

# County of Santa Clara

Department of Planning and Development  
Planning Office

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## STAFF REPORT Zoning Administration November 12, 2020 **Item #2**

Staff Contact: Lara Tran, Associate Planner  
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### **File: PLN19-0068**

### **Building Site Approval, Grading Approval and Design Review for a New Single-Family Residence.**

**Summary:** Concurrent land use entitlement for a Building Site Approval, Grading Approval, and Design Review. The request includes the construction of a new 3,487 square foot single-family residence with a 480 square foot detached garage on a 0.33-acre underlying lot (APN 336-08-009). Associated site improvements include a new access driveway, removal of three (3) trees, and demolition of the existing single-family residence. Grading consists of 800 cubic yards of cut and 125 cubic yards of fill.

**Owner:** Alex Minkin  
**Applicant:** Alex Minkin  
**Lot Size:** 0.33 acre  
**APN:** 336-08-009  
**Supervisory District:** 5

**Gen. Plan Designation:** Los Altos  
**Zoning:** R1E-20-n1  
**Address:** 540 Valley View Drive  
**Present Land Use:** Residential (SFR)  
**HCP:** N/A

### **RECOMMENDED ACTIONS**

- A.** Accept Categorical Exemptions, under Section 15303(a) of the CEQA Guidelines, Attachment A.
- B.** Grant Building Site Approval, Grading Approval, and Design Review, subject to conditions outlined in Attachment B.

### **ATTACHMENTS INCLUDED**

Attachment A – Proposed CEQA Determination  
Attachment B – Proposed Conditions of Approval  
Attachment C – Location & Vicinity Map  
Attachment D – Proposed Plans

## PROJECT DESCRIPTION

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The proposed project includes a request for a concurrent land use entitlement for a Building Site Approval, Grading Approval, and Design Review to allow construction of a 3,487 square-foot (sq. ft.) single-family residence with a 480 square foot detached garage. The proposed development also includes demolition of the existing residence, removal of an existing retaining wall, and construction of a new driveway. Pursuant to Zoning Ordinance Section 3.40.030(C)(1), the property is considered an “underlying lot” within the R1E-20-n1 combined zoning district of unincorporated Los Altos. Additionally, pursuant to Zoning Ordinance Section 3.40.030(C)(2)(a), the property is subject to a maximum floor area ratio of 25% of the net lot area, or 3,594 sq. ft. of total structure size. The proposed residence and the on-site improvements require 800 cubic yards of cut and 125 cubic yards of fill, for a total of 925 cubic yards of grading. The proposed project also requires the removal of three (3) non-native trees, two (2) of which, are ordinance-protected trees over 12 inches in diameter measured 4.5 feet from grade. The property is served by the City of Los Altos for water and sewer connection.

### Setting/Location Information

The subject property has an existing single-family residence built in 1953, with a driveway located at the corner of Valley View Drive and Hillslope Place. Access to the subject property is provided via two public maintained roads, Valley View Drive and Hillslope Place. The property is located at the corner of Valley View Drive and Hillslope Place, in unincorporated Santa Clara County, within the City of Los Altos urban service area (USA). However, the property is not adjacent to, or abutting the City of Los Altos, and is beyond 300 feet from the nearest urban jurisdiction. For this reason, the subject property is not eligible for annexation.

The subject property has a dense mixture of trees and shrubs, with most of the trees fronting Valley View Drive. The average slope of the entire parcel is 19%, however, the project is utilizing part of the area of the existing residence as the building pad, and therefore, the project is located on a relatively flat site. The property is surrounded by similar, low density single-family residences that were built between the 1950s and 1960s, with homes that were rebuilt in the last decade. The neighborhood character consists of residences ranging in size from approximately 1,200 sq. ft. to 5,000 sq. ft., on properties less than (1) acre. The property is located near the Foothill Expressway, and is only 0.78 miles southeast of Highway 280.

The property is not located within the Santa Clara Valley Habitat Plan area and is not near any creeks, water course, and/or sensitive habitats.

## REASONS FOR RECOMMENDATIONS

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### A. Environmental Review and Determination (CEQA)

The proposed project qualifies for a Categorical Exemption under Section 15303(a) of a new single-family residence. As such, an Initial Study and further analysis under the CEQA was not required.

### B. Project/Proposal

#### 1. General Plan: USA – Los Altos

2. **Building Site Approval:** Per County Ordinance Code Section C12-307, Building Site Approval (BSA) is required for new single-family or two-family dwellings, including any property within the R1E-20-n1 zoning district that is not a designated lot within an approved Parcel Map. The proposed project meets all development standards for the primary residence (minimum of 30 ft. at the front, minimum 25 ft. rear setback, minimum of 13 feet for side setback exception of Zoning Ordinance Section 4.20.110(C)(2), and a maximum height of 27 feet). An application for BSA was applied for on January 6, 2020 and will be approved simultaneously with the Design Review and Grading Approval analysis that is the subject of this application.
3. **Zoning Standards:** The Zoning Ordinance specifies the required development standards for R1E-20-n1 Zoning District, as summarized below, followed by a Table A, noting the project's conformance with Section 3.40.030 "-n1" Combining District for underlying lots:

Main Residence

<b>Front Setback:</b>	30 feet
<b>Side Setbacks:</b>	13 feet*
<b>Rear Setback:</b>	25 feet
<b>Height:</b>	27 feet
<b>Stories:</b>	2 stories
<b>-n1 F.A.R.:</b>	maximum floor area of 3,594 sq. ft. (based on 25% of net area for underlying lot).

\*Per Zoning Ordinance Section 4.20.110(C)(2) for side setback reduction exception based on a narrow lot of having an exceptionally large depth-to-width ratio.

**Table A: Compliance with Development Standards for -n1 Combining District**

STANDARDS & REQUIREMENTS	CODE SECTION	Meets Standard (Y/N)*
Floor Area (F.A.R)	§ 3.40.30(C)(2)(a)	Y
Design Review - Neighborhood Compatibility Underlying Lot Finding	§ 3.40.30(C)(2)(b)	Y*
Accessory Structure (Less than 500 sq. ft.).	§ 3.40.30(C)(2)(c)	Y

\*See Discussion in Design Review Finding for Underlying Lots in Section C below

**C. Design Review Finding (-n1, Los Altos – Underlying Lot):**

Per Section 3.40.030(C)(2)(b), development of any individual underlying lot in a -n combining district shall require Design Review. *"The review shall emphasize general neighborhood compatibility and impacts on adjacent properties."* The required finding is listed below in **bold** and an explanation of how the project complies with the finding follows in plain text.

**1. Mitigation of any adverse visual impacts from proposed structures, grading, vegetation removal and landscaping.**

The proposed design will not create any visual impacts as it is below the 27 ft. maximum height for the proposed dwelling. Additionally, the overall design of the residence is tiered and stepped to minimize disturbance to the natural landscape. Grading is balanced to create the grading that is necessary for the establishment of the residential use. Retaining walls proposed to the rear is to limit the grading and disturbance as much as feasible due to the lot's natural topography, which descends near the rear of the lot. The property is also not in a visible area to the valley floor and, therefore, this finding can be made.

**2. Compatibility with the natural environment;**

The project proposes neutral and natural earth tones for the overall design of the residence which is consistent to the residential building colors of the neighborhood but also to the natural landscape. Additionally, the proposed grading is designed to contour to the natural topography to the maximum extent possible and the overall design of the residence is tiered and stepped to minimize disturbance to the natural environment. Therefore, this finding can be made.

**3. Conformance with the “Design Review Guidelines,” adopted by the Board of Supervisors**

Although -n1 properties are not subject to the *Design Review Guidelines*, as a requirement of underlying lots in the -n1 district, “*the review shall emphasize general neighborhood compatibility and impacts on adjacent properties.*” As mentioned in Finding Nos. 1 and 2, the proposed development will not have any visual impact to neighboring lots, as it is below the 27 ft. maximum height allowed for a dwelling, the overall size of the proposed residence is consistent to the housing sizes within the neighborhood, overall design of the residence is tiered and stepped to minimize disturbance to the natural landscape, and grading proposed is suitable and balanced to the minimal grading necessary to establish the single-family residential use. As such, this finding can be made with respect to the compatibility requirements for underlying lots in the -n combining district.

**4. Compatibility with the neighborhood and adjacent development**

The proposed project is a 3,487 square-foot residence with a 480 square-foot detached garage, located on a 14,374 square foot (0.33 acre) underlying lot. The neighborhood has a mixture of one to two story residences along Valley View Drive and Hillslope Place. Most of the homes located within the neighborhood (along Valley View Drive and Hillslope Place) range from 1,700 sq. ft. to more than 5,000 sq. ft. The proposed residence is compatible to neighboring properties, in terms of structure size, style and number of stories. The proposed residence is a two (2) story residence and is in keeping



with the average size of residences in the neighborhood, with a total structure size of 3,487 sq. ft. The project includes the construction of a basement, which is located below grade, with a wooden deck located in the rear, and a new retaining wall of less than 5 feet (also located in the rear of the property). It is important to note that the basement is not counted toward the total structure size for floor area calculation as it is below grade.

Like many of the neighboring properties, the proposed residence will include a modern-style home with the garage facing Hillslope Place. The proposed residence offers design relief by utilizing multiple roof lines, undulating facades and materials and colors that are commonly found within the immediate neighborhood. The applicant proposes earth-toned colors of beige, brown, and gray for the body of the house and colors of olive and dark brown for the accents and trims for the exterior façade. All proposed colors are neutral and are compatible to the existing color façade of the adjacent homes within the neighborhood. As such, this finding can be made.

**5. Compliance with applicable zoning district regulations.**

The property has R1E-20-n1 zoning district, which is Urban Residential with -n1 (Los Altos) combined zoning district. The development is compliant to the current zoning district as the project proposes a 3,487 square-foot residence with a 480 square-foot detached garage, located on a 14,374 square foot (0.33 acre) underlying lot. Per Section 3.40.030(C)(2)(a), the property is subject to a maximum floor area ratio of 25% of the net lot area, or 3,594 sq. ft. of total structure size. The proposed square footage of the residence is below the maximum floor area. The proposed basement would not be counted towards the floor area as it is completely below grade. The proposed residence has at minimum 30 ft. front setback, which is consistent to the minimum front setback requirement for the R1E-20-n1 zoning district. The side-setback for the proposed residence is reduced to a minimum of 13 ft. due to setback reduction exception based on a narrow lot of having an exceptionally large depth-to-width ratio, per Section 4.20.110(C)(2). Additionally, the proposed residence is below the maximum 27 ft. height and has a rear setback of more than 25 ft. to the rear of the property. Therefore, this finding can be made.

**6. Conformance with the general plan, any applicable specific plan, or any other applicable guidelines adopted by the Board of Supervisors or Planning Commission.**

The proposed project conforms to General Plan policy *R-GD 22* which requires that the project be appropriately designed and minimizes any unnecessary grading. The proposed residence has tiered rooflines, incorporate natural-toned colors (similar to neighboring homes), and uses undulating facades. The grading is minimized to establish a single-family residential use on the property that will provide a safe and stable foundation for the house, basement, patio, and detached garage. Like neighboring residences and properties, the current project is in keeping with the average size of residences in the neighborhood, with a total structure size of less than 3,500 square feet.

**D. Grading Approval:** Pursuant to Section C12-433 of the County Ordinance Code, all Grading Approvals are subject to specific findings. In the following discussion, the scope of review findings are listed in **bold**, and an explanation of how the project meets the required standard is in plain text below.

**1. The amount, design, location, and the nature of any proposed grading is necessary to establish or maintain a use presently permitted by law on the property.**

The project's grading quantities are 800 cubic yards of cut and 125 cubic yards of fill. The proposed grading is necessary to establish the building pads for the residence (with a basement), detached garage, and a new driveway. These are allowable primary uses for the zoning district. Consequently, the amount, design, location and the nature of the proposed grading is necessary and appropriate to establish the single-family residential use, which is a permissible use in the R1E zoning district. As such, this finding can be made. For clarification, the breakdown of grading is quantified below.

<b>Type</b>	<b>Cut (CY)</b>	<b>Fill (CY)</b>
Building Pads	625	75
Driveway	120	15
Hardscape	10	10
Landscape	45	25
<b>Total</b>	<b>800</b>	<b>125</b>

**2. The grading will not endanger public and/or private property, endanger public health and safety, will not result in excessive deposition of debris or soil sediments on any public right-of-way, or impair any spring or existing watercourse.**

The proposed grading will not endanger public or private property. The grading is minimized to establish a single-family residential use on the property that will provide a safe and stable foundation for the house, basement, patio, and detached garage. All export will be deposited at an approved site. The Conditions of Approval of final grading plans will ensure that grading around the building pads and driveway will not result in slope instability or erosion. Land Development Engineering has specific erosion control standards to be implemented as part of the driveway and grading design. As such, this finding can be made.

**3. Grading will minimize impacts to the natural landscape, scenic, biological and aquatic resources, and minimize erosion impacts.**

The proposed grading has been designed to contour to the natural topography to the maximum extent possible and the overall design the residence is tiered and stepped to minimize disturbance to the natural landscape. Retaining walls proposed to the rear is

to limit the grading and disturbance as much as feasible due to the lot's natural topography, which descends near the rear of the lot. The project will require removal of three (3) non-native trees, with two (2) trees that are ordinance-sized, the removal is necessary for the installation of a driveway and access to the detached garage. All new grading will utilize temporary erosion control measures during construction that will be replaced with long-term permanent erosion control measures in the form of natural landscaping. As such, this finding can be made.

4. **For grading associated with a new building or development site, the subject site shall be one that minimizes grading in comparison with other available development sites, taking into consideration other development constraints and regulations applicable to the project.**

The proposed location is suitable for a building site, as it utilizes the least amount of grading required since it is part of an existing building pad for the original residence. The residence is located towards the front of Hillslope Place, with a driveway needed to access the detached garage located near the rear half of the property. The total grading quantities have been minimized to 800 cubic yards of cut and 125 cubic yards of fill to achieve a basement, a driveway, and the overall design of the residence is tiered and stepped to reduce bulk and massing. The project balances cut and fill to only utilize the grading cut that is necessary for the project that is consistent to the County's General Plan (*R-GD 23*). In this case, the grading cut is justified for the construction of a basement as part of the residential project. Unnecessary grading to the rear of property is eliminated, which is consistent with the County's Grading Findings and the County's General Plan (*R-GD 22*) of unnecessary grading on a property. In addition, the grading is designed to follow the natural contours of the property to the maximum extent possible. The proposed building site is the most suitable, as it minimizes the grading necessary for establishment of the single-family residence and, as such, this finding can be made.

5. **Grading and associated improvements will conform with the natural terrain and existing topography of the site as much as possible, and should not create a significant visual scar.**

The majority of the grading is necessary to establish a basement as part of the residential use and a driveway to access the detached garage to the rear half of the property. Grading is minimized and limited to the establishment of the primary use (residential) of the lot, and will not disturb any hillside or create any visual scar. Additionally, the project is utilizing part of the existing pad for the residence and is conforming to the natural terrain of the property by locating the house to the front of Hillslope Place and utilizing an existing building pad. As such, this finding can be made.

6. **Grading conforms with any applicable general plan or specific plan; and**

The proposed grading is in conformance with specific findings and policies identified in the County General Plan. For example, the total grading quantities have been minimized by utilizing part of the existing building pad and the overall design of the

residence is tiered and stepped to reduce bulk and massing that is consistent with the County's General Plan R-GD22 and R-GD23 (see Finding 4 above), which discourages unnecessary grading and encourage utilizing existing building pads as much as possible. As such, this finding can be made.

**7. Grading substantially conforms with the adopted "*Guidelines for Grading and Hillside Development*" and other applicable guidelines adopted by the County.**

The proposed grading is in conformance with the adopted "*Guidelines for Grading and Hillside Development*," in particular, the specific guidelines for siting, building form, and design. The access driveway for the proposed residence is not required as the residence is utilizing Hillslope Place, which is an existing County maintained road. A driveway to access a detached garage is needed for vehicular accessibility. Additionally, the residence tiered with undulating facades to blend in with the natural terrain. The property is not visible from the valley floor, however, the owner is incorporating neutral colors and earth tones as part of the conformity to the natural landscape and neighborhood. Erosion control is conditioned with the County requirements of Land Development Engineering with final erosion control plans to be implemented with the final grading permit. As such, this finding can be made.

In conclusion, Staff recommends that the Zoning Administration Hearing Officer approve the concurrent land use entitlement for a Building Site Approval, Grading Approval, and Design Review. Per County Ordinance Section C12-307, Building Site Approval is required for a new single-family or two-family dwellings, including any property within the R1E-20-n1 zoning district that is not a lot within a Parcel Map or a numbered lot subdivision. The existing property is an underlying lot, and is part Lot 5 and Lot 6 within the Tract Map No. 248 of the "Summerhill Heights." As noted throughout this Staff Report, the proposed project meets all development standards for the primary residence (minimum of 30 ft. for front setback, minimum of 13 feet to the side setback per §4.20.110(C)(2), minimum of 25 feet to the rear, and a maximum height of 35 feet) and all the findings for Grading Approval, and the Design Review compatibility finding for underlying lots within the -n1 combined zoning district.

## **BACKGROUND**

On March 28, 2019, the property owner applied for Building Site Approval, Grading Approval, and Design Review for the demolition of an existing residence and construction of a new residence. The application is reviewed as a concurrent land use entitlement. The initial incomplete letter was issued on April 28, 2019, identifying incomplete items and issues of concern, primarily with the initial amount of excessive grading for the project.

Prior to a resubmittal, Planning Staff with the Zoning Administrator, had multiple meetings with the applicant to discuss grading issues of concern and recommended revisions to the project to bring the project into compliance with the County's General Plan goals and policies, and findings. It is important to note that although the property owner had not installed the project development sign within the first month of the project submittal, the owner installed a project development

sign on June 29, 2020. After several resubmittals, the project was deemed complete on September 22, 2020.

As part of the requirement for Early Public Outreach, the project was noticed on June 28, 2020 within a 300-foot radius and staff has not received any comments from the public. A public notice was also mailed to all property owners within a 300-foot radius of the project on October 29, 2020 and was also published in the Post Records on November 2, 2020 for the Zoning Administration Hearing date.

### STAFF REPORT REVIEW

Prepared by: Lara Tran, Associate Planner

Reviewed by: Leza Mikhail, Zoning Administrator/Principal Planner

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Lara Tran

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Leza Mikhail

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# **ATTACHMENT A**

## **Proposed CEQA Determination**

# ATTACHMENT A

## STATEMENT OF EXEMPTION

### from the California Environmental Quality Act (CEQA)

<b>FILE NUMBER</b>	<b>APN(S)</b>	
PLN19-0068	336-08-009	11/5/2020
<b>PROJECT NAME</b>	<b>APPLICATION TYPE</b>	
Building Site Approval, Grading Approval, and Design Review; 540 Valley View Drive, Los Altos	Building Site Approval, Grading Approval, and Design Review	
<b>OWNER</b>	<b>APPLICANT</b>	
Alex Minkin	Alex Minkin	
<b>PROJECT LOCATION</b>		
540 Valley View Drive, Los Altos		
<b>PROJECT DESCRIPTION</b>		
Building Site Approval, Grading Approval, and Design Review for a 3,487 square foot single-family residence with a 480 square foot detached garage on a 0.33-acre lot. Associated improvements include access driveway, removal of three (3) trees, and demolition of the existing single-family residence. Grading consists of 800 cubic yards of cut and 125 cubic yards of fill.		
All discretionary development permits processed by the County Planning Office must be evaluated for compliance with the California Environmental Quality Act (CEQA) of 1970 (as amended). Projects which meet criteria listed under CEQA may be deemed exempt from environmental review. The project described above has been evaluated by Planning Staff under the provisions of CEQA and has been deemed to be exempt from further environmental review per the provision(s) listed below.		
<b>CEQA (GUIDELINES) EXEMPTION SECTION</b>		
Categorically Exempt – Section 15303(a) of a new single-family residence with detached garage.		
<b>COMMENTS</b>		
Proposed removal of 3 (non-native) trees on the property due to development. Grading consists of 800 cubic yards of cut and 125 cubic yards of fill (total 925 cubic yards).		
<b>APPROVED BY:</b>		
Lara Tran, Associate Planner	 _____ Signature	9/22/2020 _____ Date

DocuSigned by:

Approved by:  \_\_\_\_\_  
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**ATTACHMENT B**  
**Proposed Conditions of Approval**



## ATTACHMENT B

### PRELIMINARY CONDITIONS OF APPROVAL

#### BUILDING SITE APPROVAL, GRADING APPROVAL, AND DESIGN REVIEW

**Date:** November 12, 2020  
**Owner/Applicant:** Alex Minkin  
**Location:** Hillslope Place, Los Altos, CA (APN: 336-08-009)  
**File Number:** PLN19-0068  
**CEQA:** Categorically Exempt – Section 15303, Class 3(a).  
**Project Description:** Concurrent land use entitlement for a Building Site Approval, Grading Approval, and Design Review for a 3,487 square foot single-family residence with a 480 square foot detached garage on a 0.33-acre underlying lot. Associated improvements include access driveway, removal of three (3) trees, and demolition of the existing single-family residence. Grading consists of 800 cubic yards of cut and 125 cubic yards of fill.

