County of Santa Clara

Department of Planning and Development Planning Office

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STAFF REPORT Zoning Administration November 12, 2020 Item #2

Staff Contact: Lara Tran, Associate Planner (408) 299-5759, <u>lara.tran@pln.sccgov.org</u>

File: PLN19-0068 Building Site Approval, Grading Approval and Design Review for a New Single-Family Residence.

Summary: Concurrent land use entitlement for a Building Site Approval, Grading Approval, and Design Review. The request includes the construction of a new 3,487 square foot single-family residence with a 480 square foot detached garage on a 0.33-acre underlying lot (APN 336-08-009). Associated site improvements include a new access driveway, removal of three (3) trees, and demolition of the existing single-family residence. Grading consists of 800 cubic yards of cut and 125 cubic yards of fill.

Owner: Alex Minkin Applicant: Alex Minkin Lot Size: 0.33 acre APN: 336-08-009 Supervisorial District: 5 Gen. Plan Designation: Los Altos Zoning: R1E-20-n1 Address: 540 Valley View Drive Present Land Use: Residential (SFR) HCP: N/A

RECOMMENDED ACTIONS

- A. Accept Categorical Exemptions, under Section 15303(a) of the CEQA Guidelines, Attachment A.
- **B.** Grant Building Site Approval, Grading Approval, and Design Review, subject to conditions outlined in Attachment B.

ATTACHMENTS INCLUDED

Attachment A – Proposed CEQA Determination Attachment B – Proposed Conditions of Approval Attachment C – Location & Vicinity Map Attachment D – Proposed Plans

PROJECT DESCRIPTION

The proposed project includes a request for a concurrent land use entitlement for a Building Site Approval, Grading Approval, and Design Review to allow construction of a 3,487 square- foot (sq. ft.) single-family residence with a 480 square foot detached garage. The proposed development also includes demolition of the existing residence, removal of an existing retaining wall, and construction of a new driveway. Pursuant to Zoning Ordinance Section 3.40.030(C)(1), the property is considered an "underlying lot" within the R1E-20-n1 combined zoning district of unincorporated Los Altos. Additionally, pursuant to Zoning Ordinance Section 3.40.030(C)(2)(a), the property is subject to a maximum floor area ratio of 25% of the net lot area, or 3,594 sq. ft. of total structure size. The proposed residence and the on-site improvements require 800 cubic yards of cut and 125 cubic yards of fill, for a total of 925 cubic yards of grading. The proposed project also requires the removal of three (3) non-native trees, two (2) of which, are ordinance-protected trees over 12 inches in diameter measured 4.5 feet from grade. The property is served by the City of Los Altos for water and sewer connection.

Setting/Location Information

The subject property has an existing single-family residence built in 1953, with a driveway located at the corner of Valley View Drive and Hillslope Place. Access to the subject property is provided via two public maintained roads, Valley View Drive and Hillslope Place. The property is located at the corner of Valley View Drive and Hillslope Place, in unincorporated Santa Clara County, within the City of Los Altos urban service area (USA). However, the property is not adjacent to, or abutting the City of Los Altos, and is beyond 300 feet from the nearest urban jurisdiction. For this reason, the subject property is not eligible for annexation.

The subject property has a dense mixture of trees and shrubs, with most of the trees fronting Valley View Drive. The average slope of the entire parcel is 19%, however, the project is utilizing part of the area of the existing residence as the building pad, and therefore, the project is located on a relatively flat site. The property is surrounded by similar, low density single-family residences that were built between the 1950s and 1960s, with homes that were rebuilt in the last decade. The neighborhood character consists of residences ranging in size from approximately 1,200 sq. ft. to 5,000 sq. ft., on properties less than (1) acre. The property is located near the Foothill Expressway, and is only 0.78 miles southeast of Highway 280.

The property is not located within the Santa Clara Valley Habitat Plan area and is not near any creeks, water course, and/or sensitive habitats.

REASONS FOR RECOMMENDATIONS

A. Environmental Review and Determination (CEQA)

The proposed project qualifies for a Categorical Exemption under Section 15303(a) of a new single-family residence. As such, an Initial Study and further analysis under the CEQA was not required.

B. Project/Proposal

1. General Plan: USA – Los Altos

- 2. **Building Site Approval**: Per County Ordinance Code Section C12-307, Building Site Approval (BSA) is required for new single-family or two-family dwellings, including any property within the R1E-20-n1 zoning district that is not a designated lot within an approved Parcel Map. The proposed project meets all development standards for the primary residence (minimum of 30 ft. at the front, minimum 25 ft. rear setback, minimum of 13 feet for side setback exception of Zoning Ordinance Section 4.20.110(C)(2), and a maximum height of 27 feet). An application for BSA was applied for on January 6, 2020 and will be approved simultaneously with the Design Review and Grading Approval analysis that is the subject of this application.
 - 3. **Zoning Standards**: The Zoning Ordinance specifies the required development standards for R1E-20-n1 Zoning District, as summarized below, followed by a Table A, noting the project's conformance with Section 3.40.030 "-n1" Combing District for underlying lots:

Main Residence	
Front Setback:	30 feet
Side Setbacks:	13 feet*
Rear Setback:	25 feet
Height:	27 feet
Stories:	2 stories
-n1 F.A.R.:	maximum floor area of 3,594 sq. ft. (based on 25% of net
	area for underlying lot).

*Per Zoning Ordinance Section 4.20.110(C)(2) for side setback reduction exception based on a narrow lot of having an exceptionally large depth-to-width ratio.

STANDARDS & REQUIREMENTS	CODE SECTION	Meets Standard (Y/N)*
Floor Area (F.A.R)	§ 3.40.30(C)(2)(a)	Y
Design Review - Neighborhood	§ 3.40.30(C)(2)(b)	Y*
Compatibility Underlying Lot Finding		
Accessory Structure (Less than 500	§ 3.40.30(C)(2)(c)	Y
sq. ft.).		

 Table A: Compliance with Development Standards for -n1 Combining District

*See Discussion in Design Review Finding for Underlying Lots in Section C below

C. Design Review Finding (-n1, Los Altos – Underlying Lot):

Per Section 3.40.030(C)(2)(b), development of any individual underlying lot in a -n combining district shall require Design Review. "*The review shall emphasize general neighborhood compatibility and impacts on adjacent properties.*" The required finding is listed below in **bold** and an explanation of how the project complies with the finding follows in plain text.

1. Mitigation of any adverse visual impacts from proposed structures, grading, vegetation removal and landscaping.

The proposed design will not create any visual impacts as it is below the 27 ft. maximum heigh for the proposed dwelling. Additionally, the overall design of the residence is tiered and stepped to minimize disturbance to the natural landscape. Grading is balanced to create the grading that is necessary for the establishment of the residential use. Retaining walls proposed to the rear is to limit the grading and disturbance as much as feasible due to the lot's natural topography, which descends near the rear of the lot. The property is also not in a visible area to the valley floor and, therefore, this finding can be made.

2. Compatibility with the natural environment;

The project proposes neutral and natural earth tones for the overall design of the residence which is consistent to the residential building colors of the neighborhood but also to the natural landscape. Additionally, the proposed grading is designed to contour to the natural topography to the maximum extent possible and the overall design of the residence is tiered and stepped to minimize disturbance to the natural environment. Therefore, this finding can be made.

3. Conformance with the "Design Review Guidelines," adopted by the Board of Supervisors

Although -n1 properties are not subject to the *Design Review Guidelines*, as a requirement of underlying lots in the -n1 district, "*the review shall emphasize general neighborhood compatibility and impacts on adjacent properties*." As mentioned in Finding Nos. 1 and 2, the proposed development will not have any visual impact to neighboring lots, as it is below the 27 ft. maximum height allowed for a dwelling, the overall size of the proposed residence is consistent to the housing sizes within the neighborhood, overall design of the residence is tiered and stepped to minimize disturbance to the natural landscape, and grading proposed is suitable and balanced to the minimal grading necessary to establish the single-family residential use. As such, this finding can be made with respect to the compatibility requirements for underlying lots in the -n combining district.

4. Compatibility with the neighborhood and adjacent development

The proposed project is a 3,487 square-foot residence with a 480 square-foot detached garage, located on a 14,374 square foot (0.33 acre) underlying lot. The neighborhood has a mixture of one to two story residences along Valley View Drive and Hillslope Place. Most of the homes located within the neighborhood (along Valley View Drive and Hillslope Place) range from 1,700 sq. ft. to more than 5,000 sq. ft. The proposed residence is compatible to neighboring properties, in terms of structure size, style and number of stories. The proposed residence is a two (2) story residence and is in keeping

with the average size of residences in the neighborhood, with a total structure size of 3,487 sq. ft. The project includes the construction of a basement, which is located below grade, with a wooden deck located in the rear, and a new retaining wall of less than 5 feet (also located in the rear of the property). It is important to note that the basement is not counted toward the total structure size for floor area calculation as it is below grade.

Like many of the neighboring properties, the proposed residence will include a modernstyle home with the garage facing Hillslope Place. The proposed residence offers design relief by utilizing multiple roof lines, undulating facades and materials and colors that are commonly found within the immediate neighborhood. The applicant proposes earth-toned colors of beige, brown, and gray for the body of the house and colors of olive and dark brown for the accents and trims for the exterior façade. All proposed colors are neutral and are compatible to the existing color façade of the adjacent homes within the neighborhood. As such, this finding can be made.

5. Compliance with applicable zoning district regulations.

The property has R1E-20-n1 zoning district, which is Urban Residential with -n1 (Los Altos) combined zoning district. The development is compliant to the current zoning district as the project proposes a 3,487 square-foot residence with a 480 square-foot detached garage, located on a 14,374 square foot (0.33 acre) underlying lot. Per Section 3.40.030(C)(2)(a), the property is subject to a maximum floor area ratio of 25% of the net lot area, or 3,594 sq. ft. of total structure size. The proposed square footage of the residence is below the maximum floor area. The proposed basement would not be counted towards the floor area as it is completely below grade. The proposed residence has at minimum 30 ft. front setback, which is consistent to the minimum front setback requirement for the R1E-20-n1 zoning district. The side-setback for the proposed residence on a narrow lot of having an exceptionally large depth-to-width ratio, per Section 4.20.110(C)(2). Additionally, the proposed residence is below the maximum 27 ft. height and has a rear setback of more than 25 ft. to the rear of the property. Therefore, this finding can be made.

6. Conformance with the general plan, any applicable specific plan, or any other applicable guidelines adopted by the Board of Supervisors or Planning Commission.

The proposed project conforms to General Plan policy *R-GD 22* which requires that the project be appropriately designed and minimizes any unnecessary grading. The proposed residence has tiered rooflines, incorporate natural-toned colors (similar to neighboring homes), and uses undulating facades. The grading is minimized to establish a single-family residential use on the property that will provide a safe and stable foundation for the house, basement, patio, and detached garage. Like neighboring residences and properties, the current project is in keeping with the average size of residences in the neighborhood, with a total structure size of less than 3,500 square feet.

D. Grading Approval: Pursuant to Section C12-433 of the County Ordinance Code, all Grading Approvals are subject to specific findings. In the following discussion, the scope of review findings are listed in **bold**, and an explanation of how the project meets the required standard is in plain text below.

1. The amount, design, location, and the nature of any proposed grading is necessary to establish or maintain a use presently permitted by law on the property.

The project's grading quantities are 800 cubic yards of cut and 125 cubic yards of fill. The proposed grading is necessary to establish the building pads for the residence (with a basement), detached garage, and a new driveway. These are allowable primary uses for the zoning district. Consequently, the amount, design, location and the nature of the proposed grading is necessary and appropriate to establish the single-family residential use, which is a permissible use in the R1E zoning district. As such, this finding can be made. For clarification, the breakdown of grading is quantified below.

Туре	Cut (CY)	Fill (CY)
Buidling Pads	625	75
Driveway	120	15
Hardscape	10	10
Landscape	45	25
Total	800	125

2. The grading will not endanger public and/or private property, endanger public health and safety, will not result in excessive deposition of debris or soil sediments on any public right-of-way, or impair any spring or existing watercourse.

The proposed grading will not endanger public or private property. The grading is minimized to establish a single-family residential use on the property that will provide a safe and stable foundation for the house, basement, patio, and detached garage. All export will be deposited at an approved site. The Conditions of Approval of final grading plans will ensure that grading around the building pads and driveway will not result in slope instability or erosion. Land Development Engineering has specific erosion control standards to be implemented as part of the driveway and grading design. As such, this finding can be made.

3. Grading will minimize impacts to the natural landscape, scenic, biological and aquatic resources, and minimize erosion impacts.

The proposed grading has been designed to contour to the natural topography to the maximum extent possible and the overall design the residence is tiered and stepped to minimize disturbance to the natural landscape. Retaining walls proposed to the rear is

to limit the grading and disturbance as much as feasible due to the lot's natural topography, which descends near the rear of the lot. The project will require removal of three (3) non-native trees, with two (2) trees that are ordinance-sized, the removal is necessary for the installation of a driveway and access to the detached garage. All new grading will utilize temporary erosion control masures during contruction that will be replace with long-term permanent erosion control measures in the form of natural landscaping. As such, this finding can be made.

4. For grading associated with a new building or development site, the subject site shall be one that minimizes grading in comparison with other available development sites, taking into consideration other development constraints and regulations applicable to the project.

The proposed location is suitable for a building site, as it utilizes the least amount of grading required since it is part an existing building pad for the original residence. The residence is located towards the front of Hillslope Place, with a driveway needed to access the detached garage located near the rear half of the property. The total grading quantities have been minimized to 800 cubic yards of cut and 125 cubic yards of fill to achieve a basement, a driveway, and the overall design of the residence is tiered and stepped to reduce bulk and massing. The project balances cut and fill to only utlize the grading cut that is necessary for the project that is consistent to the County's General Plan (*R-GD 23*). In this case, the grading cut is justified for the construction of a basement as part of the residential project. Unnessary grading to the rear of property is eliminared, which is consistent with the County's Grading Findings and the County's General Plan (*R-GD 22*) of unnessary grading on a property. In addition, the grading is designed to follow the natural contours of the property to the maximum extent possible. The proposed building site is the most suitable, as it minimizes the grading necessary for establishment of the single-family residence and, as such, this finding can be made.

5. Grading and associated improvements will conform with the natural terrain and existing topography of the site as much as possible, and should not create a significant visual scar.

The majority of the grading is necedssary to establish a basement as part of the residential use and a driveway to access the detached garage to the rear half of the property. Grading is minimized and limited to the establishment the primary use (residential) of the lot, and will not disturb any hillside or create any visual scar. Additionally, the project is utilizing part of the exising pad for the residence and is conforming to the natural terrain of the property by locating the house to the front of Hillslope Place and utilizing an existing building pad. As such, this finding can be made.

6. Grading conforms with any applicable general plan or specific plan; and

The proposed grading is in conformance with specific findings and policies identified in the County General Plan. For example, the total grading quantities have been minimized by utilizing part of the existing building pad and the overall design of the residence is tiered and stepped to reduce bulk and massing that is consistent with the County's General Plan R-GD22 and R-GD23 (see Finding 4 above), which discourages unnecessary grading and encourage utilizing existing building pads as much as possible. As such, this finding can be made.

7. Grading substantially conforms with the adopted "Guidelines for Grading and Hillside Development" and other applicable guidelines adopted by the County.

The proposed grading is in conformance with the adopted "*Guidelines for Grading and Hillside Development*," in particular, the specific guidelines for siting, building form, and design. The access driveway for the proposed residence is not required as the residence is utilizing Hillslope Place, which is an existing County maintained road. A driveway to access a detached garage is needed for vehicular accessibility. Additionally, the residence tiered with undulating facades to blend in with the natural terrain. The property is not visible from the valley floor, however, the owner is incorporating neutral colors and earth tones as part of the conformity to the natural landscape and neighbohood. Erosion control is conditioned with the County requirements of Land Development Engineering with final erosion control plans to be implemented with the final grading permit. As such, this finding can be made.

In conclusion, Staff recommends that the Zoning Administration Hearing Officer approve the concurrent land use entitlement for a Building Site Approval, Grading Approval, and Design Review. Per County Ordinance Section C12-307, Building Site Approval is required for a new single-family or two-family dwellings, including any property within the R1E-20-n1 zoning district that is not a lot within a Parcel Map or a numbered lot subdivision. The existing property is an underlying lot, and is part Lot 5 and Lot 6 within the Tract Map No. 248 of the "Summerhill Heights." As noted throughout this Staff Report, the proposed project meets all development standards for the primary residence (minimum of 30 ft. for front setback, minimum of 13 feet to the side setback per §4.20.110(C)(2), minimum of 25 feeet to the rear, and a maximum height of 35 feet) and all the findings for Grading Approval, and the Design Review compatibility finding for underlying lots within the -n1 combined zoning district.

BACKGROUND

On March 28, 2019, the property owner applied for Building Site Approval, Grading Approval, and Design Review for the demolition of an existing residence and construction of a new residence. The application is reviewed as a concurrent land use entitlement. The initial incomplete letter was issued on April 28, 2019, identifying incomplete items and issues of concern, primarily with the initial amount of excessive grading for the project.

Prior to a resubmittal, Planning Staff with the Zoning Administrator, had multiple meetings with the applicant to discuss grading issues of concern and recommended revisions to the project to bring the project into compliance with the County's General Plan goals and polices, and findings. It is important to note that although the property owner had not installed the project development sign within the first month of the project submittal, the owner installed a project development

sign on June 29, 2020. After several resubmittals, the project was deemed complete on September 22, 2020.

As part of the requirement for Early Public Outreach, the project was noticed on June 28, 2020 within a 300-foot radius and staff has not received any comments from the public. A public notice was also mailed to all property owners within a 300-foot radius of the project on October 29, 2020 and was also published in the Post Records on November 2, 2020 for the Zoning Administration Hearing date.

STAFF REPORT REVIEW

DocuSigned by:

Prepared by: Lara Tran, Associate Planner Reviewed by: Leza Mikhail, Zoning Administrator/Principal Planner

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ATTACHMENT A Proposed CEQA Determination

FILE NUMBER

ATTACHMENT A

STATEMENT OF EXEMPTION

from the California Environmental Quality Act (CEQA)

APN(S)

PLN19-0068	336-08-009	11/5/2020					
PROJECT NAME	APPLICATION TYPE						
Building Site Approval, Grading Approval, and Design Review; 540 Valley View Drive, Los Altos	Building Site Approval, Grading App Review	roval, and Design					
OWNER APPLICANT							
Alex Minkin	Alex Minkin						
PROJECT LOCATION							
540 Valley View Drive, Los Altos							
PROJECT DESCRIPTION							
Building Site Approval, Grading Approval, and Design Review for a 3,487 square foot single-family residence with a 480 square foot detached garage on a 0.33-acre lot. Associated improvements include access driveway, removal of three (3) trees, and demolition of the existing single-family residence. Grading consists of 800 cubic yards of cut and 125 cubic yards of fill.							
All discretionary development permits processed by the County Planning Office must be evaluated for compliance with the California Environmental Quality Act (CEQA) of 1970 (as amended). Projects which meet criteria listed under CEQA may be deemed exempt from environmental review. The project described above has been evaluated by Planning Staff under the provisions of CEQA and has been deemed to be exempt from further environmental review per the provision(s) listed below.							
CEQA (GUIDELINES) EXEMPTION SECTION							
Categorically Exempt – Section 15303(a) of a new single-family residence with detached garage.							
COMMENTS							
Proposed removal of 3 (non-native) trees on the property due to d and 125 cubic yards of fill (total 925 cubic yards).	levelopment. Grading consists of 800 c	ubic yards of cut					
APPROVED BY:							
Lara Tran, Associate Planner		2/2020 Date					
Approved by: <u>Lya Mikhail</u> <u>1272684C30A646B</u>							

ATTACHMENT B Proposed Conditions of Approval

ATTACHMENT B PRELIMINARY CONDITIONS OF APPROVAL BUILDING SITE APPROVAL, GRADING APPROVAL, AND DESIGN REVIEW

Date:	November 12, 2020
Owner/Applicant:	Alex Minkin
Location:	Hillslope Place, Los Altos, CA (APN: 336-08-009)
File Number:	PLN19-0068
CEQA:	Categorically Exempt – Section 15303, Class 3(a).
Project Description:	Concurrent land use entitlement for a Building Site Approval, Grading
	Approval, and Design Review for a 3,487 square foot single-family
	residence with a 480 square foot detached garage on a 0.33-acre
	underlying lot. Associated improvements include access driveway,
	removal of three (3) trees, and demolition of the existing single-family
	residence. Grading consists of 800 cubic yards of cut and 125 cubic yards
	of fill.

