

Ingram-Cauchy Residence Statement of Appeal

19800 Old Santa Cruz Highway, Los Gatos (APN: 558-41-020)

File: PLN19-0074-MODI-APL1

This Statement of Appeal, together with the Before and After Photos, Chronology, Grading Findings and Retaining Wall documents attached as Exhibits A-D, provide the basis for Alexa Ingram-Cauchy's appeal to the Planning Commission of the December 18, 2020 denial of her application for a minor modification of her existing Grading Approval by County Planning Staff.

Introduction.

This appeal should not be necessary. It arises from an honest, inadvertent mistake made by the County Planning Department, which the Department discovered two years later, after the grading had been completed pursuant to a validly issued grading permit and was reflected on a validly issued minor modification to the Grading Approval, and the grading had been inspected and signed off by County inspectors.

Alexa Ingram-Cauchy's new home and guest home received Building Site Approval and Grading Approval from the County in 2016. When the plans were submitted in early 2017 for the grading permit, the County Planning department and Land Development Engineering (LDE) department noticed immediately that there was more grading than approved in 2016, and the Planning department required an explanation. That explanation was provided in writing: the architectural plans which had been approved in 2016 had incorrectly designed the driveway in a way that would direct storm runoff toward the structures, so it would be necessary to further excavate the proposed driveway to avoid flooding risks. For that reason, the grading plans showed the additional excavation needed to correct the driveway design, and showed that much of the fill from the driveway excavation would be spread across the large yard area, raising and flattening it slightly.

Thereafter the County completed the processing of the grading permit and issued it in early 2018, along with the building permit, and Ms. Ingram-Cauchy proceeded to build her house, including the excavation for the driveway and the placement of fill in the yard area. In the middle of 2019, while this work was proceeding, the County approved a minor grading modification to the Grading Approval based on a plan which showed all of this excavation and placement of fill.

The project work was completed at the end of 2019, including the landscaping of the yard area where the fill had been placed, and final inspections occurred soon thereafter. The maximum depth of fill added to the yard area is just over three feet (3'), not 6-7 feet as stated in the Staff Memorandum. This raising of the yard area to accommodate the fill is virtually undetectable compared to the pre-existing grade. See before and after comparative photos attached as Exhibit A.

In January of 2020, with all the work done, the County determined that a mistake had been made: when the plans were submitted in early 2017 showing more grading than approved in 2016, the County *should have* required a modification of the Grading Approval to be processed concurrently with the grading permit. So they informed Ms. Ingram-Cauchy that she would need to apply for the modification after the fact, even though the work had already been completed pursuant to the 2018 grading permit, and was also shown on the minor modification plans approved in June of 2019. Ms. Ingram-Cauchy, informed by staff that there did not appear to be any reason why the modification would not be approved as it was mostly a matter of cleaning up the approvals so they matched what was built, complied and submitted the application.

After staff started the processing of the application, they informed her that they had determined that the modification fell into the “minor” modification category per County Code, but to Ms. Ingram-Cauchy’s astonishment, told her that they could not make the required grading findings to support the minor modification. She was given a Hobbesian Choice: withdraw the application, tear out her irrigation, landscaping and hardscape, excavate her yard down to what was shown in the 2016 approvals, haul away all the dirt, and re-do the yard (which would cost well in excess of \$300,000, most of which would be spent in hauling and disposal fees for the soil), or receive a staff denial, which was appealable to the Planning Commission. She chose the latter.

For the reasons explained in this Statement and supported by the attached exhibits, the Planning Commission should grant the appeal. We believe that the minor modification application being appealed was an unnecessary exercise because the grading had already been approved by LDE (in the grading permit) and by Planning (in the 2019 minor modification approval), and that because the grading was completed pursuant to validly issued approvals, that Ms. Ingram-Cauchy has a right vested in law to retain it. Even if the minor modification is necessary, the required grading findings are easily made, and are attached for Planning Commission approval.

Statement of Facts.

The facts supporting the appeal are provided in the Chronology attached as Exhibit B. In the Chronology, the first five pages state the timeline of events in summary form, followed by the 22 attachments referred to in that timeline. We ask the Planning Commission to review that timeline. The facts from the Chronology are referenced throughout the Analysis section below, and in the Grading Findings attached as Exhibit C.

Analysis.

A. No Further Modification of the Grading Approval is Required.

Even though Ms. Ingram-Cauchy held a validly issued 2018 County Grading Permit and validly issued 2019 minor modification approval, which together allowed the grading that has been performed on the property, Planning staff insisted in early 2020 that an additional Grading Approval modification was needed after the work had been completed. In an effort to cooperate with staff, and without waiving her contention that no additional approvals were necessary, Ms. Ingram-Cauchy applied for another Grading Approval modification and paid the fee. She reasonably expected a simple processing and approval of that application because, as stated by Chris Freitas from LDE in his 1/27/20 email (see Chronology, Attachment 20):

“Based upon our discussion with [planning] staff, there were no initial proposal deficiencies identified, but an application needs to be made. This appears to be an administrative review only to clean up the scope to what your client wants.”

As is evident from this appeal, planning staff ultimately did *not* treat this as a simple process to clean up the Planning file regarding the grading. Rather, they *denied* the application, and seek to have all of the fill authorized by the 2018 Grading Permit and shown on the plans approved by Planning staff in the minor modification approved on 6/7/19 removed from the property.

Under these circumstances, Ms. Ingram-Cauchy asks that the Planning Commission grant her appeal by finding that the grading which is the subject of the current modification application was properly authorized in the 2018 Grading Permit and approved by Planning in the 2019 minor Grading Approval modification, and order a refund of Ms. Ingram-Cauchy's application fees for the current application, which was unnecessary but required by Planning staff.

B. Ms. Ingram-Cauchy has a Vested Right to Retain the Improvements Approved by the Grading Permit Issued by the County in 2018, Shown in the Minor Modification Plans Approved by the County in 2019, and Installed and Inspected per that Grading Permit.

All of the grading which is the subject of this appeal was completed by December of 2019 and, as determined by County inspections, performed consistent with the Grading Permit issued by the County in January of 2018 and shown in the Grading Approval minor modification plans approved by the County in June of 2019. All of the landscaping was planted by the end of 2019 and is growing and indeed, the entire project (house, guest house, etc.) was completed in early 2020.

When a permit for construction of improvements is validly issued, and a substantial start is made to the work authorized by that permit, California law provides that the permit holder has a vested right to complete and retain those improvements. (*Avco Community Developers, Inc. v. South Coast Regional Com.* (1976; 17 Cal.3d 785, 791; *Aires Development Co. v. California Coastal Zone Conservation Com.* (1975) 48 Cal.App.3d 534, 543.)

Regarding Ms. Ingram-Cauchy's property, the original 2016 BSA and Grading Approval, the 2018 Grading Permit, and the 2019 minor modification of the Grading Approval were all validly issued by the County, and within the County's discretion to issue. Ms. Ingram Cauchy completed the excavation of the driveway and the installation of the fill pursuant to the Grading Permit and consistent with the approved plans for the 2019 minor modification over a year ago. Under these facts, Ms. Ingram-Cauchy asserts that she has a vested right to retain the driveway as currently excavated and the fill as presently placed, without the need for an additional modification of her Grading Approval, and asks that in granting her appeal, the Planning Commission find that she has a vested right to retain the driveway as excavated and the fill as placed.

C. The Grading Findings Can be Made Regarding the Additional Excavation and Resulting Fill Retained On-Site, as Approved by the Grading Permit issued by the County.

Under County regulations, the Grading Findings provided in Section C12-433 of the County's Grading Ordinance are required for Grading Approvals, and for modifications of Grading Approvals. Inexplicably, Planning staff did not prepare Grading Findings when they made the Grading Approval in 2016, nor when they approved the minor modification of the Grading Approval in 2019. But in 2020, presented with the new modification application Planning staff had insisted was needed to clean up the County file for the project, Planning staff applied the Grading Findings for the first time regarding Ms. Ingram-Cauchy's project. In the Staff Memorandum, staff contends that five of the seven Findings cannot be made. There are two primary flaws with Planning staff's analysis of those five Findings.

First, staff mis-defines the grading to be analyzed in the Findings as only the fill which increased beyond what was approved in 2016, ignoring the necessary additional excavation that was beyond what was approved in 2016. But that additional excavation is what *created* the additional fill, and since neither was approved in the 2016 Grading Approval, *both* needed to be addressed in the analysis for the Findings. The County's Grading Ordinance does not authorize staff to pick out a discrete aspect of proposed grading and apply the Findings only to that aspect. Rather the Findings must be applied to the whole of the grading being proposed.

Second, staff ignores a Policy in the County's Plan that specifically allows fill to remain on-site even if retaining that fill on-site is not "minimally necessary" for the use of the property:

R-GD 23: Proposals to balance cut and fill amounts where such grading would exceed that which is deemed minimally necessary and reasonable for the site may be considered based on environmental impacts, the ability of the site to accommodate the additional fill without causing additional adverse impacts, the remoteness of the site, the overall amount of material that would otherwise need to be removed from the site, and the impacts of any truck traffic that could be involved, including travel distances, local road impacts, safety, noise, dust, and similar issues.

It is unclear why staff did not include R-GD 23 in their analysis of the Findings, or how they could have missed that Policy in preparing the Findings, given that in staff's Findings analysis they cite the two General Plan Policies surrounding it: R-GD 22 and R-GD 24, and argue as to those Policies that the Findings cannot be made because the additional fill is not "minimally necessary" for the use of the property.

Both of these flaws present in the staff version of the Findings are corrected in the set of Grading Findings attached as Exhibit C. As required by the Grading Ordinance, that attached set of Findings looks at *both* the additional excavation that was not included in the 2016 Grading approval but was necessary to create a driveway that did not cause flooding, *and* what was done with the fill that was generated by that necessary additional excavation (part of which was hauled away, and with most of what was retained on-site placed in the yard area). The attached Findings conclude that the additional excavation and treatment of the fill resulting from that excavation *is* reasonably necessary for the legal use of the property, and even if the retention of some of that fill on-site is not "minimally necessary" for the use of the property, it can remain on-site because it meets the requirements of General Plan Policy R-GD 23.

Ms. Ingram-Cauchy requests that the Planning Commission adopt the Grading Findings attached as Exhibit C in granting her appeal.

D. The Two Retaining Walls at Issue Do Not Require Modification of the Grading Approval.

The Staff Memorandum contends that the Grading Findings cannot be made for two retaining walls (which were not specified in the Staff Memorandum but were subsequently identified by the project planner in an email on 12/23/20). This issue came as a surprise to Ms. Ingram-Cauchy because the contention that these two walls required permits was first identified in the 12/18/20 Staff Memorandum even though she has been

working with Staff regarding their concern about the fill placed in the yard since January of 2020 (See Chronology).

As detailed below and in the Retaining Wall exhibit attached as Exhibit D, the Grading Findings do apply to either of these small structures because both are exempt from the grading and/or building permit requirements (and hence the Grading Findings): they are each under forty-eight inches (48”) in height including footings and neither is supporting a surcharge. See Zoning Ordinance Sections 5.50.050.H, 4.20.020.B.2 and 3.20.040.A.1.c, and Grading Ordinance Section C12-407(b).

Wall 1: 42” max. height decorative rock wall (no footing) – no permit required.
Wall 2: 38” max. height (including footing) concrete wall – no permit required.

If permits are nonetheless determined to be required for either of these structures, Ms. Ingram-Cauchy is willing to obtain them (and would have applied for them earlier in the process had she been informed that they were needed), and there should not be any reason why those permits could not be approved for these small walls.

Request for Site Visit.

Ms. Ingram-Cauchy asks that the Planning Commissioners visit the property in advance of the hearing to see the yard area and better understand that the requested modification of the Grading Approval is, as determined by Planning Staff, truly “minor”.

Conclusion.

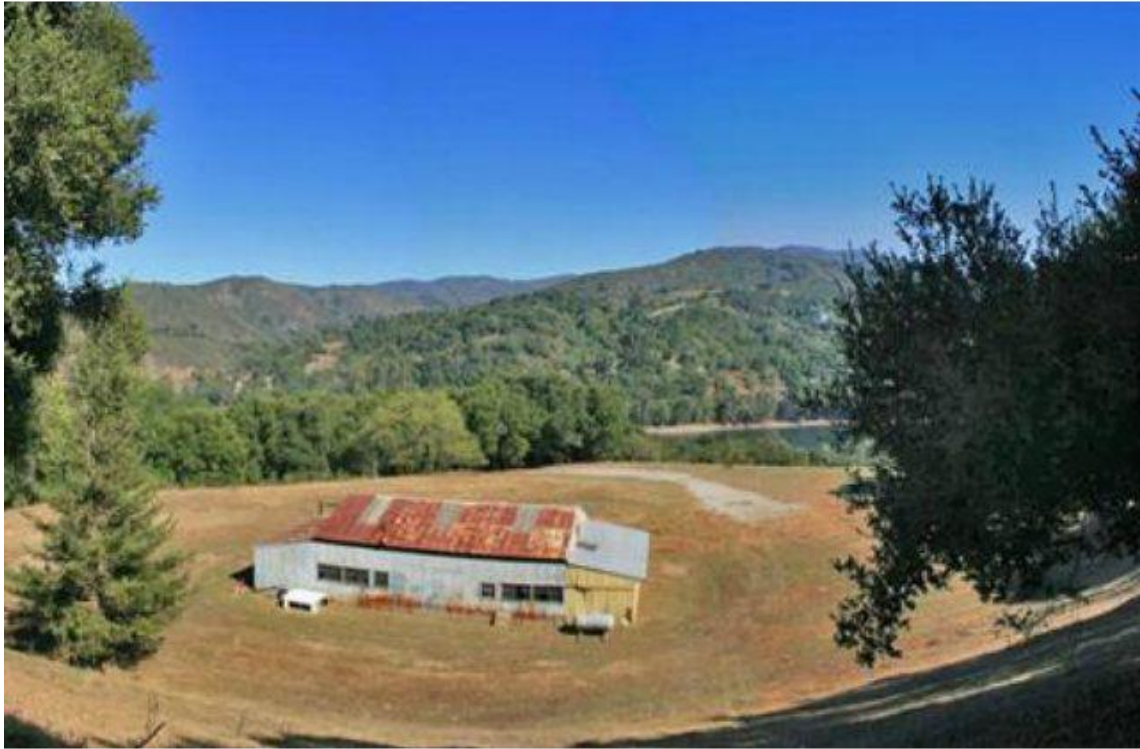
Ms. Ingram-Cauchy asks that Planning Commission grant her appeal on any or all of the grounds stated above. The granting of the appeal would be based upon and supported by the substantial evidence in the materials submitted by Ms. Ingram-Cauchy for the appeal and on additional information contained in the County files for this project, all of which comprise the administrative record.

Exhibits

Exhibit A: Ingram-Cauchy Residence Before and After Comparative Photos of Yard Area
Exhibit B: Ingram-Cauchy Residence Grading Chronology
Exhibit C: Ingram-Cauchy Residence Grading Findings
Exhibit D: Ingram-Cauchy Residence Wall Photos

Ingram-Cauchy Residence: Before and After Photos of Yard Area – Exhibit A

Left end of metal shed in 2015 photo was retained at existing grade and is seen in the 2021 photo to the right of the guest house. The yard area where the fill was added is behind the shed.



Ingram-Cauchy Residence Grading Chronology – Exhibit B

19800 Old Santa Cruz Highway, Los Gatos (APN: 558-41-020)
PLN19-0074

- 1/2015 Purchased property. See Attachment 1: photo of portion of property in question showing that area surrounding the barn had been graded, removing any pre-existing natural contours.
- 11/10/2015 Submitted BSA/Grading Approval application for development of residence. See Attachment 2: County Web-page screenshot.
- 4/18/2016 BSA/Grading Approval approved by County, showing 1970 cy of excavation, including 1500 cy for the driveway. The approved plans were silent as to what was to be done with the fill generated by that excavation. The proposed topography for the yard area was the existing topography: 790' sloping down to 786'. See Attachments 3 and 4: Approved BSA final conditions and Approved BSA Plans (reference to excavation quantities is on Sheet A1.1).
- 2/16/2017 Grading permit plans submitted, showing retention and distribution of fill. 4500 cy cut and 4500 cy fill figures shown on C1. C3 shows proposed elevation of subject area at 796' then sloping down to 788' at the limit of fill. See Attachment 5: Sheets C1 and C3 from initial grading plan set.
- 3/21/2017 First written communication specifically about and explaining additional excavation and "more environmentally sensitive" retention of the fill soil on site due to discovery that driveway design in BSA plans did not properly account for release of storm water, in response to Freitas (LDE) questions about grading quantities in approved plans. See Attachment 6: Email from Project Architect Schilb to Salisbury (Planning).
- 4/17/2017 County advised in more detail of reasons to retain fill from the driveway excavation on site. See Attachment 7: Architect's letter to Salisbury (Planning) re retention of graded soil, attaching geotech Kasunich's letter to Ingram regarding desirability of retaining fill.

- 5/1/2017 County confirmation that it was aware of the request for additional excavation and to retain fill on site and had requested more specific information. See [Attachment 8](#): Email from Salisbury to Ingram.
- 5/3/2017 In response to Salisbury request on 5/1/17, formal explanation submitted about and explaining the additional excavation and the retention of soil on site – specifically retaining 3600 cy on site and applying it as a 2.5 foot lift over approximately an acre “to eliminate an environmentally undesirable long distance export.” See [Attachment 9](#): Emailed letter from Mission Engineers, Inc. to Salisbury.
- 11/17/2017 Revised grading plans submitted, showing proposed cut reduced from 4500 to 3600. The plans break the resulting 3600 cy of fill into two components: 1850 cy will be retained on site, with approximately 150 cy needed for the upper driveway, and the rest of that 1850 cy to be spread across the large yard area as a first “lift”. The remaining 1750 cy fill listed on the Cover Sheet of the plans is the subject of the balancing of cut and fill referenced on sheets C3 and C3.1, which both show across the yard area the notation: “PROP. GRADES REVISION RAISE 2’ +/- TO BALANCE EARTHWORK” as a second “lift” in the yard area. Sheets C3 and C3.1 also both show the proposed topography of the area in questions starting at 792’ then sloping down to 788’. See [Attachment 10](#): Complete revised plan set.
- 1/18/2018 Grading permit issued. Plan set stamped approved and signed by Jess T is the plan set submitted on 11/17/2017 ([Attachment 10](#)), thereby approving the proposal retain the first 1850 cy of fill on site as shown on the plans and as to the other 1750 cy of fill, to “BALANCE EARTHWORK” as shown on sheets C3 and C3.1. See [Attachment 11](#): Grading Permit and four pages of County-approved grading plan set.
- 1/18/2018 Grading work commenced. See [Attachment 12](#): Timecard for Pedro Ramirez for week of 1/20/18.
- 1/29/2018 Building Permits issued. See [Attachment 13](#): Building Permit 64821 Main and Building Permit 64823 Guest

- 3/29/2018 First load of dirt off-hauled. See Attachment 14: Non-hazardous Waste Form, No. 723750
- 5/07/2018 First foundation footing inspection for Main House. At this point, the Main House basement excavation has been completed. See Attachment 13: Building Permit 64821 Main.
- 5/11/2018 Last load of dirt off-hauled. See Attachment 14: Non-hazardous Waste Form, No. 738943. Total quantity of soil off-hauled equals approximately 686 cubic yards (49 trucks x 14 cy/truck).
- 5/18/2018 First foundation footing inspection for Guest House. At this point, the Guest House basement excavation has been completed. See Attachment 13: Building Permit 64823 Guest.
- 4/15/19 Submitted application for Modification of BSA/Grading Approval. See page 1 of the 12/18/20 Staff Memorandum confirming date of submission of the application.
- 6/7/19 County approves Minor Modification of BSA/Grading Approval. The grading plans submitted on 4/15/19 and approved by the County on 6/7/19 show the proposed additional excavation of the driveway and show the new elevations with the placement of approximately 2760 cy of fill in the yard area where the "BALANCE EARTHWORK" note had been on the plans approved for the Grading Permit on 1/18/18. See page 1 of the 12/18/20 Staff Memorandum confirming County approval of the minor modification and see Sheets C-3 and C-3.1 of the plans approved by the County on 6/7/19, attached to the 12/18/20 Staff Memorandum as Attachment D.
- 8/3/2019 Grading in the yard area has been completed by this date, and area is being used for construction staging/storage of pallets. See Attachment 15: photo of subject area taken 8/3/2018.

- 12/17/2019 LDE final signoff on guest house. See Attachment 13: Building Permit 64823 Guest
- 12/19/2019 Landscaping in subject area completed before this date. See Attachment 16: Final Inspection Letter from Geotech Kasunich and Attachment 17: 1/9/20 invoice for completed landscaping.
- 1/2/2020 County first informs Ingram of County position that Grading Approval Modification required regarding grading outside the building pad. See Attachment 18: Letter to Ingram with plan check comments from Tsuchimoto.
- 1/3/2020 Meeting with County staff to discuss PLN19-0074 Modification to Grading.
- 1/24/2020 Tsuchimoto informs Ingram after meeting with Mikhail that the “determination was made that a Modification to the Grading Approval and Grading Permit is required in order to allow for the spread of 770 cubic yards of fill on-site.” See Attachment 19: Email from Tsuchimoto to Ingram.
- 1/27/20 Chris Freitas acknowledges that the County had approved the placement of up to two feet of fill in the subject area, and states that the approval was “an error”. See Attachment 20: Email from Freitas to Nunes.
- 2/11/20 All grading completed – only grading that occurred after early December 2019 was minor fine grading around perimeter of main house to facilitate drainage to the existing catch basins. See Attachment 12: Timecard for Pedro Ramirez for week ending 2.15.20. Note that the utility shed shown is the leftmost portion of the barn shown in Attachment 1, and that the grade at the base of the shed is unchanged from the grade shown at the base of the building in Attachment 1.
- 6/25/20 Submitted application for a second modification of BSA/Grading Approval as instructed by County staff to correct the County “error”. See page 2 of the 12/18/20 Staff Memorandum confirming date of submission of the application.

