



## STAFF MEMORANDUM

January 22, 2021

Staff Contact: Colleen Tsuchimoto, Senior Planner  
(408) 299-5797, [Colleen.Tsuchimoto@pln.sccgov.org](mailto:Colleen.Tsuchimoto@pln.sccgov.org)

**FILE:** PLN18-11429 Mod 1  
**ADDRESS:** 2532 Klein Road, San Jose (APN: 652-08-006)  
**SUBJECT:** Minor modification of the existing Building Site Approval and Grading Approval, granted on September 6, 2019 by the Zoning Administrator. The original approval includes a 3,916 sq. ft. primary residence with attached garage and retaining wall of 5.5 ft in height, and 1,196 sq. ft. accessory dwelling unit, with 600 sq. ft. detached garage. Other improvements include an access driveway, septic system, water tanks, and detention pond. Associated grading consisted of 461 cubic yards of cut and 461 cubic yards of fill. The Minor Modification alters the house retaining walls to two tiered walls of approximately 2 ft. and 4.5 ft. in height which adds an additional 62 cubic yard of cut. The modification approval is based on plans submitted on October 30, 2020.

### **BACKGROUND**

On September 6, 2019, the Zoning Administrator approved final conditions of the Building Site Approval and Grading Approval for the project. The project approval includes a 3,916 sq. ft. primary residence with attached garage and retaining wall of 5.5 ft. in height, and 1,196 sq. ft. accessory dwelling unit, with 600 sq. ft. detached garage. Accessory improvements include an access driveway, septic system, water tanks and detention pond. Grading to establish use totals 461 cubic yards of cut and 461 cubic yards of fill.

On October 16, 2020, the applicant contacted Planning staff to inquire of making a change to the 5.5 ft. tall retaining wall to two tiered shorter walls (2 ft. and 4.5 ft. in height). The applicant explained that it will add an additional 62 cubic yards of cut beyond the Planning approval approved grading quantities.

On October 26, 2020 a determination was made that a Minor Modification would be required, with the benefit of sending a courtesy notice to interested parties and residents within a 1,000 foot radius of the subject site. The Zoning Administrator determined that if an objection is received as a result of the courtesy notice, the project would require a public hearing before the Zoning Administration. Email correspondence was sent to the applicant on October 26, 2020 (see Attachment C) summarizing the direction to the applicant for processing their intended modifications to the 2019 approval.

On October 30, 2020, the applicant applied for a minor modification to the 2019 Building Site Approval and Grading Approval. Subsequently, Staff deemed the project complete for processing on November 24, 2020 with a 60 day deadline of January 22, 2021 to render a decision on the application.

On January 11, 2021, a courtesy notice was sent to residents (see Attachment B) within a 1,000 radius of the subject property and email was sent to interested parties list informing them of the proposed modifications. No objections were received as a result of sending the courtesy public notice.

As no objections were received as a result of the courtesy notice, it was determined that a public hearing would not be required for the Minor Modification.

A summary of the Zoning Ordinance requirements for a Minor Modification are outlined in the Discussion section of this Memorandum, below.

## **DISCUSSION**

Pursuant to Section 5.20.200 of the Santa Clara County Zoning Ordinance, modifications of approved permits may be initiated to alter an approved structure, change the configuration of site improvements, or to modify or delete conditions of approval. Modifications are classified as either “minor” or “major” generally based on their significance, consequences and amount of additional processing and review required. As noted in the Background section of this Memorandum, the Zoning Administrator determined that the proposed Modification would be “minor,” provided a courtesy notice that was mailed to all residents within a 1,000-foot radius of the property. The standards for a Minor Modification (Section 5.20.200(A)) are listed below, followed by a brief discussion of meeting the requirements:

*A modification is considered minor when all of the following circumstances apply:*

- 1. It does not involve substantive changes to the approved site plan;***
- 2. It does not significantly change the nature of the approved use;***
- 3. It does not intensify the approved use; and***
- 4. It would not result in any new or substantially greater environmental effects than the originally approved project.***

Staff reviewed the proposed plans submitted for the Minor Modification on October 30, 2020 (see Attachment D), against the Zoning Administration-approved plans, approved on September 6, 2019. The modified plans do not involve substantive change to the approved plans. The proposed changes involve two tiered retaining walls of 2 ft. and 4.5 ft. tall to replace the proposed retaining wall of 5.5 ft. tall (at same location). This requires an additional 62 cubic yards of cut. The changes do not significantly change the nature of the originally approved use and do not intensify the approved use, as the property would continue to be maintained for residential purposes (primary residence and detached accessory dwelling unit proposed).

Therefore, as described above, the proposed modifications are considered minor in nature as they do not involve substantive changes to the originally approved site plan or nature of the approved use, they do not intensify the approved use, and they do not introduce substantially greater environmental effects. As such, the Minor Modification is APPROVED by the Zoning Administrator. The originally approved Conditions of Approval are hereby replaced with new and modified Conditions of Approval to reflect the minor changes to the project.

### **ADDITIONAL INFORMATION**

Planning deleted requirement for a deed restriction for accessory dwelling unit as current County Code does not require this to be submitted. Fire Marshal made several modifications to conditions to further clarify Fire Marshal requirements.

The applicant was given a waiver by the Planning Manager to file for the final grading permit revision while this Planning approval minor modification is in process. A plan check for the Grading modification is in process submitted on January 14, 2021 (DEV21-0099).

### **APPEALS**

An appeal may be filed at the Planning Office at 70 W. Hedding Street, San Jose within 15 days of the Final Action Memorandum, accompanied by the appropriate appeal fee. Please note that during the Shelter in Place Order for the County and State, although County office is open for filing an appeal, if anyone would like to file an appeal through the County's public portal, the applicant or interested party will need to coordinate with Planning Staff a minimum of 72 hours in advance of the appeal deadline to set up a record and appeal fee to be accessed within the public portal, as there is not a fully configured electronic submittal process for appeals at the moment.

### **REVIEWED BY**

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Prepared by: Colleen Tsuchimoto, Senior Planner

Approved by: Leza Mikhail, Principal Planner & Zoning Administrator

#### **Attachments:**

- A) Attachment A - Amended Conditions of Approval
- B) Attachment B – Courtesy Notice to Neighbors
- C) Attachment C – October 26, 2020 Email Correspondence to Applicant
- D) Attachment D – Modified Plans Approved through Minor Modification (submitted October 30, 2020)

**ATTACHMENT A -  
AMENDED CONDITIONS**

**ATTACHMENT A**  
**FINAL CONDITIONS OF APPROVAL**  
**FOR A MINOR MODIFICATION TO A**  
**BUILDING SITE APPROVAL AND GRADING APPROVAL**

**Date:** January 22, 2021

**Owner/Applicant:** Quyen and Jeff Vo / MH Engineering

**Location:** 2532 Klein Rd. San Jose, CA (APN: 652-08-006)

**File Number:** PLN18-11429 Mod 1

**CEQA:** Categorically Exempt - Section 15303, Class 3(a)

**Project Description:** Minor Modification of the existing Building Site Approval and Grading Approval, granted on September 6, 2019 by the Zoning Administrator. The original approval includes a 3,916 square foot single-family residence, including attached garage, and a 1,196 square foot secondary dwelling and 600 square foot detached garage. Associated site improvements include an access driveway, septic system, water tanks, and detention pond. Associated grading consisted of 461 cubic yards of cut and 461 cubic yards of fill (922 cubic yards total). NOTE: 22 cubic yards of cut and 100 cubic yards of fill are associated with building pads for the residences and detached garage. Approval was based on site plans submitted on May 6, 2019, and septic plans submitted on July 31, 2019. The Minor Modification alters the 5.5 ft. tall retaining wall to two tiered walls of 2 ft. and 4.5 ft. tall with an additional 62 cubic yards of cut. Associated grading for project is altered to 523 cubic yards of cut and 461 cubic yards of fill (984 cubic yards total). The modification approval is based on plans submitted on October 30, 2020.

The project does not require coverage by the Santa Clara Valley Habitat Plan.

These Conditions of Approval maintain the original Conditions of Approved approved by the Zoning Administrator on September 6, 2019. Some Conditions have been added, deleted or modified to reflect the minor changes approved by this Minor Modification through the Zoning Administrator, pursuant to Section 5.20.200(A) of the County Zoning Ordinance. Notations for added or modified Conditions are provided at the end of each added/modified Conditions. Conditions that have not been modified remain without notations..

If you have any question regarding the following final conditions of approval, call the person whose name is listed below as the contact for that agency. She/he represents a specialty and can provide details about the conditions of approval.

Agency	Name	Phone	E-mail
Planning	Colleen Tsuchimoto	(408) 299- 5797	colleen.tsuchimoto@pln.sccgov.org
Environmental Health	Darrin Lee	(408) 299 – 5748	darrin.lee@cep.sccgov.org
Fire Marshal	Alex Goff	(408) 299 – 5763	alex.goff@sccfd.org
Land Development Engineering	Darrell Wong	(408) 299-5735	darrell.wong@pln.sccgov.org
Geology	Jim Baker	(408) 299-5774	jim.baker@pln.sccgov.org
Building Inspection		(408) 299-5700	

## **STANDARD CONDITIONS OF APPROVAL**

Building

1. For detailed information about the requirements for a Building Permit, obtain a Building Permit Application Instruction handout from the Building Inspection Office or visit the website at [www.sccbuilding.org](http://www.sccbuilding.org)

## Planning

2. Development must take place in substantial conformance ~~accordance~~ with the approved ~~site plans, submitted on October 30, 2020~~ May 6, 2019, septic plans, submitted on July 31, 2019 and approved as a Minor Modification to the September 6, 2019 Zoning Administration approved project and plans. ~~these Conditions of Approval.~~ Any changes to the proposed project may result in additional environmental review, pursuant to the California Environmental Quality Act, and additional Planning review. (MODIFIED – January 22, 2021 Minor Modification)
3. Existing zoning is RR (Rural Residential). Maintain the following minimum dwelling setbacks:  

Front: 30 ft.	Sides: 30 ft.	Rear: 30 ft.
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4. The maximum height of dwellings is 35 ft. and shall not exceed two (2) stories.
5. Any increase in grading quantities, or modification to the grading or design, is subject to further review. All grading and construction shall be in substantial conformance with the approved plans.
6. Two (2) off-street parking spaces are required, one (1) of which shall be covered.

7. Accessory structures are limited to two (2) plumbing fixtures, per Zoning Ordinance Chapter 4.20.020(I) (1). A Special Permit is required for detached structures with more than two plumbing fixtures.
8. Accessory structures, which includes the detached garage, shall maintain the minimum setbacks:  
Front: 75 ft.                      Sides: 5 ft.                      Rear: 5 ft.
9. Maximum height of accessory structures shall be not more than 12 feet, 1 story. When such a building has a hip or gable roof, the height is measured to the average vertical dimension between the ridge and top plate of wall. In no case may the absolute height exceed 16 feet.
10. Water tanks required to be at least 30 feet from the front yard setback for the RR zoning district per Zoning Ordinance Section 4.20.020(O)(a). Water tanks 12 ft. or less in height shall have a minimum setback of 3 feet from the side and rear property lines. Water tanks more than 12 ft. in height shall have a minimum setback of 30 feet from the side and rear property lines.
11. Maximum height of water tanks are not more than 35 feet, including tower mounted tanks.

#### Land Development Engineering

##### Drainage

12. Property owner is responsible for the adequacy of any drainage facilities and for the continued maintenance thereof in a manner that will preclude any hazard to life, health or damage to adjoining property.

#### Environmental Health

13. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m. on weekdays and Saturdays, or at any time on Sundays for the duration of construction.

#### Fire Marshal's Office

14. Fire protection water shall be made available to the fire department.
15. Maintenance: Fire protection water systems and equipment shall be accessible and maintained in operable condition at all times, and shall be replaced or repaired where defective. Fire department access roads, driveways, turnouts, and turnarounds shall be maintained free and clear and accessible at all times for fire department use. Gates shall be maintained in good working order, and shall remain in compliance with Fire Marshal Standard CFMO-A3 at all times.

## **CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO FINAL GRADING PERMIT ISSUANCE**

### **Planning**

16. **Prior to issuance of any permits**, the applicant shall pay all reasonable costs associated with the work by the Department of Planning and Development.
17. **Prior to the issuance of a grading permit**, submit tree protection plan. Fencing shall be installed around all trees not slated for removal that are adjacent to construction areas, and shall be maintained during the duration of construction.

### **Land Development Engineering (LDE)**

18. Obtain a Grading Permit from Land Development Engineering (LDE) prior to beginning any construction activities. Issuance of the grading permit is required **prior to LDE clearance of the building permit** (building and grading permits can be applied for concurrently). The process for obtaining a Grading Permit and the forms that are required can be found at the following web page: [www.sccplanning.org](http://www.sccplanning.org) > I Want to...> Apply for a Permit > Grading Permit.
19. Final plans shall include a single sheet which contains the County standard notes and certificates as shown on County Standard Cover Sheet. Plans shall be neatly and accurately drawn, at an appropriate scale that will enable ready identification and recognition of submitted information.
20. Final improvement plans shall be prepared by a licensed civil engineer for review and approval by LDE and the scope of work shall be in substantial conformance with the conditionally approved preliminary plans on file with the Planning Office. Include plan, profile, typical sections, contour grading for all street, road, driveway, structures and other improvements as appropriate for construction. The final design shall be in conformance with all currently adopted standards and ordinances. The following standards are available on-line:  
  
March 1981 Standards and Policies Manual, Volume 1 (Land Development)  
[www.sccplanning.org](http://www.sccplanning.org) / Plans & Ordinances > Land Development Standards and Policies  
  
2007 Santa Clara County Drainage Manual  
[www.sccplanning.org](http://www.sccplanning.org) > Plans & Ordinances > Grading and Drainage Ordinance
21. Survey monuments shall be shown on the improvement plan to provide sufficient information to locate the proposed improvements and the property lines. Existing monuments must be exposed, verified, and noted on the grading plans. Where existing monuments are below grade, they shall be field verified by the surveyor and the grade



shall be restored and a temporary stake shall be placed identifying the location of the found monument. If existing survey monuments are not found, temporary staking delineating the property lines may be placed prior to construction and new monuments shall be set prior to final acceptance of the improvements. The permanent survey monuments shall be set pursuant to the State Land Surveyor's Act. The Land Surveyor/Engineer in charge of the boundary survey shall file the appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.

22. The improvement plans shall include an Erosion and Sediment Control Plan that outlines seasonally appropriate erosion and sediment controls during the construction period. Include the County's Standard Best Management Practice Plan Sheets BMP-1 and BMP-2 with the Plan Set.
23. All applicable easements affecting the parcel(s) with benefactors and recording information shall be shown on the improvement plans.

#### Drainage

24. Prior to grading permit issuance, provide a drainage analysis prepared by a licensed civil engineer in accordance with criteria as designated in the 2007 County Drainage Manual (see Section 6.3.3 and Appendix L for design requirements). The on-site drainage will be controlled in such a manner as to not increase the downstream peak flow for the 10-year and 100-year storm event or cause a hazard or public nuisance. The mean annual precipitation is available on the on-line property profile.

#### Storm Water Treatment – SF Bay

25. Include one of the following site design measures in the project design: (a) direct hardscape and/or roof runoff onto vegetated areas, (b) collect roof runoff in cisterns or rain barrels for reuse, or (c) construct hardscape (driveway, walkways, patios, etc.) with permeable surfaces. Though only one site design measure is required, it is encouraged to include multiple site design measures in the project design. For additional information, please refer to the C.3 Stormwater Handout (June 2016) available at the following website:

[www.scvurppp.org](http://www.scvurppp.org) > Resources > reports and work products > New Development and Redevelopment > C.3 Stormwater Handbook (June 2016)

#### Utilities

26. All new on-site utilities, mains and services shall be placed underground and extended to serve the proposed development. All extensions shall be included in the improvement plans submitted to the Land Development Engineering Section for review. Off-site work

should be coordinated with any other undergrounding to serve other properties in the immediate area.

#### Soils and Geology

27. Submit one copy of the signed and stamped of the geotechnical report for the project.
28. Submit a plan review letter by the Project Geotechnical Engineer certifying that the geotechnical recommendation in the above geotechnical report have been incorporated into the improvement plans.

#### Notice of Intent

29. Indicate on the improvement plans the land area that will be disturbed. If one acre or more of land area will be disturbed, file a Notice of Intent (NOI) with the State Water Resources Control Board (SWRCB) for coverage under the State General Construction Permit. The SWRCB will issue a Waste Discharge Identification Number (WDID). The WDID number shall be shown on the final improvement plans.

The SWRCB website is at: [www.waterboards.ca.gov](http://www.waterboards.ca.gov) > Water Issues > Programs > Stormwater

30. Submit evidence of legal access to the site from the nearest publicly maintained road compiled and/or verified by a Licensed Land Surveyor or Registered Civil Engineer who is authorized to practice land surveying. Should access not exist, submit signed, notarized, and recorded agreements to grant rights-of-ingress and egress.

#### Environmental Health

31. **Prior to issuance of a grading permit**, submit and obtain septic clearance from the Department of Environmental Health. The septic system shall be overlaid onto the final grading and drainage plan. Based upon a sewage application rate of 0.75 gallons/day/square feet, sewage disposal conditions have been determined at 225 square plus 225 lineal feet (8 square feet) of subsurface drainline. The two drainline system must be connected through a positive diversion valve. A 1500-gallon septic tank will be required. This septic system is adequate to serve an eleven (11) bedroom house and a two (2) bedroom secondary dwelling.
32. On grading plans, show location of well to be removed. Well is proposed within 100 feet of the proposed dispersal field.
33. For septic system clearance, provide final floor plans to the Department of Environmental Health.

## **CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO BUILDING PERMIT ISSUANCE**

### **Building Inspection**

34. **Prior to issuance of building permit**, apply for and obtain plumbing permit for septic tank abatement from the Building Inspection Office for the well to be removed. A well is located within 100 feet of the proposed dispersal field.

### **Planning**

35. **Prior to issuance of any permits**, the applicant shall pay all reasonable costs associated with the work by the Department of Planning and Development.

36. ~~**Prior to the issuance of a building permit**, submit a deed restriction for the secondary dwelling. See requirements at:~~  
~~<https://www.sccgov.org/sites/dpd/DocsForms/Documents/DeedRestriction.pdf>~~  
(DELETED – January 22, 2021 Minor Modification)

### **Environmental Health**

36. **Prior to issuance of building permit**, provide proof of well deconstruction from Santa Clara Valley Water District. A well is located within 100 feet of the proposed dispersal field.
37. **Prior to issuance of building permit**, obtain and provide a water will serve letter from local domestic water provider or obtain individual water clearance for an onsite drinking water well.

### **Fire Marshal's Office**

38. Address: The address for the proposed structure must take access from the street listed in the address to ensure that emergency responders can find the property in an emergency. Fire department access is off Murillo Ave. Please resolve this issue prior to issuance of the Building Permit. ( ADDED – January 22, 2021 Minor Modification)

39. Fire protection water system shall be installed, functioning and inspected **prior to approval of the foundation**. System shall be maintained in good working order and accessible throughout construction. A stop work order may be placed on the project if the required hydrant systems are not installed accessible, and/or functioning.

40. OnSite Water Storage: Whereon-site storage tanks are required, details for fire protection water supply shall be included with the building permit set of drawings. Submittal shall include, but not be limited to, location of water supply, (e.g. onsite well, shared well, tank location and capacity, pipe size, wharf hydrant orifice size and location, domestic and fire protection water tanks and piping configuration.

- a) All installations shall include a primary aboveground storage tank with a capacity of not less than 3,000 gallons dedicated to domestic and fire sprinkler system demand. Storage capacity may be increased due to sprinkler design demand or additional domestic water as required by the Environmental Health Department.
  - b) Two 5,000 gallon secondary aboveground storage tank dedicated to the wharf hydrant shall be provided. Final amount of required water amount is based on the structure size per CMFO-W1. ~~in accordance with the following:~~
    - ~~e) Structures up to 3,600 sq. ft.: 5,000 gallons~~
    - ~~d) Structures 3,601 – 10,000 sq. ft.: 10,000 gallons.~~
  - c) Aboveground storage tanks shall be provided with automatic refill. Manual refilling of tanks is not acceptable.
  - ~~e) Installation of aboveground storage tanks less than 20 ft. to a structure requires tanks to be of noncombustible construction.~~
  - d) Installation of the tank system shall comply with Fire Marshal Standard CFMO-W5.
  - ~~f) Underground storage tanks and swimming pools shall not be accepted in place of aboveground storage tanks.~~
- (MODIFIED – January 22, 2021 Minor Modification)

41. Wharf Hydrant: One on-site wharf hydrant with a 2 ½ inch orifice is required to be installed when fire protection water is supplied by on-site aboveground storage tank(s). Installation of hydrants shall be in accordance with Fire Marshal Standard Detail CFMO W4. Note: A separate permit from the Fire Marshal's Office is required for residential fire protection water systems (tanks and wharf hydrants) for building permit submittals made after July 1, 2010.

