

Total Area of Disturbance = 54,000 SF

Impervious Area Summary	
Main House	3,514 SF
ADU	2,350 SF
Barn	2,400 SF
Driveway, Parking & Hardscape	6,915 SF
Murphy Ave Widening	638 SF
Total Impervious Area	15,817 SF

Earthwork Quantities					
	Cut	Fill	Net	Max Cut	Max Fill
Pad Grading-Main House	0 cy	510 cy	510 cy (fill)	0.00'	2.44'
Pad Grading-ADU	0 cy	308 cy	308 cy (fill)	0.00'	2.18'
Pad Grading-Barn	0 cy	335 cy	335 cy (fill)	0.00'	2.22'
Onsite Driveways & Parking	9 cy	370 cy	361 cy (fill)	1.49'	2.20'
Ditch & Basin Grading	293 cy	0 cy	293 cy (cut)	3.46'	0.00'
Murphy Avenue Widening	179 cy	0 cy	179 cy (cut)	1.49'	0.14'
Total	481 cy	1,523 cy	1,042 cy (fill)		

- Legend**
- 3" AC on 9" CL II AB (To be certified by Soils Engineer)
 - CL II AB Driveway/Shoulder
 - Drainage Swale

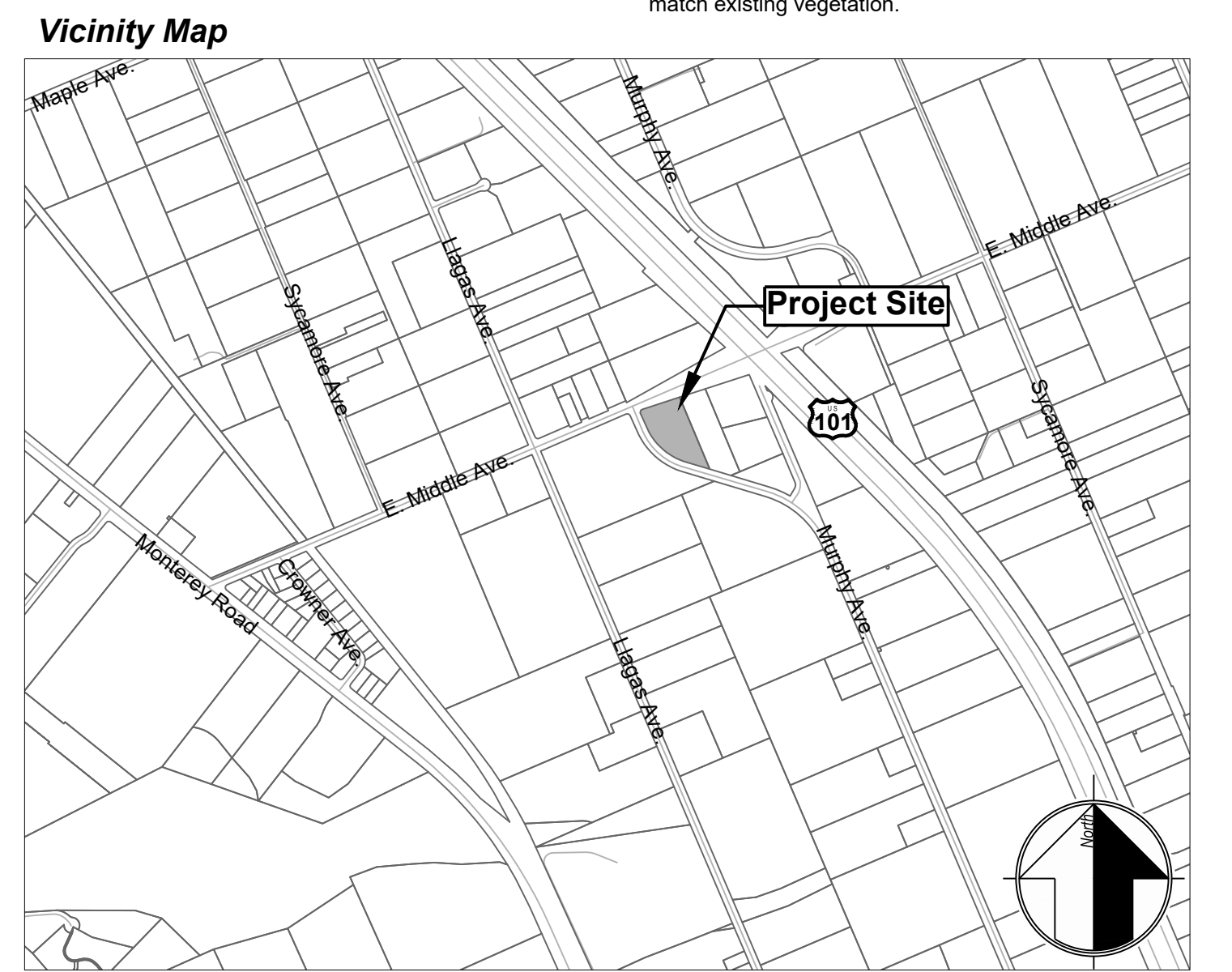
Boundary Note:
Property lines shown on this plan are based on that certain Parcel Map filed for record on July 10, 2015 in Book 884 of Maps at page 41, Santa Clara County Records.