For any question regarding the following preliminary conditions of approval, contact the person listed for that agency. S/he represents a specialty and can provide details about the conditions of approval.

Agency	Name	Phone	E-mail
Planning	Lara Tran	(408) 299-5759	<a href="mailto:lara.tran@pln.sccgov.org">lara.tran@pln.sccgov.org</a>
Land Development Engineering	Ed Duazo	(408) 299-5733	<a href="mailto:ed.duazo@pln.sccgov.org">ed.duazo@pln.sccgov.org</a>
Fire Marshall	Alex Goff	(408) 299-5763	<a href="mailto:alex.goff@sccfd.org">alex.goff@sccfd.org</a>
Environmental Health	Darrin Lee	(408) 299-5748	<a href="mailto:darrin.lee@cep.sccgov.org">darrin.lee@cep.sccgov.org</a>
Roads and Airport	Leo Camacho	(408) 573-2464	<a href="mailto:leo.camacho@rda.sccgov.org">leo.camacho@rda.sccgov.org</a>
Geology	Jim Baker	(408) 299-5774	<a href="mailto:jim.baker@pln.sccgov.org">jim.baker@pln.sccgov.org</a>
Building Inspection		(408) 299-5700	

### **STANDARD CONDITIONS OF APPROVAL**

#### **Building Inspection**

1. For detailed information about the requirements for a Building Permit, obtain a Building Permit Application Instruction handout from the Building Inspection Office or visit the website at [www.sccbuilding.org](http://www.sccbuilding.org).

#### **Planning**

2. Development must take place in substantial conformance with the approved civil plans, prepared by Clark Civil Engineering and architectural plans prepared by Rick Hartman, AIA, from Hometec Architecture Inc., submitted on August 20, 2020 and these Conditions of Approval. Any changes to the proposed project may result in additional

environmental review, pursuant to the California Environmental Quality Act, or additional Planning review and a public hearing.

3. The approval does not otherwise approve any unpermitted structures located on the property. All structures and grading located within Santa Clara County jurisdiction that require a permit are subject to compliance with and issuance of County permits.
4. Existing zoning is R1E-20-n1. Maintain the following minimum residential setbacks:

<b>Front:</b>	30 feet
<b>Sides:</b>	13 feet*
<b>Rear:</b>	25 feet
<b>Height:</b>	27 feet (maximum)
<b>Stories:</b>	2 (maximum)

\* Per Zoning Ordinance Section 4.20.110(C)(2) for side setback reduction exception based on a narrow lot of having an exceptionally large depth-to-width ratio.

5. Floor Area Ratio (F.A.R) is limited to a maximum of 3,594 sq. ft. (25% of net lot size per Section 3.40.30(C)(2)(a)). Any detached accessory structure over 500 sq. ft. shall be counted towards the F.A.R.
6. Grading consists of 800 cubic yards of cut and 125 cubic yards of fill (total 925 cubic yards) with a maximum vertical depth of 16 feet. Any increase in grading quantities, or modification to the grading design, is subject to further review and may require a Grading Approval and associated fees.
7. Any excess fill shall be taken off-site to an approved disposal location. A note of this requirement shall be incorporated into the civil plan.
8. Two (2) off-street parking spaces are required for the residence where one (1) must be covered.
9. Any detached accessory structures shall be in the rear half of the lot, or at least 75 ft. from the front property line or edge of right-of-way, per Sections 4.20.020(D). Rear yard coverage of cumulative detached accessory structures shall not be more than 30%, which excludes green houses or agricultural structures.
10. Any accessory structures shall not contain more than two (2) internal plumbing fixtures per Section 4.20.020(I)(1). Further review of a Special Permit and associated fees may be required if additional plumbing fixtures are proposed.
11. If archaeological resources or human skeletal remains are discovered during construction, work shall immediately stop, and the County Coroner's Office notified. Upon determination that the remains are Native American, no further disturbance of the site may be made except as authorized by the County Coordinator of Indian Affairs, in

accordance with state law and Chapter B6-18 of the County Ordinance Code.

Land Development Engineering

12. Property owner is responsible for the adequacy of any drainage facilities and for the continued maintenance thereof in a manner that will preclude any hazard to life, health or damage to adjoining property.

Environmental Health

13. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m. on weekdays and Saturdays, or at any time on Sundays for the duration of construction.

**CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO BUILDING AND/OR GRADING PERMIT ISSUANCE**

Planning

14. **Prior to issuance of any permits**, the applicant shall pay all reasonable costs associated with the work by the Department of Planning and Development.
15. **Prior to issuance of a building permit**, and pursuant to Zoning Ordinance Section 5.20.125, record a Notice of Permit and Conditions with the County Office of Clerk-Recorder to ensure that successor property owners are aware that certain conditions of approval shall have enduring obligation. Evidence of such recordation shall be provided **prior to building permit issuance**.
16. **Prior to issuance of a building permit**, obtain a demolition permit to demolish the existing residence and retaining wall.
17. For all trees to be retained with a canopy in the development area or interfaces with the limits of any proposed development on-site, the trees shall be protected by the placement of 5-foot tall rigid tree protective fencing as **shown on final building plans** and must include the following:
  - A. Fencing should be placed along the outside edge of the dripline of the tree or grove of trees,
  - B. The fencing should be maintained throughout the site during the entire construction period and should be inspected periodically for damage and proper functions,
  - C. Fencing should be repaired, as necessary, to provide a physical barrier from construction activities,
  - D. The following sign shall be placed on all tree protection fencing and must remain until final occupancy. The sign must read: "Warning. This fencing shall not be removed without permission from the Santa Clara County Planning Office. County of Santa Clara tree protection measures may be found at: <http://www.sccplanning.gov>, or call (408) 299-5770 for additional details."
18. **Prior to building permit issuance**, provide a survey review letter for foundation to confirm the residential side setbacks are at a minimum of 13 feet.

19. **Prior building permit issuance**, provide a floor area ratio (F.A.R.) calculation based on the net lot area of the parcel. The calculation shall be calculated, verified, signed, and stamped by a registered civil engineer, a licensed architect, or a licensed land surveyor.

#### Geology

20. Submit a Plan Review Letter that confirms the plans conform with the recommendations presented in the approved report.

#### Land Development Engineering (LDE)

21. Obtain a Grading Permit from Land Development Engineering (LDE) **prior to beginning any construction activities**. Issuance of the grading permit is required **prior to LDE clearance of the building permit** (building and grading permits may be applied for concurrently). The process for obtaining a grading permit and the forms that are required can be found at the following web page:

[www.sccgov.org](http://www.sccgov.org) > I Want to... > Apply for a Permit > Grading Permit.

If the County Roads and Airports Department provides a condition of approval to obtain an encroachment permit, for your convenience, the grading and encroachment permits will be processed concurrently under one set of improvement (grading) plans. Please contact LDE at (408) 299-5734 for additional information and timelines.

22. Final plans shall include a single sheet which contains the County standard notes and certificates as shown on County Standard Cover Sheet. Plans shall be neatly and accurately drawn, at an appropriate scale that will enable ready identification and recognition of submitted information.
23. Final improvement plans shall be prepared by a licensed civil engineer for review and approval by LDE and the scope of work shall be in substantial conformance with the conditionally approved preliminary plans on file with the Planning Office. Include plan, profile, typical sections, contour grading for all street, road, driveway, structures, and other improvements as appropriate for construction. The final design shall be in conformance with all currently adopted standards and ordinances. The following standards are available on-line:
- March 1981 Standards and Policies Manual, Volume 1 (Land Development) [www.sccplanning.org](http://www.sccplanning.org) > Plans & Ordinances > Land Development Standards and Policies
  - 2007 Santa Clara County Drainage Manual [www.sccplanning.org](http://www.sccplanning.org) > Plans & Ordinances > Grading and Drainage Ordinance.
24. Survey monuments shall be shown on the improvement plan to provide sufficient information to locate the proposed improvements and the property lines. Existing monuments must be exposed, verified and noted on the grading plans. Where existing monuments are below grade, they shall be field verified by the surveyor and the grade shall be restored and a temporary stake shall be placed identifying the location of the found monument. If existing survey monuments are not found, temporary staking

delineating the property line may be placed **prior to construction** and new monuments shall be set **prior to final acceptance of the improvements**. The permanent survey monuments shall be set pursuant to the State Land Surveyor's Act. The Land Surveyor / Engineer in charge of the boundary survey shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.

25. The improvement plans shall include an Erosion and Sediment Control Plan that outlines seasonally appropriate erosion and sediment controls during the construction period. Include the County's Standard Best Management Practice Plan Sheets BMP-1 and BMP-2 with the Plan Set.
26. All applicable easements affecting the parcel(s) with benefactors and recording information shall be shown on the improvement plans.
27. Provide a drainage analysis prepared by a licensed civil engineer in accordance with criteria as designated in the 2007 County Drainage Manual (see Section 6.3.3 and Appendix L for design requirements). The on-site drainage will be controlled in such a manner as to not increase the downstream peak flow for the 10-year and 100-year storm event or cause a hazard or public nuisance. The mean annual precipitation is available on the on-line property profile.
28. All new on-site utilities, mains and services shall be placed underground and extended to serve the proposed development. All extensions shall be included in the improvement plans. Off-site work should be coordinated with any other undergrounding to serve other properties in the immediate area.
29. Include one of the following site design measures in the project design: (a) direct hardscape and/or roof runoff onto vegetated areas, (b) collect roof runoff in cisterns or rain barrels for reuse, or (c) construct hardscape (driveway, walkways, patios, etc.) with permeable surfaces. Though only one site design measure is required, it is encouraged to include multiple site design measures in the project design. For additional information, please refer to the C.3 Stormwater Handbook (June 2016) available at the following website:  
[www.scvurppp.org](http://www.scvurppp.org) > Resources > reports and work products > New Development and Redevelopment > C.3 Stormwater Handbook (June 2016)
30. Submit one (1) copy of the signed and stamped of the geotechnical report for the project.
31. Submit a plan review letter by the Project Geotechnical Engineer certifying that the geotechnical recommendation in the above geotechnical report have been incorporated into the improvement plan.

#### Environmental Health

32. **Prior to issuance of a building permit**, obtain and provide a will serve letter from Los Altos Sanitary Sewer District.

33. **Prior to issuance of a building permit**, obtain and provide a water will serve letter from California Water Company.

#### Fire Marshal's Office

34. **Prior to approval of the foundation**, fire protection water system shall be installed, functioning, and inspected. System shall be maintained in good working order and accessible throughout construction. A stop work order may be placed on the project if the required hydrant systems are not installed, accessible, and/or functioning.
35. The minimum fire-flow shall be 1,500 gpm at 20 psi. The hydrant is to be located within 250 ft. from the driveway.
- A. **At the time of plan submittal for building permit**, provide written verification from the water company that this condition can be satisfied.
  - B. The fire-flow may be adjusted depending upon the final size of the structure shown on the building permit set of drawings.
36. Fire Department access are minimum Fire Marshal standards. Should the access standards conflict with any other local, State, or Federal requirements, the most restrictive shall apply.
37. All required access roads, driveways, turnarounds, and turnouts shall be installed, and serviceable prior to approval of the foundation, and shall be maintained throughout construction. A stop work order may be placed on the project if required driving surfaces are not installed, accessible, and/or always maintained.
38. Driveways (roads serving only one lot) shall comply with the following when the distance between the centerline of the access road and any portion of the structure exceeds 150 ft. (measured along the path of travel).
- A. Width: Clear width of drivable surface of 14 ft.
  - B. Vertical Clearance: Minimum vertical clearance of 13 ft. 6 in. shall be maintained between the access road and the building site (trim or remove, tree limbs, electrical wires, structures, and similar improvements).
  - C. Curve Radius: Inside turn radius for curves shall be a minimum of 42 ft.
  - D. Grade: Maximum grade shall not exceed 15%. Grades exceeding 15% shall be paved in compliance with County Standard SD5.
  - E. Surface: All driving surfaces shall be all-weather and capable of sustaining 75,000 pounds gross vehicle weight.

#### Roads and Airport

39. **Prior to any work performed in the County Road Right of Way (ROW) and prior to Building Permit issuance**, obtain a Santa Clara County Roads and Airports Department (RAD) Encroachment Permit for the following required improvements:
- A. Improvement of the property's Hillslope Place frontage to County Standard B/4A.

- B. Installation of the driveway approach to County Standard B/4.
- C. Removal of any vegetation or other obstructions necessary to provide adequate line-of-sight at the driveway approach locations that will remain.

- 40. The process for obtaining an Encroachment Permit and the forms that are required can be found at: [www.countyroads.org](http://www.countyroads.org) > Services > Apply for Permits > Encroachment Permit.
- 41. Demonstrate that the post-development maximum flow rate into the County Road right-of-way is equal-to or less-than the pre-development corresponding storm event flow rate per the County Drainage Manual. Provide engineered plans and drainage calculations for any detention or retention system necessary to satisfy this requirement.
- 42. Obtain Tree Removal Approval prior to any tree removal, replacement, or relocation within the ROW. The process for obtaining approval for a tree removal and the forms that are required can be found at: [www.countyroads.org](http://www.countyroads.org) > Services > Apply for Permits > Tree Removal from County Right-of-Way.

**CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO OCCUPANCY OR ONE YEAR FROM THE DATE OF THE LAND DEVELOPMENT AGREEMENT, WHICHEVER COMES FIRST.**

Geology

- 43. **Prior to final inspection**, submit a Construction Observations Letter that verifies the work was completed in accordance with the approved plans. (A note to that effect should be stamped on the plans.)

Land Development Engineering

- 44. Existing and set permanent survey monuments shall be verified by inspectors **prior to final acceptance of the improvements** by the County. Any permanent survey monuments damaged or missing shall be reset by a licensed land surveyor or registered civil engineer authorized to practice land surveying and they shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.
- 45. Construct all the improvements. Construction staking is required and shall be the responsibility of the developer.

Fire Marshal's Office

- 46. **Prior to occupancy**, an approved residential fire sprinkler system complying with SP-6 shall be installed throughout the structure (including existing residences when square footage is added).
- 47. **Prior to occupancy**, the fire sprinkler system shall be installed and finalized by the Fire Marshal Office.
- 48. **Prior to installation**, a separate permit shall be obtained from Fire Marshal Office by a

state licensed C-16 contractor. Please allow for a minimum of 30 days for plan review of fire sprinkler plans by the Fire Marshal Office.

Roads and Airports

49. Construct all the improvements approved under the Encroachment Permit.

Environmental Health

50. Provide proof of garbage service **at the time of final occupancy sign-off**. Garbage service in the unincorporated areas of Santa Clara County is mandatory.



## **ATTACHMENT C**

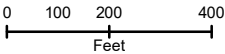
### **Location & Vicinity Map**



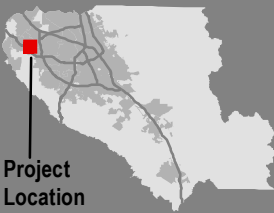


# Project Vicinity Map

File PLN19-0068  
APN 336-08-009  
540 Valley View Dr.  
Los Altos 94024



This map created by the Santa Clara County Planning Office. The GIS data was compiled from various sources. While deemed reliable, the Planning Office assumes no liability.  
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Project Location



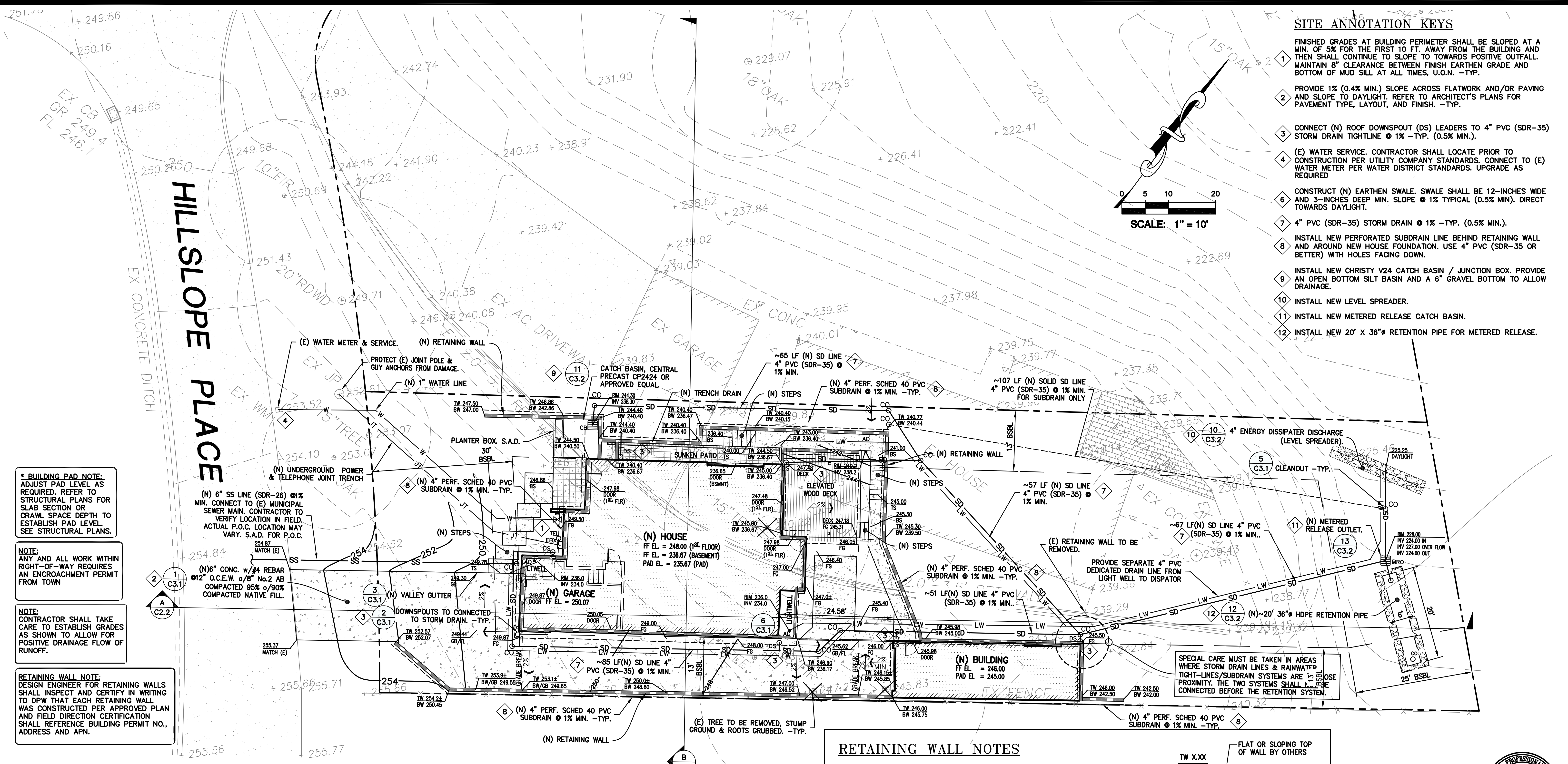
## **ATTACHMENT D**

### **Proposed Plans**









\* BUILDING PAD NOTE:  
ADJUST PAD LEVEL AS  
REQUIRED. REFER TO  
STRUCTURAL PLANS FOR  
SLAB SECTION OR  
CRAWL SPACE DEPTH TO  
ESTABLISH PAD LEVEL.  
SEE STRUCTURAL PLANS.

NOTE:  
ANY AND ALL WORK WITHIN  
RIGHT-OF-WAY REQUIRES  
AN ENCROACHMENT PERMIT  
FROM TOWN

NOTE:  
CONTRACTOR SHALL TAKE  
CARE TO ESTABLISH GRADES  
AS SHOWN TO ALLOW FOR  
POSITIVE DRAINAGE FLOW OF  
RUNOFF.

RETAINING WALL NOTE:  
DESIGN ENGINEER FOR RETAINING WALLS  
SHALL INSPECT AND CERTIFY IN WRITING  
TO DPW THAT EACH RETAINING WALL  
WAS CONSTRUCTED PER APPROVED PLAN  
AND FIELD DIRECTION CERTIFICATION  
SHALL REFERENCE BUILDING PERMIT NO.,  
ADDRESS AND APN.

### GENERAL NOTES

CONTRACTOR SHALL OBTAIN THE PROPER PERMITS PRIOR TO ANY GRADING.

A SEPARATE PERMIT IS REQUIRED FOR ANY & ALL WORK WITHIN THE CITY RIGHT-OF-WAY. THE CONTRACTOR(S) SHALL OBTAIN AN APPROVED STREET WORK (ENCROACHMENT PERMIT) PERMIT FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO THE COMMENCEMENT OF THIS WORK WITHIN THE CITY RIGHT-OF-WAY.

CONTRACTOR SHALL PROVIDE AND MAINTAIN APPROVED EROSION AND SEDIMENTATION CONTROL MEASURES DURING RAINY SEASON PER CITY AND CALIFORNIA REGIONAL STANDARDS - REFER TO EROSION AND SEDIMENTATION CONTROL PLAN.

ALL GRADED SLOPES SHALL BE PLANTED WITH FAST GROWING, DEEP ROOTED GROUND COVER TO REDUCE THE EROSION DURING HEAVY RAINS.