For any question regarding the following preliminary conditions of approval, contact the person listed for that agency. S/he represents a specialty and can provide details about the conditions of approval.

Agency	Name	Phone	E-mail
Planning	Lara Tran	(408) 299-5759	lara.tran@pln.sccgov.org
Land Development Engineering	Ed Duazo	(408) 299-5733	ed.duazo@pln.sccgov.org
Fire Marshall	Alex Goff	(408) 299-5763	alex.goff@sccfd.org
Environmental Health	Darrin Lee	(408) 299-5748	darrin.lee@cep.sccgov.org
Roads and Airport	Leo Camacho	(408) 573-2464	leo.camacho@rda.sccgov.org
Geology	Jim Baker	(408) 299-5774	jim.baker@pln.sccgov.org
Building Inspection		(408) 299-5700	

STANDARD CONDITIONS OF APPROVAL

Building Inspection

1. For detailed information about the requirements for a Building Permit, obtain a Building Permit Application Instruction handout from the Building Inspection Office or visit the website at <u>www.sccbuilding.org</u>.

Planning

2. Development must take place in substantial conformance with the approved civil plans, prepared by Clark Civil Engineering and architectural plans prepared by Rick Hartman, AIA, from Hometec Architecture Inc., submitted on August 20, 2020 and these Conditions of Approval. Any changes to the proposed project may result in additional

environmental review, pursuant to the California Environmental Quality Act, or additional Planning review and a public hearing.

- 3. The approval does not otherwise approve any unpermitted structures located on the property. All structures and grading located within Santa Clara County jurisdiction that require a permit are subject to compliance with and issuance of County permits.
- 4. Existing zoning is R1E-20-n1. Maintain the following minimum residential setbacks:

Front:	30 feet
Sides:	13 feet*
Rear:	25 feet
Height:	27 feet (maximum)
Stories:	2 (maximum)

* Per Zoning Ordinance Section 4.20.110(C)(2) for side setback reduction exception based on a narrow lot of having an exceptionally large depth-to-width ratio.

- 5. Floor Area Ratio (F.A.R) is limited to a maximum of 3,594 sq. ft. (25% of net lot size per Section 3.40.30(C)(2)(a)). Any detached accessory structure over 500 sq. ft. shall be counted towards the F.A.R.
- 6. Grading consists of 800 cubic yards of cut and 125 cubic yards of fill (total 925 cubic yards) with a maximum vertical depth of 16 feet. Any increase in grading quantities, or modification to the grading design, is subject to further review and may require a Grading Approval and associated fees.
- 7. Any excess fill shall be taken off-site to an approved disposal location. A note of this requirement shall be incorporated into the civil plan.
- 8. Two (2) off-street parking spaces are required for the residence where one (1) must be covered.
- 9. Any detached accessory structures shall be in the rear half of the lot, or at least 75 ft. from the front property line or edge of right-of-way, per Sections 4.20.020(D). Rear yard coverage of cumulative detached accessory structures shall not be more than 30%, which excludes green houses or agricultural structures.
- 10. Any accessory structures shall not contain more than two (2) internal plumbing fixtures per Section 4.20.020(I)(1). Further review of a Special Permit and associated fees may be required if additional plumbing fixtures are proposed.
- 11. If archaeological resources or human skeletal remains are discovered during construction, work shall immediately stop, and the County Coroner's Office notified. Upon determination that the remains are Native American, no further disturbance of the site may be made except as authorized by the County Coordinator of Indian Affairs, in

accordance with state law and Chapter B6-18 of the County Ordinance Code.

Land Development Engineering

12. Property owner is responsible for the adequacy of any drainage facilities and for the continued maintenance thereof in a manner that will preclude any hazard to life, health or damage to adjoining property.

Environmental Health

13. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m. on weekdays and Saturdays, or at any time on Sundays for the duration of construction.

<u>CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO BUILDING AND/OR</u> <u>GRADING PERMIT ISSUANCE</u>

Planning

- 14. **Prior to issuance of any permits**, the applicant shall pay all reasonable costs associated with the work by the Department of Planning and Development.
- 15. **Prior to issuance of a building permit**, and pursuant to Zoning Ordinance Section 5.20.125, record a Notice of Permit and Conditions with the County Office of Clerk-Recorder to ensure that successor property owners are aware that certain conditions of approval shall have enduring obligation. Evidence of such recordation shall be provided **prior to building permit issuance**.
- 16. **Prior to issuance of a building permit**, obtain a demolition permit to demolish the existing residence and retaining wall.
- 17. For all trees to be retained with a canopy in the development area or interfaces with the limits of any proposed development on-site, the trees shall be protected by the placement of 5-foot tall rigid tree protective fencing as **shown on final building plans** and must include the following:
 - A. Fencing should be placed along the outside edge of the dripline of the tree or grove of trees,
 - B. The fencing should be maintained throughout the site during the entire construction period and should be inspected periodically for damage and proper functions,
 - C. Fencing should be repaired, as necessary, to provide a physical barrier from construction activities,
 - D. The following sign shall be placed on all tree protection fencing and must remain until final occupancy. The sign must read: "Warning. This fencing shall not be removed without permission from the Santa Clara County Planning Office. County of Santa Clara tree protection measures may be found at: http://www.sccplanning.gov, or call (408) 299-5770 for additional details."
- 18. **Prior to building permit issuance**, provide a survey review letter for foundation to confirm the residential side setbacks are at a minimum of 13 feet.

19. **Prior building permit issuance**, provide a floor area ratio (F.A.R.) calculation based on the net lot area of the parcel. The calculation shall be calculated, verified, signed, and stamped by a registered civil engineer, a licensed architect, or a licensed land surveyor.

Geology

20. Submit a Plan Review Letter that confirms the plans conform with the recommendations presented in the approved report.

Land Development Engineering (LDE)

21. Obtain a Grading Permit from Land Development Engineering (LDE) prior to beginning any construction activities. Issuance of the grading permit is required prior to LDE clearance of the building permit (building and grading permits may be applied for concurrently). The process for obtaining a grading permit and the forms that are required can be found at the following web page:

<u>www.sccgov.org</u> > I Want to... > Apply for a Permit > Grading Permit.

If the County Roads and Airports Department provides a condition of approval to obtain an encroachment permit, for your convenience, the grading and encroachment permits will be processed concurrently under one set of improvement (grading) plans. Please contact LDE at (408) 299-5734 for additional information and timelines.

- 22. Final plans shall include a single sheet which contains the County standard notes and certificates as shown on County Standard Cover Sheet. Plans shall be neatly and accurately drawn, at an appropriate scale that will enable ready identification and recognition of submitted information.
- 23. Final improvement plans shall be prepared by a licensed civil engineer for review and approval by LDE and the scope of work shall be in substantial conformance with the conditionally approved preliminary plans on file with the Planning Office. Include plan, profile, typical sections, contour grading for all street, road, driveway, structures, and other improvements as appropriate for construction. The final design shall be in conformance with all currently adopted standards and ordinances. The following standards are available on-line:
 - March 1981 Standards and Policies Manual, Volume 1 (Land Development) www.sccplanning.org > Plans & Ordinances > Land Development Standards and Policies
 - 2007 Santa Clara County Drainage Manual www.sccplanning.org > Plans & Ordinances > Grading and Drainage Ordinance.
- 24. Survey monuments shall be shown on the improvement plan to provide sufficient information to locate the proposed improvements and the property lines. Existing monuments must be exposed, verified and noted on the grading plans. Where existing monuments are below grade, they shall be field verified by the surveyor and the grade shall be restored and a temporary stake shall be placed identifying the location of the found monument. If existing survey monuments are not found, temporary staking

delineating the property line may be placed **prior to construction** and new monuments shall be set **prior to final acceptance of the improvements**. The permanent survey monuments shall be set pursuant to the State Land Surveyor's Act. The Land Surveyor / Engineer in charge of the boundary survey shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.

- 25. The improvement plans shall include an Erosion and Sediment Control Plan that outlines seasonally appropriate erosion and sediment controls during the construction period. Include the County's Standard Best Management Practice Plan Sheets BMP-1 and BMP-2 with the Plan Set.
- 26. All applicable easements affecting the parcel(s) with benefactors and recording information shall be shown on the improvement plans.
- 27. Provide a drainage analysis prepared by a licensed civil engineer in accordance with criteria as designated in the 2007 County Drainage Manual (see Section 6.3.3 and Appendix L for design requirements). The on-site drainage will be controlled in such a manner as to not increase the downstream peak flow for the 10-year and 100-year storm event or cause a hazard or public nuisance. The mean annual precipitation is available on the on-line property profile.
- 28. All new on-site utilities, mains and services shall be placed underground and extended to serve the proposed development. All extensions shall be included in the improvement plans. Off-site work should be coordinated with any other undergrounding to serve other properties in the immediate area.
- 29. Include one of the following site design measures in the project design: (a) direct hardscape and/or roof runoff onto vegetated areas, (b) collect roof runoff in cisterns or rain barrels for reuse, or (c) construct hardscape (driveway, walkways, patios, etc.) with permeable surfaces. Though only one site design measure is required, it is encouraged to include multiple site design measures in the project design. For additional information, please refer to the C.3 Stormwater Handbook (June 2016) available at the following website:

<u>www.scvurppp.org</u> > Resources > reports and work products > New Development and Redevelopment >C.3 Stormwater Handbook (June 2016)

- 30. Submit one (1) copy of the signed and stamped of the geotechnical report for the project.
- 31. Submit a plan review letter by the Project Geotechnical Engineer certifying that the geotechnical recommendation in the above geotechnical report have been incorporated into the improvement plan.

Environmental Health

32. **Prior to issuance of a building permit**, obtain and provide a will serve letter from Los Altos Sanitary Sewer District.

33. **Prior to issuance of a building permit**, obtain and provide a water will serve letter from California Water Company.

Fire Marshal's Office

- 34. **Prior to approval of the foundation,** fire protection water system shall be installed, functioning, and inspected. System shall be maintained in good working order and accessible throughout construction. A stop work order may be placed on the project if the required hydrant systems are not installed, accessible, and/or functioning.
- 35. The minimum fire-flow shall be 1,500 gpm at 20 psi. The hydrant is to be located within 250 ft. from the driveway.
 - A. At the time of plan submittal for building permit, provide written verification from the water company that this condition can be satisfied.
 - B. The fire-flow may be adjusted depending upon the final size of the structure shown on the building permit set of drawings.
- 36. Fire Department access are minimum Fire Marshal standards. Should the access standards conflict with any other local, State, or Federal requirements, the most restrictive shall apply.
- 37. All required access roads, driveways, turnarounds, and turnouts shall be installed, and serviceable prior to approval of the foundation, and shall be maintained throughout construction. A stop work order may be placed on the project if required driving surfaces are not installed, accessible, and/or always maintained.
- 38. Driveways (roads serving only one lot) shall comply with the following when the distance between the centerline of the access road and any portion of the structure exceeds 150 ft. (measured along the path of travel).
 - A. Width: Clear width of drivable surface of 14 ft.
 - B. Vertical Clearance: Minimum vertical clearance of 13 ft. 6 in. shall be maintained between the access road and the building site (trim or remove, tree limbs, electrical wires, structures, and similar improvements).
 - C. Curve Radius: Inside turn radius for curves shall be a minimum of 42 ft.
 - D. Grade: Maximum grade shall not exceed 15%. Grades exceeding 15% shall be paved in compliance with County Standard SD5.
 - E. Surface: All driving surfaces shall be all-weather and capable of sustaining 75,000 pounds gross vehicle weight.

Roads and Airport

- 39. Prior to any work performed in the County Road Right of Way (ROW) and prior to Building Permit issuance, obtain a Santa Clara County Roads and Airports Department (RAD) Encroachment Permit for the following required improvements:
 - A. Improvement of the property's Hillslope Place frontage to County Standard B/4A.

- B. Installation of the driveway approach to County Standard B/4.
- C. Removal of any vegetation or other obstructions necessary to provide adequate lineof-sight at the driveway approach locations that will remain.
- 40. The process for obtaining an Encroachment Permit and the forms that are required can be found at: <u>www.countyroads.org</u> > Services > Apply for Permits > Encroachment Permit.
- 41. Demonstrate that the post-development maximum flow rate into the County Road rightof-way is equal-to or less-than the pre-development corresponding storm event flow rate per the County Drainage Manual. Provide engineered plans and drainage calculations for any detention or retention system necessary to satisfy this requirement.
- 42. Obtain Tree Removal Approval prior to any tree removal, replacement, or relocation within the ROW. The process for obtaining approval for a tree removal and the forms that are required can be found at: <u>www.countyroads.org</u> > Services > Apply for Permits > Tree Removal from County Right-of-Way.

<u>CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO OCCUPANCY OR</u> <u>ONE YEAR FROM THE DATE OF THE LAND DEVELOPMENT AGREEMENT,</u> WHICHEVER COMES FIRST.

Geology

43. **Prior to final inspection**, submit a Construction Observations Letter that verifies the work was completed in accordance with the approved plans. (A note to that effect should be stamped on the plans.)

Land Development Engineering

- 44. Existing and set permanent survey monuments shall be verified by inspectors **prior to final acceptance of the improvements** by the County. Any permanent survey monuments damaged or missing shall be reset by a licensed land surveyor or registered civil engineer authorized to practice land surveying and they shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.
- 45. Construct all the improvements. Construction staking is required and shall be the responsibility of the developer.

Fire Marshal's Office

- 46. **Prior to occupancy,** an approved residential fire sprinkler system complying with SP-6 shall be installed throughout the structure (including existing residences when square footage is added).
- 47. **Prior to occupancy**, the fire sprinkler system shall be installed and finaled by the Fire Marshal Office.
- 48. Prior to installation, a separate permit shall be obtained from Fire Marshal Office by a

state licensed C-16 contractor. Please allow for a minimum of 30 days for plan review of fire sprinkler plans by the Fire Marshal Office.

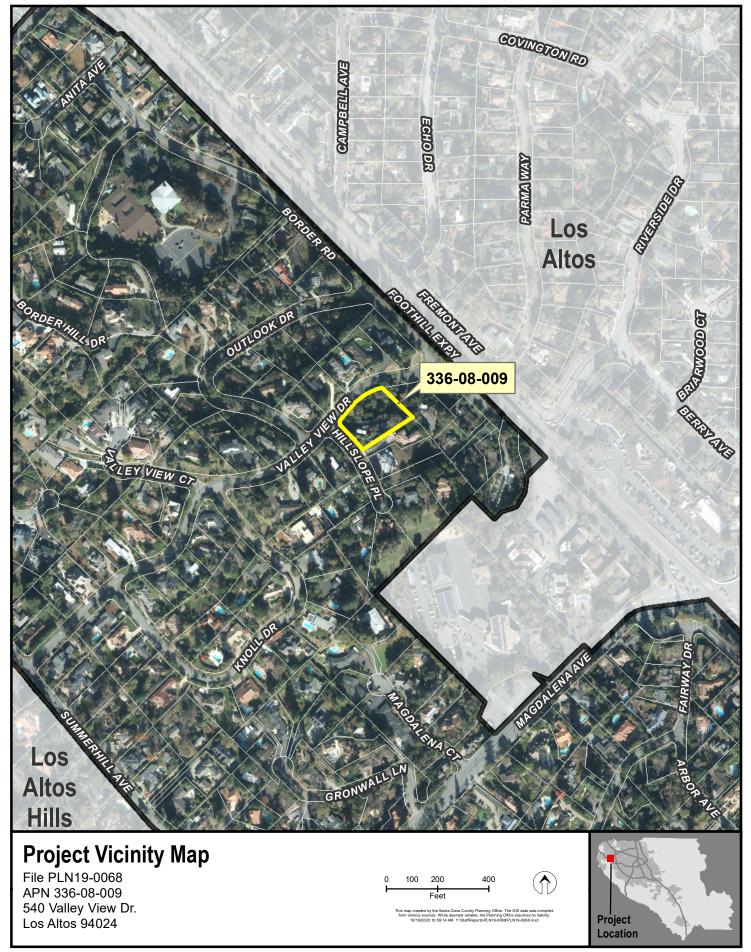
Roads and Airports

49. Construct all the improvements approved under the Encroachment Permit.

Environmental Health

50. Provide proof of garbage service **at the time of final occupancy sign-off**. Garbage service in the unincorporated areas of Santa Clara County is mandatory.

ATTACHMENT C Location & Vicinity Map



Attachment C

ATTACHMENT D Proposed Plans

COUNTY OF SANTA CLARA <u>General Construction</u> <u>Specifications</u>

GENERAL CONDITIONS

- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY: SILICON VALLEY SOIL ENGINEERING, 2391 ZANKER ROAD, SUITE 350, SAN JOSE, CALIFORNIA 95131 (408) 324-1400. REPORT No. SV1896 AND DATED MARCH 21, 2019. THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS. 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS. 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE
- COUNTY DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
- DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL
- DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
- DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT
- REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
- ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
- . UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (4008) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION B6-18).
- THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

CONSTRUCTION STAKING

- THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND
- GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB. ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED
- LAND SURVEYOR. PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE
- BEGINNING OF THE WORK. PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

CONSTRUCTION INSPECTION

- CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT. SANTA CLARA COUNTY
- PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR
- GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION. INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF
- MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
- THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR TO COMMENCEMENT OF THE BUILDING FOUNDATION.

SITE PREPARATION (CLEARING AND GRUBBING)

- EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
 - A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF 1. PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
 - B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE
- NOTED ON THE PLANS. 2. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE
- UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.
- JTILITY LOCATION, TRENCHING & BACKFILL
- CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND
- UTILITIES. ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
- ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE. UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED
- OUTSIDE THE PAVED AREAS. TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS
- DIRECTED BY THE COUNTY. TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
- BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

RETAINING WALLS

- REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING CONTINUAL CONTROL OF THE COUNTY INSPECTOR. INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL
- SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

GRADING

- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IS SHALL BE STRIPPED OF ALL VEGETATION. TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEYED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
- EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S)
- DELINEATED ON THE PLAN. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE
- 5. THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.