- 7/08/20 Roads and Airports final signoff on both houses. See Attachment 13: Building Permit 64821 Main and Building Permit 64823 Guest
- 7/13/20 Building Department final "Project Complete" signoff on both houses. See Attachment 13: Building Permit 64821 Main and Building Permit 64823 Guest.
- 8/24/20 As Built Grading Plan shows 690 cy of export (rounded from the 686 cy figure related to the off-haul records) (Attachment 14) and the topography of the subject area at 792' sloping to 789'. The fill retained in the yard area, including the approved "balancing" was 2760 cy (1700 from the first "lift" and 1060 from the "balancing" second "lift"), significantly less than the 3600 cy estimated on 5/3/17 in the Mission letter to County (Attachment 9). Sheet C6 Details E-E and F-F show the specifically approved fill, and the additional "balancing" fill which averages approximately 1.5 feet over the subject area. The maximum depth of fill in the yard area where the 2760 cy of fill was placed (both the first "lift" and the second "lift") is just over three feet (3'). See Attachment 21: As Built Grading Plan Set.
- 9/12/2020 Project Geotech confirms that retaining fill in the subject area is desirable and customary. See Attachment 22: Supplemental letter from Kasunich.

ATTACHMENT 1



ATTACHMENT 2

Record Details

Applicant: Alexa Ingram Cauchi	Project Description: Modification of file 10735-15B-15G to add easement conditions of approval. Also correlates with file 11330.	Owner: Alexa Ingram Cauchi 19800 Old Santa Cruz Highway Los Gatos CA 95033
--	--	--

▼ **More Details**
☑ **Related Contacts**
☑ **Application Information Table**

Project Type	
Type:	Pre-screening
Added:	03/19/2015
Added By:	AACONV
Type:	Building Site Approval
Added:	11/10/2015
Added By:	AACONV
Type:	Grading Approval
Added:	11/10/2015
Added By:	AACONV
Type:	Grading Approval
Added:	01/27/2016
Added By:	AACONV
Type:	Building Site Approval
Added:	01/27/2016
Added By:	AACONV
Type:	Building Site Approval
Added:	03/03/2016
Added By:	AACONV
Type:	Grading Approval
Added:	03/03/2016
Added By:	AACONV

☑ **Parcel Information**

Activate Windows
Go to Settings to activate Windows.

ATTACHMENT 3

FINAL CONDITIONS OF APPROVAL
SINGLE BUILDING SITE

Date: April 18, 2016
Owner/Applicant: Alexa Ingram-Cauchi
File Number: 10735 - 15B-15G
Location: 19800 Old Santa Cruz Highway, Los Gatos
Project Description: Single Building Site Approval for a proposed new single family residence and a detached secondary dwelling.

Items marked with one asterisk (*) must be completed prior to building/grading permit issuance.

Items marked with three asterisks (***) must be completed prior to final occupancy/release of bond.

PLANNING:

Contact Robert Salisbury (408-299-5785 / robert.salisbury@pln.sccgov.org) regarding the following conditions:

1. Development and site maintenance shall take place in accordance with approved plans submitted to the Planning Office on March 3, 2016 by Schilb Industrial Arts.
2. This approval is based upon the calculation of the average slope of the developed area as less than 30% (calculated average slope of parcel is 22.9%).
3. Existing zoning is HS. Maintain the following minimum dwelling setbacks:

Front: 30 ft.	Sides: 30 ft.	Rear: 30 ft.
----------------------	----------------------	---------------------
- 4.* A minimum of three (3) off-street parking spaces must be provided to accommodate the primary and secondary dwellings, and at least one (1) of these spaces must be covered. (Zoning Ordinance Section 4.30.030). Show parking spaces on the site plan submitted for the building permit.
- 5.* Any monies or fees due to the Department of Planning and Development shall be paid prior to issuance of any permits for this project.
- 6.* A secondary dwelling deed restriction must be signed, notarized and recorded, and a copy of the recorded deed restriction must be submitted to the Planning Office, prior to building permit issuance. The deed restriction acknowledges that one of the two dwellings must be owner-occupied.
- 7.* Submit a completed Landscape Water-Efficiency Checklist prior to the issuance of a building permit. If the new landscape area exceeds 5,000 sq. ft., an irrigation design plan shall be

required and prepared by a licensed Landscape Architect, and included with the required landscaping plan.

ENVIRONMENTAL HEALTH:

Contact Darrin Lee (408-299-5748 / darrin.lee@deh.sccgov.org) regarding the following conditions:

- 8.* Sewage disposal conditions have been determined at 325 plus 325 lineal feet of subsurface drainline. The two drainline systems must be connected through a positive diversion valve. A 1500 gallon septic tank will be required. This septic system is adequate to serve a four bedroom house and 1 bedroom secondary unit.
- 9.* Submit revised plot plans to scale (1"= 20') on a grading and drainage plan showing house, driveway, all accessory structures, septic tank and required drainlines to contour. In order to prepare the plans the following must be included/completed:
 - a. Include the APN on the plans.
 - b. Include revision date on revised plans.
 - c. The percolation holes # 11, 18, 19, and RT23 are included in the percolation table. On the site plan percolation holes # 10, 11, 18, 19, 21, and 21 are noted. There is a discrepancy. Include data for all percolation holes in the dispersal field. Verify application rate is still 0.52 gpd/sqft.
 - d. Indicate risers to grade for septic tank.
 - e. Provide a cross-section through both dispersal fields on the plans.
 - f. Provide erosion control plan.
- 10.* Call the Department of Environmental Health office (DEH) at 408-918-3468 (Darius Haghghi) for septic clearance for final Onsite Wastewater Treatment System (OWTS) design. This is a separate submittal to DEH and additional fees may be required. One plan signed by DEH (3 if septic permit required) are needed at Planning to issue permit. DEH also needs one copy.
- 11.* Submit a complete set of floor plans to the Department of Environmental for review prior to septic system sign-off.
- 12.* Slope in dispersal field is between 20 to 30%. Provide a geotechnical report prepared by a state registered civil engineer, state certified engineering geologist or a state Registered Environmental Health Specialist WHICH DEMONSTRATES that use of a subsurface sewage disposal system will not permit sewage effluent to surface, affect soil stability, degrade water quality, create a public nuisance or present a threat to the public health or safety. The report must address the specific engineered septic system plan. This report is required where drainfields are proposed to be installed on slopes exceeding 20%.

ROADS AND AIRPORTS DEPARTMENT:

Contact Shelly Theis (408-573-2482 / shelly.theis@rda.sccgov.org) for details regarding the following conditions:

13. **ENCROACHMENT PERMIT:** Obtain a Santa Clara County Roads and Airports Department (RAD) Encroachment Permit prior to any work performed in the County Road Right of Way (ROW) and prior to grading, drainage, and/or building permit issuance. The Encroachment Permit application shall contain all the elements indicated in "IMPROVEMENT PLANS" below and in Roads and Airports' "ENCROACHMENT PERMIT APPLICATION PROCESS & INFORMATION" handout. Please contact Permits at (408) 573 -2475 or by email at Permits@rda.sccgov.org for complete application process, fees, timelines, and handouts.
14. **IMPROVEMENT PLANS:** Preliminary plans prepared by Mission Engineers, Inc. and received on November 10, 2015 by the Santa Clara County Planning Office have been reviewed. Submit final improvement plans prepared by a registered civil engineer for review and approval. Include plan, profile, typical sections, contour grading and drainage for all construction improvements located within the ROW.

Design shall be consistent with County Ordinance, Roads and Airports Standard Details Manual, and the Santa Clara County Drainage Manual. Final Improvement Plans shall include the following:

- a. Design the driveway approach to County Standard B4 and continue the existing asphaltic concrete berm along Lexington School Road to tie into the new driveway approach.
- b. Show all existing and proposed features located within the ROW, including but not limited to, edge of pavement, gate, ROW line, above and below ground utility lines, easements, drainage facilities, trees, landscaping, and other structures and features. All utility relocations, replacements, abandonments, temporary facilities, and new facilities shall be shown.
- c. Provide for the uninterrupted flow of water in swales and natural courses within the ROW. No fill or crossing of any drainage facilities is allowed unless shown on the approved plans.
- d. Provide drainage plans and hydraulic calculations prepared by a registered civil engineer in accordance with the 2007 County's Drainage Manual. Owner's engineer is to demonstrate that the post development maximum flow rate onto the County Road ROW is equal or less than the pre-development corresponding storm event flow rate. If this cannot be demonstrated, a detention/retention system shall be located outside the County Road ROW.
- e. Provide an Erosion and Sediment Control Plan that outlines seasonally appropriate erosion and sediment controls during the construction period within the ROW in accordance with Municipal Regional Permit.

- f. Provide a Site Specific Traffic Control Plan or “Typical Application” from Part 6 Temporary Traffic Control of the 2012 Edition Manual Uniform Traffic Control Devices to demonstrate traffic handling during construction as appropriate.
- 15.** CONSTRUCTION: Construct all of the aforementioned improvements prior to release of the Grading Bond and/or final Building occupancy. Construction staking within the ROW is required and shall be the responsibility of the developer.

LAND DEVELOPMENT ENGINEERING:

Contact Ed Duazo (408-299-5733/ed.duazo@pln.sccgov.org) regarding the following conditions:

- 16.* Obtain a Grading Permit from Land Development Engineering (LDE). The process for obtaining a grading permit starts with the submittal of the following items for engineering plan check.
- o Six sets of grading plans on 24”x36” plan sheets
 - o A CD containing electronic copies of the following:
 - o Grading plans
 - o Engineer’s Estimate
 - o Geotechnical Report
 - o Geotechnical Engineer’s Plan Review Letter
 - o Signed Acknowledgement & Agreement Form
 - o Signed Notice of Worker’s Compensation Form
 - o Signed Land Development Agreement
 - o Initial plan check fees/deposit (see Acknowledgement & Agreement Form)

A performance bond to cover the grading improvements is required; this can be in the form of cash deposit, assignment of a savings account or CD, a surety from an insurance company, or a letter of credit. The bond value will be based on the County estimate of the project, which will also be the basis for final fees.

Expect six to twelve weeks to complete the review process. Once all the fees and security have been submitted, and the plan has been approved and signed, a Grading Permit will be issued and said construction may begin. This permit does not imply that a building permit has been issued. Please contact LDE at (299-5734) for additional information and timelines.

Additional information about the processing requirements and various forms may be found at the following link:

<http://www.sccgov.org/sites/dso/Land%20Development%20Engineering/Pages/Plan-Review-and-Processing.aspx>

- 17.* Final plans shall include a single sheet which contains the County standard notes and certificates as shown on County Standard Cover Sheet. The minimum letter size for plan submission and approval shall be no smaller than 1/10 inch.

Improvement Plans:

- 18.* Preliminary plans prepared by Mission Engineers, Inc., and received on January 27, 2016 by the Santa Clara County Planning Office have been reviewed. Submit final improvement plans prepared by a registered civil engineer for review and approval by LDE. Include plan, profile, typical sections, contour grading for all driveway, structures and other improvements as appropriate for construction. All the following standards shall be consistent with the March 1981 Standards and Policies Manual, Volume 1 (Land Development) as appropriate. Plans will be processed and checked for conformance with the 2007 Santa Clara County Drainage Manual, the Santa Clara County Grading Ordinance, and any other applicable County Ordinances as appropriate. Copies of the Standards and Policies Manual and County Ordinance Code are available at the following links:
<https://www.sccgov.org/sites/dpd/PlansOrdinances/Pages/Ordinances.aspx>

Said Final Improvement Plans Shall include the following:

Roads not to be County Maintained

- a. Single Lot Driveways per County Standard SD5 from the terminus of Lexington School Road to the proposed development. All geometries shall be consistent with the conditions imposed by the Fire Marshal's Office.
- b. Drainage Ditch Linings per County Standard SD8.
- c. Energy Dissipaters per County Standard SD10.
- d. Standard Turnarounds and Turnouts per County Standard SD16.

Grading:

- e. Cross Sections of the driveway and house pad.
- f. Engineered Slopes that conform to County Standard Detail SD6 and Section C12-543 of the County Grading Ordinance with regard to slope height and use of drainage terraces.
- g. The requirement to take all exported materials from the site to a County approved disposal site must be clearly indicated on the plan.
- h. Indicate how the graded areas shall comply with setback requirements from property line for cuts and fills per Section C12-558.

Erosion Control:

- i. Provide an Erosion Control Plan that outlines the seasonally appropriate erosion/sediment controls to be implemented and maintained during construction. Erosion and Sediment Control Plan Sheets may include, but are not limited to, the following BMPs as needed:

1. Erosion and Sediment Control: soil binders, geotextiles, mats, creek and hillside stabilization, hydroseeding, silt fence, sediment basin, check dams, fiber rolls, gravel bags, drainage inlet protection, construction entrance/ exit, street sweeping requirements, perimeter controls, etc.
 2. Good Site Management: containment, spill prevention, material storage/ protection, sanitary waste management, etc.
 3. Non Stormwater Management, dewatering operations, paving operations, concrete washouts, vehicle and equipment storage and refueling, etc.
 4. Include the County's Standard Best Management Practice Plan Sheets BMP-1 and BMP-2 with the Plan Set.
- j. Include the County's Standard Best Management Practice Plan Sheets BMP-1 and BMP-2 with the Plan Set.

Drainage:

- k. Provide for the uninterrupted flow of water in swales and natural courses on the property or any access road. No fill or crossing of any swales or watercourses is allowed unless shown on the approved plans. Property owner is responsible for the adequacy of any drainage facilities and for the continued maintenance thereof in a manner that will preclude any hazard to life, health or damage to adjoining property.
- l. Demonstrate the subject property has adequate existing and proposed storm drainage facilities in accordance with criteria as designated in the County Drainage Manual. At the minimum, drainage plans and hydraulic calculations shall demonstrate all of the following:
1. The site and proposed graded areas can be adequately drained,
 2. The development of the site will not cause problems to nearby properties, and
 3. The on-site drainage will be controlled in such a manner as to not increase the downstream peak flow or cause a hazard or public nuisance. If this cannot be demonstrated, provide a detention system pursuant to the Design Guidelines in Section 6.3.3 of the 2007 Santa Clara County Drainage Manual.

Easements:

- m. Indicate on the improvement plans all applicable easements affecting the parcel(s) with benefactors and recording information.

Storm Water Treatment - SF Bay watershed

- n. This project is located within the San Francisco Bay Watershed. It is not a Regulated Project; however, it is recommended to include source control measures (as applicable) and required to include at least one of the following site design measures in the project design:
1. Direct roof runoff into cisterns or rain barrels for re-use,
 2. Direct roof runoff on to vegetated areas,
 3. Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas,
 4. Construct sidewalks, walkways, and/or patios with permeable surfaces, or,
 5. Construct driveways and/or uncovered parking lots with permeable surfaces.

Though only one site design measure is required, the use of multiple measures is encouraged. Please refer to the Santa Clara Valley Urban Runoff Pollution Prevention Program (SCVURPPP) "C.3 Stormwater Handbook" for additional information regarding source control and site design measures. The handbook is available at: [www.scvurppp-w2k.com/program components.shtml](http://www.scvurppp-w2k.com/program%20components.shtml). Note which measure was used on the cover sheet of the grading/drainage plan set. (Per Section C.3 of the 2015 Municipal Regional NPDES Storm Water Permit)

Utilities

- o. All new on-site utilities, mains and services shall be placed underground and extended to serve the proposed residence. All extensions shall be included in the improvement plans submitted to LDE for review. Off-site work should be coordinated with any other undergrounding to serve other properties in the immediate area.

Soils and Geology:

- 19.* Submit one copy of the geotechnical report for the improvements, prepared by a registered civil engineer, as required by the Santa Clara County Ordinance Code, to Land Development Engineering.
- 20.* Submit a plan review letter by the Project Geotechnical Engineer certifying that the geotechnical issues identified in the above geotechnical report have been mitigated on the improvement plan. This letter shall be submitted to and reviewed by Land Development Engineering.

Notice of Intent

- 21.* Indicate on the grading plans the land area that will be disturbed. If an acre or more of land area will be disturbed, file a Notice of Intent (NOI) with the State Water Resources Control Board for coverage under the State General Construction Permit. Proof of the filing will be required prior to issuance of the building or grading permit(s).

Dedications and Easements:

- 22.* Offer to dedicate 20-foot wide easement to the public and the County for storm-drainage purposes for the swale, detention basin, and culvert passing drainage through the northwestern portion of the parcel (from APN: 558-41-031 to APN: 558-41-012). The offer of dedication shall be submitted to LDE, and shall include a legal description, plat, and corresponding documents to be reviewed and approved by the County Surveyor's Office. The owner/ applicant will be required to record the document with the County's Recorder's Office after review and approval by the County Surveyor's Office.

Maps:

- 23.* A licensed land surveyor, or registered civil engineer authorized to practice land surveying shall set or verify permanent survey monuments (lot stakes), and identify the parcel boundary on the plan. If property was previously surveyed, the monuments must be exposed, verified and shown on grading and building plans. If new monuments will be set, the stakes shall be set pursuant to the State Land Surveyor's Act prior to issuance of a construction or grading permit as necessary. The Land Surveyor / Engineer in responsible charge of the boundary survey shall file appropriate records pursuant to §8762 or 8771 of the Land Surveyors Act with the County Surveyor.
- 24.* Existing and set permanent survey monuments shall be verified by inspectors prior to final acceptance of the improvements by the County and release of the performance bond. Any permanent survey monuments damaged or missing shall be reset by a licensed land surveyor or registered civil engineer authorized to practice land surveying and they shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.

Agreements:

- 25.* Enter into a land development improvement agreement with the County. Submit an Engineer's Estimate of Probable Construction Cost prepared by a registered civil engineer with the all stages of work clearly identified for all improvements and grading as proposed in this application. Post financial assurances based upon the estimate, sign the development agreement and pay necessary inspection and plan check fees, and provide County with a Certificate of Worker's Compensation Insurance. (C12-206)

Other Conditions:

26. ** Construct all of the aforementioned improvements. Construction staking is required and shall be the responsibility of the developer.

FIRE MARSHAL:

Contact Mac Bala (408-299-5763 / mac.bala@pln.sccgov.org) regarding the following conditions:

FIRE PROTECTION WATER

IMPORTANT: Fire protection water system shall be installed, functioning and inspected prior to approval of the foundation. System shall be maintained in good working order and accessible throughout construction. A stop work order may be placed on the project if the required hydrant systems are not installed, accessible, and/or functioning.

27. **ON-SITE WATER STORAGE:** Where on-site storage tanks are required, details for fire protection water supply shall be included with the building permit set of drawings. Submittal shall include, but not be limited to, location of water supply, (e.g. onsite well, shared well; tank location and capacity, pipe size, wharf hydrant orifice size and location, domestic and fire protection water tanks and piping configuration).
- a) All installations shall include a primary aboveground storage tank with a capacity of not less than 3,000 gallons dedicated to domestic and fire sprinkler system demand. Storage capacity may be increased due to sprinkler design demand or additional domestic (including landscaping) required by the Environmental Health Department.
 - b) Provide a 10,000 gallon secondary aboveground storage tank dedicated to the wharf hydrant.
 - c) Aboveground storage tanks shall be provided with automatic refill. Manual refilling of tanks is not acceptable.
 - d) Installation of aboveground storage tanks less than 20 ft. to a structure requires tanks to be of noncombustible construction.
 - e) Installation of the tank system shall comply with Fire Marshal Standard CFMO-W5.
 - f) Underground storage tanks and swimming pools shall not be accepted in place of aboveground storage tanks.
28. **WHARF HYDRANT:** One on-site wharf hydrant with 2-1/2 inch orifice is required. Installation of hydrants shall be in accordance with Fire Marshal Standard Detail CFMO-W4.
- a) Minimum distance to structure shall not be less than 55 ft. from the closest portion of the structure and shall not exceed 150 ft. from the furthest portion of the structure (measured along path of travel).

- b) Hydrant shall be installed within 8 ft. of driving surface in a location acceptable to the Fire Marshal's Office.
 - c) Installation of a hydrant adjacent to a driveway (12 ft. wide) requires a turnout complying with SD-16 to allow additional emergency vehicles to pass.
 - d) Hydrant shall have a positive flow by means of gravity feed or where that is not possible, from a reliable, listed automatic pump approved by the Fire Marshal. Elevation of hydrants and tanks in relation to each other shall be a major consideration. NOTE: tank and hydrant elevations shall be noted on the site plan submitted for building permit.
29. FIRE SPRINKLER SYSTEM: An approved residential fire sprinkler system complying with CFMO-SP6 shall be installed throughout the structure.

NOTE: The fire sprinkler system shall be installed and finalized by this office prior to occupancy. A separate permit shall be obtained from this office by a state licensed C-16 contractor prior to installation. Please allow for a minimum of 30 days for plan review of fire sprinkler plans by this office.

FIRE DEPARTMENT ACCESS

GENERAL REQUIREMENTS:

- 30. These are minimum Fire Marshal standards. Should these standards conflict with any other local, state or federal requirement, the most restrictive shall apply.
- 31. Construction of access roads and driveways shall use good engineering practice.
- 32. All required access roads, driveways, turnarounds, and turnouts shall be installed, and serviceable prior to approval of the foundation, and shall be maintained throughout construction. A stop work order may be placed on the project if required driving surfaces are not installed, accessible, and/or maintained at all times.
- 33. ACCESS ROADS for fire department access shall comply with the following:
 - a) Width: Clear drivable width of 20 ft. not including shoulders.
 - b) Vertical Clearance: Minimum vertical clearance of 15 ft. shall be maintained to building site (trim or remove, tree limbs, electrical wires, structures, and similar improvements).
 - c) Grade: Maximum grade shall not exceed 16%.
 - d) Surface: All driving surfaces shall be all-weather and capable of sustaining 75,000 pound gross vehicle weight.