Flood Zone:
The property lies wholly in Zone AE per FEMA Firm Panel 06085C0626H, effective May 18, 2009.

Basis of Bearings:
The bearings shown on this plan are based on the centerline of east Middle Avenue as found monumented and recorded as North 66°11' East in Book G of Maps at Page 39, Santa Clara County Records.

Basis of Elevation:
Elevations shown on this plan are based on the Valley Water Benchmark BM319, located at the southeast corner of W. Middle Avenue bridge, Unincorporated Santa Clara County, Elevation 320.32'. (NAVD88)

- Drainage Notes**
- All culverts shall be made of high density polyethylene (HDPE), polyvinyl chloride (PVC), or reinforced concrete (RCP). All culverts shall have a smooth interior.
 - Inlets shall be made of concrete and have a smooth bottom.
 - All roof downspouts shall be directed onto splash blocks to drain away from the foundation at a minimum of 5% into vegetated areas or connected into the 4" perimeter storm drain system routed to the treatment area.
 - Paved surfaces adjacent to foundations shall be sloped away at a minimum of 2%. Unpaved surfaces adjacent to foundations shall be sloped away at a minimum of 5%.
 - All non improved disturbed area to be hydroseeded to match existing vegetation.

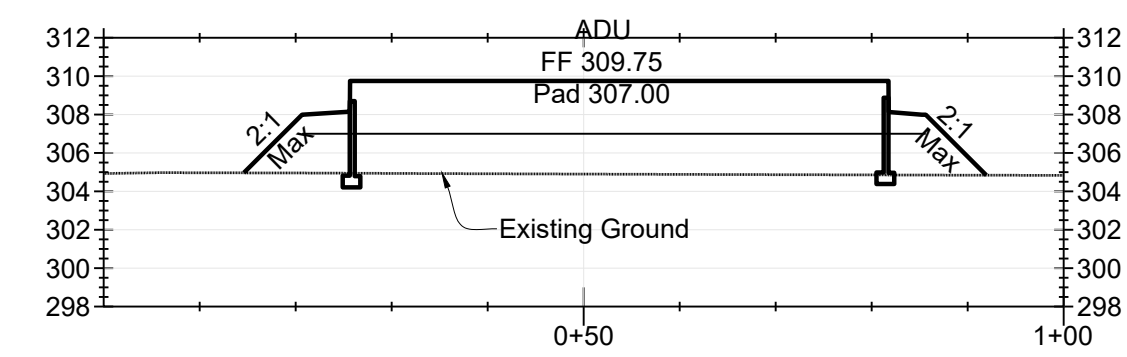


Applicant/Owner:
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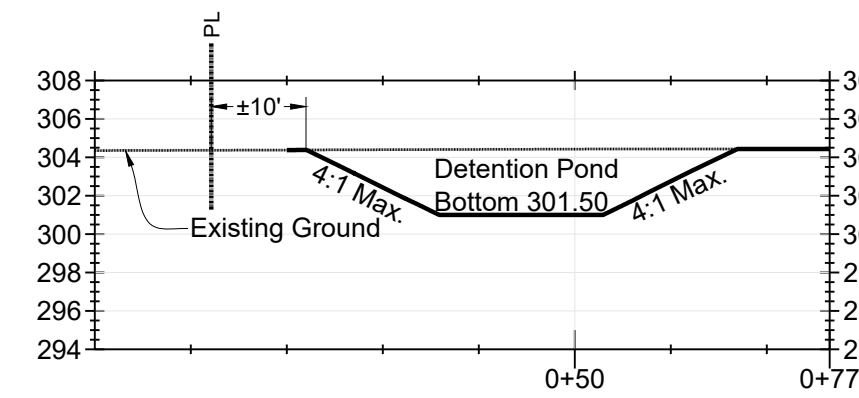
Engineer:
Harinder Singla, PE 49717
MH Engineering
16075 Vineyard Blvd.
Morgan Hill, CA 95037
408.779.7381
harrys@mhengineering.com

Project Information:

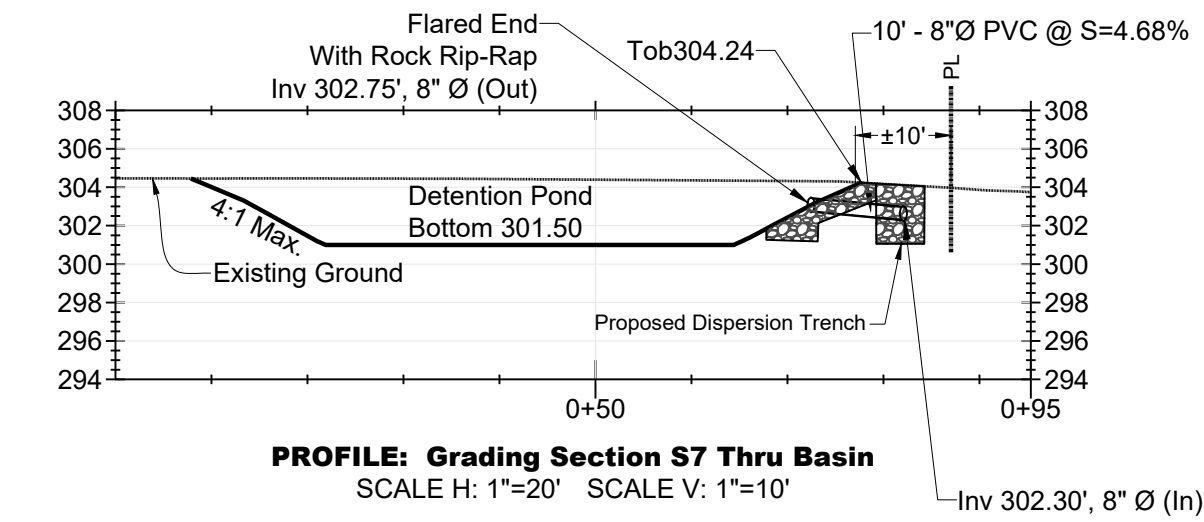
APN	825-08-026
Present Use	Vacant
Proposed Use	Residential
Present Zoning	RR-5A
Water	Existing Well
Existing Improvements	As Shown
Gross Area	2.36 ac
Net Area	2.36 ac



