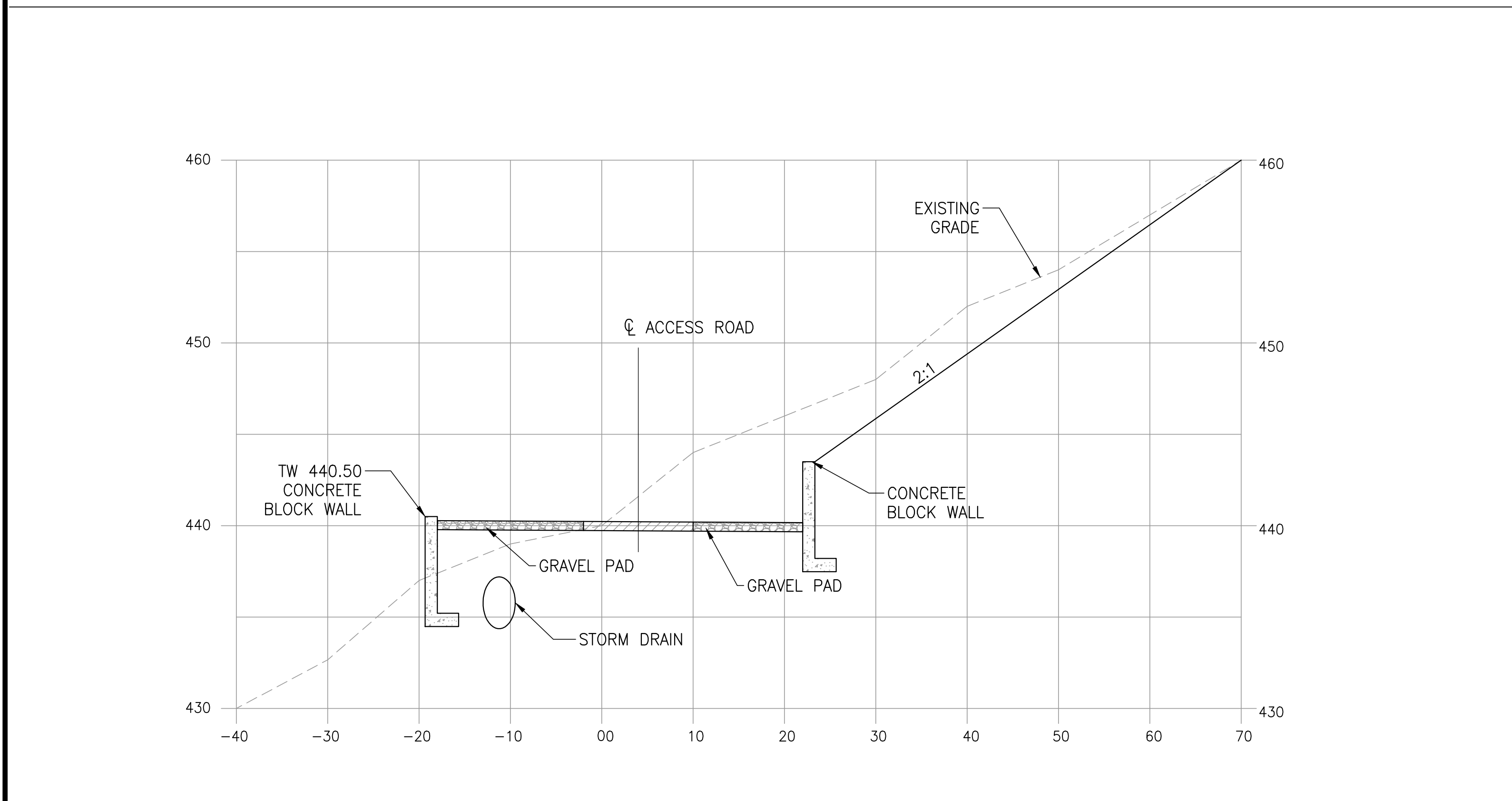
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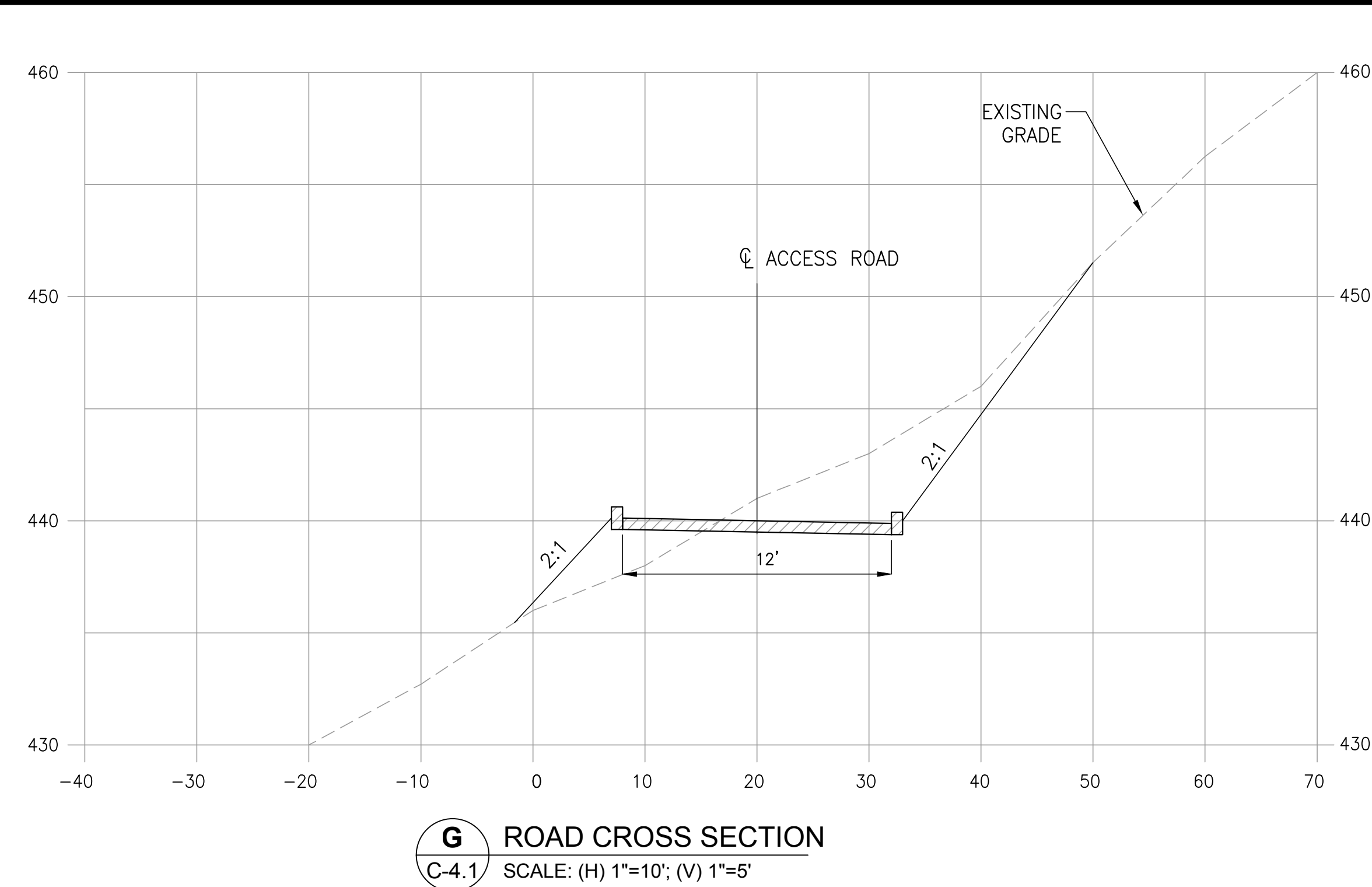
C-7.1



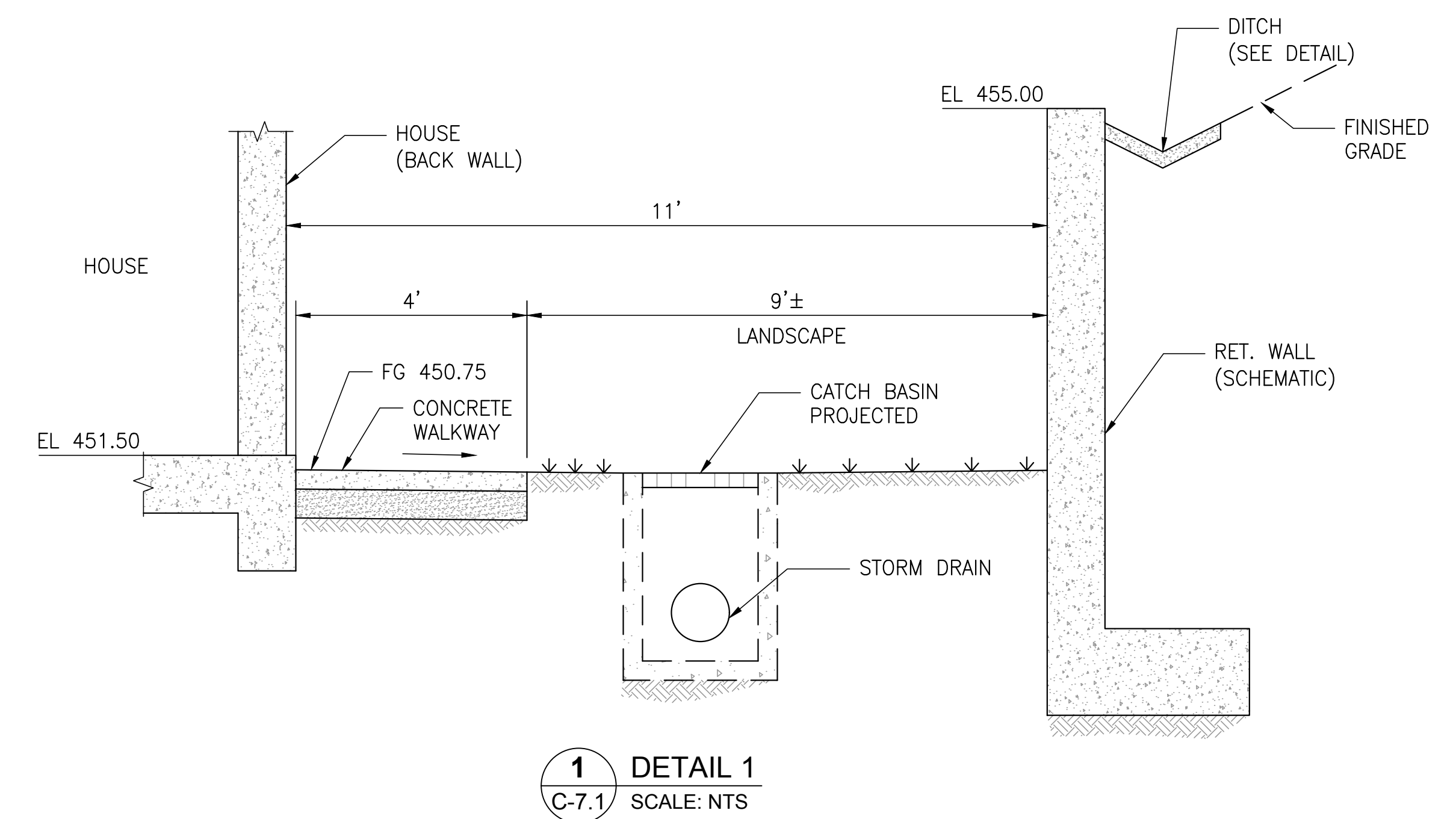
E HOUSE PAD SECTION
C-4.1 SCALE: (H) 1"=10'; (V) 1"=5'



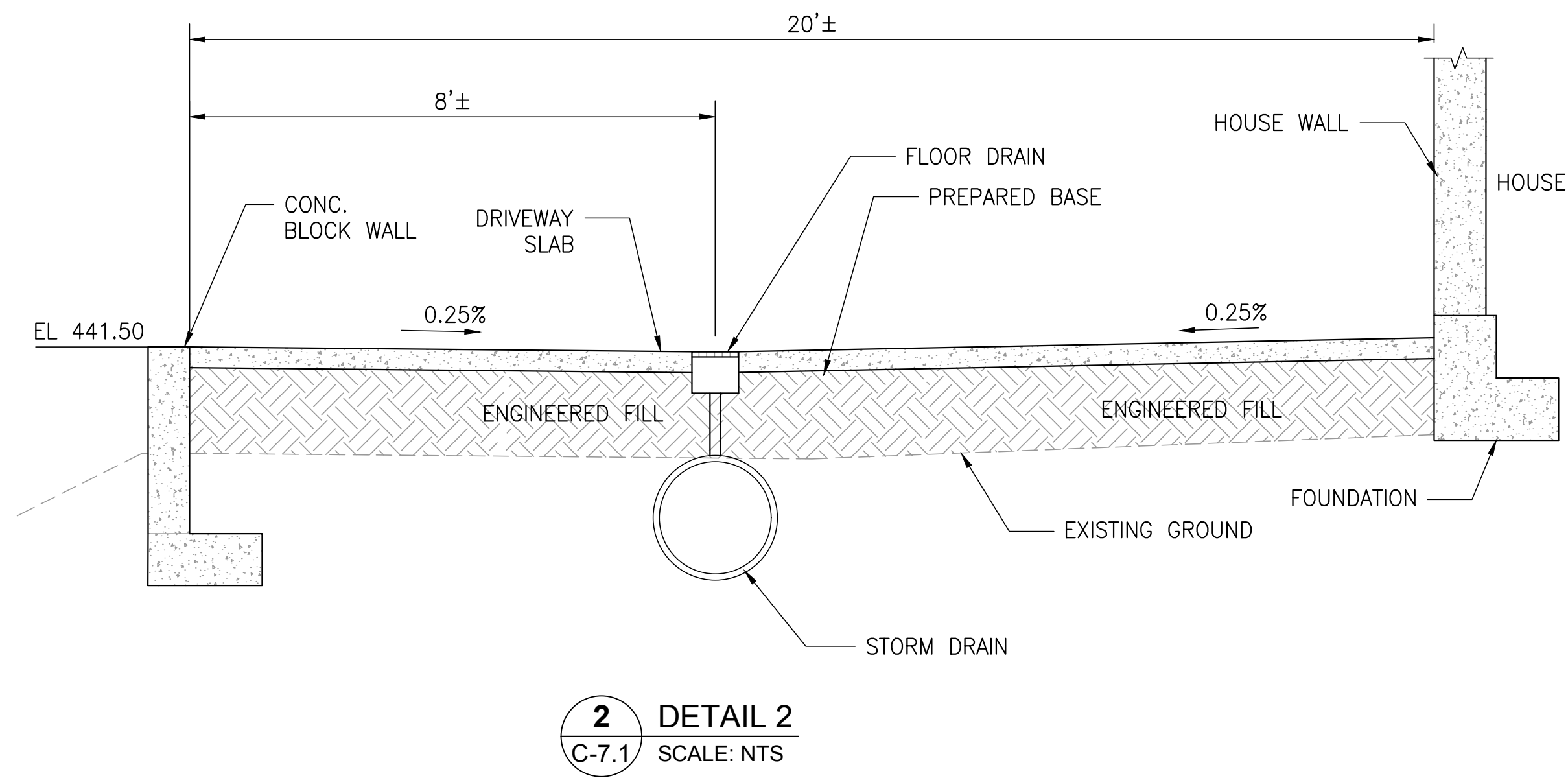
F ROAD CROSS SECTION
C-4.1 SCALE: (H) 1"=10'; (V) 1"=5'



G ROAD CROSS SECTION
C-4.1 SCALE: (H) 1"=10'; (V) 1"=5'