34. DRIVEWAYS shall comply with the following when the distance between the centerline of the access road and any portion of the structure exceeds 150 ft. (measured along the path of travel).
- a) Width: Clear width of drivable surface of 12 ft. and 14 feet of unobstructed horizontal clearance.
 - b) Vertical Clearance: Minimum vertical clearance of 15 ft. shall be maintained between the access road and the building site (trim or remove, tree limbs, electrical wires, structures, and similar improvements).
 - c) Curve Radius: Inside turn radius for curves shall be a minimum of 42 ft.
 - d) Grade: Maximum grade shall not exceed 16%.
 - e) Surface: All driving surfaces shall be all-weather and capable of sustaining 75,000 pound gross vehicle weight.
 - f) Turnarounds: Turnaround shall be provided for driveways in excess of 150 ft. as measured along the path of travel from the centerline of the access road to the structure. Acceptable turnarounds shall be 40 ft. by 48 ft. pad, hammerhead, or bulb of 40 ft. radius complying with County Standard SD-16 and PRC 4290. All turnarounds shall have a slope of not more than 5% in any direction.
 - g) Gates: Gates shall not obstruct the required width or vertical clearance of the driveway and may require a Fire Department Lock Box/Gate Switch to allow for fire department access. Installation shall comply with CFMO-A3.

MISCELLANEOUS:

35. Property is located within the Santa Clara County Fire Department response area and State Response Area (served by Cal Fire).
36. This property is located in the Wildland/Urban Interface Fire Area. All of the following conditions shall apply:
- a) A Class "A" roof assembly is required. Detail shall be included in plans submitted for building permit.
 - b) Provide a 1/2 inch spark arrester for the chimney.
 - c) Remove significant combustible vegetation within 30 feet of the structure to minimize risk of wildfire casualty. Maintain appropriate separation of vegetative fuels in areas between 30 and 100 feet from the structure.

37. MAINTENANCE: Fire protection water systems and equipment shall be accessible and maintained in operable condition at all times, and shall be replaced or repaired where defective. Fire protection water shall be made available to the fire department.

Fire department access roads, driveways, turnouts, and turnarounds shall be maintained free and clear and accessible at all times for fire department use. Gates shall be maintained in good working order, and shall remain in compliance with Fire Marshal Standard CFMO-A3 at all times.

These conditions, approved April 18, 2016, by the Planning Office, are valid for a period of forty-eight (48) months, unless an appeal is filed within the 15 day appeal period. The appeal period closes on May 2, 2016.

THE CONDITIONS OF APPROVAL MUST BE COMPLETED AND A BUILDING PERMIT ISSUED BY **MAY 2, 2020**, UNLESS AN EXTENSION OF TIME APPLICATION IS MADE AND GRANTED, OR THIS SINGLE BUILDING SITE APPROVAL SHALL BECOME VOID.

This approval is based upon information submitted on the application form and map. Erroneous information, omission of relevant information or substantial changes will void this approval.

Robert Salisbury
Senior Planner

STATEMENT OF ACCEPTANCE:

I, Alexa Ingram-Cauchy, as property owner of subject application, understand and accept the final conditions of approval.

Date _____ Signature _____

NOTE: Please return one copy of this page of the conditions, as per instructions in the enclosed cover letter, to:

Robert Salisbury
County of Santa Clara
Planning Office
County Government Center
70 West Hedding Street
San Jose, CA 95110

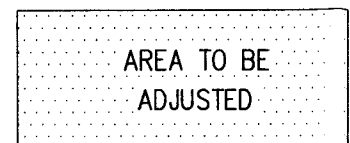
ATTACHMENT 4

PLANS

Lot Sizes

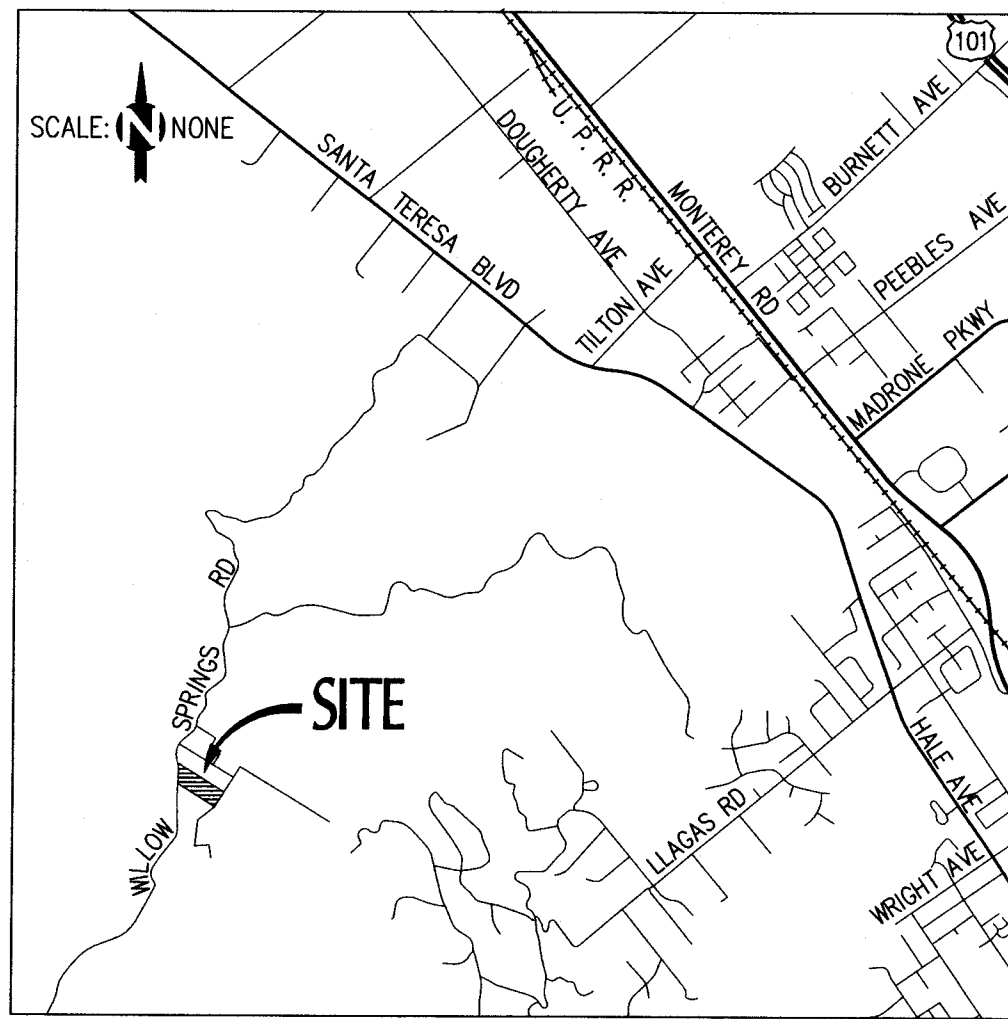
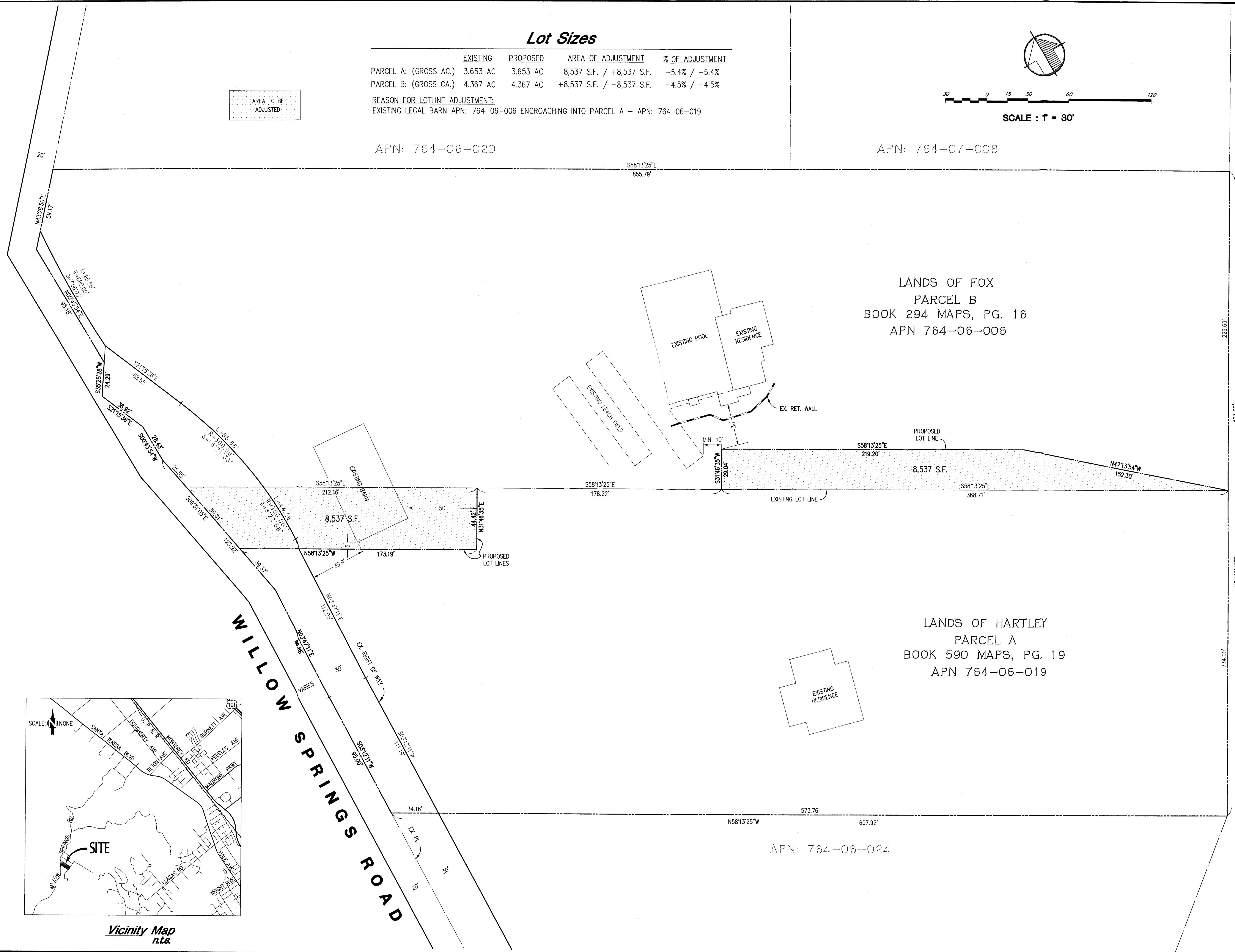
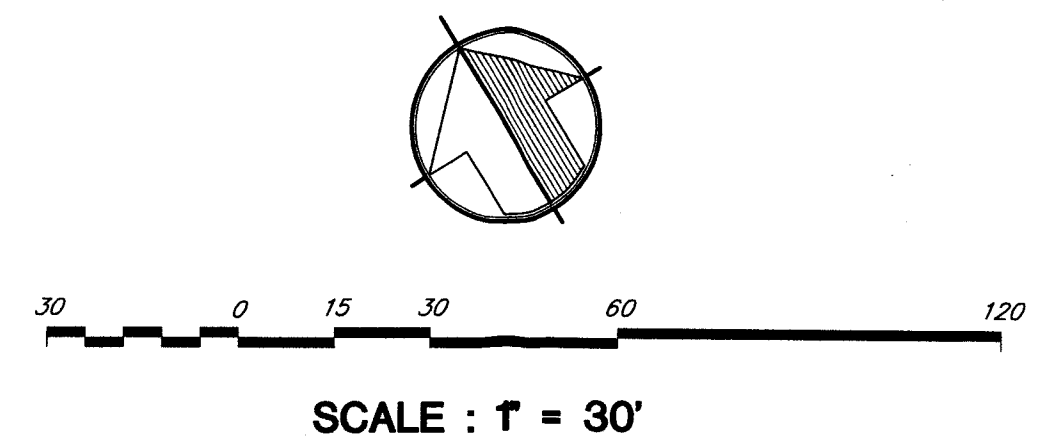
	EXISTING	PROPOSED	AREA OF ADJUSTMENT	% OF ADJUSTMENT
PARCEL A: (GROSS AC.)	3.653 AC	3.653 AC	-8,537 S.F. / +8,537 S.F.	-5.4% / +5.4%
PARCEL B: (GROSS CA.)	4.367 AC	4.367 AC	+8,537 S.F. / -8,537 S.F.	-4.5% / +4.5%

REASON FOR LOTLINE ADJUSTMENT:
EXISTING LEGAL BARN APN: 764-06-006 ENCROACHING INTO PARCEL A - APN: 764-06-019



APN: 764-06-020

APN: 764-07-008



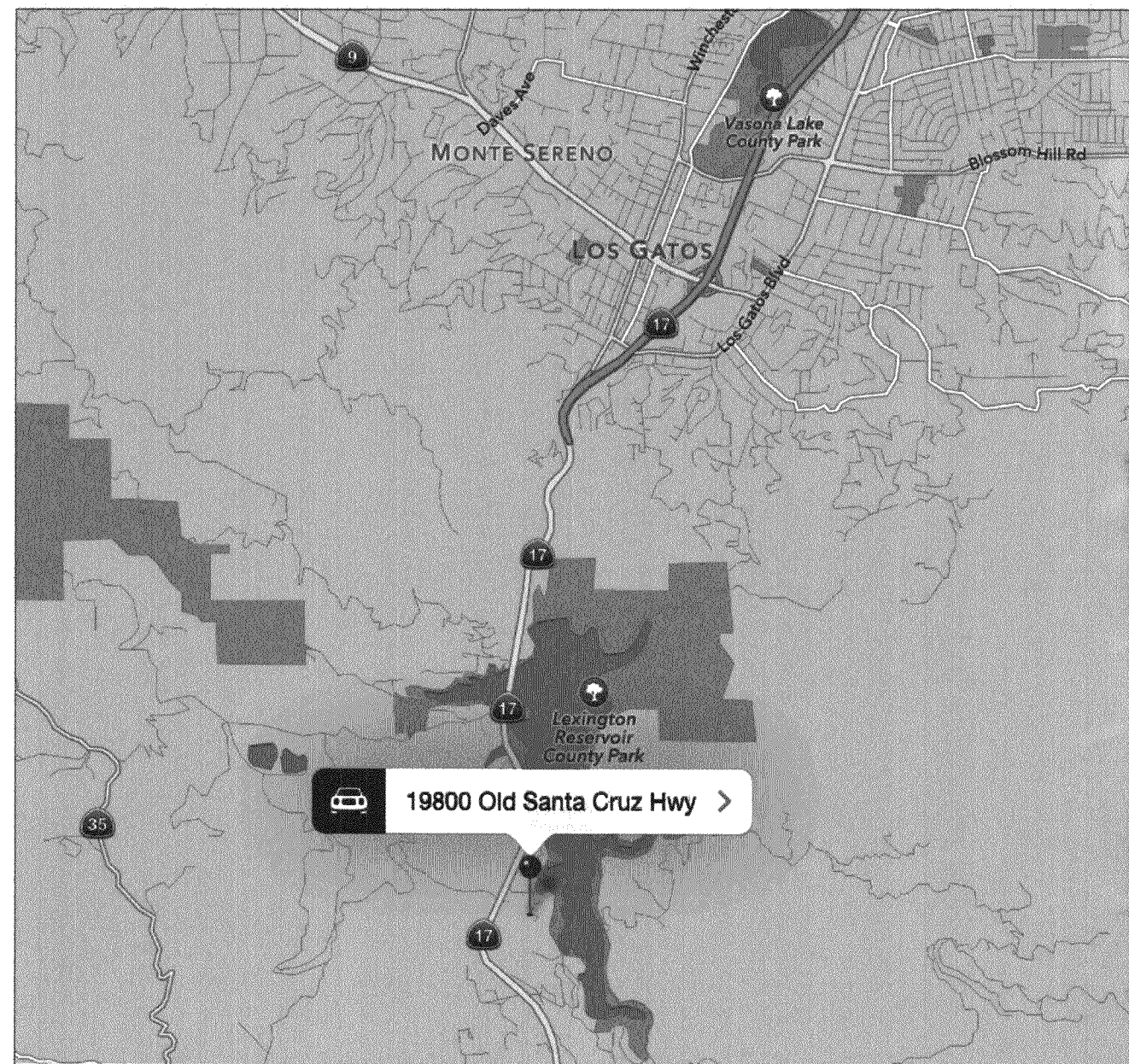
APN: 764-06-011

FILE # 214013LA	DATE 9/16	SCALE 1"=30'	DRAWN BY MM/KH	CHECKED BY MM
APPROVED BY				
SUPERVISED BY				
MH engineering Co. 16075 Vineyard Boulevard Morgan Hill, CA 95037				
MASTER PLAN/RELOCATION/ADJUSTMENT SITE MAP LANDS OF HARTLEY/FOX				
FILE # 10720-15LA R2				
JOB NO. 214013				
SHEET 1 OF 1				

RECEIVED
OCT 13 2016
COUNTY OF SANTA CLARA
PLANNING OFFICE

L:\PROJECTS\2016\214013\DWG\214013LAD.WG 09/22/16 10:11

10720-15LA R2

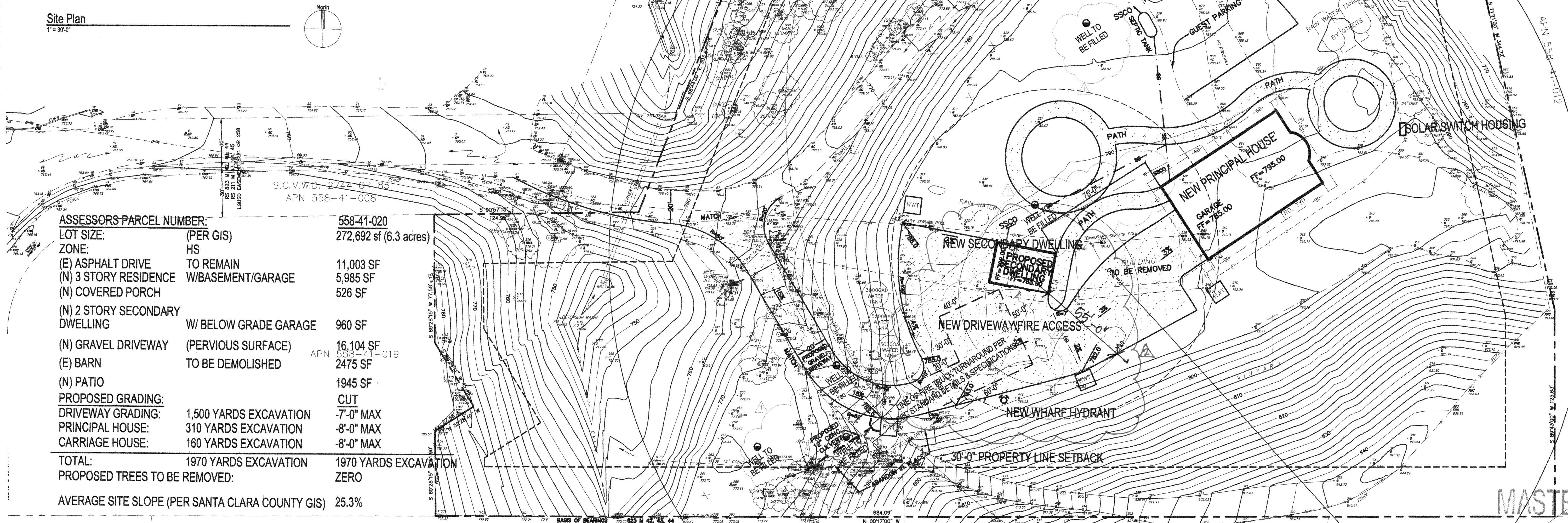
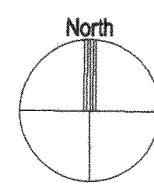


APN 558-41-005

APN 558-41-012

SCALE: 1"=20'

Site Plan
1"=30'-0"



ASSESSORS PARCEL NUMBER:	558-41-020
LOT SIZE:	(PER GIS) 272,692 sf (6.3 acres)
ZONE:	HS
(E) ASPHALT DRIVE	TO REMAIN 11,003 SF
(N) 3 STORY RESIDENCE	W/BASEMENT/GARAGE 5,985 SF
(N) COVERED PORCH	526 SF
(N) 2 STORY SECONDARY DWELLING	W/ BELOW GRADE GARAGE 960 SF
(N) GRAVEL DRIVEWAY	(PERVIOUS SURFACE) 16,104 SF
(E) BARN	TO BE DEMOLISHED 2475 SF
(N) PATIO	1945 SF
PROPOSED GRADING:	CUT
DRIVEWAY GRADING:	1,500 YARDS EXCAVATION -7'-0" MAX
PRINCIPAL HOUSE:	310 YARDS EXCAVATION -8'-0" MAX
CARRIAGE HOUSE:	160 YARDS EXCAVATION -8'-0" MAX
TOTAL:	1970 YARDS EXCAVATION 1970 YARDS EXCAVATION
PROPOSED TREES TO BE REMOVED:	ZERO
AVERAGE SITE SLOPE (PER SANTA CLARA COUNTY GIS)	25.3%

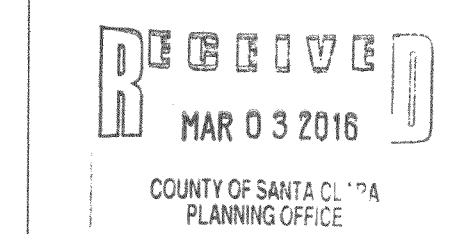
4, RS 823 M 42, 43, 44

APN 558-41-031
PARCEL 2, RS 823 M 42, 43, 44

APN 558-41-032
PARCEL 3, RS 823 M 42, 43, 44

APN 558-41-033
PARCEL 4, RS 823 M 42, 43, 44

Date: 11/9/15
Job #: 14-03



A NEW RESIDENCE FOR
ALEXA INGRAM-CAUCHI
19800 Old Santa Cruz Hwy
Los Gatos, CA 95033

- BSA CORRECTIONS 26 JAN 16
- FIRE REVIEW CORRECTIONS 27 JAN 16

MASTER FILE COPY
FILE # 10735-1510 (red 156)

SITE PLAN APN: 558-41-020
SCALE: 1"=30'-0"



SITE PLAN

A1.1

COUNTY OF SANTA CLARA

General Construction Specifications

GENERAL CONDITIONS

- 1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY REDWOOD GEOTECHNICAL ENGINEERING, INC., DATED JULY 26, 2012 & LETTER DATED MAY 1, 2013.