PE S	SHALL BE 2 HORIZO	NTAL TO 1	VERTICAL.	
	LOCATION	CUT (C.Y.)	FILL (C.Y.)	VERT. DEPTH
	RESIDENCE	525	60	16'
	ACCESSORY STRUCTURE	100	15	2'
	POOL/HARDSCAPE	10	10	1'±
	LANDSCAPE	45	25	2.75'

	NOTE:	FILL	VOLUMES	INCLUDE	10% SH	HRINKAGE.	
EXCESS MATERIAL	SHALL	BE	OFF HAUL	ED TO A	COUNT	Y APPROVED	DUN

- SITE. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY
- GRADING WORK TO COORDINATE THE WORK IN THE FIELD. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER
- BEFORE IT IS BROUGHT TO THE SITE. 9. THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE
- CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95% 10. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95%
- RELATIVE COMPACTION. 11. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY
- ENGINEER FOR BUILDING OCCUPANCY. 12. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.
- 13. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE
- DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL. 14. TOTAL DISTURBED AREA FOR THE PROJECT
- 15. WDID NO._
- 16. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

TREE PROTECTION

- FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE. THE TREES SHALL BE PROTECTED BY THE PLACEMEN⁻ OF RIGID TREE PROTECTIVE FENCING. CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING
- FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIPLINE OF THE TREE OR GROVE OF TREES. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE
- CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION. FENCING SHALL BE REPAIRED, AS NECESSARY. TO PROVIDE A PHYSICAL
- BARRIER FROM CONSTRUCTION ACTIVITIES. SIGNAGE STATING, "WARNING- THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT
- http://www.sccplanning.gov." SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE
- FENCING SHALL BE SECURELY IN PLACED AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

ACCESS ROADS AND DRIVEWAYS

- DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PFR FOOT)
- ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
- THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
- ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
- ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC..

STREET LIGHTING

SANITARY SEWER

- PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.
- THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
- ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION AFTERCONSTRUCTION. OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

PORTLAND CEMENT CONCRETE

CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE

APPLICANT:

- MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL

- REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS.

LOCATION	CUT (C.Y.)	FILL (C.Y.)	VERT. DEPTH
RESIDENCE	525	60	16'
ACCESSORY STRUCTURE	100	15	2'
POOL/HARDSCAPE	10	10	1'±
LANDSCAPE	45	25	2.75'
DRIVEWAY	120	15	4.5'
OFF SITE IMPROVEMENTS	0	0	0
TOTAL	800	125	

	NOTE:	FILL	. vol	UMES	INC	CLUI	DE	10%	SHF	RINKAGE.	
S MATERIAL	SHALL	BE	OFF	HAULI	ED	то	Α	COUN	ITY	APPROVED	DUN

PROJECT SITE

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING

AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED. SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER

SWEEPING IS PROHIBITED. 6. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.

7. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR. 8. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.

9. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED. A. 15 MILES PER HOUR (MPH) SPEED LIMIT B. 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES

TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR

POLLUTION COMPLAIN HOTLINE OF 1-800-334-6367. 10. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING. 11. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE

12. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SD8. 13. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATERS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.

14. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE. 15. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.

16. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR. 17. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPS) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT. CONSTRUCTION MATERIALS. EXCAVATED MATERIALS. AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPS SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:

A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS.

B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET

WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY. 18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.

19. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON. WEATHER. AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE SITE AND SITUATIONALY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

STORM DRAINAGE AND STORMWATER MANAGEMENT

1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR

PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAS612008 / ORDER NO. R2-2009-0047 AND NPDES PERMIT CAS000004/ ORDER NO. 2013-0001-DWQ.

DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.

WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW.

UPON INSTALLATION OF DRIVEWAY CONNECTIONS. PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES. 5. THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (____ WERE) (____ WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (^). THERE (____WERE) WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL Δ .

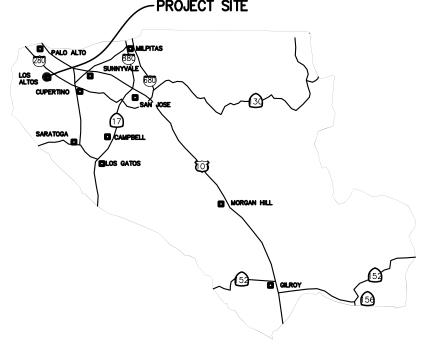
NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPYOF

SIGNATURE

GEOTECHNICAL ENGINEER OBSERVATION

1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL

AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.



COUNTY LOCATION MAP

SURVEY MONUMENT PRESERVATION

ACTIVITIES.

THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION

- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG OR OTHERWISE IDENTIFY WITH PAINT OR OTHER MARKINGS ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY.
- THE LANDOWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS AND RESET PERMANENT MONUMENT(S) IN THE SURFACE OF THE NEW CONSTRUCTION OR SET A WITNESS MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT COULD BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.

PROPOSED CONDITION

LOT AREA: 14,467.86 SF NEW BUILDING (ROOF): 2,400 SF DETACHED GARAGE (ROOF): 645 SF PATIO/DECK: 348 SF HARDSCAPE: 354 SF DRIVEWAY: 1,590 SF TOTAL IMPERVIOUS AREA: 5,337 SF IMPERVIOUS INCREASED: +437 SF

PERVIOUS AREA: 9,130.86 SF TOTAL PERVIOUS AREA: 9.130.86 SF

BOUNDARY

NOTE: BOUNDARY INFORMATION SHOWN DOES NOT CONSTITUTE A BOUNDARY SURVEY BUT IS COMPILED FROM RECORD DATA. NO WARRANTY OF BOUNDARY INFORMATION IS EXPRESSED OR IMPLIED AND THE LOCATION OF TOPOGRAPHIC FEATURES IN RELATION TO THE PROPERTY LINES IS ACCURATE ONLY TO THE NORMAL AND USUAL STANDARDS OF GRAPHICS AND TOPOGRAPHIC SURVEYING.

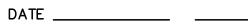
COUNTY OF SANTA CLARA DEPT.	OF ROADS AND AIRPORTS
ISSUED BY:	DATE:
ENCROACHMENT PERMIT NO.	

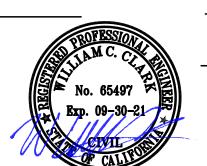
NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT-OF-WAY WITHUOT AN ENCROACHEMENT PERMIT. INCLUDING THE STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.

ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED FILE(S) NO. _____

SIGNATURE





COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE



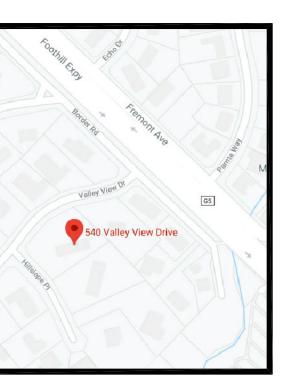
TENSION

BAR (OPT)

PIPE 2" 0.C. -

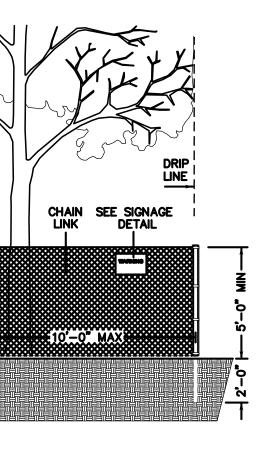
4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION. 5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

GRADING / DRAINAGE PERMIT NO. ISSUED BY: _____



VICINITY MAP

NTS



EXISTING TREE PROTECTION DETAILS

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS. 2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY). 3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET

COUNTY OF SANTA CLARA LAND DEVELOPMENT ENGINEERING & SURVEYING DATE:__

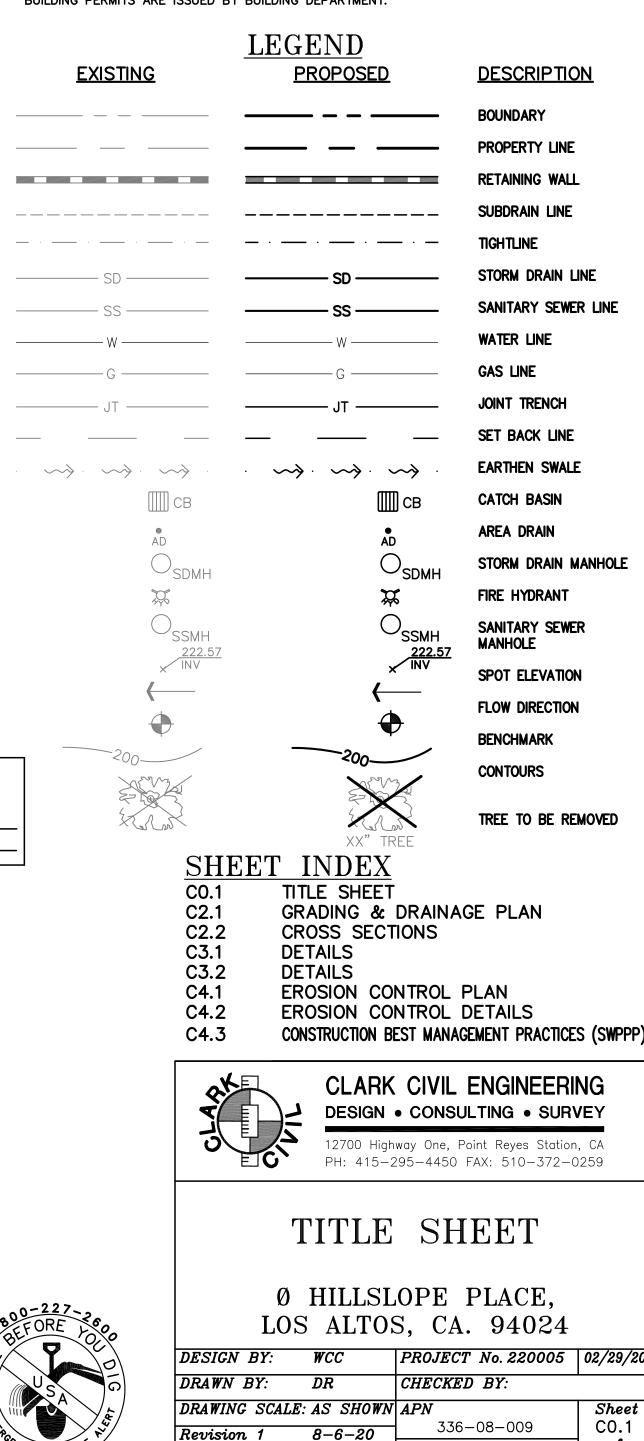
65497
R.C.E. NO.
09-30-21
EXPIRATION DATE

NEW HOUSE FOR ALEX MINKIN 0 HILLSLOPE PLACE, LOS ALTOS, CA. 94024

SCOPE OF WORK

- THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE EROSION CONTROL PLAN. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE DESIGN OF THE EROSION CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSION CONTROL PLANS TO PREVENT ILLICIT DISCHARGES FROM THE SITE DURING CONSTRUCTION.
- 2. RIGHT OF WAY IMPROVEMENTS SHOWN, WITHIN THE PUBLIC RIGHT OF WAY EASEMENT, AT THE FRONT OF PROPERTY, INCLUDING ROAD WIDENING, GAS LINE INSTALLATION. DRIVEWAY APRON INSTALLATION, AND UNDERGROUND UTILITY INSTALLATION SHALL BE PERMITTED BY THE COUNTY ROADS AND AIRPORTS DEPARTMENT.
- 3. <u>SITE</u> CONTRACTOR (S) SHALL GRADE SITE, INSTALL DRIVEWAY, INSTALL UTILITIES, CONSTRUCT SITE RETAINING WALLS, AND BUILD A NEW FAMILY HOME ON THE EXISTING VACANT LOT AT O HILLSLOPE PLACE, LOS ALTOS. ALL WORK SHALL BE IN ACCORDANCE WITH THESE PLANS, THE GEOTECHNICAL REPORT, AND BUILDING PERMIT PLANS.

WATER SERVICE, SEWER SERVICE AND JOINT TRENCH INFORMATION SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY. OWNER OR OWNER'S CONTRACTOR SHALL OBTAIN PERMITS FROM THE SERVICE PROVIDER. FOR THIS WORK. GRADING PERMIT DOES NOT INCLUDE BUILDING PERMITS FOR HOME, DECKS, AND FENCES. BUILDING PERMITS ARE ISSUED BY BUILDING DEPARTMENT.