1 DETAIL 1
C-7.1 SCALE: NTS



2 DETAIL 2
C-7.1 SCALE: NTS

PLAN# 8
SHEET 8 OF 12

APPLICANT: JAMES LE

ROAD: BELLA MADEIRA LN

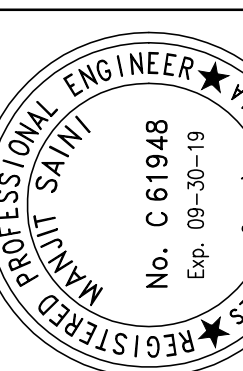
COUNTY FILE NO.: 10706-17G



JENGCO
INDR ENGINEERING LLC

JAMES LE
BELLA MADEIRA LANE
SAN JOSE, CA
APN: 654-64-012

**HOUSE PAD SECTION
DRIVEWAY SECTION AND DETAIL**

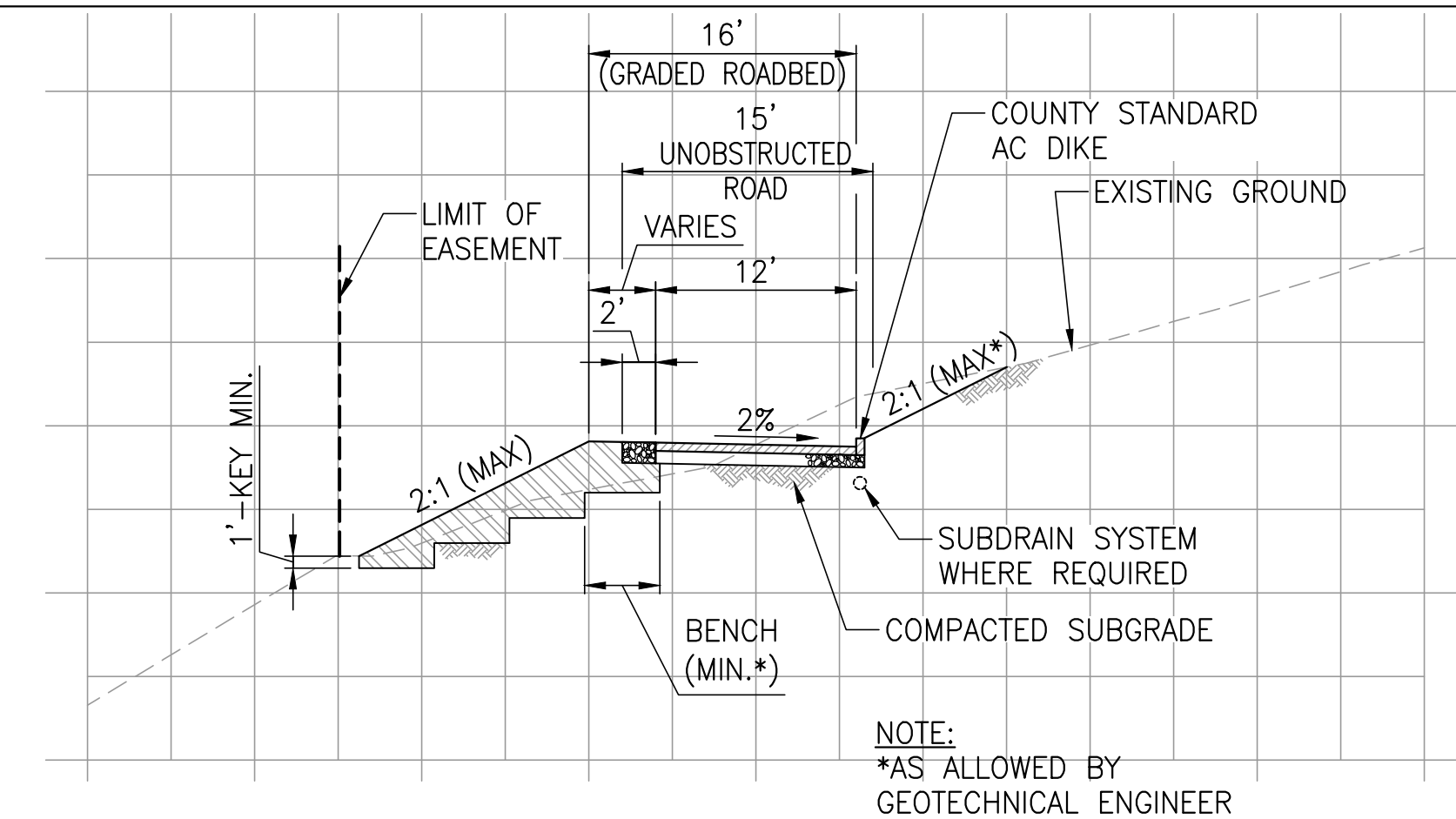
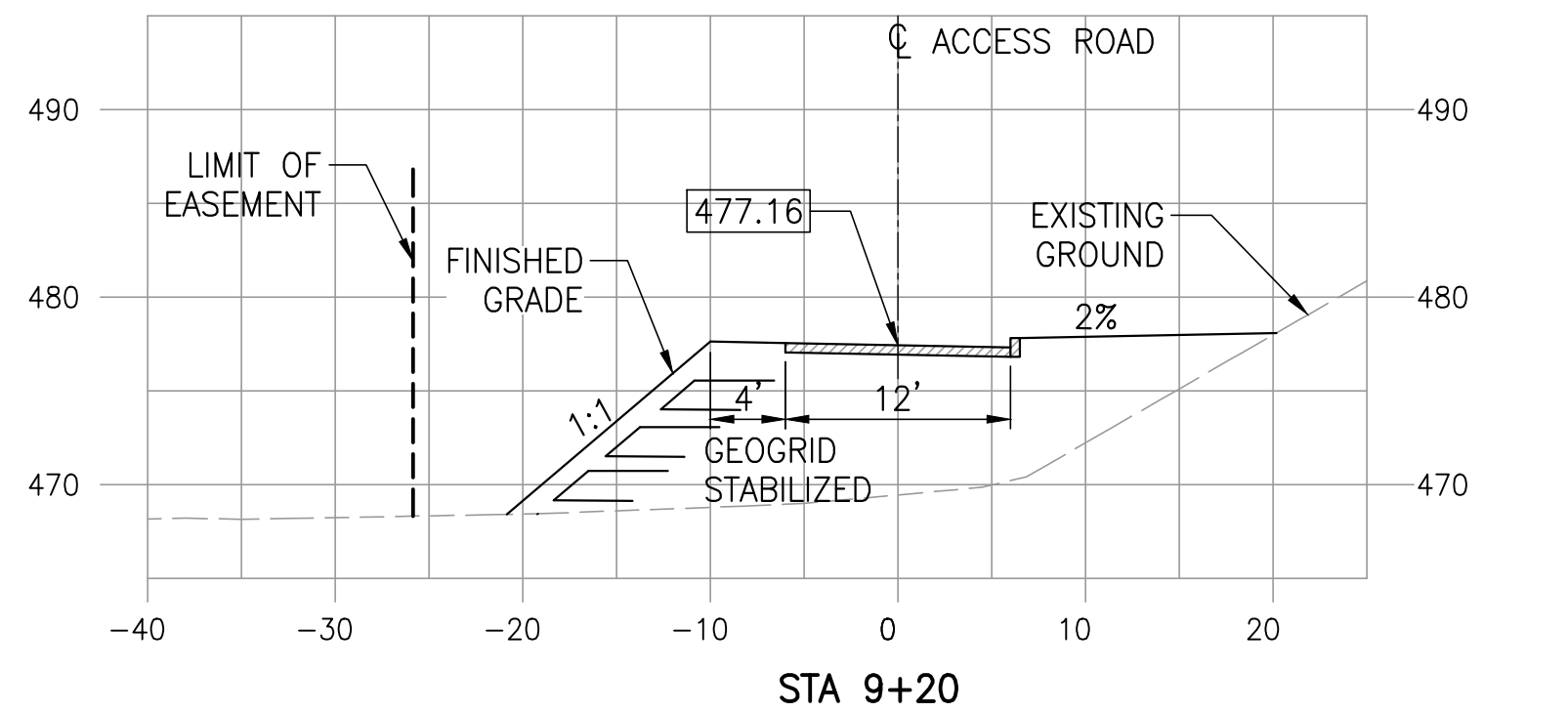
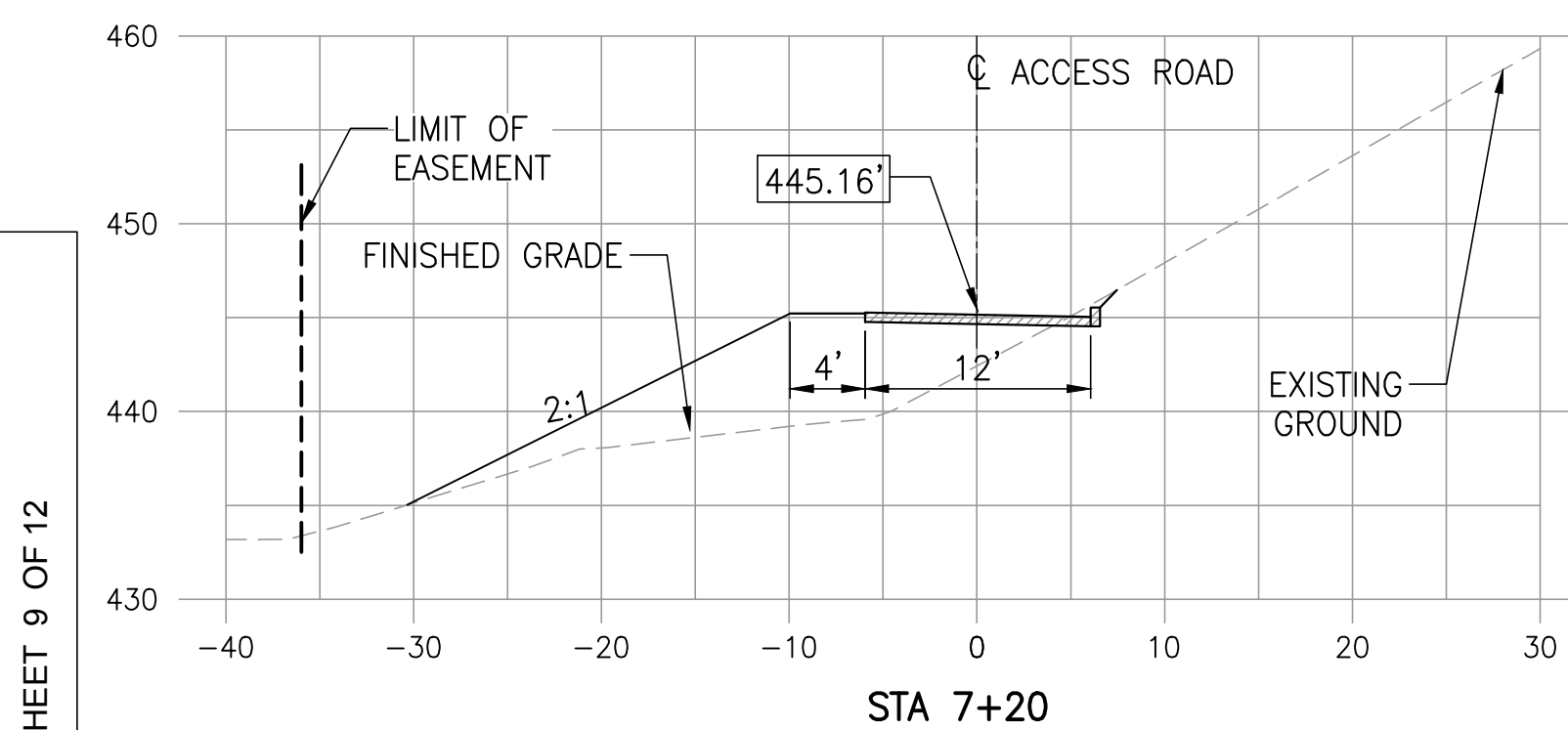