SLOPE FINISHED GRADES A MINIMUM OF 5% FOR AT LEAST THE 5 FEET TO 10 FEET FROM BUILDING PERIMETER WHERE EVER IT IS PHYSICALLY POSSIBLE. DIRECT SURFACE DRAINAGE RUNOFF TO DISPERSE ON-SITE.

PROVIDE 2% SLOPE ACROSS FLATWORK AND/OR PAVING AND SLOPE TO DAYLIGHT. REFER TO ARCHITECT'S PLANS FOR PAVEMENT TYPE, LAYOUT, AND FINISH -TYP.

CONSTRUCT EARTHEN SWALES AT 2% TYP. (1% MIN.) & BERMS AS REQUIRED TO DIRECT FLOWS TO DAYLIGHT. SLOPE FINISHED GRADES TO DAYLIGHT. TO ACCOMMODATE POSITIVE DRAINAGE AND AVOID PONDING, FOR FLOWLINES GREATER THAN 5%, PROVIDE LINED DITCH -TYP.

REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION, INCLUDING BUT NOT LIMITED TO: ADDITIONAL UTILITY SERVICES, DIMENSION CONTROL, DEMOLITION, DETAILS, TREE PROTECTION MEASURES, AND LANDSCAPING.

PROVIDE TREE PROTECTION AS REQUIRED FOR TREES TO REMAIN.

THE CONTRACTOR SHALL OBTAIN THE PROPER TREE REMOVAL PERMIT AS REQUIRED.

CONTRACTOR SHALL NOTIFY THE OWNER AND/OR MAINTENANCE STAFF IN WRITING OF THE NEED OF PERIODIC MAINTENANCE OF THE DRAINAGE SYSTEM AND STRUCTURES.

DEMOLISH (E) STRUCTURE(S) AS REQUIRED. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED CITY DEMOLITION PERMIT.

FINISHED GRADE ELEVATIONS NOTED AS [FG (MAX.)] ARE THE MAXIMUM ALLOWABLE GRADE AT THE BUILDING PERIMETER PER C.B.C. SECTION 2304.11.2.2 TO PROVIDE 8" MIN. CLEARANCE. THESE GRADES MAY BE LOWER PROVIDED THAT PROPER FLOW AWAY FROM THE FOUNDATION IS ACHIEVED. REFER TO ARCHITECTURAL & STRUCTURAL DRAWINGS FOR SPECIAL DETAILS AS REQUIRED.

### SITE NOTES

FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MIN. OF 2% FOR THE FIRST 5 FT. AWAY FROM THE BUILDING AND THEN SHALL CONTINUE TO SLOPE TO TOWARDS POSITIVE OUTFALL. MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MUD SILL AT ALL TIMES, U.O.N. -TYP.

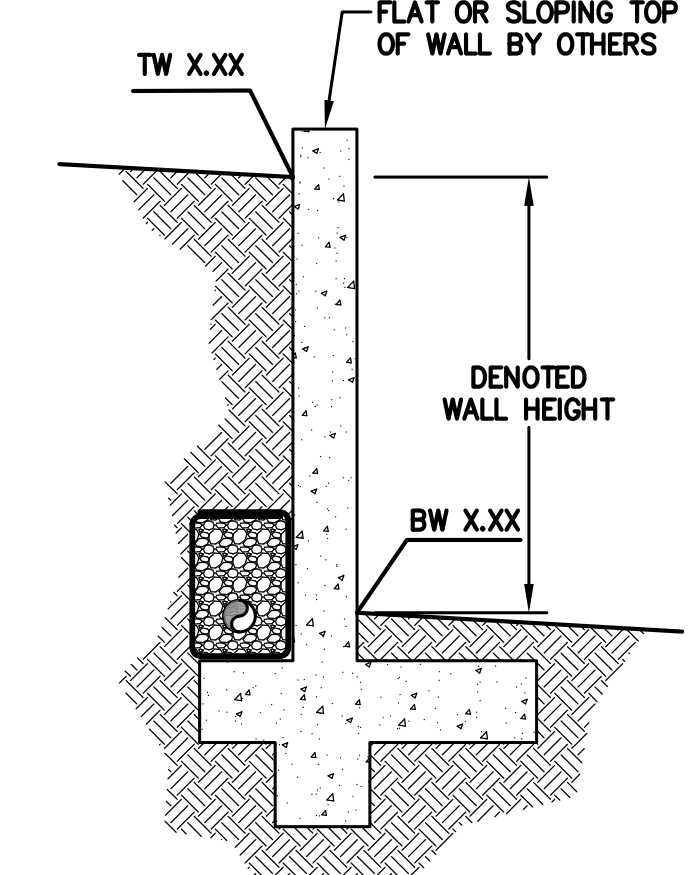
PROVIDE 1% (0.4% MIN.) SLOPE ACROSS FLATWORK AND/OR PAVING AND SLOPE TO DAYLIGHT. REFER TO ARCHITECT'S PLANS FOR PAVEMENT TYPE, LAYOUT, AND FINISH. -TYP.

DEMOLISH (E) IMPROVEMENTS AS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION CITY PERMIT. SEE DEMOLITION PLAN.

DIRECT ROOF DOWNSPOUT (DS) LEADERS TO STORM DRAIN AND TO STORM WATER RETENTION SYSTEM.  
CONSTRUCT (N) EARTHEN SWALE. SWALE SHALL BE 12-INCHES WIDE AND 3-INCHES DEEP MIN. SLOPE 1% TYPICAL (0.5% MIN). DIRECT TOWARDS DAYLIGHT. SEE DETAIL

### RETAINING WALL NOTES

1. TW/FG REPRESENTS FINISHED EARTHEN GRADE OR PAVEMENT ELEVATION AT TOP OF WALL. NOT ACTUAL TOP OF WALL MATERIAL. BW/FG REPRESENTS FINISH EARTHEN GRADE OR PAVEMENT ELEVATION AT BOTTOM OF WALL. NOT INCLUDING FILL FOUNDATION. GRADES INDICATED ON THESE PLANS REFER TO THE FINISHED GRADES ADJACENT TO THE RETAINING WALL, NOT INCLUDING FOOTING, FREEBOARD, ETC.
2. GRADES SHOWN ON PLAN AS TW X.XX & BW X.XX REPRESENT DENOTED WALL HEIGHT ONLY. THE ACTUAL WALL HEIGHT AND DEPTH MAY DIFFER DUE TO CONSTRUCTION REQUIREMENTS.
3. REFER TO SPECIFIC WALL CONSTRUCTION DETAIL FOR STRUCTURAL ELEMENTS, FREEBOARD, AND EMBEDMENT.
4. REFER TO ARCHITECTURAL, LANDSCAPE ARCHITECTURE, AND/OR STRUCTURAL PLANS FOR DETAILS, WALL ELEVATIONS, SUB-DRAINAGE, WATERPROOFING, FINISHES, COLORS, STEEL REINFORCING, MATERIALS, ETC. PROVIDE CLIPS OR OTHER MEANS OF SECURING FINISH MATERIALS AS NECESSARY (WET SET INTO THE WALL).
5. ALL RETAINING WALLS SHOULD HAVE A BACK-OF-WALL SUB-SURFACE DRAINAGE SYSTEM INCLUDING MIRADRAIN PANELS TERMINATING INTO A GRAVEL DRAIN AT THE BASE OF THE WALL (BELOW FINISHED FLOOR LEVEL) CONSISTING OF PERFORATED PIPE ENCAPSULATED IN 3/4 INCH CRUSHED ROCK WITH THE ROCK WRAPPED IN MIRAFI 140N OR APPROVED EQUAL FABRIC, TO PREVENT HYDROSTATIC PRESSURE. THE SUBDRAIN PIPE SHALL BE CONNECTED TO A SUITABLE DISCHARGE POINT AS SHOWN ON THE PLANS.
6. PROVIDE GUARDRAIL (WHERE APPLICABLE AND DESIGNED BY OTHERS) AS REQUIRED FOR GRADE SEPARATION OF 30 INCHES OR MORE MEASURED 5' HORIZONTALLY FROM FACE OF WALL, PER CBC.



GRAPHIC ILLUSTRATION OF RETAINING WALL NOTE.  
THIS IS NOT A DETAIL.  
PROFESSIONAL DISCIPLINE RESPONSIBLE FOR  
RETAINING WALL DESIGN VARIES PER PROJECT.  
SEE ARCHITECTURAL TITLE SHEET INDEX FOR  
REFERENCE TO RETAINING WALL DESIGN.

### SITE ANNOTATION KEYS

1. FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MIN. OF 5% FOR THE FIRST 10 FT. AWAY FROM THE BUILDING AND THEN SHALL CONTINUE TO SLOPE TO TOWARDS POSITIVE OUTFALL. MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MUD SILL AT ALL TIMES, U.O.N. -TYP.
2. PROVIDE 1% (0.4% MIN.) SLOPE ACROSS FLATWORK AND/OR PAVING AND SLOPE TO DAYLIGHT. REFER TO ARCHITECT'S PLANS FOR PAVEMENT TYPE, LAYOUT, AND FINISH. -TYP.
3. CONNECT (N) ROOF DOWNSPOUT (DS) LEADERS TO 4" PVC (SDR-35) STORM DRAIN TIGHTLINE 1% -TYP. (0.5% MIN.).
4. (E) WATER SERVICE. CONTRACTOR SHALL LOCATE PRIOR TO CONSTRUCTION PER UTILITY COMPANY STANDARDS. CONNECT TO (E) WATER METER PER WATER DISTRICT STANDARDS. UPGRADE AS REQUIRED
5. CONSTRUCT (N) EARTHEN SWALE. SWALE SHALL BE 12-INCHES WIDE AND 3-INCHES DEEP MIN. SLOPE 1% TYPICAL (0.5% MIN). DIRECT TOWARDS DAYLIGHT.
6. 4" PVC (SDR-35) STORM DRAIN 1% -TYP. (0.5% MIN.).
7. INSTALL NEW PERFORATED SUBDRAIN LINE BEHIND RETAINING WALL AND AROUND NEW HOUSE FOUNDATION. USE 4" PVC (SDR-35 OR BETTER) WITH HOLES FACING DOWN.
8. INSTALL NEW CHRISTY V24 CATCH BASIN / JUNCTION BOX. PROVIDE AN OPEN BOTTOM SILT BASIN AND A 6" GRAVEL BOTTOM TO ALLOW DRAINAGE.
9. INSTALL NEW LEVEL SPREADER.
10. INSTALL NEW METERED RELEASE CATCH BASIN.
11. INSTALL NEW 20' X 36" HDPE RETENTION PIPE FOR METERED RELEASE.



**CLARK CIVIL ENGINEERING**  
DESIGN • CONSULTING • SURVEY  
12700 Highway One, Point Reyes Station, CA  
PH: 415-295-4450 FAX: 510-372-0259

## GRADING & DRAINAGE PLAN

0 HILLSLOPE PLACE,  
LOS ALTOS, CA. 94024

DESIGN BY: WCC	PROJECT No. 220005	02/29/20
DRAWN BY: DR	CHECKED BY:	
DRAWING SCALE: 1"=10'	APN	Sheet
Revision 1 8-10-20	336-08-009	C2.1
Revision 2 Date	Co. File	of 8

APPLICANT:

ROAD:

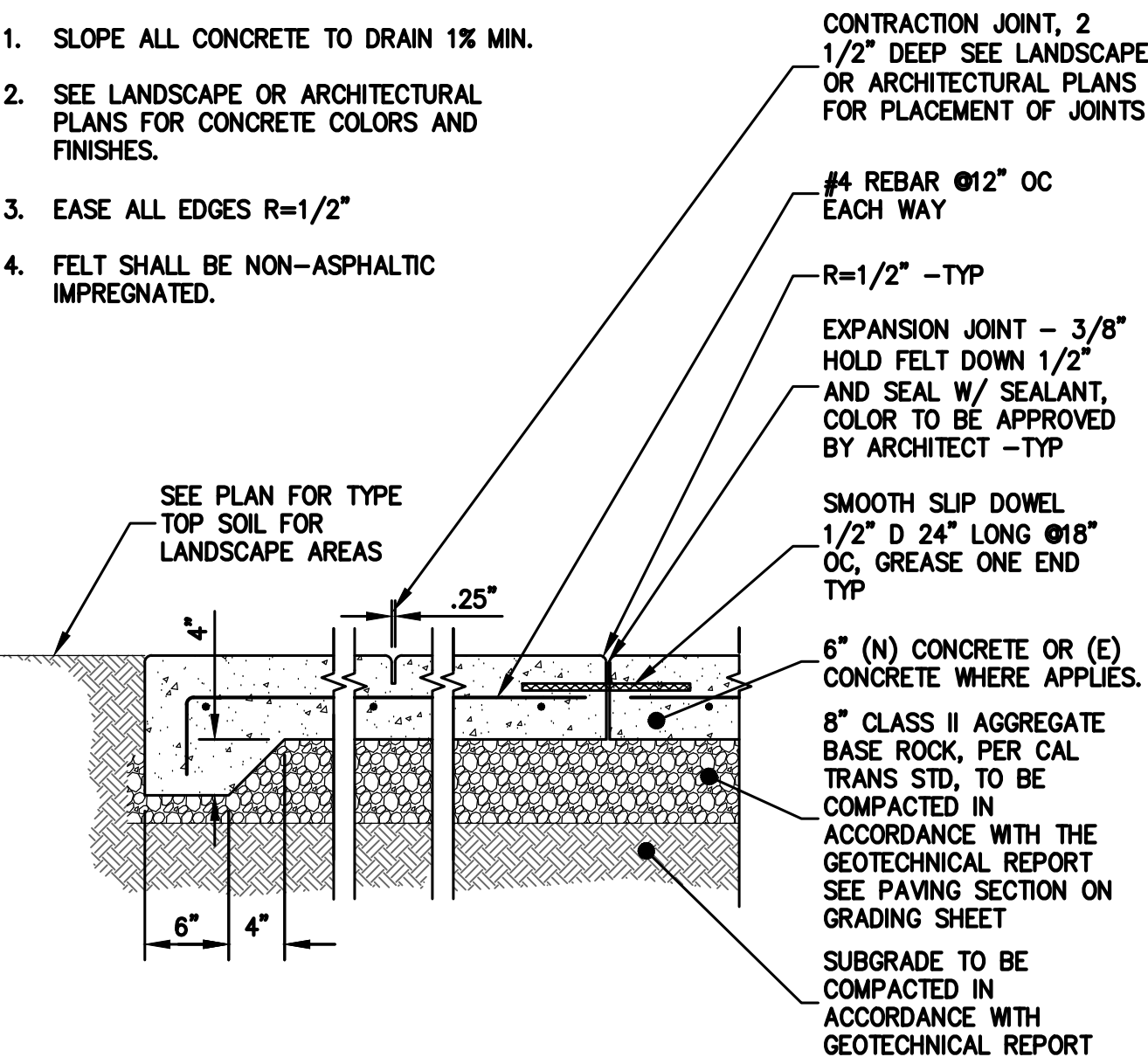
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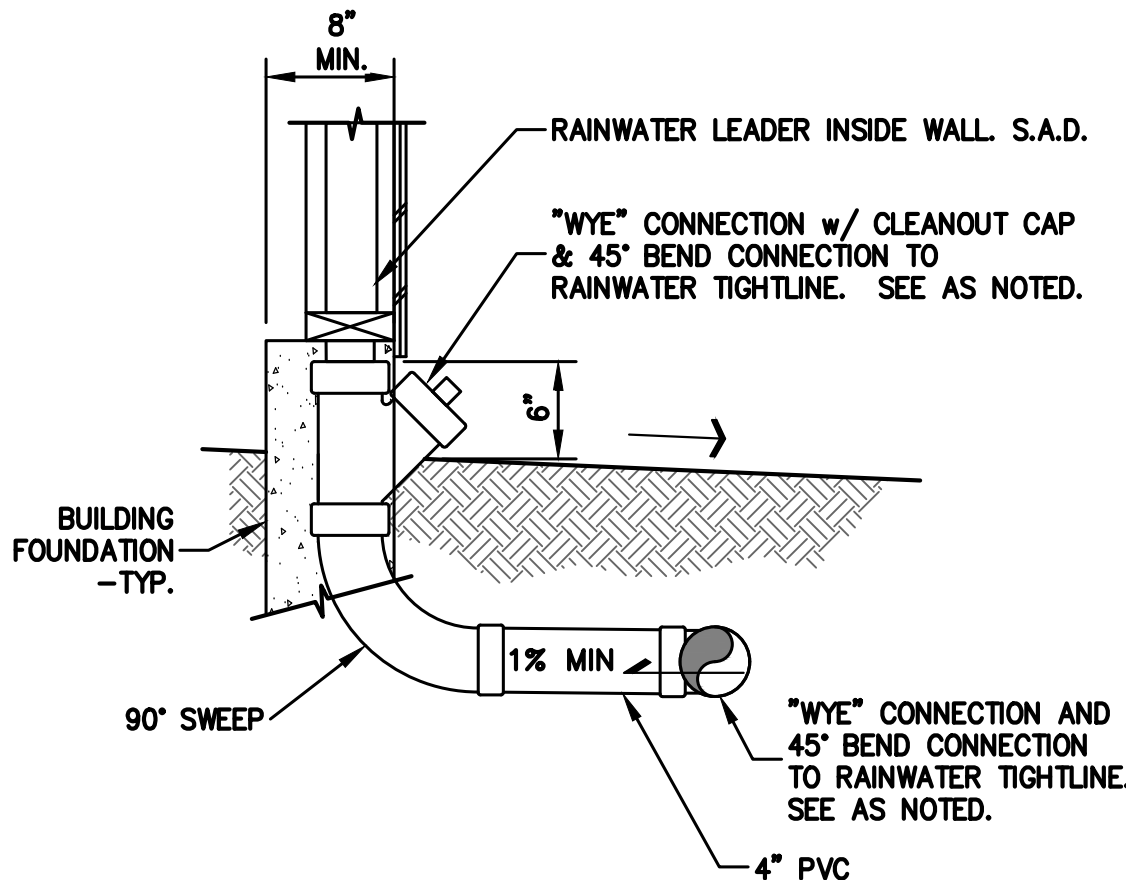


NOTES:

1. SLOPE ALL CONCRETE TO DRAIN 1% MIN.
2. SEE LANDSCAPE OR ARCHITECTURAL PLANS FOR CONCRETE COLORS AND FINISHES.
3. EASE ALL EDGES R=1/2"
4. FELT SHALL BE NON-ASPHALTIC IMPREGNATED.