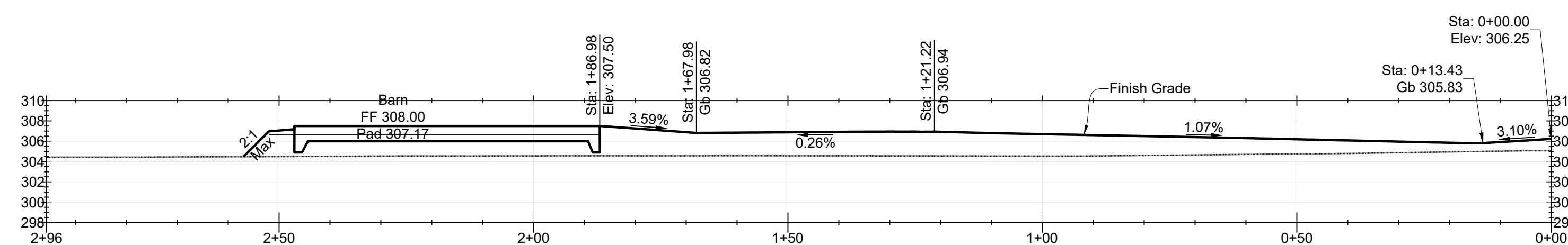
PROFILE: Grading Section S5 thru ADU
 SCALE H: 1"=20' SCALE V: 1"=10'



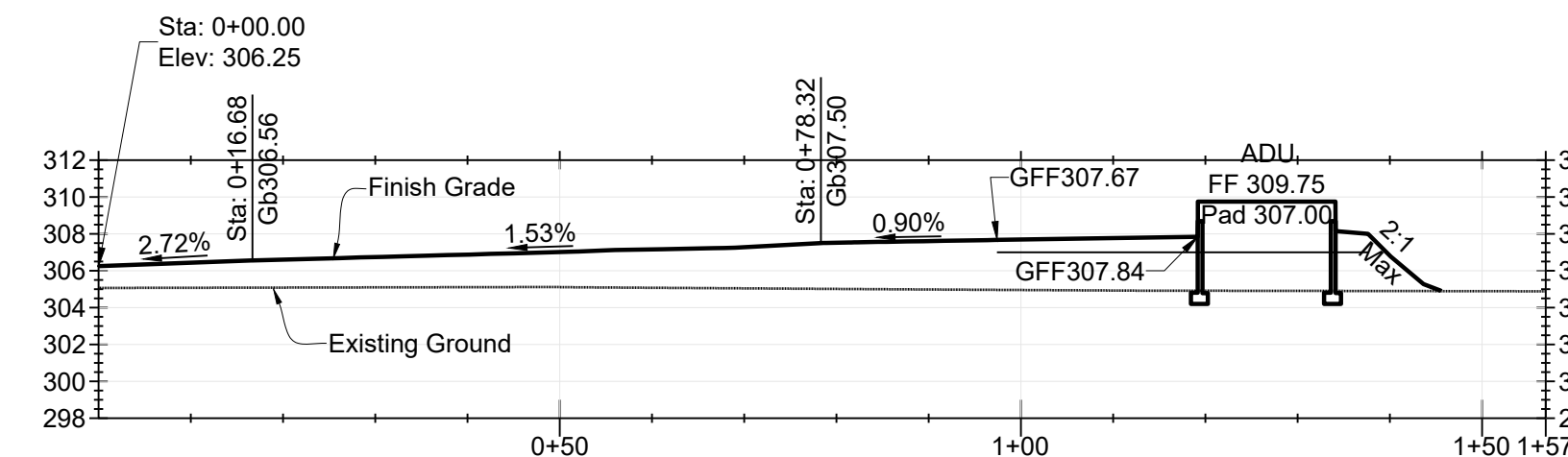
PROFILE: Grading Section S6 Thru Basin
 SCALE H: 1"=20' SCALE V: 1"=10'