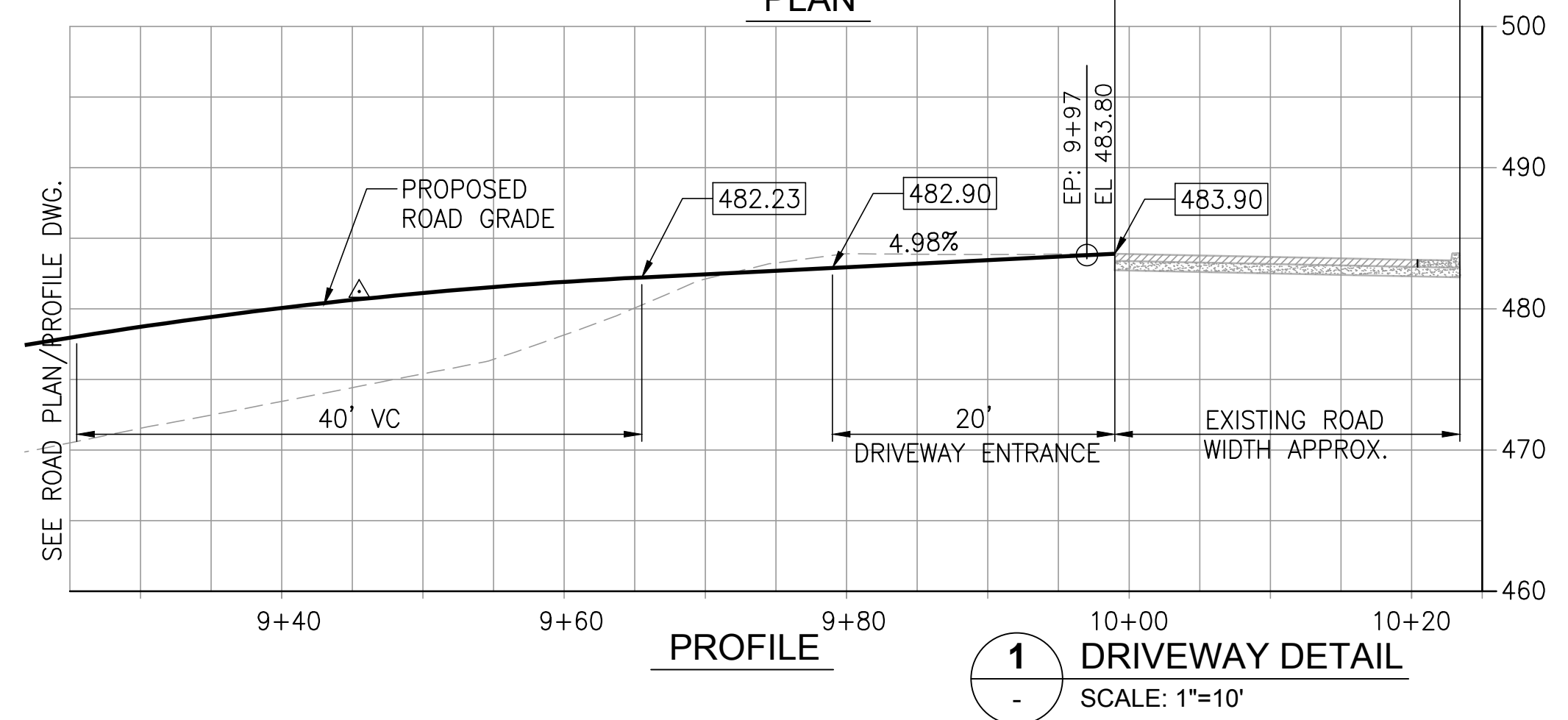
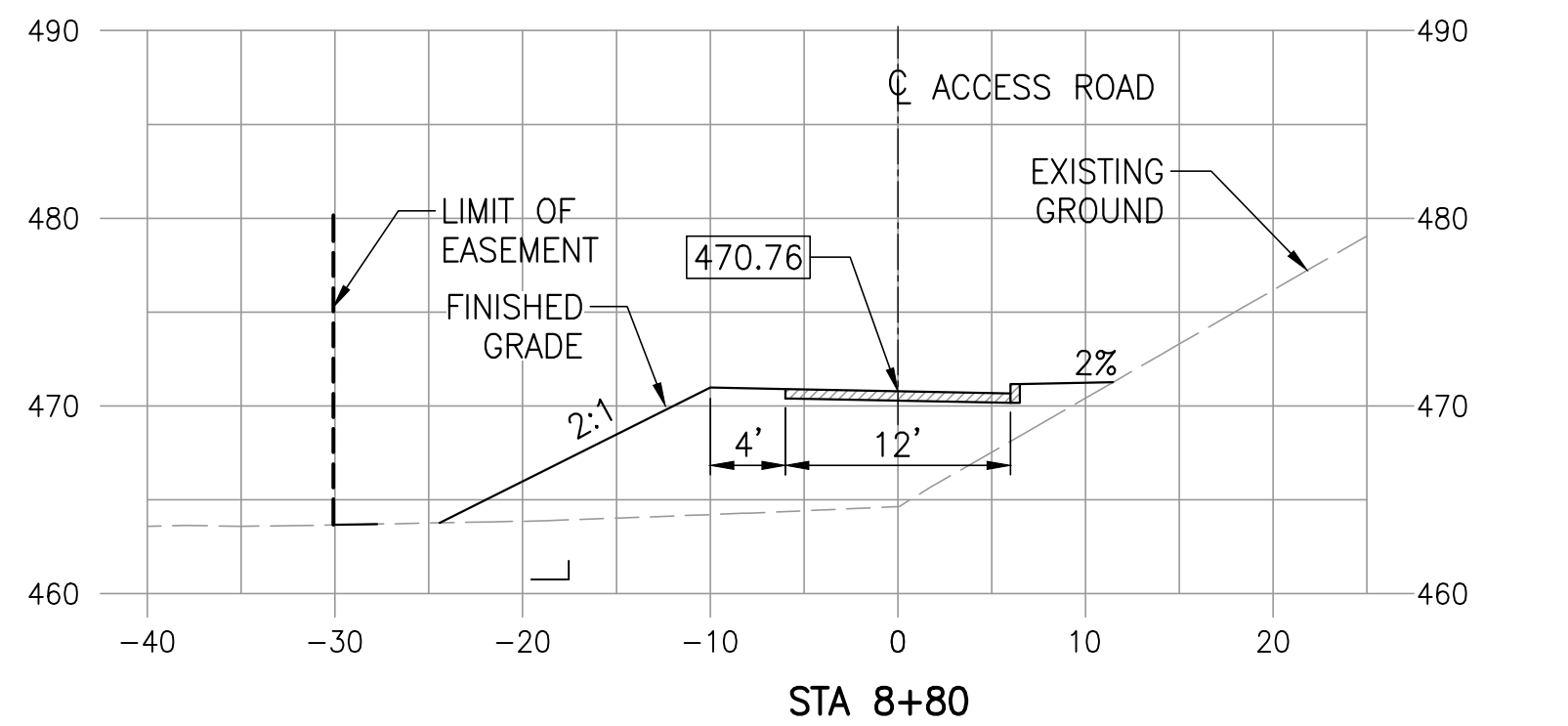
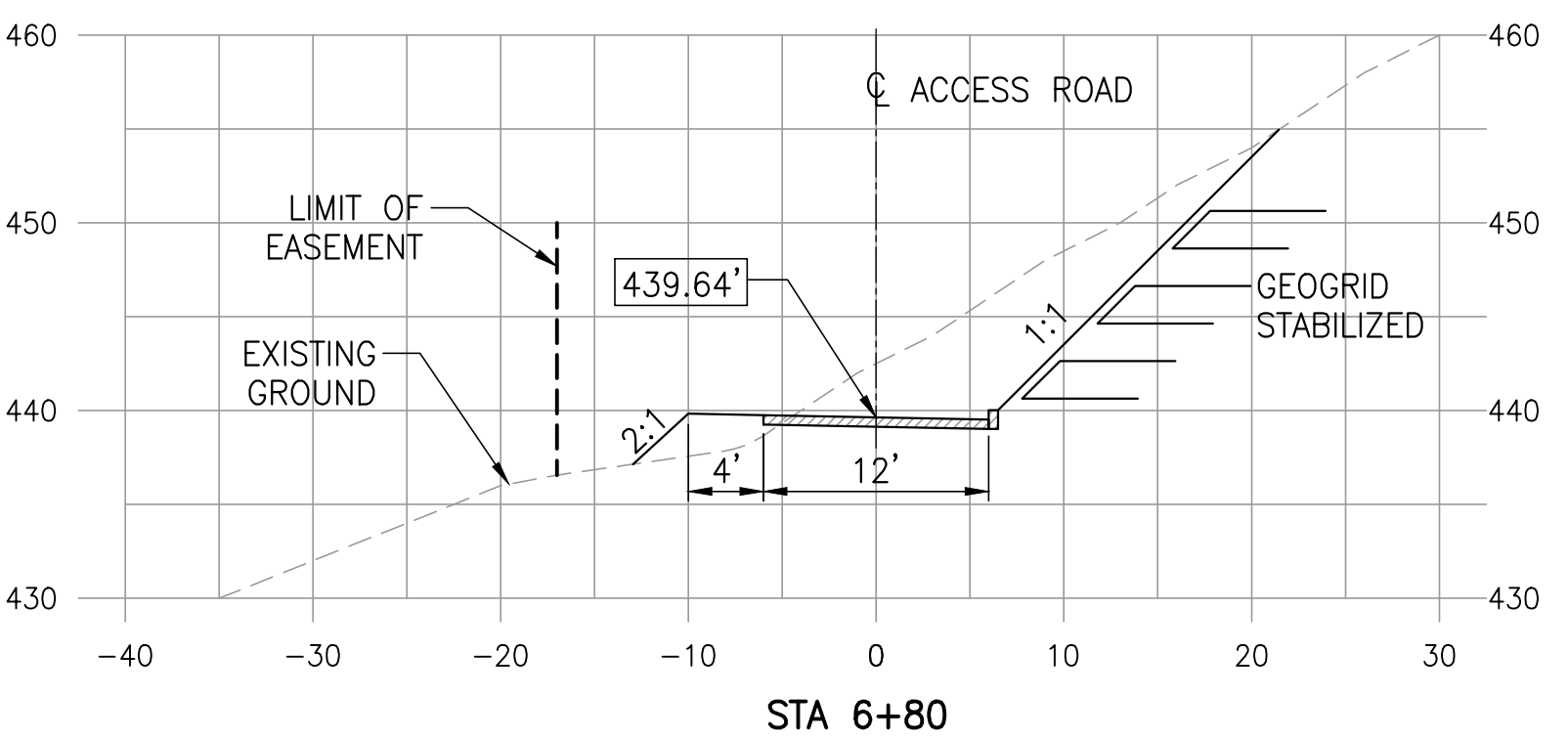
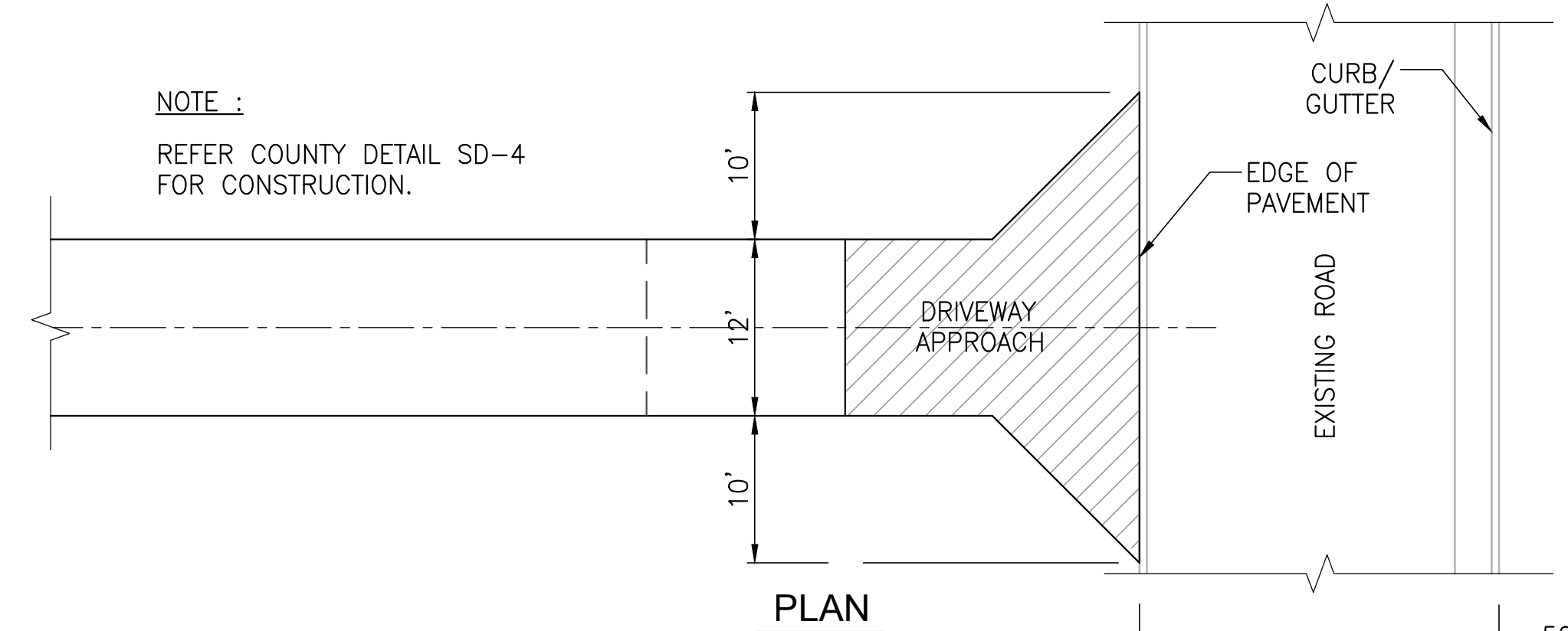
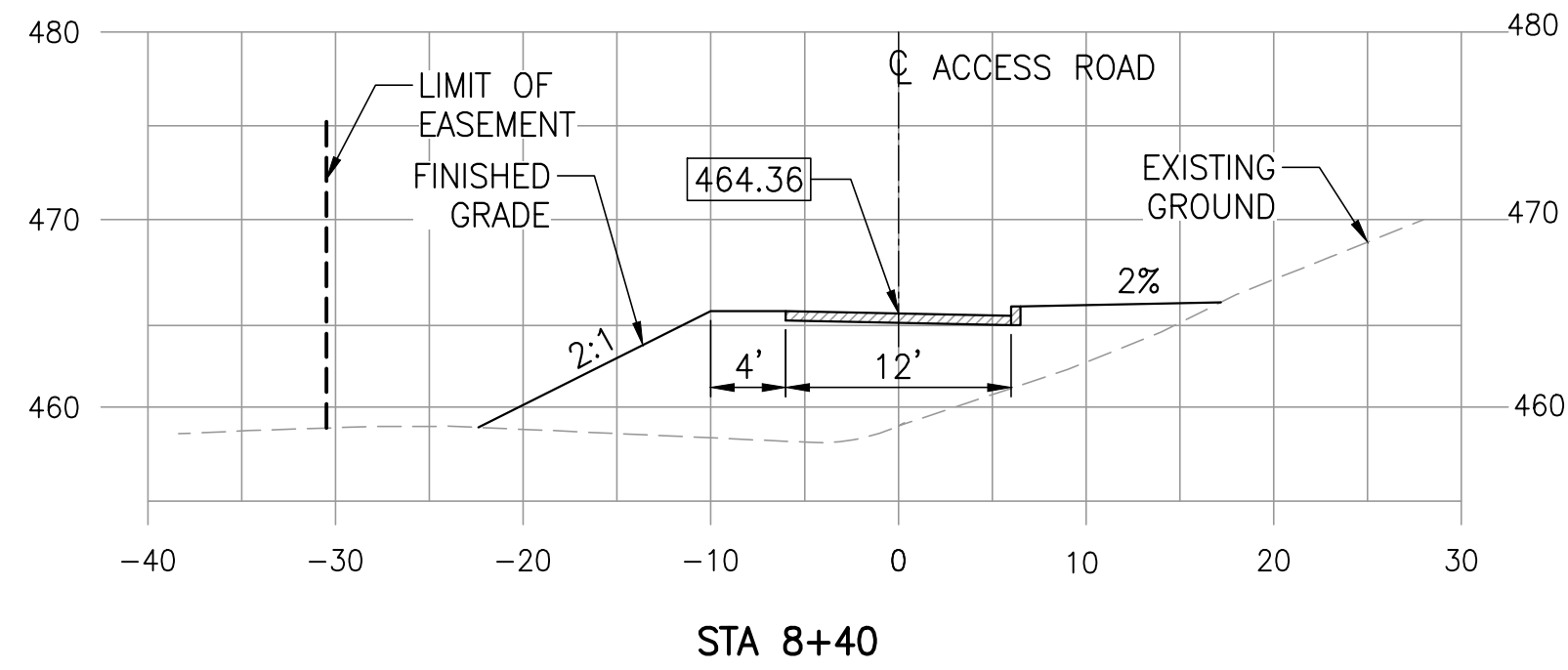
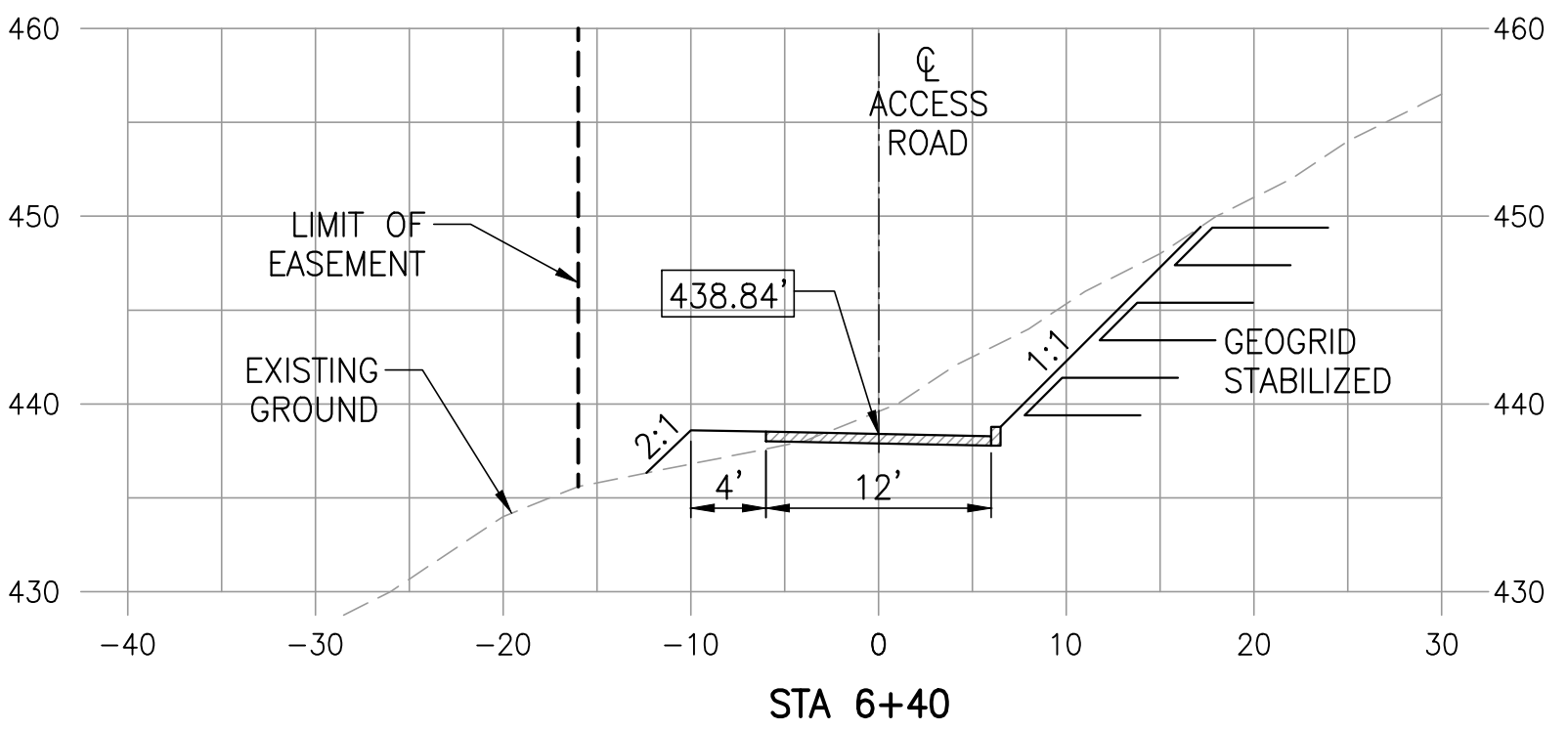
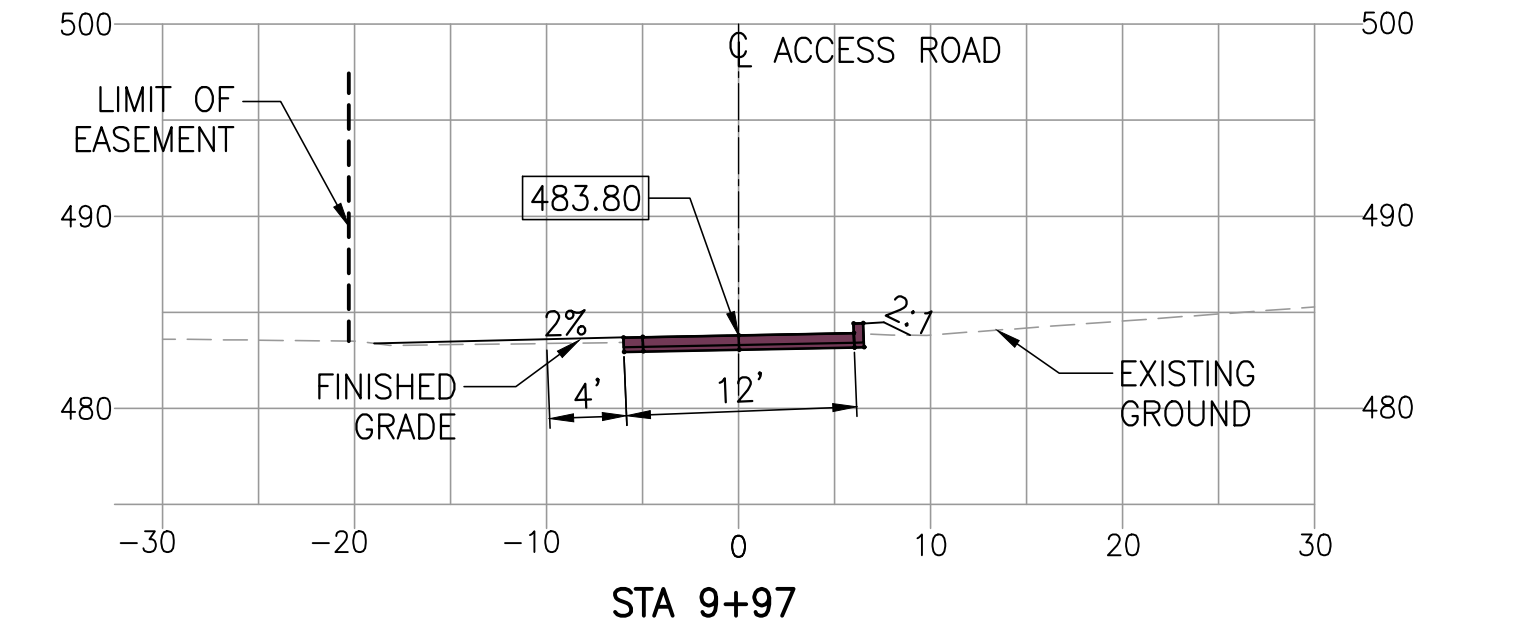
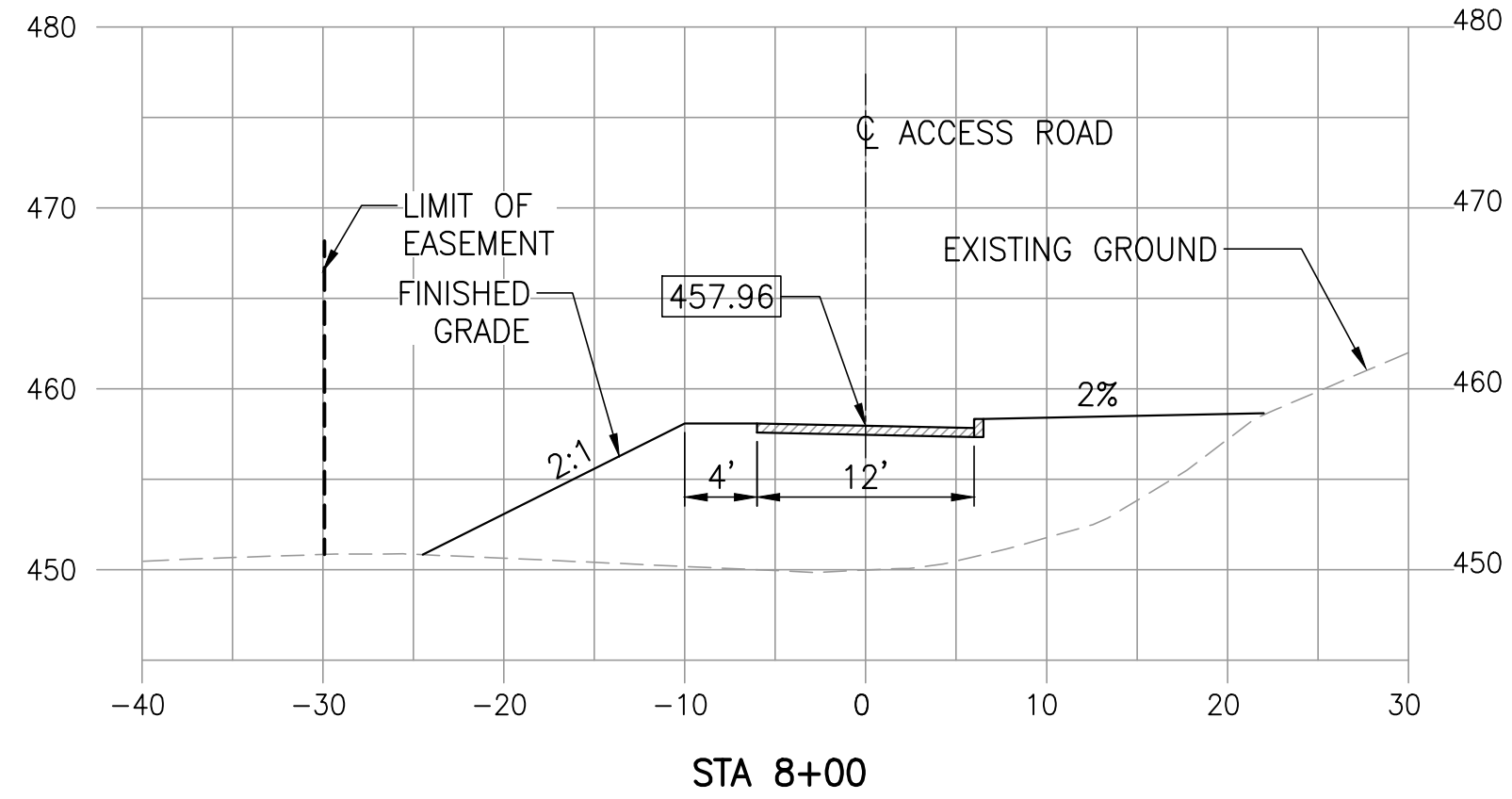
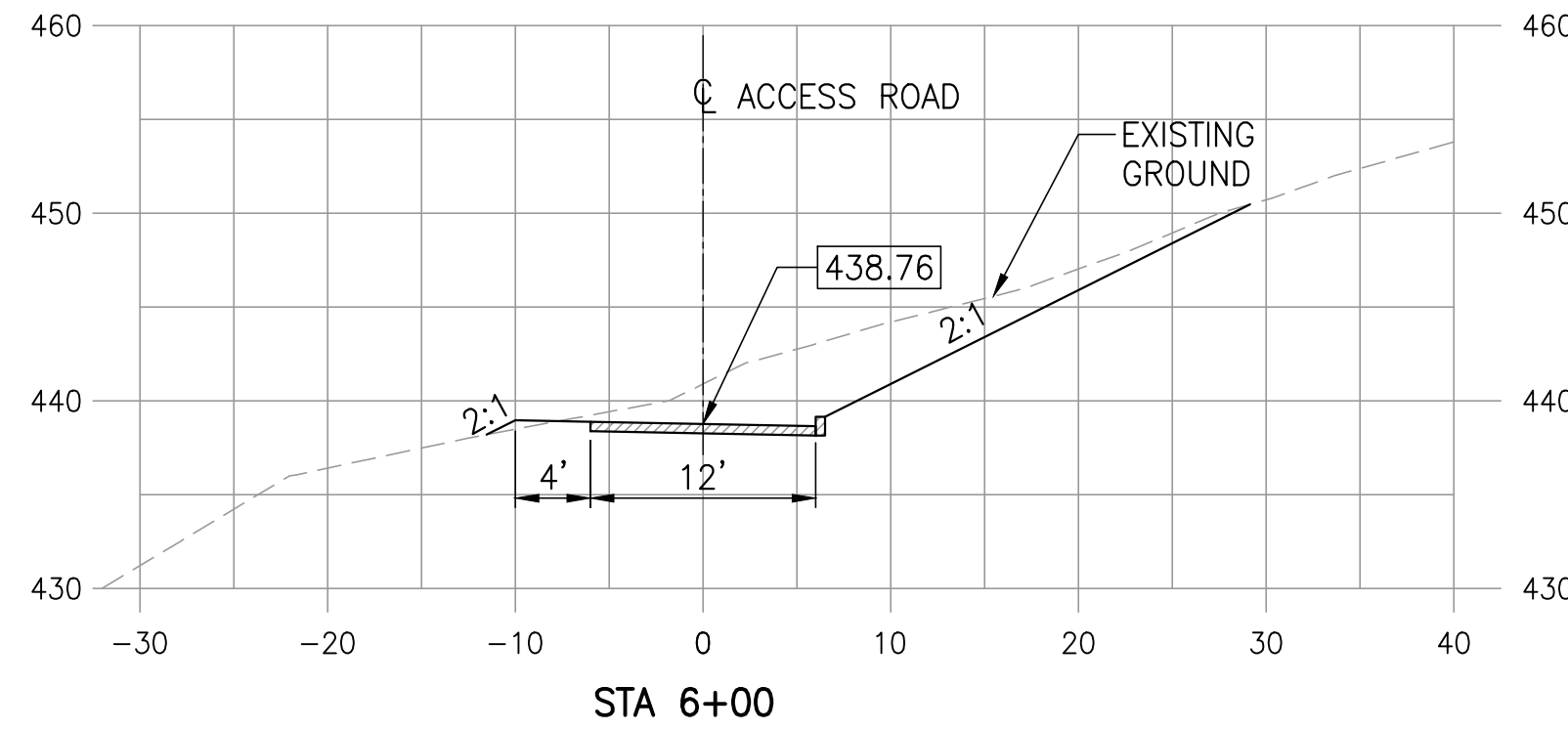
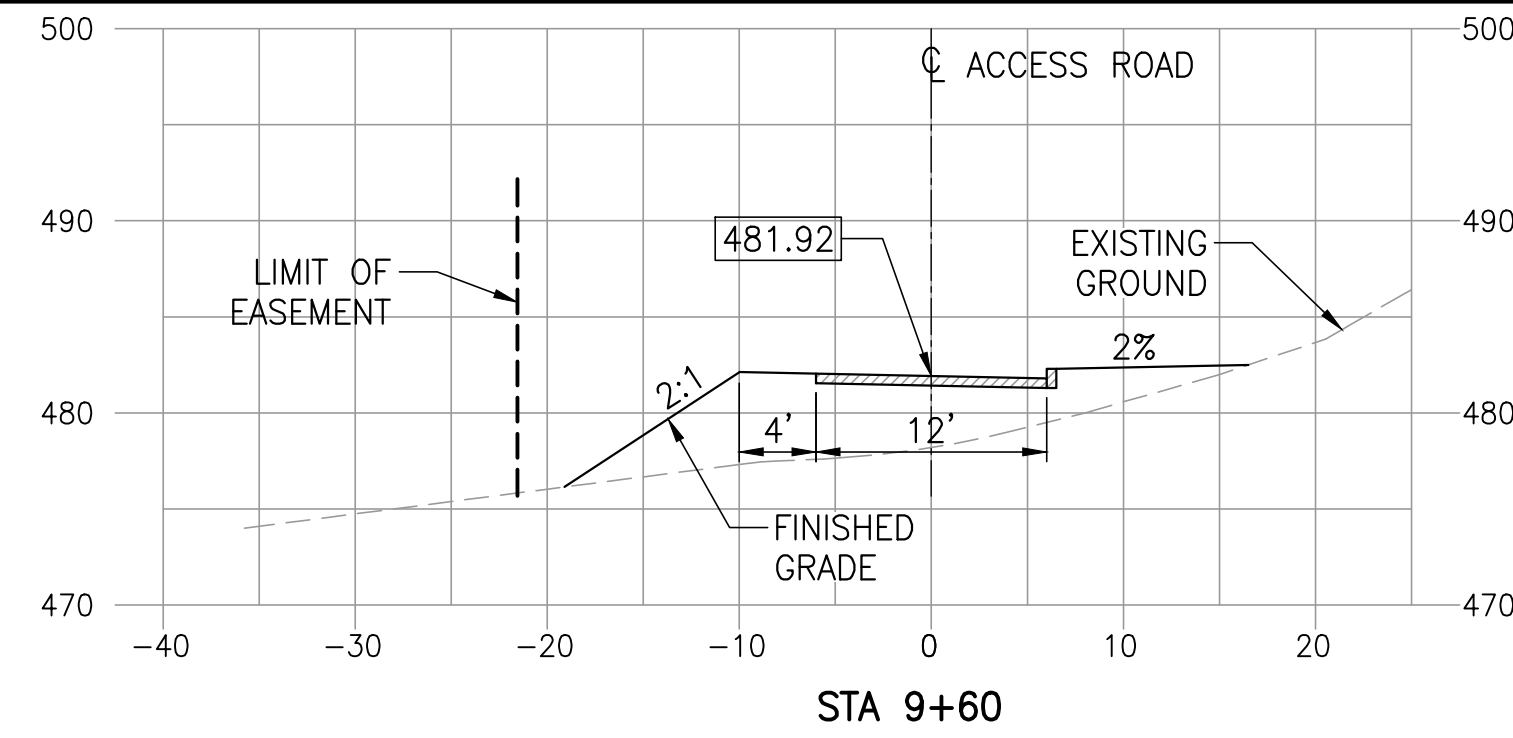
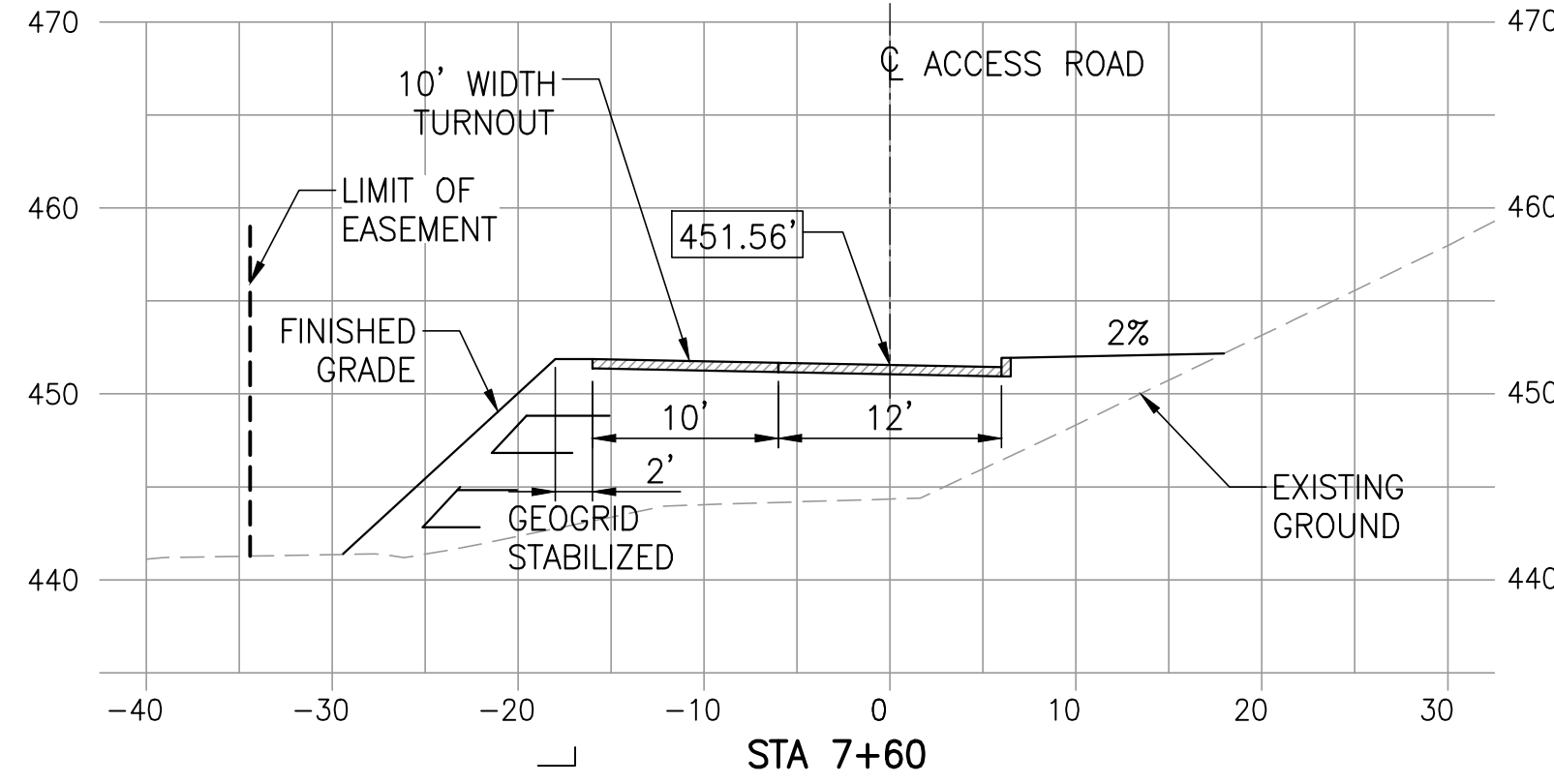
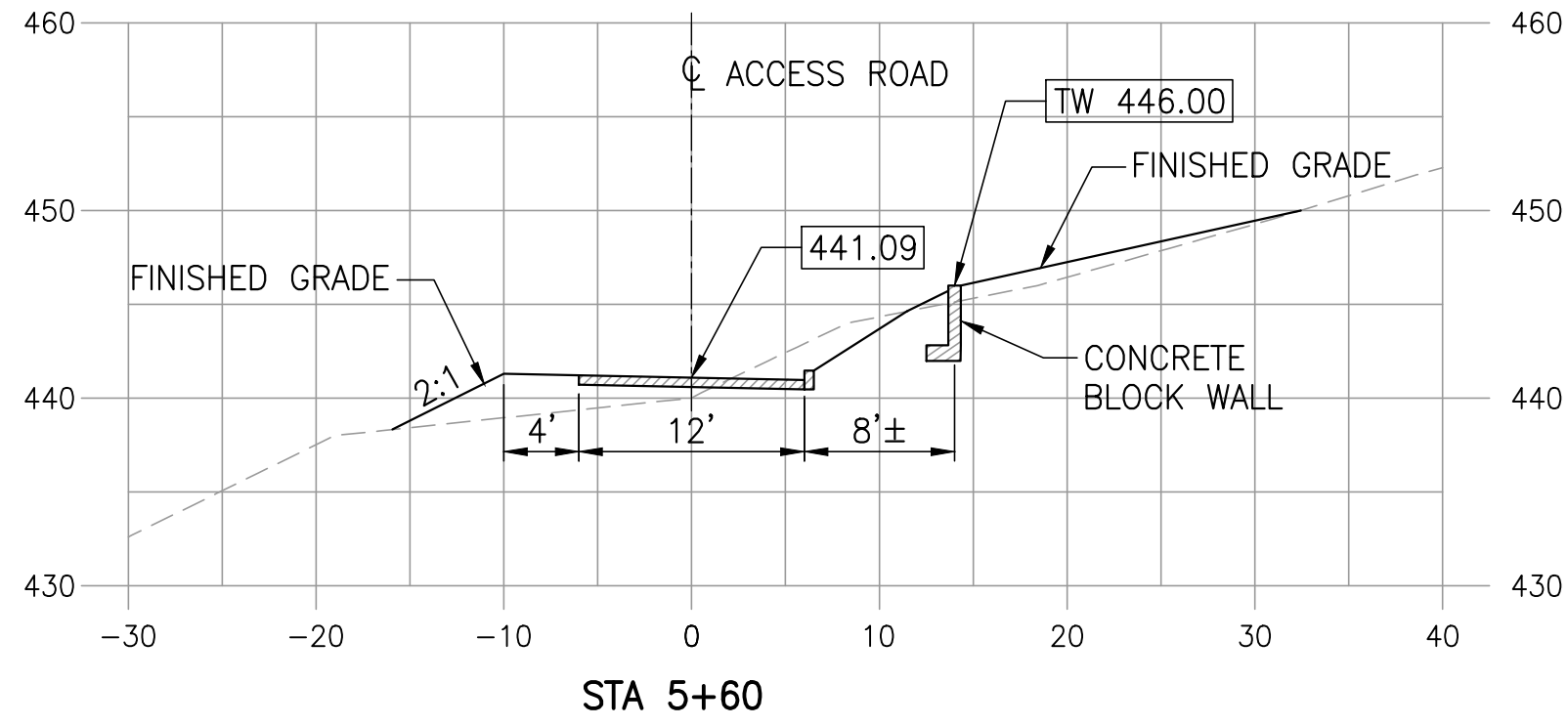