- a) Minimum distance to structure shall not be less than 55 ft. from the closest portion of the structure and shall not exceed 600 ft. from the furthest portion of the structure (measured along path of travel).
- b) Hydrant shall be installed within 8 ft. of driving surface in a location acceptable to the Fire Marshal's Office.
- c) Installation of a hydrant adjacent to a driveway (12 ft. wide) requires a turnout complying with SD-16 to allow additional emergency vehicles to pass.
- d) Hydrant shall have a positive flow by means of gravity feed or where that is not possible, from a reliable, listed automatic pump approved by the Fire Marshal. Elevation of hydrants and tanks in relation to each other shall be a major consideration. Note: tank and hydrant elevations shall be noted on the site plan submitted for building permit.

42. Driveways shall comply with the following when the distance between the centerline of the access road and any portion of the structure exceeds 150 ft. (measured along the path of travel).

- a. Width: Clear width of drivable surface of 12 ft.

- b. Vertical Clearance: minimum vertical clearance of 13 ft. 6 inches shall be maintained between the access road and the building site (trim or remove, tree limbs, electrical wires, structures, and similar improvements).
  - c. Curve Radius: Inside turn radius for curves shall be a minimum of 42 ft.
  - d. Grade: Maximum grade shall not exceed 15%.
  - e. Surface: All driving surfaces shall be all-weather and capable of sustaining 75,000-pound gross vehicle weight.
  - f. Turnouts: Passing turnouts in compliance with SD-16 shall be provided at every 400 ft. and wherever hydrants are placed adjacent to a driveway.
  - g. Turnarounds: Turnaround shall be provided for driveways in excess of 150 ft. as measured along the path of travel from the centerline of the access road to the structure. Acceptable turnaround shall be 40 ft. by 48 ft. pad, hammerhead, or bulb of 40 ft. radius complying with County Standard SD-16. All turnarounds shall have a slope of not more than 5% in any direction.
  - h. Gates: Gates shall not obstruct the required width or vertical clearance of the driveway and may require a Fire Department Lock Box/Gate Switch to allow for fire department access. Installation shall comply with CFMO-A3.
43. This property is located in the Wildland/Urban Interface Fire Area. All of the following conditions shall apply:
- i. A Class "A" roof assembly is required. Detail shall be included in plans submitted for building permit.
  - j. Provide a ½ inch spark arrester for the chimney.
  - k. Remove significant combustible vegetation within 30 ft. of the structure to minimize risk of wildfire casualty. Maintain appropriate separation of vegetative fuels in areas between 30 and 100 feet from the structure.

#### Geology

44. Submit a Plan Review Letter prepared by a geotechnical engineer that confirms the plans conform with the recommendations presented in the approved geotechnical engineering report.

#### **CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO OCCUPANCY OR ONE YEAR FROM THE DATE OF THE LAND DEVELOPMENT AGREEMENT, WHICHEVER COMES FIRST.**

#### Land Development Engineering

45. Existing and set permanent monuments shall be verified by inspectors **prior to final acceptance of the improvements** by the County. Any permanent survey monuments damaged or missing shall be reset by a licensed land surveyor or registered civil engineer authorized to practice land surveying and they shall file appropriate records pursuant to

Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.

46. Construct all the improvements. Construction staking is required and shall be the responsibility of the developer.

Environmental Health

47. Provide proof of garbage service at the time of final occupancy sign-off. Garbage service in the unincorporated areas of Santa Clara County is mandatory.

Fire Marshal's Office

48. Fire Sprinkler System: An approved residential fire sprinkler system complying with CFMO-SP6 shall be installed throughout the structure. NOTE: The fire sprinkler system shall be installed and finalized by this office **prior to occupancy**. A separate permit shall be obtained from this office by a state licensed C-16 contractor **prior to installation**. Please allow for a minimum of 30 days for plan review of fire sprinkler plans by this office.

Building Site Approval, Grading Approval  
File # PLN18-11429 Mod 1  
January 22, 2021

These conditions, approved on January 22, 2021 by the Planning Division, are valid for a period of forty-eight (48) months.

The conditions of approval must be completed and a grading and building permit issued by January 22, 2023, unless an extension of time application is made and granted, or this building site approval and grading approval shall become void.

This approval is based upon information submitted on the application form and approved plans. Erroneous information, omission of relevant information or substantial changes will void this approval.

*Colleen A. Tsuchimoto*

January 22, 2021

Colleen Tsuchimoto, Senior Planner

Date

STATEMENT OF ACCEPTANCE:

We, Jeff and Quyen Vo, as property owner of the subject application, hereby agree to the aforementioned final conditions of approval.

Date \_\_\_\_\_ Signature \_\_\_\_\_

Date \_\_\_\_\_ Signature \_\_\_\_\_

NOTE: Please return one copy of this page of the conditions, as per instructions in the enclosed cover letter, to:

Colleen Tsuchimoto, Senior Planner  
County of Santa Clara, Dept. of Planning and Development  
Email: Colleen.Tsuchimoto@pln.sccgov.org

**ATTACHMENT B -  
COURTESY NOTICE TO NEIGHBORS**



**Notice Publication Date:** 01/11/2021

**Permit Type:** Building Site Approval / Grading Approval - Minor Modification

**Property Location:** [REDACTED] Klein Rd. San Jose

**APN:** 652-08-006

**Owner/Applicant:** [REDACTED] / MH Engineering

**Planning Record Number:** PLN18-11429 Mod 1

**Project Planner:** Colleen Tsuchimoto, colleen.tsuchimoto@pln.sccgov.org

**CEQA:** Exempt

**Description:** Building Site Approval & Grading Approval, granted 9/6/19 by Zoning Administrator. 3,916 sq. ft. residence w/attached garage & retaining wall 5.5 ft. - height, & 1,196 sq. ft. accessory dwelling unit w/ 600 sq. ft. detached garage, access driveway, septic system, water tanks, & detention pond. Grading-461 cubic yards of cut & 461 cubic yards of fill. Minor Modification alters retaining walls to 2 tiered walls -approx. 2 ft. and 4.5 ft. in height -add 62 cubic yards of cut. Modification request based on plans submitted 10/30/20. Please provide comments by 1/21/21. Comments will determine if Minor Modification will be approved administratively by Zoning Administrator or through public hearing.

**Meeting Date/Time:** TBD

**Meeting Location:**



If you have any comments regarding this project, you can view the project files on our website:  
[www.sccplanning.org](http://www.sccplanning.org)

**Please provide comments or questions to the project planner within 10 days of this notice.**

All interested persons may appear and be heard. Written communication should be filed with the Planning Division prior to the date of the hearing. In compliance with the Americans with Disabilities Act, those requiring accommodations for this meeting should notify the Clerk of the Board 24 hours prior to the meeting at 408-299-5001 or TDD 408-993-8272. For more information, visit our website at [www.sccplanning.org](http://www.sccplanning.org). Para obtener información en Español, llama a Erica Prado at (408) 299-5707.



**ATTACHMENT C -  
EMAIL CORRESPONDENCE TO APPLICANT**

**From:** [Gloria Ballard](#)  
**To:** [Tsuchimoto, Colleen](#); [Mikhail, Leza](#)  
**Cc:** [David Faria](#); [Duazo, Ed](#); [Freitas, Chris](#)  
**Subject:** [EXTERNAL] RE: Modified Plans for Vo - Klein Road  
**Date:** Monday, October 26, 2020 4:46:55 PM  
**Attachments:** [image002.png](#)

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Hi Colleen,

You answered everything clearly. A meeting is not necessary. Thanks.

Best,

gloria

**Gloria V. Ballard**

Vice President

**MH engineering Co.**

Subdivisions - Land Planning - Land Surveys

16075 Vineyard Blvd.

Morgan Hill, CA 95038

(408) 779-7381 office

(408) 226-5712 fax

<http://www.mhengineering.com>

[gloriab@mhengineering.com](mailto:gloriab@mhengineering.com)

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**From:** Tsuchimoto, Colleen [<mailto:Colleen.Tsuchimoto@pln.sccgov.org>]

**Sent:** Monday, October 26, 2020 4:33 PM

**To:** Gloria Ballard; Mikhail, Leza

**Cc:** David Faria; Duazo, Ed; Freitas, Chris

**Subject:** RE: Modified Plans for Vo - Klein Road

See my responses below in green print. In reviewing the findings – yes this qualifies as a Minor modification. I hope this clarifies the issue for you Gloria. Feel free to outreach if you would like a meeting to discuss further. It would have to be a meeting for next week. Coordinating a larger group meeting our availability is limited.

Regards,  
Colleen

**Colleen A. Tsuchimoto**

Senior Planner I Habitat Conservation Plan Program Manager

**Department of Planning and Development**

**County of Santa Clara**

70 W. Hedding Street | 7<sup>th</sup> Floor | East Wing

San Jose | CA 95110

Phone: (408) 299-5797

Email: [Colleen.Tsuchimoto@pln.sccgov.org](mailto:Colleen.Tsuchimoto@pln.sccgov.org)

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Please visit our [website](#).

Click [here](#) to look up unincorporated property zoning information.



Please note that the Department is developing procedures to accept electronic submittals. Please check our website at <https://www.sccgov.org/sites/dpd/Pages/DPD.aspx> for updates.

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**From:** Gloria Ballard <gloriab@mhengineering.com>

**Sent:** Monday, October 26, 2020 4:10 PM

**To:** Tsuchimoto, Colleen <Colleen.Tsuchimoto@pln.sccgov.org>; Mikhail, Leza <leza.mikhail@pln.sccgov.org>

**Cc:** David Faria <DavidF@mhengineering.com>; Duazo, Ed <Ed.Duazo@PLN.SCCGOV.ORG>; Freitas, Chris <Chris.Freitas@pln.sccgov.org>

**Subject:** [EXTERNAL] RE: Modified Plans for Vo - Klein Road

Hi Colleen,

Your previous email was received. Our questions are:

1) Your fee schedule defines this as a major modification since new plans are required. Application fee is stated as a 100% of a grading application fee. Is this correct.

75% of current application fees for Minor Modification.

2) The modification proposed is to replace a retaining wall and step two smaller retaining walls to allow more daylight through the windows. Will this be a major modification?

Minor modification

3) We understand your direction on how to file the application. Does the procedure for a major modification of a grading application after a permit has been issued, require the same process of a new application? Do you have a timeframe.

This goes through the same Planning approval process. Once the application is under review staff has 30 days per the Permit Streamlining Act to determine whether the application is complete or complete. When it is deemed complete, Grading Approval conditions will be issued.

Please respond or schedule a meeting whichever you feel is necessary.

gloria

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**From:** Tsuchimoto, Colleen [<mailto:Colleen.Tsuchimoto@pln.sccgov.org>]  
**Sent:** Monday, October 26, 2020 3:55 PM  
**To:** Gloria Ballard; Mikhail, Leza  
**Cc:** David Faria; Duazo, Ed; Freitas, Chris  
**Subject:** RE: Modified Plans for Vo - Klein Road

Yes a modification is required. I've discussed this issue with David previously through email correspondence and thought applicant was at understanding for submitting for a modification. I offered Teams meeting and at that time David did not want to pursue a meeting.

Gloria please let me know if you would like a virtual meeting to discuss this further. See further email exchange attached for reference.

Regards,  
Colleen

**Colleen A. Tsuchimoto**

Senior Planner I Habitat Conservation Plan Program Manager

**Department of Planning and Development  
County of Santa Clara**

70 W. Hedding Street | 7<sup>th</sup> Floor | East Wing  
San Jose | CA 95110  
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**From:** Gloria Ballard <[gloriab@mhengineering.com](mailto:gloriab@mhengineering.com)>

**Sent:** Monday, October 26, 2020 2:36 PM

**To:** Tsuchimoto, Colleen <[Colleen.Tsuchimoto@pln.sccgov.org](mailto:Colleen.Tsuchimoto@pln.sccgov.org)>; Mikhail, Leza <[leza.mikhail@pln.sccgov.org](mailto:leza.mikhail@pln.sccgov.org)>

**Cc:** David Faria <[DavidF@mhengineering.com](mailto:DavidF@mhengineering.com)>; Tanciangco, Jess <[jess.tanciangco@pln.sccgov.org](mailto:jess.tanciangco@pln.sccgov.org)>

**Subject:** [EXTERNAL] RE: Modified Plans for Vo - Klein Road

Good afternoon Colleen,

Thank you for getting back to me so quickly. My question was not how do I file a modification to a grading permit, but do I need to a modification to move 62 CY with the walls which is less than the allowed 150 CY. Your fee schedule requires 100% of the fee if a modification takes place after approval. Will this be the requirement. What will be the review. Please consider, I have a permit for the proposed grading. Modification of the grading permit should not be the only answer.

In the past, previous minor changes such as the revision to the walls could be accomplished with LDE. Revision would be submitted to LDE and displayed on the plan in a cloud and we would obtain new signatures for the clouded revision. We made this request and we were directed to check with Planning. Since I am under the threshold of the ordinance that would require a grading permit, do I need to modify the one that I have?

gloria

**Gloria V. Ballard**

Vice President

**MH engineering Co.**

Subdivisions - Land Planning - Land Surveys

16075 Vineyard Blvd.

Morgan Hill, CA 95038

(408) 779-7381 office

(408) 226-5712 fax

<http://www.mhengineering.com>

[gloriab@mhengineering.com](mailto:gloriab@mhengineering.com)

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**From:** Tsuchimoto, Colleen [<mailto:Colleen.Tsuchimoto@pln.sccgov.org>]

**Sent:** Monday, October 26, 2020 12:58 PM

**To:** Mikhail, Leza; Gloria Ballard

**Cc:** David Faria; Tanciangco, Jess

**Subject:** RE: Modified Plans for Vo - Klein Road

Hi all,

See below previously forwarded instructions on how to apply for the Grading Approval Modification,

Regards,  
Colleen

**Colleen A. Tsuchimoto**

Senior Planner I Habitat Conservation Plan Program Manager

**Department of Planning and Development  
County of Santa Clara**

70 W. Hedding Street | 7<sup>th</sup> Floor | East Wing

San Jose | CA 95110

Phone: (408) 299-5797

Email: [Colleen.Tsuchimoto@pln.sccgov.org](mailto:Colleen.Tsuchimoto@pln.sccgov.org)

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**From:** Tsuchimoto, Colleen <[Colleen.Tsuchimoto@pln.sccgov.org](mailto:Colleen.Tsuchimoto@pln.sccgov.org)>

**Sent:** Friday, October 16, 2020 9:55 AM

**To:** David Faria <[DavidF@mhengineering.com](mailto:DavidF@mhengineering.com)>; Freitas, Chris <[Chris.Freitas@pln.sccgov.org](mailto:Chris.Freitas@pln.sccgov.org)>

**Cc:** Duazo, Ed <[Ed.Duazo@PLN.SCCGOV.ORG](mailto:Ed.Duazo@PLN.SCCGOV.ORG)>

**Subject:** RE: DEV19-2661 Question

Hi David,

As this project requires additional grading, a Modification to the Grading Approval would be required. I do not recommend keeping the fill on-site. It is more of a hassle with trying to meet the Grading Ordinance findings. But anyhow, see instructions below to apply for a Modification. If you

want a consultation mtg. before officially submitting, let me know. I can set one up with Leza Mikhail, Chris, Ed and myself to go over the project.

Your next step would be to apply for Grading Approval Modification

Please see instructions below to apply for the Grading Abatement Approval online.

They are pretty specific, so it is important to follow them. We also would like to accept any feedback on the process and instructions, as we are building the new online submittal system and are refining it as we go.

Step 1: Please go to the County's Accela Citizen Portal/Insite Public Portal (link below).

[InSite Public Portal](#)

If you have not created an account, you will need to do so to proceed. Once you have created an account, you will need to <click> on create a development application. From here, you will follow the instructions (hint: you are requesting an "Application Request.")

**NOTE:** Please start the project description with "LAND USE ENTITLEMENT for Modification to Grading Approval for ....

Step 2: Once you have submitted the request, the record will be assigned by a Permit Technician to a Planner to review to make sure all formal submittal requirements are within the record.

Step 3: Await for confirmation that the application request was accepted for intake and a fee is due. This will be in the format of an automatic email sent by our permitting system.

**Note:** Please be sure that you submit all of the necessary documents required for the applications you wish to submit (Master Application Form and Checklist – see link below)

[Grading Approval](#)

**\*\*Please be sure to include grading quantities with your submittal.**

**Note:** Please be sure to use the proper naming conventions for your uploaded documents (each document uploaded separately), or we will kick it back to you to fix. Go to page 17 of the Document Naming Guide for naming convention for Grading application requirements.

[Document Naming Guide](#)

Thanks,  
Colleen

**Colleen A. Tsuchimoto**

Senior Planner I Habitat Conservation Plan Program Manager

**Department of Planning and Development**



**County of Santa Clara**

70 W. Hedding Street | 7<sup>th</sup> Floor | East Wing  
San Jose | CA 95110  
Phone: (408) 299-5797  
Email: [Colleen.Tsuchimoto@pln.sccgov.org](mailto:Colleen.Tsuchimoto@pln.sccgov.org)

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**From:** Mikhail, Leza <[leza.mikhail@pln.sccgov.org](mailto:leza.mikhail@pln.sccgov.org)>

**Sent:** Monday, October 26, 2020 12:25 PM

**To:** Gloria Ballard <[gloriab@mhengineering.com](mailto:gloriab@mhengineering.com)>

**Cc:** David Faria <[DavidF@mhengineering.com](mailto:DavidF@mhengineering.com)>; Tanciangco, Jess <[jess.tanciangco@pln.sccgov.org](mailto:jess.tanciangco@pln.sccgov.org)>; Tsuchimoto, Colleen <[Colleen.Tsuchimoto@pln.sccgov.org](mailto:Colleen.Tsuchimoto@pln.sccgov.org)>

**Subject:** FW: Modified Plans for Vo - Klein Road

Hello Gloria,

I am putting you in contact with the Planner on the project, Colleen T. Please work directly through her. She can provide you with the process to make a minor modification to the approved land use entitlement.

If she has any questions, she will come to me.

Please note that the plans submitted into Plan Check are required to be in substantial conformance with the plans approved by Planning. Revisions are not permitted through the plan check process without obtaining Planning approval.

Colleen, should you need to discuss further with me, let me know.



**LEZA MIKHAIL**

Zoning Administrator & Principal Planner

**Department of Planning and Development  
County of Santa Clara**

70 W. Hedding Street | 7th Floor | East Wing  
San Jose | CA 95110

Planning Division Inquiries: (408) 299-5770

Direct Line: (408) 299-6741

[leza.mikhail@pln.sccgov.org](mailto:leza.mikhail@pln.sccgov.org)

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Please visit our [website](#).

Click [here](#) to look up unincorporated property zoning information.

Questions on the status of your permit? Please e-mail: [PLN-PermitCenter@pln.sccgov.org](mailto:PLN-PermitCenter@pln.sccgov.org)

---

**From:** Gloria Ballard <[gloriab@mhengineering.com](mailto:gloriab@mhengineering.com)>

**Sent:** Monday, October 26, 2020 12:04 PM

**To:** Mikhail, Leza <[leza.mikhail@pln.sccgov.org](mailto:leza.mikhail@pln.sccgov.org)>

**Cc:** David Faria <[DavidF@mhengineering.com](mailto:DavidF@mhengineering.com)>

**Subject:** [EXTERNAL] FW: Modified Plans for Vo - Klein Road

Good morning Leza,

MH Engineering obtained a grading permit for enclosed grading plans. The grading permit has been issued. The owner would like to make a minor change to the plan. The wall behind the main residence at about 5' high effecting the sunlight entering the windows next to the wall. The requested revision would step the retaining to be done with 2 smaller walls. The revisions generates 62 CY of additional fill.

The engineer, David Faria, asked Jess Tanciangco to be allowed to do this as a revision to the signed grading plan and we were directed to check with Planning. Attached prints reflect the revision on page 2 and 3. The revisions is clouded.

Is there objection to LDE modifying the permit to allow the stepped treatment to the retaining wall?