CONSTRUCTION STAKING

- 1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES.

CONSTRUCTION INSPECTION

- 1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.

SITE PREPARATION (CLEARING AND GRUBBING)

- 1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:

UTILITY LOCATION, TRENCHING & BACKFILL

- 1. CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2800 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.

GRADING

- 1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE.

GRADING (CONTINUED)

- 2. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

- 1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.

ACCESS ROADS AND DRIVEWAYS

- 1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT WITH MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT.

RETAINING WALLS

- 1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.

STREET LIGHTING

- 1. PACIFIC GAS & ELECTRIC ELECTROLUSTR SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

STORM DRAINAGE

- 1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY.

SANITARY SEWER

- 1. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

PORTLAND CEMENT CONCRETE

- 1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS.

AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE () WERE () WERE () WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (). THESE () WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL .

GRADING AND DRAINAGE PLAN 19800 OLD SANTA CRUZ HWY, LOS GATOS IN COUNTY OF SANTA CLARA, CALIFORNIA

LEGEND

Table with columns: EXISTING, PROPOSED, DESCRIPTION. Includes symbols for property line, storm drain, sanitary sewer, electric, water, elevation contour, utility box, etc.

ABBREVIATIONS

Table of abbreviations for materials and features: AC (ASPHALTIC CONCRETE), CLF (CHAIN LINK FENCE), CONC (CONCRETE), E (ELECTRIC), etc.

DATE _____ SIGNATURE _____

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

- 1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.

CONSTRUCTION / ENCROACHMENT / GRADING PERMIT

PERMIT(S) NO.: _____

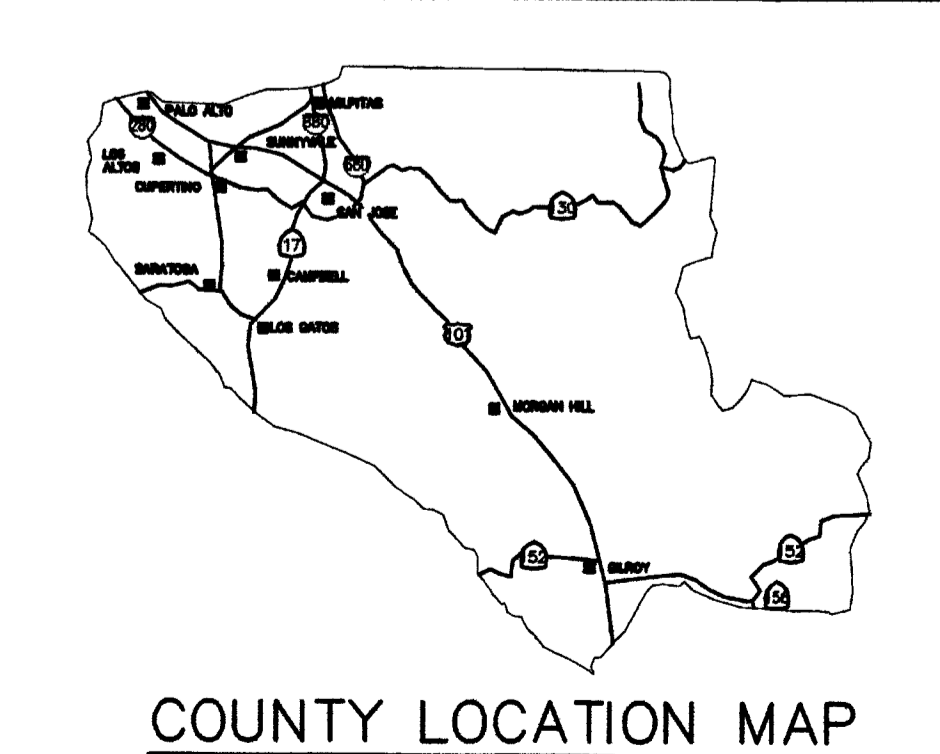
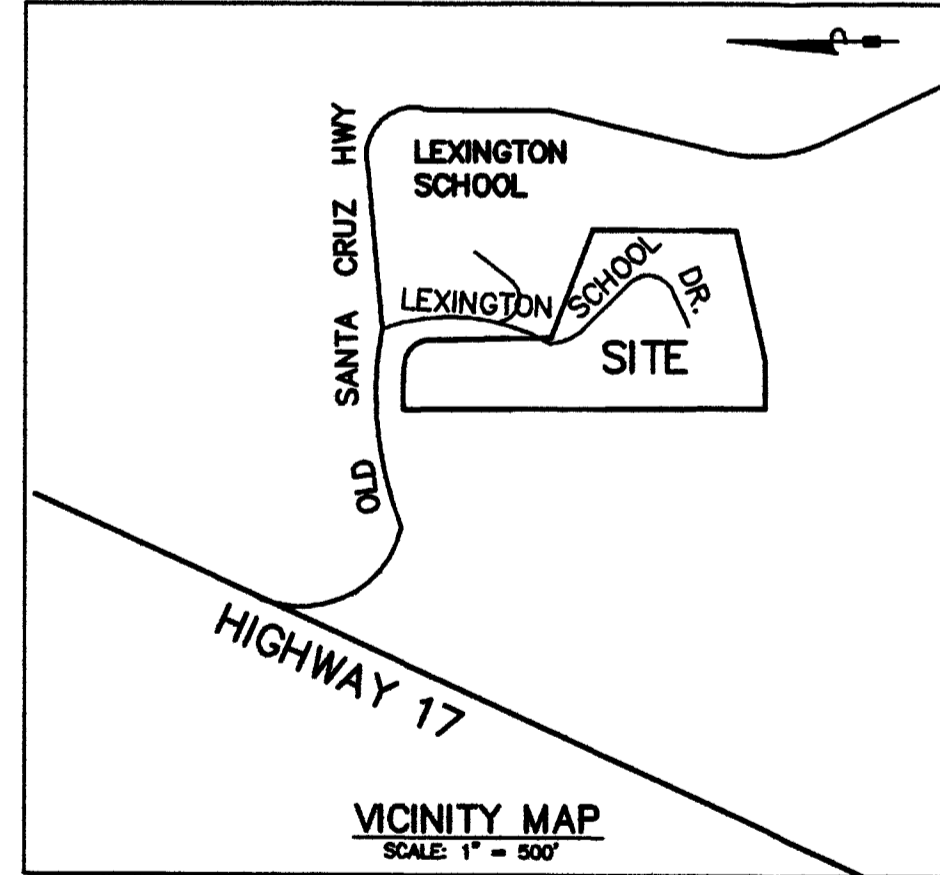
FILE(S) NO.: _____

ISSUED BY: _____ DATE: _____

LAND DEVELOPMENT ENGINEERING & SURVEYING DEVELOPMENT SERVICES OFFICE COUNTY OF SANTA CLARA

NOTES

- 1. CONTRACTOR SHALL CONTACT U.S.A. AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ANY AREA WHERE UNDERGROUND FACILITIES ARE LOCATED.



SCOPE OF WORK

- 1. ONSITE SCOPE OF WORK COVERED IN SHEETS C1-C6 INCLUDE: A. DRIVEWAY B. GRADING & STORM DRAINAGE C. EROSION CONTROL.

COUNTY OF SANTA CLARA Development Services Office Land Development Engineering Division GRADING PERMIT NO. _____ DATE: _____

COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS ISSUED BY: _____ DATE: _____ ENCROACHMENT PERMIT NO. _____

COUNTY OF SANTA CLARA LAND DEVELOPMENT ENGINEERING & SURVEYING CONSTRUCTION PERMIT NO. _____ GRADING PERMIT NO. _____ ISSUED BY: _____ DATE: _____



ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED AUGUST 12, 2013.

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITEE OR ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE _____ CHRISTOPHER L. FREITAS _____ 42107 3/31/16 R.C.E. NO. EXPIRATION DATE

THESE PROGRESS PRINTS ARE SUBMITTED WITHOUT SIGNATURE PER AMENDMENTS EFFECTIVE JANUARY 1, 2001 TO SECTIONS 6735, 6735.3, AND 6735.4 OF THE PROFESSIONAL ENGINEERS ACT PROHIBITING INTERIM OR DRAFT DOCUMENTS FORM CONTAINING THE ENGINEER'S SIGNATURE.

SHEET INDEX

Table with columns: Sheet No., Description. Includes entries for Cover Sheet, Grading & Drainage Plan, Erosion Control Plan, and BMP details.

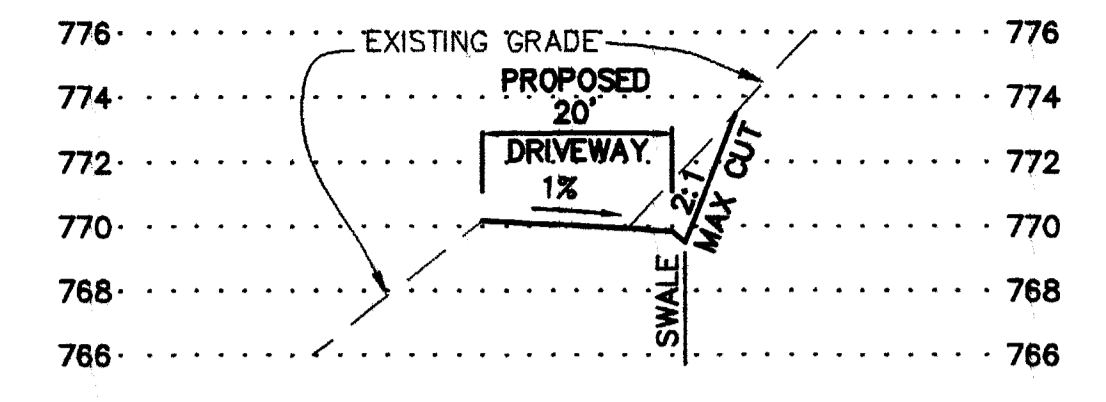
PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-17 MISSION ENGINEERS, INC. RESPONSIVE. RELIABLE RESULTS SINCE 1953

PLAN # _____ OF SHEET _____

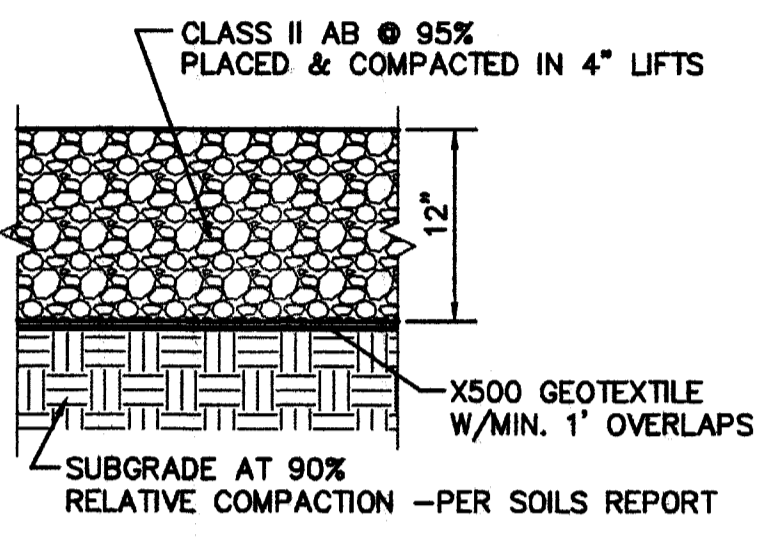
NOTES

1. BASIS OF BEARINGS:
THE BEARING S 00°27'12" E ALONG THE EASTERLY LINE OF PARCELS 2, 3 AND 4 AS SHOWN ON THE RECORD OF SURVEY MAP RECORDED IN BOOK 823 OF MAPS, AT PAGE 42, 43 AND 44, SANTA CLARA COUNTY RECORDS WAS USED AS THE BASIS OF BEARINGS HEREON.
2. TEMPORARY BENCHMARK:
THE INVERT AT THE INLET OF THE 12" CULVERT SOUTH OF THE INTERSECTION OF THE TWO BUILDING SITE ACCESS DRIVEWAYS
ASSUMED ELEVATION: 763.12
3. DATE OF SURVEY: OCTOBER 2015
4. CONTRACTOR SHALL CONTACT U.S.A. AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ANY AREA WHERE UNDERGROUND FACILITIES ARE LOCATED. PHONE (800)642-2444.
5. THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND UTILITIES ARE SHOWN IN A GENERAL WAY ONLY. IT WILL BE THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE FINAL DETERMINATIONS AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES.

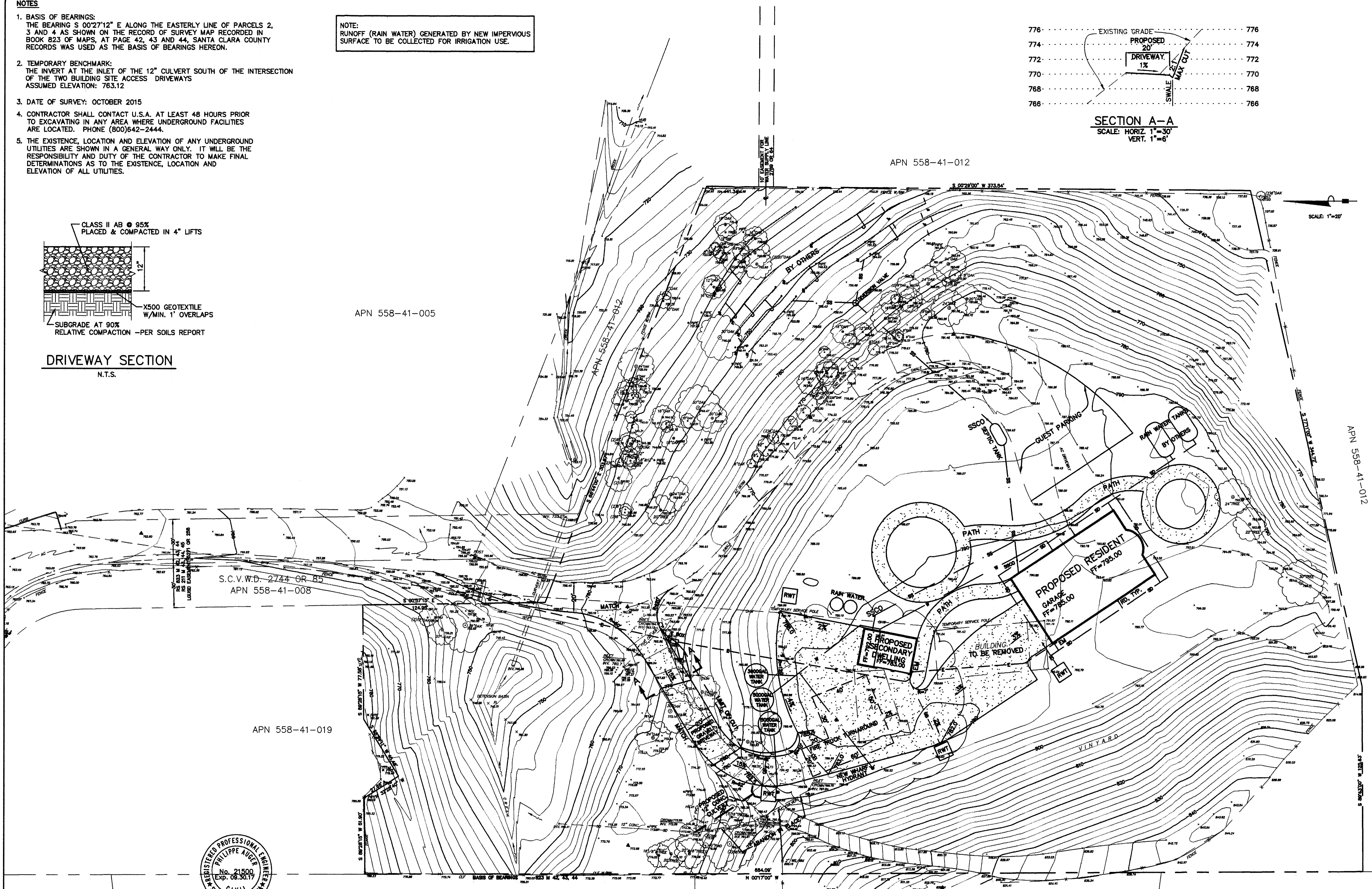
NOTE:
RUNOFF (RAIN WATER) GENERATED BY NEW IMPERVIOUS SURFACE TO BE COLLECTED FOR IRRIGATION USE.



SECTION A-A
SCALE: HORIZ 1"=30'
VERT. 1"=6'



DRIVEWAY SECTION
N.T.S.



THESE PROGRESS PRINTS ARE SUBMITTED WITHOUT SIGNATURE PER AMENDMENTS EFFECTIVE JANUARY 1, 2001 TO SECTIONS 6735, 6735.3, AND 6735.4 OF THE PROFESSIONAL ENGINEERS ACT PROHIBITING INTERIM OR DRAFT DOCUMENTS FORM CONTAINING THE ENGINEER'S SIGNATURE.

PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-17

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING
MISSION ENGINEERS, INC.
 RESPONSIVE, RELIABLE RESULTS SINCE 1953
 2355 De La Cruz Blvd., Santa Clara, California 95050
 Ph: (408) 727-8282 FAX: (408) 727-8285 E-mail: mission@missionengineersinc.com

PRELIMINARY
 CONCEPTUAL SITE GRADING & DRAINAGE PLAN
 APN 558-41-020
 19800 OLD SANTA CRUZ HWY
 IN THE CITY OF LOS GATOS, CALIFORNIA

REVISIONS		
DATE	BY	DESCRIPTION

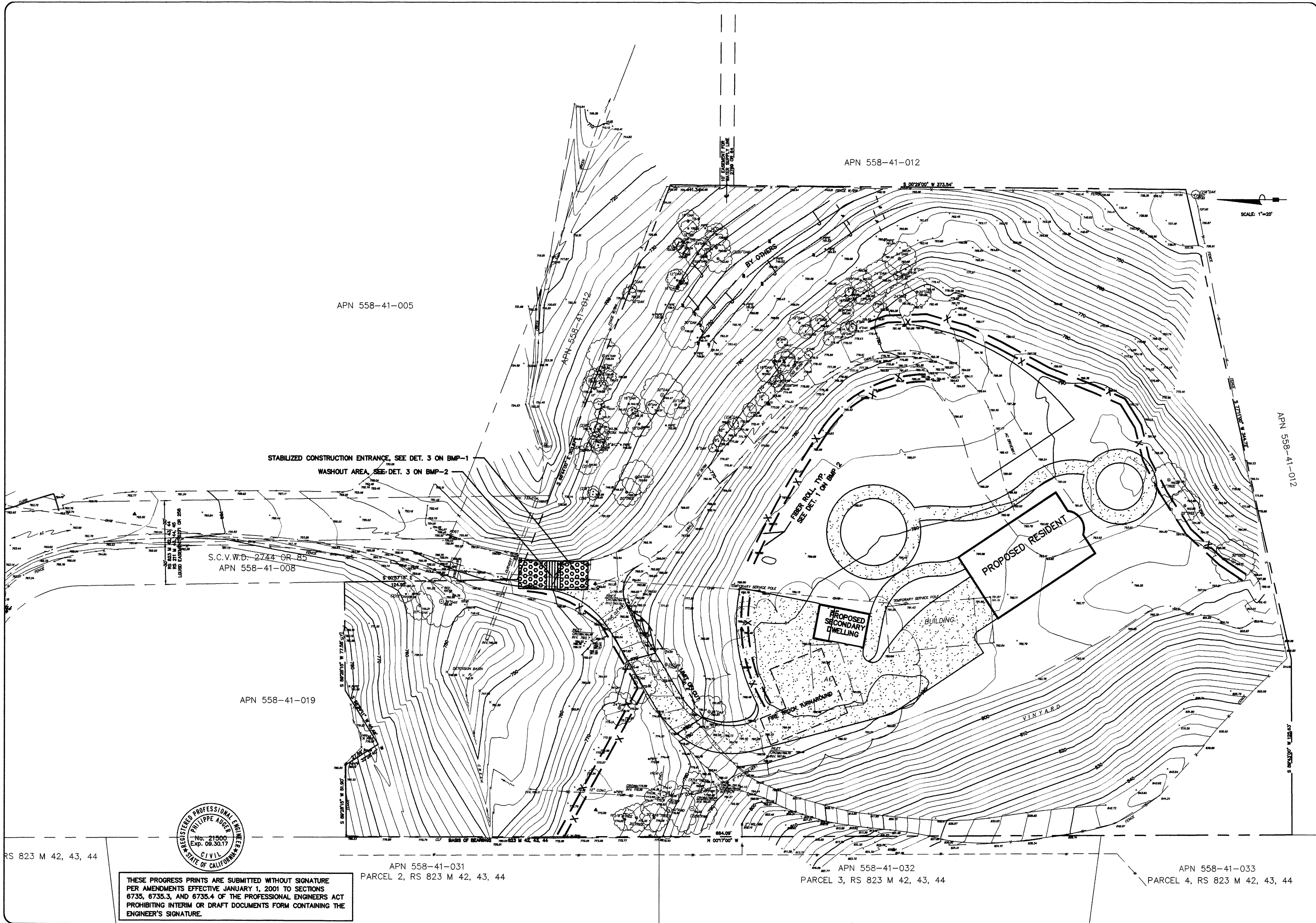
SCALE	1"=30'
DATE	03-02-16
DWN	SS ME30
CH'D	
JOB NO.	15070
DWG. NO.	L15646-2

SHEET
C2
 OF 5 SHEET

APPLICANT: INGRAM-CAUCHI

ROAD NAME: OLD SANTA CRUZ HWY

COUNTY FILE NO.:



THESE PROGRESS PRINTS ARE SUBMITTED WITHOUT SIGNATURE PER AMENDMENTS EFFECTIVE JANUARY 1, 2001 TO SECTIONS 6735, 6735.3, AND 6735.4 OF THE PROFESSIONAL ENGINEERS ACT PROHIBITING INTERIM OR DRAFT DOCUMENTS FORM CONTAINING THE ENGINEER'S SIGNATURE.