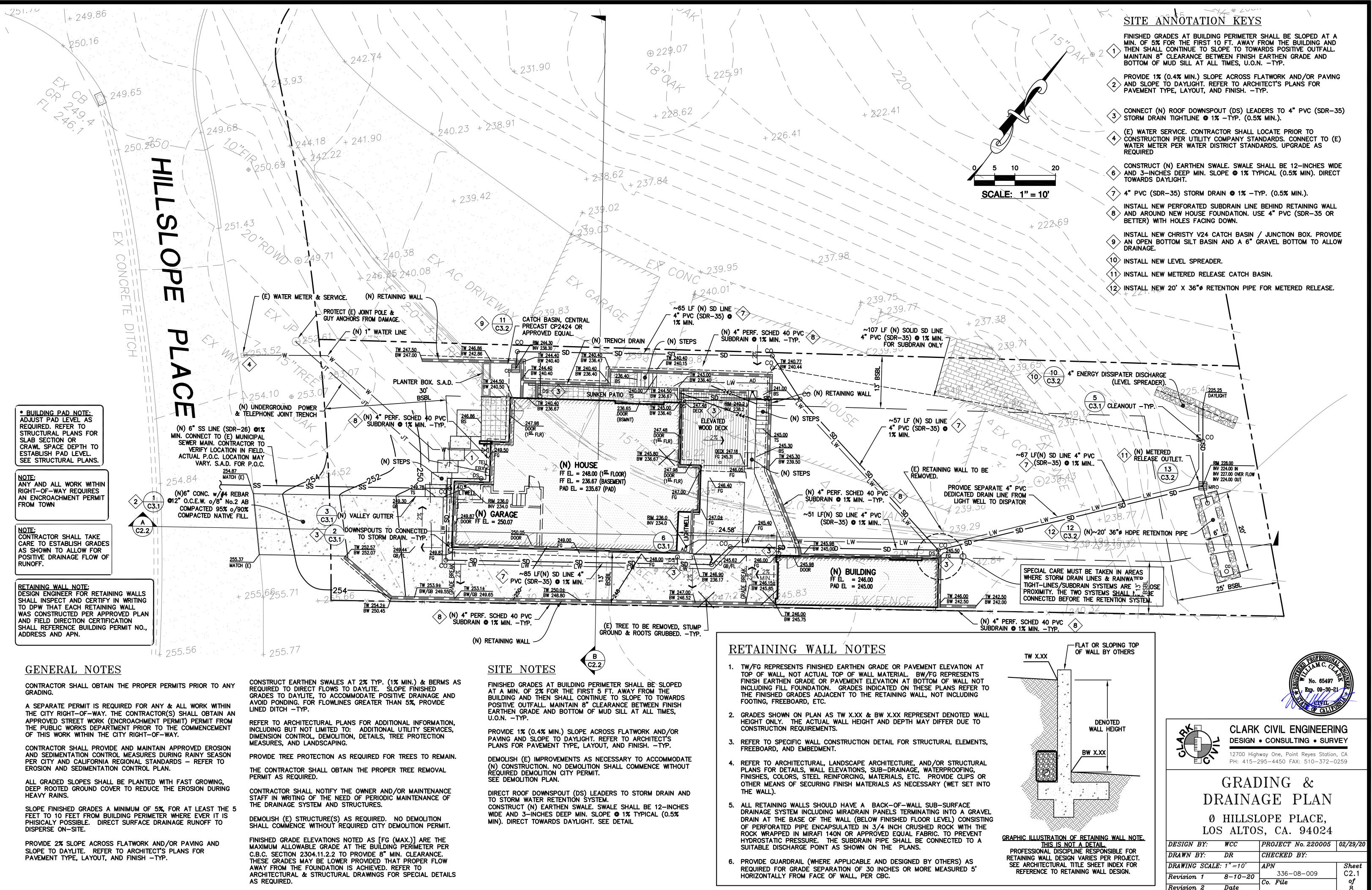


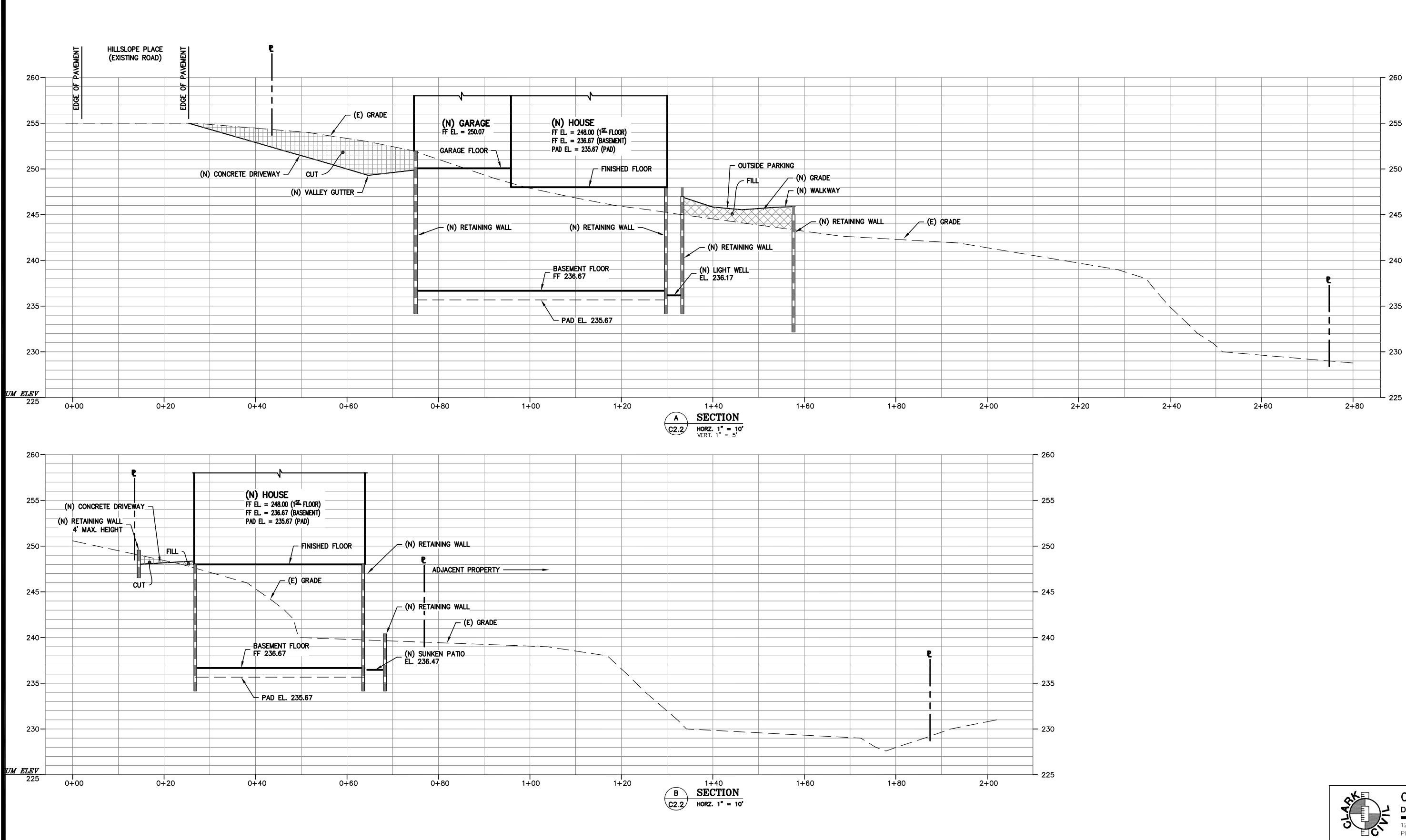
o. File

Revision 2

Date

EXPIRATION DATE







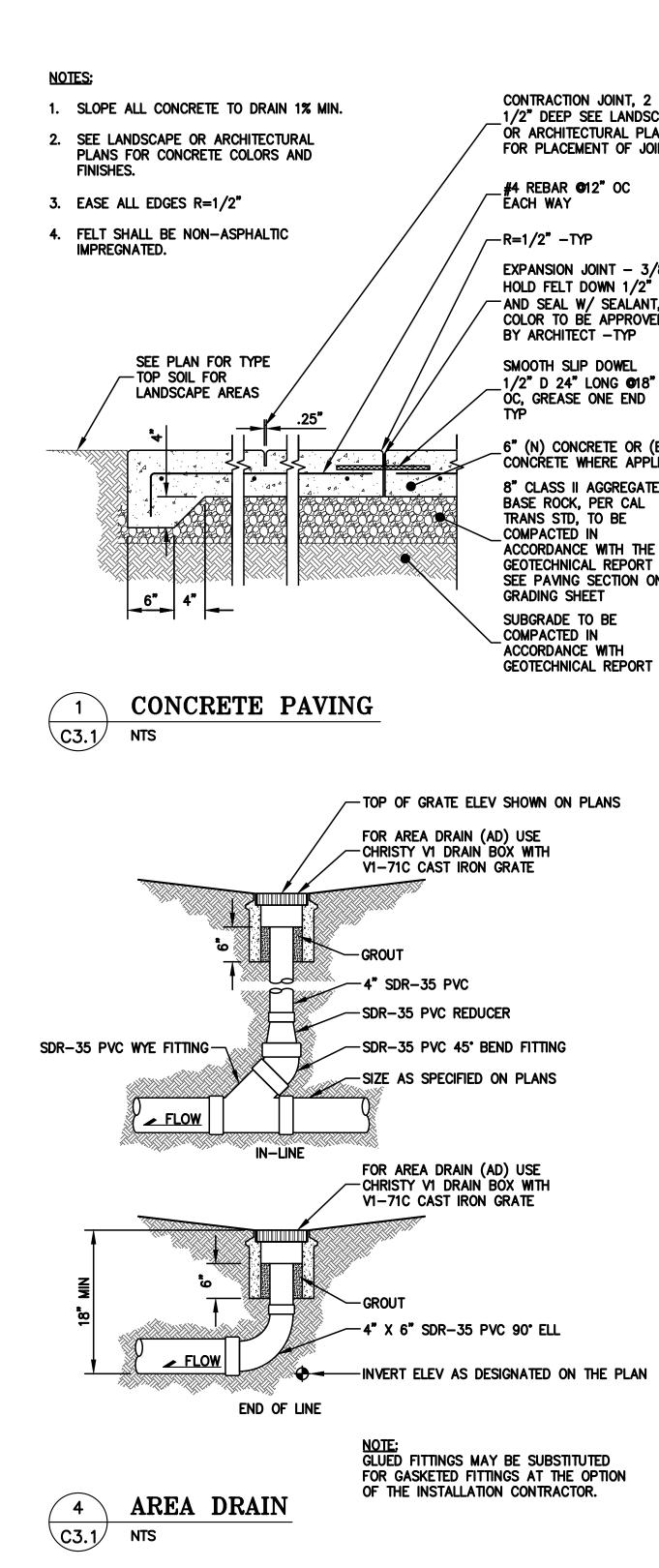
CLARK CIVIL ENGINEERING DESIGN • CONSULTING • SURVEY

12700 Highway One, Point Reyes Station, CA PH: 415-295-4450 FAX: 510-372-0259

SECTIONS

Ø HILLSLOPE PLACE, LOS ALTOS, CA. 94024

DESIGN BY: WCC	PROJECT No. 220005	02/29/20
DRAWN BY: DR	CHECKED BY:	
DRAWING SCALE: 1"=10'	APN	Sheet C2.2
Revision 1 8–10–2	20 336-08-009 Co. File	of
Revision 2 Date		8



CONTRACTION JOINT, 2 1/2" DEEP SEE LANDSCAPE OR ARCHITECTURAL PLANS FOR PLACEMENT OF JOINTS

#4 REBAR **0**12" OC

EXPANSION JOINT - 3/8" HOLD FELT DOWN 1/2" -AND SEAL W/ SEALANT, COLOR TO BE APPROVED BY ARCHITECT - TYP

SMOOTH SLIP DOWEL _1/2" D 24" LONG @18"

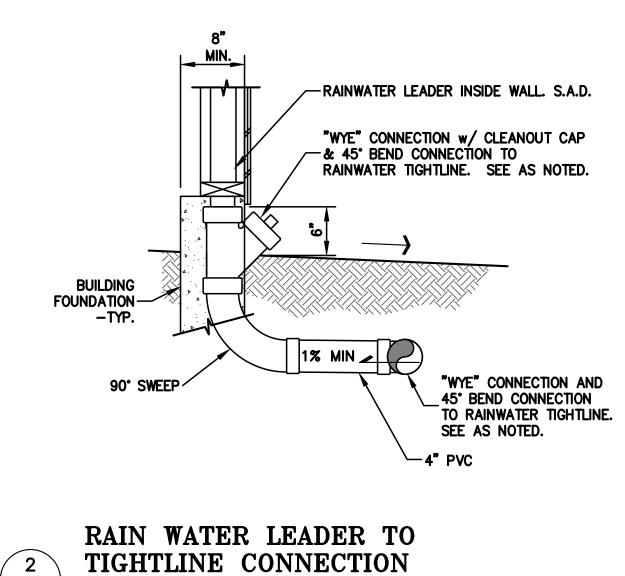
6" (N) CONCRETE OR (E) CONCRETE WHERE APPLIÉS.

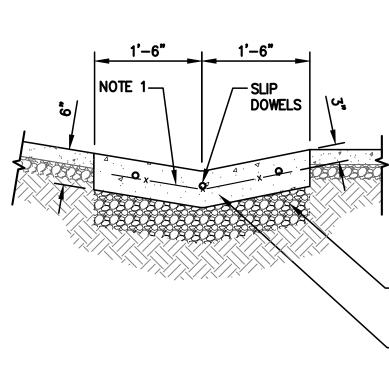
8" CLASS II AGGREGATE BASE ROCK, PER CAL TRANS STD, TO BE ACCORDANCE WITH THE GEOTECHNICAL REPORT SEE PAVING SECTION ON

ACCORDANCE WITH GEOTECHNICAL REPORT

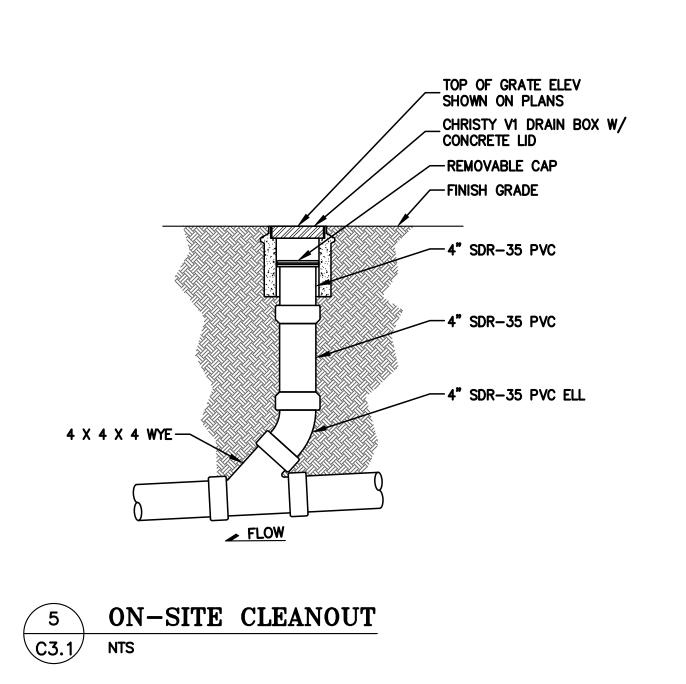
C3.1

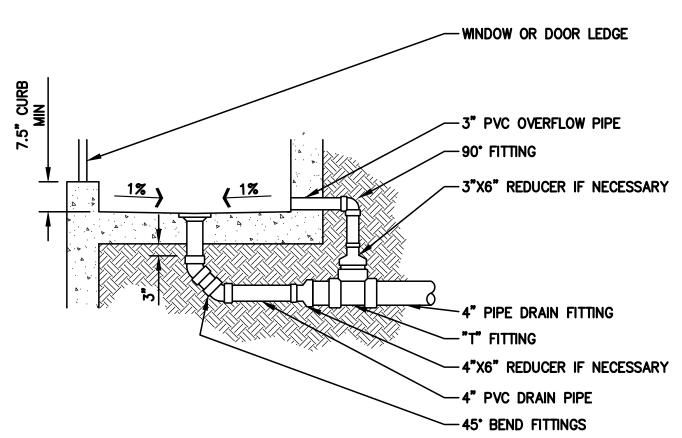
NTS











	<u>NO</u> 1.	<u>TES:</u> SLOPE INTERIOR SLA DIRECTIONS TO DIRE
	2.	MAINTAIN 6" MIN FR OF LIGHTWELL.
	3.	INSTALL "NEENAH R PIPE IN LIGHTWELLS
	4.	INSTALL 4" METAL (AREAS INTENDED TO
	5.	INSTALL 3" PVC OV
	6.	CONTRACTOR SHALL NEED FOR PERIODIC
	7.	REFER TO STRUCTUR DETAIL.
6	\mathbf{i}	LIGHTWELL

C3.1 NTS

NOTES:

- 1. REINFORCEMENT SHALL CONSIST OF 6"X6" -6GA. WELDED WIRE FABRIC.
- 2. APRONS SHALL BE POURED MONOLITHIC WITH ADJACENT CURB AND GUTTER.
- 3. CONCRETE VALLEY GUTTER AND APRONS SHALL BE INSTALLED PRIOR TO PAVING.
- 4. PLACE 1/2" DIAMETER X 18" LONG DOWELS, AT EXPANSION JOINTS, AS SHOWN.
- 5. PLACE 1/4" THICK EXPANSION JOINTS FULL WIDTH 20' ON CENTER. DEEP SCORE AT 10' INTERVALS BETWEEN EXPANSION JOINTS.
- -6" CLASS 2 AGGREGATE BASE (MIN)
- -CLASS B CONCRETE

CONCRETE VALLEY GUTTER

- LAB OF LIGHTWELL © 1% MIN IN ALL RECT FLOW TOWARDS INLET. FROM BOTTOM OF SILL/DOOR TO BOTTOM
- R-4344" GRATE AND 3" PVC OUT GOING S NOT INTENDED TO HAVE FOOT TRAFFIC. GRATE AND 4" PVC OUTGOING PIPE IN
- TO HAVE FOOT TRAFFIC. DVERFLOW PIPE AS SHOWN. LL SUBMIT TO THE OWNER IN WRITING THE IC MAINTENANCE AND REMOVAL OF DEBRIS. TURAL PLAN FOR WALL CONSTRUCTION

OVERFLOW DETAIL





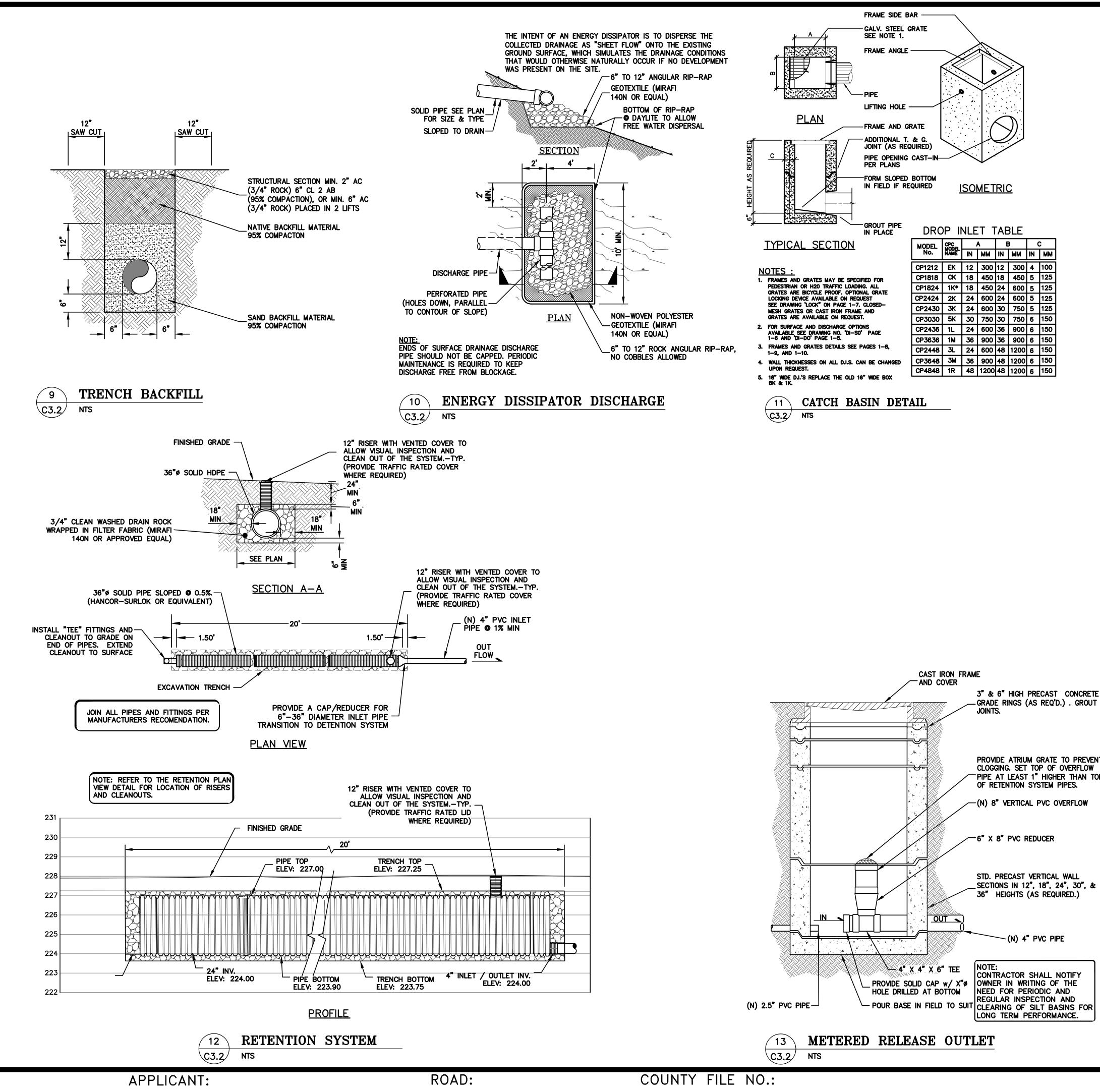
CLARK CIVIL ENGINEERING DESIGN • CONSULTING • SURVEY

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DETAILS

Ø HILLSLOPE PLACE, LOS ALTOS, CA. 94024

DESIGN BY: WCC	PR0JECT No. 220005	02/29/20
DRAWN BY: DR	CHECKED BY:	
DRAWING SCALE: AS SHOWN		Sheet
Revision 1 Date	336-08-009 Co. File	C3.1 <i>of</i>
Revision 2 Date		8



REGULAR INSPECTION AND LONG TERM PERFORMANCE.

~(N) 4" PVC PIPE

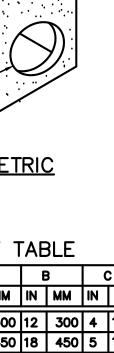
STD. PRECAST VERTICAL WALL _SECTIONS IN 12", 18", 24", 30", & 36" HEIGHTS (AS REQUIRED.)

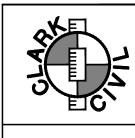
-6" X 8" PVC REDUCER

OF RETENTION SYSTEM PIPES. -(N) 8" VERTICAL PVC OVERFLOW

PROVIDE ATRIUM GRATE TO PREVENT CLOGGING. SET TOP OF OVERFLOW PIPE AT LEAST 1" HIGHER THAN TOP

JOINTS.





DESIGN BY: WCC

Revision 2 Date

DR

Date

DRAWING SCALE: AS SHOWN APN

DRAWN BY:

Revision 1



PH: 415-295-4450 FAX: 510-372-0259

CHECKED BY:

o. File

336-08-009

DETAILS

Ø HILLSLOPE PLACE,

LOS ALTOS, CA. 94024



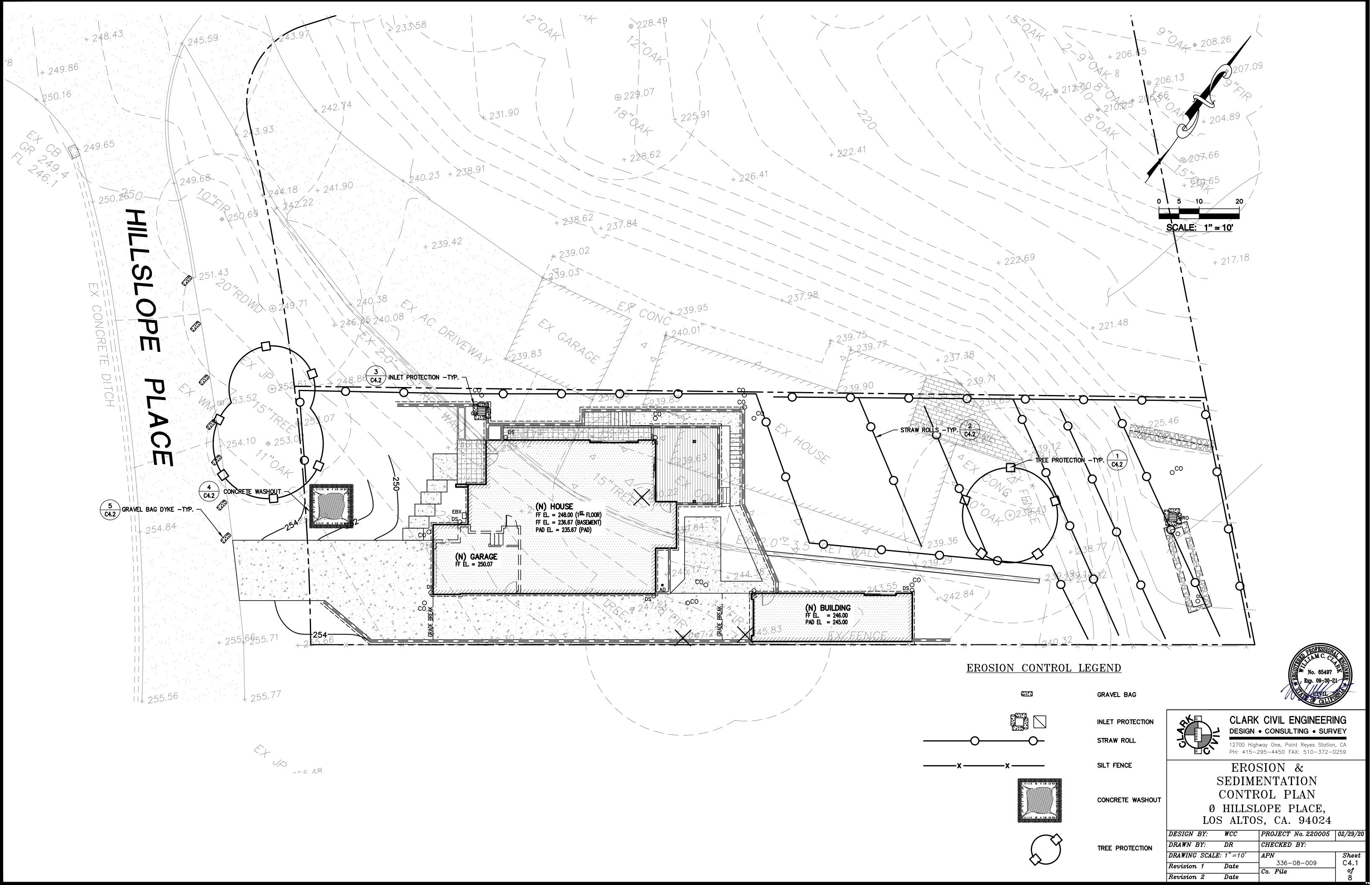
MC.