As an alternative, to a modification, we could obtain a building permit for the revised retaining wall. The grading is less than 150CY and could be covered by the building permit?

Call me if you need additional information.

Best,

gloria

**Gloria V. Ballard**

Vice President

## MH engineering Co.

Subdivisions - Land Planning - Land Surveys

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Morgan Hill, CA 95038

(408) 779-7381 office

(408) 226-5712 fax

<http://www.mhengineering.com>

[gloriab@mhengineering.com](mailto:gloriab@mhengineering.com)

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**From:** David Faria

**Sent:** Monday, October 26, 2020 10:05 AM

**To:** Gloria Ballard

**Subject:** RE: Modified Plans for Vo - Klein Road

Hi Gloria,

I added a modification note on the second page to explain what we are doing.

Thanks,

**David Faria**

*MH engineering Co.*

*Office: (408) 779-7381 Ext. 246*

---

**From:** David Faria

**Sent:** Monday, October 26, 2020 9:18 AM

**To:** Gloria Ballard <[gloriab@mhengineering.com](mailto:gloriab@mhengineering.com)>

**Subject:** Modified Plans for Vo - Klein Road

Hi Gloria,

Attached are the modified grading and drainage plans for Mr. Vo. I have clouded the area and details that have changed. I believe you were going to ask Leza if a modification submittal is necessary. The grading increased by 62 cubic yards of cut or 13.5% of the total cut. Let me know if you need any more information.

Thanks,

**David Faria**



**MH engineering Co.**

16075 Vineyard Blvd, Morgan Hill, CA 95037

Office: (408) 779-7381 Ext. 246

Fax: (408) 226-5712

# **ATTACHMENT D - PLANS**



# Improvement Plans for Lands of Vo

## COUNTY OF SANTA CLARA

### General Construction Specifications

#### GENERAL CONDITIONS

- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY Earth Systems AND DATED May 24, 2019. THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.
- DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
- DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
- DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
- DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNSTRUCTURED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA.
- THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
- DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
- ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13008 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
- UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY ENGINEER AT (408) 299-5730 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION 86-18).
- THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
- ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

#### CONSTRUCTION STAKING

- THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.
- ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
- PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.
- PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

#### CONSTRUCTION INSPECTION

- CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
- INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6888 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
- THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR TO COMMENCEMENT OF THE BUILDING FOUNDATION.

#### SITE PREPARATION (CLEANING AND GRUBBING)

- EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
  - TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
  - FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

#### UTILITY LOCATION, TRENCHING & BACKFILL

- CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
- ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
- ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE. UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.
- TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL, COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
- TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL, COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
- BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

#### RETAINING WALLS

- REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.
- SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT-OF-WAY WITHOUT AN ENCROACHMENT PERMIT, INCLUDING THE STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.

#### GRADING

- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IS SHALL BE STRIPPED OF ALL VEGETATION, TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEVED IN TO ACHIEVE STABILITY. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
- EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE.
- SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
- NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS.
- THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 92% OF MAXIMUM DENSITY.
- MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

Earthwork Quantities				
	Cut	Fill	Max Cut	Max Fill
Buildings	226 cy	100 cy	5.00'	3.65'
Private Road	22 cy	0 cy	0.50'	0.00'
Site Grading	176 cy	87 cy	4.50'	3.65'
Driveway	0 cy	248 cy	0.00'	4.50'
Detention Pond	37 cy	26 cy	1.75'	2.30'
Modification to retaining wall	62 cy	0 cy	4.50'	0.00'
<b>Total</b>	<b>523 cy</b>	<b>461 cy</b>		

- NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE.
- EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.
- NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
  - ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
  - THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 92%.
  - ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
  - THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.
  - THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.
  - GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.
  - OTAL DISTURBED AREA FOR THE PROJECT 29,682 SF.
  - VOID NO. N/A
  - THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

#### TREE PROTECTION

- FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDING THE FOLLOWING:
  - FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIPLINE OF THE TREE OR GROVE OF TREES.
  - THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.
  - FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
  - SIGNAGE STATING, WARNING, THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT <http://www.sccplanning.gov>. \* SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL OCCUPANCY.
- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACED AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
- SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

#### ACCESS ROADS AND DRIVEWAYS

- DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1:14 INCHES PER FOOT).
- ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15' LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
- THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
- ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
- ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT, I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC..

#### STREET LIGHTING

- PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

#### SANITARY SEWER

- THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
- ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

#### PORTLAND CEMENT CONCRETE

- CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

COUNTY OF SANTA CLARA LAND DEVELOPMENT ENGINEERING & SURVEYING	
GRADING / DRAINAGE PERMIT NO.	DEV19-2661
ISSUED BY: _____	DATE: _____

#### AIR QUALITY, LANDSCAPING AND EROSION CONTROL

- WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
- COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
- PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
- SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
- SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
- ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCRR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
- ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.
- ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
- POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS: OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
  - 15 MILES PER HOUR (MPH) SPEED LIMIT
  - 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
  - TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAINT HOTLINE OF 1-800-334-6367
- ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
- ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPS SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
  - PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN/STAGING AREAS.
  - PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
  - PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
- THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPS) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPS SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
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  - PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
  - PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
- THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.
- EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE SITE AND SITUATIONALLY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

#### STORM DRAINAGE AND STORMWATER MANAGEMENT

- DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CASH12008 / ORDER NO. R2-2009-0047 AND NPDES PERMIT CASH000004/ ORDER NO. 2013-0001-DWQ.
- DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS, WHERE STREET PROFILE GRADE EXCEEDS 8% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
- WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW.
- UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
- THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

#### AS-BUILT PLANS STATEMENT

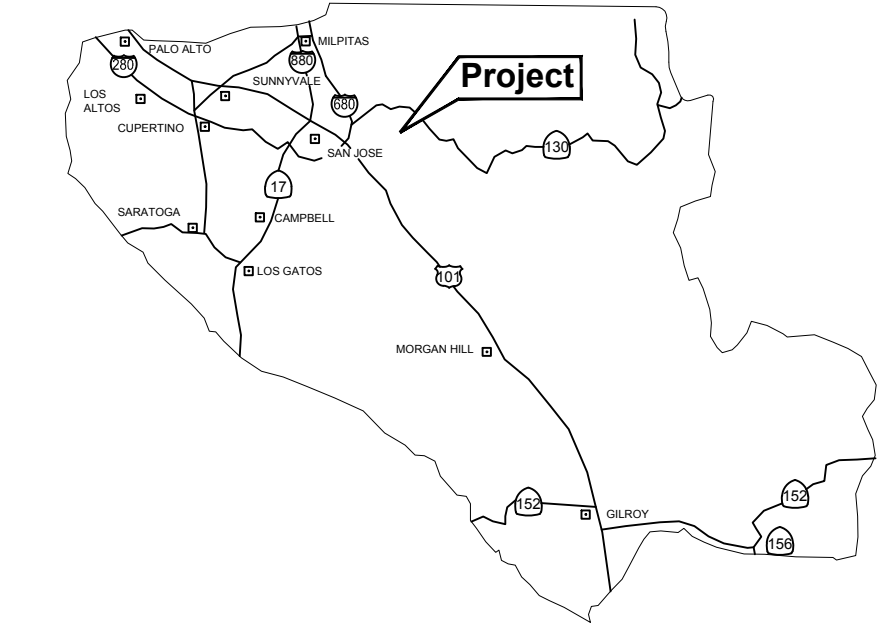
THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE ( ) WERE ( ) WERE NOT) MINOR FIELD CHANGES. MARKED WITH THE SYMBOL (Y). THERE ( ) WERE ( ) WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL Δ.

DATE	SIGNATURE	SIGNATURE
DATE	SIGNATURE	SIGNATURE

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO INSPECT AND VERIFY THE AS-BUILT PLANS. A TRUE AND CORRECT COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

#### GEOTECHNICAL ENGINEER OBSERVATION

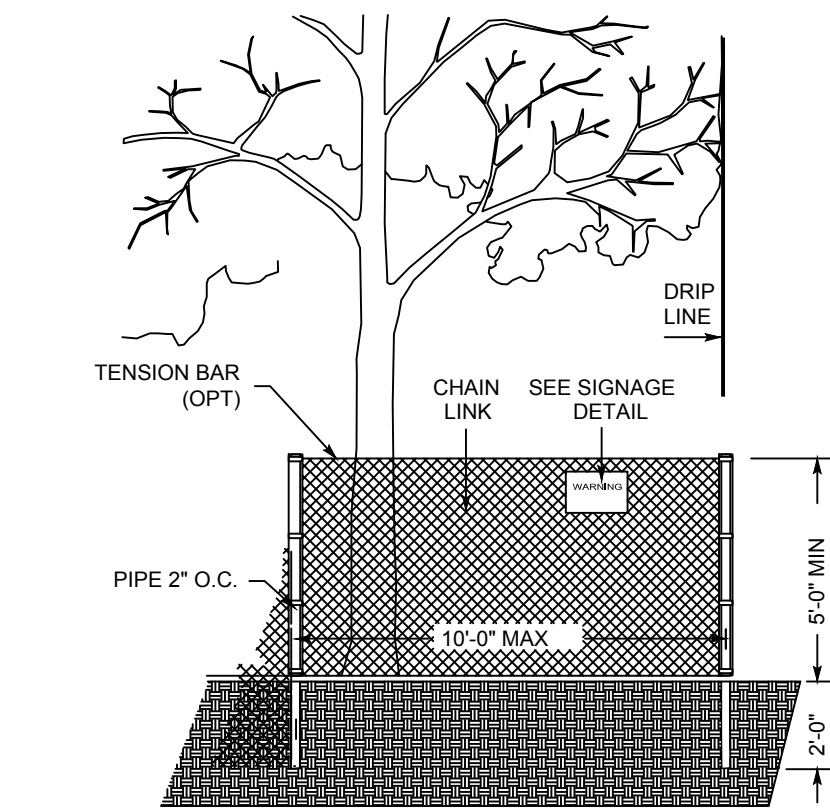
- A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.



## COUNTY LOCATION MAP

#### SURVEY MONUMENT PRESERVATION

- THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG OR OTHERWISE IDENTIFY WITH PAINT OR OTHER MARKINGS ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY.
- THE LANDOWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS AND RESET PERMANENT MONUMENT(S) IN THE SURFACE OF THE NEW CONSTRUCTION OR SET A WITNESS MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT COULD BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH THE COUNTY SURVEYOR'S OFFICE FOR ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.



#### EXISTING TREE PROTECTION DETAILS

- PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
- FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
- FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
- TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
- A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

#### ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED FILE(S) NO. PLN18-11429, Dated 9/8/2019

DATE	SIGNATURE	SIGNATURE
DATE	SIGNATURE	SIGNATURE

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO INSPECT AND VERIFY THE AS-BUILT PLANS. A TRUE AND CORRECT COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

#### COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE	SIGNATURE	SIGNATURE
DATE	SIGNATURE	SIGNATURE

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO INSPECT AND VERIFY THE AS-BUILT PLANS. A TRUE AND CORRECT COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

#### ABBREVIATIONS:

AC	ASPHALT CONCRETE	HP	HIGH POINT
BC	BEGINNING OF CURVE	INV.	INVERT
BLDG	BUILDING	JP	JOINT POLE
BVC	BEG. VERTICAL CURVE	LP	LOW POINT
CB	CATCH BASIN	MAX.	MAXIMUM
CL	CENTERLINE	MIN.	MINIMUM
CMP	CORRUGATED METAL PIPE	NG	NATURAL GROUND
DI	DROP INLET	P	PROPERTY LINE
D.I.P.	DUCTILE IRON PIPE	P.S.E.	PUBLIC SERVICE EASEMENT
DWY	DRIVEWAY	P.S.D.E.	PRIVATE STORM DRAIN EASEMENT
EC	END OF CURVE	PVI	POINT OF VERTICAL INTERSECTION
EG	EXISTING GRADE	RCP	REINFORCED CONCRETE PIPE
EP	EDGE OF PAVEMENT	R/W	RIGHT OF WAY
EVC	END VERTICAL CURVE	STD.	STANDARD
EX, EXST.	EXISTING	TBM	TEMPORARY BENCH MARK
FF	FINISH FLOOR	TYP.	TYPICAL
FG	FINISH GRADE		
FL	FIRE HYDRANT		
FL	FLOW LINE		
GB	GRADE BREAK		

#### Scope of Work

A	Rough Grading	
1	Mobilization	1 LS
2	Excavation	461 CY
3	Embankment	461 CY
B	On-Site Improvements	
4	8" HDPE SD	253 LF
5	12" PVC SD	26.0 FT
6	12" Square DI	2.0 EA
7	6" Concrete on 4" AB Driveway	5866.0 SF
8	2.5" AC on 9" AB Driveway widening	300.0 SF
9	9" AB shoulder and turnout	960.0 SF
10	Rock lined ditch	125.0 LF
11	Vegetated ditch	271.0 LF
12	Stormwater Detention Basin with metered outlet	1.0 EA
13	Energy Dissipaters	1.0 EA
14	Erosion Control	1.0 EA

Note: Retaining walls and associated details are shown for reference only, and are covered under a separate building permit.

County of Santa Clara - Planning Division

APPROVED WITH CONDITIONS

RECORD # PLN18-11429 Mod 1

THIS PROJECT IS APPROVED TO SUBMIT FOR DEVELOPMENT PLAN REVIEW. IT IS UNLAWFUL TO MAKE ANY CHANGES OR ALTERATIONS TO THESE PLANS WITHOUT THE WRITTEN APPROVAL FROM THE PLANNING DIVISION.

☒ LAND USE ENTITLEMENT

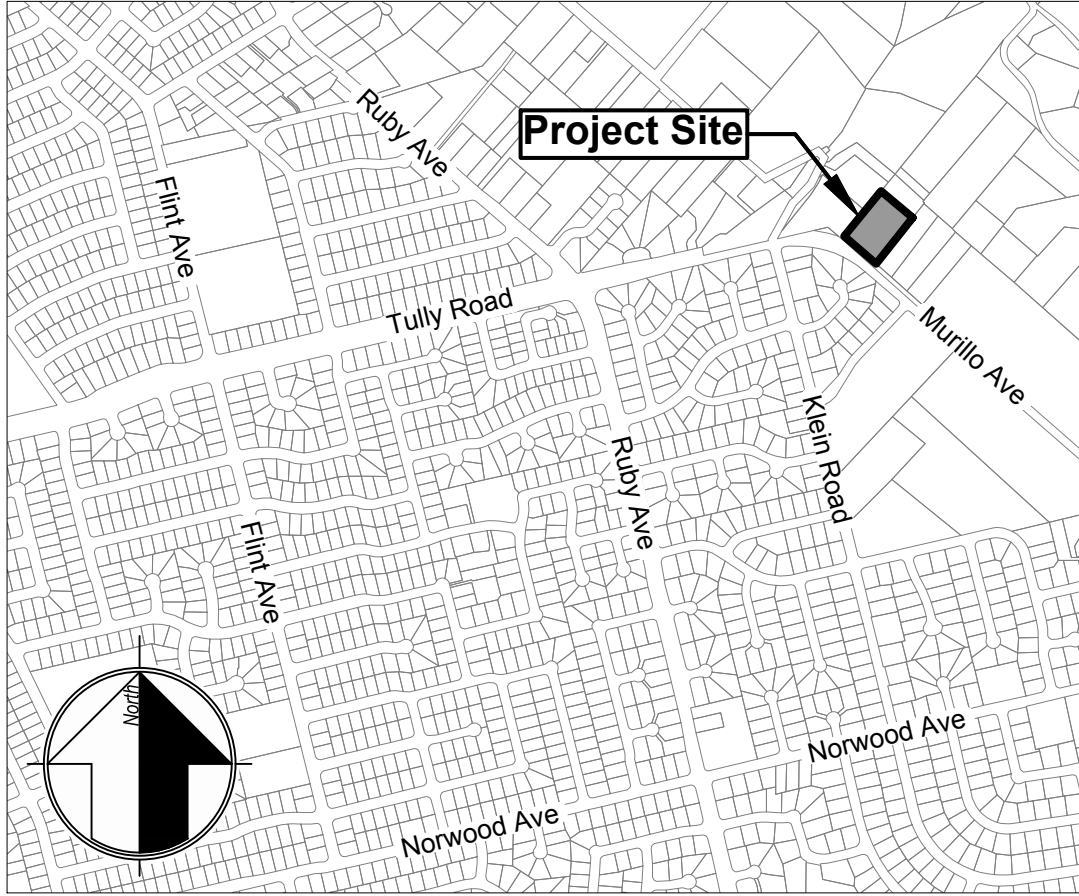
☐ APPROVED FOR ISSUANCE OF GRADING PERMIT ONLY

☐ APPROVED FOR ISSUANCE OF BUILDING PERMIT ONLY

PLANNER DATE

Colleen Tsuchimoto 1/22/2021

Minor modification of Building Site Approval Grading Approval - 62 additional cubic yards of cut for modification to retaining wall (two tiered walls 2 ft & 4 ft in height)



## Vicinity Map

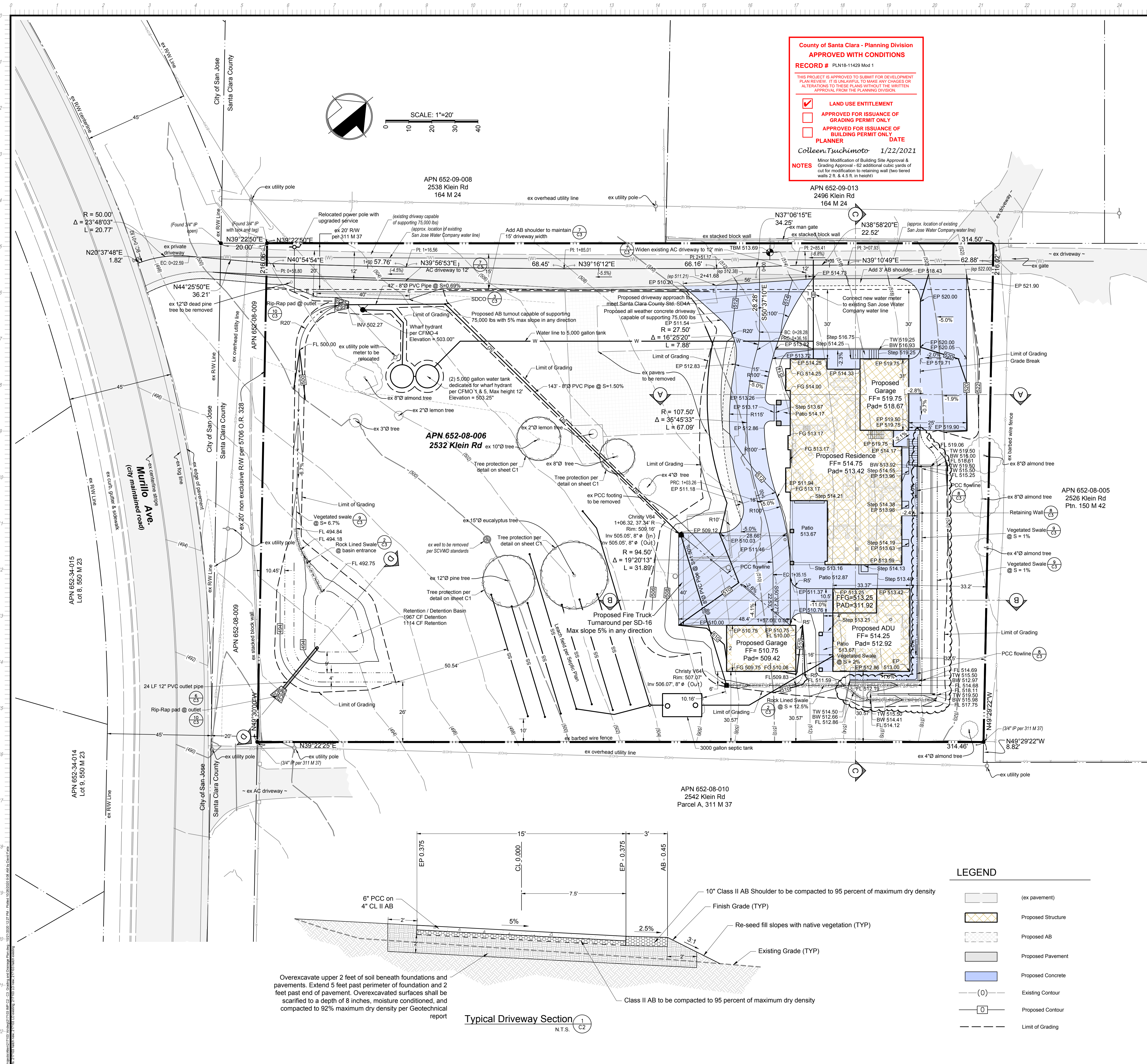
PROPOSED	EXISTING	DESCRIPTION
---	---	PROPERTY LINE
---	---	CENTER LINE
SD	(SD)	STORM DRAIN
SS	(SS)	SANITARY SEWER
W	(W)	WATER MAIN
---	(G)	GAS
E	(E)	ELECTRIC
---	(T)	TELEPHONE
---	---	FENCE, TYPE AS SHOWN
---	---	BENCH MARK
---	---	MONUMENT, TYPE AS SHOWN
REVISION		
SECTION	DETAIL	
SHEET NO.		
SWALE		
SLOPE		
DROP INLET		
FIRE HYDRANT		
GATE VALVE		
JOINT POWER POLE		