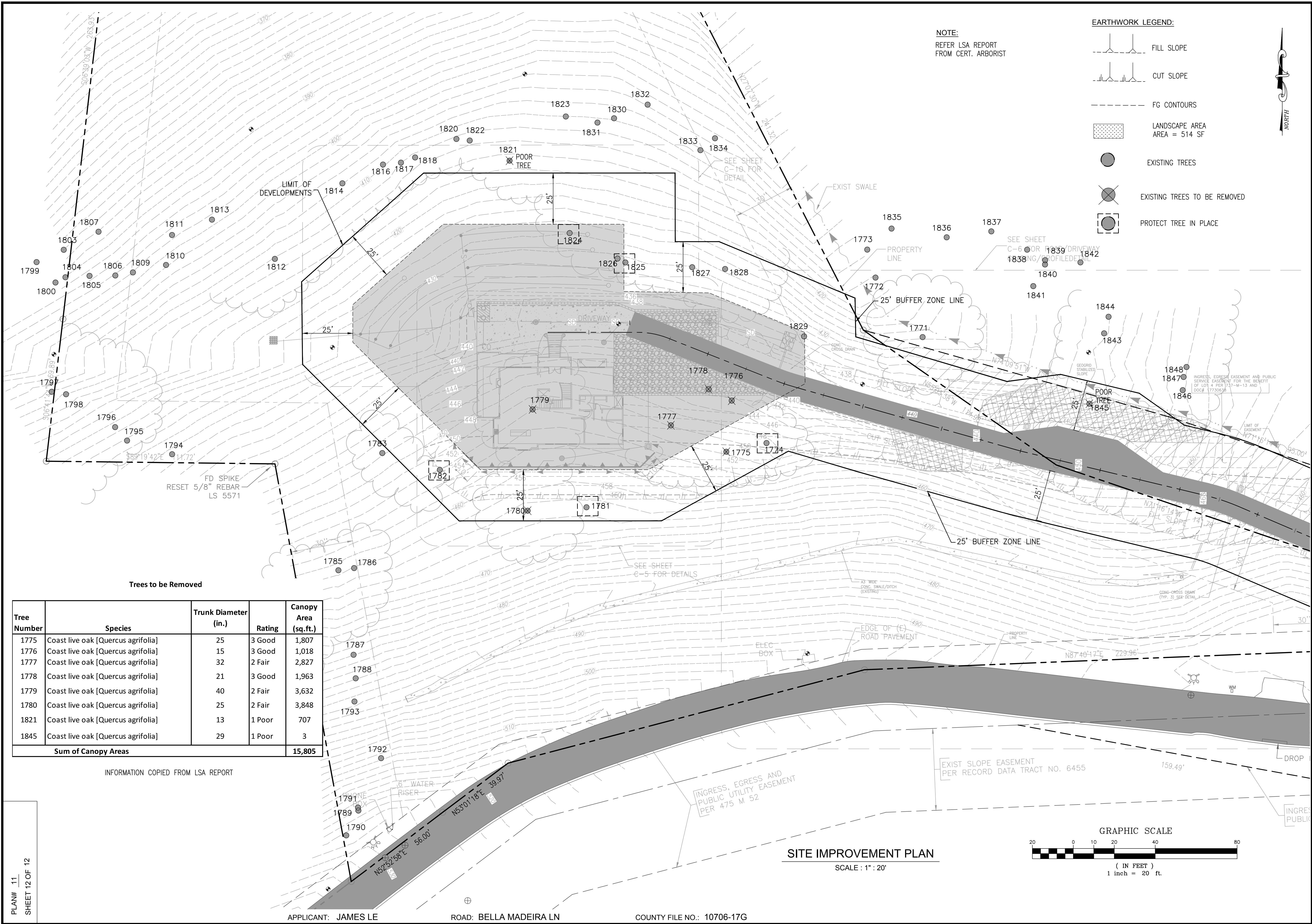
Manjit Saini
REGISTERED PROFESSIONAL ENGINEER
No. C 61948
Exp. 08-30-19
CIVIL
STATE OF CA

ENGINEERING

NO.	REVISIONS	DATE:	DESIGNED BY:	DRAWN BY:	CHECKED BY:	APPROVED BY:
1	PER MARCH 2018 COUNTY COMMENTS	21 AUG 2019	T. PENG	N. SINGH	M. SAINI	M. SAINI
2	PER OCT 2018 COUNTY COMMENTS					

C-7.2





JENGCO
JAMES LE
BELLA MADEIRA LANE
SAN JOSE, CA
APN: 654-64-012

TREE LOCATION PLAN

Manjit Saini
REGISTERED PROFESSIONAL ENGINEER
CIVIL
STATE OF CALIFORNIA

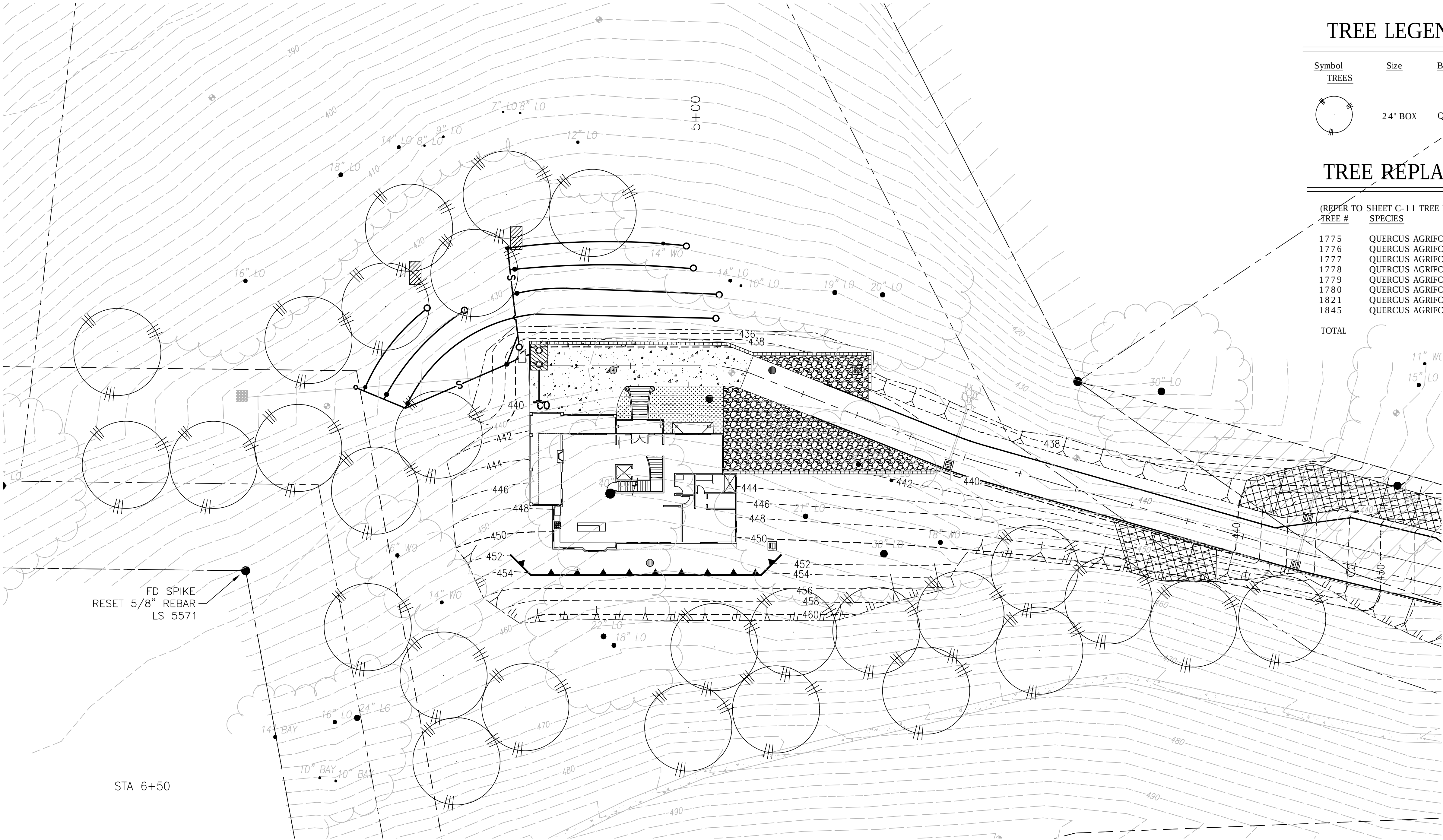
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DRAWN BY:	N. SINGH
CHECKED BY:	M. SAINI
APPROVED BY:	M. SAINI