APPLICANT: INGRAM-CAUCHI

ROAD NAME: OLD SANTA CRUZ HWY

COUNTY FILE NO.:

PRELIMINARY

EROSION CONTROL PLAN
 APN 558-41-020
 1800 OLD SANTA CRUZ HWY
 IN THE CITY OF LOS GATOS, CALIFORNIA

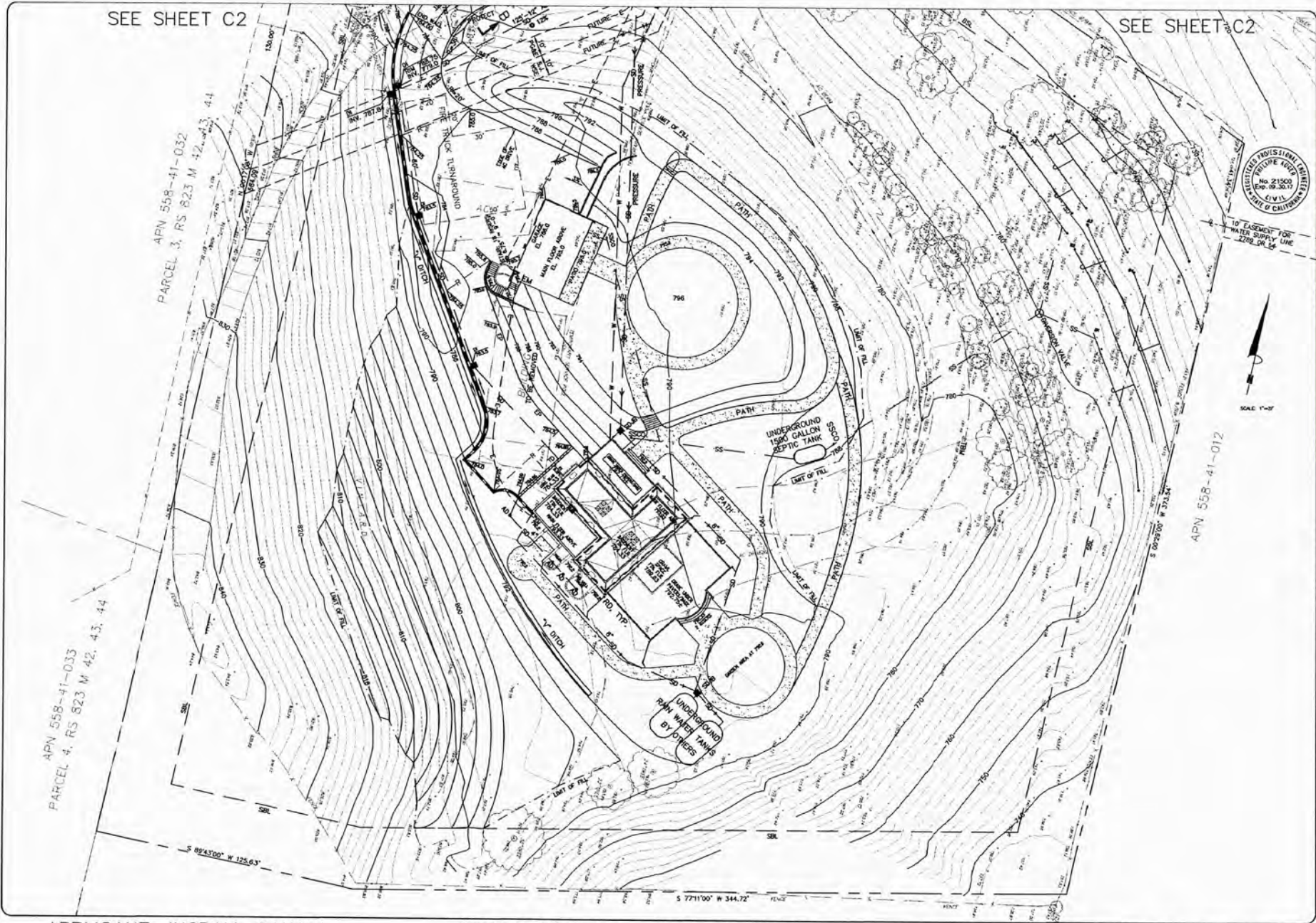
REVISIONS		
DATE	BY	DESCRIPTION

SCALE	1" = 30'
DATE	03-02-16
DWN	SS ME30
CH'D	
JOB NO.	15070
DWG. NO.	L15646-3

SHEET
C3
 OF 5 SHEET

PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-17
 PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING
MISSION ENGINEERS, INC.
 RESPONSIVE, RELIABLE RESULTS SINCE 1953
 2355 De La Cruz Blvd. Santa Clara, California 95050
 Ph: (408) 727-8262 FAX: (408) 727-8265 E-mail: mission@missionengineersinc.com

ATTACHMENT 5



SEE SHEET C2

SEE SHEET C2

APN 558-41-032
PARCEL 3, RS 823 M 42, 43, 44

APN 558-41-033
PARCEL 4, RS 823 M 42, 43, 44

APN 558-41-012



SCALE 1"=40'

PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-17

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING
MISSION ENGINEERS, INC.
RESPONSIVE, RELIABLE RESULTS SINCE 1953
2555 De La Cruz Blvd., Santa Clara, California 95050
Ph: (408) 221-2822 Fax: (408) 221-2825 E-mail: mission@missionengineers.com



PRELIMINARY

GRADING & DRAINAGE PLAN
APN 558-41-020
19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS	DATE	DESCRIPTION

SCALE	1"=20'
DATE	01-28-17
DRN	CS MCD
CDR	
APP NO.	11075
ENG. NO.	L14691-3

SHEET
C3
OF 3 SHEET

APPLICANT: INGRAM-CAUCHI

ROAD NAME: OLD SANTA CRUZ HWY

COUNTY FILE NO.: 10735-15B-15G

ATTACHMENT 6

Carol Ann Bianco-Webb

From: Alexa Ingram-Cauchy <alexa@idtech.com>
Sent: Friday, September 11, 2020 11:46 AM
To: Bart Hechtman
Subject: Fwd: 19800 Old Santa Cruz Hwy

From: Thomas Schilb <taschilb@icloud.com>
Date: March 21, 2017 at 3:16:44 PM PDT
To: Robert Salisbury <Robert.Salisbury@pln.sccgov.org>
Cc: Phillipe Auger <daniel@missionengineersinc.com>, Chris Freitas <chris.freitas@pln.sccgov.org>
Subject: 19800 Old Santa Cruz Hwy

Hi Rob -

Sorry to have missed you yesterday - hope you are feeling better. I wanted to follow up on an item brought up by Chris Freitas regarding the grading quantities on the approved BSA plans, and the submitted permit drawings.

As the design commenced, it was found that in order to have the correct release drainage, there would need to be quite a bit more excavation in the driveway area adjacent to the proposed structures. There were also some adjustments to the finish floor elevations of the structures for the purpose of meeting height limit criteria. And finally, we also looked at ways of redistributing excavated soils on the site instead of trucking it off, which I think is a more environmentally sensitive solution.

At any rate, I'm not sure of the process that is next to change or amend the grading quantities as approved initially to what they are now. Please let me know what I need to do next to keep everything moving.

Thanks,

Tom

Thomas A Schilb, Architect, LLC
8820 Yakima Ave
Tacoma, WA 98444

taschilb@mac.com
(206)849-2682 cell

ATTACHMENT 7

SCHILB
INDUSTRIAL
ARTS
8820 Yakima Ave
Tacoma WA 98444

17 April, 2017

Rob Salisbury
County of Santa Clara
Department of Planning and Development
County Government Center East Wing
70 West Hedding Street, 7th floor
San Jose, California 95110

RE: Grading Plan

Rob,

Just to follow up on our phone conversation last week, I'm writing to clarify and explain the differences in the current grading plan versus the one submitted and approved for the Building Site Review.

As I indicated, one of the largest items of concern for Chris Freitas and his LD&E review, was the discrepancy in grading quantities. This was a direct result of the final driveway design, which in the opinion of the civil engineer (Phillipe Auger, Mission Engineers), the original design and grades proposed simply would not work to ensure proper release. As a result we had to lower the grades in quite a large portion of the driveway which was not originally anticipated. Without excavating this area we ran the risk of having surface water potentially draining towards the garages of the residences which could pose a flooding hazard.

Item two of concern, and perhaps the larger issue for you and the approval process is that we are now proposing to disperse the excavated soils on site, rather than truck it off for disposal. There are, as I indicated, several reasons for this approach which I think is ultimately more beneficial and more environmentally sensitive.

First there is the economics of trucking off that amount of soil; over the course of pricing and the input of our excavation contractor (George Hall, Maxicon) it came to our attention that the price for disposing of this soil could easily be \$200,000 to \$300,000, which is a large cost for my client to bear.

Second, and most importantly, there are the logistics of trucking the excavated soils off site. Because of our location, there is no other way to access this property other than winding highways up and down significant grades. Because the loaded trucks are subject to being weighed at weigh stations, as well as the safety of trucking loads up and down winding grades, coupled with the unknown of how much the soils weigh as the truck is being loaded on site, George indicated that the efficiency of trucking it off would be very low; i.e. Most trucks would likely be 1/2 to 1/3 full to ensure they aren't overloaded and could maintain adequate safety standards for transport. This would amount to even more trips and fuel expended.

In addition to all of this, there is virtually no where local that is taking soil at this time. It was difficult to find places when we were first looking at pricing and the considering the option of distributing soils onsite, but the last winter and heavy rains have made soil removal and disposal even less of a viable option with the landslides that have occurred. There is virtually no place within a 100 mile radius that is taking soil at this time that we know of, further increasing the cost,

the energy used and inefficiency of removing the soils. It is simply not an option for us at this point.

That stated, I know amending this is somewhat of an unknown process and I'm hoping you will give me some guidance as to what the next steps might be. Obviously I am hoping that there may be the possibility of some sort of administrative review and approval, but I understand you have a process to follow as well.

I've also included with this a copy of our Geotechnical / Geological engineers plan review letter for the proposed grading. We have worked closely with him to ensure that with this approach of distributing soils on the property does not pose or create any geological risk and doesn't involve any work or grading in or near the septic drain-field, nor any other area of concern (such as existing slopes).

If you have any questions or need any additional information, please don't hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'TASCHILB', written in a cursive style.

Thomas A Schilb, Architect, LLC
916 South 72nd Street
Tacoma, WA 98408
(206)849-2682
taschilb@mac.com

Project No. SCL11132
18 April 2017

MRS. ALEXA INGRAM-CAUCHI
19800 Old Santa Cruz Highway
Los Gatos, CA 95033

Subject: Geotechnical Plan Review

- 1) Civil Plan Sheets C1 thru C6, Dated April 4, 2017 by Mission Engineers, Inc.
- 2) Structural Plan Sheets S0.1 S1.0, S1.5, S1.6 S2.1, S5.1, S6.1 Dated September 11, 2015, Revised February 14, 2017

Reference: Proposed Residence and Carriage House
19800 Old Santa Cruz Highway
APN 558-41-020
Los Gatos, Santa Clara County, California

Dear Mrs. Ingram-Cauchy

A new two story residence with underlying basement and a secondary carriage house is proposed at the reference site. Civil engineering plans have been prepared by Mission Engineering, Inc. and are dated 4 April 2017. Structural plans and details have been prepared by ENW, Structural Engineers, revised dated 14 February 2017.

An Engineering Geologic Investigation and Geotechnical Soils Investigation have been prepared for the reference project by Associated Terra Consultants, Inc. both dated 30 June 2015. Haro, Kasunich and Associates has reviewed both of the geotechnical reports and completed a Soils Engineer Transfer of Responsibility Form dated 18 November 2016.

We have visited the referenced parcel on numerous occasions and have met with the project architect Thomas Schilb. We have discussed the geologic site conditions with both Thomas Schilb and the project Structural Engineer, Bob Raichle. We have prepared a Supplemental Geotechnical Design Criteria letter dated 18 November 2016, that includes basement drainage and moisture proofing, seismic surcharge loading and recommendations to reinforce the basement slab foundation due to the close proximity of the San Andreas Fault and the possibility of some mass movement of the regional area should a large landslide reactivate during an earthquake. We have reviewed the proposed placement of excess excavated soil on site and contained by segmented block and reinforced concrete masonry retaining walls with the project civil engineers and the project contractor.

Mrs. Alexa Ingram-Cauch
Project No. SCL11132
19800 Old Santa Cruz Highway
18 April 2017
Page 2

We have specifically reviewed plan sheets C1 thru C6 dated 4 April 2017 of the civil plan set. We have specifically reviewed structural plan sheets S0.1, S1.0, S1.5, S1.6, S2.1, S5.1 and S6.1 updated 14 February 2017 (all related to foundation and retaining wall design) after our supplemental geotechnical design criteria was sent out. The specific plan sheets referenced above pertain to the geotechnical recommendations prepared for the proposed development.

Based on a review of the aforementioned civil and structural plans, the original Associated Terra Consultants geotechnical reports and the supplemental geotechnical design criteria letter by Haro, Kasunich and Associates, it is our opinion the plans for the proposed residential development are in general conformance to the geotechnical recommendations prepared for the project.

Haro, Kasunich and Associates will be present during site grading, site retaining wall and basement foundation excavation and pier drilling, surface and subsurface drainage and erosion control implementation to inspect the geotechnical aspects of construction and to work with the architect, structural engineer and general contractor to confirm that the geotechnical recommendations have been properly implemented.

If you have any questions, please call our office.

Respectfully submitted,

HARO, KASUNICH & ASSOCIATES, INC.

John E. Kasunich
G.E. 455



JEK/dk

- Copies:
- 1 to Addressee via email
 - 1 to Thomas Schilb, Architect via email
 - 1 to Bob Raichle, ENW Structural Engineers via email
 - 1 to Rich Rose, Project General Contractor via email

ATTACHMENT 8



Alexa Ingram-Cauchy <alexa@idtech.com>

RE: Confirming mtg tomorrow (19800 Old Santa Cruz Highway)

Salisbury, Robert <Robert.Salisbury@pln.sccgov.org>
To: Alexa Ingram-Cauchy <alexa@idtech.com>

Mon, May 1, 2017 at 1:22 PM

Alexa,

Unfortunately, Chris will not be available tomorrow at 2 PM, however the meeting can still be productive. What I would like to find out is exactly why the cut quantities increased so much from the building site approval plan compared the grading permit plan. I understand where the fill is coming from, but fill aside there is a 3 fold increase (~1500 cu. yds. To 4500 cu. yds.) in cut volume and I don't understand where this increase is coming from. I did ask for and receive from Tom an general explanation, but it really did not provide sufficient detail, so hopefully I can get more information from you and your engineer tomorrow.

[Quoted text hidden]

ATTACHMENT 9

MISSION ENGINEERS, INC.

Responsive Reliable Results Since 1953

Planning
Land Surveying
Civil Engineering
Construction Staking

3 May, 2017

Rob Salisbury
County of Santa Clara
Department of Planning and Development
County Government Center East Wing
70 West Hedding Street, 7th floor
San Jose, California 95110

MEI 15070

RE: Grading Quantities @ 19800 Old Santa Cruz Highway

Rob,

The purpose of this letter is to summarize the discussion regarding proposed grading quantities for this site. The original Mission Engineers grading design to accommodate the site plan restrictions generated 4,500 cubic yards of cut. The grades were adjusted to reduce the cut to 3,600 cubic yards, including 1,000 cubic yards to accommodate the building's garages & basement reducing the net cut to 2,600 cubic yards. The main residence height restriction prevents the main residence to be raised. The elevation at the top of the steep portion of the driveway must be held to an elevation low enough to allow overland release so that the main house garage/basement would not be flooded. The fire department turnaround area must be held low enough so as to not impede the overland release and not be more than 3% slope in any direction. Holding to all of the above constraints, the 2,600 cubic yards of cut from site grading (plus the 1,000 cubic yards of cut from the building footprints) could easily be placed in a 2.5 foot lift over the relatively flat area of 40,000 square feet on this site in order to eliminate an environmentally undesirable long distance export. Should you have any questions, please call me anytime.