## Sheet Index

1	Cover Sheet/Title Sheet
2	Grading and Drainage Plan
3	Profile, Sections, & Details
4	Erosion Control Plan
BMP-1	County BMP Sheet
BMP-2	County BMP Sheet
ENGINEER: Allen Andrade 16075 Vineyard Blvd. Morgan Hill, CA 95037 408.779.7381 ex. 222 allena@mhengineering.com	

Revision 1	Date	APN	652-08-006	Sheet 1 of 6
Revision 2	Date	Co. File		
Revision 3	Date		DEV19-2661	





County of Santa Clara - Planning Division  
APPROVED WITH CONDITIONS  
RECORD # PLN18-11429 Mod 1  
THIS PROJECT IS APPROVED TO SUBMIT FOR DEVELOPMENT  
PLAN REVIEW. IT IS UNLAWFUL TO MAKE ANY CHANGES OR  
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LAND USE ENTITLEMENT  
APPROVED FOR ISSUANCE OF  
GRADING PERMIT ONLY  
APPROVED FOR ISSUANCE OF  
BUILDING PERMIT ONLY  
PLANNER DATE  
Colleen Tsuchimoto 1/22/2021  
NOTES  
Minor Modification of Building Site Approval &  
Grading Approval - 62 additional cubic yards of  
cut for modification to retaining wall (two tiered  
walls 2 ft. & 4.5 ft. in height)

**Applicant/Owner:**

Jeff Vo  
1562 Clayton Road  
San Jose, CA 95127  
408.680.6340

**Engineer:**

Allen Andrade LS7741, RCE 58384  
MH Engineering  
16075 Vineyard Blvd.  
Morgan Hill, CA 95037  
408.779.7381  
allena@mhengineering.com

**Project Information:**

APN 652-08-006  
Present Use: Rural Residential  
Proposed Use: Rural Residential  
Present Zoning: RR  
Proposed Zoning: RR  
Sanitary Sewer: Private On-Site System  
Gas and Electric: PG&E  
Water: San Jose Water Company  
Telephone: As Shown  
Existing Improvements: 1.84 ac

**Boundary Note:** Property lines shown on this plan are based on record data and boundary monumentation measured to date.

**Flood Zone:** The property lies wholly in Zone D, areas in which flood hazards are undetermined, but possible, per FEMA Firm Panel 06085C0259H, effective May 18, 2009.

**Basis of Bearings**

The bearings shown on this map are based on the northwesterly line of Parcel A as recorded as North 39° 22' 25" East, on that Parcel Map thereof filed November 2, 1972 in Book 311 of Maps at Page 37, Santa Clara County Records.

**Benchmark:** Elevations shown on this plan are based on the elevation at the intersection of the existing driveway and concrete walkway located across from the proposed new PCC driveway. ELEVATION = 513.69'. (assumed)

**Tree Note:** No trees are to be removed

**Fire Notes:**

- Property is in wildland urban interface (WUI).
- Driveway width will be maintained at 12' minimum with a clear height of 13' 6".
- Existing driveway capable of supporting 75,000 lbs.
- All proposed driveways to be made of an all weather surface capable of supporting 75,000 lbs.

**Landscaping Note:** No landscaping is proposed.

**Note:** Retaining walls greater than 4 feet will be covered under a separate building permit.

**Impervious Area Summary**

Proposed Residence	3,916 SF
Proposed Detached Garage	600 SF
Proposed ADU	1,196 SF
Proposed Patios and Walkways	2,131 SF
Proposed Driveways	5,866 SF
Pavement Widening	297 SF
<b>Total New Impervious Area</b>	<b>14,006 SF</b>

**Earthwork Quantities**

	Cut	Fill	Net	Max Cut	Max Fill
Buildings	226 cy	100 cy	126 cy (cut)	5.00'	3.65'
Private Road	22 cy	0 cy	22 cy (cut)	0.50'	0.00'
Site Grading	176 cy	87 cy	89 cy (cut)	4.50'	3.65'
Driveway	0 cy	248 cy	248 cy (fill)	0.00'	4.50'
Detention Pond	37 cy	26 cy	11 cy (cut)	1.75'	2.30'
Modification to retaining wall	62 cy	0 cy	62 cy (cut)	4.50'	0.00'
<b>Total</b>	<b>523 cy</b>	<b>461 cy</b>	<b>balanced</b>		

**Geotechnical Recommendations:**

(refer to Geotechnical Recommendations from Earth Systems Pacific, dated 3/24/2014, updated 5/24/2019 for complete geotechnical recommendations)

- All earthwork including grading, foundation drilling, excavation and backfilling shall be observed and inspected by a representative from Earth Systems. Contact their office 48 hours prior to the commencement of any earthwork.
- The upper 2 feet of soil in the building areas should be overexcavated to expose firm native soil. The overexcavated areas should extend a minimum of 5 feet beyond the perimeter of the foundation and 2 feet beyond the edges of proposed pavement and exterior flatwork.
- The overexcavated surfaces shall be cross-scarified to a depth of 8 inches, moisture conditioned, and re-compacted to 90 percent of maximum dry density. Fill shall be placed in lifts not exceeding 8 inches in loose thickness. Fill shall be moisture conditioned and compacted to 90 percent of maximum dry density.
- A minimum of 18 inches of non-expansive fill shall be placed in slab areas.
- Driveway and parking areas shall have the upper 8 inches of subgrade compacted to 92 percent of maximum dry density. Aggregate base material shall be compacted to 95 percent of maximum dry density.
- Fill slopes should be initiated on a minor base key at the toe of the slope. The key should extend a minimum of 2 feet below adjacent grade and slope into the hillside. The key should be a minimum of 8 feet wide or 1.5 times the compaction equipment.

**Drainage Notes**

- All culverts shall be made of high density polyethylene (HDPE), polyvinyl chloride (PVC), or reinforced concrete (RCP). All culverts shall have a smooth interior.
- Inlets shall be made of concrete and have a smooth bottom.
- All roof downspouts shall be directed onto splash blocks to drain away from the foundation at a minimum of 5' into vegetated areas.
- Paved surfaces adjacent to foundations shall be sloped away at a minimum of 2%. Un paved surfaces adjacent to foundations shall be sloped away at a minimum of 5%.
- All exposed slopes shall be re seeded with native vegetation.

APPROVED FOR ISSUANCE  
REFER TO ENCROACHMENT AND/OR  
CONSTRUCTION PERMIT AND PLAN  
COVER SHEET FOR SPECIAL  
CONDITIONS AND PERMIT NUMBERING

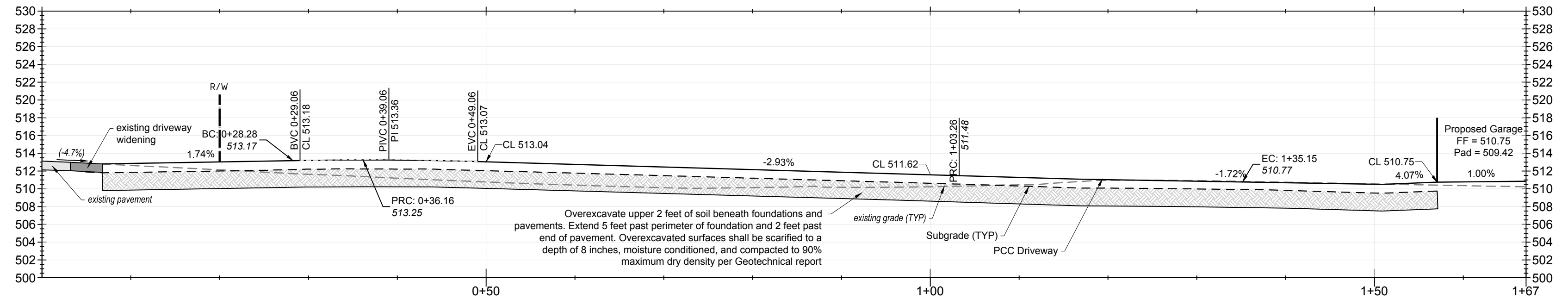


**MH engineering Co.**  
16075 Vineyard Boulevard  
Morgan Hill, CA 95037

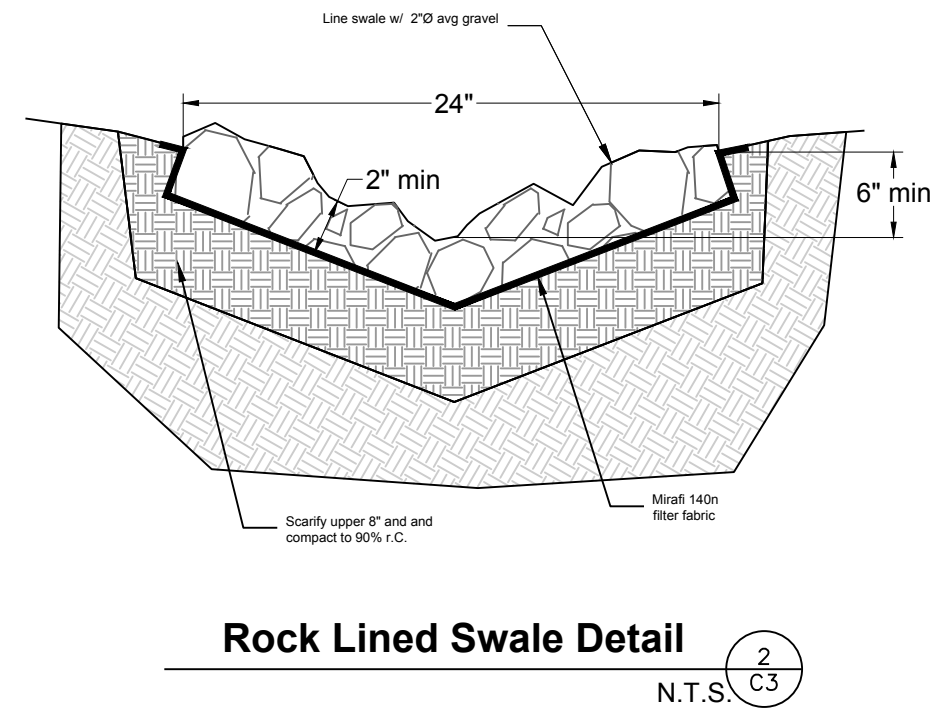
**Grading and Drainage Plan**  
**2532 Klein Road - APN 652-08-006**

DATE: 10/21/2020  
SCALE: 1" = 20'  
DRAWN BY: DF  
CHECKED BY: ATA  
JOB NO.  
**217103**  
SHEET  
**C2**  
OF  
**6**

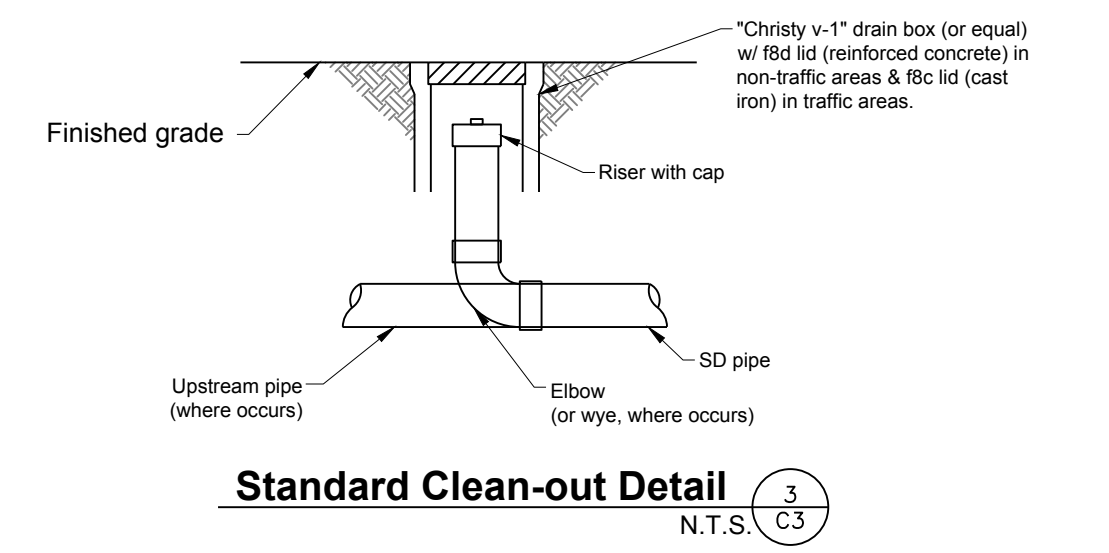




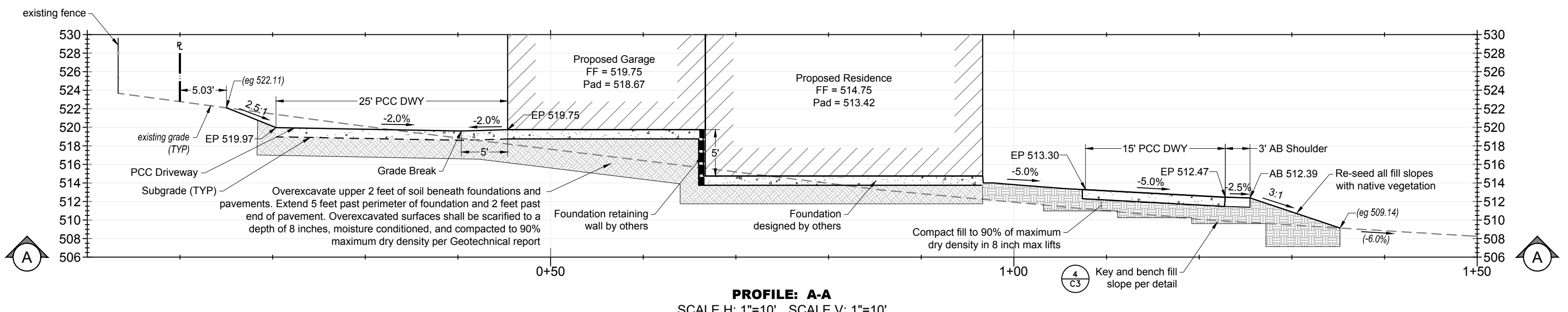
PROFILE: Driveway Centerline  
SCALE H: 1"=10' SCALE V: 1"=10'



Rock Lined Swale Detail  
N.T.S. C3

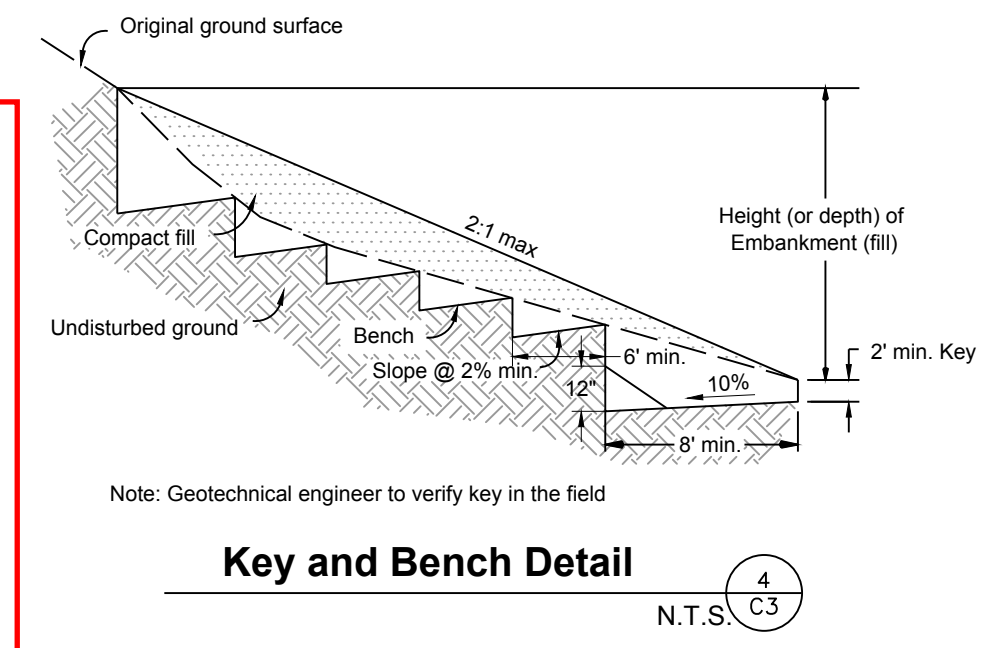


Standard Clean-out Detail  
N.T.S. C3

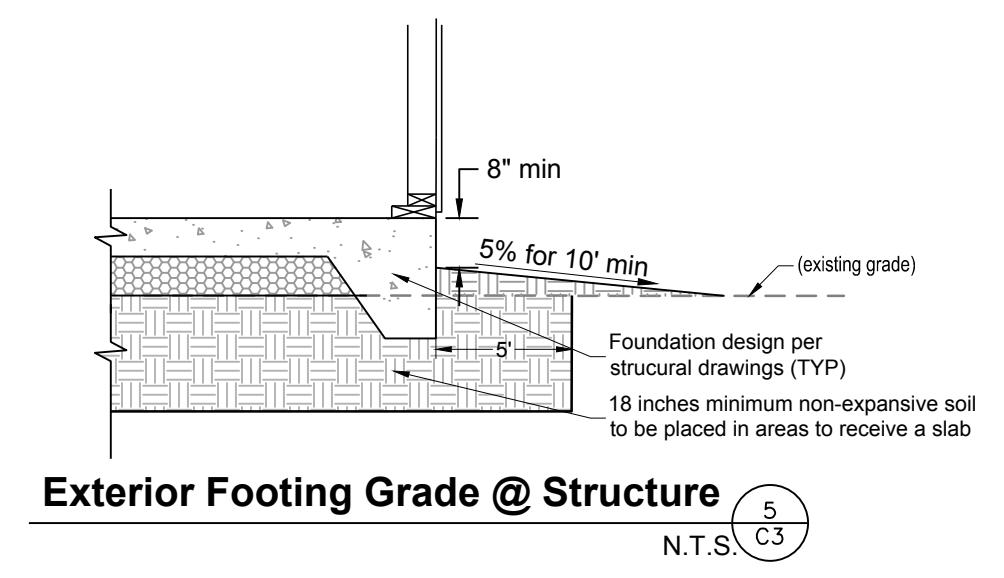


PROFILE: A-A  
SCALE H: 1"=10' SCALE V: 1"=10'

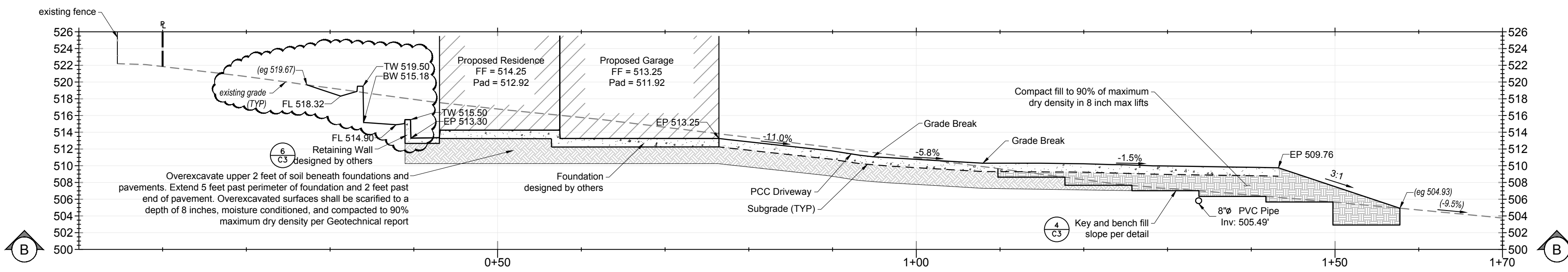
County of Santa Clara - Planning Division  
**APPROVED WITH CONDITIONS**  
RECORD # PLN18-11429 Mod 1  
THIS PROJECT IS APPROVED TO SUBMIT FOR DEVELOPMENT PLAN REVIEW. IT IS UNLAWFUL TO MAKE ANY CHANGES OR ALTERATIONS TO THESE PLANS WITHOUT THE WRITTEN APPROVAL FROM THE PLANNING DIVISION.  
☒ LAND USE ENTITLEMENT  
☐ APPROVED FOR ISSUANCE OF GRADING PERMIT ONLY  
☐ APPROVED FOR ISSUANCE OF BUILDING PERMIT ONLY  
DATE  
Colleen Tsuchimoto 1/22/2021  
NOTES  
Minor Modification of Building Site Approval & Grading Approval - 02 additional cubic yards of cut for modification to retaining wall (two tiered walls 2 ft. & 4.5 ft. in height)