NO.	1
REVISIONS	PER OCT 2018 COUNTY COMMENTS

C-11

ENGINEERING
CONSULTATION
CONSTRUCTION
INDER ENGINEERING LLC

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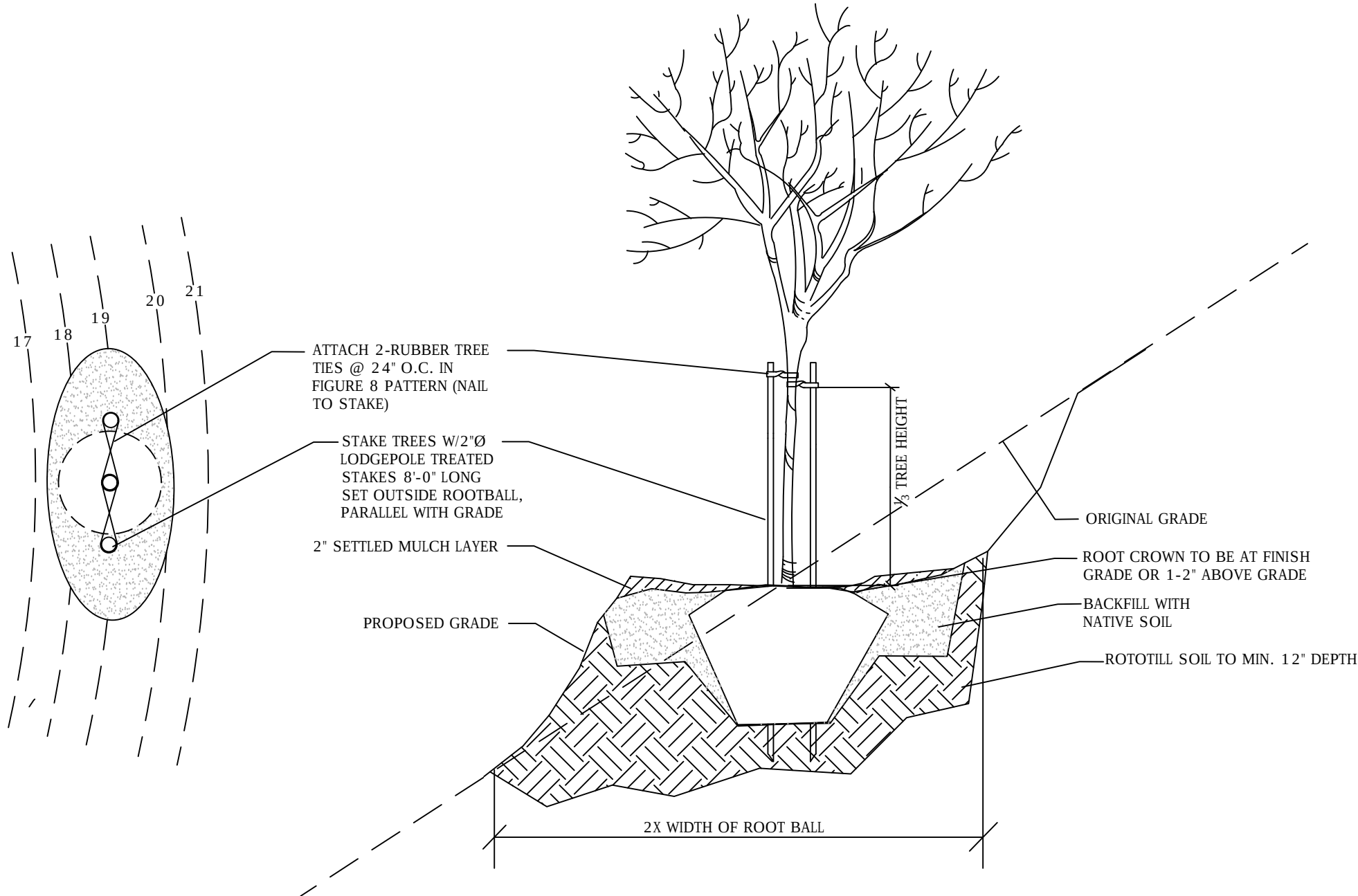


TREE LEGEND

Symbol	Size	Botanical Name	Common Name	Water Use
	24" BOX	Quercus agrifolia	Coast Live Oak	L

TREE REPLACEMENT

(REFER TO SHEET C-11 TREE LOCATION PLAN, FOR TREES TO BE REMOVED)			
TREE #	SPECIES	QUANTITY/SIZE	SPECIES
1775	QUERCUS AGRIFOLIA	4 -24" BOX.	QUERCUS AGRIFOLIA
1776	QUERCUS AGRIFOLIA	2 -24" BOX.	QUERCUS AGRIFOLIA
1777	QUERCUS AGRIFOLIA	4 -24" BOX.	QUERCUS AGRIFOLIA
1778	QUERCUS AGRIFOLIA	3 -24" BOX.	QUERCUS AGRIFOLIA
1779	QUERCUS AGRIFOLIA	4 -24" BOX.	QUERCUS AGRIFOLIA
1780	QUERCUS AGRIFOLIA	4 -24" BOX.	QUERCUS AGRIFOLIA
1821	QUERCUS AGRIFOLIA	2 -24" BOX.	QUERCUS AGRIFOLIA
1845	QUERCUS AGRIFOLIA	4 -24" BOX.	QUERCUS AGRIFOLIA
TOTAL		28 -24" BOX.	QUERCUS AGRIFOLIA



TREE PLANTING ON SLOPE
INSTALLATION DETAIL

pdG
PENNINO
DESIGN GROUP
1949 W. KETTLEMAN LANE
SUITE 200
LODI, CA 95242
(OFFICE)
PO BOX 1566
LODI, CA 95241
(MAILING)
209.327.4261
vpennino@penninogroup.com
CRLA 4978

TREE MITIGATION PLAN

BELLA MADIERA
SAN JOSE, CA

Drawn By:
VP
Date:
5.10.19
Scale:
1"= 20'
Job No.
118.21
Revisions:



This drawing is not final and shall not be used for construction work until it has been signed by the Landscape Architect

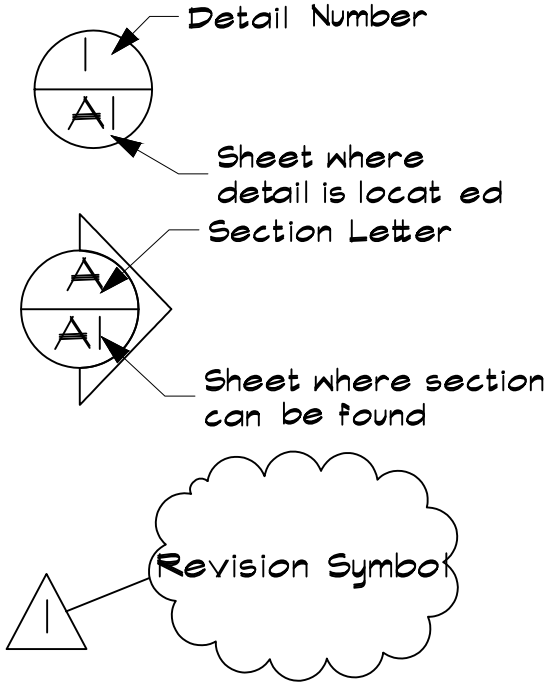
Sheet Number:

L1
Of 1 Sheets

GENERAL PROJECT NOTES

- A. THIS WORK SHALL COMPLY WITH ALL 2016 CBC, CMC, CFC, CEC, CALIFORNIA ENERGY CODE, AND CALIFORNIA RESIDENTIAL CODE, AND ALL OTHER REGULATIONS AS AMENDED TO DATES APPROVED BY THE COUNTY OF SANTA CLARA.
- B. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. WRITTEN DIMENSIONS ARE APPROXIMATE AND MUST BE VERIFIED BY CONTRACTOR. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO, AND DURING, ALL PHASES OF WORK.
- C. IF THE CONTRACTOR FINDS ANY LACK OF INFORMATION, DISCREPANCY, AND/OR OMISSIONS IN THESE DRAWINGS, OR IF THE CONTRACTOR IS UNCLEAR AS TO THE DRAWINGS' MEANING AND/OR INTENT, THE CONTRACTOR SHALL CONTACT THE ARCHITECT AT ONCE FOR INTERPRETATION AND/OR CLARIFICATION BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. IF ANY SUBCONTRACTOR FINDS ANY LACK OF INFORMATION, DISCREPANCY, AND/OR OMISSIONS IN THESE DRAWINGS, OR IF ANY SUBCONTRACTOR IS UNCLEAR AS TO THE DRAWINGS' MEANING AND/OR INTENT, THAT SUBCONTRACTOR SHALL CONTACT THE GENERAL CONTRACTOR, WHO SHALL THEN CONTACT THE ARCHITECT, AT ONCE FOR INTERPRETATION AND/OR CLARIFICATION BEFORE DIRECTING THE SUBCONTRACTOR TO PROCEED WITH THAT PORTION OF THE WORK.
- D. NO CHANGES, MODIFICATIONS, OR DEVIATIONS SHALL BE MADE TO AND/OR FROM THE DRAWINGS AND/OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE ARCHITECT OR THE OWNER.
- E. ALL MATERIALS USED SHALL BE EQUAL TO, OR EXCEED, ALL APPLICABLE STATE AND LOCAL CODES AND REQUIREMENTS.
- F. THE CONTRACTOR SHALL PROMPTLY AND LEGALLY REMOVE ALL ACCUMULATED DEBRIS DAILY, SHALL PROTECT ALL EXPOSED PORTIONS OF THE WORK FROM WEATHER ELEMENTS, SHALL AVOID OVER-LOADING THE STRUCTURE WITH CONSTRUCTION MATERIALS, AND SHALL SECURELY STORE ALL ITEMS TO BE USED FOR AND IN THE CONSTRUCTION OF THE WORK.
- G. ALL GLASS IN HAZARDOUS AREAS (INCLUDING TUBS AND/OR SHOWERS), ALL GLASS WITHIN 18" OF THE FINISHED FLOOR, AND ALL GLASS WITHIN 24" OF AN OPERABLE DOOR SHALL BE SAFETY GLASS, AND SHALL BE PERMANENTLY LABELED AS SUCH. (CBC SECTION 2406.4)
- H. THE CONTRACTOR SHALL MAINTAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE, ALL EXISTING UTILITIES AND CITY SERVICES DURING CONSTRUCTION.
- I. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- J. ALL ELECTRICAL CALCULATIONS AND WIRE SIZES SHALL BE PROVIDED BY A CALIFORNIA-LICENSED ELECTRICAL CONTRACTOR. RECEPTACLE, SWITCH, FIXTURE, AND EQUIPMENT LOCATIONS SHALL BE FOUND ON THE SITE PLAN AND PROPOSED FLOOR PLANS WITHIN THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, FIXTURE TYPES, AND EQUIPMENT WITH THE OWNER PRIOR TO PURCHASE AND INSTALLATION.
- K. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.
- L. ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED, OR CAPPED AS REQUIRED BY CODE AND/OR SOUND CONSTRUCTION PRACTICES.
- M. THE CONTRACTOR SHALL PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING- AND WALL-MOUNTED EQUIPMENT, HARDWARE, FIXTURES, AND ACCESSORIES.
- N. UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC. SHALL BE RUN IN CONCEALED SPACES, AND ALL FRAMING SHALL BE ADEQUATELY SIZED TO ACCOMPLISH THIS RESULT WITHOUT CAUSING ANY DEFORMATION IN THE WALL PLANE.
- O. INTERIOR DIMENSIONS ARE SHOWN FROM CENTER OF WALL AND EXTERIOR DIMENSIONS ARE SHOWN FROM FACE OF STUD.
- P. EACH BEDROOM SHALL HAVE ONE EXTERIOR EGRESS-COMPLIANT WINDOW OR DOOR THAT IS OPENABLE FROM THE BEDROOM'S INTERIOR WITHOUT THE USE OF A KEY OR SPECIAL TOOLS, KNOWLEDGE, OR EFFORT.
- Q. ALL PRODUCTS LISTED IN THESE DRAWINGS BY ICBO/NER NUMBER SHALL BE INSTALLED PER THE REPORT AND MANUFACTURER'S WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTION FOR PRODUCTS LISTED SHALL ALSO HAVE AN ICBO/NER-APPROVED WRITTEN EVALUATION REPORT AND BE APPROVED AND LISTED BY OTHER NATIONALLY-RECOGNIZED TESTING AGENCIES.
- R. EXTERIOR OPENABLE WINDOWS AND DOORS SHALL BE WEATHERSTRIPPED. ALL OPEN JOINTS, PENETRATIONS, AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, AND/OR WEATHERSTRIPPED TO LIMIT, OR ELIMINATE, AIR LEAKAGE.
- S. SEE STRUCTURAL SHEETS FOR PROJECT CONSTRUCTION NOTES AND DETAILS.
- T. SEE ATTACHED TITLE 24 FORMS AND/OR CALCULATIONS FOR PROJECT ENERGY EFFICIENCY REQUIREMENTS.

SYMBOL LEGEND



SHEET INDEX

- A1 COVER SHEET
- CIVIL DRAWINGS - C1 THRU C10
- A2 FLOOR AREA CALCULATIONS
- A3 LOWER LEVEL FLOOR PLAN
- A4 MAIN LEVEL FLOOR PLAN
- A5 UPPER LEVEL FLOOR PLAN
- A6 EXTERIOR ELEVATIONS
- A7 EXTERIOR ELEVATIONS
- A8 BUILDING SECTION
- A9 BUILDING SECTION
- A10 - BUILDING SECTIONS

CONSULTANTS

STRUCTURAL ENG.

CIVIL ENGINEER.

MANJIT SAINI, P.E.

GEOTECHNICAL ENG.

ENERGY COMPLIANCE

NRG COMPLIANCE |p
PO BOX 3777
SANTA ROSA, CA
707-237-6957

PROJECT INFO

OCCUPANCY - R-3
TYPE OF CONSTRUCTION - V-B
AUTOMATIC FIRE SPRINKLERS - FIRE
SPRINKLERS TO BE INSTALLED
OWNER: JAMES LE
LOCATION BELLA MADIERA SAN JOSE CA 95121
APN: 654-64-012
LOT AREA = 3.13 ACRES
ZONING HS-D1
NUMBER OF STORIES 3
TOTAL SQUARE FOOTAGE 5850
GARAGE SQUARE FOOTAGE 882

SCOPE OF WORK

NEW SINGLE FAMILY RESIDENCE

STEVE BENZING
ARCHITECT

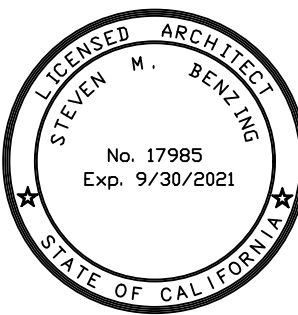
C-179385

12403 FREDERICKSBURG
SARATOGA CALIFORNIA

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WEBSITE: BENZARCH.COM

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DEFERRED APPROVALS

PROVIDE AN AUTOMATIC FIRE SPRINKLER SYSTEM DESIGNED PER NFPA 13D
NOTE: A SEPARATE PERMIT FOR THE SPRINKLER SYSTEM IS APPLIED FOR WITH THE COUNTY FIRE PROTECTION DISTRICT. NO PERMIT WILL BE ISSUED PRIOR TO APPROVAL OF THE FIRE PROTECTION SYSTEMS.

FIRE DEPT REQUIREMENTS

1. CONSTRUCTION SITE FIRE SAFETY:
ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION 91-1. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLANS AND SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP. 33

2. WATER SUPPLY REQUIREMENTS:
POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.1

3. ADDRESS IDENTIFICATION.
NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED AT ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1

RESIDENCE IS LOCATED WITHIN WILDLAND
URBAN INTERFACE ZONE

- CLASS A ROOFING
- MIN 26 GA GALV VALLEY FLASHING OVER MIN 90# MINERAL SURFACED NON PERFORATED DD CAP SHEET MIN 36" WIDE
- GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS
- ATTIC VENTILATION VENTS SHALL HAVE A MIN OF 1/16" OPENINGS AND A MAX OF 1/8" & BE NONCOMBUSTIBLE & CORROSION RESISTANT
- ALL SOFFITS AND UNDERSIDES OF BALCONIES SHALL BE PROTECT WITH HARDIE SOFFIT
- ALL WINDOWS AND EXTERIOR GLAZED DOORS SHALL HAVE A FIRE RESISTANT RATING OF 20 MINUTES AND TEMPERED GLASS.
- DECKING SHALL BE PROTECTED PER SECTION R327.0
- PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN THE CALIFORNIA FIRE CODE SECTION 4906, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CAL. GOVERNMENT CODE SECTION 51182

FILE NO. 10706-17G R4

COVER
SHEET

NEW RESIDENCE ON
BELLA MADERIA LANE
SAN JOSE, CA
FOR:

MR. JAMES LE
330 PIERCY RD.
SAN JOSE, CA 95138

DATE: 4/18/19

SCALE: NOTED

DRAWN BY: SMB

JOB NO. 1908

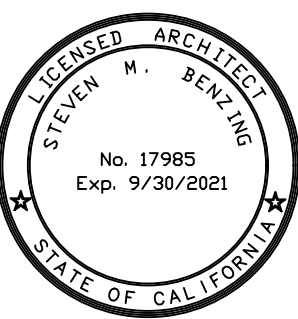
SHEET

A1

OF 5HTS

VICINITY MAP

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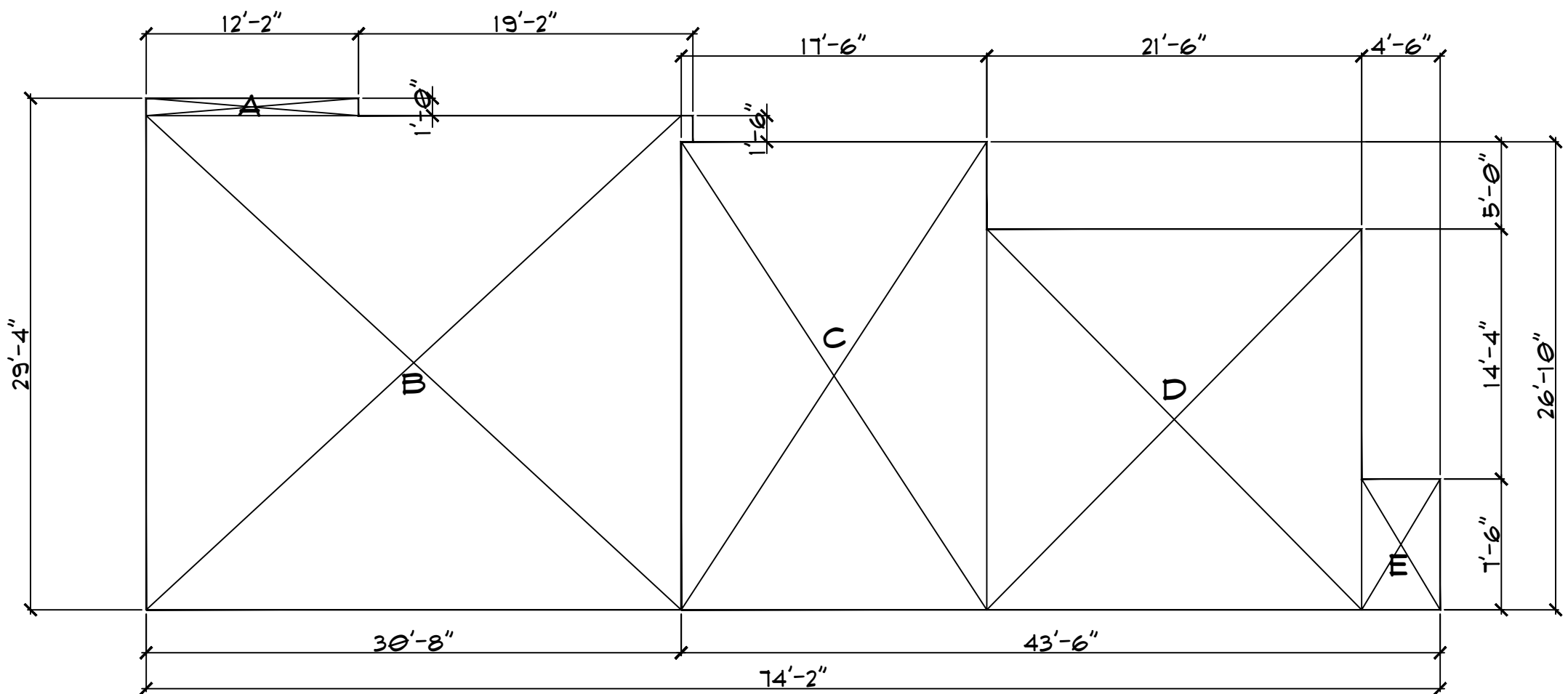
FLOOR AREA
CALCULATIONS

NEW RESIDENCE ON
BELLA MADERIA LANE
SAN JOSE, CA
FOR:

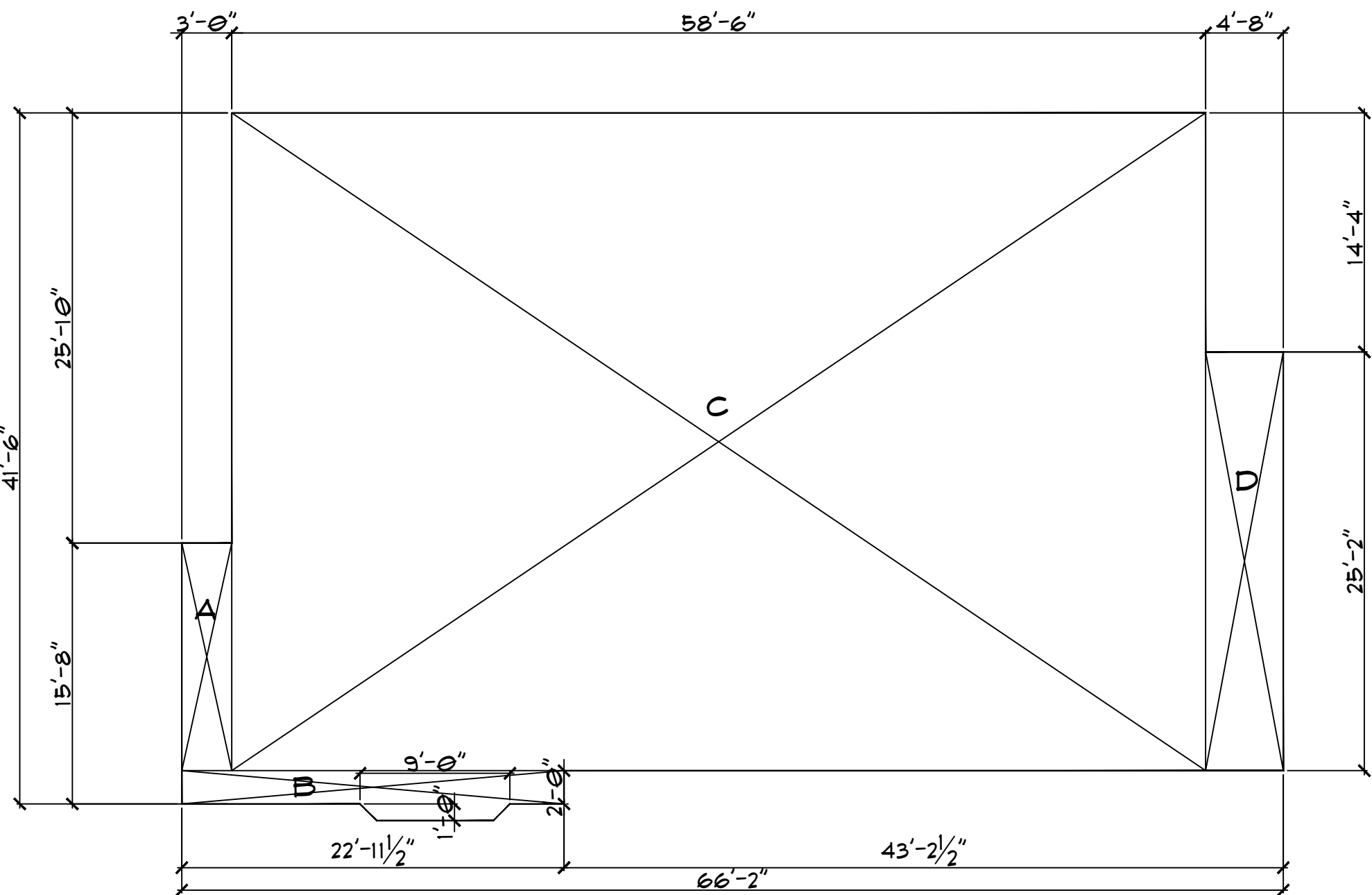
MR. JAMES LE
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SAN JOSE, CA 95138

10/18/19 - REVISED

DATE: 4/18/19
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SHEET
A2
OF 5 HTS

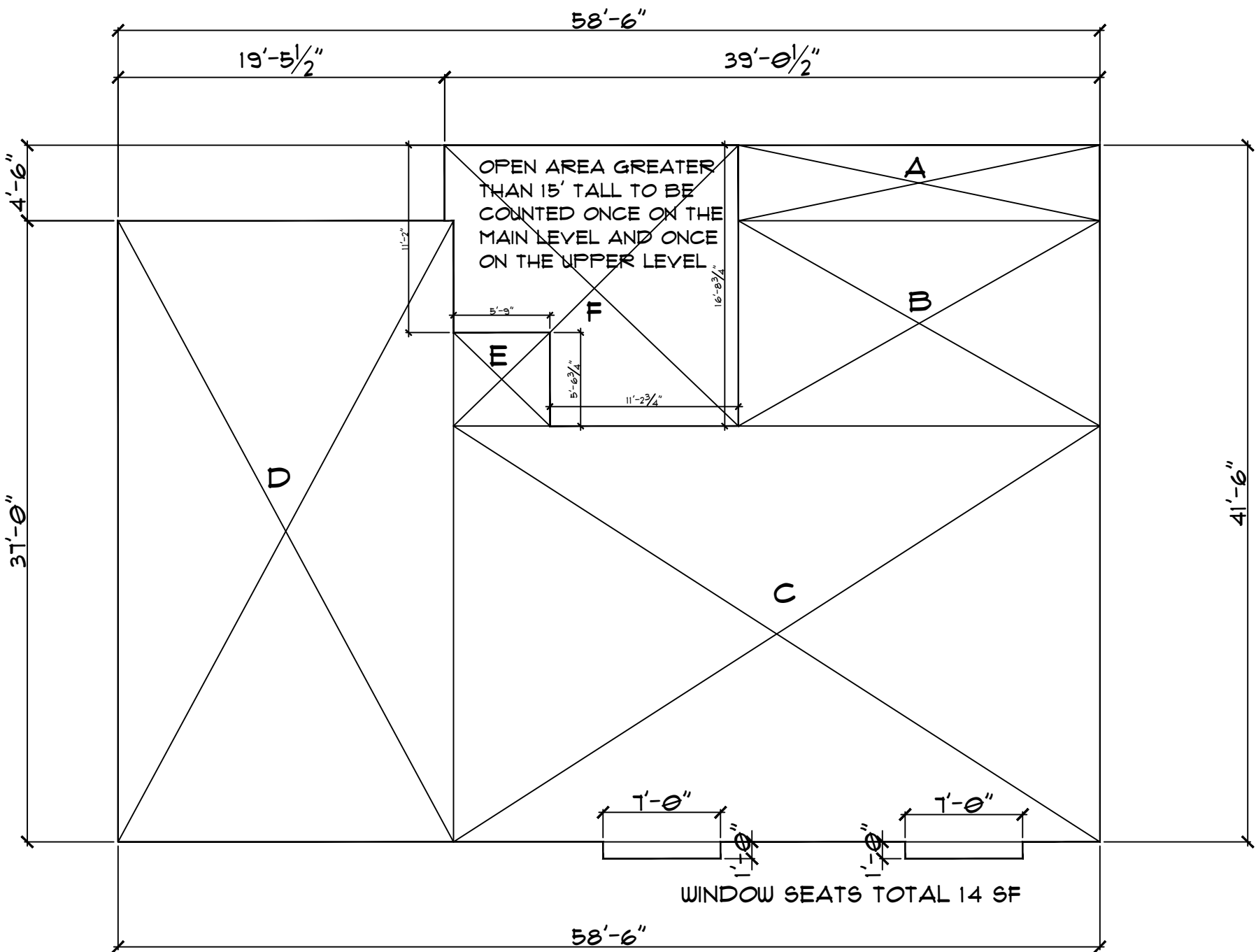


BASEMENT LEVEL FLOOR AREA
CALCULATIONS
A - 12'-2" x 1'-0" = 12.17
B - 30'-8" x 28'-4" = 869.2
C - 17'-6" x 26'-10" = 469.35
D - 21'-6" x 21'-10" = 469
E - 4'-6" x 1'-6" = 33.75
TOTAL 1853.5



MAIN LEVEL FLOOR AREA CALCULATIONS
A - 3'-0" x 15'-8" = 47
B - 23'-0" x 2'-0" (+) = 53
C - 58'-6" x 39'-6" = 2310.15
D - 4'-8" x 25'-2" = 117.5
TOTAL 2528.25

BASEMENT & GARAGE
LEVEL - 1853.5
MAIN LEVEL - 2528.25
UPPER LEVEL - 2353
TOTAL FAR - 6734.75



UPPER LEVEL FLOOR AREA
CALCULATIONS
A - 21'-6" x 4'-6" = 96.75
B - 21'-6" x 12'-3" = 263.375
C - 38'-6" x 24'-9" = 953
D - 20'-0" x 31'-0" = 740
E - 5'-9" x 5'-1" = 32
F - 254
WINDOW SEATS 14
TOTAL 2353.125

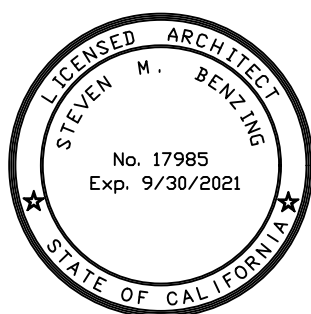
SCALE 1/8" = 1'-0"

STEVE BENZING
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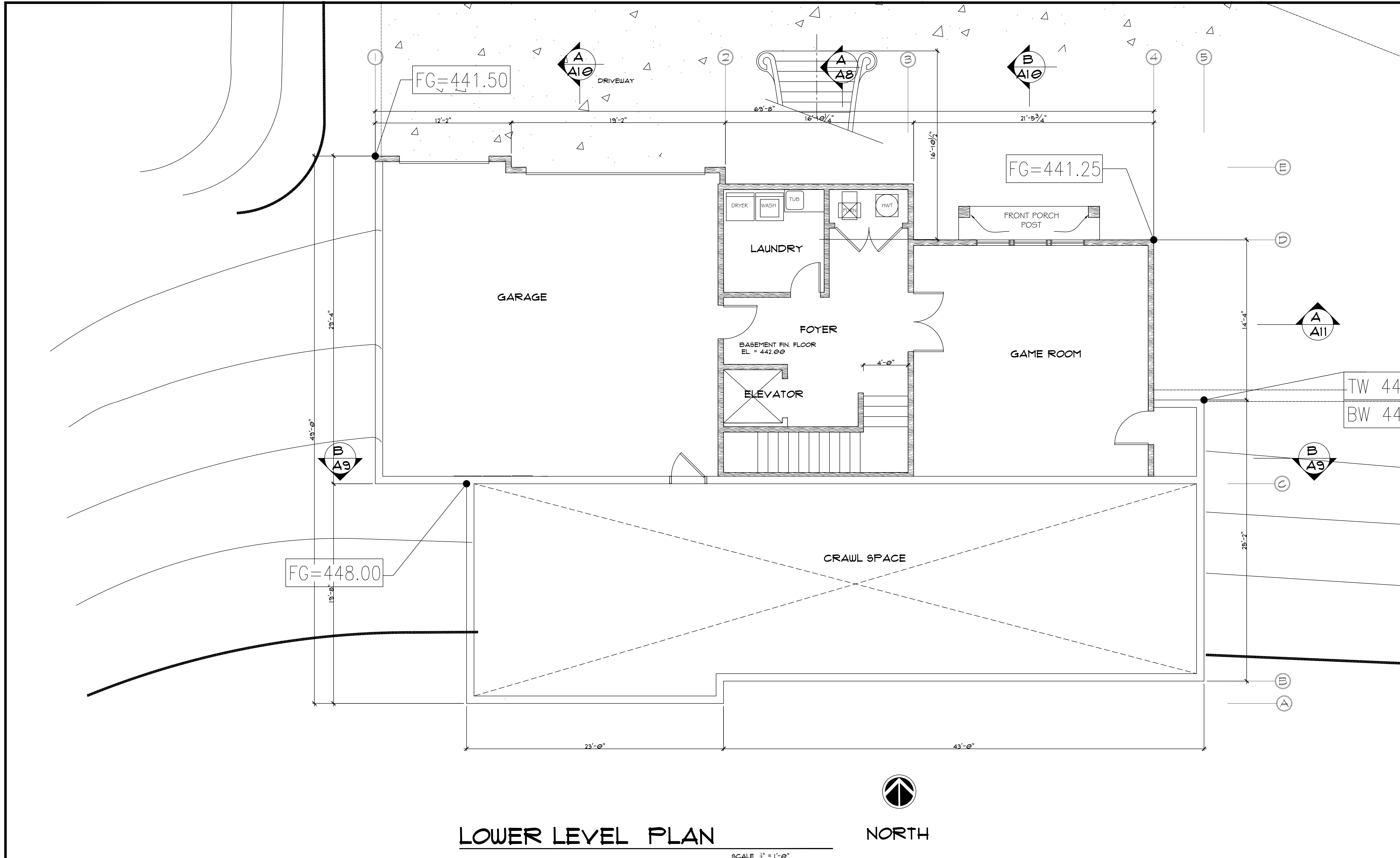


LOWER
LEVEL
FLOOR PLAN

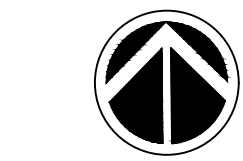
NEW RESIDENCE ON
BELLA MADERIA LANE
SAN JOSE, CA
FOR:

MR. JAMES LE
330 PIERCY RD.
SAN JOSE, CA 95138

DATE: 4/18/19
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LOWER LEVEL PLAN



NORTH

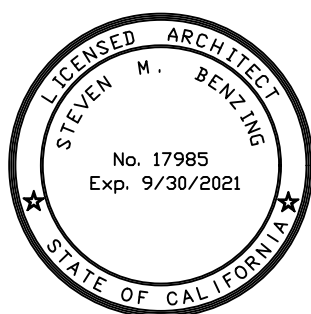
SCALE 1/4" = 1'-0"

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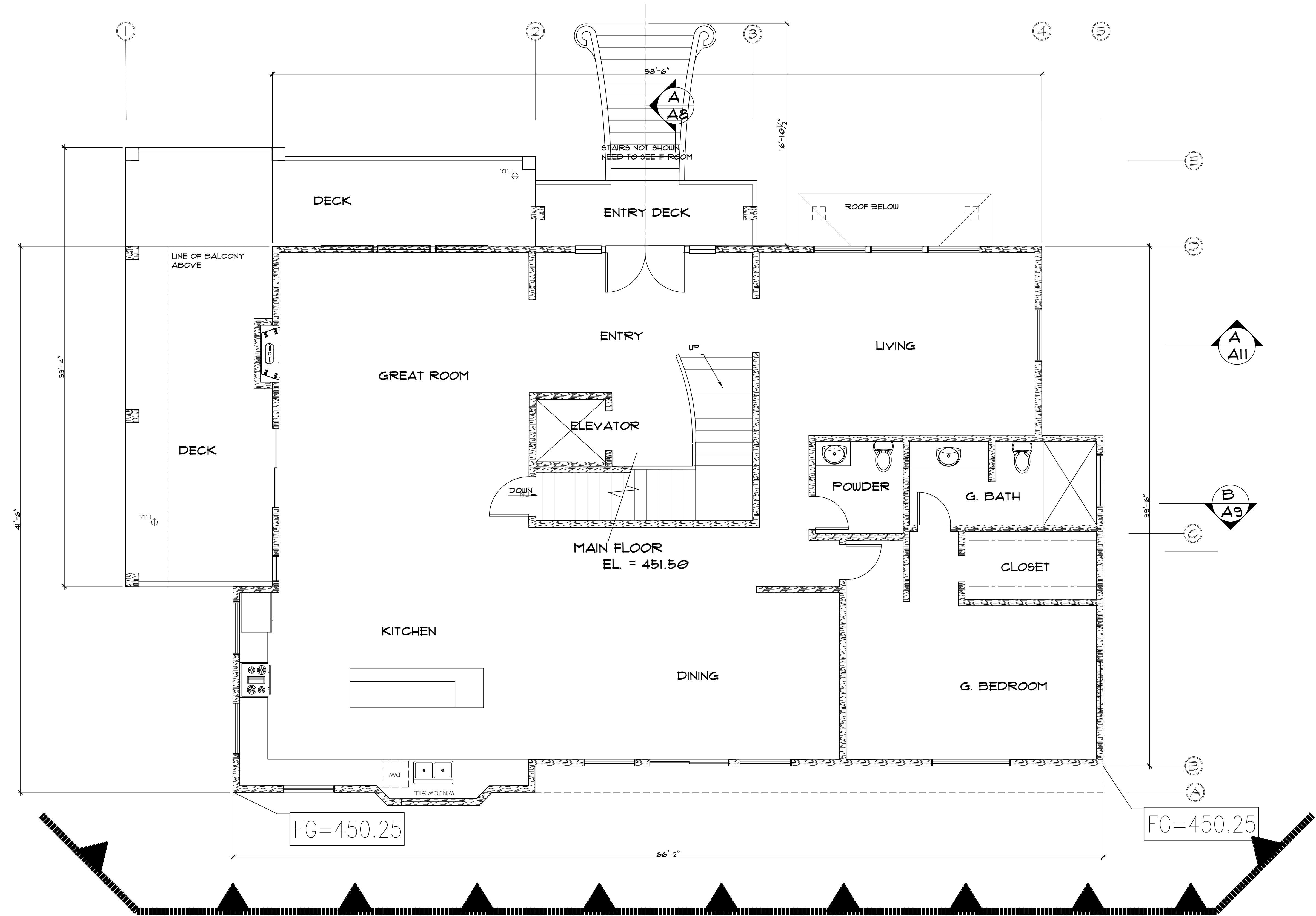