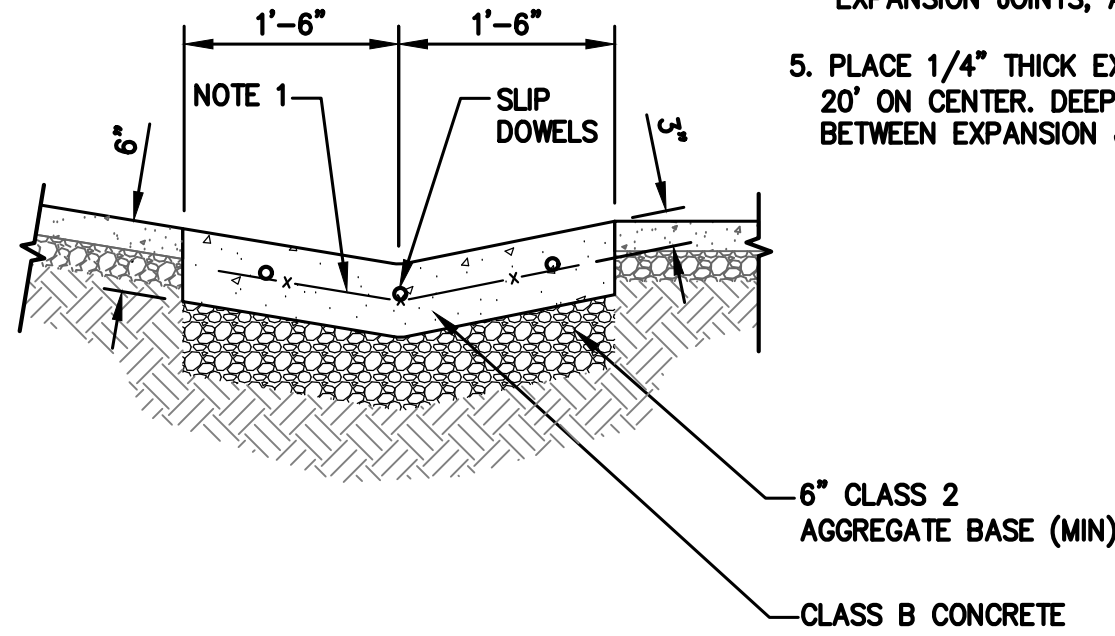
1  
C3.1  
CONCRETE PAVING  
NTS



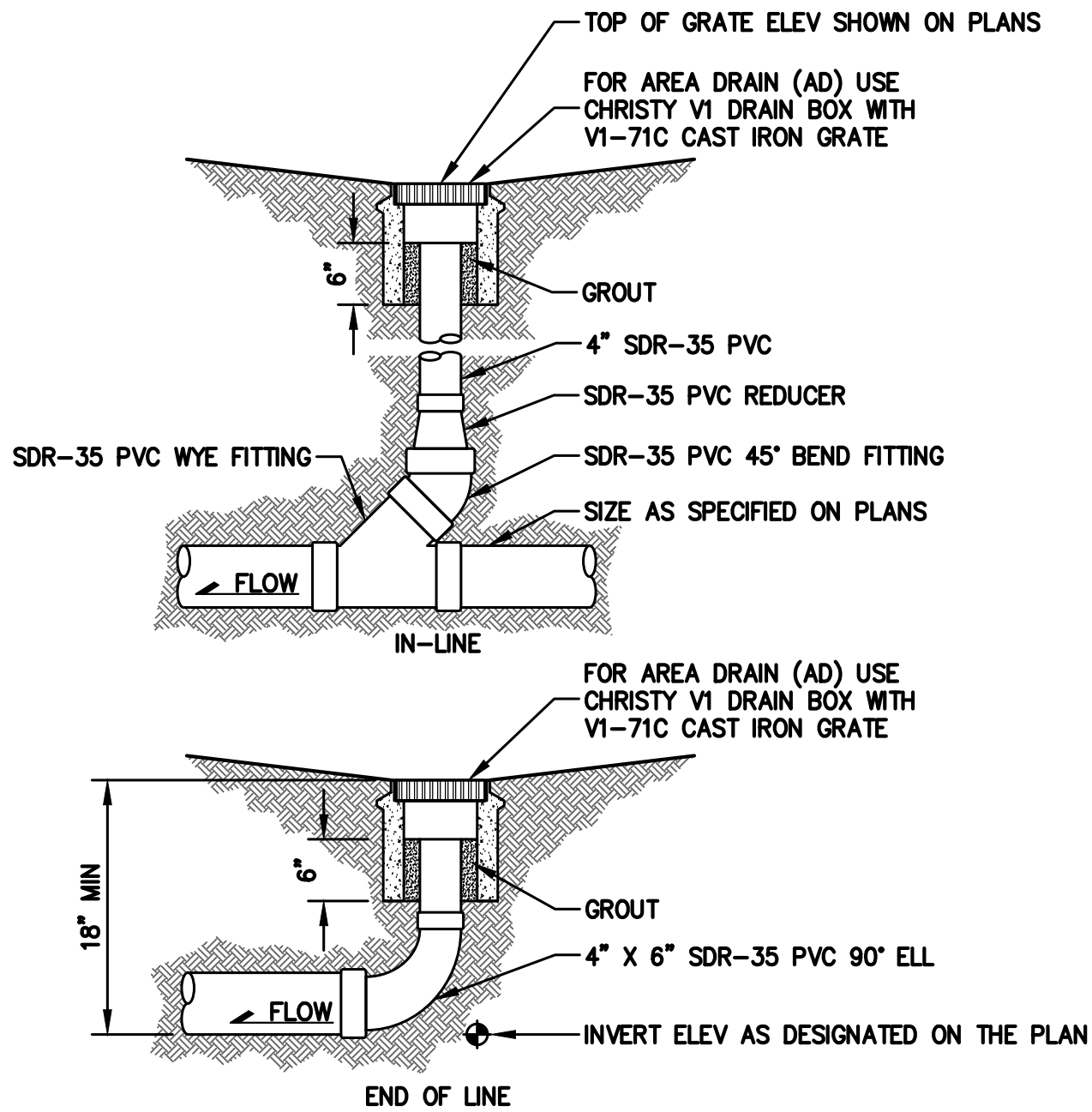
2  
C3.1  
RAIN WATER LEADER TO  
TIGHTLINE CONNECTION  
NTS

NOTES:

1. REINFORCEMENT SHALL CONSIST OF 6"x6" -6GA. WELDED WIRE FABRIC.
2. APRONS SHALL BE POURED MONOLITHIC WITH ADJACENT CURB AND GUTTER.
3. CONCRETE VALLEY GUTTER AND APRONS SHALL BE INSTALLED PRIOR TO PAVING.
4. PLACE 1/2" DIAMETER X 18" LONG DOWELS, AT EXPANSION JOINTS, AS SHOWN.
5. PLACE 1/4" THICK EXPANSION JOINTS FULL WIDTH 20' ON CENTER. DEEP SCORE AT 10' INTERVALS BETWEEN EXPANSION JOINTS.

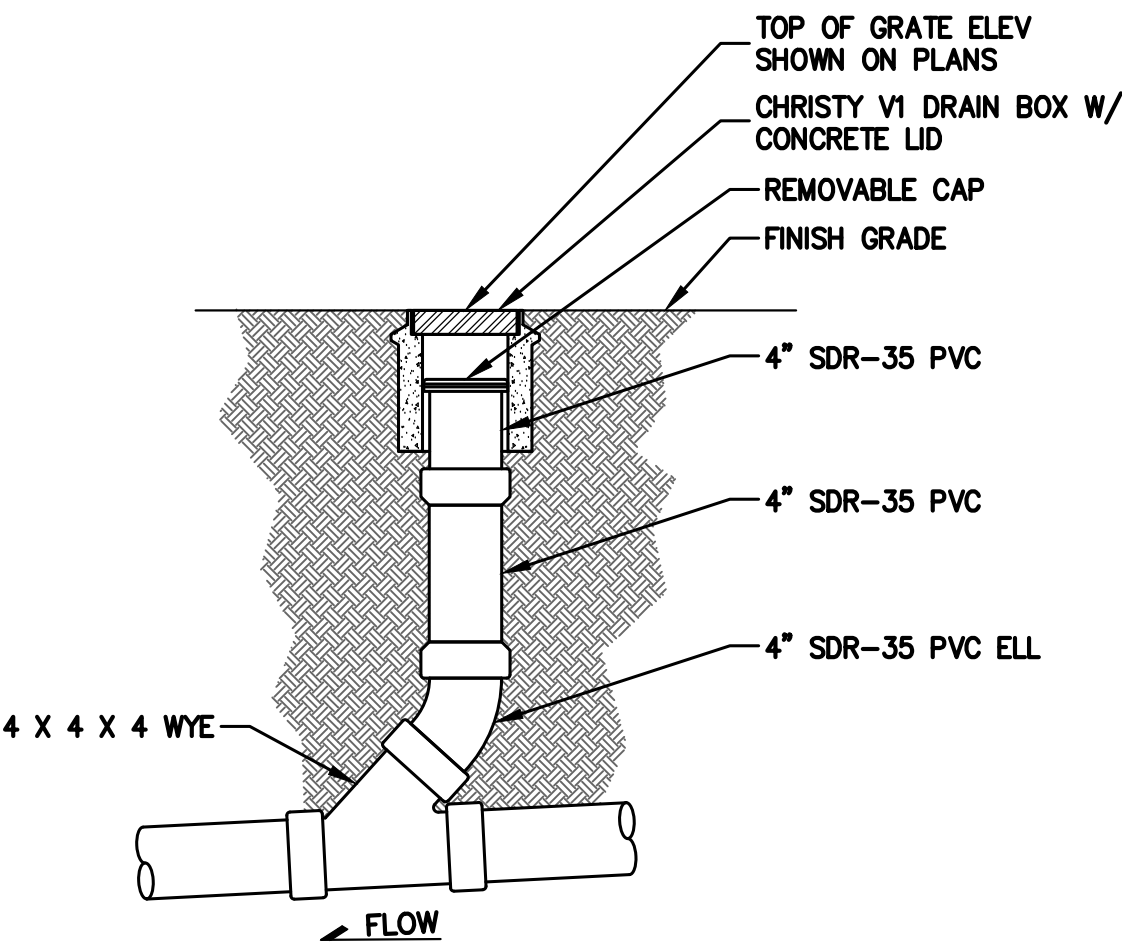


3  
C3.1  
CONCRETE VALLEY GUTTER  
NTS

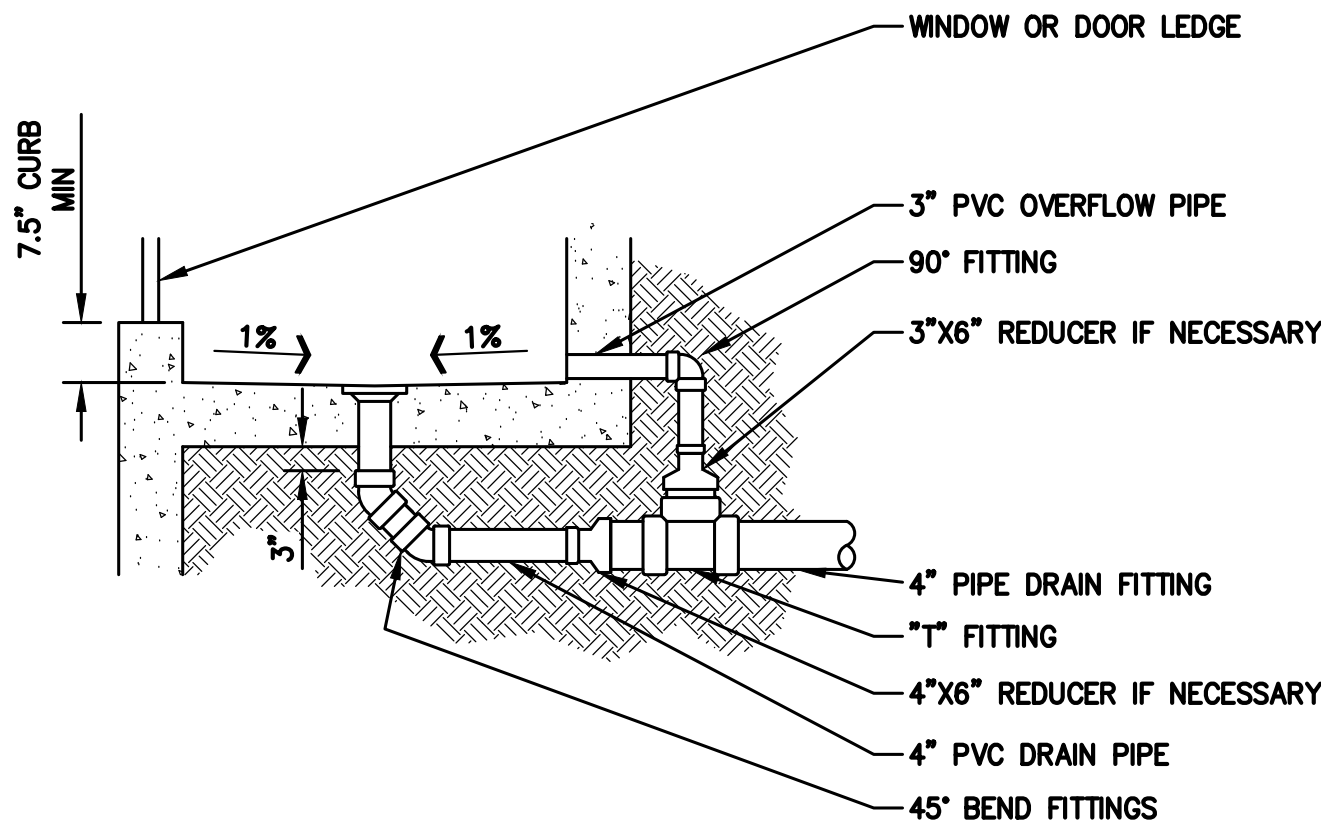


NOTE:  
GLUED FITTINGS MAY BE SUBSTITUTED  
FOR GASKETED FITTINGS AT THE OPTION  
OF THE INSTALLATION CONTRACTOR.

4  
C3.1  
AREA DRAIN  
NTS

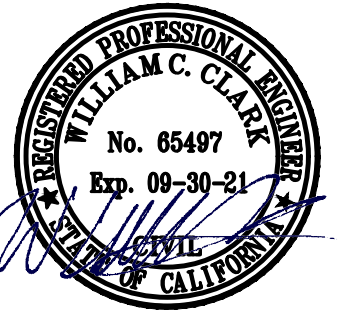


5  
C3.1  
ON-SITE CLEANOUT  
NTS



- NOTES:
1. SLOPE INTERIOR SLAB OF LIGHTWELL @ 1% MIN IN ALL DIRECTIONS TO DIRECT FLOW TOWARDS INLET.
  2. MAINTAIN 6" MIN FROM BOTTOM OF SILL/DOOR TO BOTTOM OF LIGHTWELL.
  3. INSTALL "NEENAH R-4344" GRATE AND 3" PVC OUT GOING PIPE IN LIGHTWELLS NOT INTENDED TO HAVE FOOT TRAFFIC.
  4. INSTALL 4" METAL GRATE AND 4" PVC OUTGOING PIPE IN AREAS INTENDED TO HAVE FOOT TRAFFIC.
  5. INSTALL 3" PVC OVERFLOW PIPE AS SHOWN.
  6. CONTRACTOR SHALL SUBMIT TO THE OWNER IN WRITING THE NEED FOR PERIODIC MAINTENANCE AND REMOVAL OF DEBRIS.
  7. REFER TO STRUCTURAL PLAN FOR WALL CONSTRUCTION DETAIL.

6  
C3.1  
LIGHTWELL OVERFLOW DETAIL  
NTS



<b>CLARK CIVIL ENGINEERING</b> DESIGN • CONSULTING • SURVEY 12700 Highway One, Point Reyes Station, CA PH: 415-295-4450 FAX: 510-372-0259	
<b>DETAILS</b>  Ø HILLSLOPE PLACE, LOS ALTOS, CA. 94024	
DESIGN BY: WCC	PROJECT No. 220005 02/29/20
DRAWN BY: DR	CHECKED BY:
DRAWING SCALE: AS SHOWN	APN 336-08-009
Revision 1 Date	Co. File
Revision 2 Date	Sheet C3.1 of 8

APPLICANT:

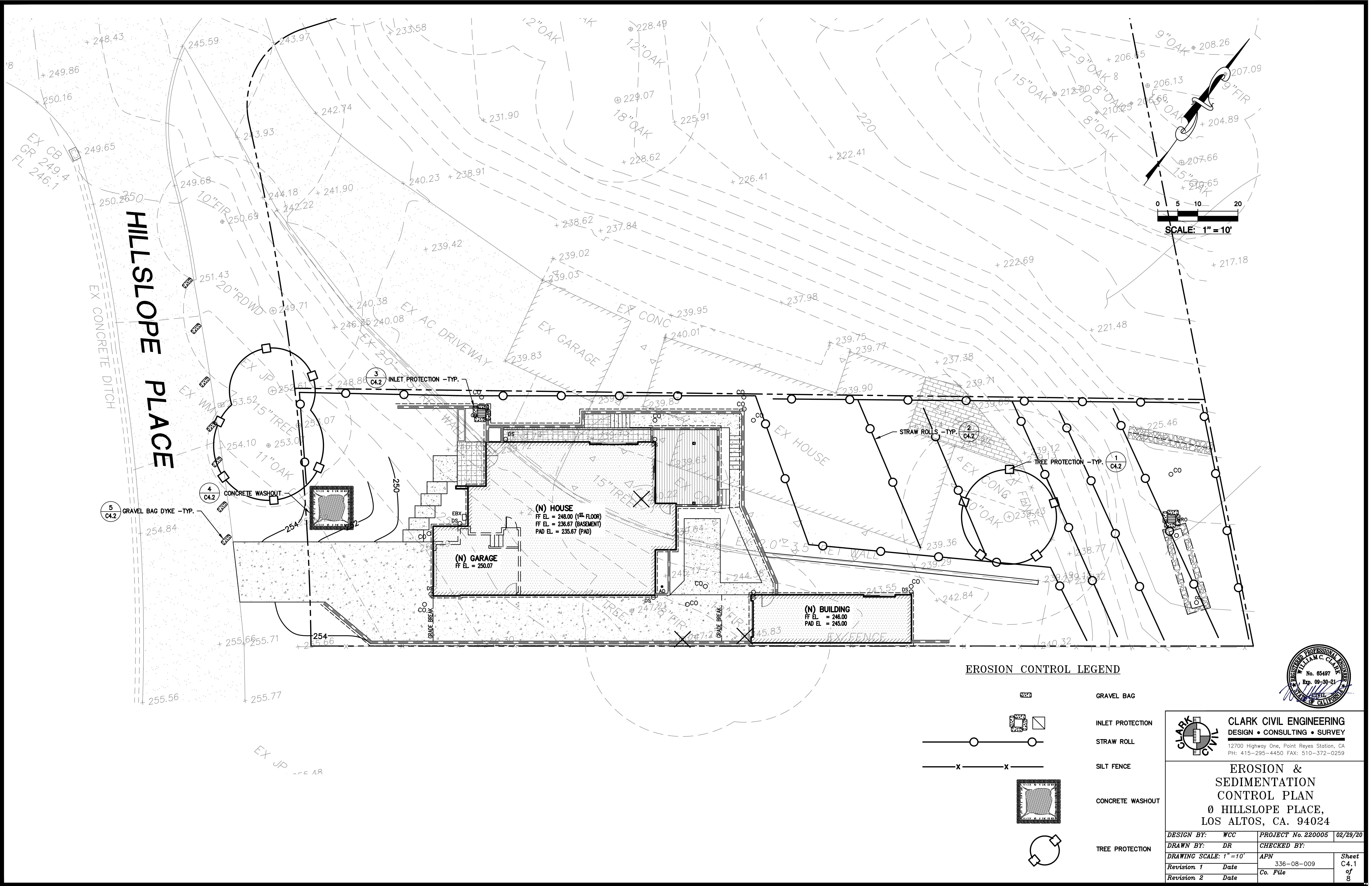
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COUNTY FILE NO.:



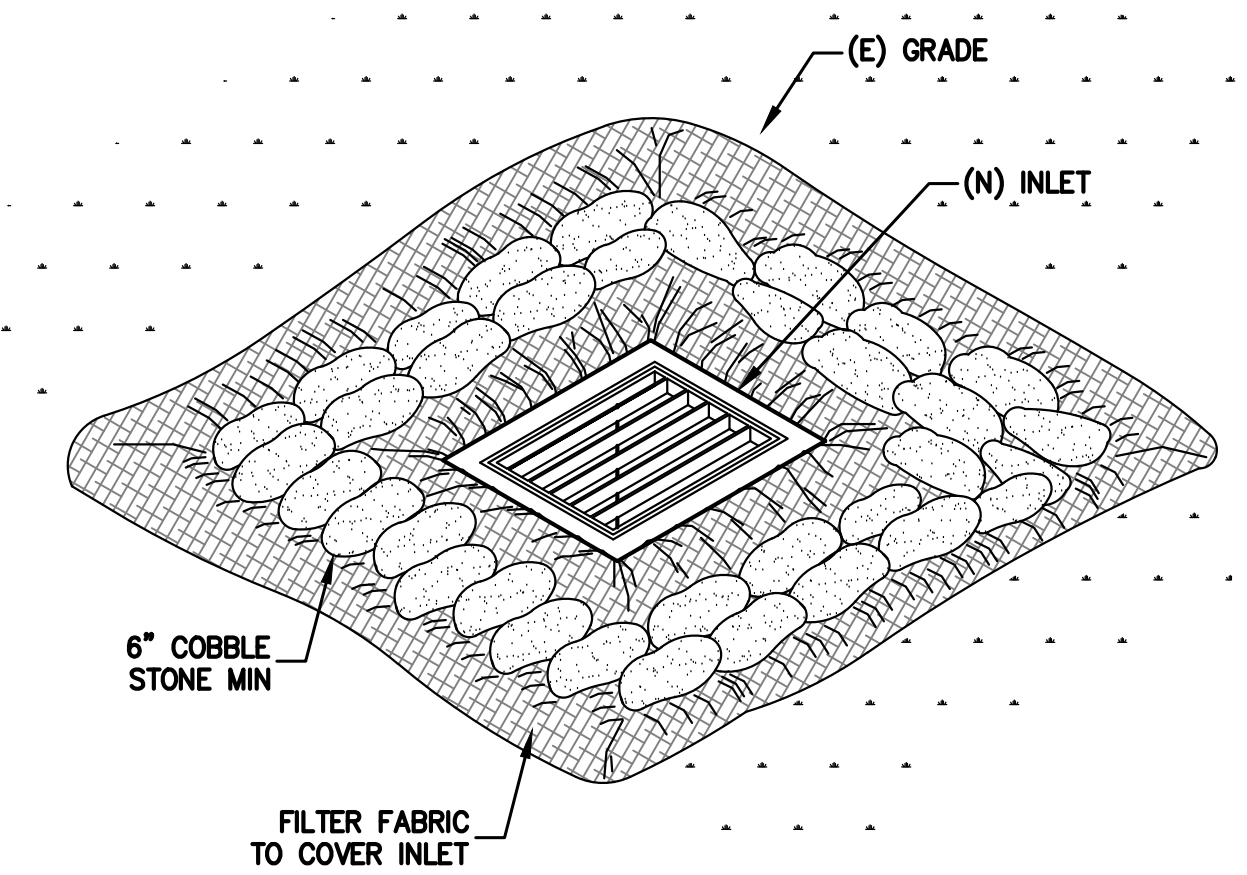
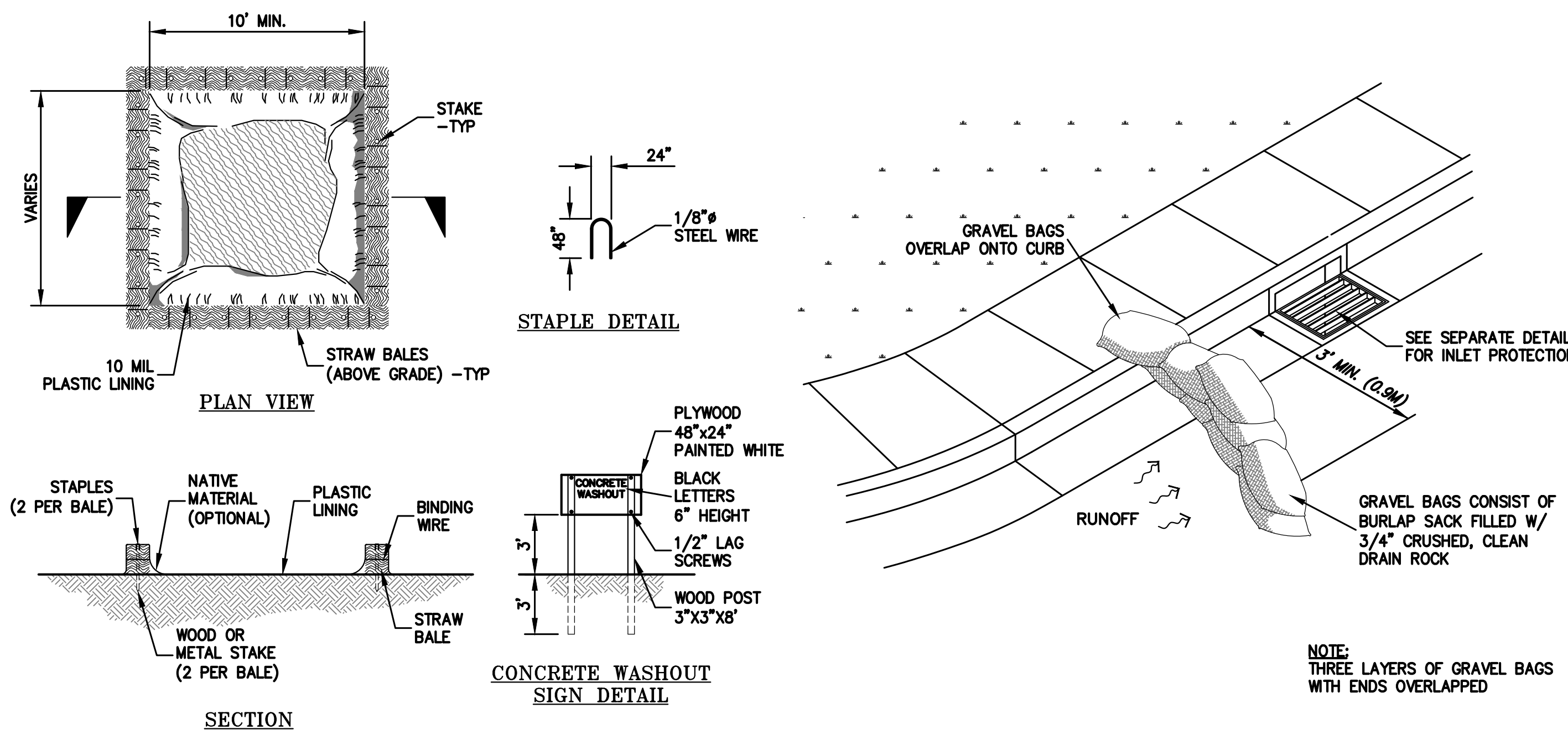
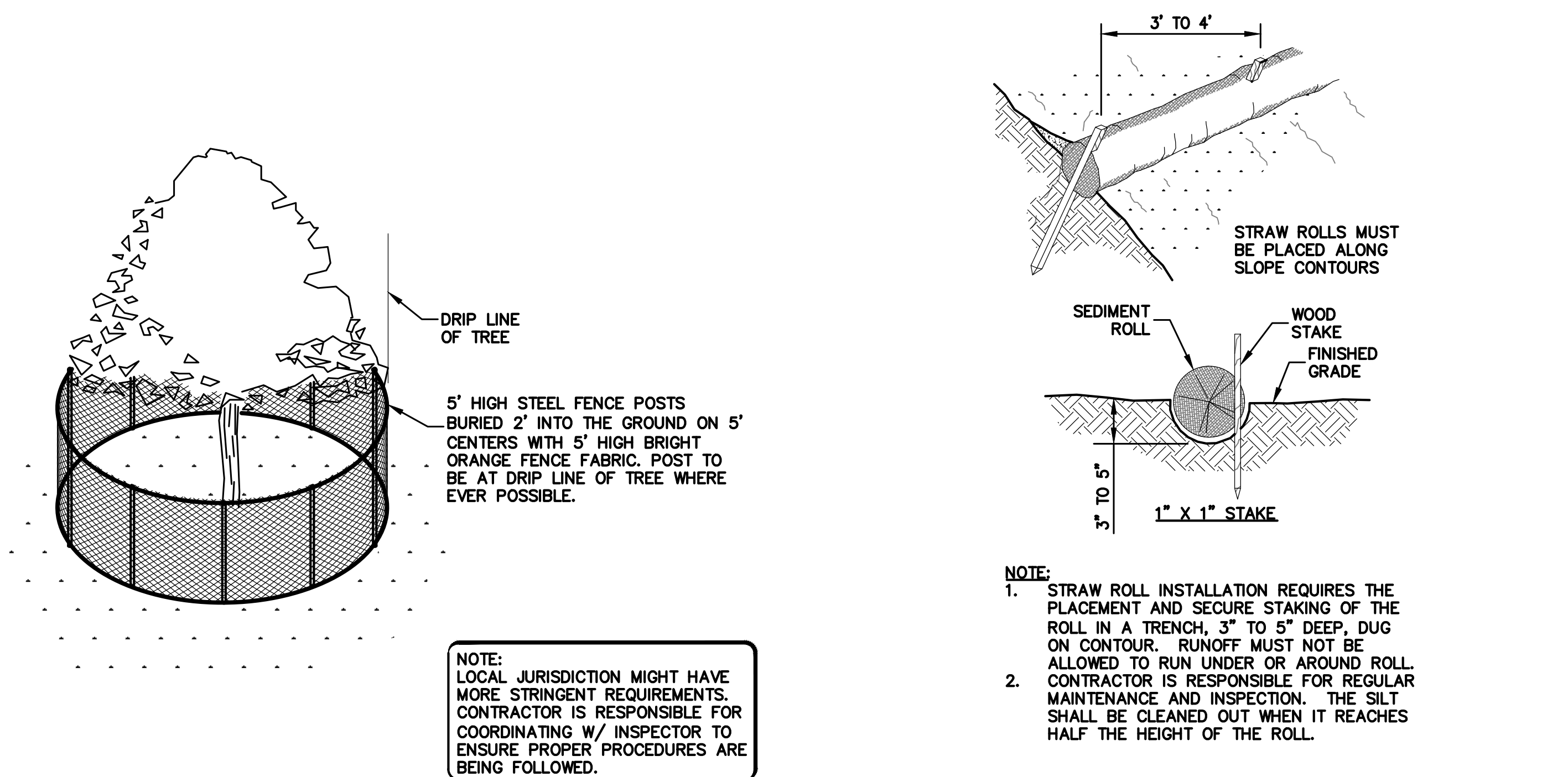


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12700 Highway One, Point Reyes Station, CA  
PH: 415-295-4450 FAX: 510-372-0259

**EROSION & SEDIMENTATION CONTROL PLAN**  
Ø HILLSLOPE PLACE,  
LOS ALTOS, CA. 94024

DESIGN BY: WCC	PROJECT No. 220005	02/29/20
DRAWN BY: DR	CHECKED BY:	
DRAWING SCALE: 1"=10'	APN 336-08-009	Sheet C4.1 of 8
Revision 1 Date	Co. File	
Revision 2 Date		





**PURPOSE:**

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION OF GRADED AREAS AND TO PREVENT SEDIMENTATION FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING SITES, NATURAL AREAS, PUBLIC FACILITIES OR ANY OTHER AREA THAT MIGHT BE AFFECTED BY SEDIMENTATION. ALL MEASURES SHOWN ON THIS PLAN SHOULD BE CONSIDERED THE MINIMUM REQUIREMENTS NECESSARY. SHOULD FIELD CONDITIONS DICTATE ADDITIONAL MEASURES, SUCH MEASURES SHALL BE PER CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL AND THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION. CLARK CIVIL ENGINEERING SHOULD BE NOTIFIED IMMEDIATELY SHOULD CONDITIONS CHANGE.

**EROSION CONTROL NOTES:**

1. IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THIS EROSION CONTROL PLAN.
2. THE INTENTION OF THIS PLAN IS FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. ALL EROSION CONTROL MEASURES SHALL CONFORM TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL, THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION, AND THE LOCAL GOVERNING AGENCY FOR THIS PROJECT.
3. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING, AND AFTER STORM EVENTS. PERSON IN CHARGE OF MAINTAINING EROSION CONTROL MEASURES SHOULD WATCH LOCAL WEATHER REPORTS AND ACT APPROPRIATELY TO MAKE SURE ALL NECESSARY MEASURES ARE IN PLACE.
4. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
5. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATERCOURSES.
6. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS CONCERNING POLLUTION SHALL BE MAINTAINED AT ALL TIMES.
7. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
8. ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15TH.
9. EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LONGER.
10. IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVAL EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
12. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY COUNTY'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
13. MEASURES SHALL BE TAKEN TO COLLECT OR CLEAN ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEMS. THE REMOVAL OF AFORESAID SHALL BE DONE BY STREET SWEEPING OR HAND SWEEPING. WATER SHALL NOT BE USED TO WASH SEDIMENTS INTO PUBLIC OR PRIVATE DRAINAGE FACILITIES.
14. EROSION CONTROL MEASURES SHALL BE ON-SITE FROM SEPTEMBER 15TH THRU APRIL 15TH.
15. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER 15 THRU APRIL 15, WHICHEVER IS GREATER.

**PERIODIC MAINTENANCE:**

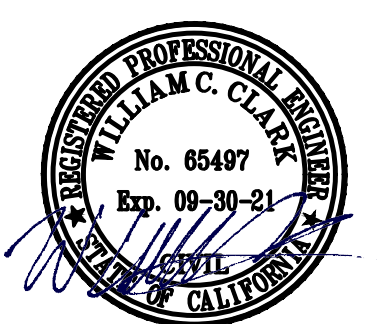
1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
  - A. DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
  - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
  - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1' FOOT.
  - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  - F. RILLS AND GULLIES MUST BE REPAIRED.
2. GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.
3. STRAW ROLS SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHED HALF THE HEIGHT OF THE ROLL.
4. SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHES ONE FOOT IN HEIGHT.
5. CONSTRUCTION ENTRANCE SHALL BE REGRAVELED AS NECESSARY FOLLOWING SILT/SOIL BUILDUP.
6. ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION

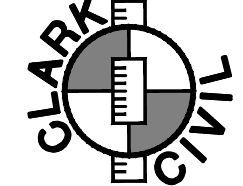
**EROSION CONTROL MEASURES:**

1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15. EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO OCTOBER 15TH OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
2. SITE CONDITIONS AT TIME OF PLACEMENT OF EROSION CONTROL MEASURES WILL VARY. APPROPRIATE ACTION INCLUDING TEMPORARY SWALES, INLETS, HYDROSEEDING, STRAW BALES, ROCK SACKS, ETC. SHALL BE TAKEN TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING SITE. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS THE CONDITIONS CHANGE AND THE NEED OF CONSTRUCTION SHIFT.
3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCES. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE GOVERNING AGENCY.
4. ALL EXPOSED SLOPES THAT ARE NOT VEGETATED SHALL BE HYDROSEED. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 15, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. HYDROSEEDING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 20" EROSION CONTROL AND HIGHWAY PLANTING" OF THE STANDARD SPECIFICATION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED. REFER TO THE EROSION CONTROL SECTION OF THE GRADING SPECIFICATIONS THAT ARE A PART OF THIS PLAN SET FOR FURTHER INFORMATION.
5. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT. MINIMUM INLET PROTECTION SHALL CONSIST OF A ROCK SACKS OR AS SHOWN ON THIS PLAN
6. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. A REPRESENTATIVE OF CLARK CIVIL ENGINEERING SHALL PERFORM A FIELD REVIEW AND MAKE RECOMMENDATIONS AS NEEDED. CONTRACTOR IS RESPONSIBLE TO NOTIFY CLARK CIVIL ENGINEERING AND THE GOVERNING AGENCY OF ANY CHANGES.
7. THE EROSION CONTROL MEASURES SHALL CONFORM TO THE COUNTY STANDARDS AND THE APPROVAL OF THE COUNTY'S ENGINEERING DEPARTMENT.
8. STRAW ROLS SHALL BE PLACED AT THE TOE OF SLOPES AND ALONG THE DOWNSLOPE PERIMETER OF THE PROJECT. THEY SHALL BE PLACED AT 25 FOOT INTERVALS ON GRADED SLOPES. PLACEMENT SHALL RUN WITH THE CONTOURS AND ROLS SHALL BE TIGHTLY ENDBUTTED. CONTRACTOR SHALL REFER TO MANUFACTURES SPECIFICATIONS FOR PLACEMENT AND INSTALLATION INSTRUCTIONS.

**REFERENCES:**

1. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL
2. CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION



**CLARK CIVIL ENGINEERING**  
DESIGN • CONSULTING • SURVEY  
12700 Highway One, Point Reyes Station, CA  
PH: 415-295-4450 FAX: 510-372-0259

**EROSION & SEDIMENTATION CONTROL**  
**NOTES & DETAILS**  
0 HILLSLOPE PLACE,  
LOS ALTOS, CA. 94024

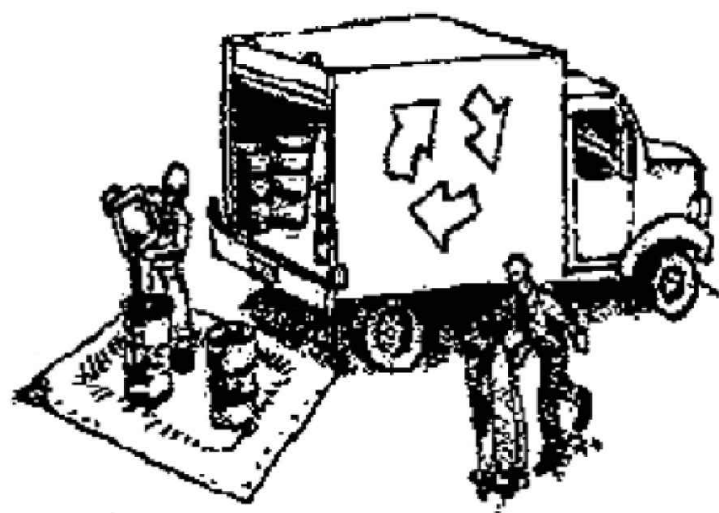
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DRAWING SCALE: AS SHOWN	APN	
Revision 1 Date	336-08-009	Sheet C4.2 of 8
Revision 2 Date	Co. File	



# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

### Spill Prevention and Control

- ❑ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthwork & Contaminated Soils



### Erosion Control

- ❑ Schedule grading and excavation work for dry weather only.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

### Sediment Control

- ❑ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- ❑ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ❑ Keep excavated soil on the site where it will not collect into the street.
- ❑ Transfer excavated materials to dump trucks on the site, not in the street.
- ❑ Contaminated Soils
- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work

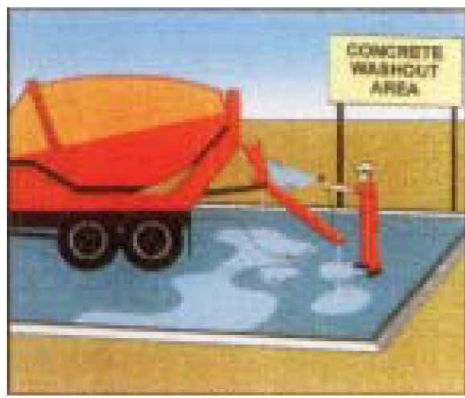


- ❑ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

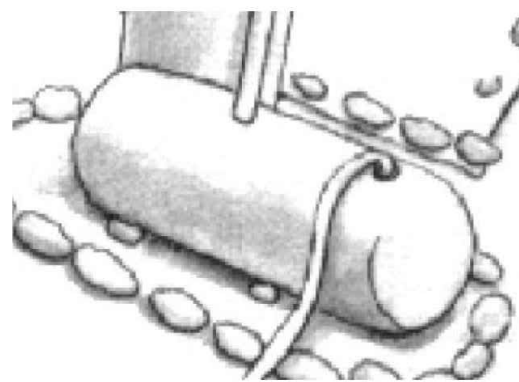
- ❑ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



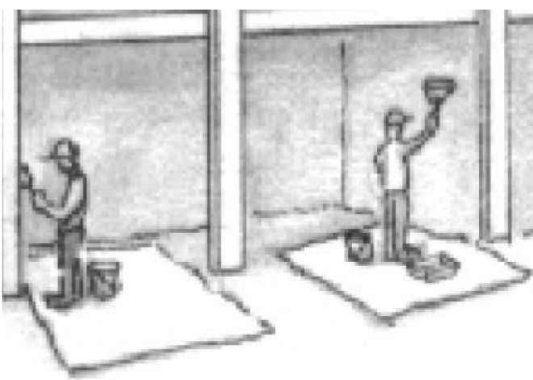
- ❑ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- ❑ Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

## Dewatering



- ❑ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

## Painting & Paint Removal



### Painting cleanup

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- ❑ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

### Paint removal

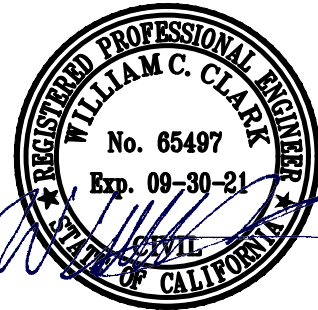
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

## Landscape Materials



- ❑ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ❑ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



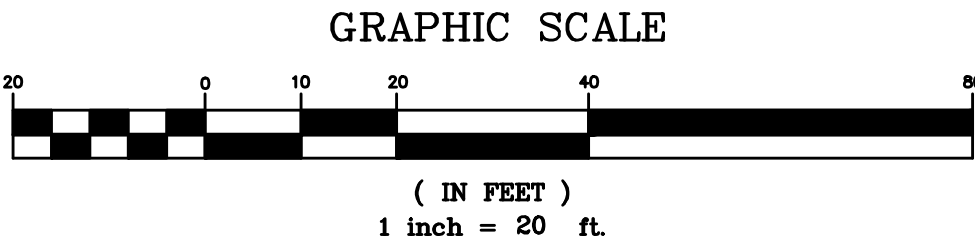
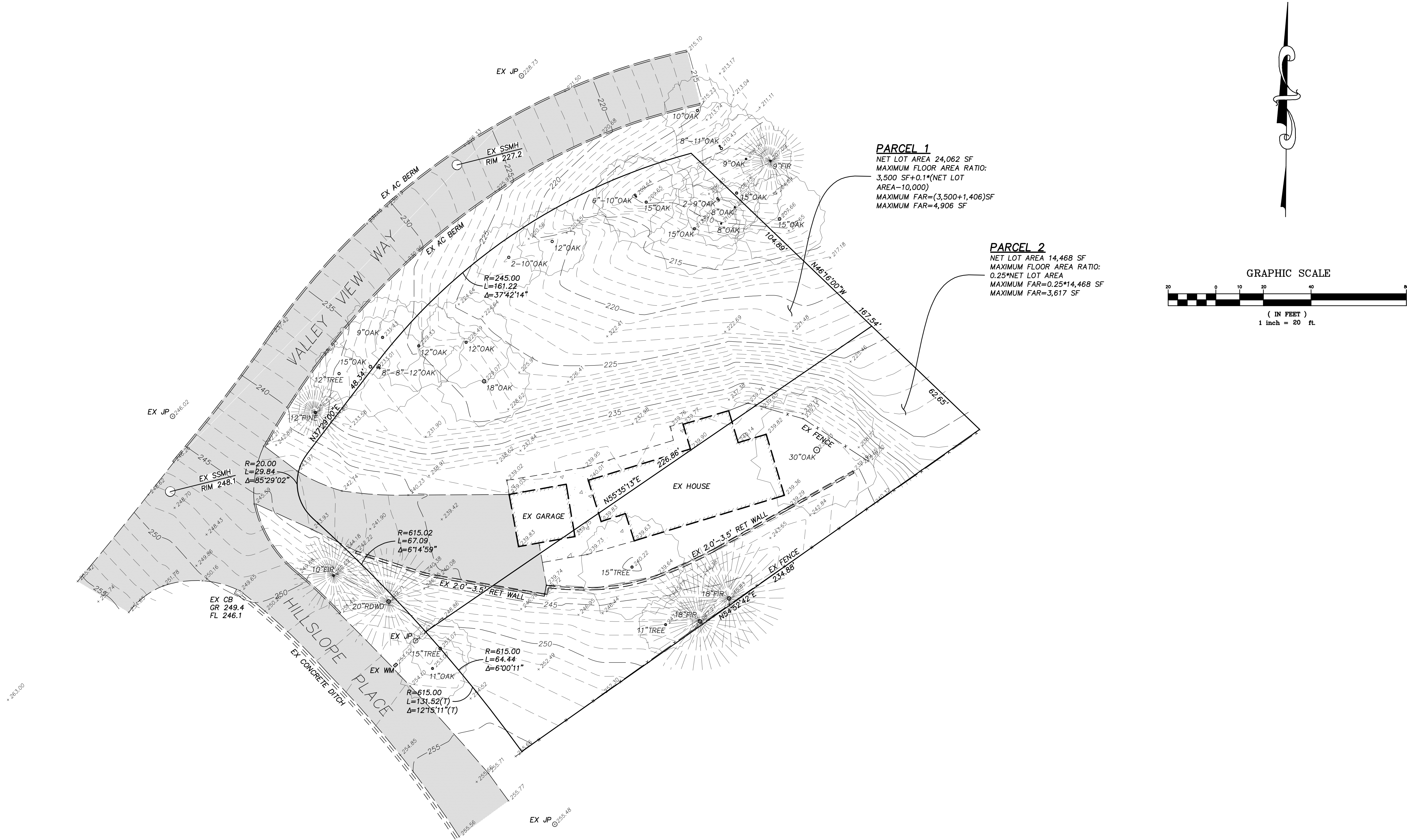
<div><div><div>CLARK</div><div></div><div>CVL</div></div><div>CLARK CIVIL ENGINEERING DESIGN • CONSULTING • SURVEY 12700 Highway One, Point Reyes Station, CA PH: 415-295-4450 FAX: 510-372-0259</div></div>			
CONSTRUCTION BEST MANAGEMENT PRACTICES (SWPP) Ø HILLSLOPE PLACE, LOS ALTOS, CA. 94024			
DESIGN BY: WCC	PROJECT No. 220005	02/29/20	
DRAWN BY: DR	CHECKED BY:		
DRAWING SCALE: AS SHOWN	APN	Sheet C4.3 of 8	
Revision 1 Date	336-08-009		
Revision 2 Date	Co. File		

APPLICANT:

ROAD:

COUNTY FILE NO.:









1. Fire Sprinklers Required: An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 square feet. NOTE: The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. NOTE: Covered porches, patios, balconies, and attic spaces may require fire sprinkler coverage. **The detached garage shall have fire sprinklers.** A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. Section R313.2

2. Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2010 CFC Sec. 903.3.5 and Health and Safety Code 13114.7

4. Construction Site Fire Safety: All construction sites must comply with the applicable provisions of the CFC Chapter 14 and our Standard Detail and Specification SI-7.