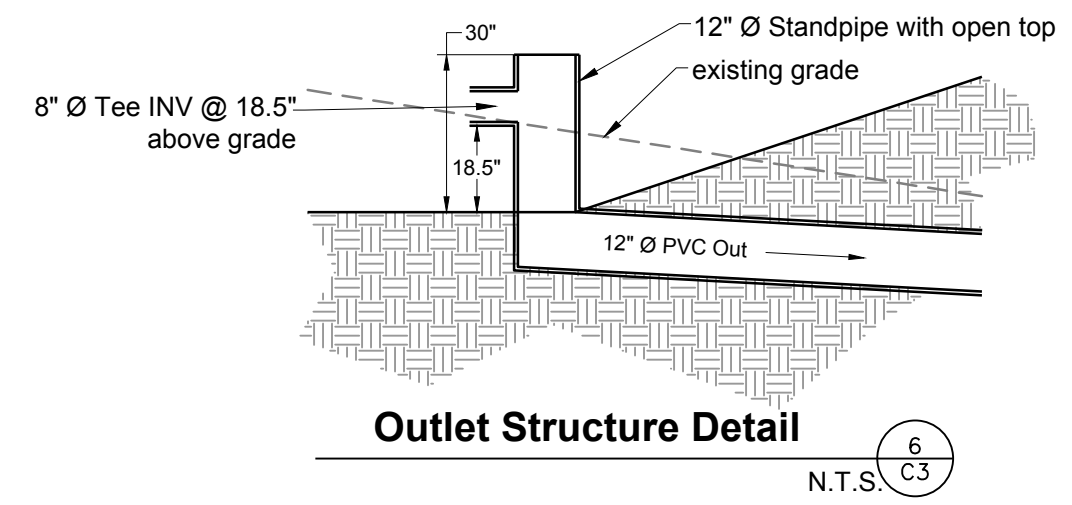
Key and Bench Detail  
N.T.S. C3



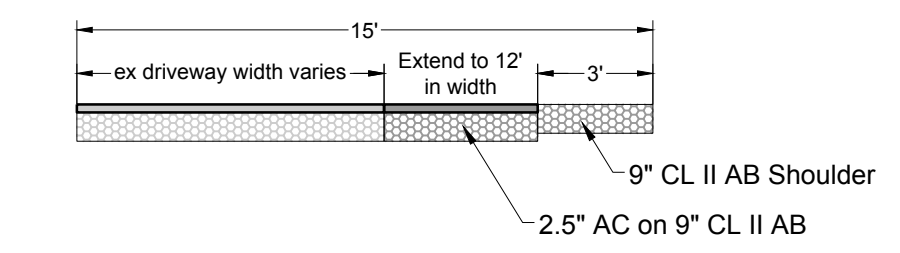
Exterior Footing Grade @ Structure  
N.T.S. C3



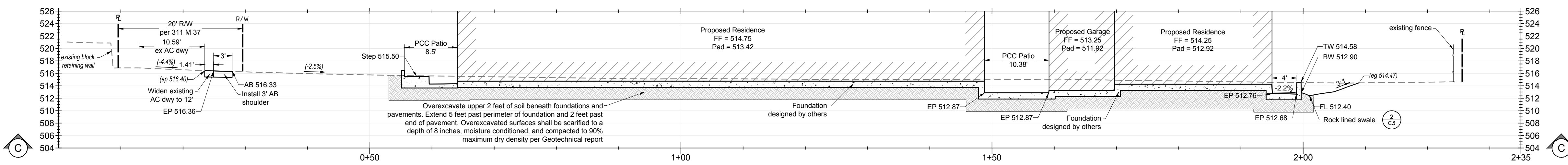
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SCALE H: 1"=10' SCALE V: 1"=10'



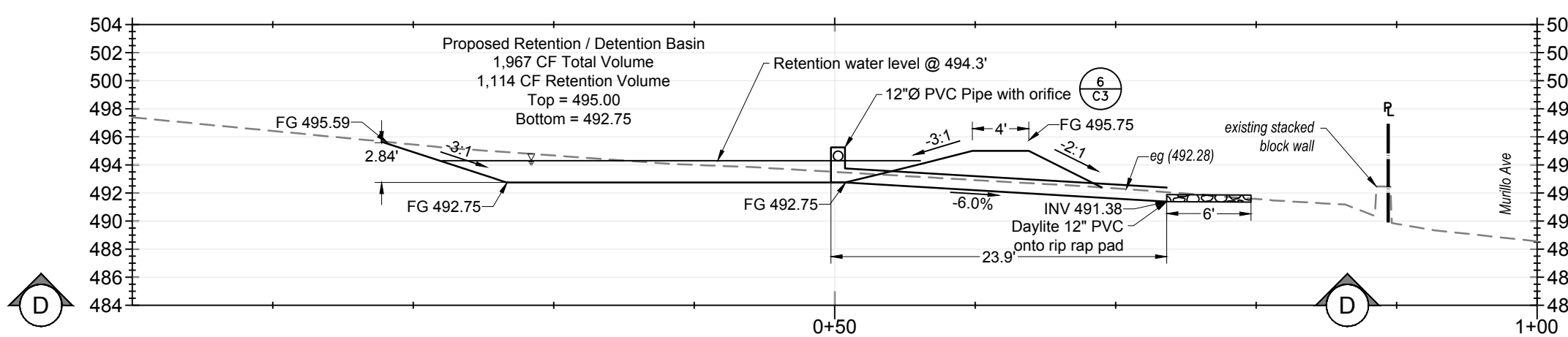
Outlet Structure Detail  
N.T.S. C3



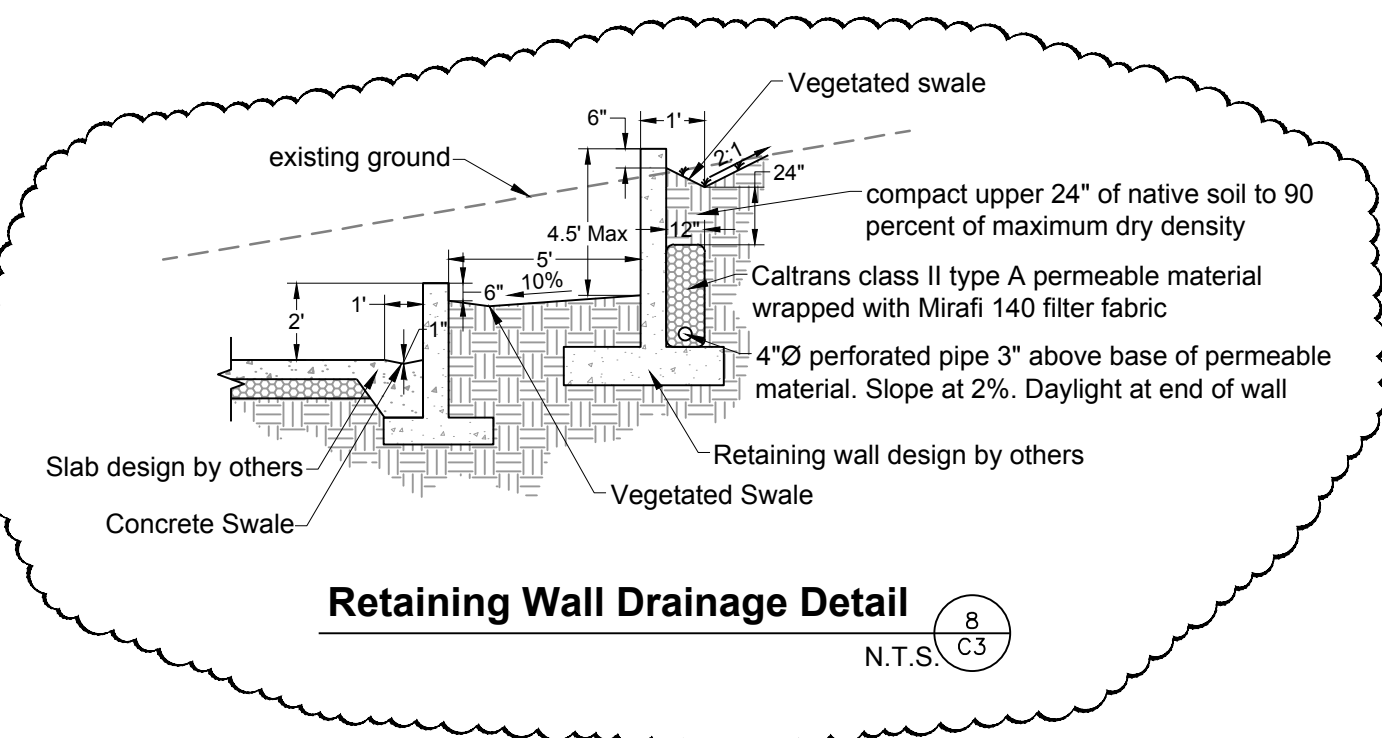
Widen Existing Pavement Detail  
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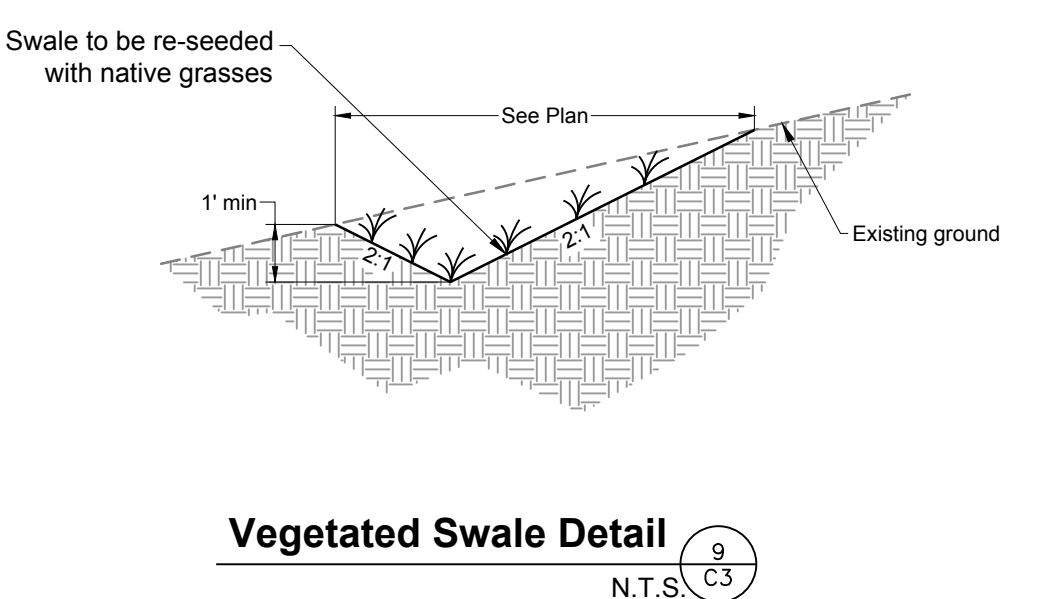
PROFILE: C-C  
SCALE H: 1"=10' SCALE V: 1"=10'



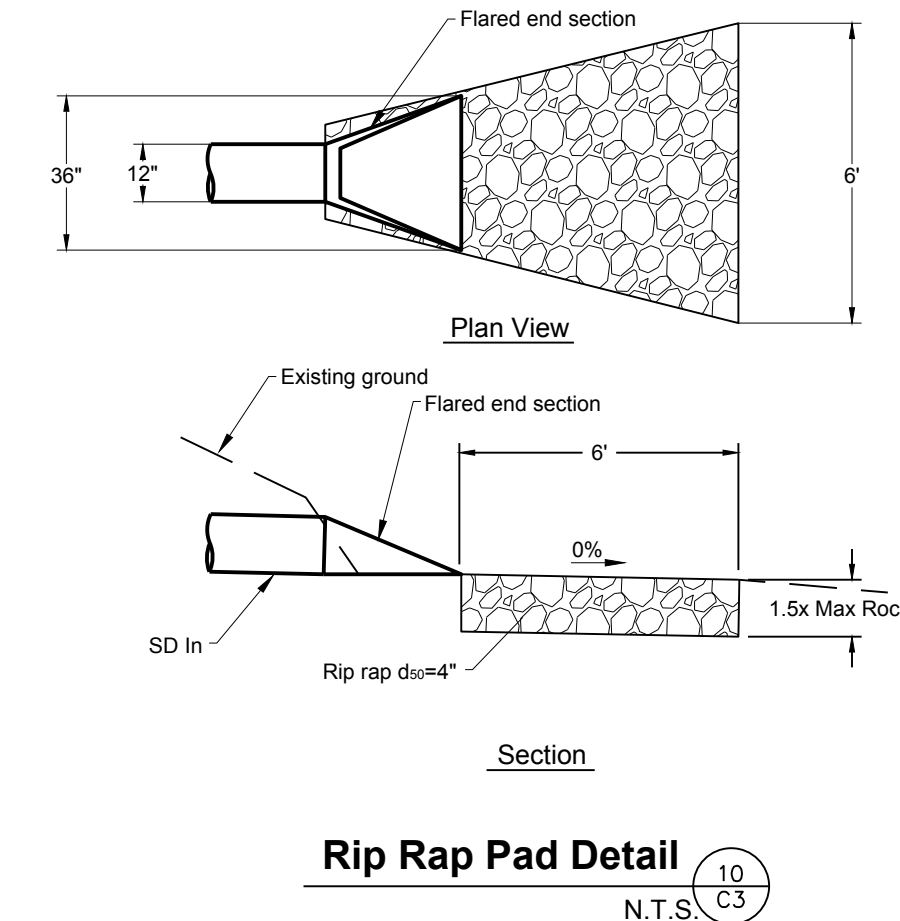
PROFILE: D-D  
SCALE H: 1"=10' SCALE V: 1"=10'



Retaining Wall Drainage Detail  
N.T.S. C3



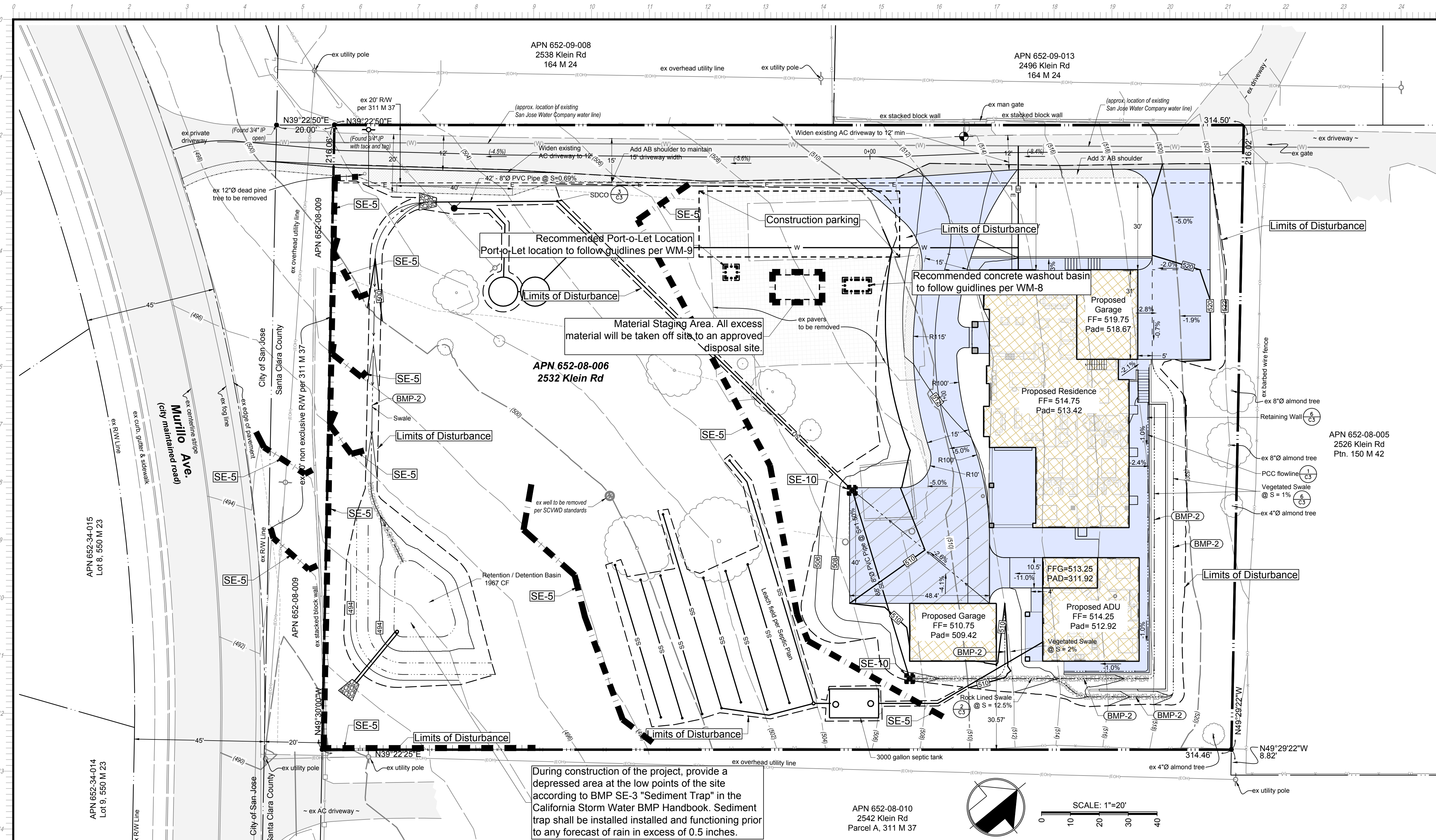
Vegetated Swale Detail  
N.T.S. C3



Rip Rap Pad Detail  
N.T.S. C3

APPROVED FOR ISSUANCE  
REFER TO ENCROACHMENT AND/OR  
CONSTRUCTION PERMIT AND PLAN  
COVER SHEET FOR SPECIAL  
CONDITIONS AND PERMIT NUMBERING





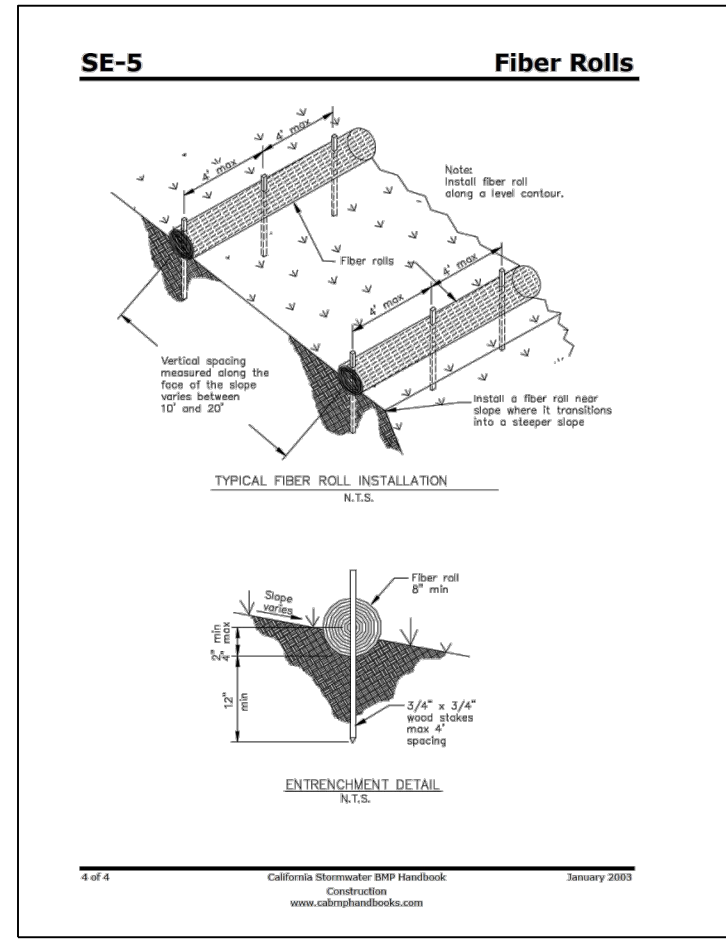
Area of Disturbance = 29,682 SF

- Note 1: No hazardous material is anticipated for this project. If hazardous materials are used, notify engineer, Santa Clara County Land Development Engineering Department, and comply to California Stormwater Quality Association Stormwater Best Management Practice Handbook.
- Note 2: It is expected that all grading equipment is to remain in the disturbed area and all other vehicular traffic will remain on the existing driveway. If sediment tracking occurs, a vehicle wash down will be required and must comply with California State BMP TC-3 near or within the Stabilized Construction Entrance (TC-1).
- Note 3: All cut and fill slopes are to be re-seeded to match existing on-site vegetation.