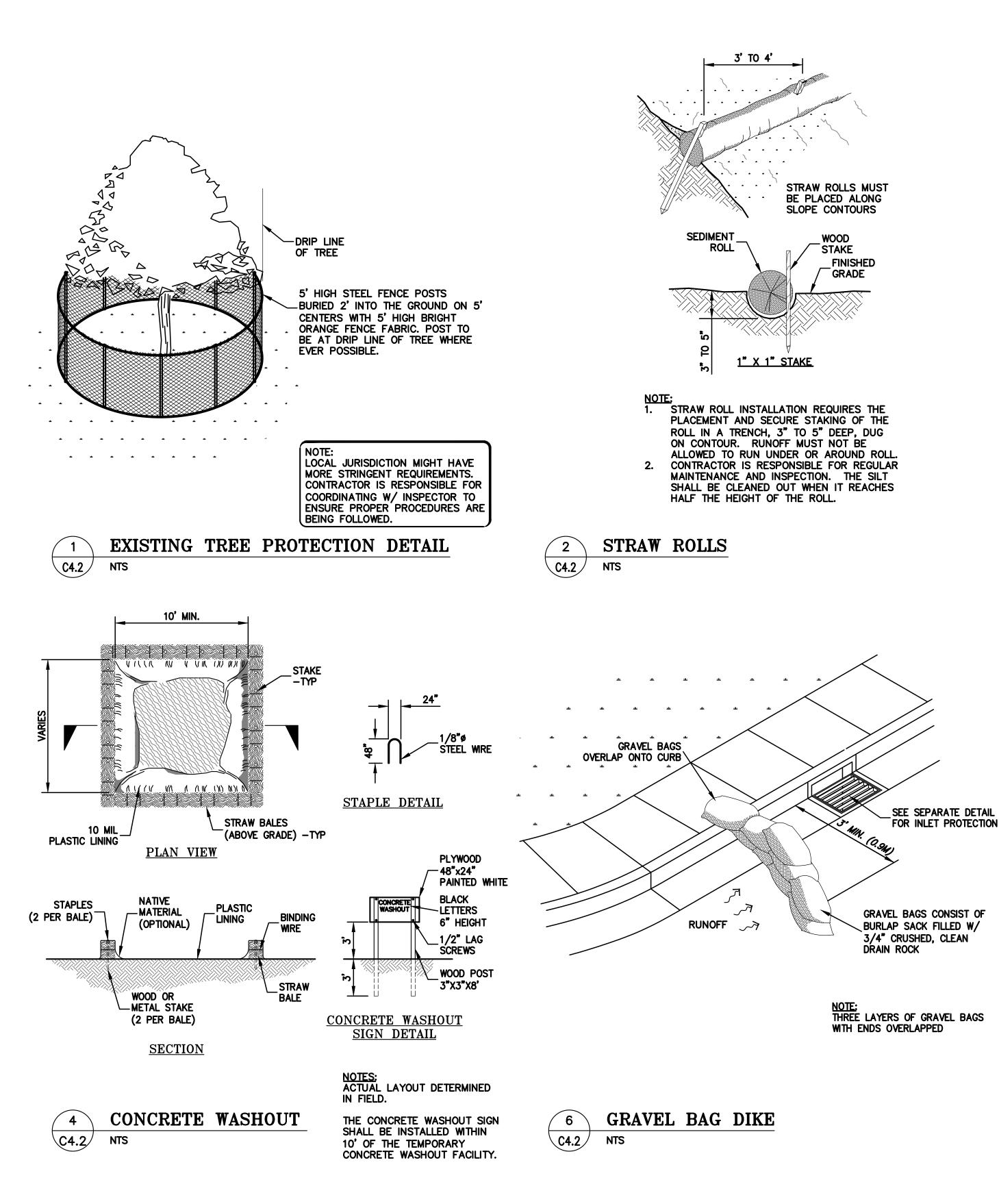


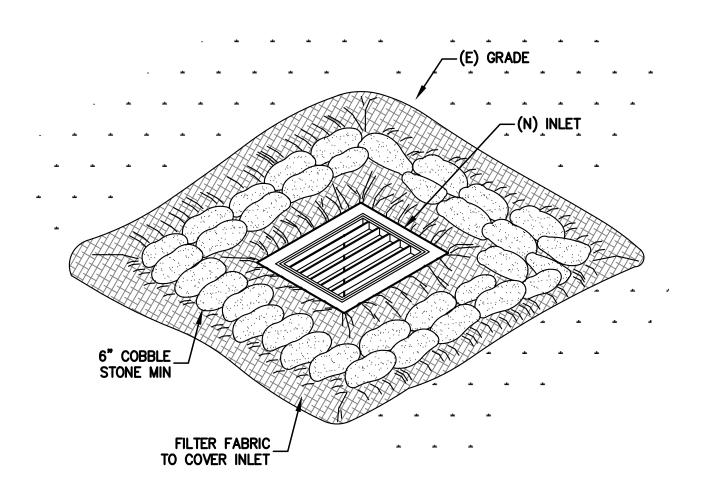
PROJECT No. 220005 02/29/20

Sheet

C3.2







INLET PROTECTION **C4.2** NTS

PURPOSE:

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION OF GRADED AREAS AND TO PREVENT SEDIMENTATION FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING SITES. NATURAL AREAS. PUBLIC FACILITIES OR ANY OTHER AREA THAT MIGHT BE AFFECTED BY SEDIMENTATION. ALL MEASURES SHOWN ON THIS PLAN SHOULD BE CONSIDERED THE MINIMUM REQUIREMENTS NECESSARY. SHOULD FIELD CONDITIONS DICTATE ADDITIONAL MEASURES, SUCH MEASURES SHALL BE PER CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL AND THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION. CLARK CIVIL ENGINEERING SHOULD BE NOTIFIED IMMEDIATELY SHOULD CONDITIONS CHANGE.

EROSION CONTROL NOTES:

- 1. IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THIS EROSION CONTROL PLAN.
- 2. THE INTENTION OF THIS PLAN IS FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. ALL EROSION CONTROL MEASURES SHALL CONFORM TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL, THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION, AND THE LOCAL GOVERNING AGENCY FOR THIS PROJECT.
- 3. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTRÓL MEASURES PRIOR TO. DURING, AND AFTER STORM EVENTS. PERSON IN CHARGE OF MAINTAINING EROSION CONTROL MEASURES SHOULD WATCH LOCAL WEATHER REPORTS AND ACT APPROPRIATELY TO MAKE SURE ALL NECESSARY MEASURES ARE IN PLACE.
- 4. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- 5. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATERCOURSES.
- 6. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS CONCERNING POLLUTION SHALL BE MAINTAINED AT ALL TIMES.
- 7. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- 8. ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15TH.
- 9. EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LONGER.
- 10. IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVAL EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
- 12. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY COUNTY'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
- 13. MEASURES SHALL BE TAKEN TO COLLECT OR CLEAN ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEMS. THE REMOVAL OF AFORESAID SHALL BE DONE BY STREET SWEEPING OR HAND SWEEPING. WATER SHALL NOT BE USED TO WASH SEDIMENTS INTO PUBLIC OR PRIVATE DRAINAGE FACILITIES.
- 14. EROSION CONTROL MEASURES SHALL BE ON-SITE FROM SEPTEMBER 15TH THRU APRIL 15TH.
- 15. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER 15 THRU APRIL 15, WHICHEVER IS GREATER.

PERIODIC MAINTENANCE:

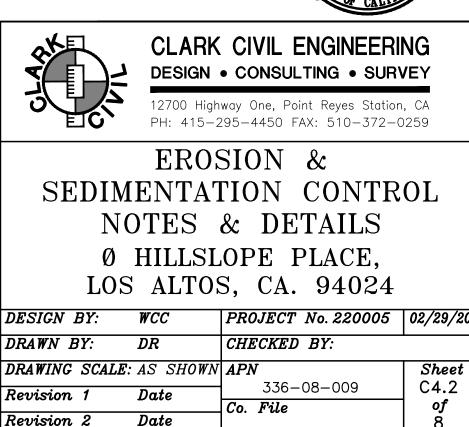
- 1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - A. DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
 - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL
 - DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1' FOOT. E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - F. RILLS AND GULLIES MUST BE REPAIRED.
- 2. GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.
- 3. STRAW ROLLS SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHED HALF THE HEIGHT OF THE ROLL.
- 4. SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHES ONE FOOT IN HEIGHT.
- 5. CONSTRUCTION ENTRANCE SHALL BE REGRAVELED AS NECESSARY FOLLOWING SILT/SOIL BUILDUP.
- 6. ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION

EROSION CONTROL MEASURES:

- 1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15. EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO OCTOBER 15TH OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- 2. SITE CONDITIONS AT TIME OF PLACEMENT OF EROSION CONTROL MEASURES WILL VARY. APPROPRIATE ACTION INCLUDING TEMPORARY SWALES, INLETS, HYDROSEEDING, STRAW BALES, ROCK SACKS, ETC. SHALL BE TAKEN TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING SITE. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS THE CONDITIONS CHANGE AND THE NEED OF CONSTRUCTION SHIFT.
- 3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCES. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE GOVERNING AGENCY.
- 4. ALL EXPOSED SLOPES THAT ARE NOT VEGETATED SHALL BE HYDROSEEDED. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 15, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED. SUCH AS EROSION CONTROL BLANKETS. OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. HYDROSEEDING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 20" EROSION CONTROL AND HIGHWAY PLANTING" OF THE STANDARD SPECIFICATION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED. REFER TO THE EROSION CONTROL SECTION OF THE GRADING SPECIFICATIONS THAT ARE A PART OF THIS PLAN SET FOR FURTHER INFORMATION.
- 5. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT. MINIMUM INLET PROTECTION SHALL CONSIST OF A ROCK SACKS OR AS SHOWN ON THIS PLAN
- 6. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. A REPRESENTATIVE OF CLARK CIVIL ENGINEERING SHALL PERFORM A FIELD REVIEW AND MAKE RECOMMENDATIONS AS NEEDED. CONTRACTOR IS RESPONSIBLE TO NOTIFY CLARK CIVIL ENGINEERING AND THE GOVERNING AGENCY OF ANY CHANGES.
- 7. THE EROSION CONTROL MEASURES SHALL CONFORM TO THE COUNTY STANDARDS AND THE APPROVAL OF THE COUNTY'S ENGINEERING DEPARTMENT.
- 8. STRAW ROLLS SHALL BE PLACED AT THE TOE OF SLOPES AND ALONG THE DOWNSLOPE PERIMETER OF THE PROJECT. THEY SHALL BE PLACED AT 25 FOOT INTERVALS ON GRADED SLOPES. PLACEMENT SHALL RUN WITH THE CONTOURS AND ROLLS SHALL BE TIGHTLY ENDBUTTED. CONTRACTOR SHALL REFER TO MANUFACTURES SPECIFICATIONS FOR PLACEMENT AND INSTALLATION INSTRUCTIONS.

REFERENCES:

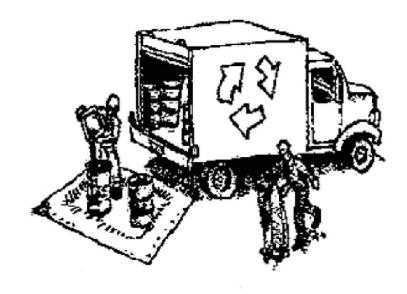
- 1. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL
- 2. CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION



No. 65497

Construction Best Management Practices (BMPs)

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- □ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- □ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- □ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- □ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- □ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- □ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

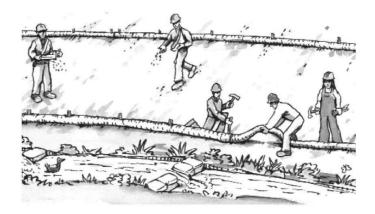
Spill Prevention and Control

- □ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- □ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- □ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- □ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).



Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Earthwork & Contaminated Soils



Erosion Control

- □ Schedule grading and excavation work for dry weather only.
- □ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- \Box Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- □ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- □ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- □ Keep excavated soil on the site where it will not collect into the street.
- □ Transfer excavated materials to dump trucks on the site, not in the street.
- □ Contaminated Soils □ If any of the following conditions are
- observed, test for contamination and contact the Regional Water Quality Control Board:
- Unusual soil conditions, discoloration, or odor.
- Abandoned underground tanks.
- Abandoned wells
- Buried barrels, debris, or trash.

Paving/Asphalt Work

• Avoid paving and seal coating in wet

weather, or when rain is forecast before

when applying seal coat, tack coat, slurry

dispose of excess abrasive gravel or sand

Do NOT sweep or wash it into gutters.

Sawcutting & Asphalt/Concrete Removal

drain inlets when saw cutting. Use filter

fabric, catch basin inlet filters, or gravel

bags to keep slurry out of the storm drain

• Completely cover or barricade storm

□ Shovel, abosorb, or vacuum saw-cut

slurry and dispose of all waste as soon

as you are finished in one location or at

the end of each work day (whichever is

□ If sawcut slurry enters a catch basin, clean

fresh pavement will have time to cure.

• Cover storm drain inlets and manholes

• Collect and recycle or appropriately

Do not use water to wash down fresh

asphalt concrete pavement.

seal, fog seal, etc.

system.

sooner!).

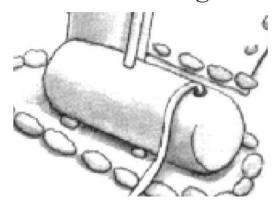
it up immediately.

Concrete, Grout & Mortar Application



- □ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- □ Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- □ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

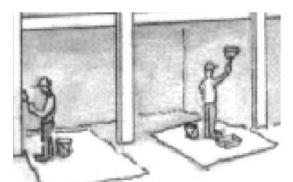
Dewatering



- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- U When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- □ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

Painting & Paint Removal



Painting cleanup

- □ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- □ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- □ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste

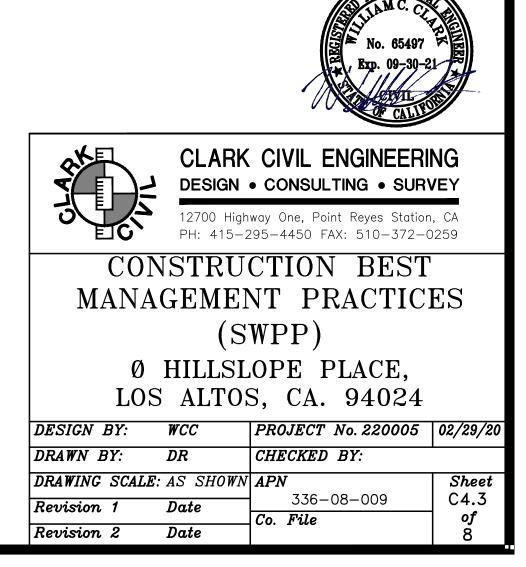
Paint removal

- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- □ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

Landscape Materials



- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- □ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