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ZONING: R 1 E - 20 - m1  
LOT SIZE: 14,374.8 S.F. (0.33 ACRE)

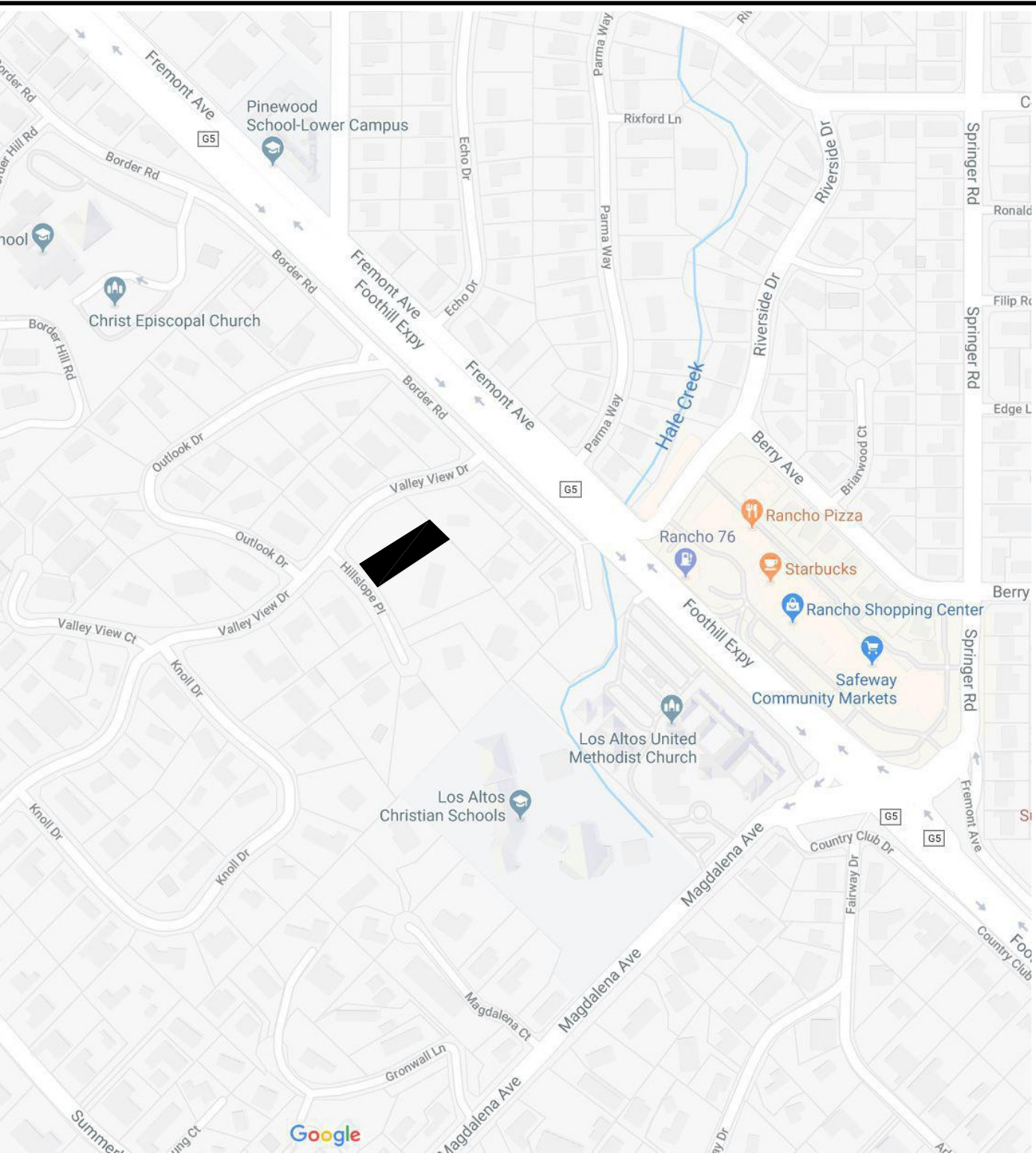
FIRST FLOOR: 1,573 S.F.  
SECOND FLOOR: 1,562 S.F.  
TOTAL HOUSE: 3,135 S.F.  
BASEMENT: 1,840 S.F.  
GARAGE: (ATTACHED) 313 S.F.  
GARAGE: (DETACHED) 480 S.F.

F.A.R. ALLOWED: 14,374.8 X .25 = 3,593.7 S.F.  
PROPOSED: 3,487 = 24.2%

TYPE OF CONSTRUCTION: VB  
OCCUPANCY GROUP: R-3, U

THIS PROJECT SHALL COMPLY WITH 2019 CBC, CRC, CMC, CPC, CEC, CFC, CAL GREEN, CAL ENERGY CODE, AND LOCAL ORD.

F.A.R. CALCS  
1st FLOOR = 1,840  
2nd FLOOR = 1,647  
TOTAL = 3,487 S.F.  
SEE PAGE A-10

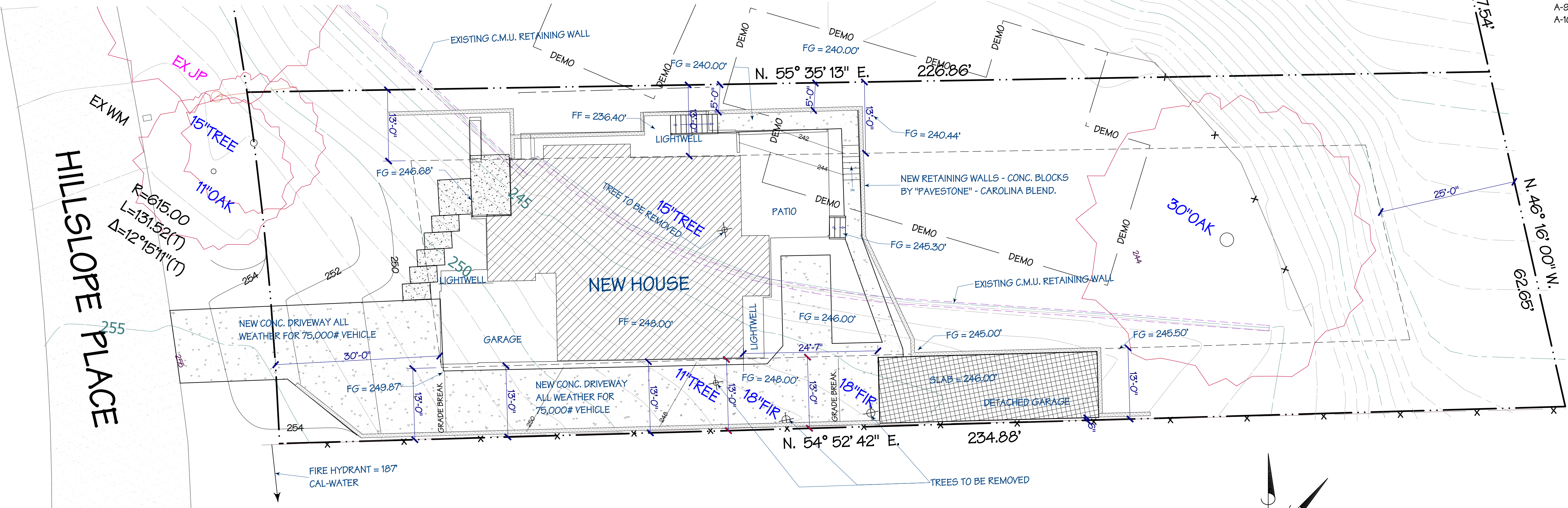


SITE DATA

VICINITY MAP

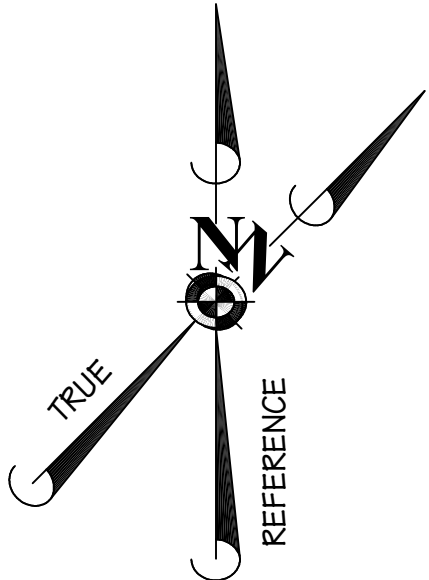
SHEET INDEX

- A-1 SITE PLAN
- A-2 FIRST FLOOR PLAN
- A-3 SECOND FLOOR PLAN
- A-4 BASEMENT FLOOR PLAN
- A-5 ELEVATIONS
- A-6 ELEVATIONS
- A-7 SECTIONS
- A-8 SECTIONS
- A-9 DETACHED GARAGE
- A-10 AREA CALCS



SITE PLAN

1" = 10'-0"



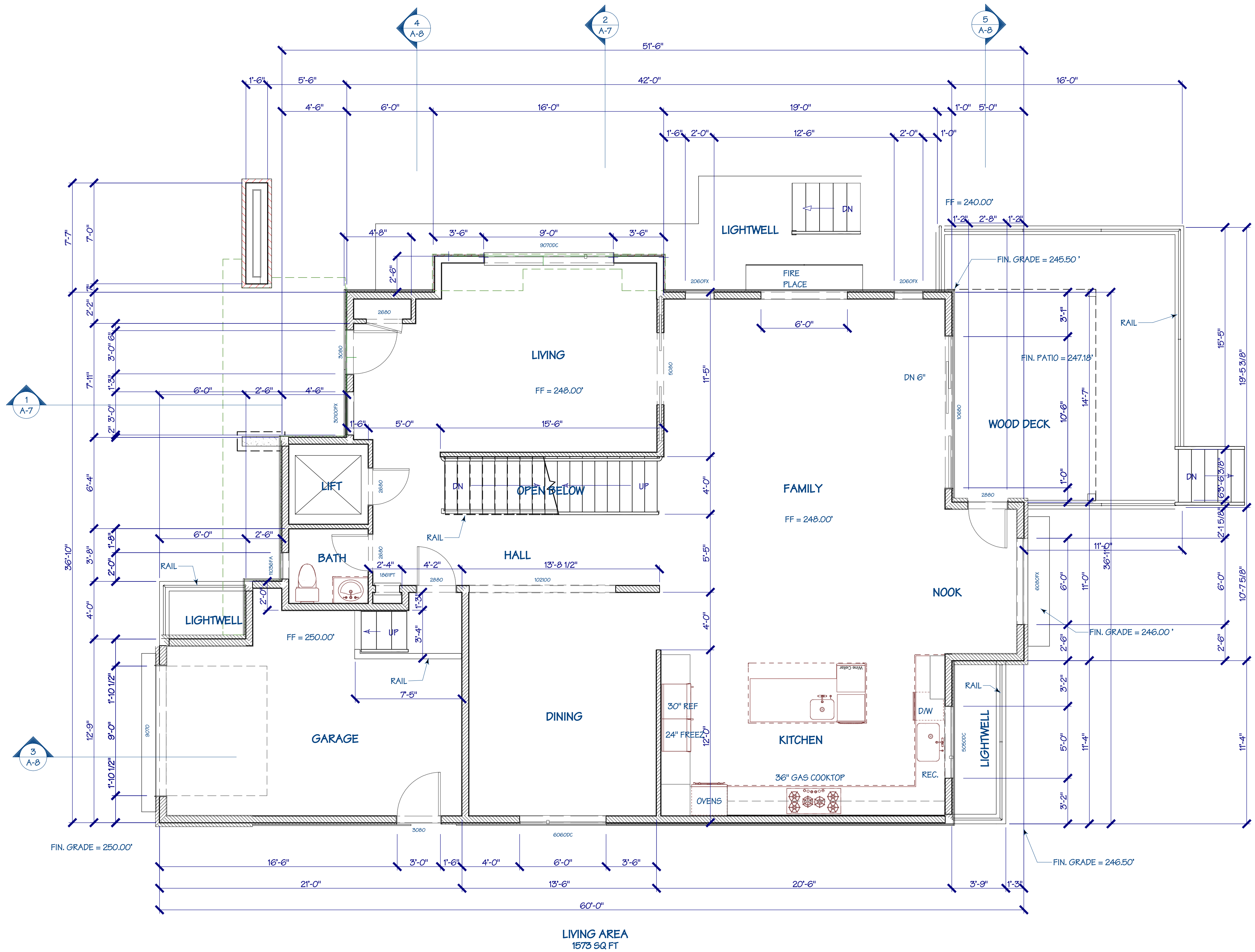
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PLANNING 5-7-20	
PLANNING 8-19-20	

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HometeaArch@gmail.com  
**HOMETEC**  
ARCHITECTURE, INC.  
555 #B MERIDIAN AVE. SAN JOSE, CA 95126

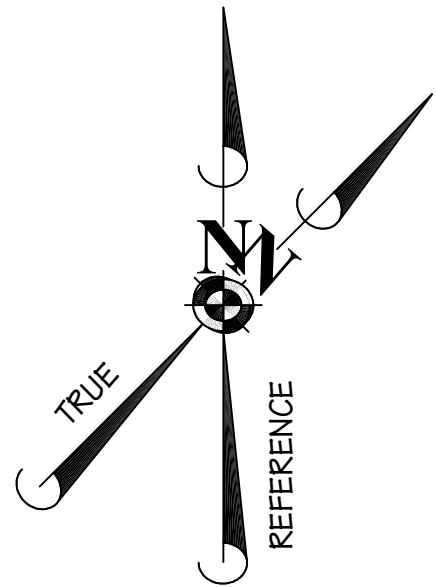
NEW HOUSE FOR:  
**ALEX MINKIN**  
HILLSLOPE PLACE, LOS ALTOS, CA. 94024

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Scale	1" = 10'-0"
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Job	18-032
Sheet	<b>A-1</b>
of	Sheets





FIRST FLOOR PLAN



REVISIONS	BY
PLANNING	
5-7-20	
PLANNING	
8-19-20	

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NEW HOUSE FOR:  
**ALEX MINKIN**  
HILLSLOPE PLACE, LOS ALTOS, CA. 94024

Date	9 - 4 - 20
Scale	1/4" = 1'-0"
Drawn	RAH
Job	18-032
Sheet	<b>A-2</b>
of	Sheets

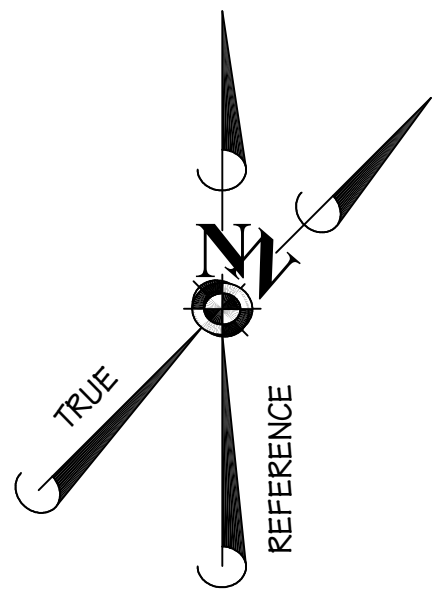


- 
- This is a detailed architectural floor plan of the fourth floor of a building. The plan shows a complex layout with multiple bedrooms, bathrooms, a master bedroom, a laundry room, a lift, and various balconies and roof areas. Dimensions are provided for all rooms and overall building footprint.
- Rooms and Features:**
- Bedroom #4:** 9'-6" ceiling, includes a closet.
  - Bedroom #3:** 9'-6" ceiling, includes a bath and closet.
  - Bedroom #2:** 9'-6" ceiling, includes a bath and closet.
  - Master BDRM:** 9'-6" ceiling, includes a closet and a bay window.
  - Bath:** Multiple bathrooms are shown, including a master bath with a shower and toilet.
  - Laundry:** Includes a sink and a window.
  - Lift:** Located near the center of the plan.
  - Hall:** Includes a staircase labeled "DN" and "OPEN BELOW".
  - Balcony:** Multiple balconies are shown, including one with a "RAIL" and another with a "6" PARAPET WALL".
  - Roof:** Includes a "6" PARAPET WALL" and a "HIGH POINT OF ROOF".
- Dimensions:**
- Overall Footprint:** 60'-0" wide by 36'-0" deep.
  - Room Dimensions:** Various dimensions are provided for each room, such as 12'-4" x 9'-4" for Bedroom #4 and 13'-0" x 8'-10" for Bedroom #3.
  - Window and Door Dimensions:** Various dimensions are provided for windows and doors, such as 10'-1" x 4'-3" for a window in Bedroom #4.