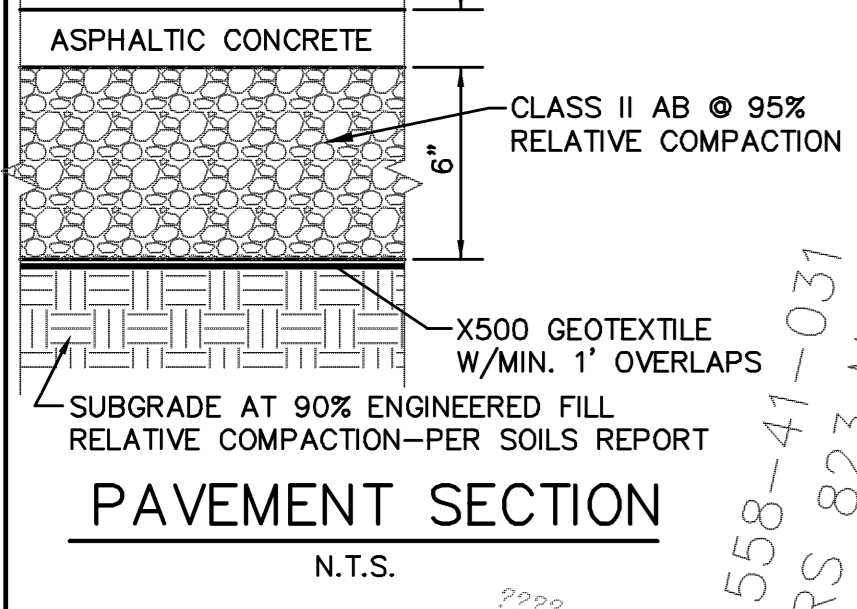
Phil Auger

ATTACHMENT 10



LEGEND

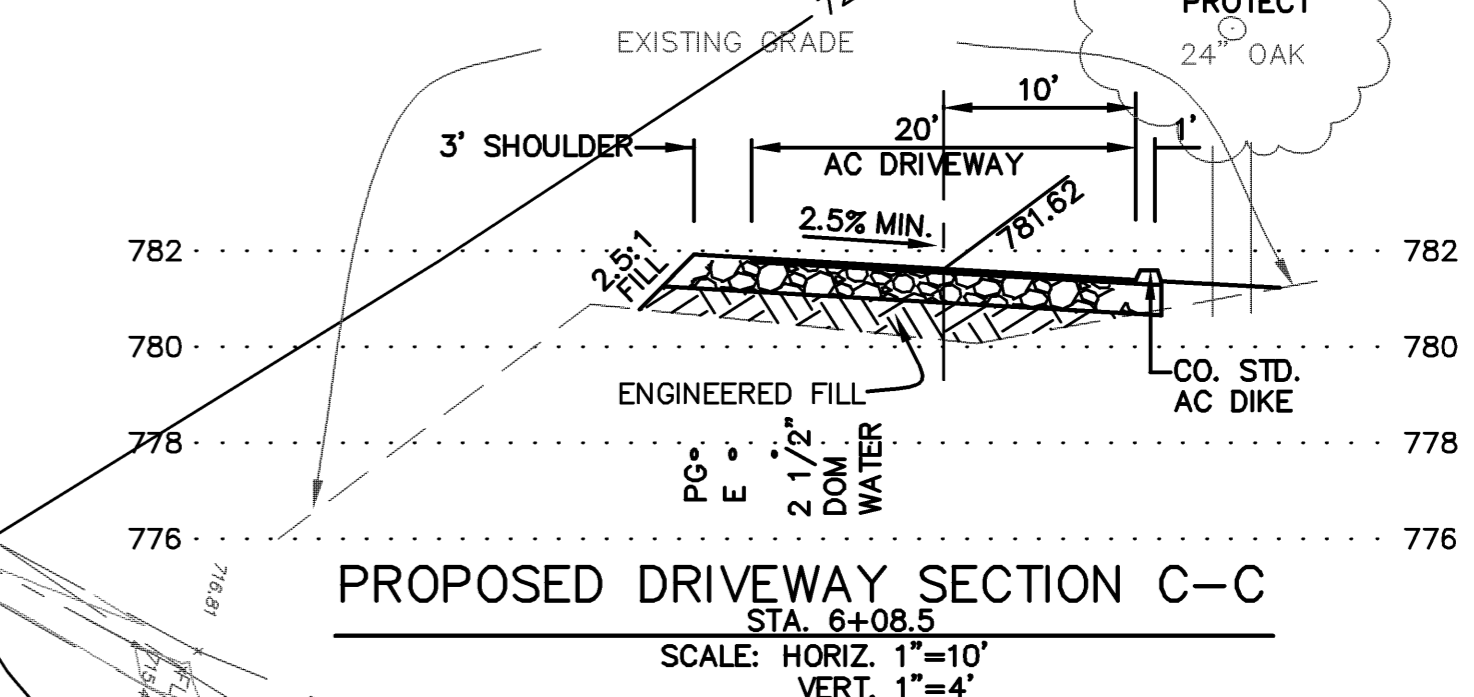
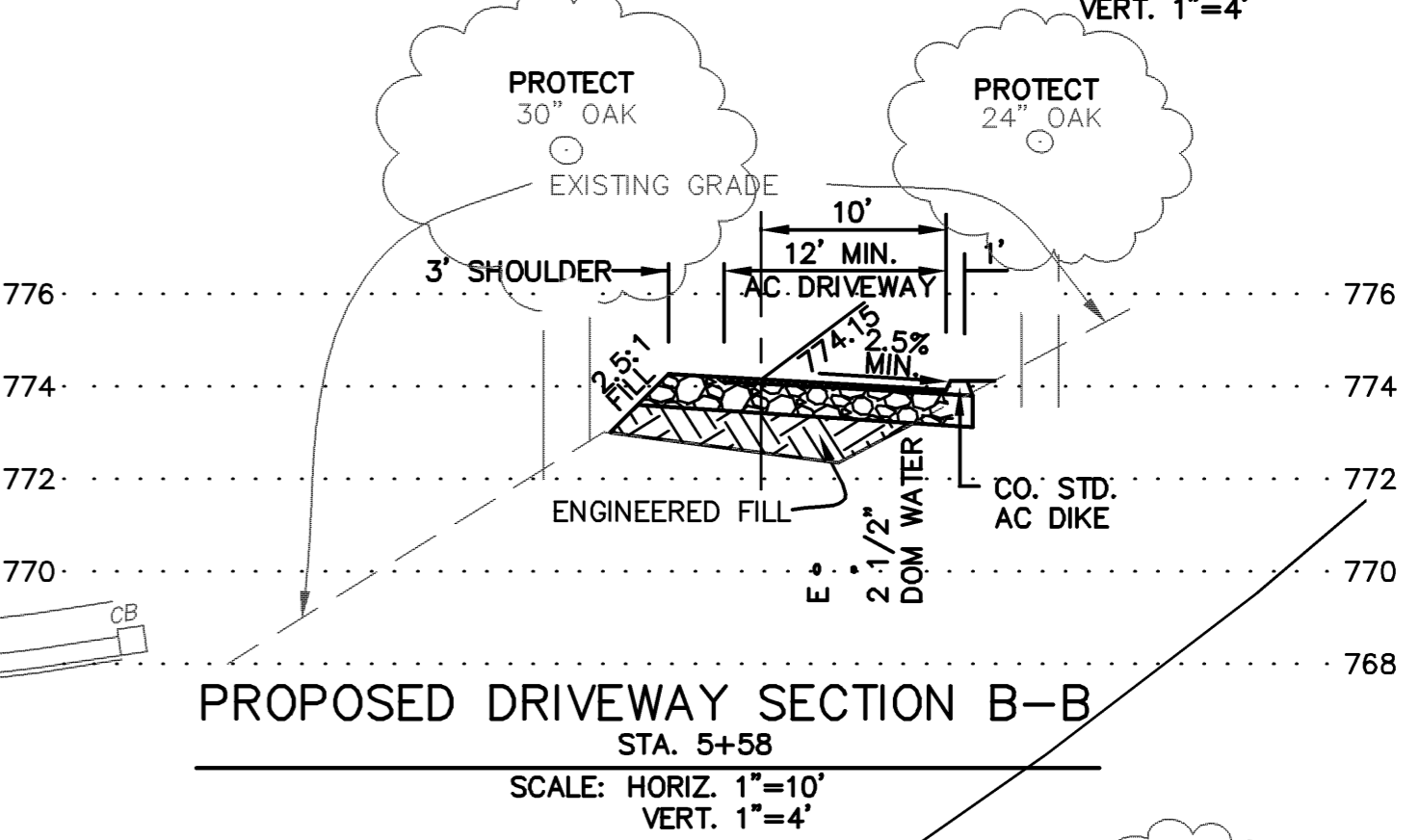
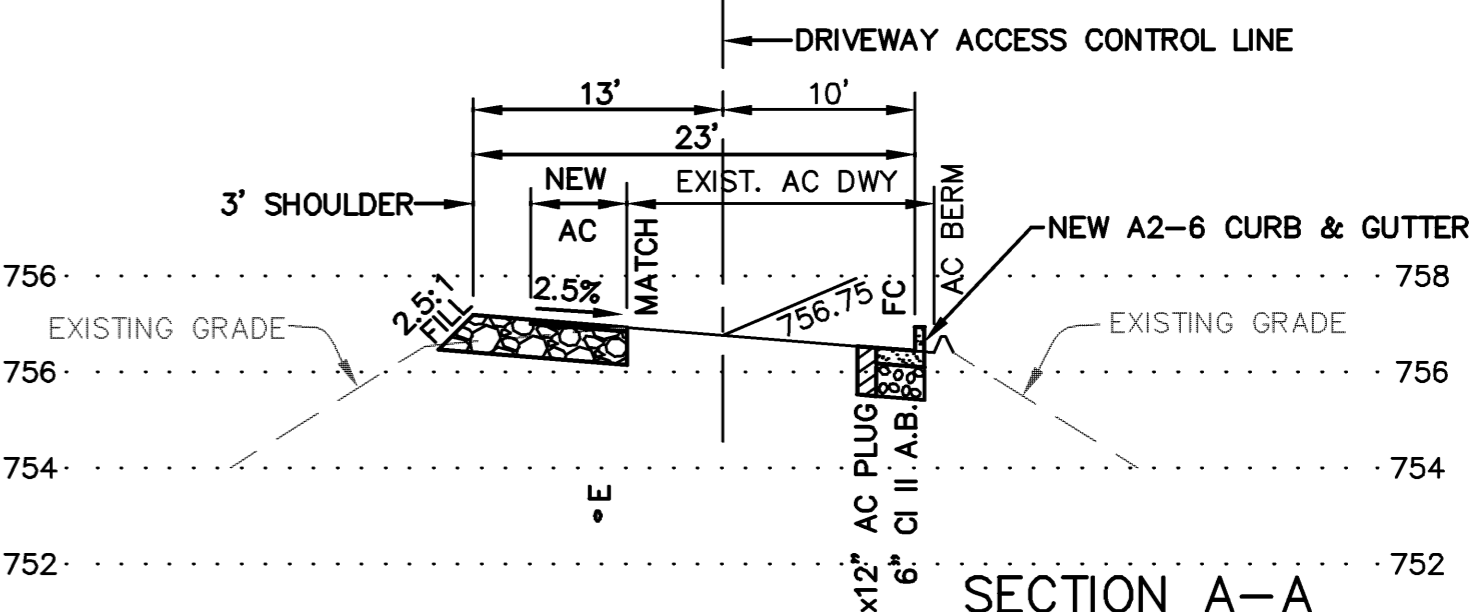
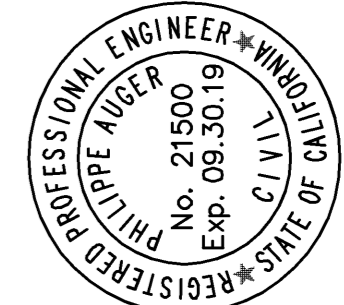
EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE/RIGHT OF WAY LINE
---	SD	STORM DRAIN
---	SS	SANITARY SEWER
E	E	ELECTRIC
W	W	WATER
---	PG	PROPANE GAS
---	770	ELEVATION CONTOUR
□	□	UTILITY BOX -AS NOTED



ABBREVIATIONS

AC	ASPHALTIC CONCRETE
BSL	BUILDING SETBACK LINE
CLF	CHAIN LINK FENCE
CONC	CONCRETE
DOM	DOMESTIC
E	ELECTRIC
FF	FINISH FLOOR
FL	FLOW LINE
FS	FIRE SERVICE
G	GAS
GB	GRADE BREAK
GM	GAS METER
INV	PIPE INVERT
IP	IRON PIPE
OHW	OVERHEAD WIRE
PP	POWER POLE
PG	PROPANE GAS
PIE&UE	PRIVATE INGRESS/EGRESS & UTILITY EASEMENT
RD	ROOF DRAIN
RIM	TOP OF GRATE
RWT	RAIN WATER TANK
SD	STORM DRAIN
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
TD	TRENCH DRAIN
W	WATER
WM	WATER METER
WSE	WATER SERVICE EASEMENT
WV	WATER VALVE

- NOTES:**
1. RUNOFF (RAIN WATER) GENERATED BY NEW IMPERVIOUS SURFACES TO BE COLLECTED FOR IRRIGATION USE.
 2. EARTHWORK:
CUT: 3,600± CUBIC YARDS
FILL: 1,850± CUBIC YARDS
 3. DISTURBED AREA: 67,000± SQ.FT.
 4. NO TREES ARE TO BE REMOVED.
 5. ALL SAWCUT SPOILS SHALL BE VACUUMED.
 6. SAWCUT, TRENCH, EXCAVATE, BACKFILL, COMPACT, AND REPAVE ALL PORTIONS OF OLD SANTA CRUZ HIGHWAY AND LEXINGTON SCHOOL ROAD ROW TO COUNTY STANDARD/STRUCTURAL SECTION SHALL MATCH EXISTING IN KIND; PAVED SECTION SHALL BE REPLACED PER COUNTY STANDARD U3A AND UNPAVED PORTIONS TO COUNTY STANDARD U3D.
 7. CONTRACTOR TO COORDINATE SCHEDULE WITH LEXINGTON SCHOOL FOR ACCESSIBILITY.



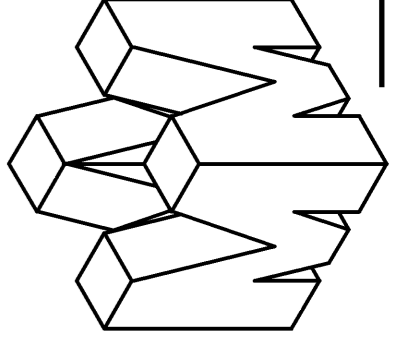
PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-19

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

MISSION ENGINEERS, INC.

RESPONSIVE, RELIABLE RESULTS SINCE 1953

2355 De La Cruz Blvd. Santa Clara, California 95050
Ph: (408) 727-8262 FAX: (408) 727-8295 E-mail: mission@missionengineersinc.com



GRADING & DRAINAGE PLAN
APN 558-41-020
19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS

DATE	CHK'D	DESCRIPTION

SCALE AS SHOWN
DATE 11-07-17
DWN SS ME30
CHK'D
JOB NO. 15070
DWG. NO. L14691A-2
SHEET OF 14 SHEETS

C2

SEE SHEET C2
MATCH

SEE SHEET C2
LINE

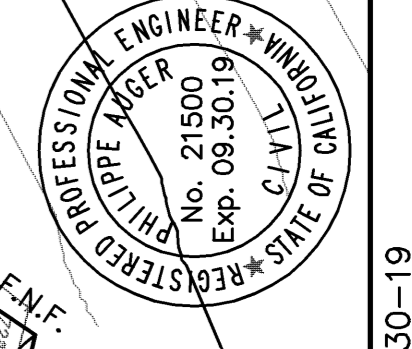
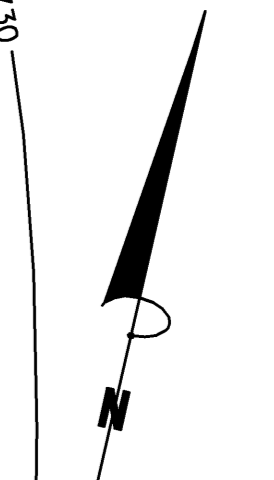
APN 558-41-032
PARCEL 3, RS 823 M 42, 43, 44

APN 558-41-033
PARCEL 4, RS 823 M 42, 43, 44

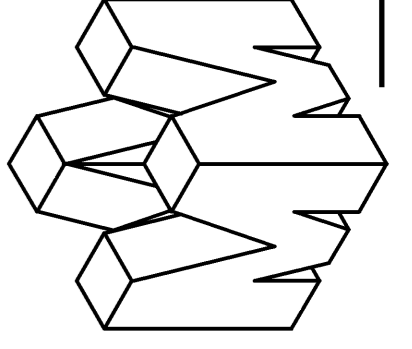
SEE SHEET
C3.1

APN 558-41-012

SCALE: 1"=20'



PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-19
PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING
MISSION ENGINEERS, INC.
RESPONSIVE, RELIABLE RESULTS SINCE 1953
2355 De La Cruz Blvd. Santa Clara, California 95050
Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: mission@missionengineersinc.com



GRADING & DRAINAGE PLAN
APN 558-41-020
19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS		
DATE	CHK'D	DESCRIPTION

SCALE 1"=20'
DATE 11-07-17
DWN SS ME30
CH'KD
JOB NO. 15070
DWG. NO. L14691A-3
REF. TOPO, SITE

SHEET
C3
OF 14 SHEETS

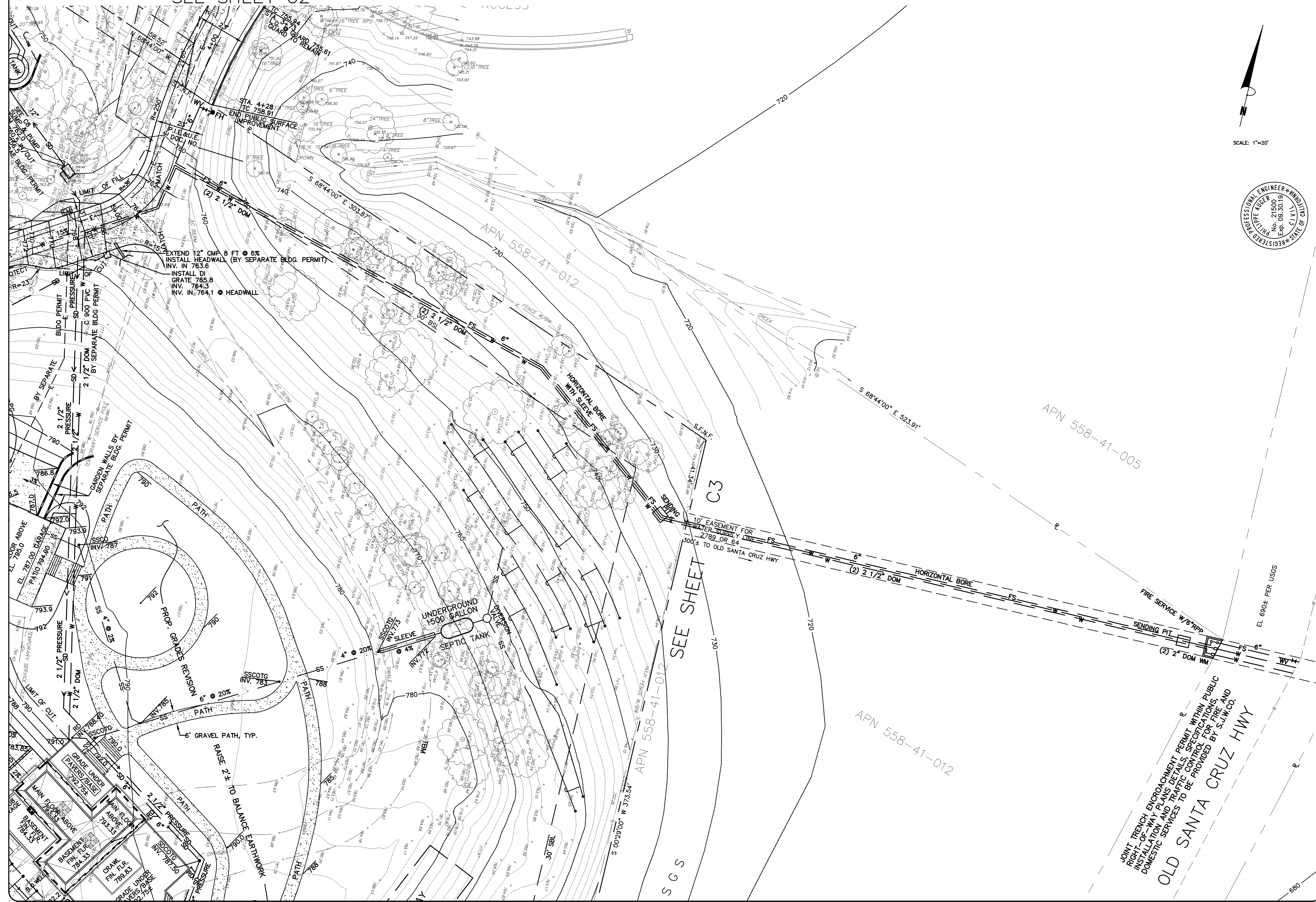
APPLICANT: INGRAM-CAUCHI

ROAD NAME: OLD SANTA CRUZ HWY

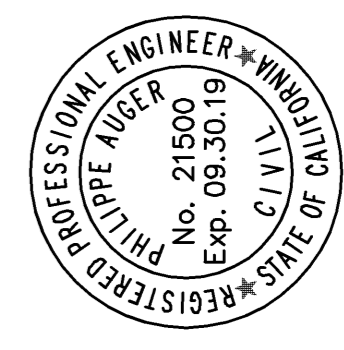
COUNTY FILE NO.: 10735-15B-15G



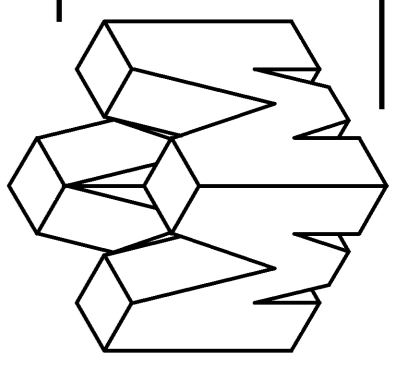
APN 558-41-012



SCALE: 1"=20'



PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-17



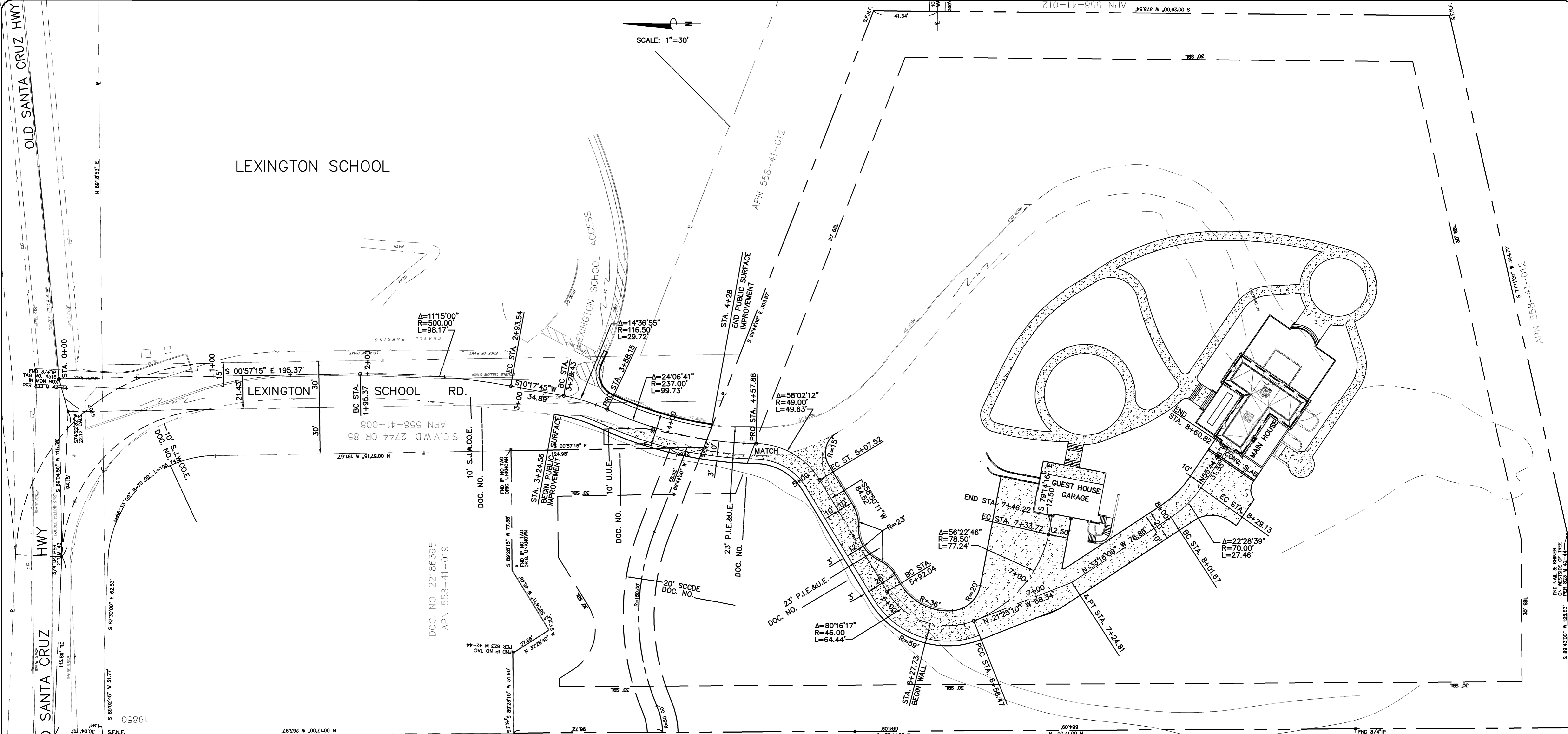
PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING
MISSION ENGINEERS, INC.
 RESPONSIVE, RELIABLE RESULTS SINCE 1953
 2355 De La Cruz Blvd. Santa Clara, California 95050
 Ph: (408) 727-8262 FAX: (408) 727-8295 E-mail: mission@missionengineersinc.com

WATER SERVICES CONNECTIONS TO WATER MAIN
 APN 558-41-020
 19800 OLD SANTA CRUZ HWY, LOS GATOS
 IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS	
DATE	DESCRIPTION

SCALE 1"=20'
 DATE 11-07-17
 DWN SS ME30
 CH'KD
 JOB NO. 15070
 DWG. NO. L14691A-3.1
 DREF. TOPO, SITE

SHEET
C3.1
 OF 14 SHEETS



SCALE: 1"=30'

LEXINGTON SCHOOL

LEXINGTON SCHOOL RD.