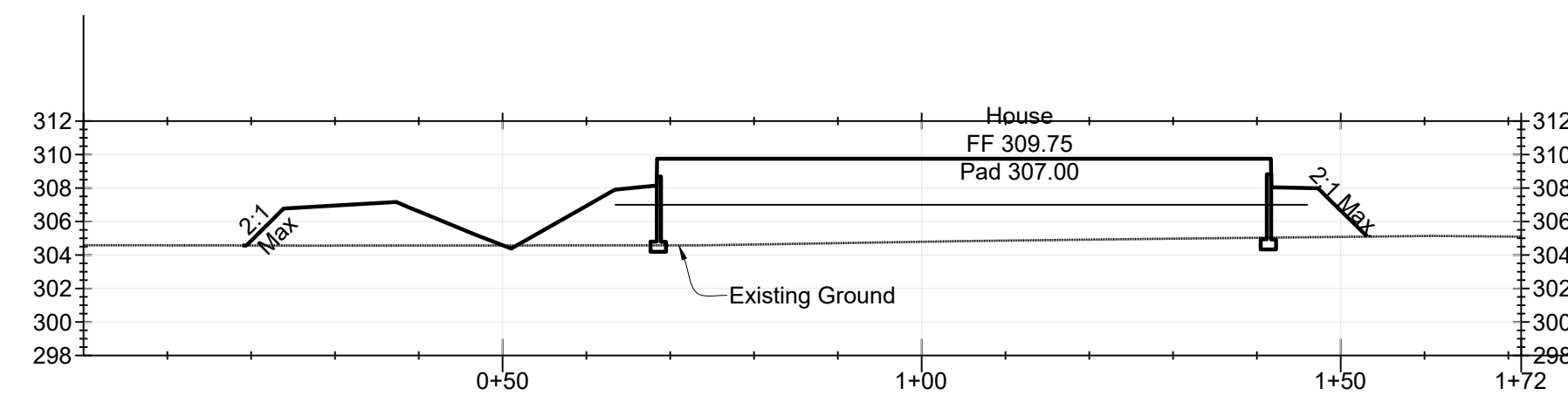
PROFILE: Grading Section S7 Thru Basin
 SCALE H: 1"=20' SCALE V: 1"=10'



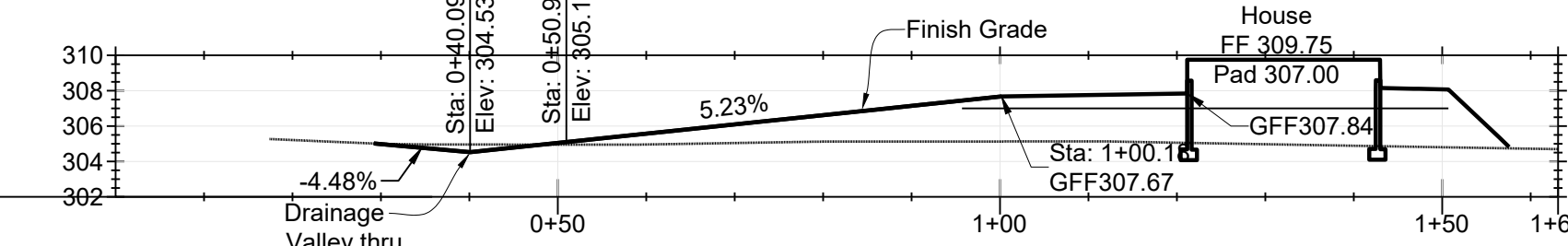
PROFILE: Grading Section S3 Thru Access to Barn
 SCALE H: 1"=20' SCALE V: 1"=10'



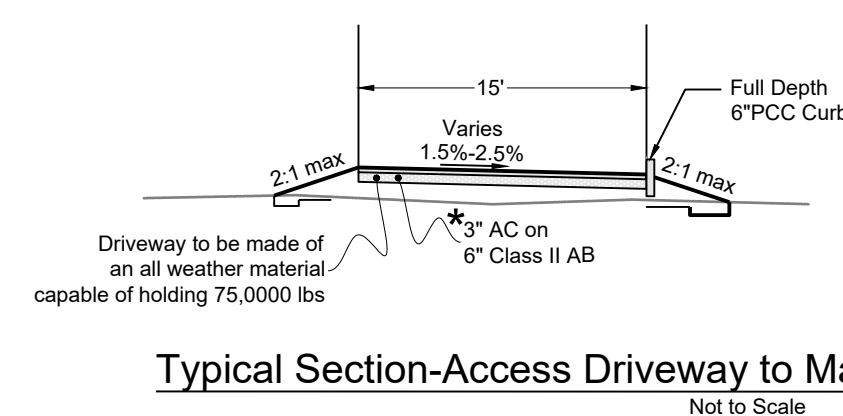
PROFILE: Grading Section S4 thru Access to ADU
 SCALE H: 1"=20' SCALE V: 1"=10'