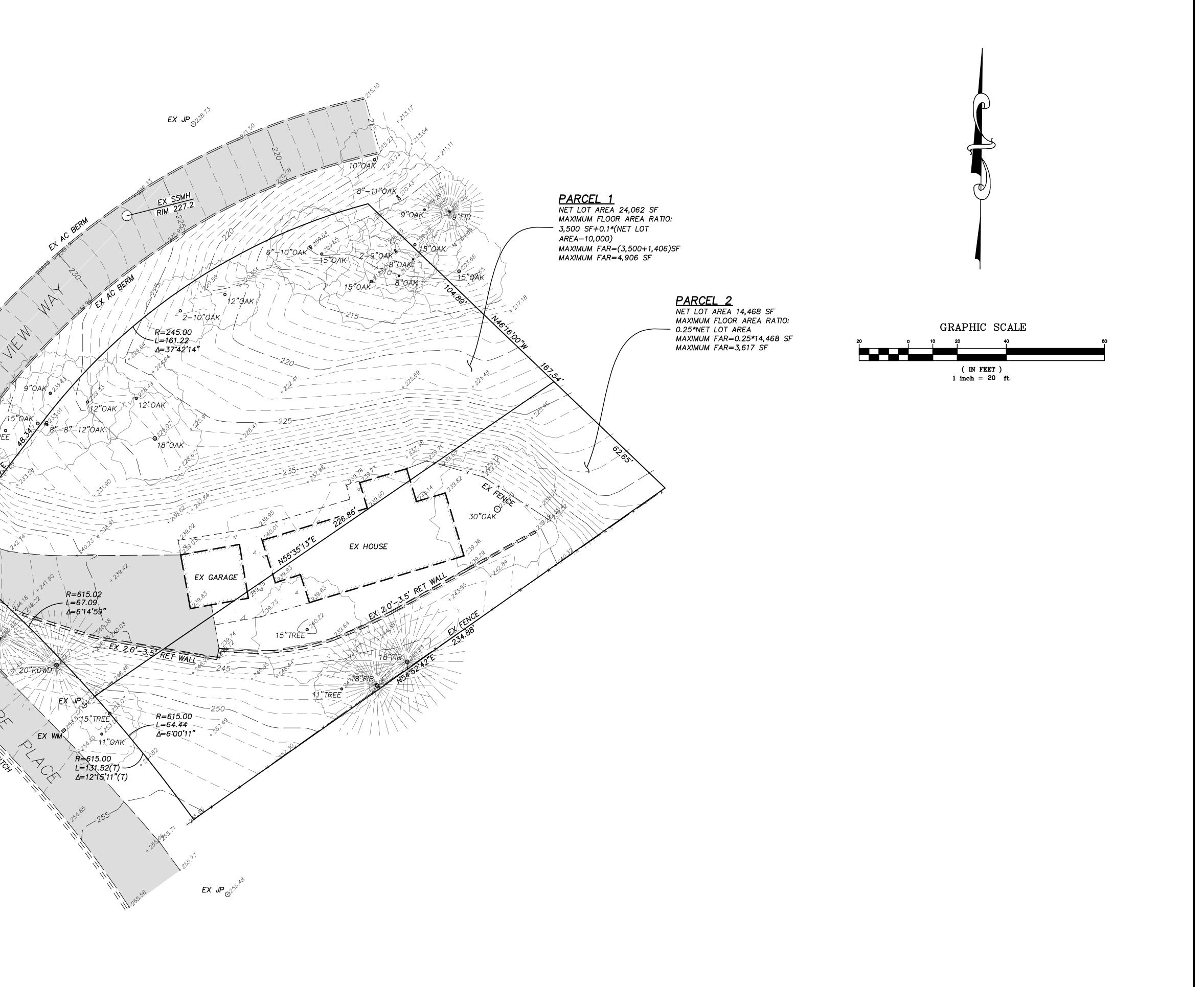


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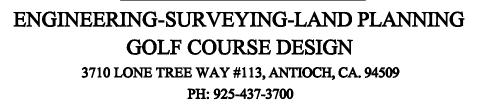
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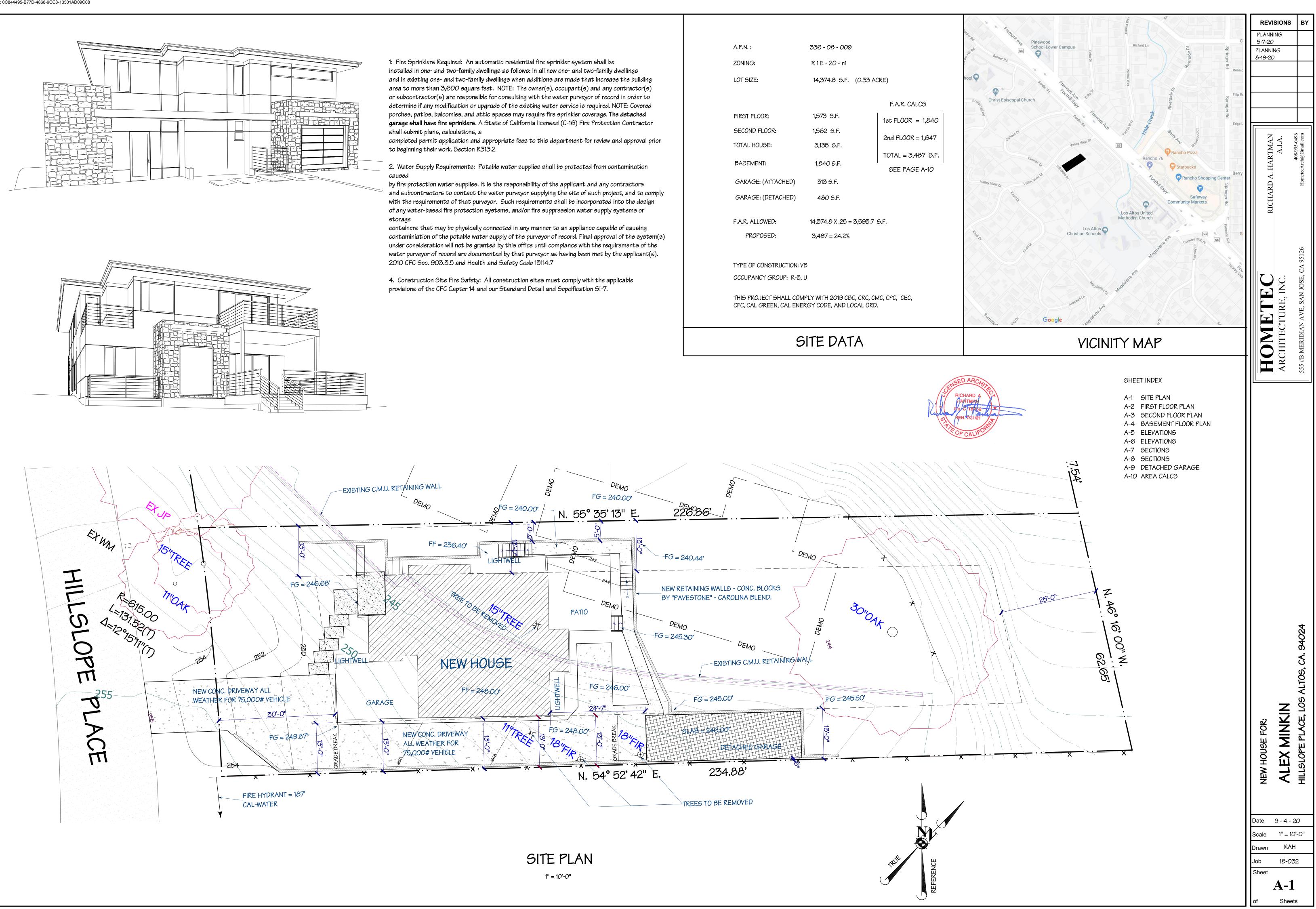
TOPOGRAPHIC SURVEY 540 VALLEY VIEW DRIVE SANTA CLARA COUNTY

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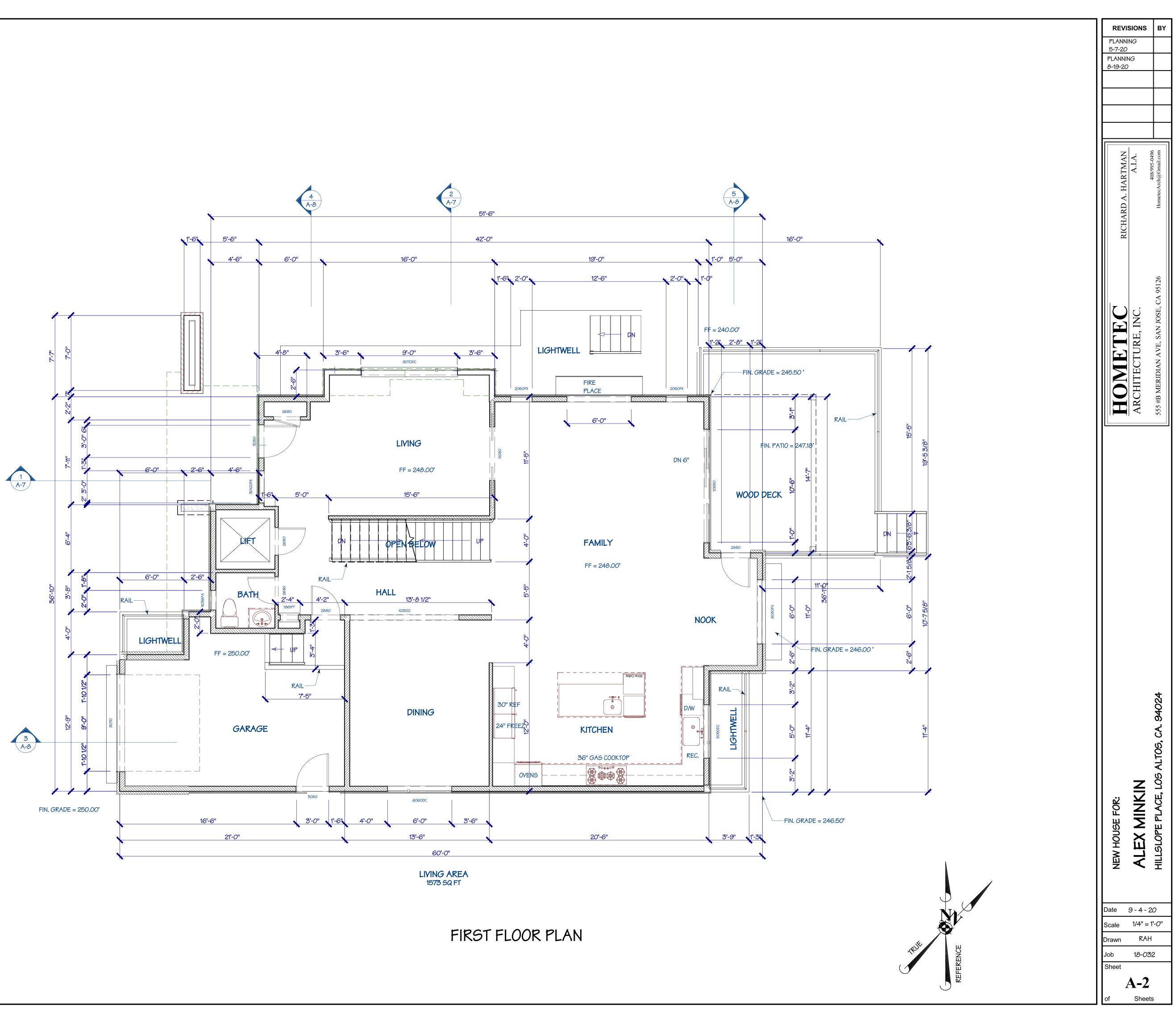
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GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE

2. ADJUST DIMENSIONS TO ALIGN WITH EXISTING CONDITIONS IN THE

FIELD, WHERE APPLICABLE.
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
IF ANY DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT IMMEDIATELY.
4. ALL PRODUCTS SHALL BE INSTALLED PER MANUFACTURERS
INSTRUCTIONS. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT
SHALL BE POSTED AND PROVIDED TO THE FIELD INSPECTOR AT TIME OF

INSPECTION 5. SLOPE FINISH GRADE AT 5% MIN. FOR 10' AWAY FROM HOUSE, 2% MIN. SLOPE ON HARDSCAPE, & 2% MIN. TO AN APPROVED FACILITY 6. PROVIDE NON-REMOVABLE BACK FLOW PROTECTION AT ALL

EXTERIOR HOSE BIBBS 7. PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS, MIN. WINDOW OPENINGS OF 24" MIN. CLEAR HEIGHT, 20" MIN. CLEAR WIDTH, 5.7 SQ. FT. MIN. AREA, WITH 44" MAXIMUM TO BOTTOM OF THE OPERABLE AREA. FOR WINDOW SILLS AT LESS THAN 24" ABOVE THE FLOOR, THE WINDOW SHALL BE EQUIPPED WITH AN "OPENING CONTROL DEVICE" PER ASTM F2090-10.

8. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS (I.E., DRYERS, BATH & UTILITY FANS, ETC.) SHALL BE A MINIMUM OF 3 FEET AWAY FROM ANY OPENINGS INTO THE BUILDING (DOORS, WINDOWS, OPENING SKYLIGHTS, OR ATTIC VENTS)

9. ALL AIR DUCTS PENETRATING A SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA SHALL BE 26 GA. MINIMUM

10. ALL EXHAUST FANS SHALL BE "ENERGY STAR", HAVE BACKDRAFT DAMPERS, AND SEPARATELY SWITCHED WITH TIMER OR HUMIDISTAT SWITCHES AND CAPABLE OF 5 AIR CHANGES PER HOUR (MIN. 50 CFM) AT BATHS, TOILETS, AND LAUNDRY. MAX. 2 SONE.

11. ALL WATER CLOGETS SHALL BE MAXIMUM 1.28 GALLONS PER FLUSH 12. PROVIDE A SMOOTH, HARD, NONABSORBENT SURFACE OVER FIBER BOARD TO A MINIMUM HEIGHT OF 72" ABOVE THE DRAIN INLET AT SHOWERS & TUB/SHOWERS (NO GREEN BOARD). INSTALL PER MANUFACTURER'S INSTRUCTIONS.

13. SHOWER AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH PRESSURE BALANCE ANTI-SCALD VALVES TO 120f MAX. PER CPC 408.3

14. SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, HAVING A MINIMUM INTERIOR FLOOR AREA OF 1,024 SQUARE INCHES, SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30-INCH CIRCLE, AND OUTWARD SWING 22" MIN. DOOR

15. EXTERIOR PLUMBING CLEANOUTS SHALL BE PROVIDED < 24" FROM BUILDING, WITH CRAWL SPACE CLEANOUTS WITHIN 5' OF THE UNDER FLOOR ACCESS, OR EXTENDED TO THE EXTERIOR (CPC 707.9, 719)

16. KITCHEN SHALL HAVE SEPARATE CIRCUITS FOR DISPOSAL, DISHWASHER, & TWO (2) 20 AMP CIRCUITS LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS.

17. ELECTRIC DRYERS AND COOK TOPS SHALL HAVE A DEDICATED 30 AMP CIRCUIT, PROVIDE WIRES WITH INSULATED NEUTRAL.

18. LAUNDRY ROOM AND BATHROOM COUNTERTOP OUTLETS SHALL BE EACH SUPPLIED WITH A DEDICATED 20 AMP CIRCUIT

19. ALL ELECTRIC SWITCHES SHALL BE OF THE SCREW TYPE GROUND.

20. ALL BRANCH CIRCUITS IN ALL ROOMS OTHER THAN BATHS SHALL BE PROTECTED BY COMBINATION ARC-FAULT CIRCUIT INTERRUPTERS INSTALLED IN A READILY ACCESSIBLE LOCATION.(C.E.C. 210.12.B)

21. LIGHT FIXTURES LOCATED OVER OR WITH-IN 3' OF TUBS OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS"

22. A PERMANENT LABEL SHALL IDENTIFY EACH PANE OF SAFETY GLAZING 23. T-24 INSTALLATION CERTIFICATE (CF-2R-LTG-01-E) SHALL BE SUBMITTED TO THE FIELD INSPECTOR AT TIME OF FINAL INSPECTION.

24. RECESSED LUMINARIES IN INSULATED CEILINGS SHALL BE A.T. & I.C.

RATED, ELECTRONIC BALLAST AND CAULKED AIR-TIGHT 25. DRYER EXHAUST VENTS SHALL BE 4" MIN. AND PER MANUFACTURER REQUIREMENTS OR MAX. 14' IN LENGTH, TERMINATING 3' CLEAR OF ANY OPENING

26. JOINTS AND SEAMS OF DUCT SYSTEMS SHALL BE SEALED WITH UL 181 LISTED DUCT TAPE, AND INSULATED WITH R-6 MIN.

27. ALL PENETRATIONS INTO UNCONDITIONED SPACE (ATTICS, UNDER FLOORS, ECT.) SHALL BE CAULKED, GASKETED, WEATHERSTRIP, OR SEALED TO LIMIT INFILTRATION AND EXFILTRATION.

28. ALL PENETRATIONS IN TOP PLATES, FLOORS, ETC. SHALL BE CAULKED WITH A RESIDENTIAL FIRE RATED CAULK WITH AN ASTM E136 OR E814 RATING

29. EGRESS WINDOWS WITH MULTIPLE LATCHES SHALL HAVE THEM INTERCONNECTED AND OPERABLE FROM THE LOWEST LATCH.

30. SHOWER ENCLOSURE DOORS SHALL OPEN OUT WITH A CLEAR OPENING OF 22" MIN. IN THE OPEN POSITION

31. PROVIDE A SEPARATE CIRCUIT FOR GARAGE OUTLETS.

32. ALL 15-AMP AND 20-AMP DWELLING UNIT RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES (CEC 406.12)

33. MAIN ENTRY DOOR SHALL BE OPERABLE FROM THE INSIDE OF THE DWELLING WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT.

35. VENTILATION HEATING AND AIR CONDITIONING SYSTEMS SHALL HAVE A MERV-6 FILTER OR BETTER.

36. PROVIDE STATE ARCHITECT CERTIFIED EARTHQUAKE-ACTUATED GAS SHUT OFF VALVES AT ALL NEW, RELOCATED, AND REPLACED GAS UTILITY METERS.

37. PROVIDE A DEDICATED 20 AMP CIRCUIT FOR EACH FAN MOTOR (F.A.U., EXHAUST, ECT.)

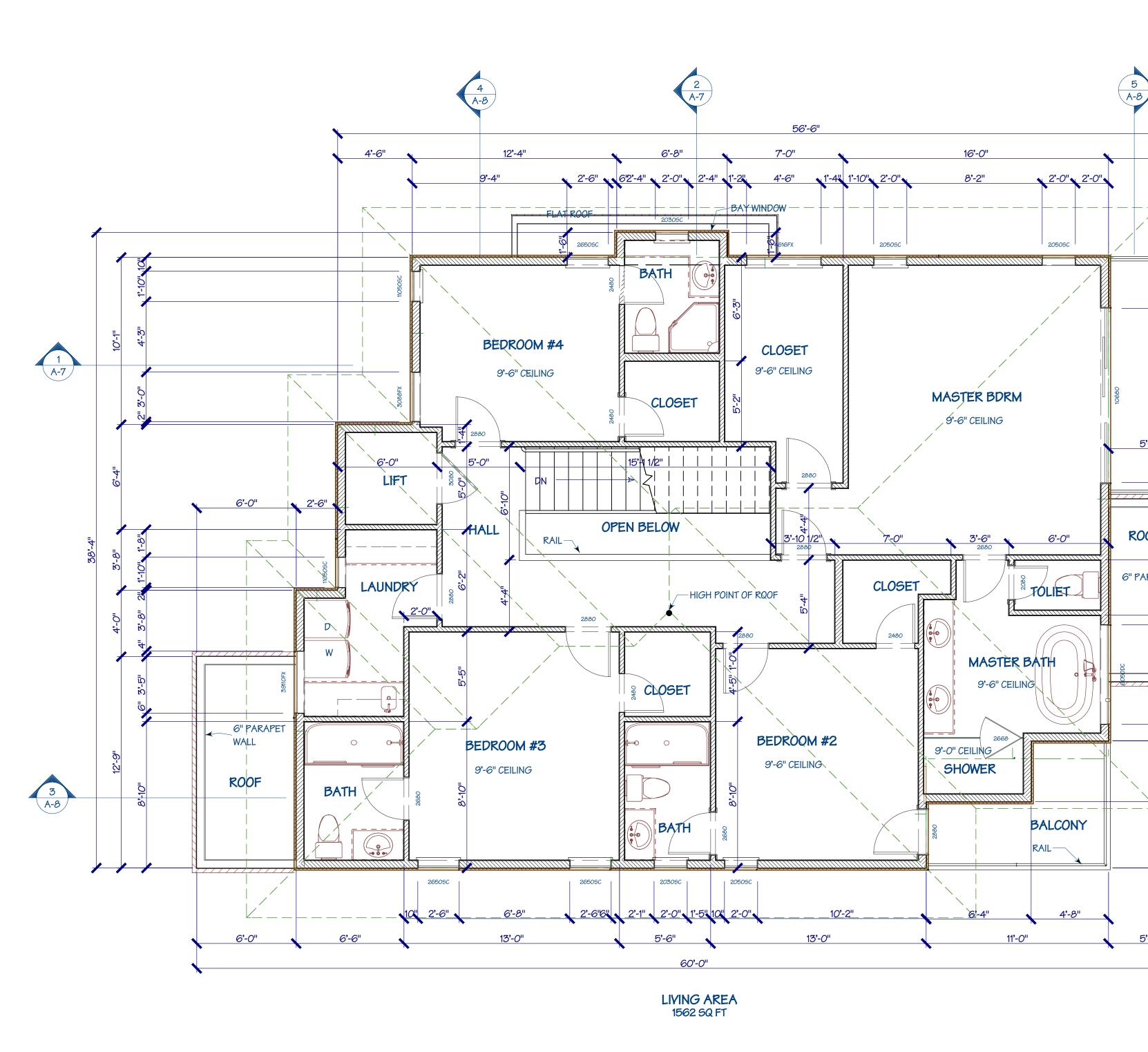
38. PROVIDE LISTED 110V INTERCONNECTED WITH BATTERY BACKUP SMOKE/ CARBON MONOXIDE DETECTORS AS SHOWN.(CRC 314.3, 314.5)
39. A GAS PIPING LAYOUT PLAN SHALL BE PROVIDED TO THE FIELD INSPECTOR BY THE CONTRACTOR AT TIME OF INSPECTION.

40. FOR ANY L.E.D. LIGHTS TO QUALIFY AS HIGH EFFICACY LIFTING, THEY MUST BE CERTIFIED BY THE ENERGY COMMISSION AND LISTED ON THEIR DATABASE AT http://www.appliances.energy.ca.gov/. PROVIDE TO THE FIELD INSPECTOR EVIDENCE OF CERTIFICATION FOR ALL HIGH EFFICACY L.E.D. LIGHTS AS SELECTED BY THE OWNER.