Legend

- SE-5 Fiber Rolls
- SE-10 Storm drain inlet protection
- EC-4 Re-seed disturbed areas with natural vegetation

- A. BMP 1 - Site House Keeping
- Objective: Reduce impacts from storm water runoff by developing and implementing good house keeping practices.
  - Inspection: Routinely walk the storm water management area and the areas tributary to flows entering the area with an emphasis on locating sources of pollutants:
    - a. fluid spills in areas of parking and vehicular use
    - b. sediment accumulation
    - c. potential erosion or non-stabilized areas
    - d. trash or litter accumulation in anything other than an approved waste container
    - e. storage of materials that could release or convey particles to the drainage system
    - f. general maintenance and up keep of structures and hard surfaces
    - g. general maintenance of vegetation and landscape
    - h. areas where wash water could enter the storm drain system
    - i. areas of excessive landscape watering
  - Maintenance
    - a. provide routine mechanical sweeping of streets and parking areas
    - b. provide routine cleaning and sweeping of paths, patios, and other hard surfaces
    - c. provide routine trimming and clearing of landscaped areas
    - d. provide routing maintenance of irrigation facilities in the drainage area
    - e. provide routine maintenance of structures
    - f. provide routine maintenance of signs and notices
    - g. clean and dispose of all deleterious materials in the drainage area
    - h. clean areas of vehicular drips and stains
- B. BMP 2 - Swale Area
- Objective: Maintain the storage capacity of the above ground storage facility and ensure the fences and landscape areas are being maintained appropriately.
  - Inspection: visually after periods of heavy runoff, detailed walk through of facility first week of May to schedule necessary maintenance during dry months, and detailed walk through of facility prior in September to ensure all maintenance is complete and facility is prepared for the wet months.
    - a. ensure all gates and fences are in proper working order and clear that the area is secure.
    - b. ensure all landscaping is alive, pruned/trimmed as necessary
    - c. ensure there is no debris or litter in the facility
    - d. ensure there are no signs of erosion, rodent holes, or non-stabilized areas
    - e. ensure there are no areas of standing water (low spots etc.)
    - f. ensure there is no evidence or potential for non-storm water discharges
    - g. ensure all tributary inlets and pipes are clear of obstructions
  - Maintenance
    - a. repair all fences or gates to full working condition
    - b. prune & trim all landscaping as necessary
    - c. clear area of all debris or litter
    - d. repair and replant any eroded or non-stabilized areas
    - e. eliminate any rodent issues
    - f. repair any issues with runoff conveyance to outlet
    - g. eliminate any sources of non-storm water discharges
    - h. clear all inlets and outlets of obstructions
- C. BMP 3 - Retention/Detention/Infiltration Swale Inlets & Outlets
- Objective: Maintain the hydraulic capacity of the inlets and outlets in and tributary to the Swale Area to ensure proper function of the conveyance system.
  - Inspection: visually after periods of heavy runoff, detailed walk through of facility first week of May to schedule necessary maintenance during dry months, and detailed walk through of facility prior in September to ensure all maintenance is complete and facility is prepared for the wet months.
    - a. ensure all inlet grates and hoods are clear
    - b. ensure there is no debris in inlets
    - c. ensure accumulated sediments are no closer than 12" to any inlet or outlet
    - d. ensure water in sump areas is within expected range (dry during summer)
    - e. look for cracked or broken sidewalks, grates, hoods, or pipes
  - Maintenance
    - a. repair all grates and hoods to full working condition
    - b. remove dispose of any debris
    - c. remove accumulated sediments
    - d. clean and repair weep holes and outlet connections
    - e. repair any component that is cracked or broken

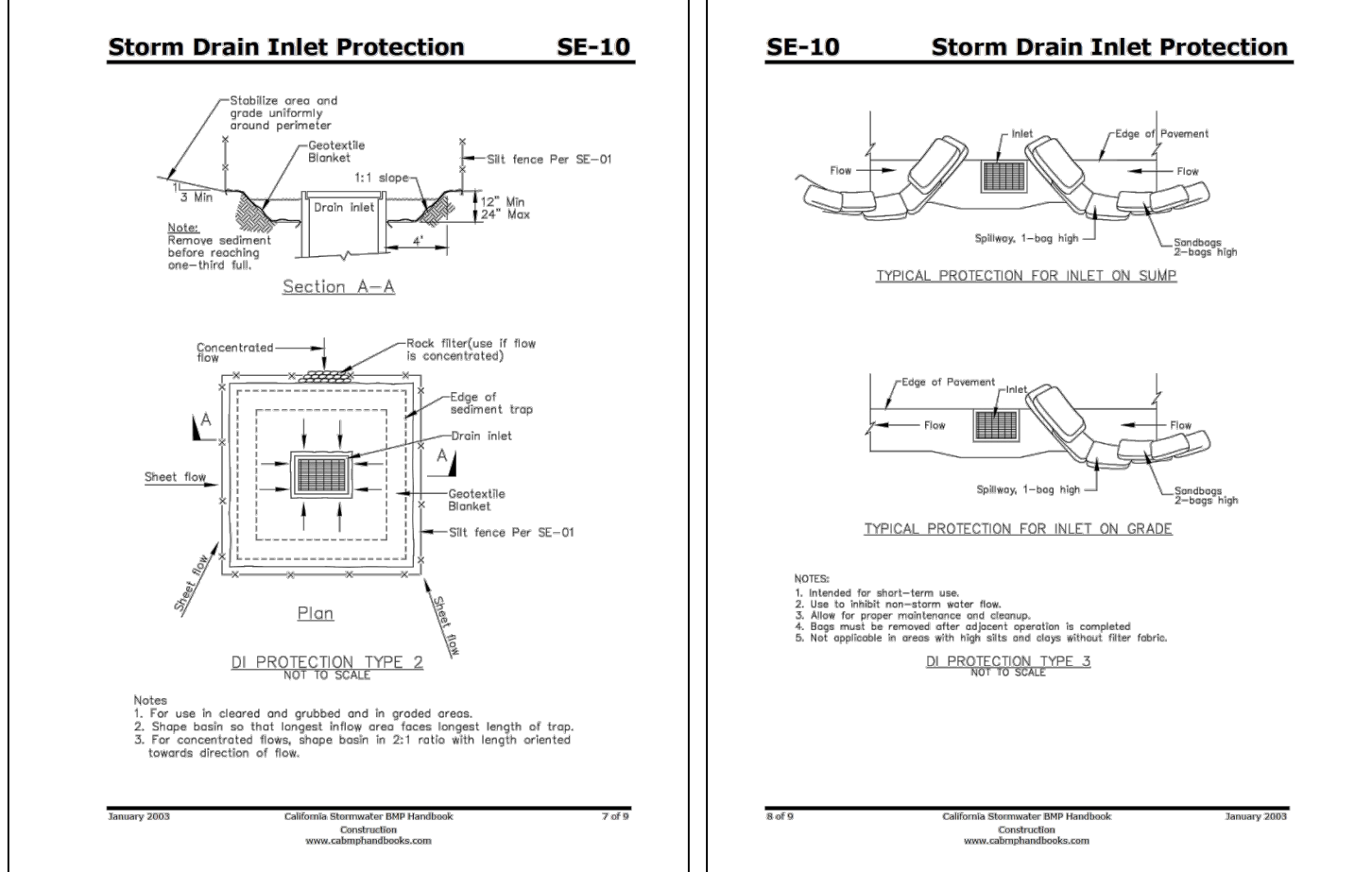


**Notes: SE-5 Fiber Rolls Installation**

- Locate fiber rolls on level contours spaced as follows:
  - Slope inclination of 4:1 (H:V) or flatter: Fiber rolls should be placed at a maximum interval of 20 ft.
  - Slope inclination between 4:1 and 2:1 (H:V): Fiber Rolls should be placed at a maximum interval of 15 ft. (a closer spacing is more effective).
  - Slope inclination 2:1 (H:V) or greater: Fiber Rolls should be placed at a maximum interval of 10 ft. (a closer spacing is more effective).
- Turn the ends of the fiber roll up slope to prevent runoff from going around the roll.
- Stake fiber rolls into a 2 to 4 in. deep trench with a width equal to the diameter of the fiber roll.
- Drive stakes at the end of each fiber roll and spaced 4 ft maximum on center.
- Use wood stakes with a nominal classification of 0.75 by 0.75 in. and minimum length of 24 in.
- If more than one fiber roll is placed in a row, the rolls should be overlapped, not abutted.

**Inspection and Maintenance**

- Inspect BMPs prior to forecast rain, daily during extended rain events, after rain events, weekly during the rainy season, and at two-week intervals during the non-rainy season.
- Repair or replace spill, torn, unraveling, or slumping fiber rolls.
- If the fiber roll is used as a sediment capture device, or as an erosion control device to maintain sheet flows, sediment that accumulates in the BMP must be periodically removed in order to maintain BMP effectiveness. Sediment removed during maintenance may be incorporated into earthwork on the site of disposal at an appropriate location.
- If fiber rolls are used for erosion control, such as in a mini check dam, sediment removal should not be required as long as the system continues to control the grade. Sediment control BMPs will likely be required in conjunction with this type of application.



**Notes: SE-10 Storm Drain Inlet Protection Installation**

- DI Protection Type 2 - Excavated Drop Inlet Sediment Trap** - The excavated drop inlet sediment trap (Type 2) is shown in the attached figures. Install filter fabric fence in accordance with DI Protection Type 1. Size excavated trap to provide a minimum storage capacity calculated at the rate 67 yd<sup>3</sup>/acre of drainage area.
- Inspection and Maintenance**
- Inspect BMPs prior to forecast rain, daily during extended rain events, after rain events, weekly during the rainy season, and at two-week intervals during the non-rainy season.
- Filter Fabric Fences: If the fabric becomes clogged, torn, or degrades, it should be replaced. Make sure the stakes are securely driven in the ground and are in good shape (i.e., not bent, cracked, or splintered, and are reasonably perpendicular to the ground). Replace damaged stakes.
- Gravel Filters: If the gravel becomes clogged with sediment, it must be carefully removed from the inlet and either cleaned or replaced. Since cleaning gravel at a construction site may be difficult, consider using the sediment-laden stone as fill material and put fresh stone around the inlet. Inspect bags for holes, gashes, and snags, and replace bags as needed. Check gravel bags for proper arrangement and displacement.
- Sediment that accumulates in the BMP must be periodically removed in order to maintain BMP effectiveness. Sediment should be removed when the sediment accumulation reaches one-third of the barrier height. Sediment removed during maintenance may be incorporated into earthwork on the site or disposed at an appropriate location.
- Remove storm drain inlet protection once the drainage area is stabilized.
- Clean and regrade area around the inlet and clean the inside of the storm drain inlet as it must be free of sediment and debris at the time of final inspection.

General Notes:

- Best management practices (BMPs) for this project shall be in substantial compliance at all times with the storm water pollution prevention plan (SWPPP) prepared for the project in accordance with the state water resources control board (SWRCB) order no. 2009-0009-DWQ National Pollutant Discharge Elimination System (NPDES) General Permit No. CAS000002. This permit requires that the SWPPP be kept up to date to reflect the changing site conditions and the SWPPP be kept up to date to reflect the changing site conditions and the SWPPP is to be available on site at all times for review by state and local inspectors.
- The erosion control measures are to be operable during the rainy season, September 15 to April 15. By September 15, grading, installation of storm drainage and erosion control facilities will need to be completed with erosion control planting established by that time. No grading shall occur between October 1 and April 15 unless authorized by the City Engineer.
- Standard drop inlet, underground drainage pipe and appurtenances shall be constructed prior to winterization and will remain as permanent tract improvements.
- Changes to this erosion and sediment control plan shall be made to meet field conditions only with the approval of or at the direction of the City Engineer. During the rainy season, all paved areas shall be kept clear of earth material and debris. The site shall be maintained so as to minimize sediment laden runoff to any storm drainage system.
- This plan covers only the first winter following grading. Plans are to be resubmitted for City approval prior to September 1 of each subsequent year until the tract improvements are accepted by the City.
- Seed and mulch are to be placed on all disturbed slopes steeper than 2% and higher than 3 feet, on all cut and fill slopes within or adjacent to all public rights of way and as directed by the City. Seed placed between May and September shall be irrigated as necessary to establish growth by October 1.
- Stabilized entrance shall be installed per detail TC-1&TC-3 of SWPPP manual prior to grading activities.
- Drain inlets shall be protected per details SE-10 of SWPPP manual prior to grading activities or as soon as practical.
- Sediment control BMPs shall be installed prior to grading activities or as soon as practical, and maintained year round.

County of Santa Clara Construction Stormwater Control Plan (CSCP) Notes:

- The contractor shall comply with all County of Santa Clara Standards, and is advised that the County has adopted the California Storm Water Quality Association (CASQA) Handbook for Construction as its Storm Water best management practices (BMP) standards. The BMPs contained within the County standards are minimum requirements. The contractor shall comply with all BMPs for sediment control, tracking control, waste management and materials pollution control, non-stormwater management control, and erosion control. Examples of BMPs that are required but are not limited to:
  - SE-10 Storm Drain Inlet Protection
  - SE-7 Street Sweeping and Vacuuming
  - WM-5 Solid Waste Management
  - WM-9 Sanitary/Septic Waste Management
  - WM-10 Concrete Waste Management
- Portable sanitary facilities shall have secondary containment, and be located on relatively level ground away from traffic areas and storm drain inlets.
- The contractor shall notify the County 48 hours in advance of the start of construction to request inspection of stormwater BMPs. All stormwater BMPs shall be in place prior to the start of construction, and maintained throughout the duration of the project.
- The interim CSCP is considered a "living document" which may be subject to change from time to time in order to facilitate construction. All requested changes must be approved by the County of Santa Clara prior to installation.
- The contractor shall inspect all stormwater BMPs regularly to assure they are functioning properly. If a BMP fails, the contractor shall make repairs immediately and clean all portions of storm drain systems that may have been contaminated by the failure of BMP to the satisfaction of the County of Santa Clara.



**MH engineering Co.**  
16075 Vineyard Boulevard  
Morgan Hill, CA 95037

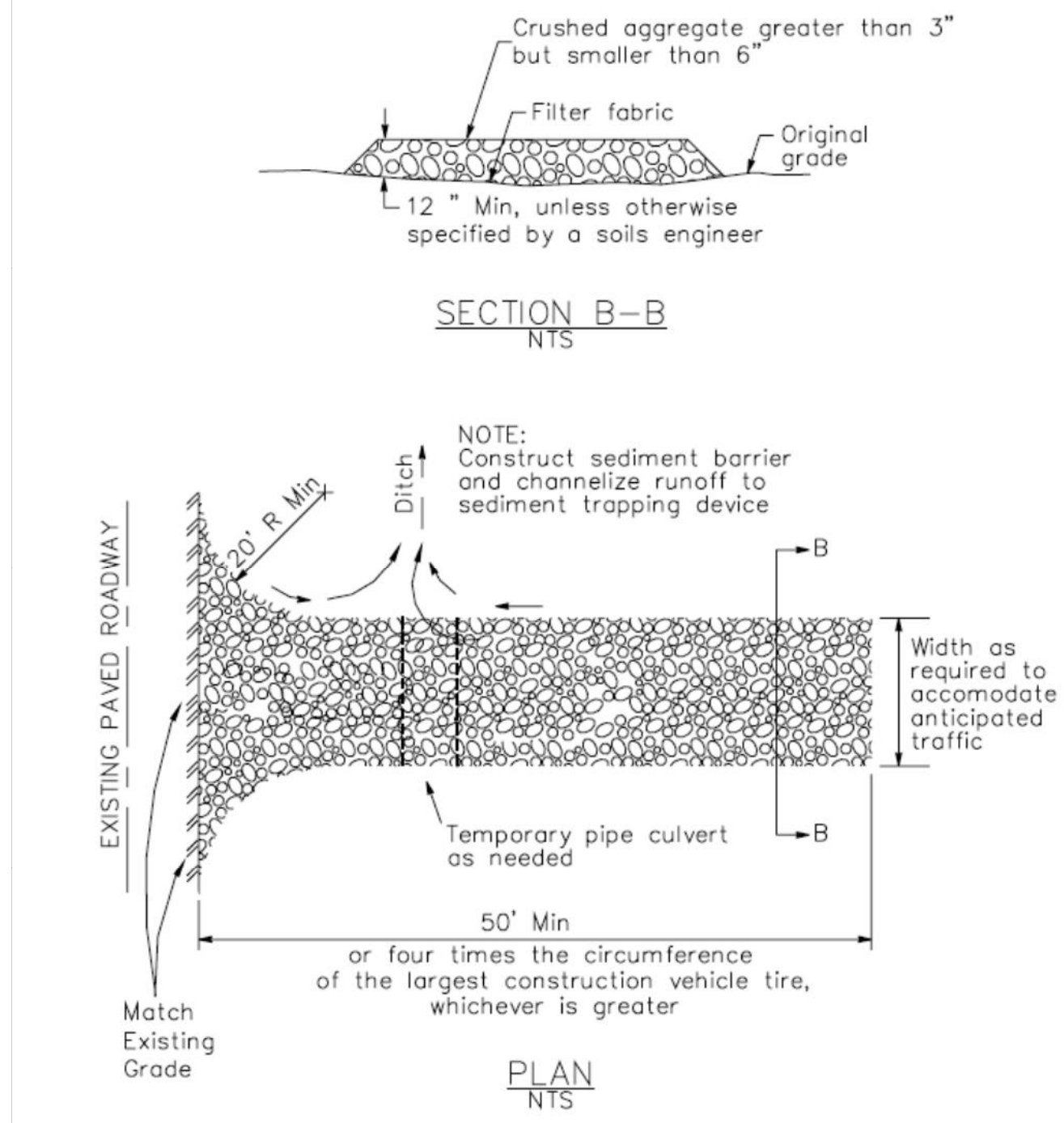
**Erosion Control Plan**  
**2532 Klein Road - APN 652-08-006**