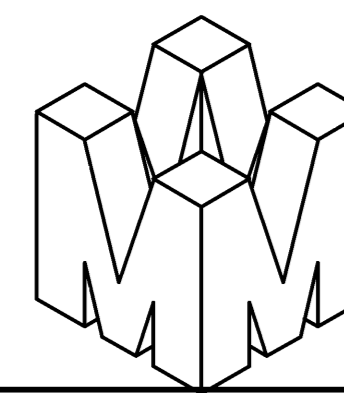
LEXINGTON SCHOOL ACCESS

GUEST HOUSE GARAGE

MAIN HOUSE



PHILIPPE AUGER, R.C.E. 21500—EXPIRES 9-30-19



PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING
MISSION ENGINEERS, INC.
 RESPONSIVE, RELIABLE RESULTS SINCE 1953
 2355 De La Cruz Blvd. Santa Clara, California 95050
 Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: mission@missionengineersinc.com

DRIVEWAY ALIGNMENT CONTROL PLAN
 APN 558-41-020
 19800 OLD SANTA CRUZ HWY, LOS GATOS
 IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS			
DATE	BY	DESCRIPTION	CHK'D

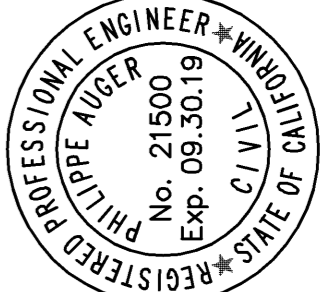
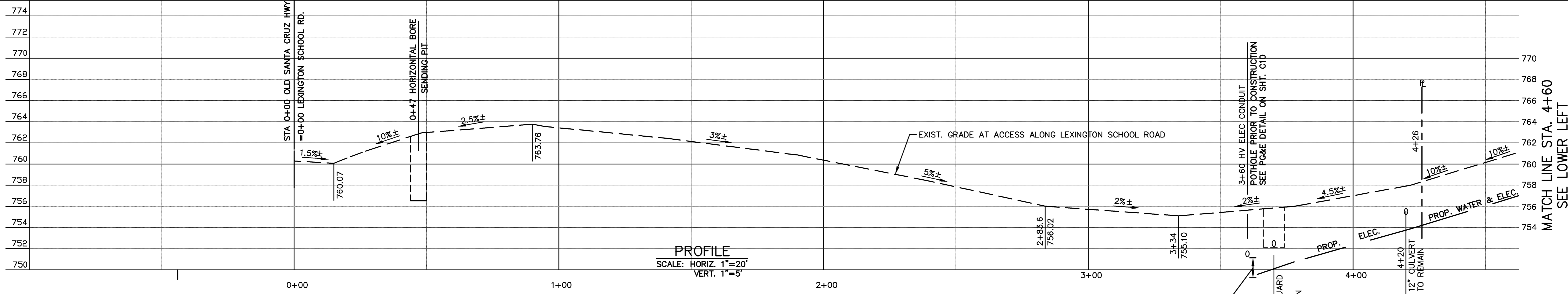
SCALE: 1"=30'
 DATE: 11-07-17
 DWN: SS ME30
 CHKD:
 JOB NO. 15070
 DWG NO. L14691A-4
 XREF. TOPO, SITE

SHEET
C4
 OF 14 SHEETS

APPLICANT: INGRAM—CAUCHI

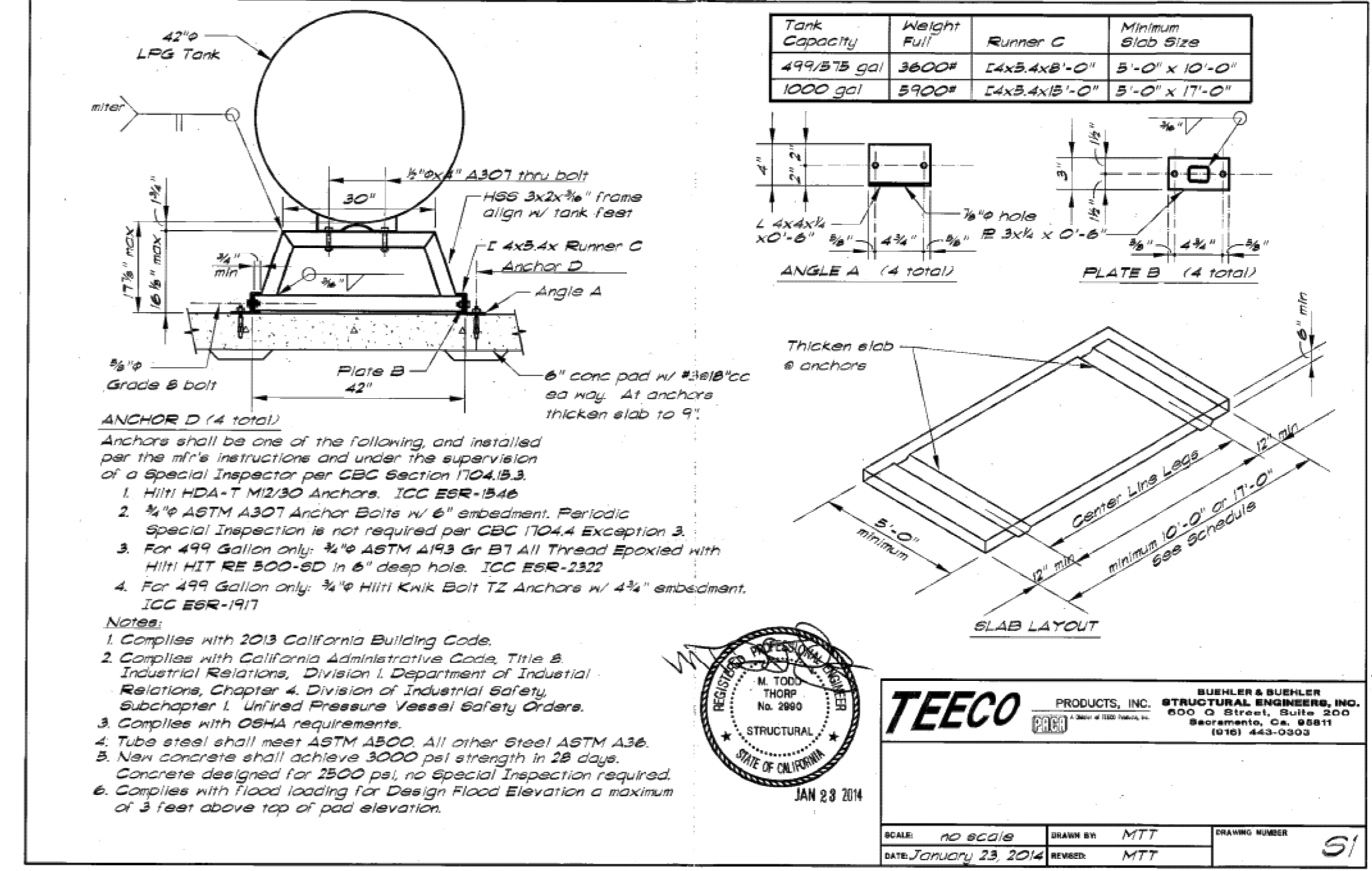
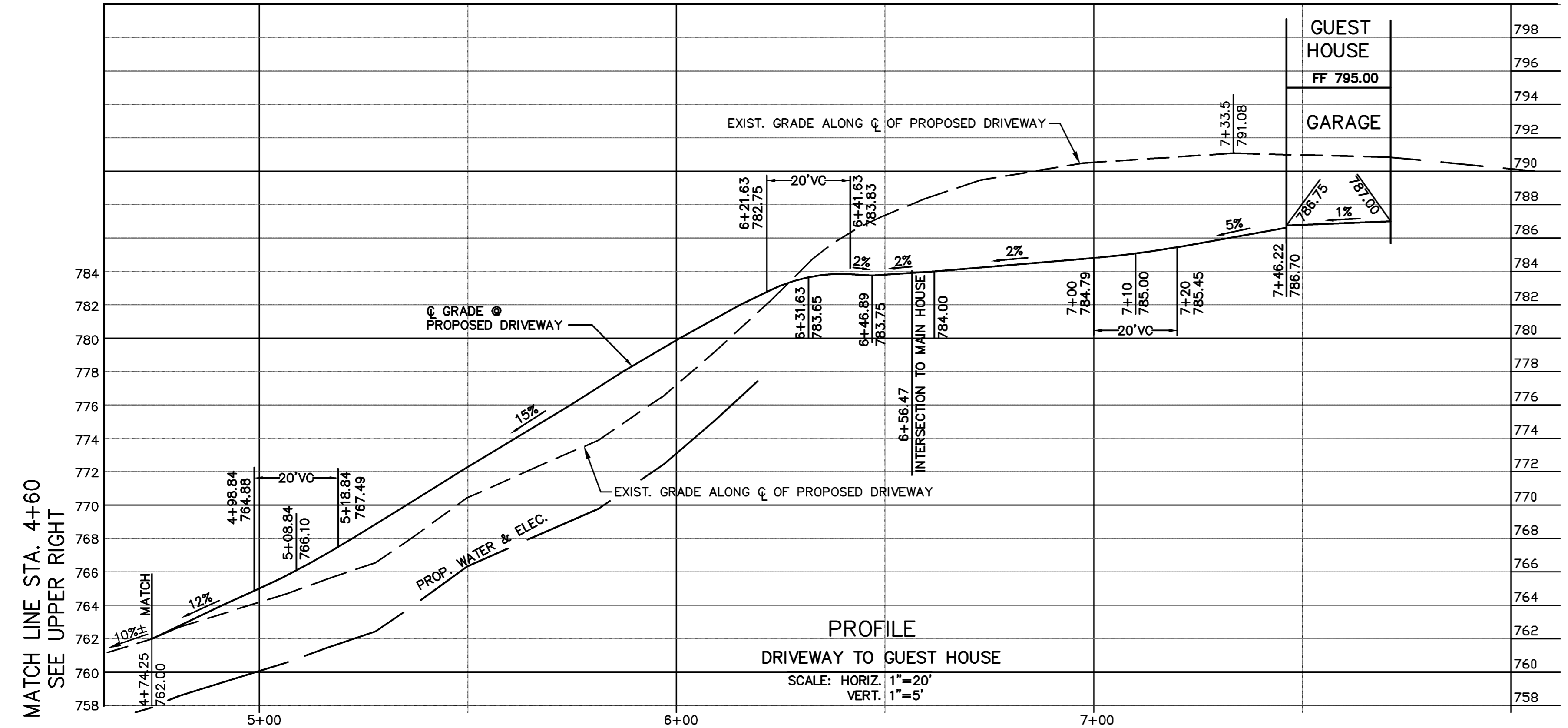
ROAD NAME: OLD SANTA CRUZ HWY

COUNTY FILE NO.: 10735-15B-15G

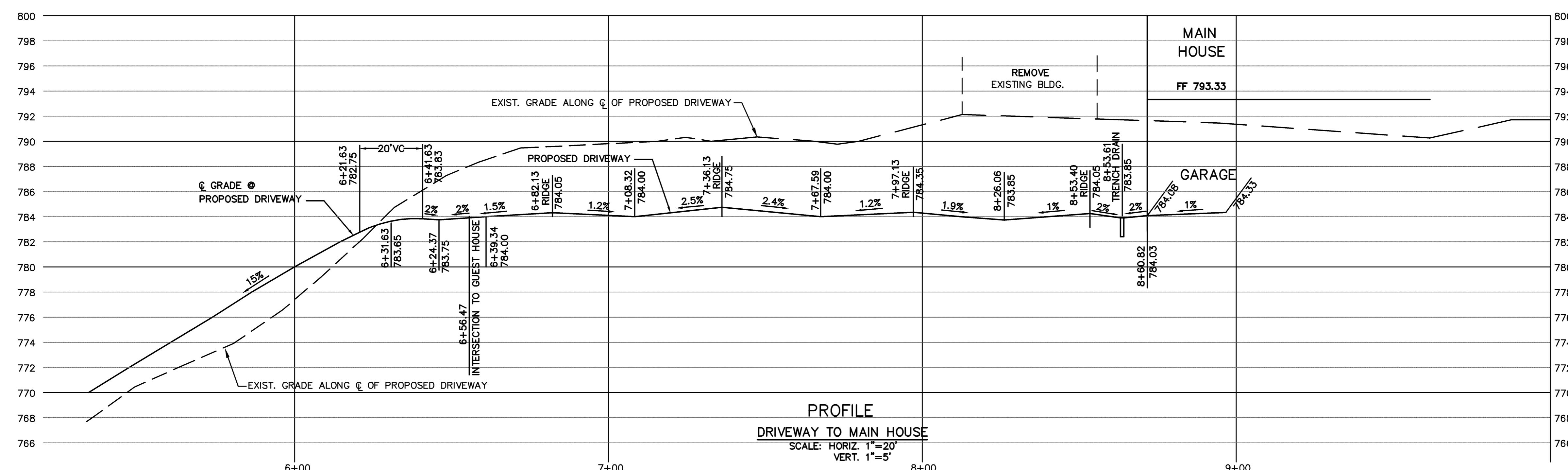


PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-19

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING
MISSION ENGINEERS, INC.
RESPONSIVE, RELIABLE RESULTS SINCE 1953
2355 De La Cruz Blvd. Santa Clara, California 95050
Ph: (408) 727-8262 FAX: (408) 727-8262 E-mail: mission@missionengineersinc.com



PROPANE TANK FOUNDATION DETAIL
BY OTHERS

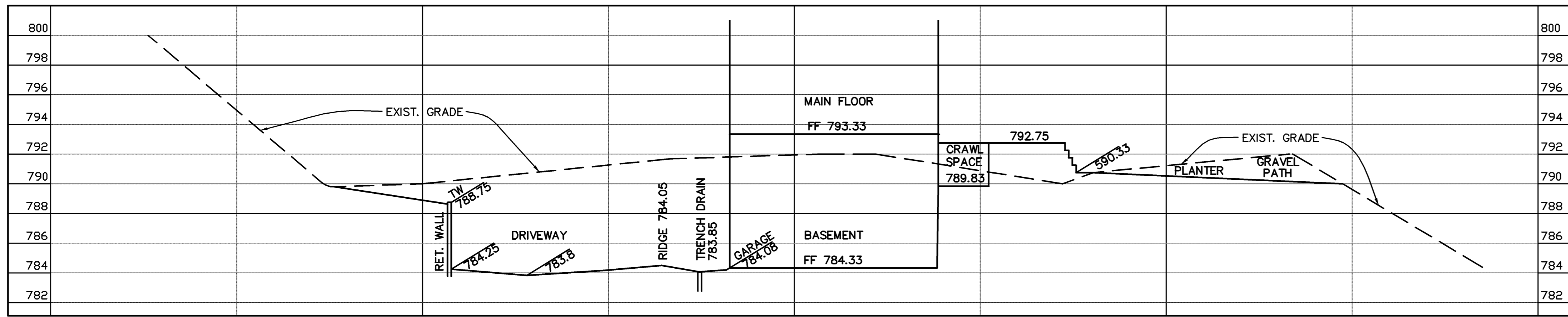


REVISIONS

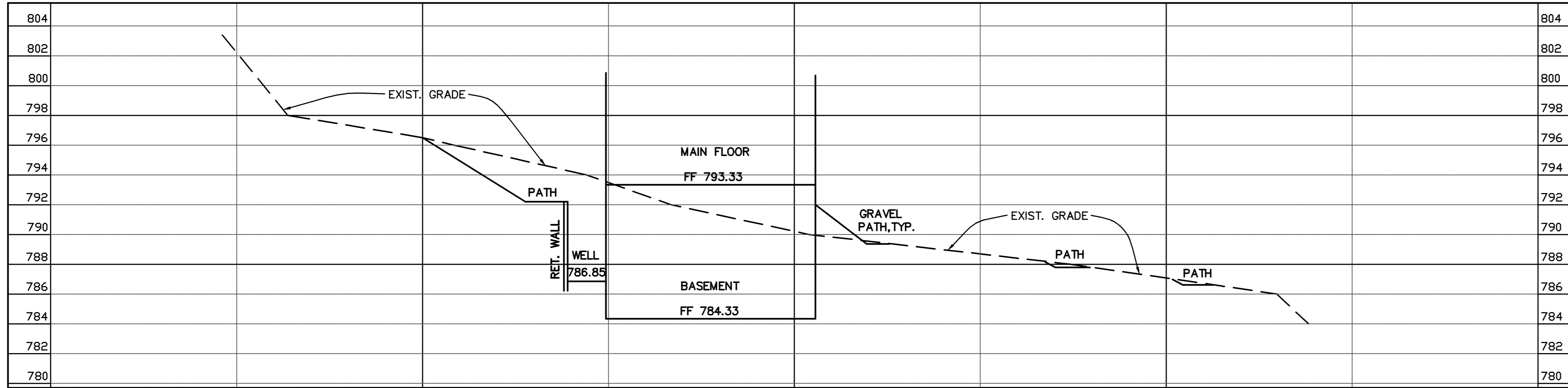
DATE	CHK'D	DESCRIPTION

SCALE: AS SHOWN
DATE: 11-07-17
DWN: SS ME30
CHK'D:
JOB NO. 15070
DWG. NO. L14691A-5

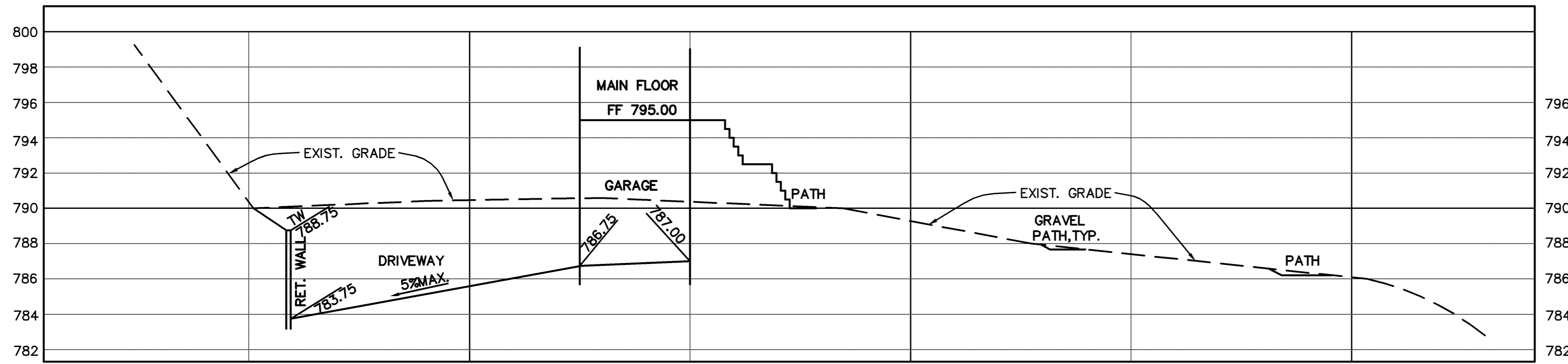
SHEET
C5
OF 14 SHEETS



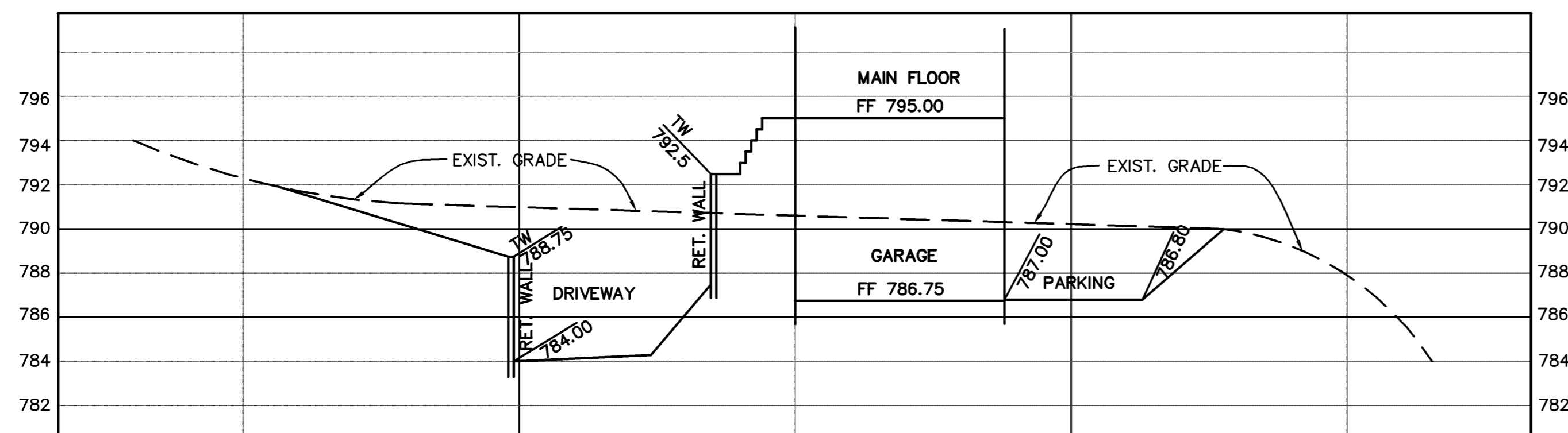
MAIN HOUSE SECTION D-D
SCALE: HORIZ. 1"=20'
VERT. 1"=5'



MAIN HOUSE SECTION E-E
SCALE: HORIZ. 1"=20'
VERT. 1"=5'

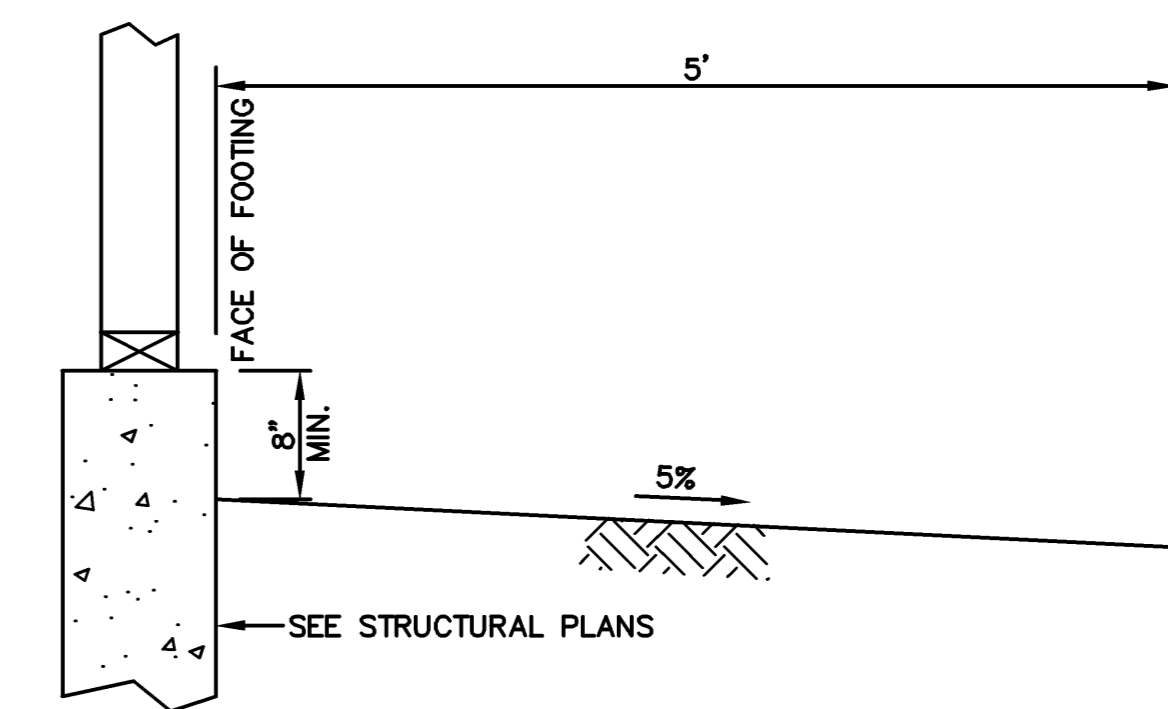


GUEST HOUSE SECTION F-F
SCALE: HORIZ. 1"=20'
VERT. 1"=5'

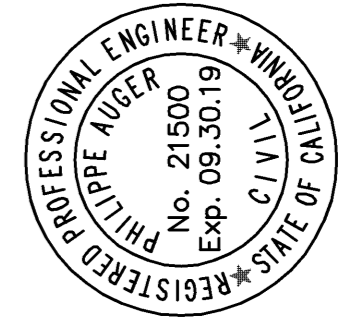


GUEST HOUSE SECTION G-G
SCALE: HORIZ. 1"=20'
VERT. 1"=5'

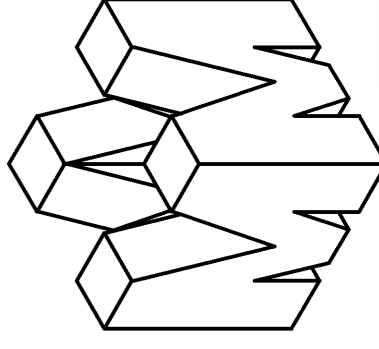
NOTE:
ALL RETAINING WALLS BY SEPARATE BUILDING PERMIT.