41. ALL PLASTIC PIPE AND FITTINGS SHALL MEET THE 'NATIONAL SANITATION FOUNDATION' AND STANDARDS REFERENCED IN TABLE 1701.1 OF THE 2016 CPC (CGBSC 4.303.2)

43. ALL PIPE, TUBE, SOLVENT, CEMENT, THREAD SEALANT, SOLDER AND/ OR FLUX AND FITTINGS FOR POTABLE WATER SYSTEMS SHALL MEET THE 'NATIONAL SANITATION FOUNDATION' STANDARDS AND OF THE 2016 CPC 604.1

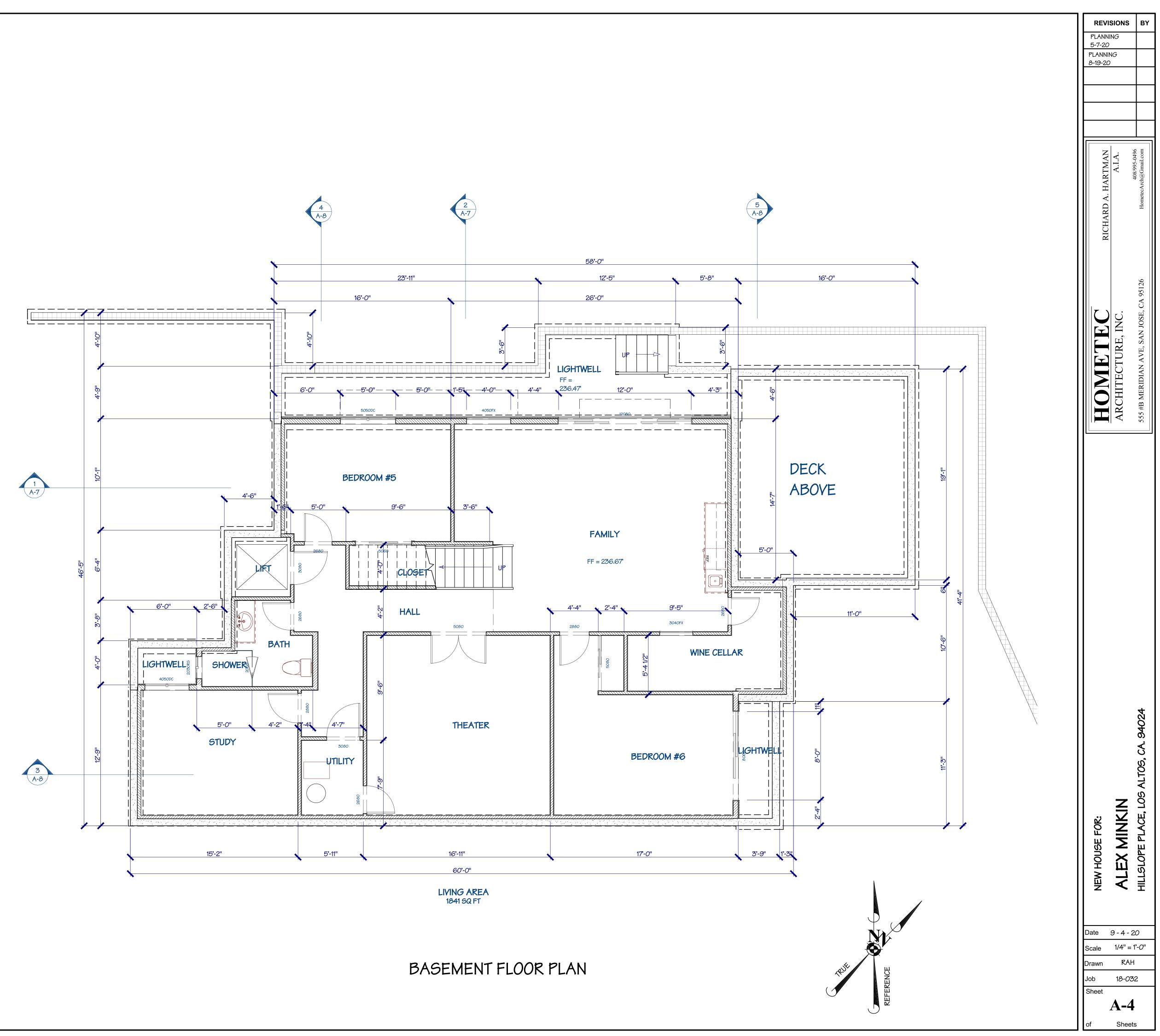
44. ALL GAS LINE PRESSURE TESTING SHALL BE AT 10 PSI FOR 15
MINUTES AND WELDED PIPING IS 60 PSI FOR 30 MINUTES. CPC 1213.3
45. PROVIDE DRAFT STOPS AT CONCEALED SPACES OF FLOOR/
CEILING ASSEMBLIES WHERE THERE IS USABLE SPACE ABOVE AND
BELOW THE CONCEALED SPACE (CRC R302.12)

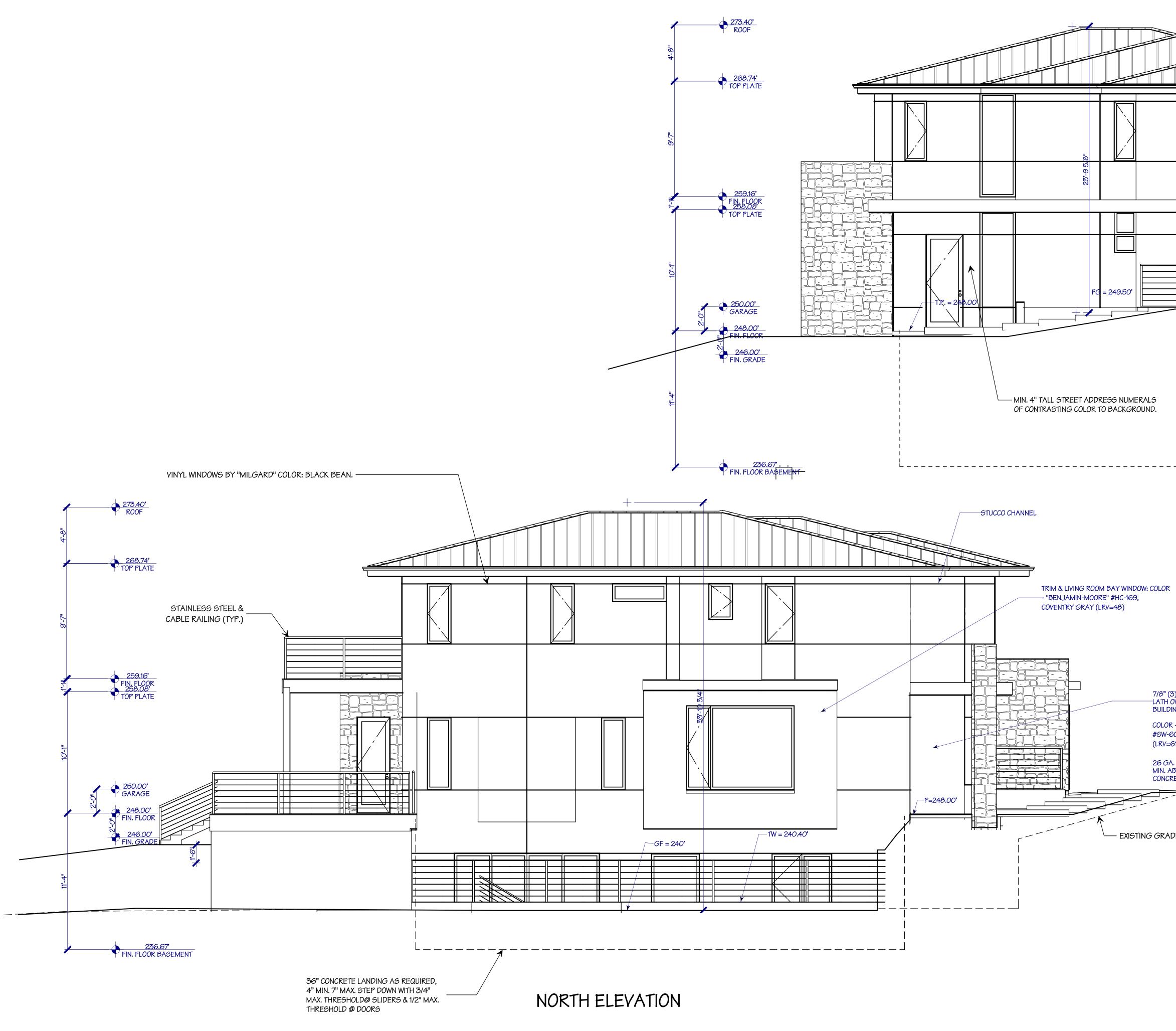


SECOND FLOOR PLAN

		REVISIONSBYPLANNING5-7-20PLANNING8-19-20
3		RICHARD A. HARTMAN A.I.A. 408/995-0496 HometecArch@Gmail.com
BALCONY	2-11 14-3 ¹¹	HOMETEC ARCHITECTURE, INC. 555 #B MERIDIAN AVE, SAN JOSE, CA 95126
OOFF PARAPET WALL		N LOS ALTOS, CA. 94024
Rife		NEW HOUSE FOR: ALEX MINKI Date 9-4-20
	REFERENCE	Scale 1/4" = 1'-0" Drawn RAH Job 18-032 Sheet A-3 of Sheets

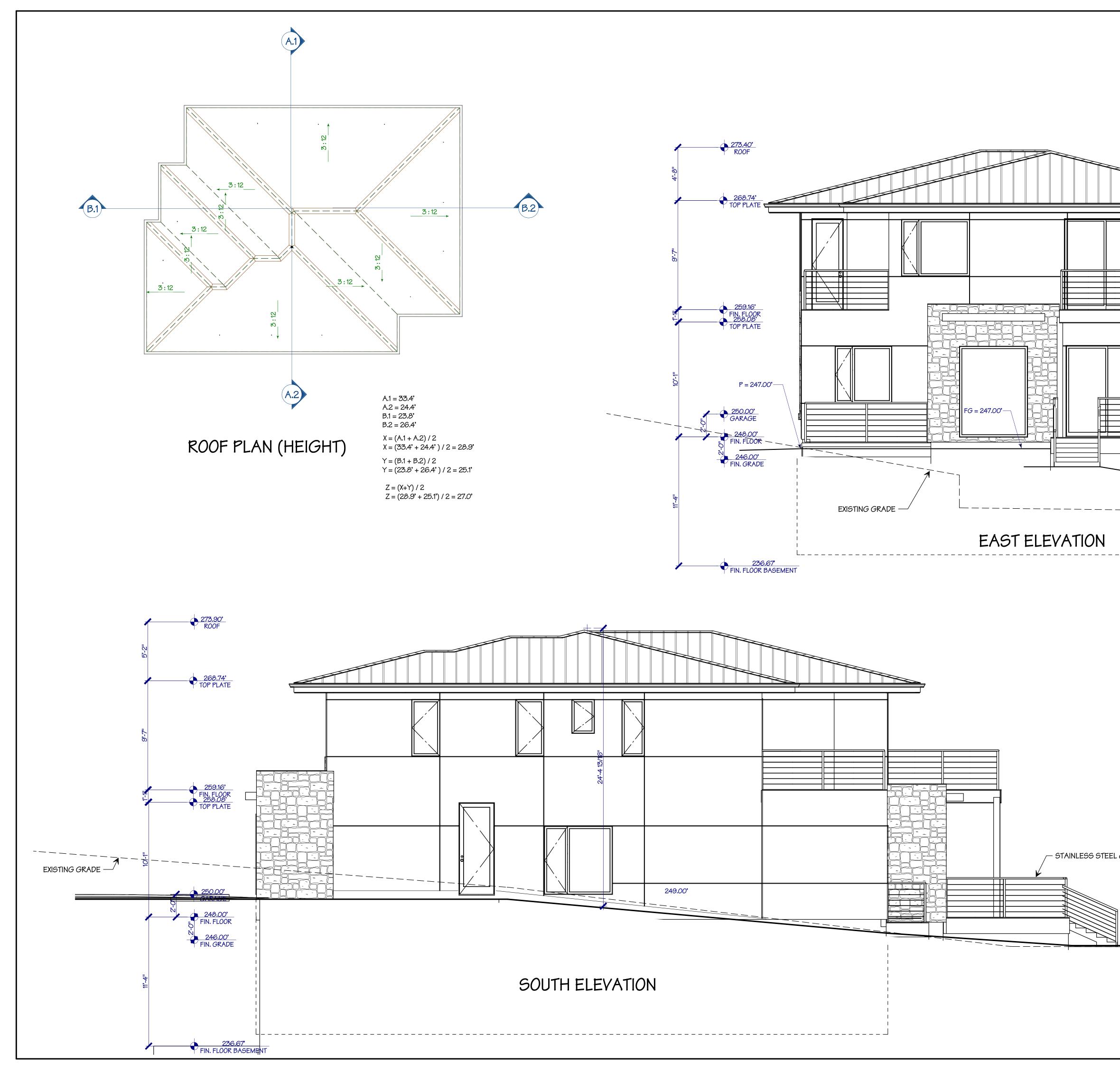






	SANDING SEAM METAL ROOF BY "TAYLOR METAL PRODUCTS" #SRI-44, STERLING GREY WITH 30 LB. FELT UNDERLAYMENT, CLASS 'A', INSTALL PER MANUFACTURER'S INSTRUCTIONS	REVISIO PLANNING 5-7-20 PLANNING 8-19-20	9
	MODIFIED BITUMEN ROOFING WITH COOL ROOF GRANULATED CAP SHEET FINISH. INSTALL PER MANUFACTURER'S INSTRUCTIONS.	RICHARD A. HARTMAN	408/955-0496 HometecArch@Gmail.com
	STONE VENEER BY "KESIR" TRAVERTINE BEIGE SPLIT FACE, INSTALL PER MANUFACTURER'S INSTRUCTIONS (BORALAMERICA.COM/STONE) T.P. = 249.87	MET	AKCHLI ECTUKE, INC. 555 #B Meridian ave, san jose, ca 95126
WEST ELEVATION RALS JUND.			
WY: COLOR			
7/8" (3) COAT STUCCO OVER METAL LATH OVER (2) LAYERS GRADE "D" BUILDING PAPER .(PER C.B.C. 2512) COLOR - "SHERWIN-WILLIAMS" #SW-6071, POPULAR GRAY (LRV=61) 26 GA. GALV. WEEP SCREED, 4" MIN. ABOVE GRADE, 2" MIN ABOVE CONCRETE (TYP.)			N LOS ALTOS, CA. 94024
NG GRADE		NEW HOUSE FOR:	ALEX MINKI HILISLOPE PLACE,
		Scale 1 Drawn Job 7 Sheet	- 4 - 20 /4" = 1'-0" RAH 18-032

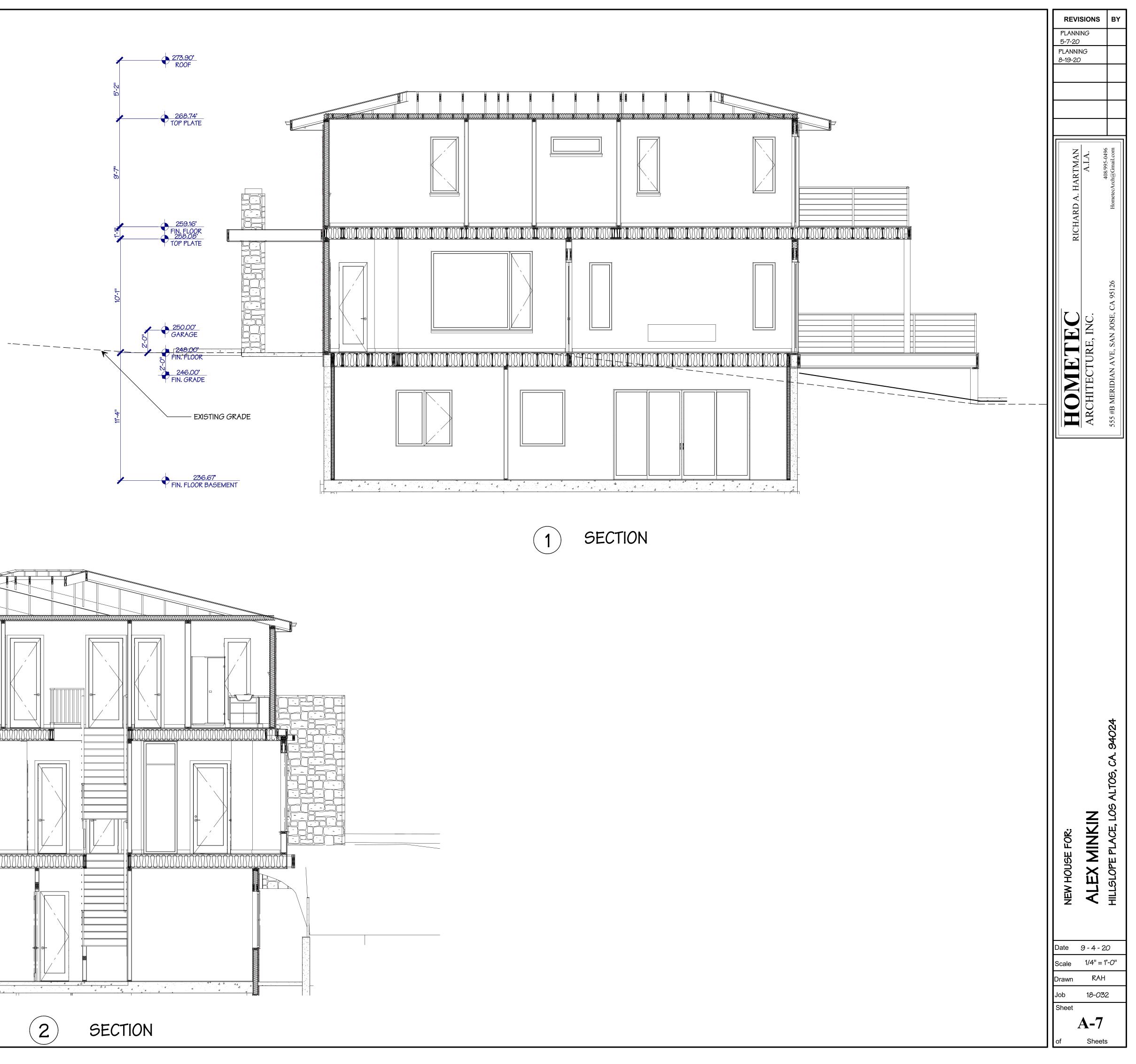
Sheets

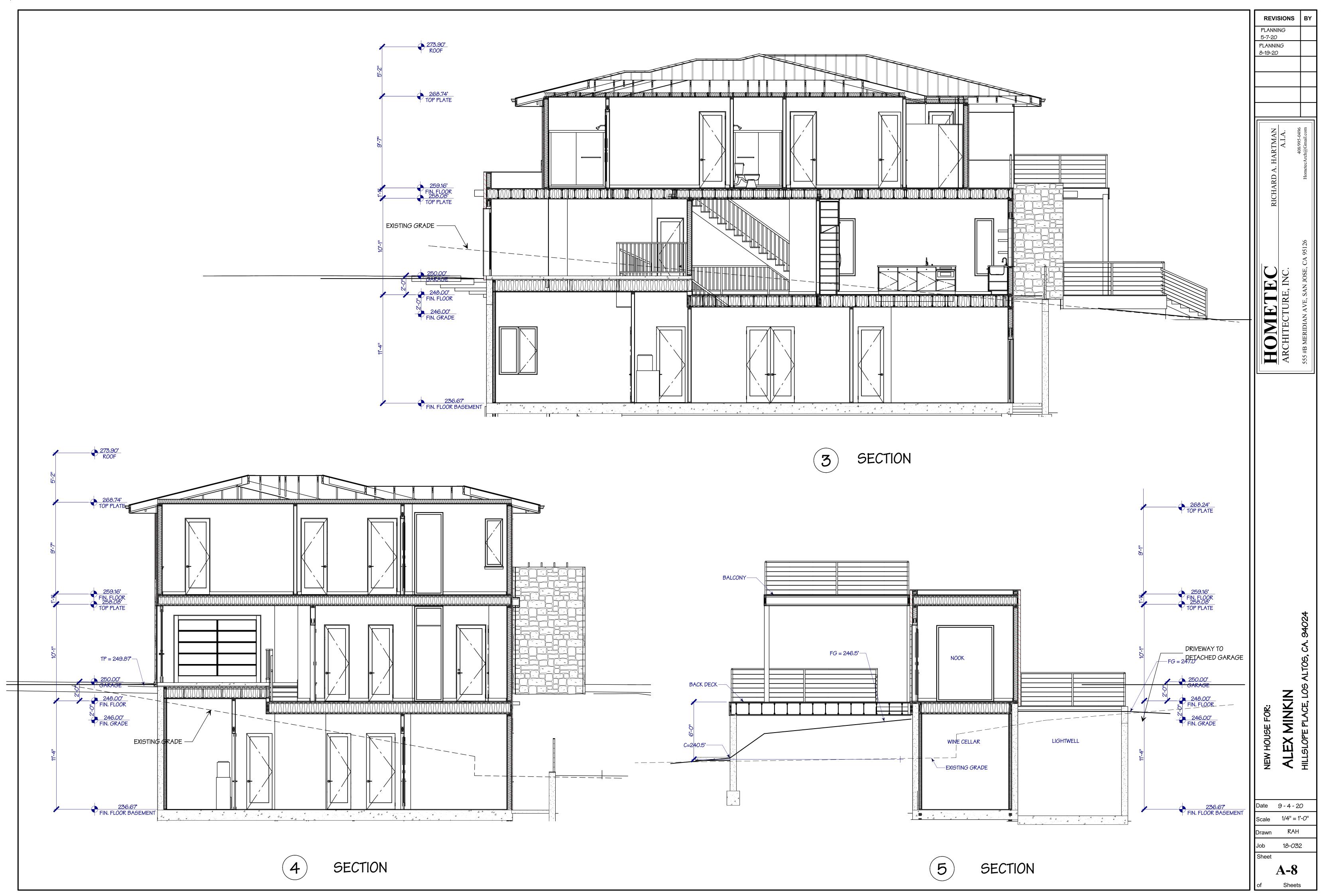


	REVISION PLANNING 5-7-20 PLANNING 8-19-20	IS BY
	RICHARD A. HARTMAN A.I.A.	408/995-0496 HometecArch@Gmail.com
	HOMETEC ARCHITECTURE, INC.	555 #B MERIDIAN AVE, SAN JOSE, CA 95126
		ALTOS, CA. 94024
L & CABLE RAILING (TYP.)	NEW HOUSE FOR: ALEX MINKIN	HILLSLOPE PLACE, LOS ALTOS, CA. 94024
	Scale 1/4 Drawn F Job 18- Sheet A-	+ - 20 " = 1'-0" RAH -032 - 6 neets