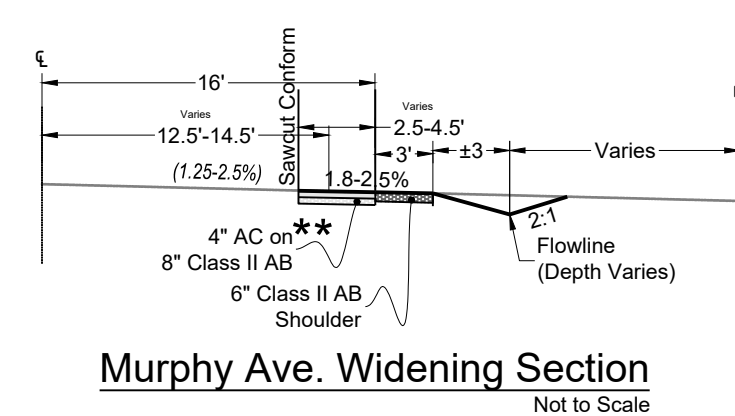
PROFILE: Grading Section S1
 SCALE H: 1"=20' SCALE V: 1"=10'



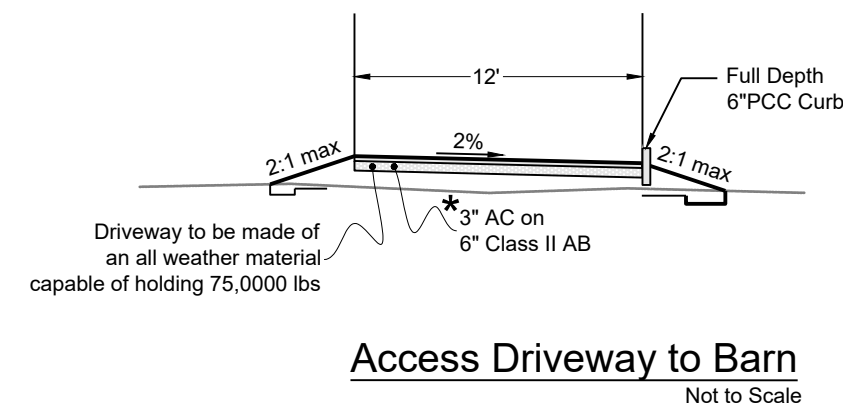
PROFILE: Grading Section S2 Through Main Driveway
 SCALE H: 1"=20' SCALE V: 1"=10'