DATE: 10/21/2020  
SCALE: 1" = 20'  
DRAWN BY: DF  
CHECKED BY: ATA  
JOB NO: 217103  
SHEET: C4  
OF: 6



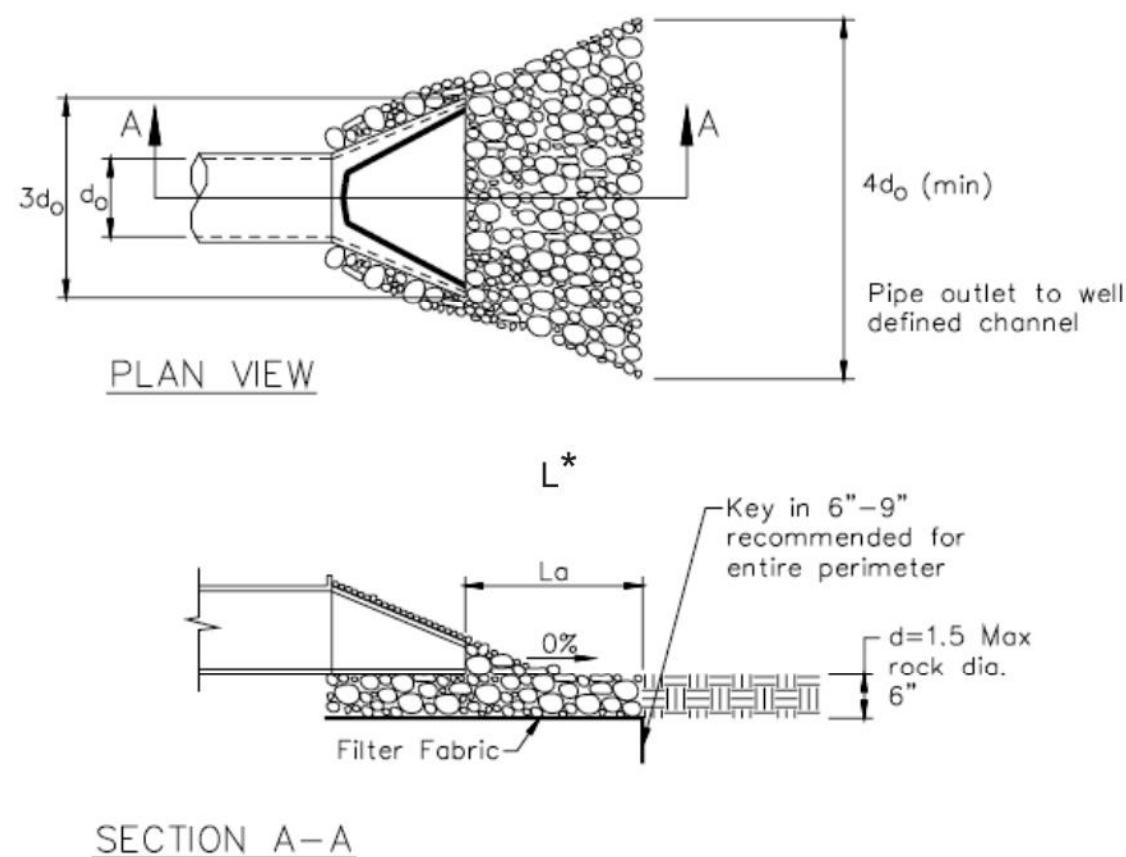
3 Stabilized Construction Entrance/Exit

CASQA Detail TC-1



4 Velocity Dissipation Devices

CASQA Detail EC-10

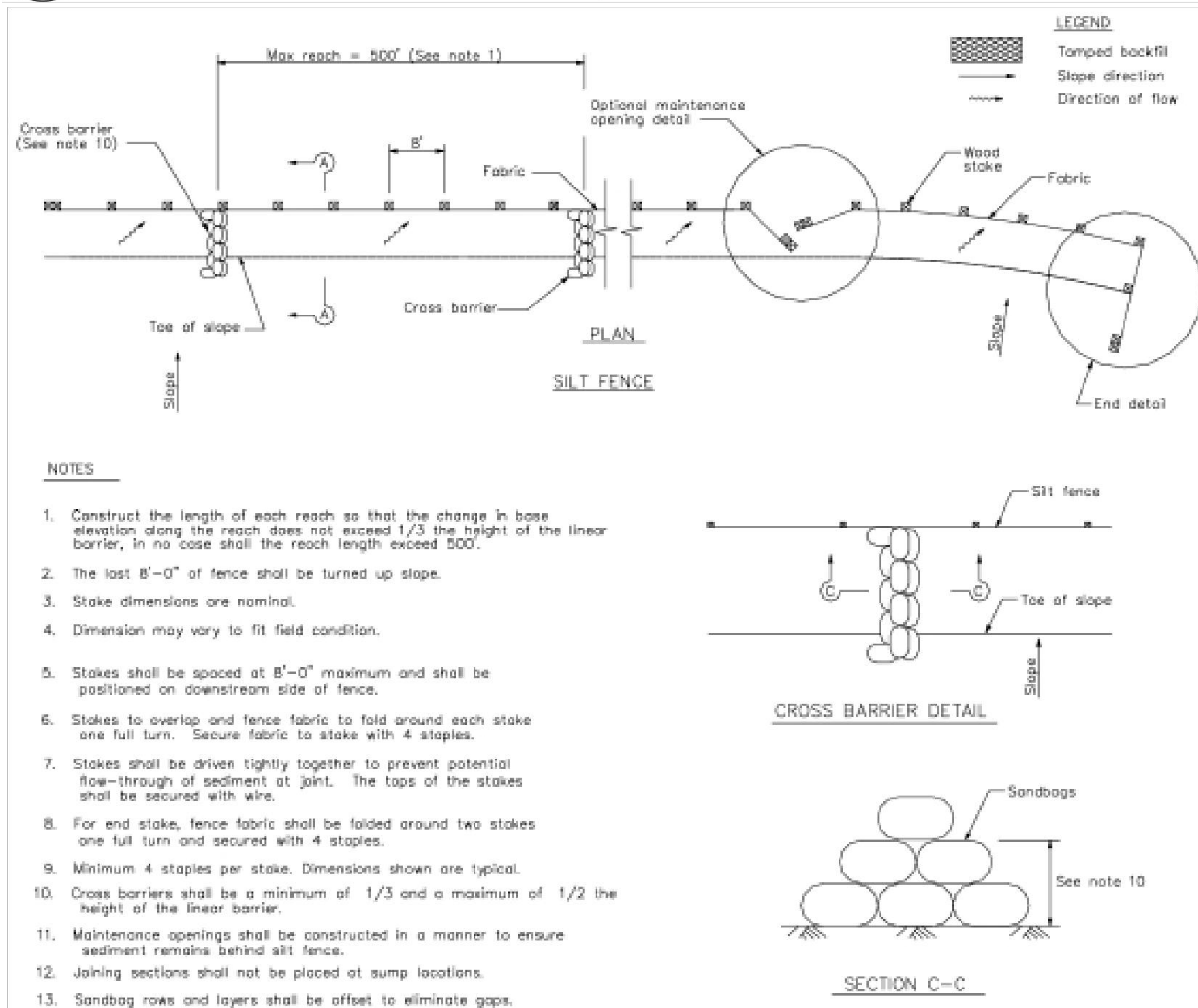


\* Length per ABAG Design Standards

Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

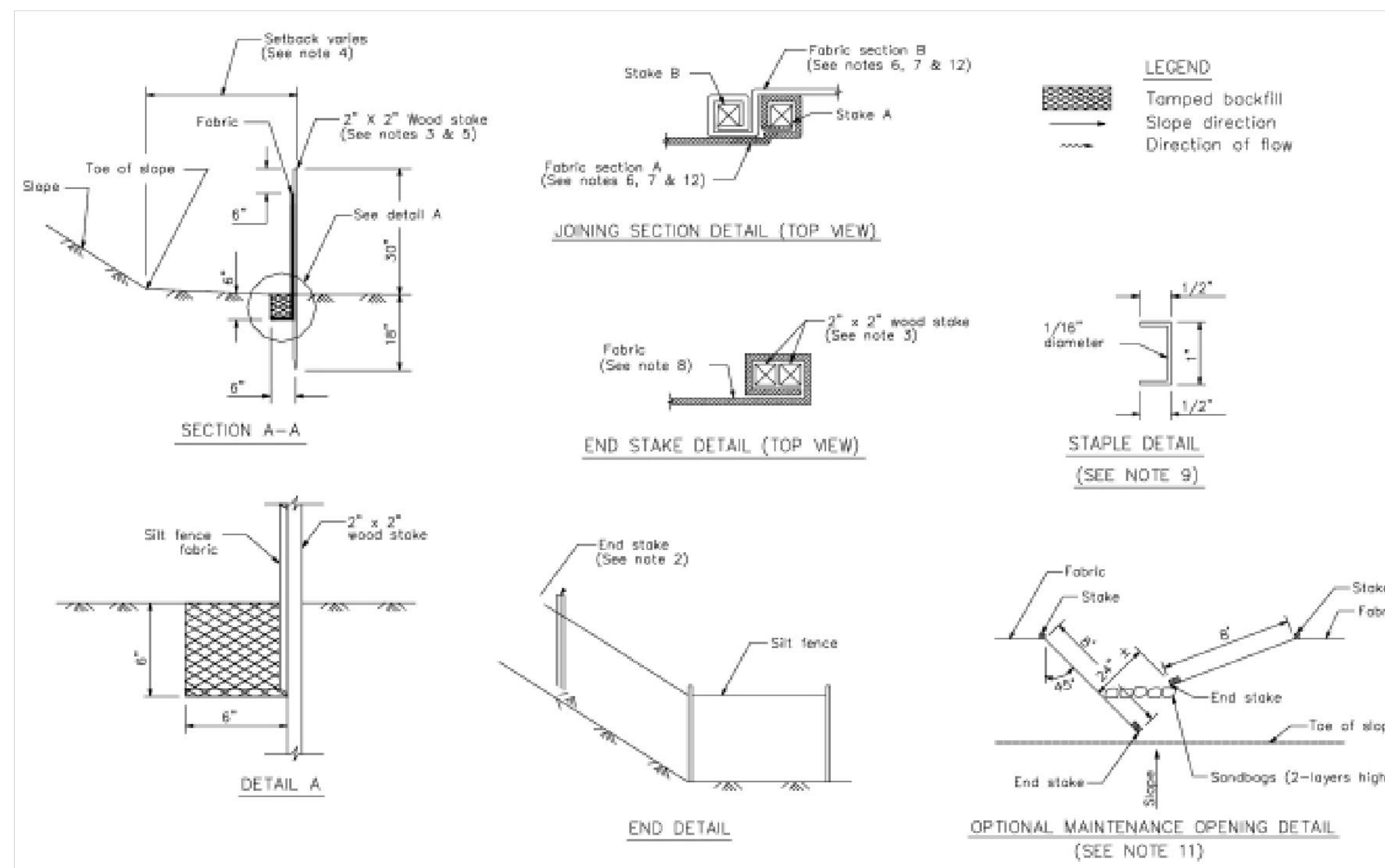
1 Silt Fence

CASQA Detail SE-1

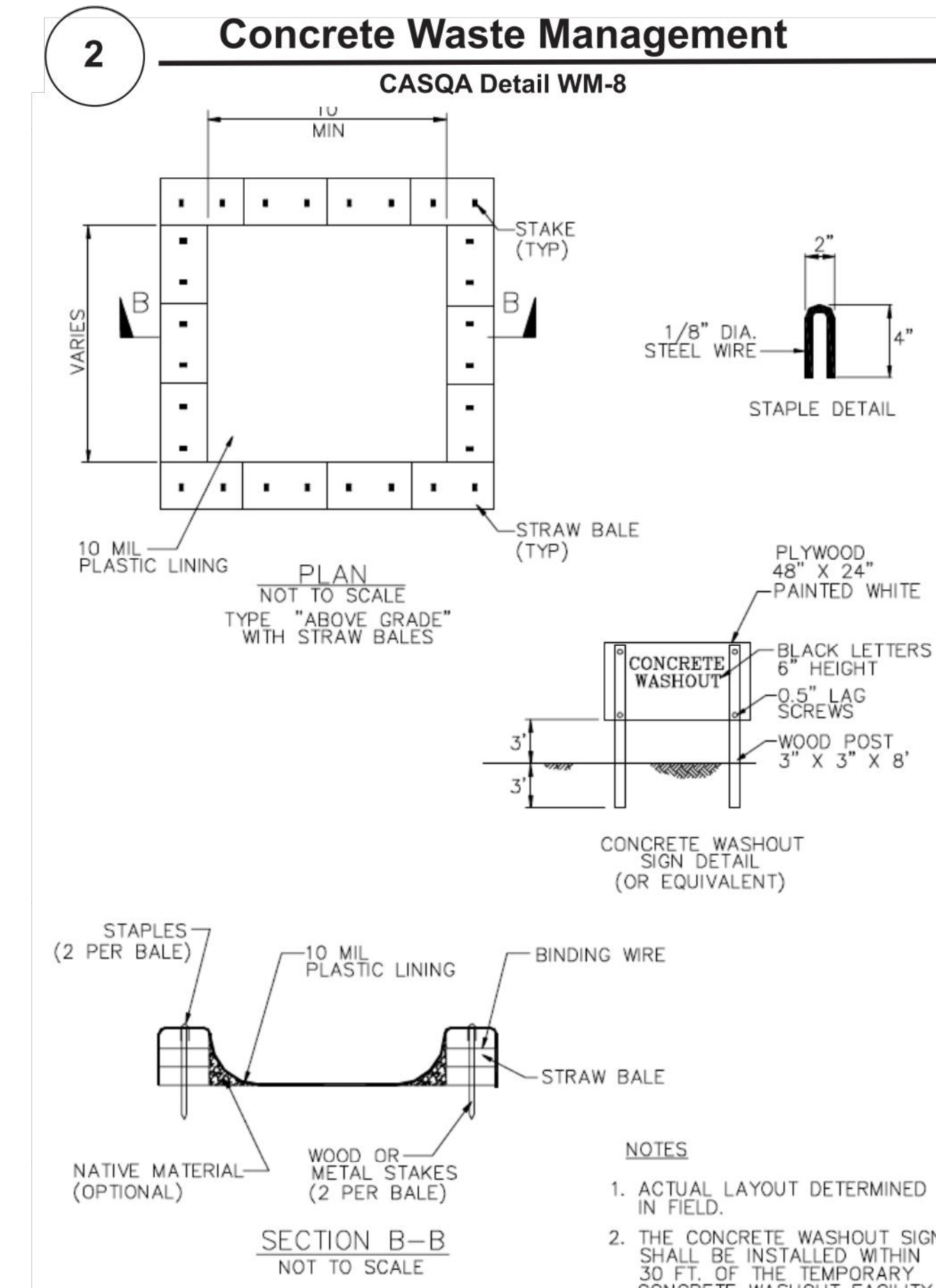
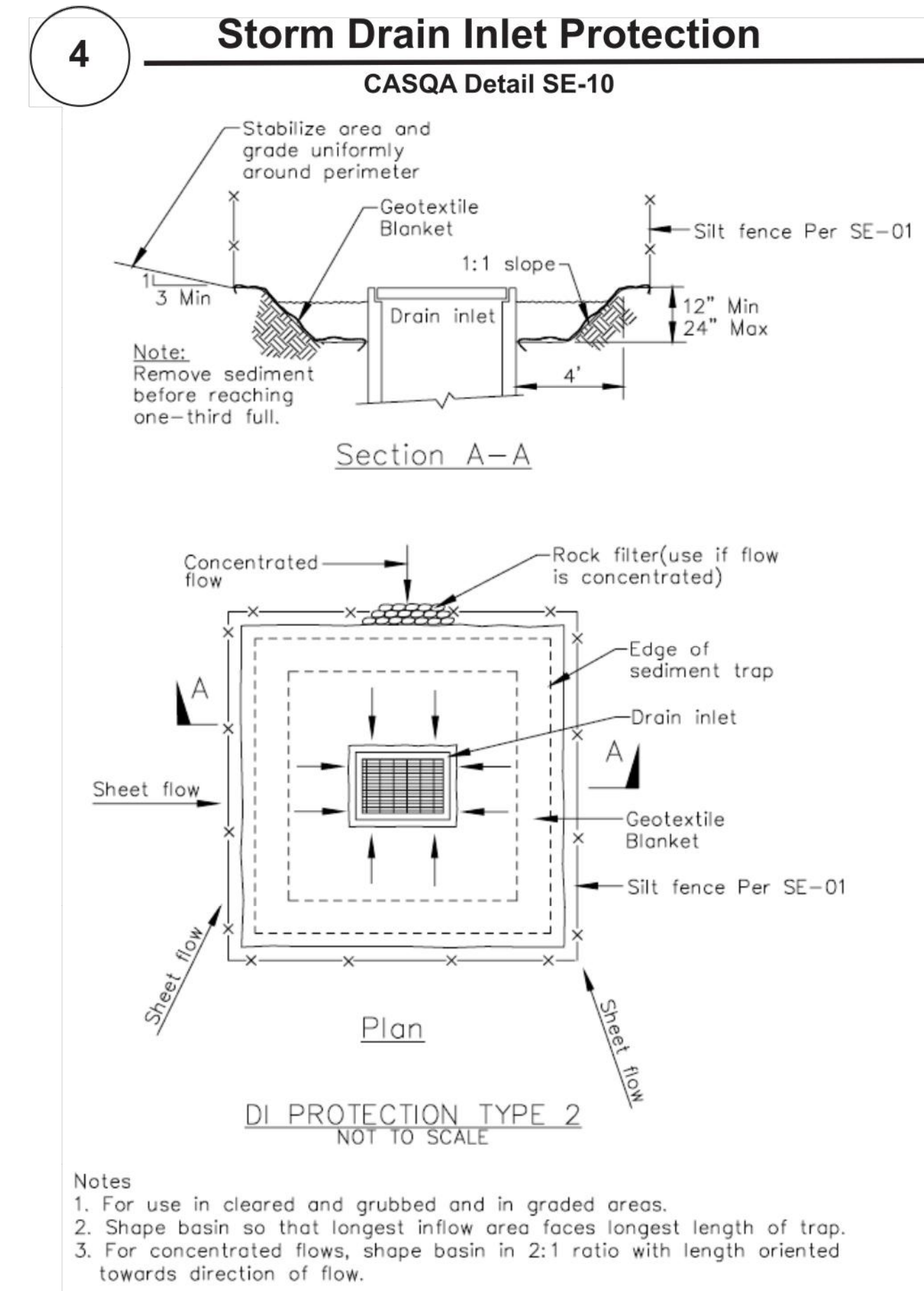
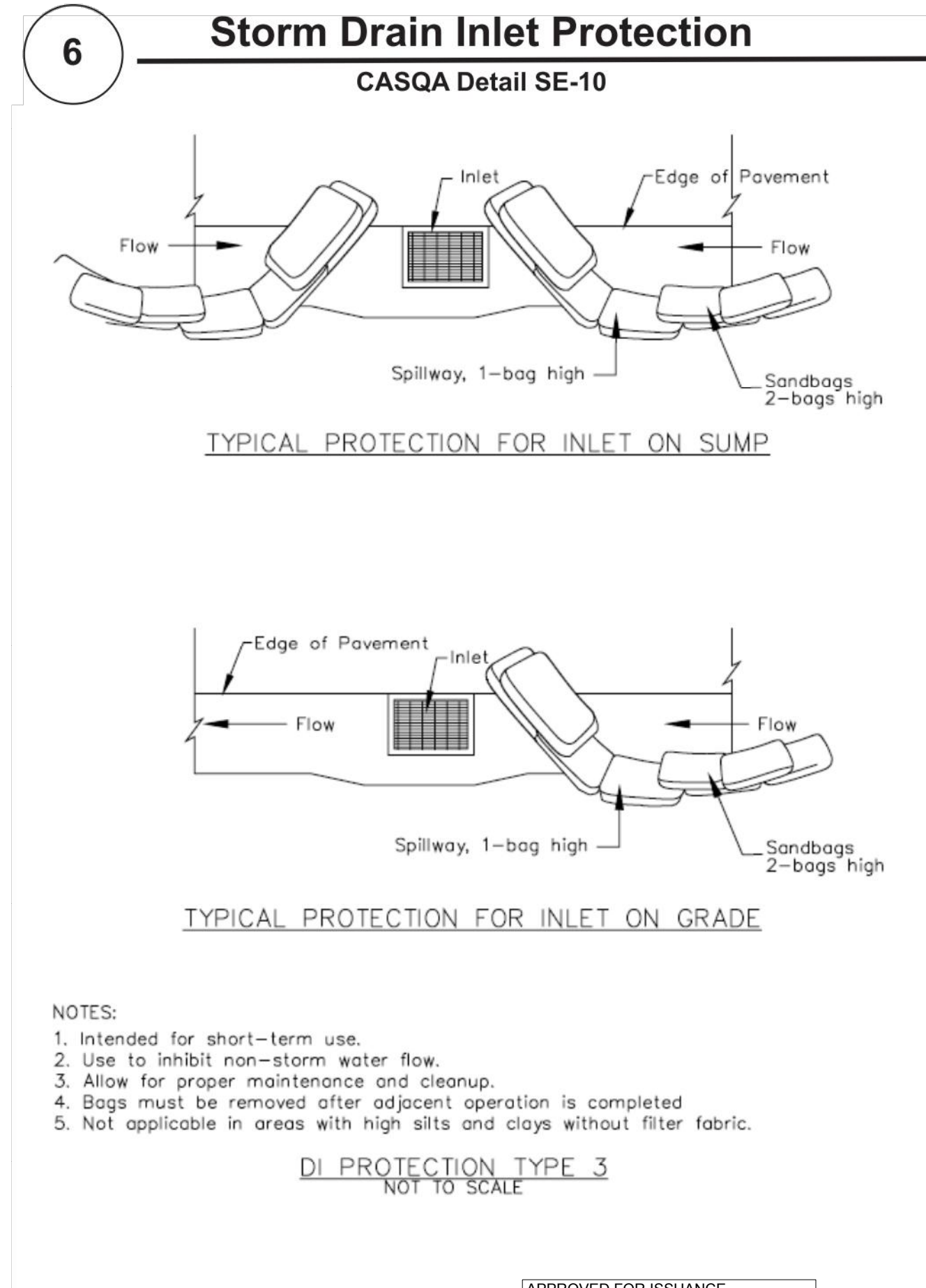
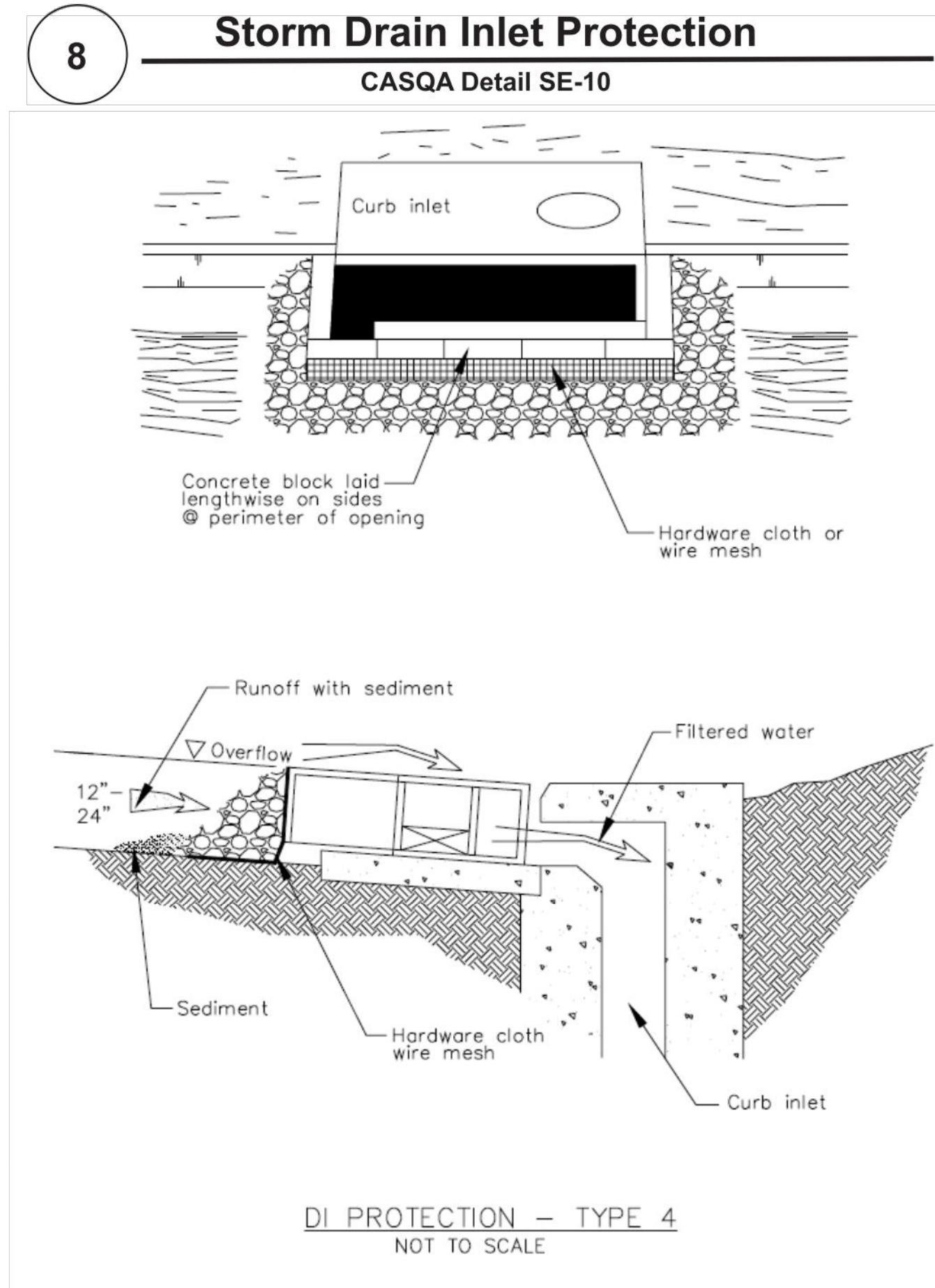
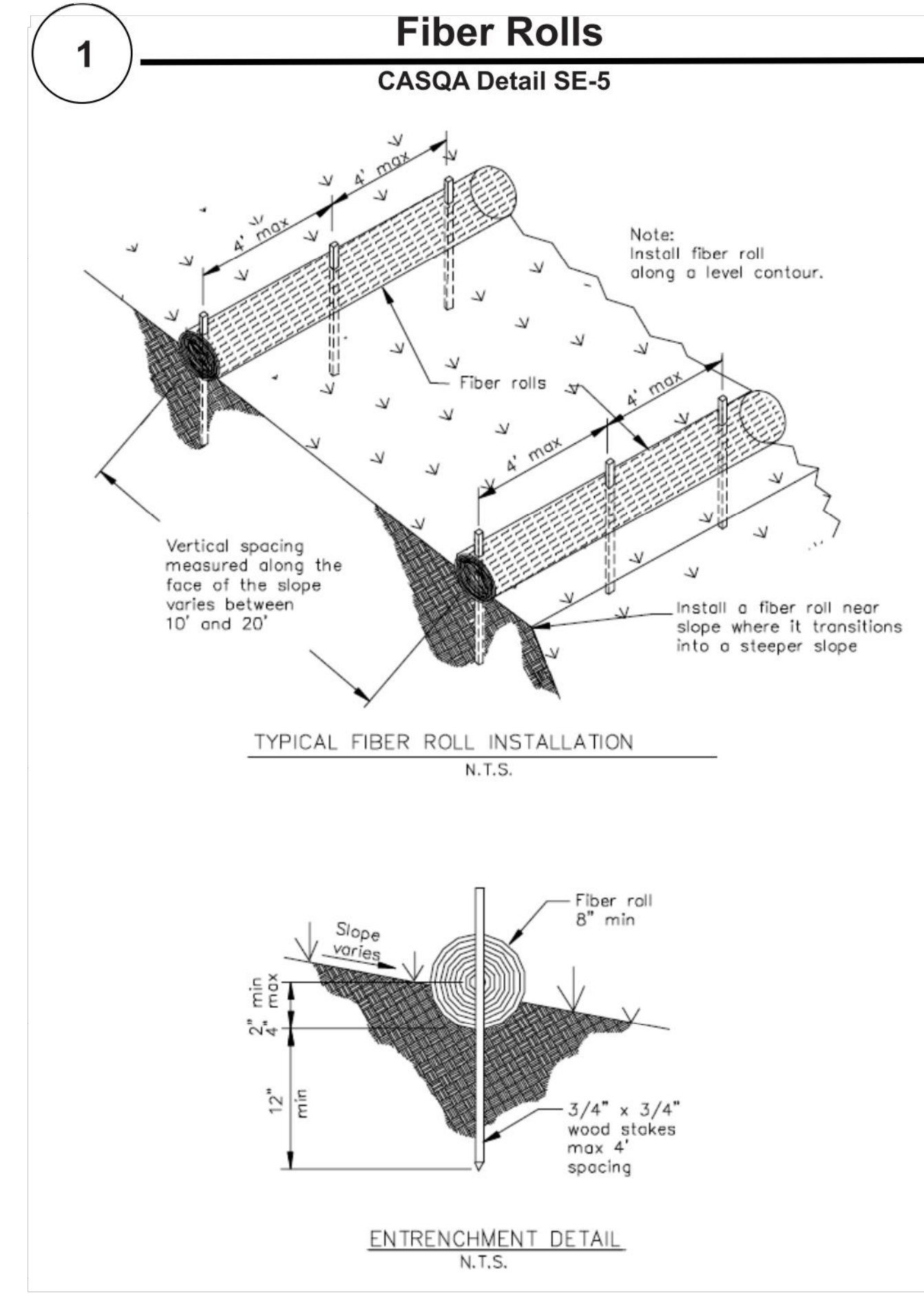
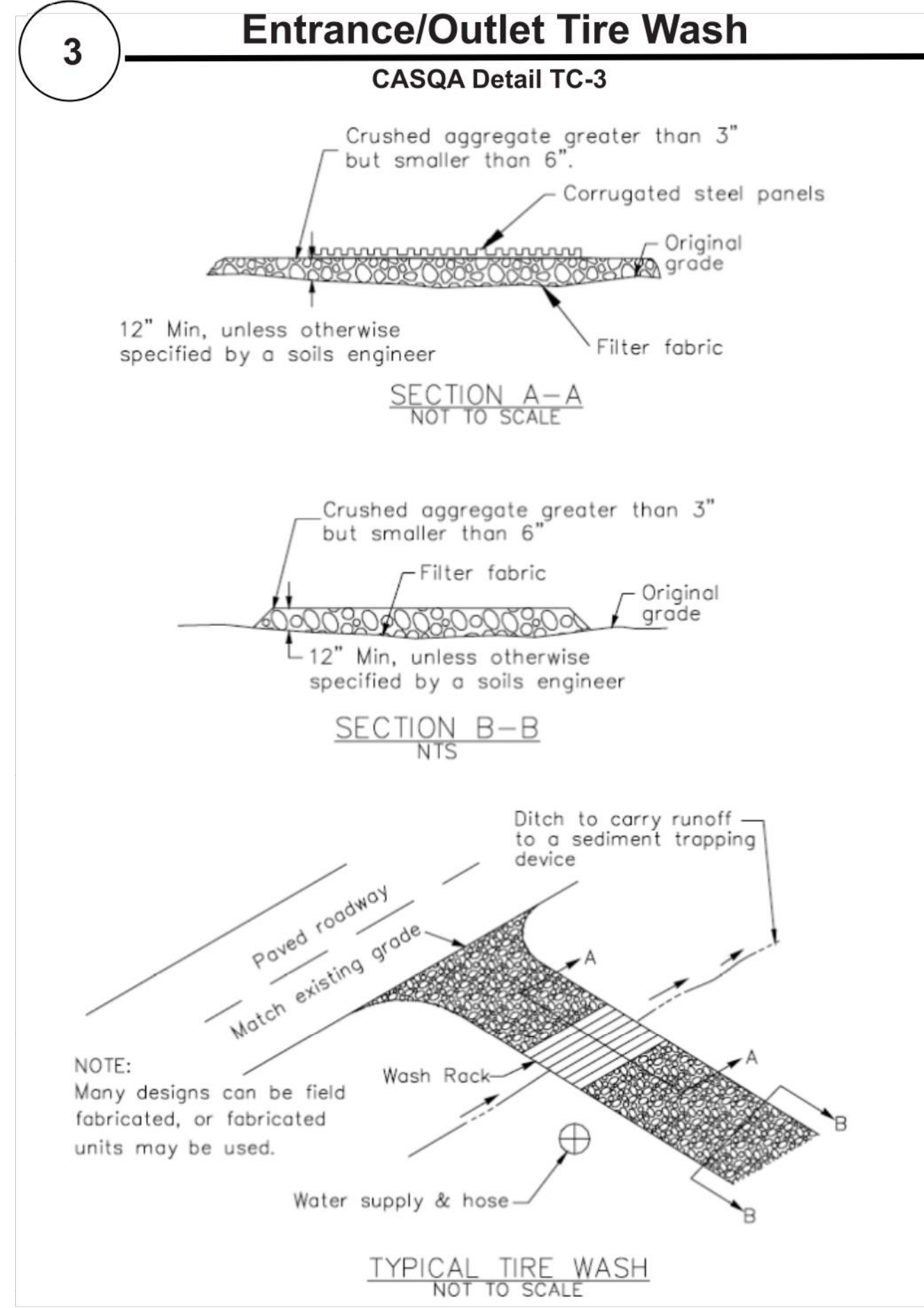