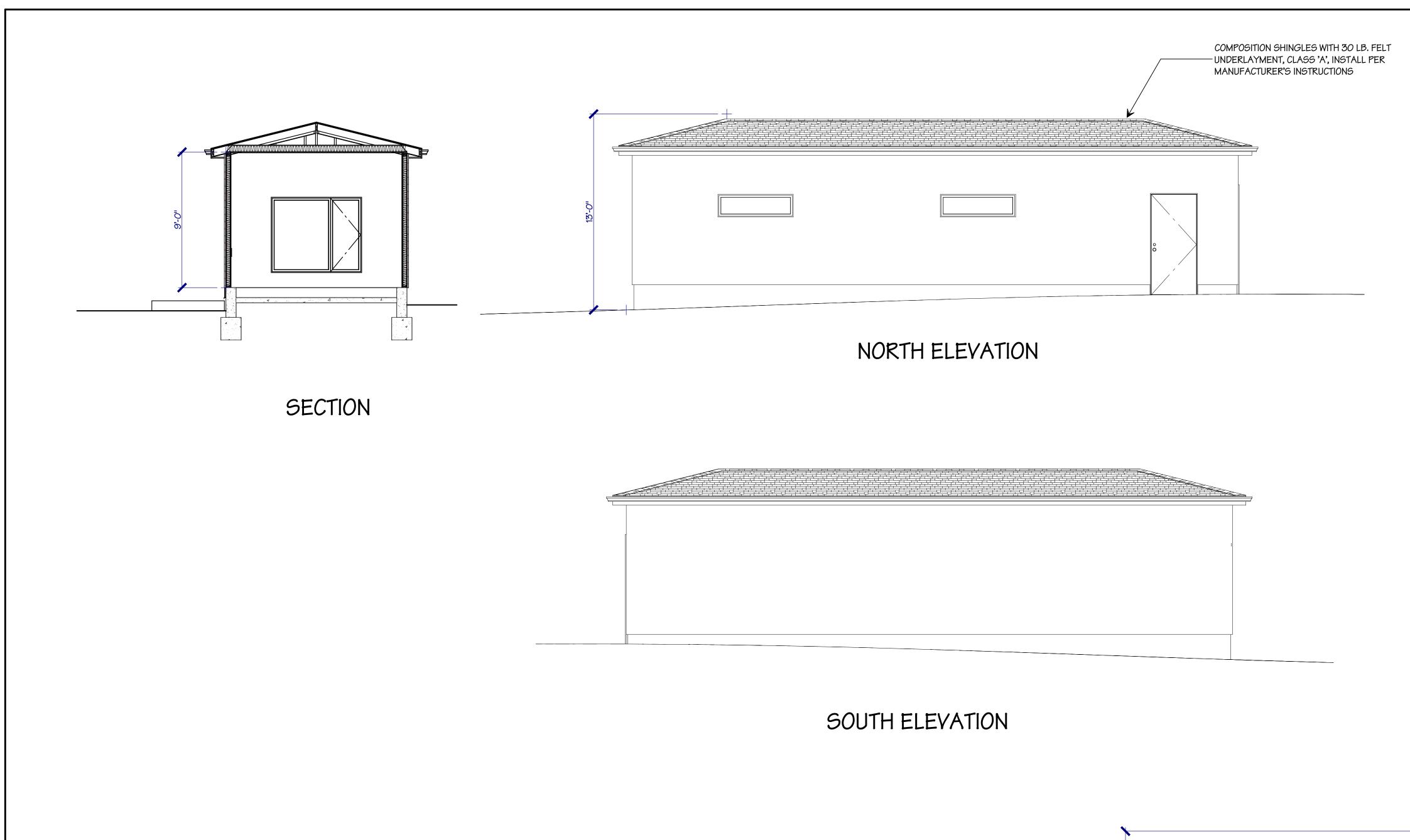
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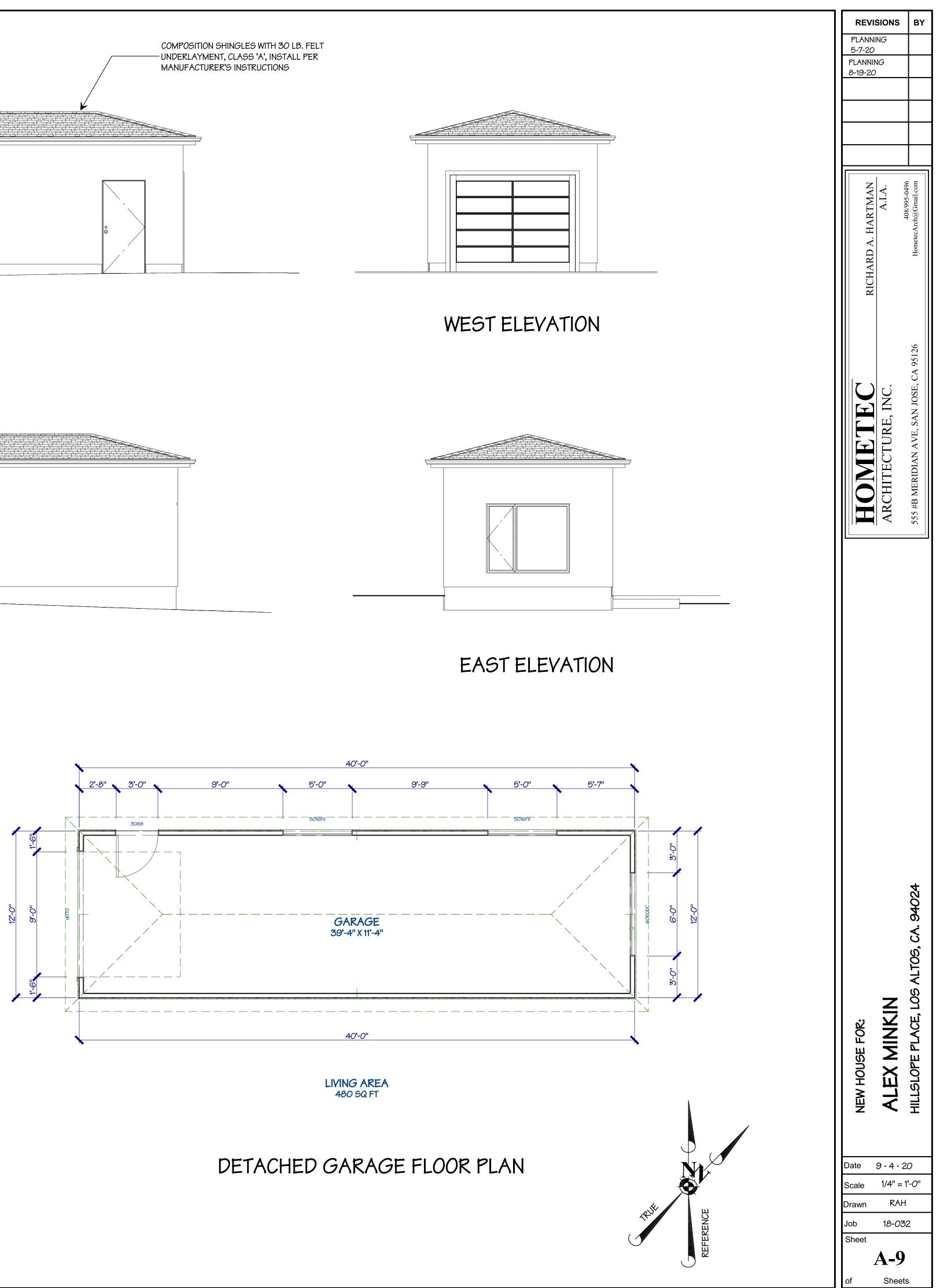


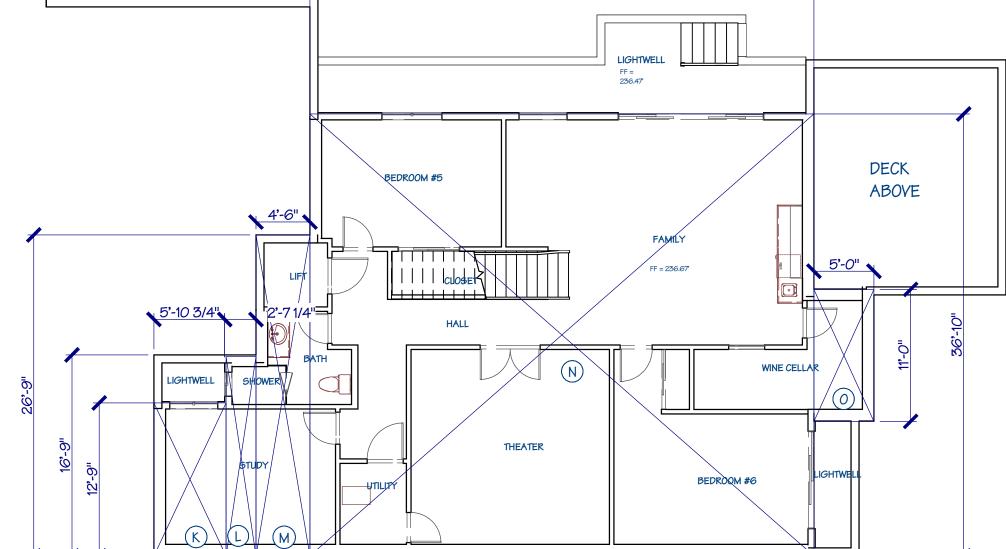


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BASEMENT FLOOR FAR CALCULATION

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GRAND TOTAL

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TOTAL

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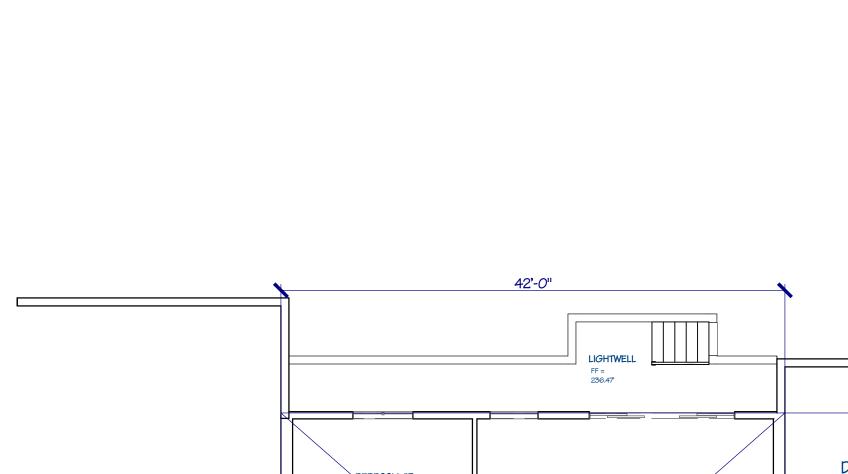
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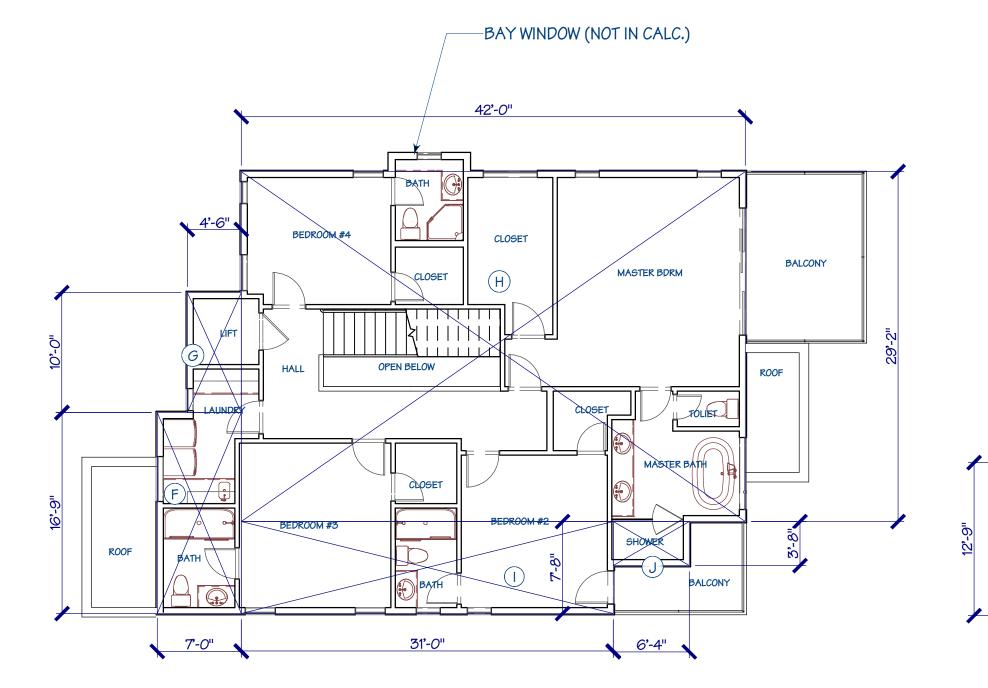
1893.00

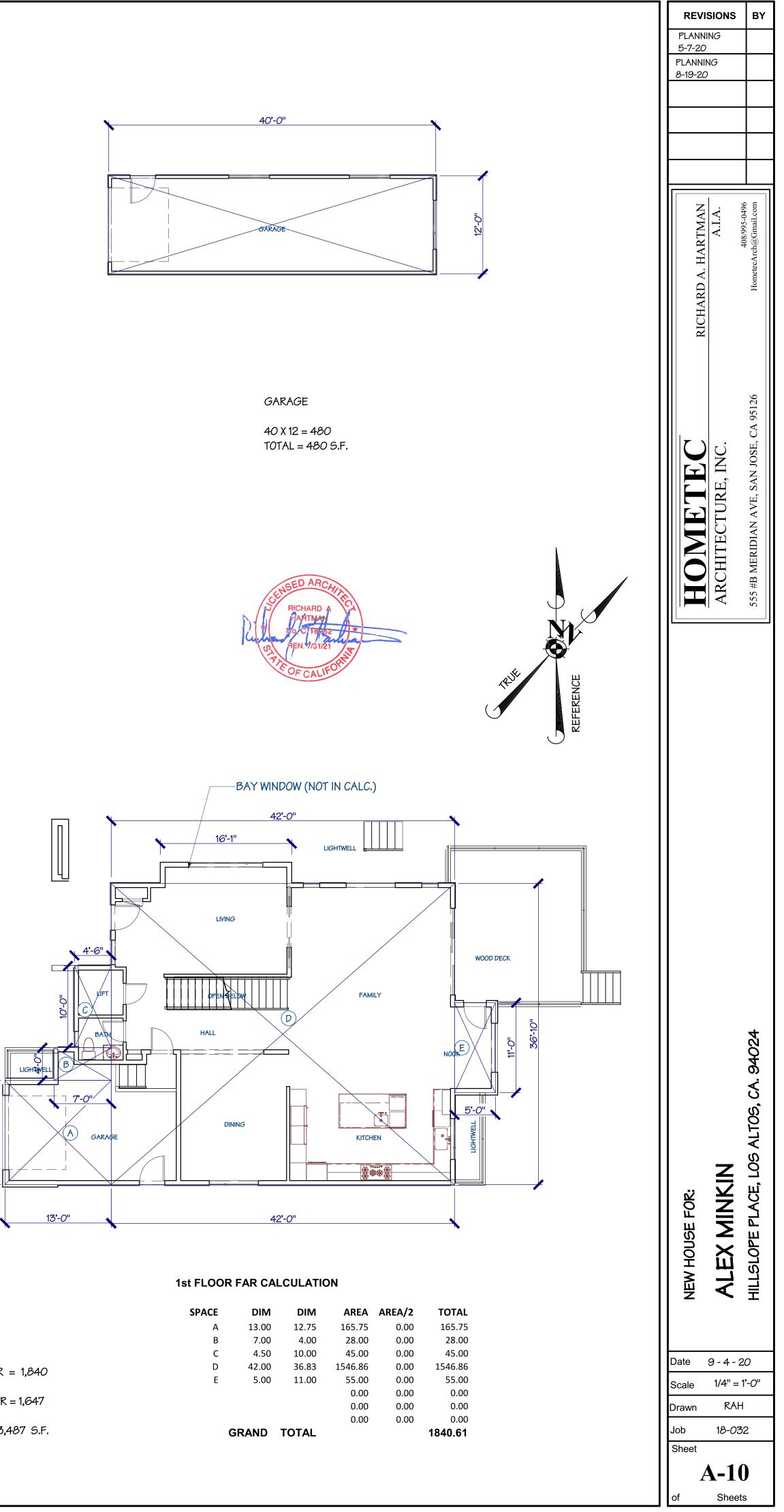


ACE	DIM	DIM	AREA	AREA/2	TOTAL
F	7.00	16.75	117.25	0.00	117.25
G	4.50	10.00	45.00	0.00	45.00
Н	42.00	29.16	1224.72	0.00	1224.72
I	31.00	7.66	237.46	0.00	237.46
J	6.33	3.66	23.17	0.00	23.17
			0.00	0.00	0.00
			0.00	0.00	0.00
			0.00	0.00	0.00
	GRAND	TOTAL			1647.60

2nd FLOOR FAR CALCULATION

SPACE





1st FLOOR = 1,840 2nd FLOOR = 1,647 TOTAL = 3,487 S.F.