MAIN LEVEL FLOOR PLAN

NEW RESIDENCE ON
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SAN JOSE, CA
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330 PIERCY RD.
SAN JOSE, CA 95138

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MAIN FLOOR PLAN

SCALE 1/4" = 1'-0"



NORTH

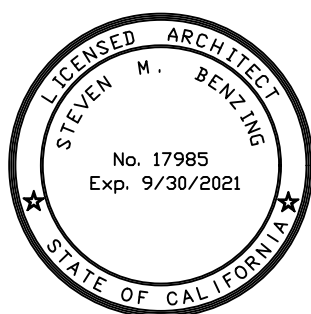
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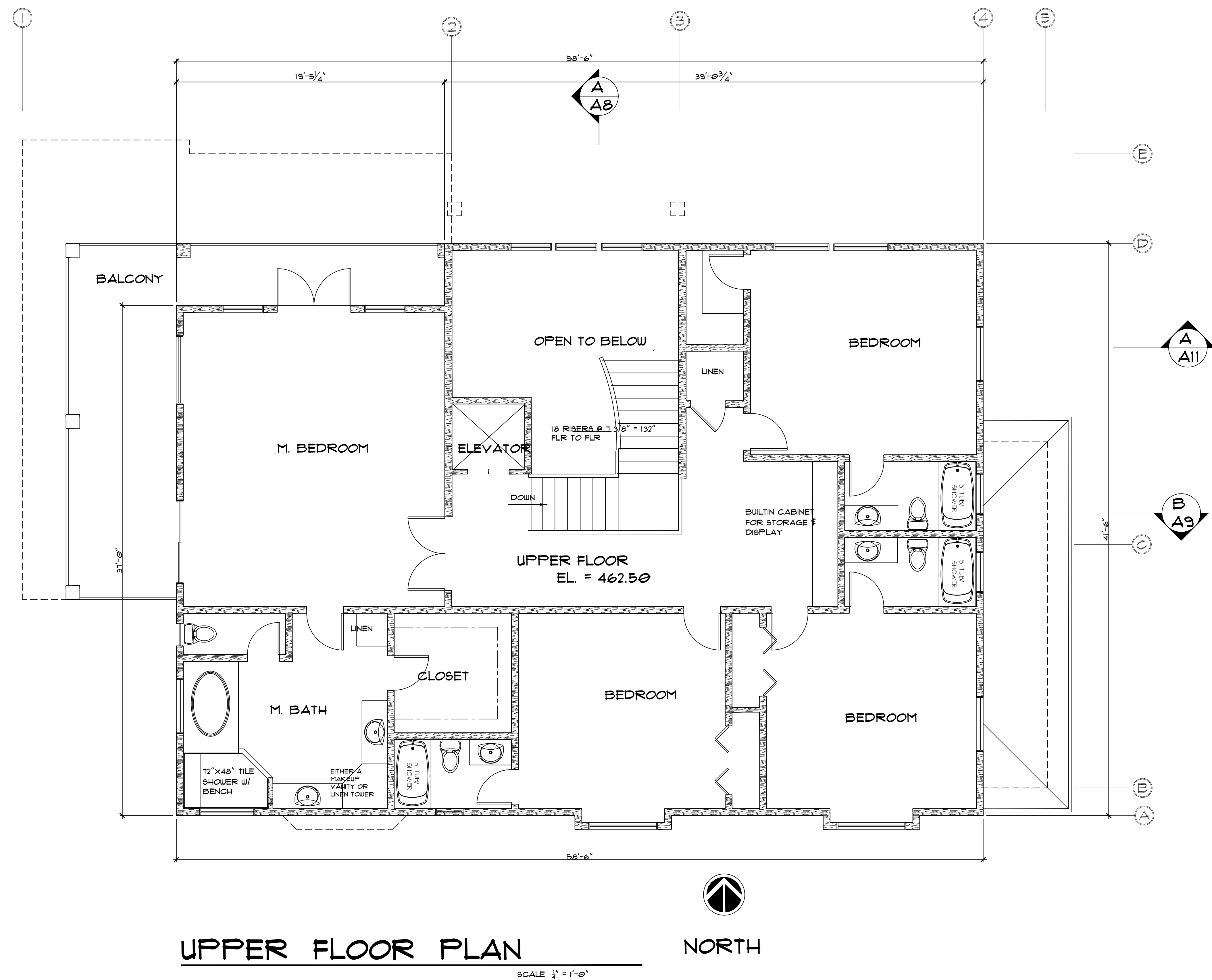


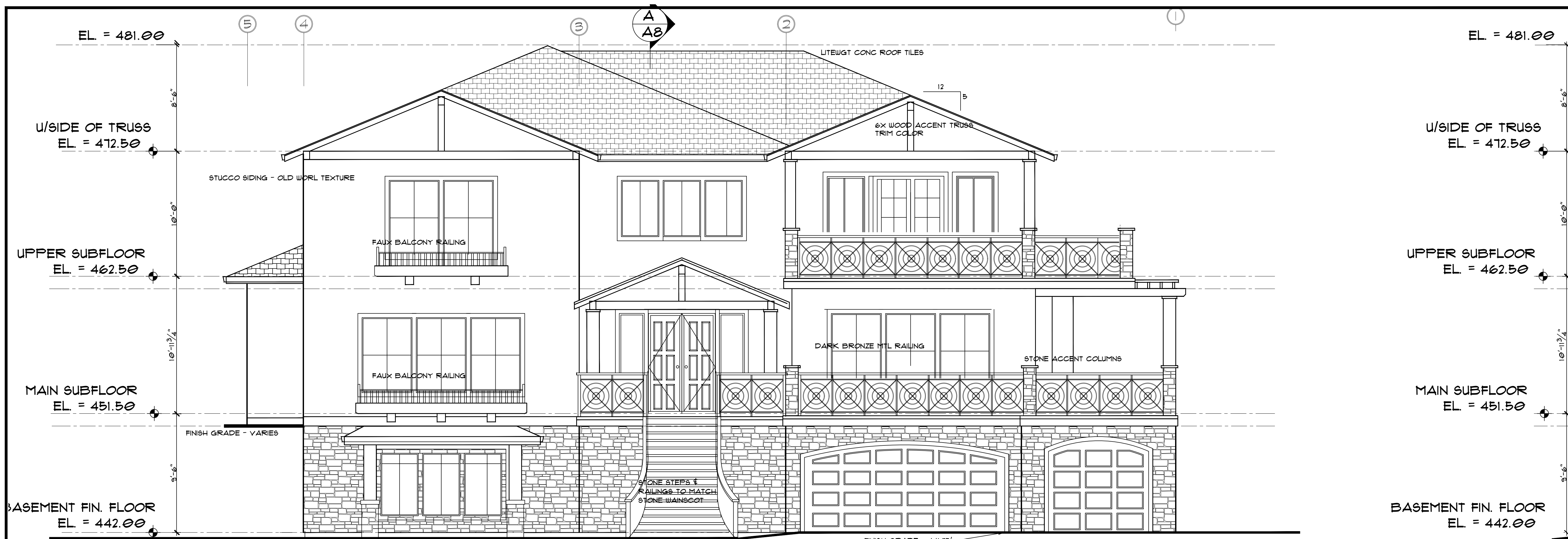
UPPER
LEVEL
FLOOR PLAN

NEW RESIDENCE ON
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SAN JOSE, CA
FOR:

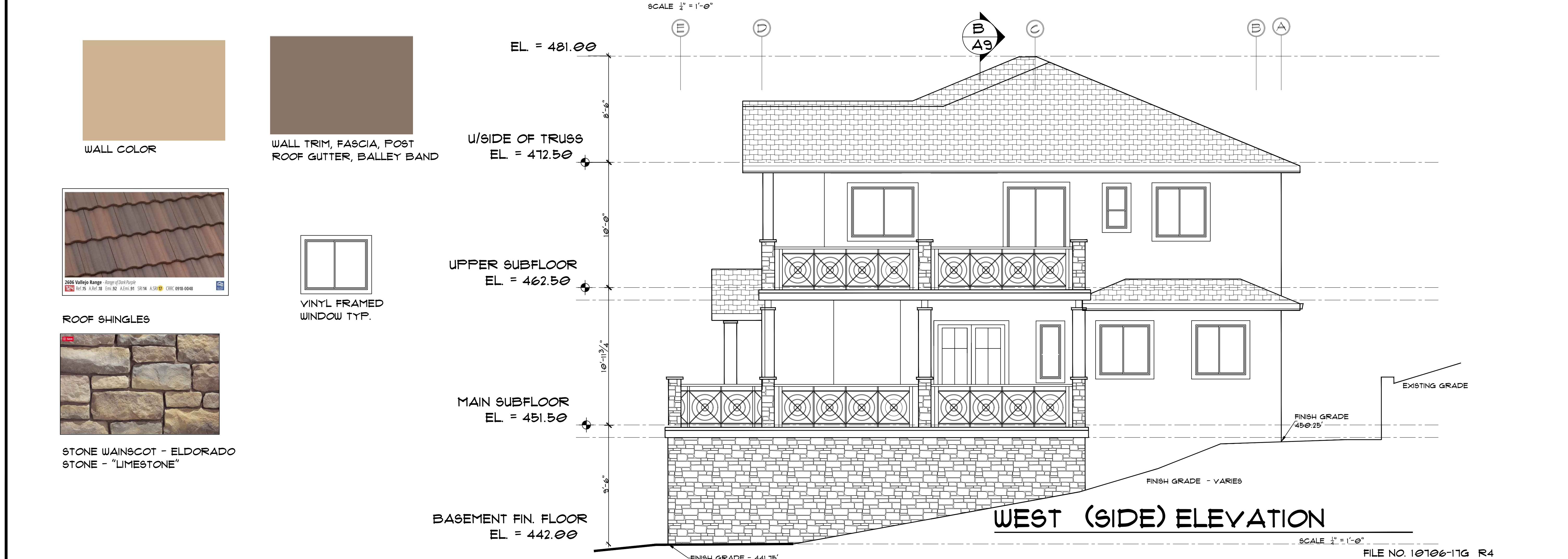
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SHEET
A5
OF 5HT6





NORTH (FRONT) ELEVATION
SCALE 1/4" = 1'-0"



WEST (SIDE) ELEVATION
SCALE 1/4" = 1'-0"



WALL COLOR



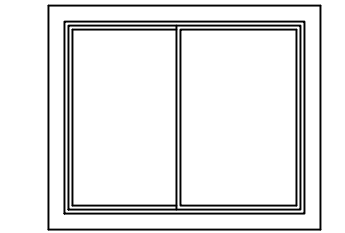
WALL TRIM, FASCIA, POST
ROOF GUTTER, BALLEY BAND



ROOF SHINGLES



STONE WAINSCOT - ELDORADO
STONE - "LIMESTONE"



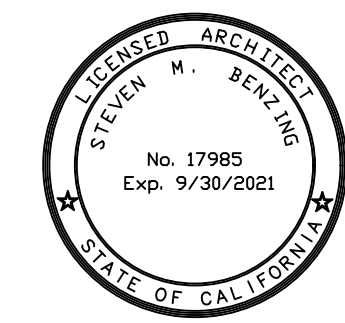
VINYL FRAMED
WINDOW TYP.

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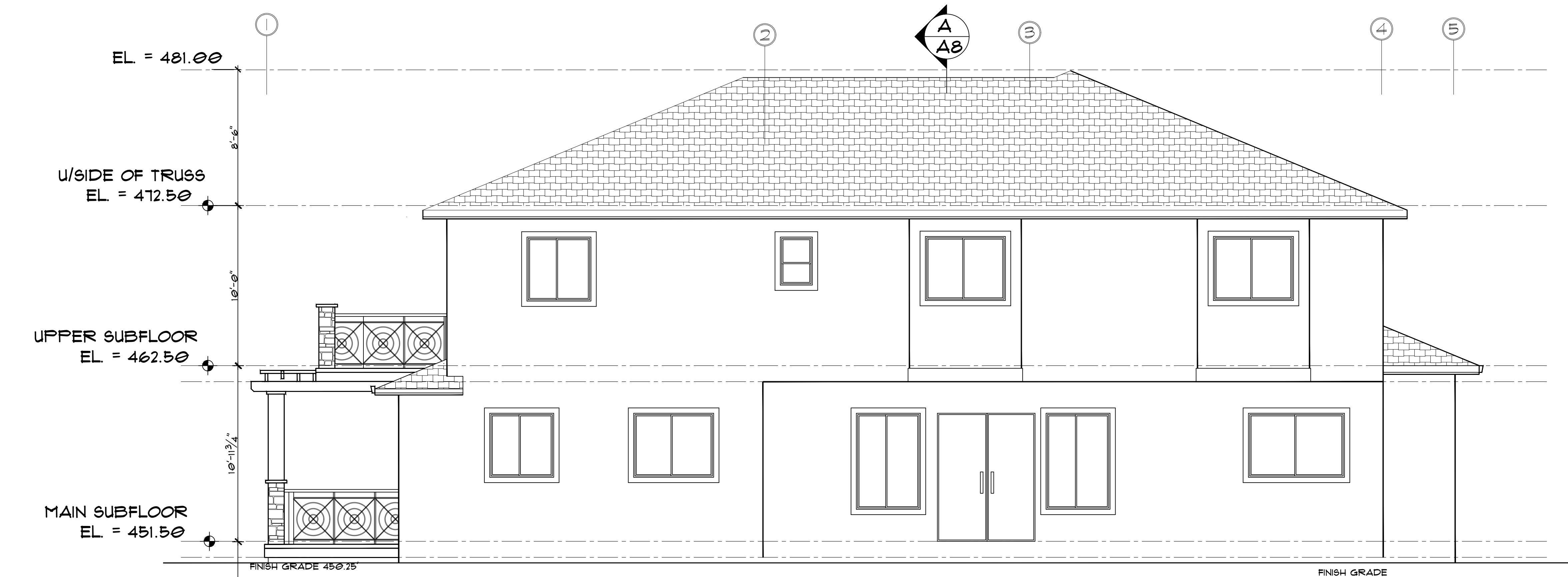


EXTERIOR ELEVATIONS

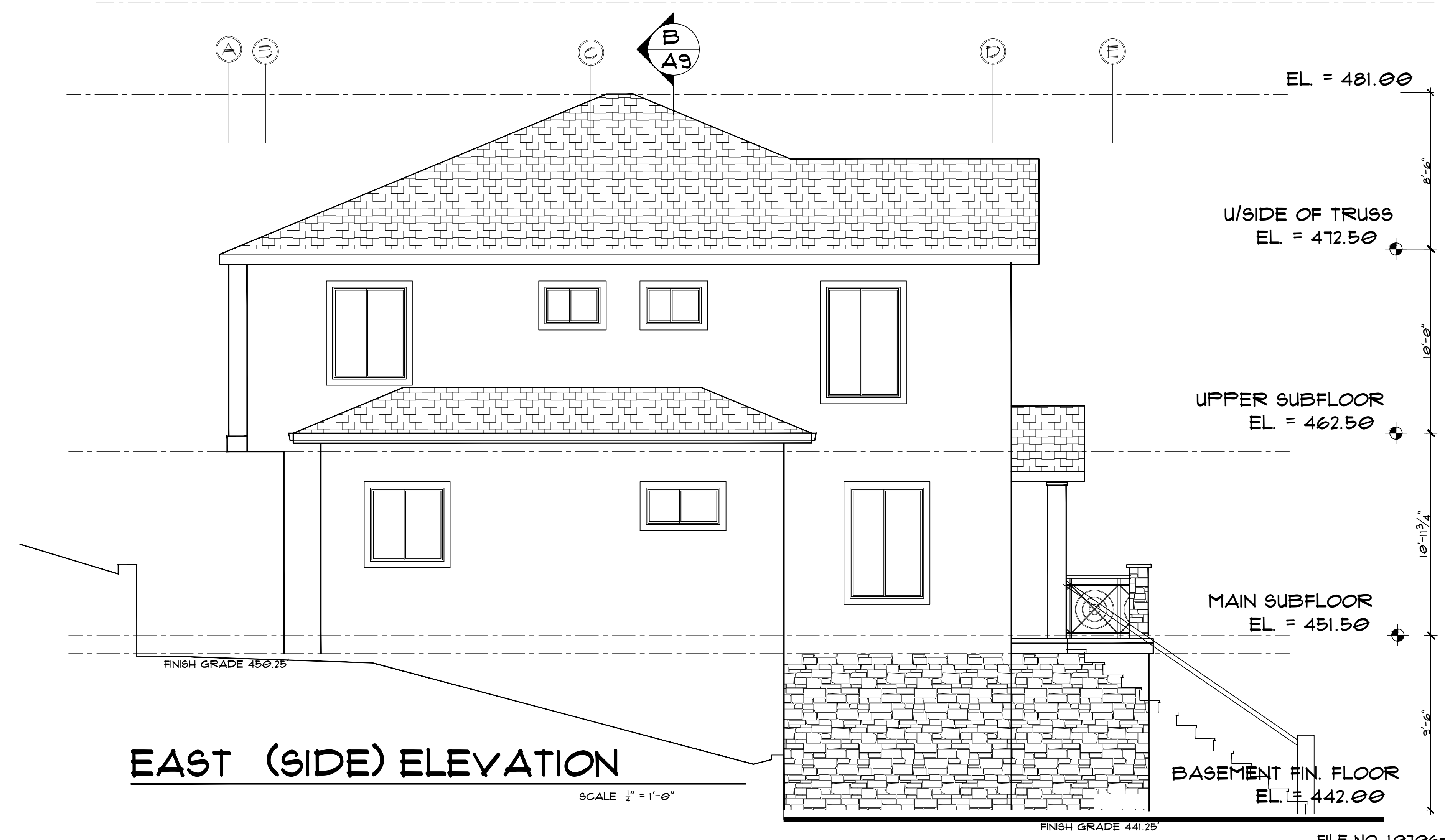
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A6
OF 5HT6



SOUTH (REAR) ELEVATION
SCALE 1/4" = 1'-0"



EAST (SIDE) ELEVATION
SCALE 1/4" = 1'-0"

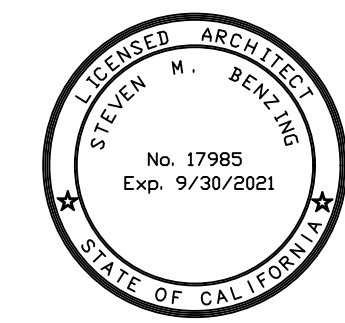
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EXTERIOR ELEVATIONS

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FOR:

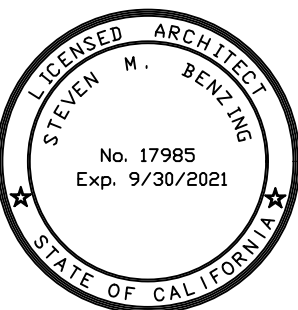
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SAN JOSE, CA 95138