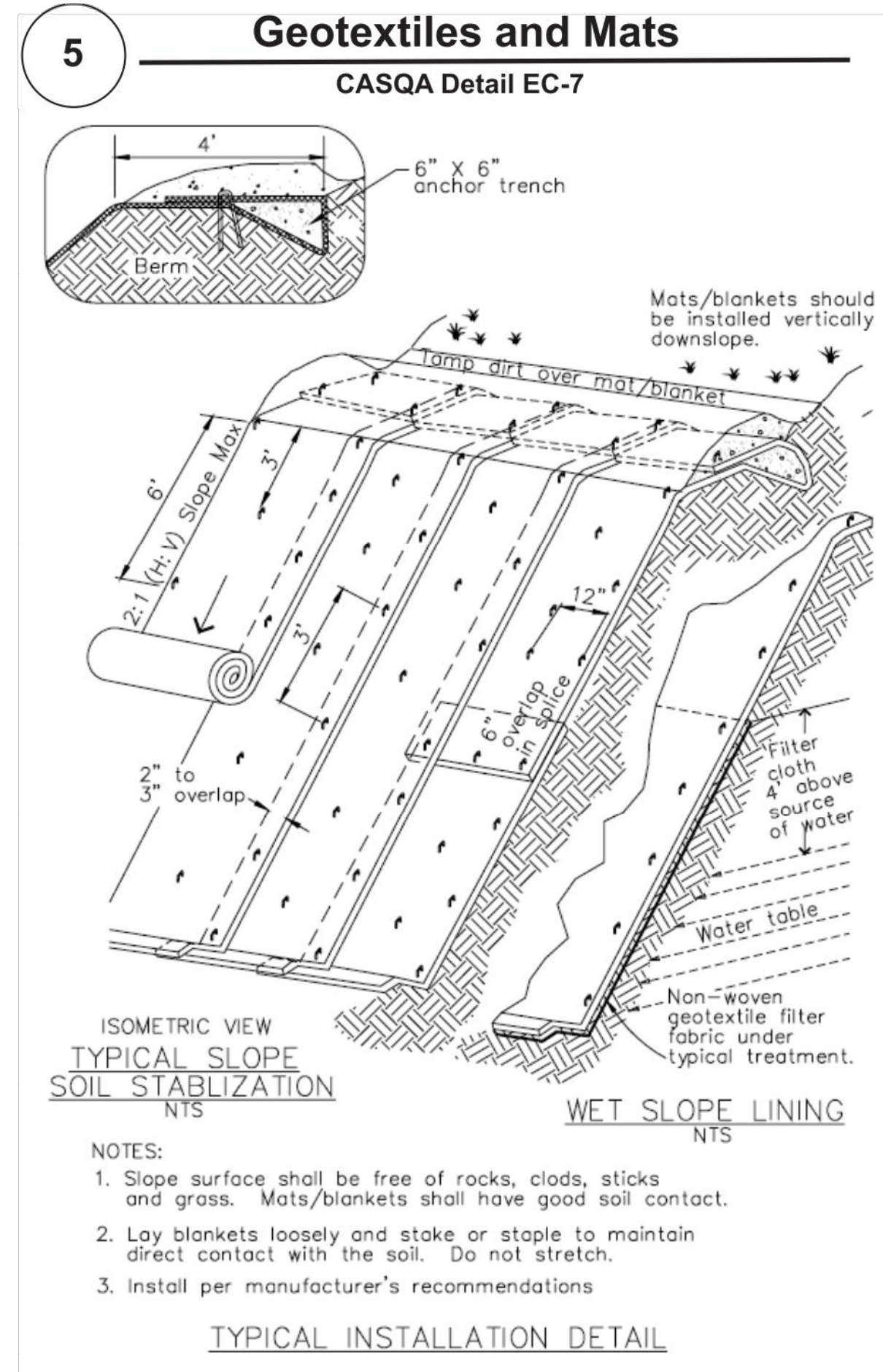
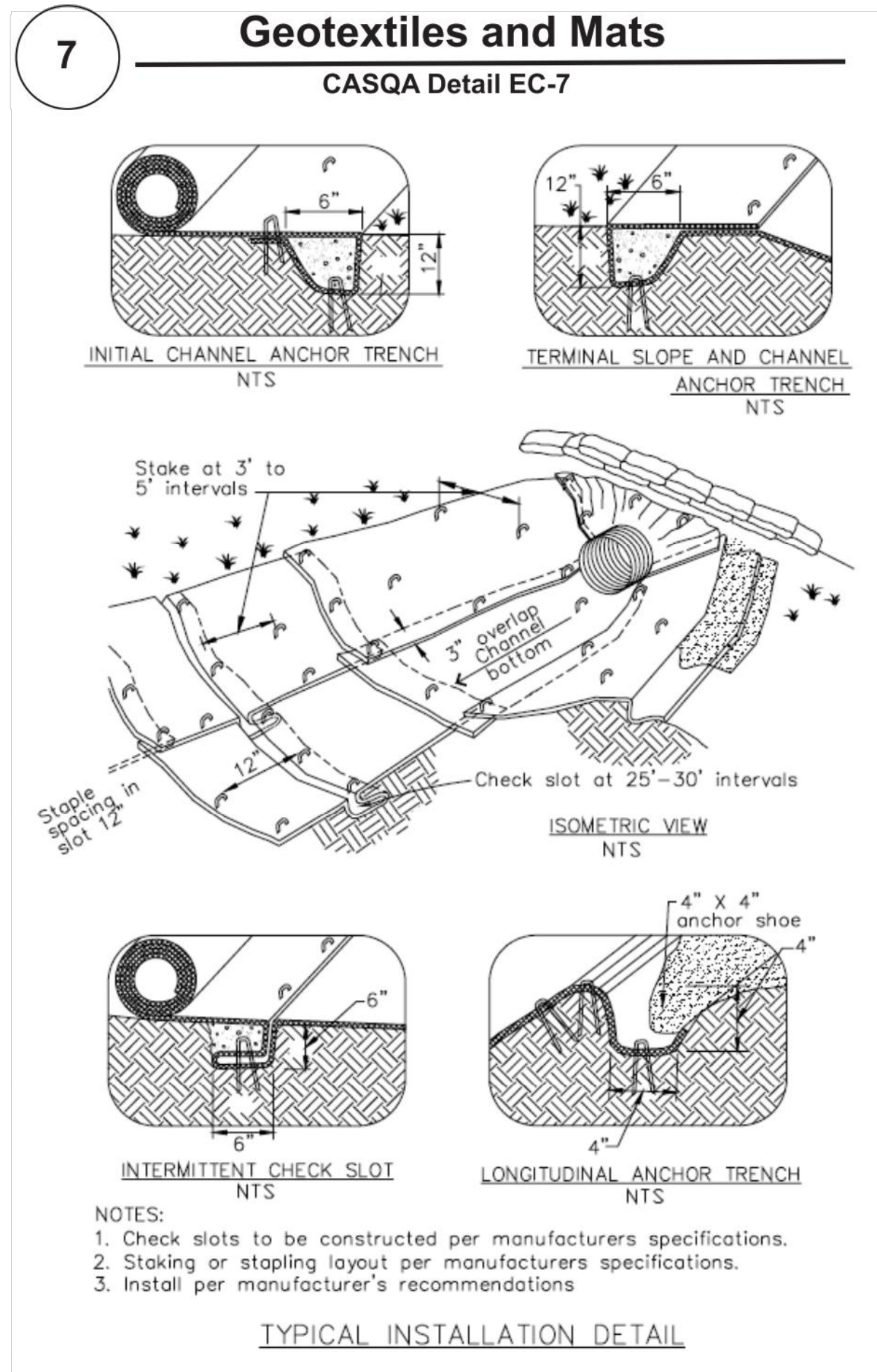


Silt Fence

CASQA Detail SE-1





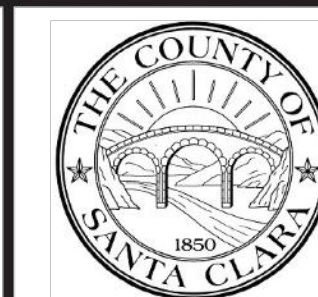


Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.  
Available from [www.cabmphandbooks.com](http://www.cabmphandbooks.com).

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REFER TO ENCROACHMENT AND/OR  
CONSTRUCTION PERMIT AND PLAN  
COVER SHEET FOR SPECIAL  
CONDITIONS AND PERMIT NUMBERING

## Best Management Practices and Erosion Control Details Sheet 2

### County of Santa Clara



BMP-2

APPLICANT: Vo

ROAD: Klein Road

COUNTY FILE NO.: DEV19-2661

2532 Klein Road - APN 652-08-006

Project Information