LIVING AREA  
1562 SQ FT

1562 SQ FT

## SECOND FLOOR PLAN



REVISIONS	BY
PLANNING 5-7-20	
PLANNING 8-19-20	

**HOMETEC**  
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555 #B MERIDIAN AVE, SAN JOSE, CA 95126

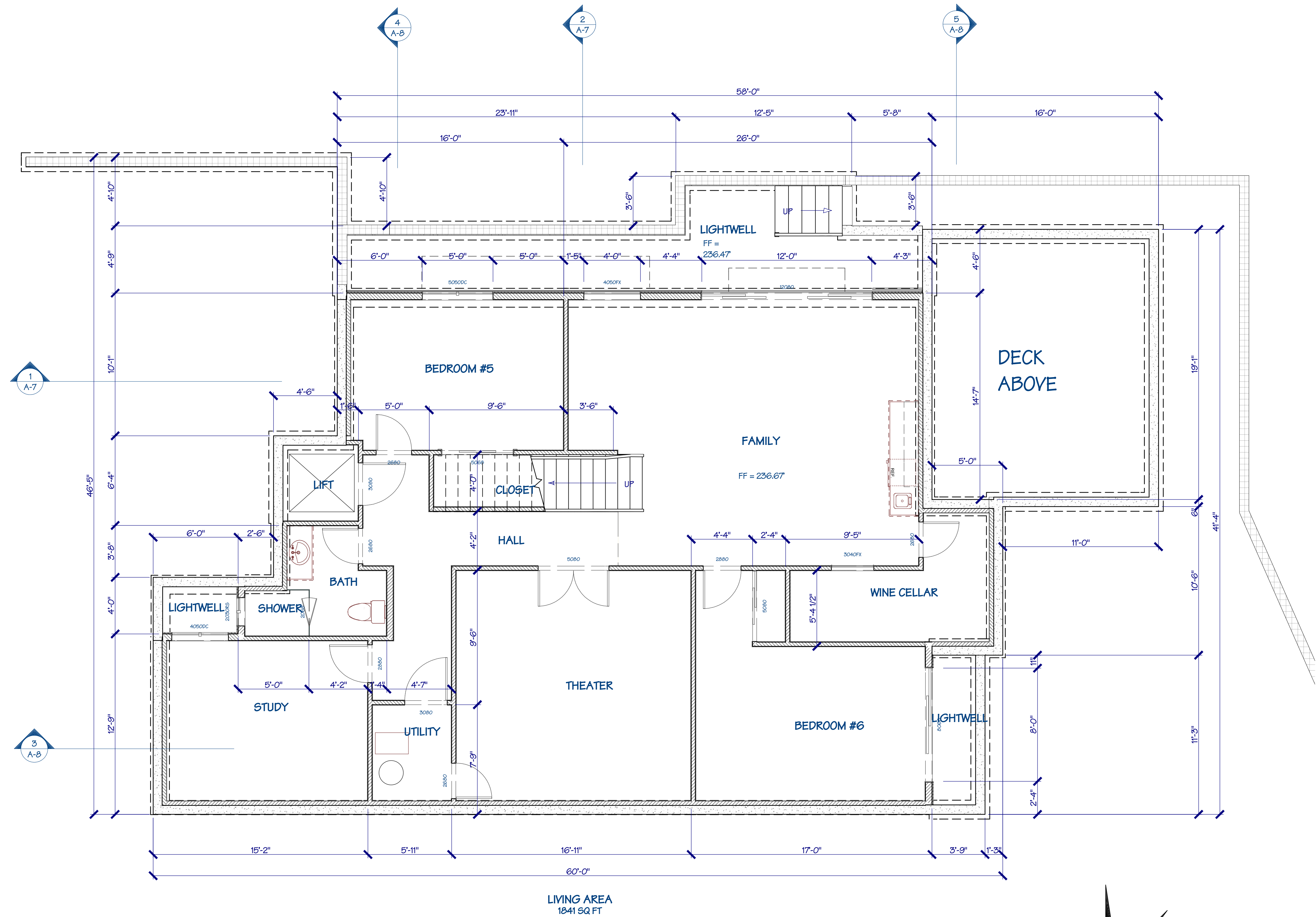
NEW HOUSE FOR:  
**ALEX MINKIN**  
HILLSLOPE PLACE, LOS ALTOS, CA. 94024

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Job	18-032
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**A-3**

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BASEMENT FLOOR PLAN

REVISIONS	BY
PLANNING 5-7-20	
PLANNING 8-19-20	

**HOMETEC**  
ARCHITECTURE, INC.

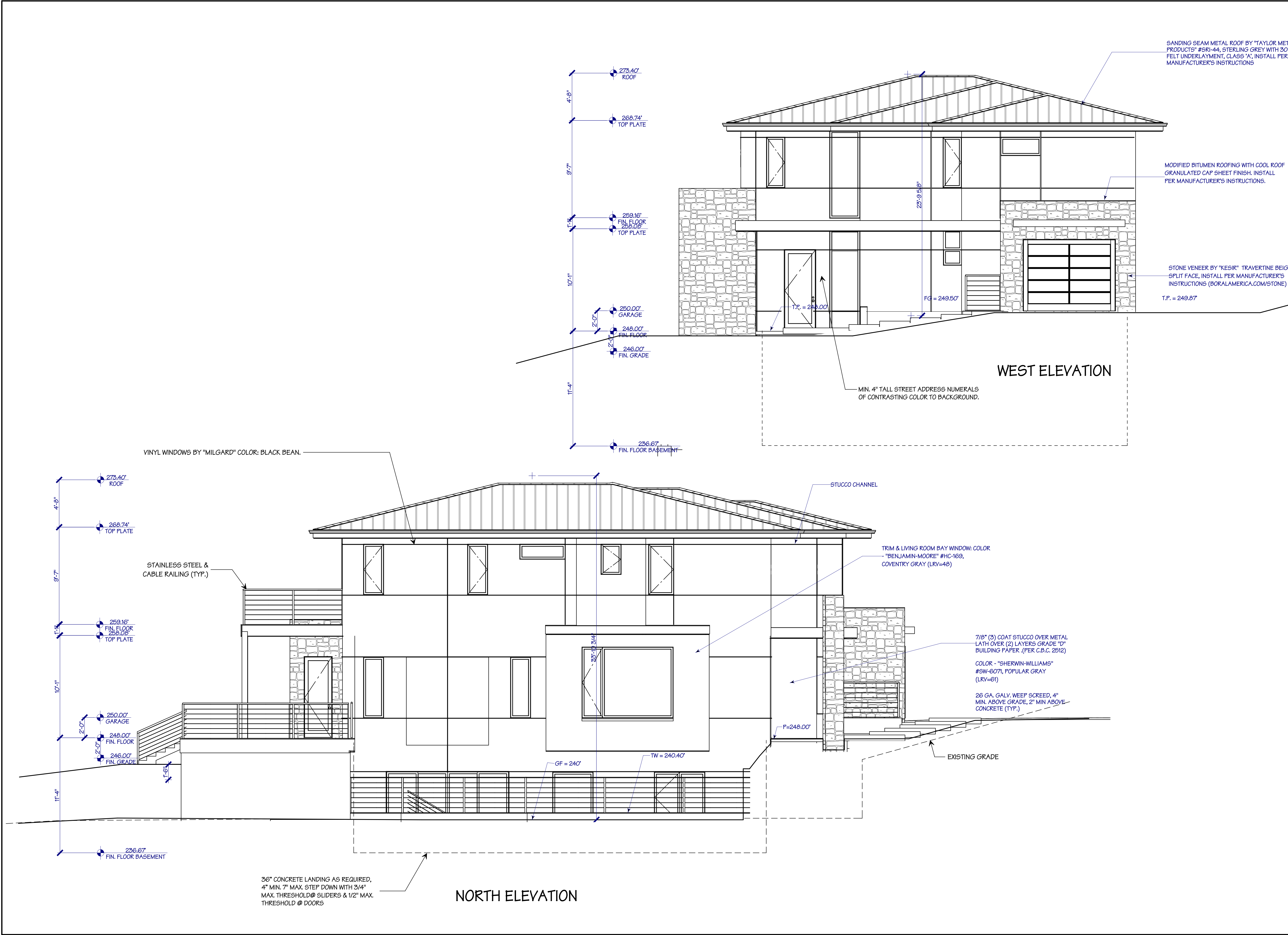
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555 #B MERIDIAN AVE. SAN JOSE, CA 95126

NEW HOUSE FOR:  
**ALEX MINKIN**  
HILLSLOPE PLACE, LOS ALTOS, CA. 94024

Date	9 - 4 - 20
Scale	1/4" = 1'-0"
Drawn	RAH
Job	18-032
Sheet	<b>A-4</b>
of	Sheets



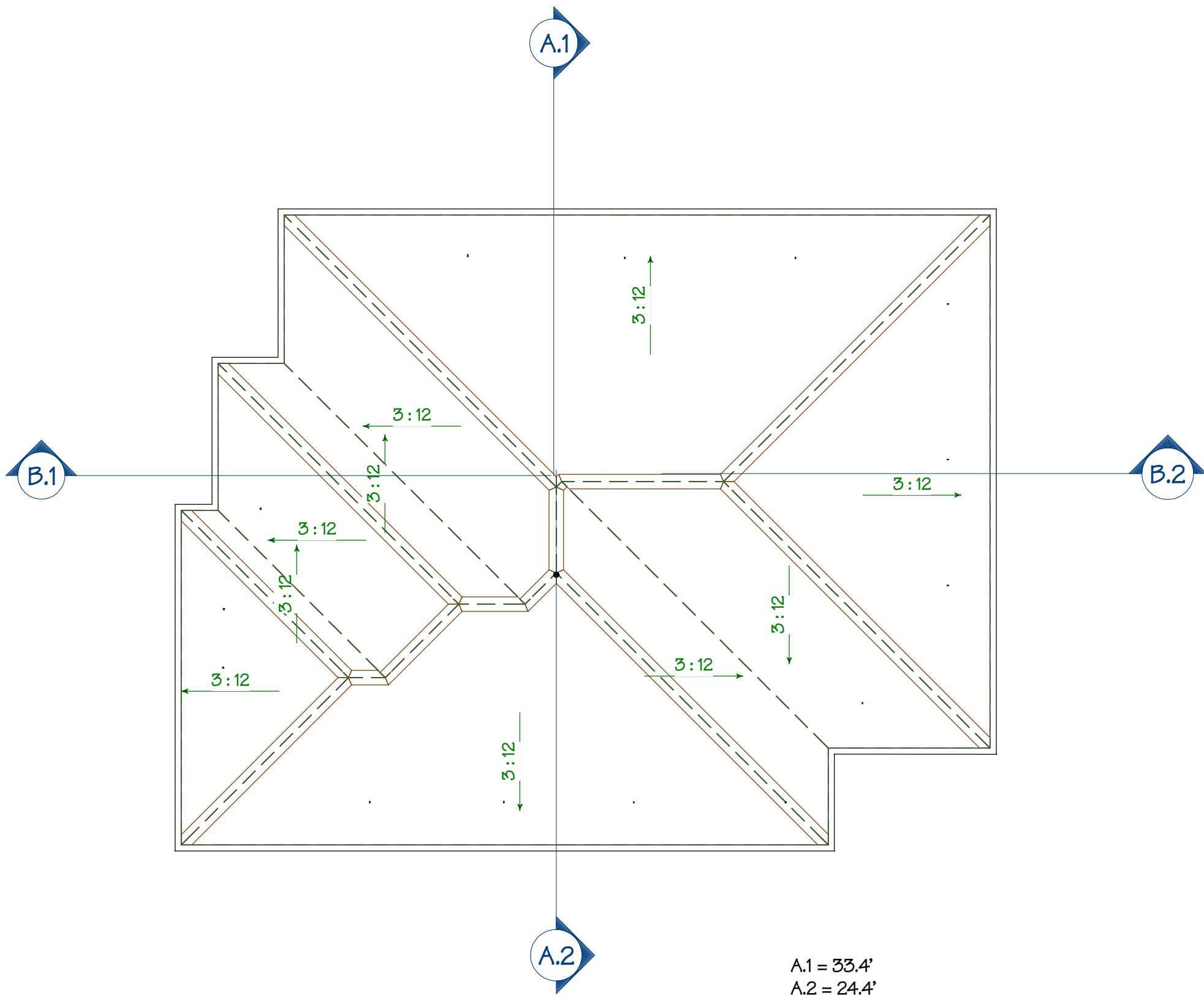


REVISIONS	BY
PLANNING 5-7-20	
PLANNING 8-19-20	

<b>HOMETEC</b> ARCHITECTURE, INC.	RICHARD A. HARTMAN A.L.A.	488995-0496 HometecArch@gmail.com
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Job	18-032
Sheet	<b>A-5</b>
of	Sheets

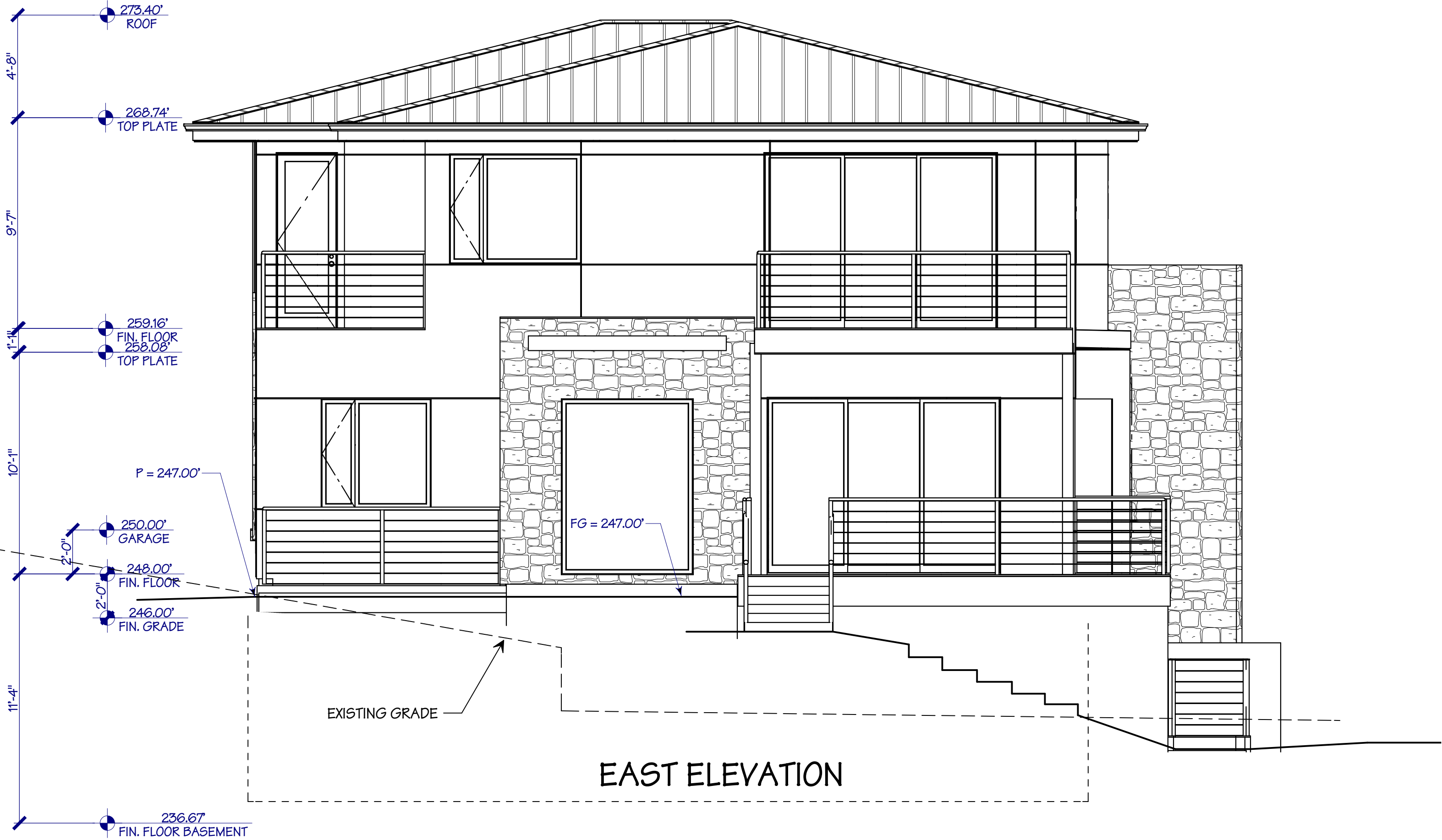


ROOF PLAN (HEIGHT)

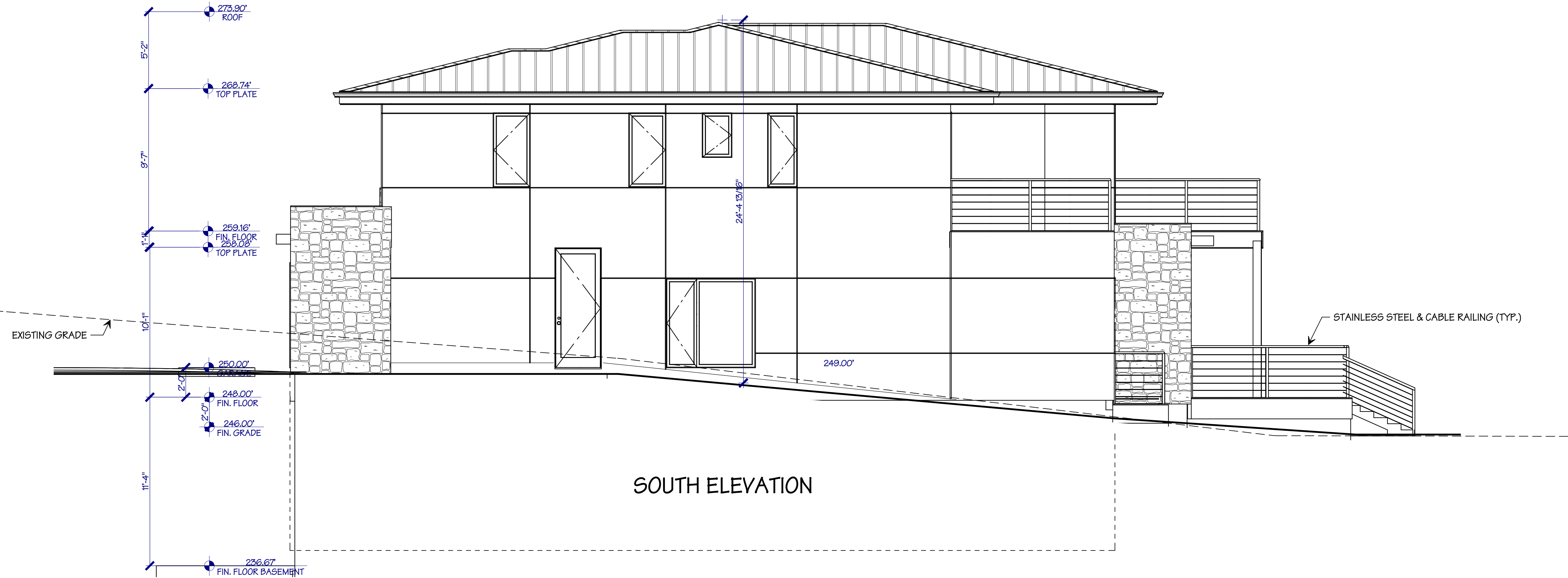
A.1 = 33.4'  
A.2 = 24.4'  
B.1 = 23.8'  
B.2 = 26.4'

$X = (A.1 + A.2) / 2$   
 $X = (33.4' + 24.4') / 2 = 28.9'$   
 $Y = (B.1 + B.2) / 2$   
 $Y = (23.8' + 26.4') / 2 = 25.1'$

$Z = (X+Y) / 2$   
 $Z = (28.9' + 25.1') / 2 = 27.0'$



EAST ELEVATION



SOUTH ELEVATION

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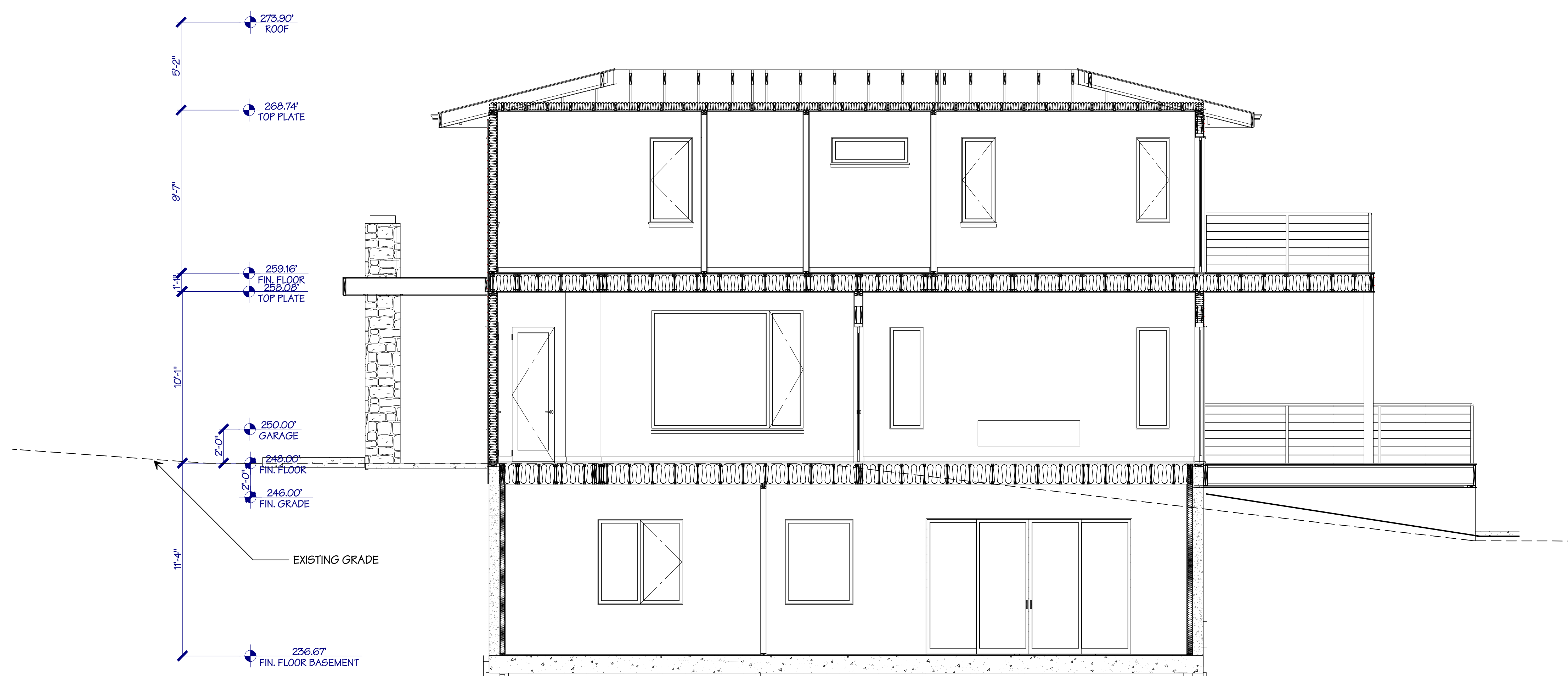
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Sheet	<b>A-6</b>
of	Sheets