DATE: 4/18/19
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SHEET

A7

OF 5HT6

FILE NO. 10706-17G R4



SECTION

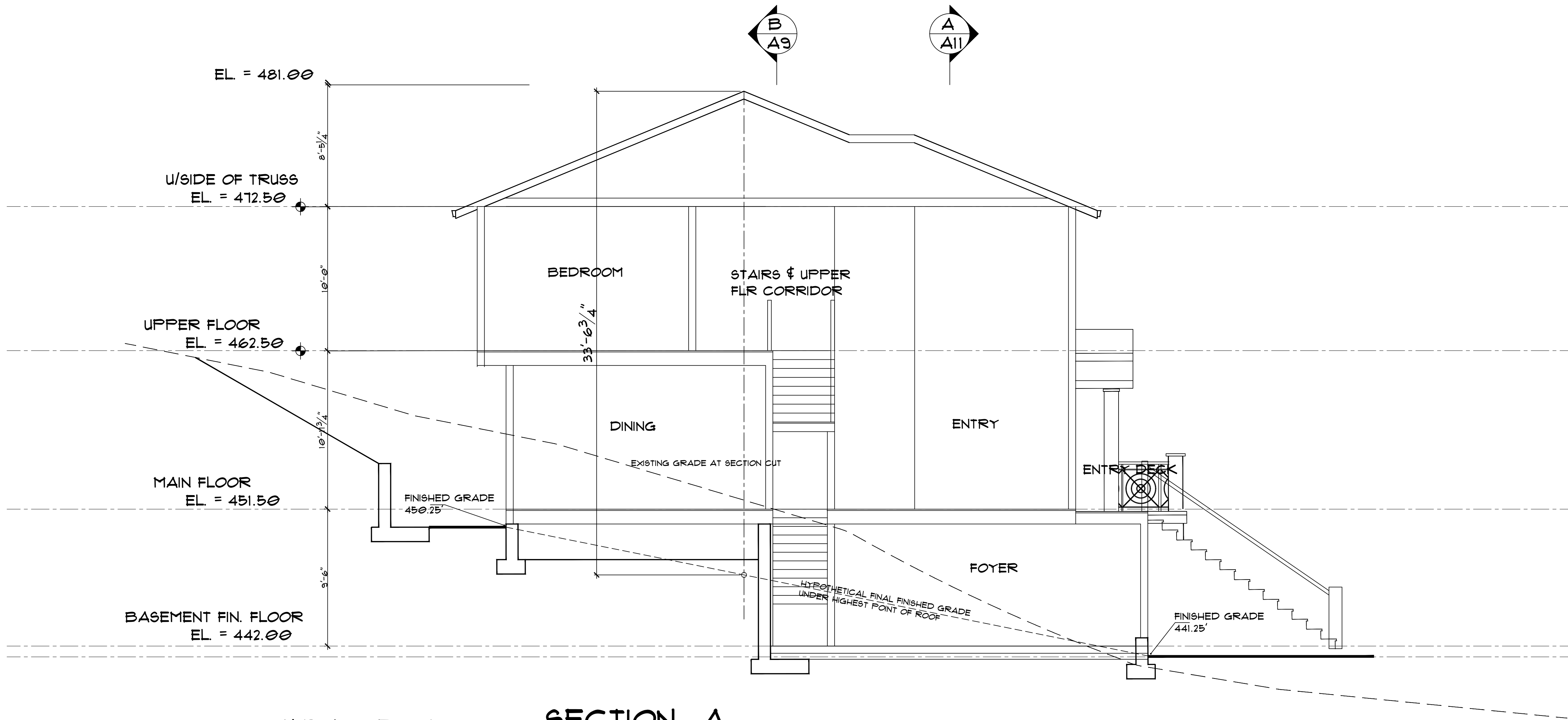
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SAN JOSE, CA 95138

DATE: 4/18/19
SCALE: NOTED
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JOB NO. 1908
SHEET

A8

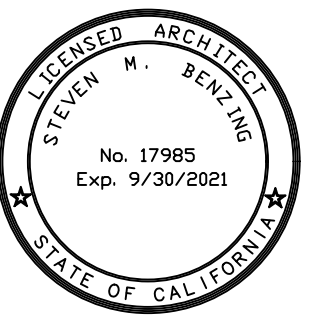
OF 5HT6



BUILDING HEIGHT
SECTION B - 34'- 5"
SECTION A - 33'-6.75"
ADD TOGETHER - 68'-11.75"/2 =
34'-6" < 35'-0"

SECTION A

SCALE 1/4" = 1'-0"



SECTION

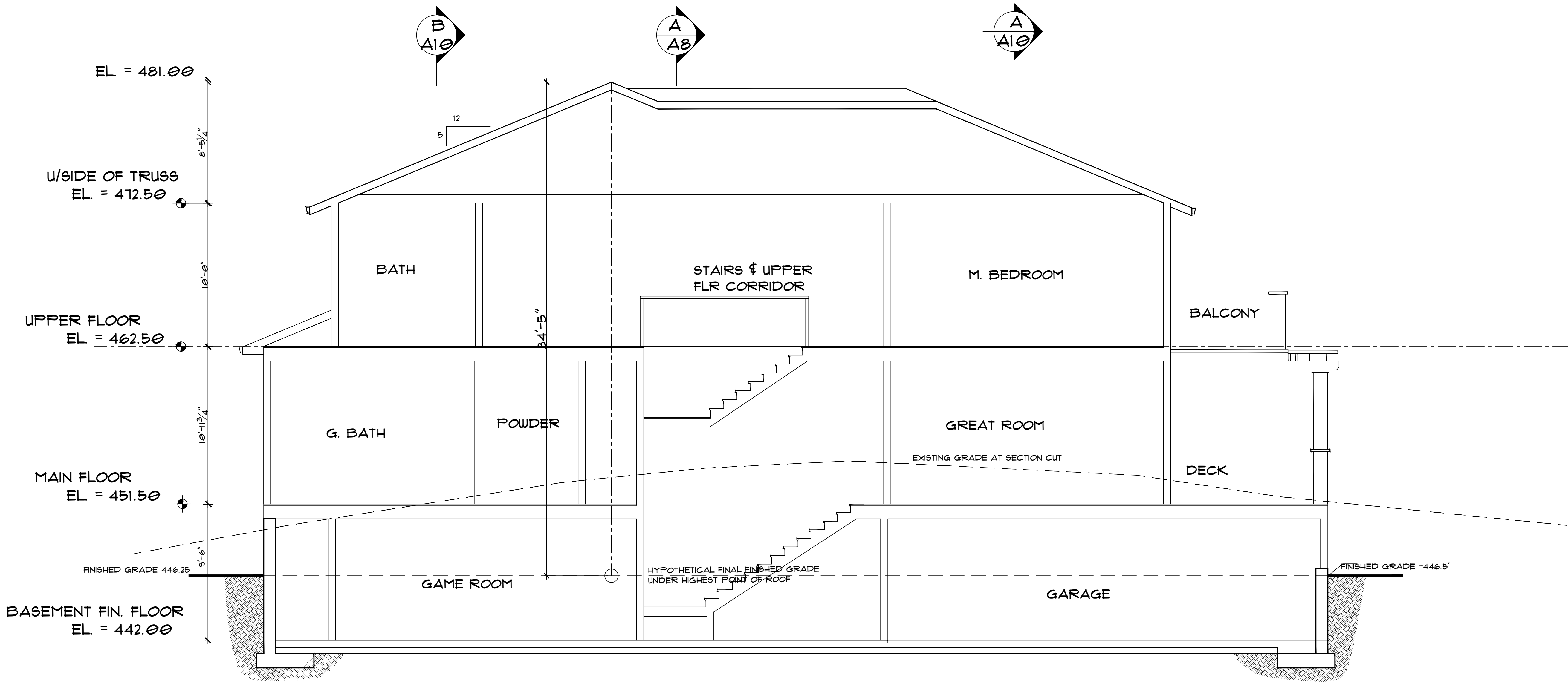
NEW RESIDENCE ON
BELLA MADERIA LANE
SAN JOSE, CA
FOR:

MR. JAMES LE
330 PIERCY RD.
SAN JOSE, CA 95138

DATE: 4/18/19
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A9

OF 5HT6



SECTION B

SCALE 1/4" = 1'-0"

BUILDING HEIGHT
SECTION B - 34'- 5"
SECTION A - 33'-6.75"
ADD TOGETHER - 68'-11.75"/2 =
34'-6" < 35'-0"

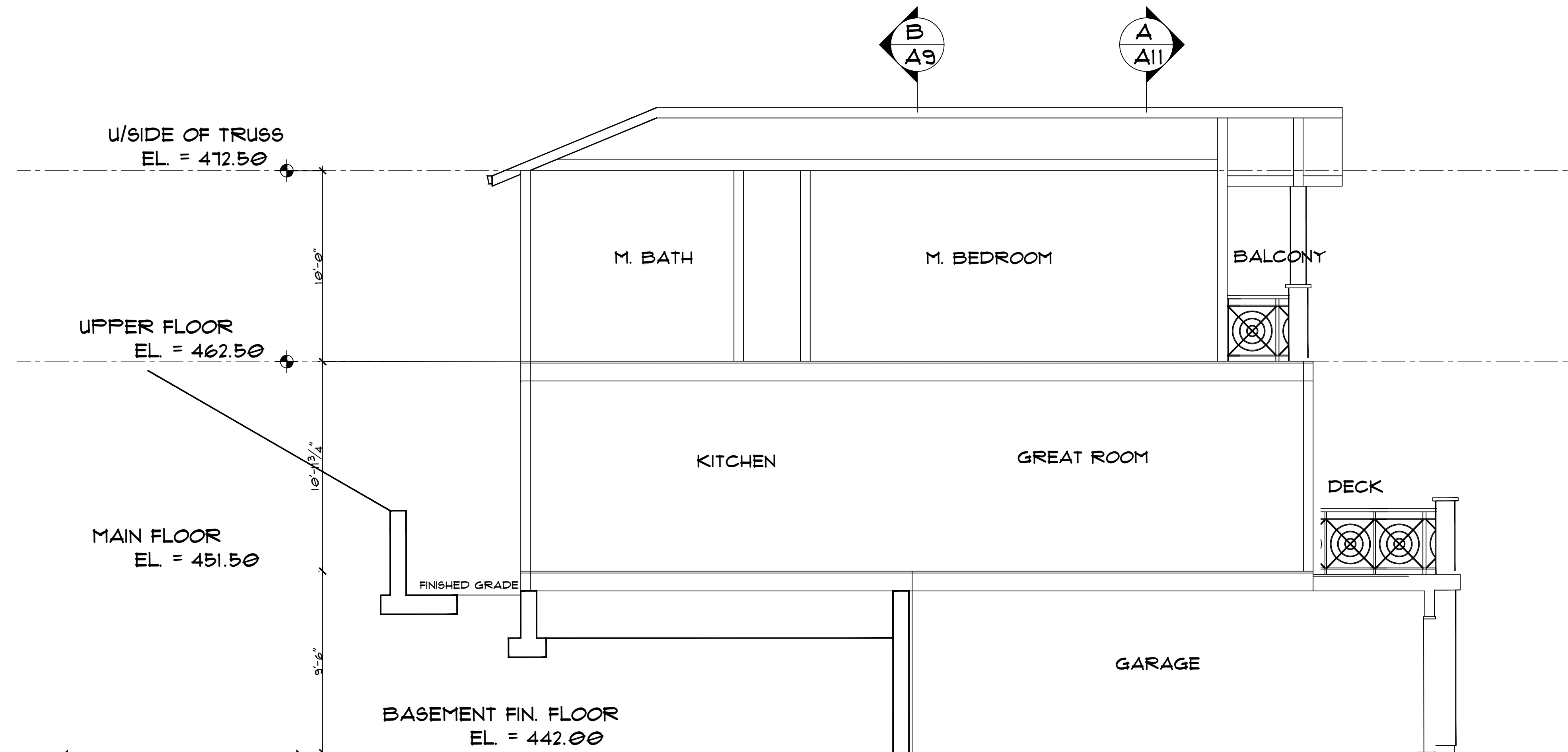
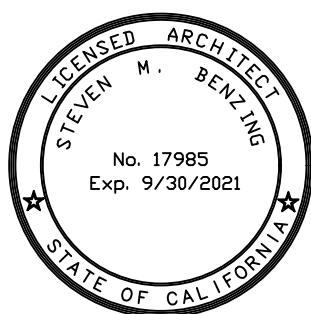
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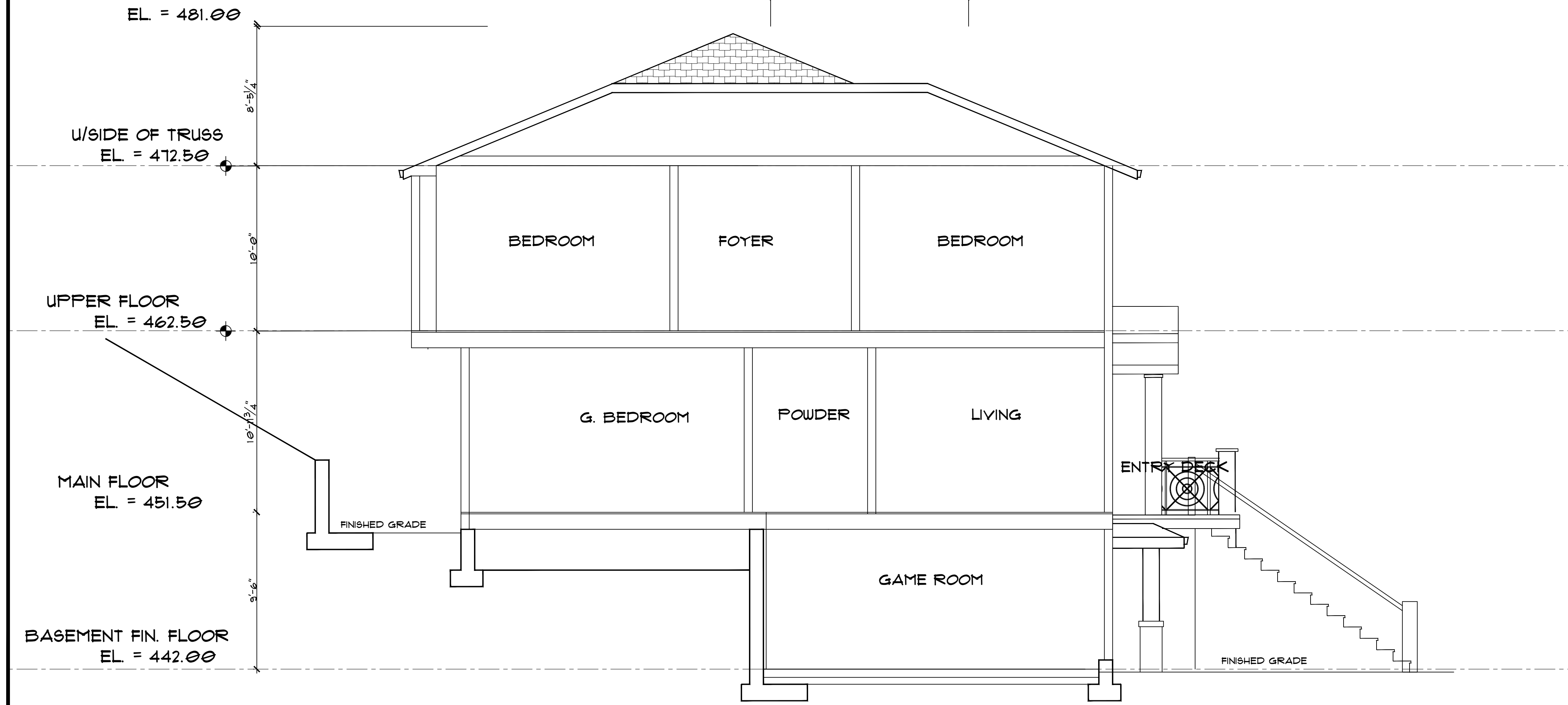
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SECTION A

SCALE 1/4" = 1'-0"



SECTION B

SECTIONS

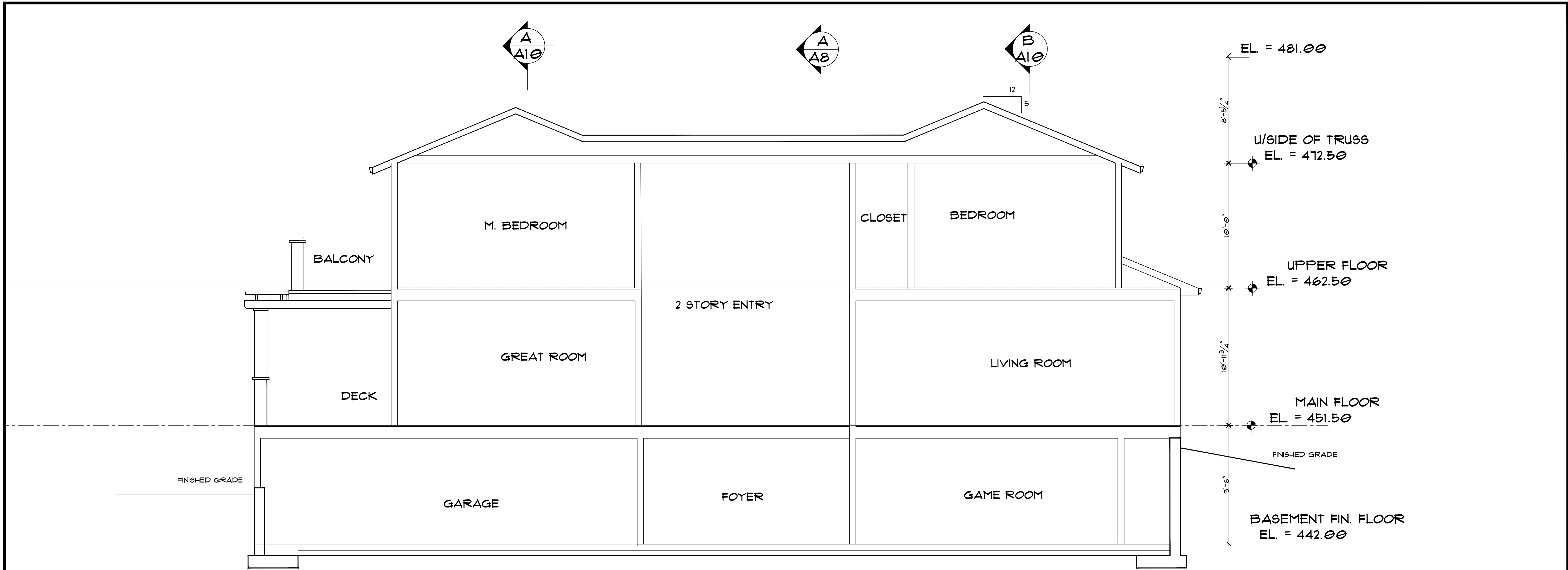
NEW RESIDENCE ON
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A10

OF 5HT6

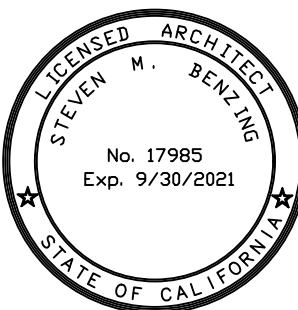


SECTION A

SCALE 1/4" = 1'-0"

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SECTIONS

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