Typical Section-Access Driveway to Main House & ADU
 Not to Scale

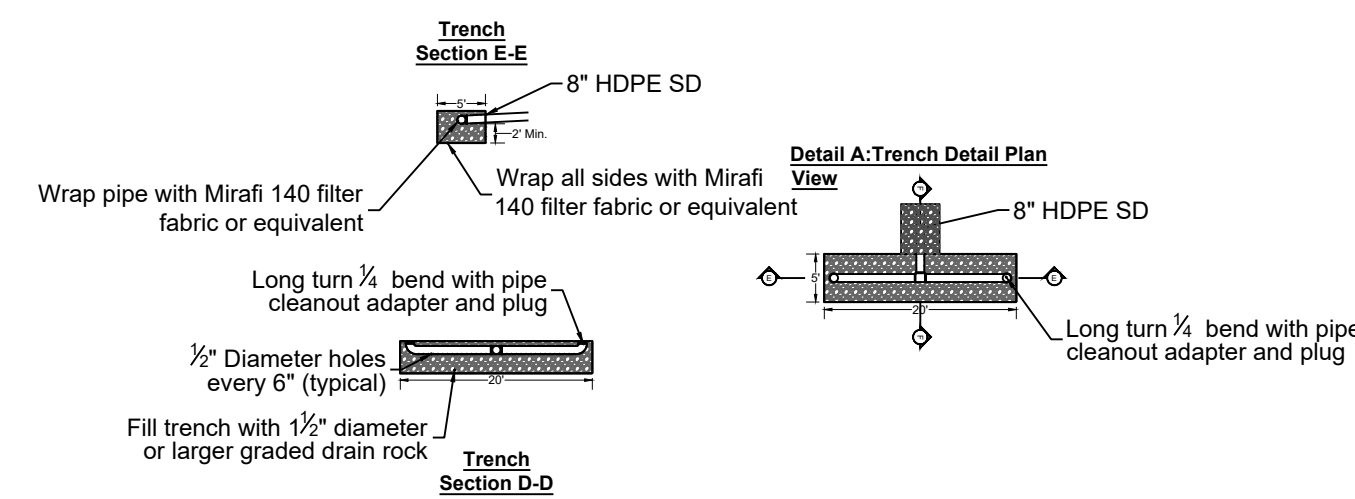


Murphy Ave. Widening Section
 Not to Scale



Access Driveway to Barn
 Not to Scale

* Onsite pavement section is recommended by the Soils Engineer for T.I. = 3
 ** Contractor shall match existing pavement section for Murphy Avenue widening.



GRADING AND SITE PREPARATION NOTES:

- ALL AREAS TO RECEIVE FILL SHALL BE STRIPPED TO A DEPTH DETERMINED BY THE SOILS ENGINEER. ANY A.C. OR P.C.C. PAVING SHALL BE SCARIFIED & REMOVED & SUBGRADE PREPARED & COMPACTED PER SOIL ENGINEER'S RECOMMENDATIONS PRIOR TO ANY FILLING.
- ALL MATERIAL TO BE USED AS FILL WITHIN BUILDING PAD AREAS & PARKING OR DRIVEWAY AREAS TO BE FREE OF ALL VEGETATION & FOREIGN MATTER AND SHALL BE APPROVED BY SOILS ENGINEER.
- BUILDING PADS & DRIVEWAY SUBGRADE SHALL BE COMPACTED PER RECOMMENDATIONS MADE BY THE SOILS ENGINEER.
- BUILDING PADS SHALL BE LEVEL SIDE-TO-SIDE AND FRONT-TO-REAR, UNLESS OTHERWISE SHOWN.
- STRIPPINGS MAY BE PLACED IN PLANTING AREA OR BURIED IN DESIGNATED PARK AREAS; ALL EXCESS STRIPPINGS SHALL BE HAULED AWAY. PAVING DEBRIS SHALL BE HAULED AWAY TO AN APPROVED DISPOSAL SITE.
- ALL WORK SHOWN OR NOTED ON THESE PLANS SHALL BE DONE IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS ENGINEER, ALL LOCAL, STATE, AND FEDERAL MINIMUM STANDARDS AND THE LATEST EDITION OF THE UNIFORM BUILDING CODE. NOTIFY SOILS ENGINEER 2 WORKING DAYS PRIOR TO BEGINNING OF ANY GRADING. REFER TO SOILS STUDY BY G&EARTH (Project No. 21117C-01R1, Dated Jan 06, 2022).
- CONNECTIONS TO EXISTING PUBLIC UTILITIES SHALL BE DONE WITH APPROVAL & IN ACCORDANCE WITH THE UTILITY COMPANY'S REQUIREMENTS.
- CONTRACTOR SHALL PROTECT ALL EXISTING SITE IMPROVEMENTS NOT SCHEDULED FOR REMOVAL DURING CONSTRUCTION. THEY SHALL REPAIR ANY DAMAGE TO NEW CONDITION AT THEIR EXPENSE.
- VERIFY ALL EXISTING SITE CONDITIONS, SITE DIMENSIONS AND GRADES PRIOR TO START OF WORK.
- CONFORM TO THE RECOMMENDATIONS OF THE DRAWINGS, DETAILS AND SITE SOILS REPORT FOR COMPACTION, STRIPPING, GRADING, PAVING AND UTILITY TRENCHES.
- SOIL COMPACTION TESTS SHALL BE PAID FOR BY THE OWNER/DEVELOPER AS PER NOTE 3.
- ALL GRADING AND RELATED WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SANTA CLARA COUNTY AND THE RECOMMENDATION OF THE SOILS ENGINEER.
- CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING SERVICES AND UNDERGROUND UTILITIES & SEWERS. LOCATIONS SHOWN ON THE PLAN ARE APPROXIMATE AND SHOWN FOR GENERAL INFORMATION ONLY. CONTRACTOR SHALL CALL U.S.A. AT 800-227-2600 48 HOURS PRIOR TO UNDERGROUND WORK FOR FIELD LOCATOR SERVICE.