2 SECTION



1 SECTION

REVISIONS		BY
PLANNING	5-7-20	
PLANNING	8-19-20	

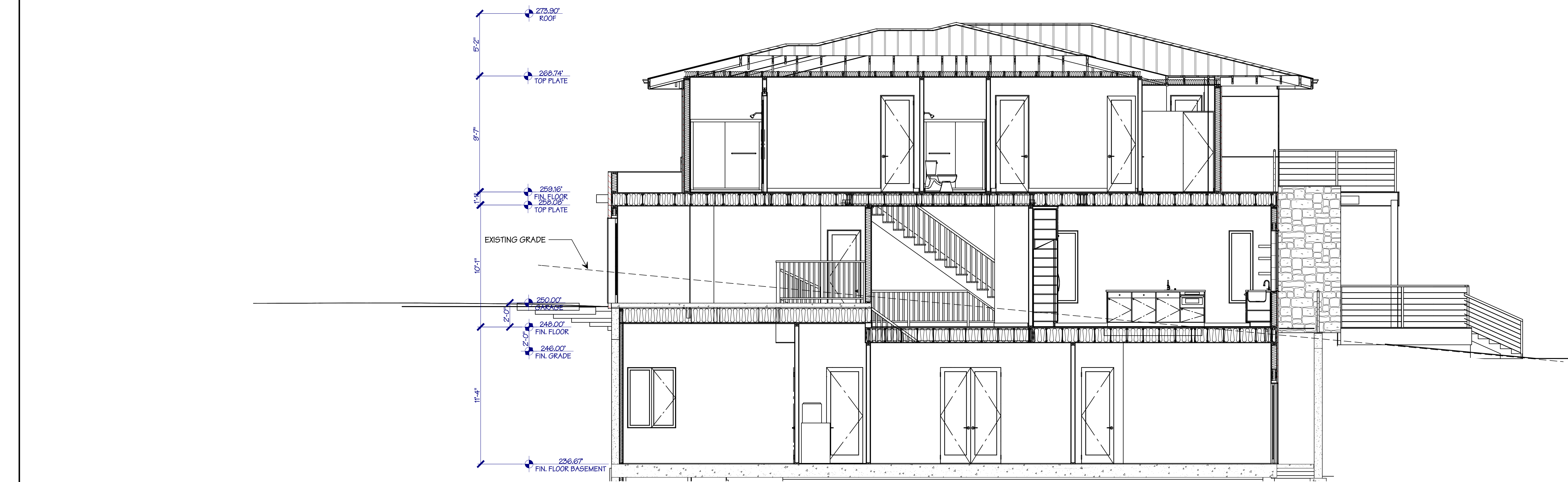
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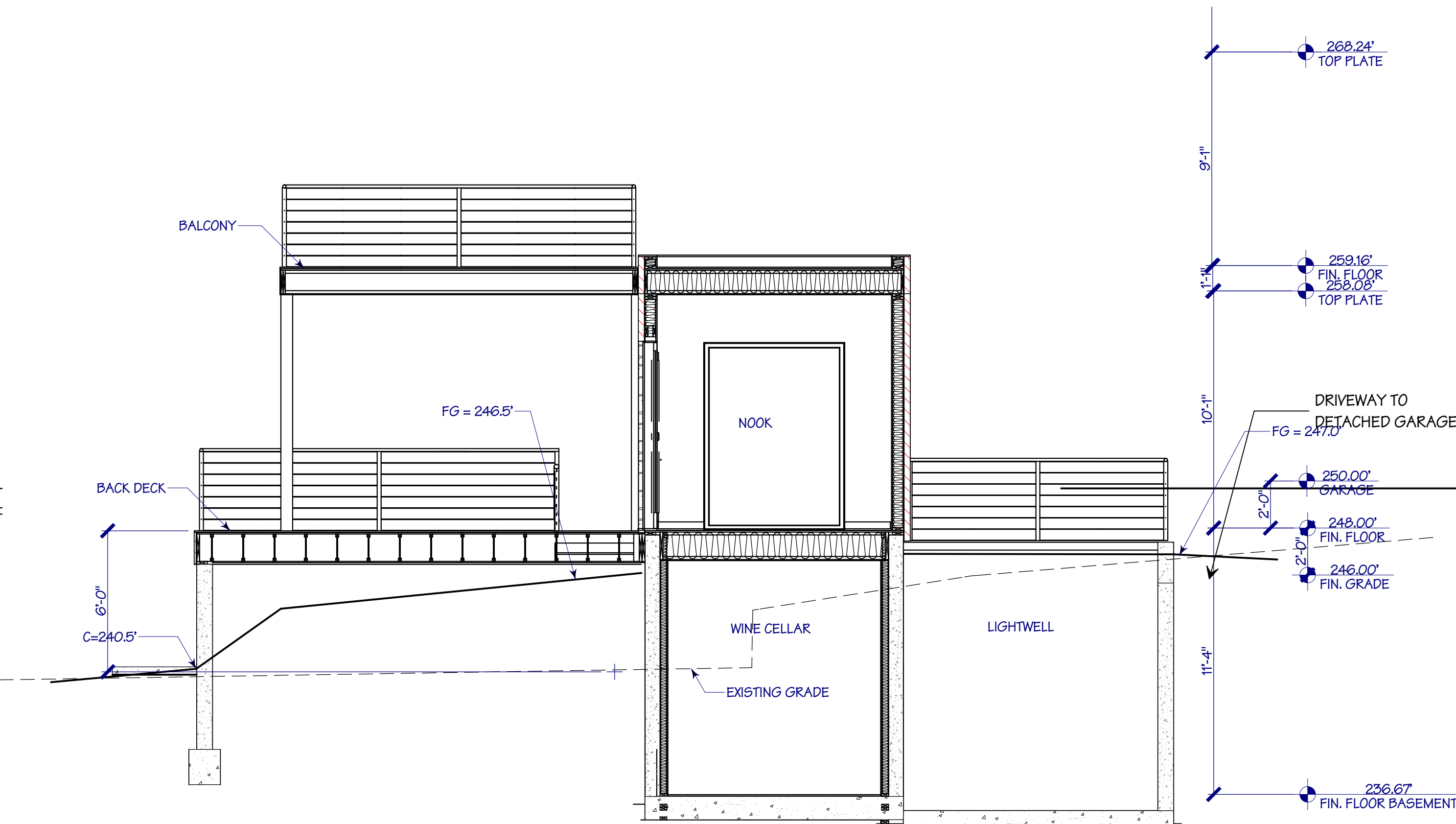
Date 9 - 4 - 20  
Scale 1/4" = 1'-0"  
Drawn RAH  
Job 18-032  
Sheet **A-7**  
of Sheets



3 SECTION



4 SECTION



5 SECTION

REVISIONS		BY
PLANNING	5-7-20	
PLANNING	8-19-20	

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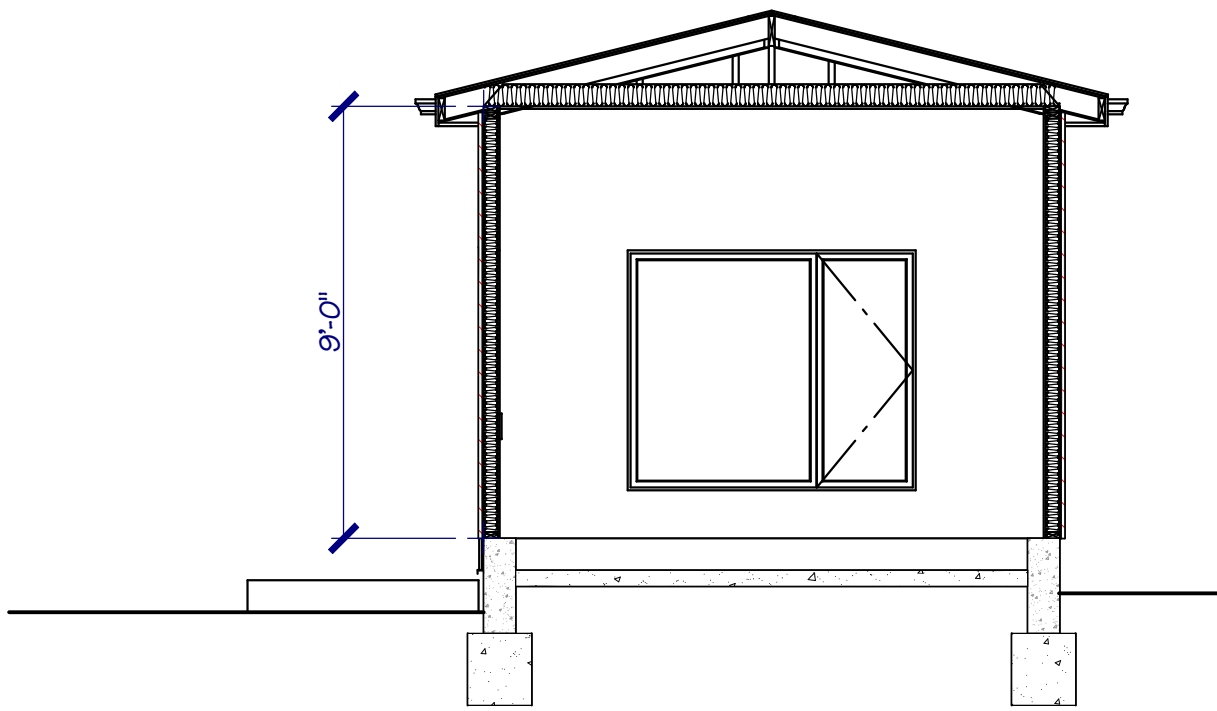
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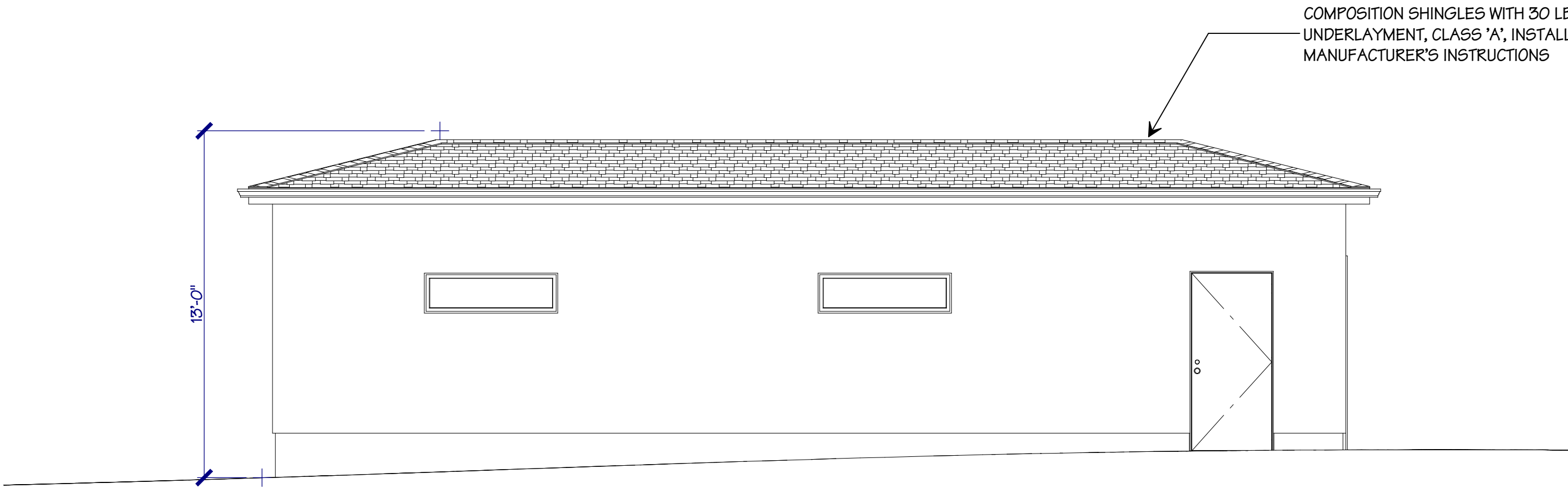
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of	Sheets





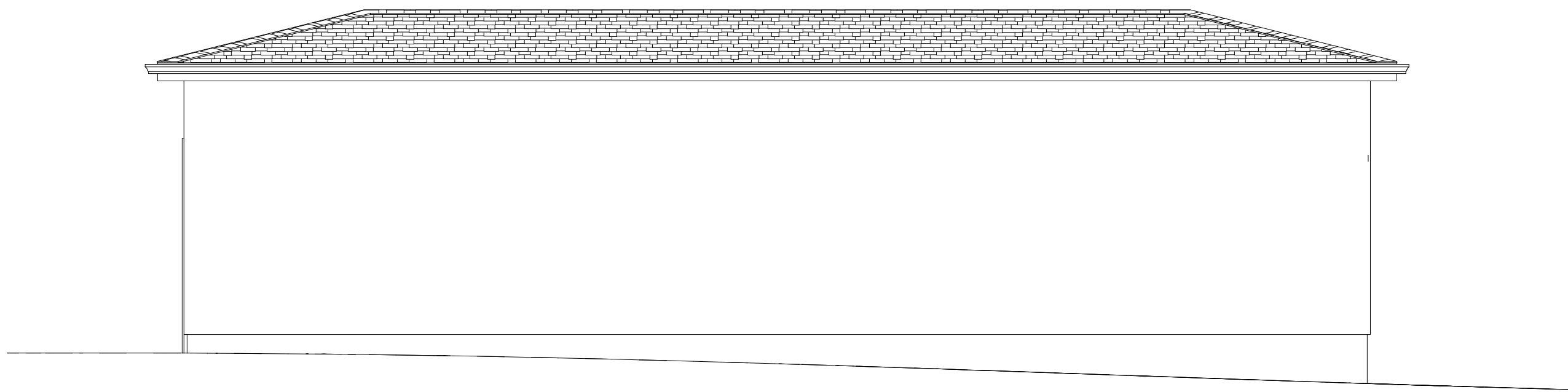
SECTION



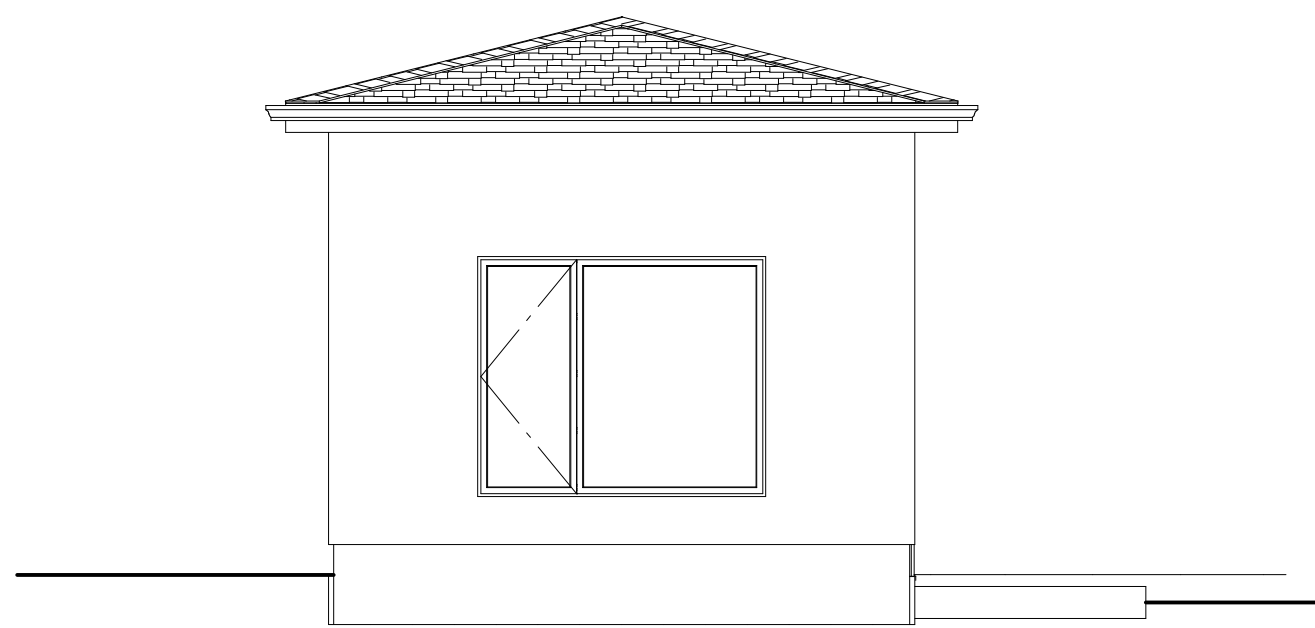
NORTH ELEVATION



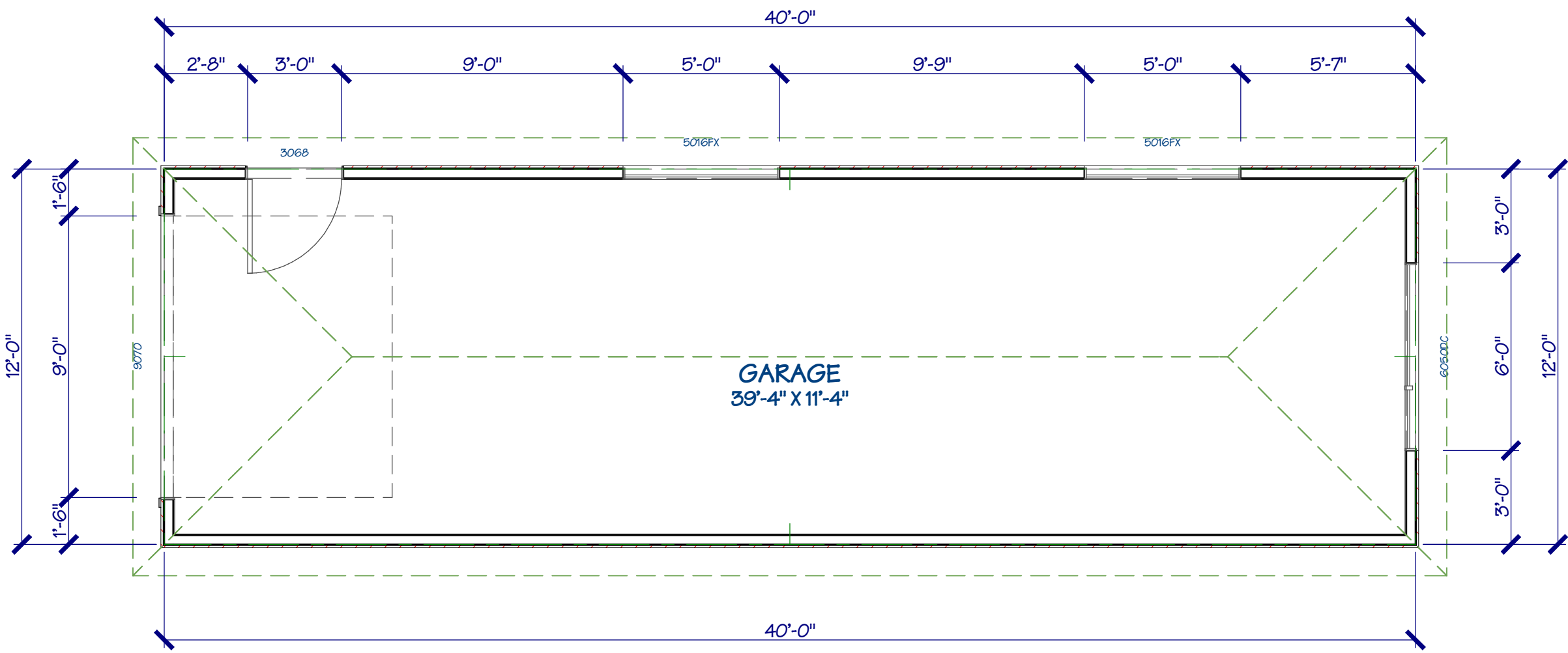
WEST ELEVATION



SOUTH ELEVATION

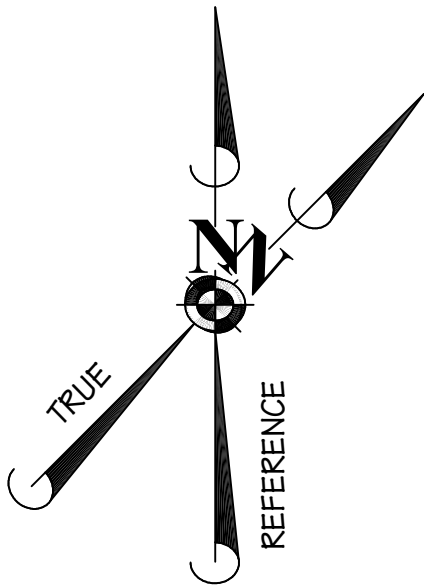


EAST ELEVATION



LIVING AREA  
480 SQ. FT.

DETACHED GARAGE FLOOR PLAN



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