- CONTRACTOR SHALL VERIFY THE LOCATIONS OF THE BUILDING AND PARKING IMPROVEMENTS FROM THE ARCHITECT'S DIMENSIONED DRAWING.
- FOUNDATIONS AND FOOTING DETAILS SHOWN ARE FOR GRADING RELATIONSHIPS ONLY. CONTRACTOR SHALL REFER TO DIMENSIONED STRUCTURAL OR ARCHITECTURAL PLANS FOR ACTUAL DIMENSIONED DETAILS.
- ANY VOIDS CREATED BY STRUCTURE REMOVAL, TREE REMOVAL, SEPTIC TANK AND LEACH LINE REMOVAL MUST BE BACKFILLED WITH PROPERLY COMPACTED NATIVE SOILS THAT ARE FREE OF ORGANICS & OTHER DELETERIOUS MATERIALS OR WITH APPROVED IMPORT FILL & COMPACTED TO THE SOILS ENGINEER'S RECOMMENDATIONS.
- IT SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR, DURING GRADING OPERATION, IN COOPERATION WITH MH ENGINEERING TO VERIFY QUANTITIES OF EARTHWORK. QUANTITIES SHOWN HAVE BEEN DILIGENTLY ESTIMATED BY THE ENGINEER, BASED UPON AVAILABLE INFORMATION. IN ORDER TO ASSIST THE CONTRACTOR, THE GROUND TOPOGRAPHY ELEVATIONS & CONTOURS WERE FURNISHED BY MH ENGINEERING, dated Aug 2021. MH ENGINEERING DOES NOT GUARANTEE CURRENT ACCURACY OF THE GROUND ELEVATIONS. CONTRACTOR SHALL FIELD VERIFY FOR HIMSELF THAT NO ADDITIONAL GRADING, IMPORTING OR EXPORTING OF EARTH HAS TAKEN PLACE SINCE THE TOPO SURVEY OF PROPERTY.
- THE EARTHWORK QUANTITIES SHOWN ARE PROVIDED AS A COURTESY AND CONVENIENCE TO THE CONTRACTOR. THE CUT & FILLS SHOWN ARE APPROXIMATE CALCULATED QUANTITIES BASED ON THE DIFFERENCE BETWEEN EXISTING GROUND ELEVATIONS (CONTOURS) & ROUGH GRADE ELEVATIONS. THE CALCULATION MAKES NO PROVISION FOR SCARIFICATION & COMPACTION WORK OR FILLS. FOR THIS REASON & BECAUSE OF VARIABLES SUCH AS COMPACTION, SHRINKAGE & THE CONTRACTOR'S METHOD OF OPERATION, THE VOLUME OF DIRT ACTUALLY MOVED IN THE FIELD WILL PROBABLY VARY TO SOME EXTENT FROM THE CALCULATED VOLUME. FOR THE PURPOSE OF APPROXIMATING THE SHRINKAGE, 12% WAS USED FOR THE FILL VOLUMES.
- THE CONTRACTOR'S EARTHWORK BID REFLECTS HIS OWN CALCULATION OF THE EARTHWORK COMPACTED & COMPLETE IN PLACE TO THE DETAILS, LINE, AND GRADE SHOWN ON THE PLANS.