TYPICAL GRADE @ BUILDING FOOTING
SCALE: 1"=1'



PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-19



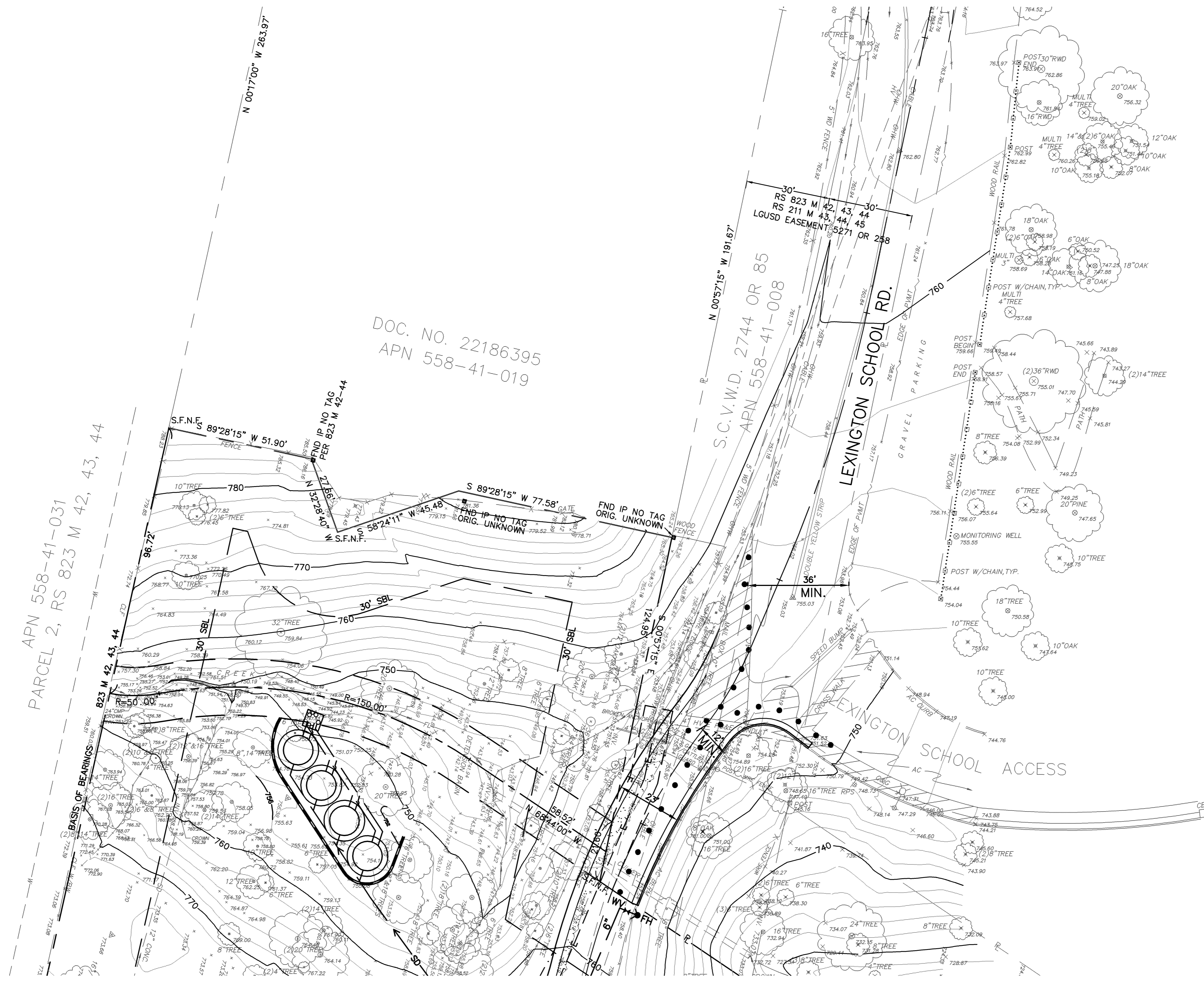
PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING
MISSION ENGINEERS, INC.
RESPONSIVE, RELIABLE RESULTS SINCE 1953
2355 De La Cruz Blvd. Santa Clara, California 95050
Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: mission@missionengineersinc.com

SECTIONS @ MAIN HOUSE & GUEST HOUSE
APN 558-41-020
19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA

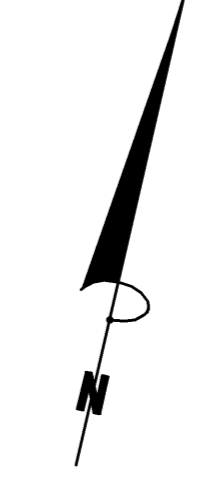
REVISIONS			
DATE	BY	CHKD	DESCRIPTION

SCALE	AS SHOWN
DATE	11-07-17
DWN	SS ME30
CHKD	
JOB NO.	15070
DWG. NO.	L14691A-6

SHEET
C6
OF 14 SHEETS



SCALE: 1"=20'



DOC. NO. 22186395
APN 558-41-019

PARCEL 2, RS 823 M 42, 43, 44
APN 558-41-031

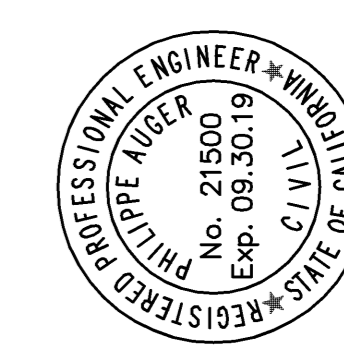
S.C.V.W.D. 2744 OR 85
APN 558-41-008

TRAFFIC CONTROL PLAN
APN 558-41-020
19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA

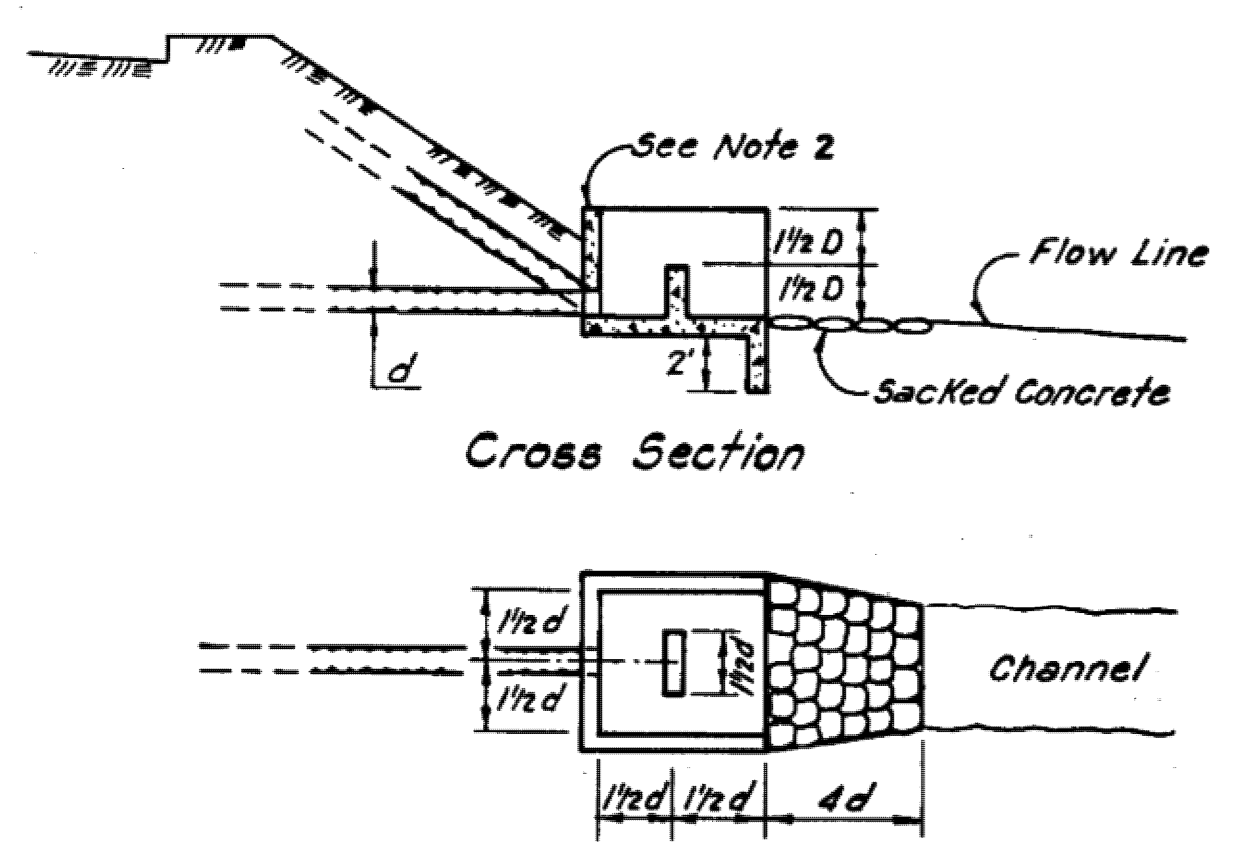
REVISIONS		
DATE	BY	DESCRIPTION

SCALE	AS SHOWN
DATE	11-07-17
DWN	SS ME30
CH'KD	
JOB NO.	15070
DWG. NO.	L14691A-7
REF.	TOPO, SITE

SHEET
C7
OF 14 SHEETS



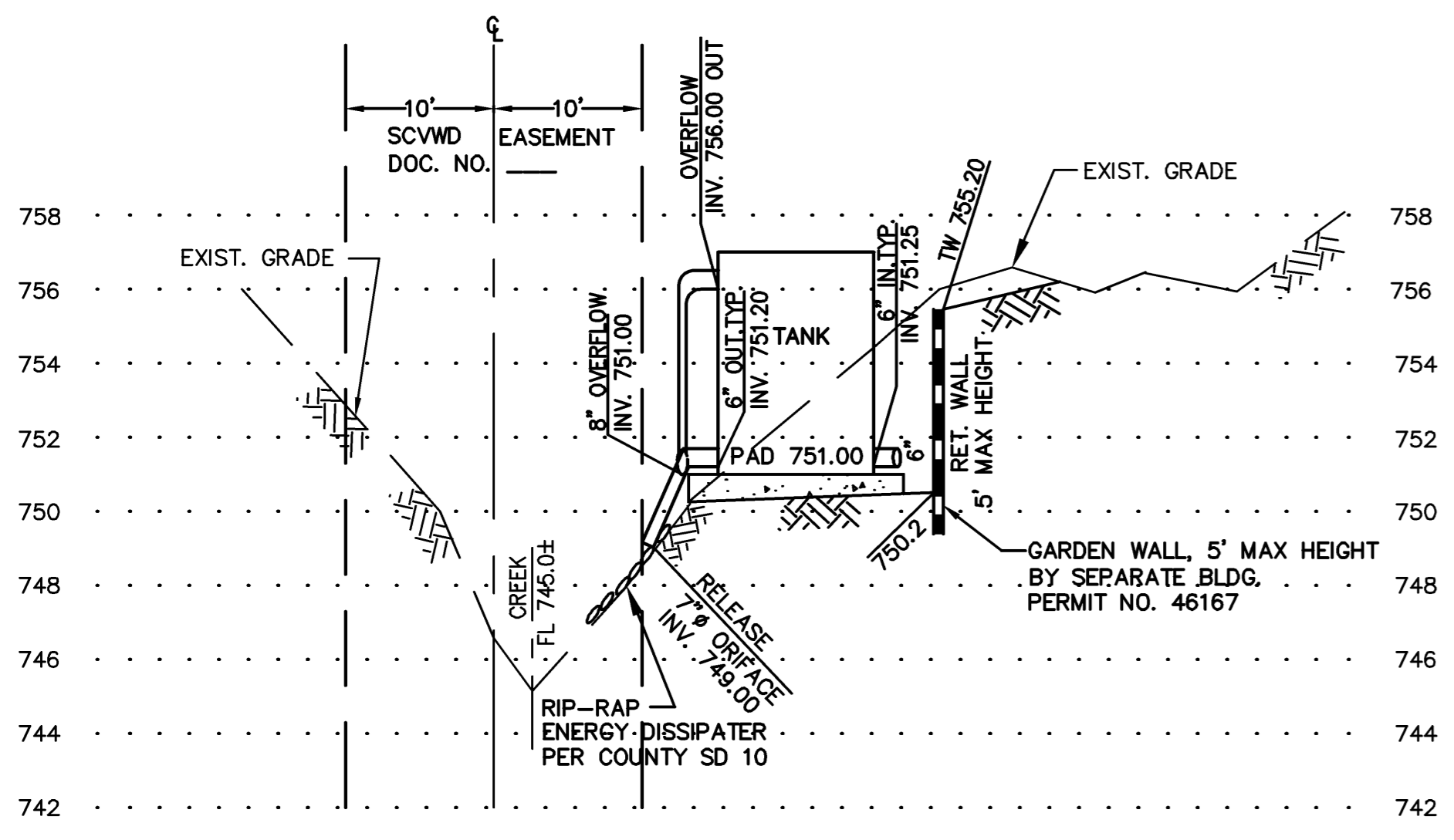
PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-19
PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING
MISSION ENGINEERS, INC.
RESPONSIVE, RELIABLE RESULTS SINCE 1953
2355 De La Cruz Blvd. Santa Clara, California 95050
Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: mission@missionengineersinc.com



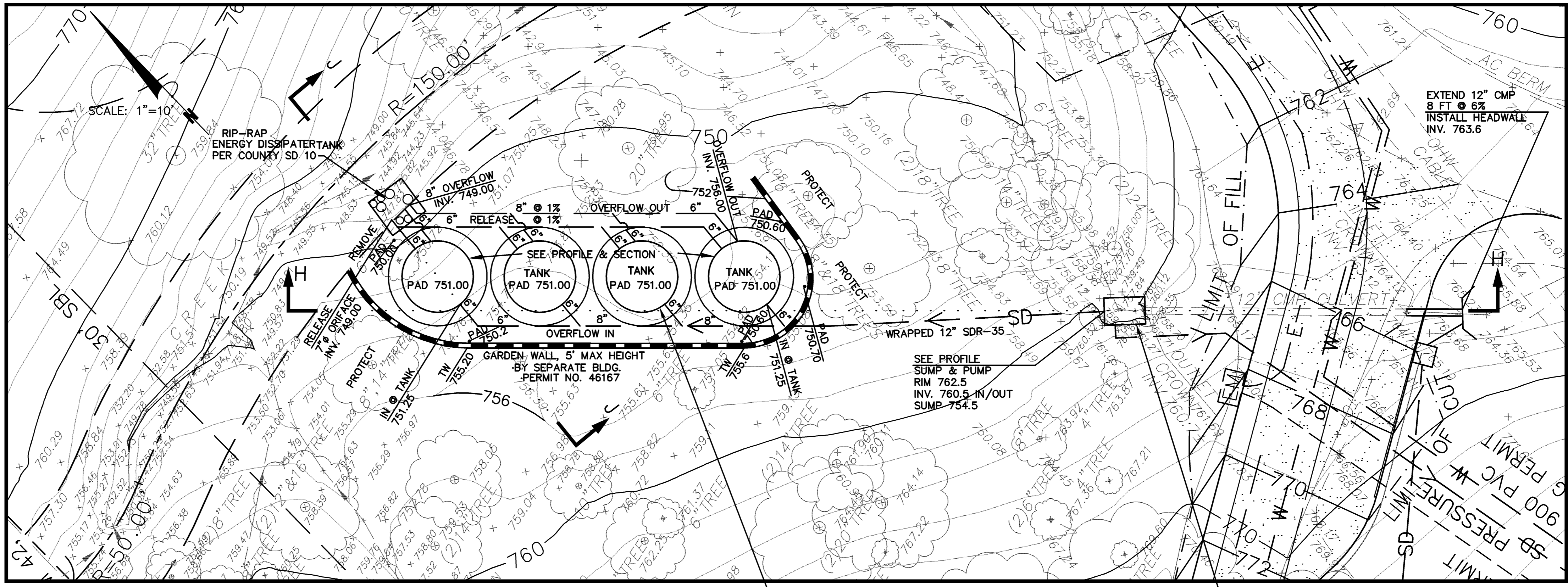
ENERGY DISSIPATOR
(Small Culverts)

- NOTES**
1. Energy dissipator shall be used in all situations where water is discharged from a culvert with eroding velocities.
 2. The dissipator shall be class A reinforced concrete not less than 4 1/2" thick throughout. The engineer may propose other designs of equal energy dissipating effectiveness and structural durability subject to approval of the county, utilizing any suitable combination of materials, such as C.M.R. Tee, over-bank culverts, and dumped rock or sacked concrete riprap.

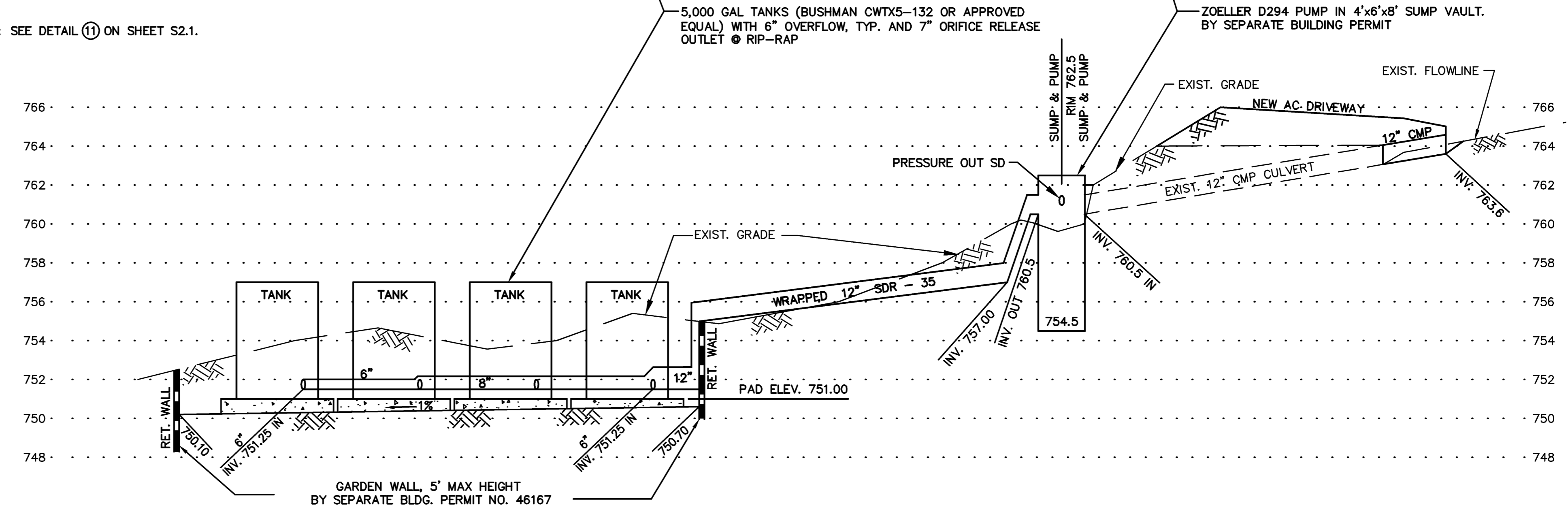
Approved: <i>David Peterson</i>	Date:	COUNTY OF SANTA CLARA ENVIRONMENTAL MANAGEMENT / GENERAL SERVICES AGENCY	SD
Manager / County Surveyor Land Dev., Engineering & Surveying			
No.	Revision	Date	
			SD



SECTION J-J
SCALE: HORIZ. 1"=10'
VERT. 1"=4'



NOTE: WATERTANK TO SLAB CONNECTION: SEE DETAIL (1) ON SHEET S2.1.



PROFILE SECTION H-H
SCALE: HORIZ. 1"=10'
VERT. 1"=4'

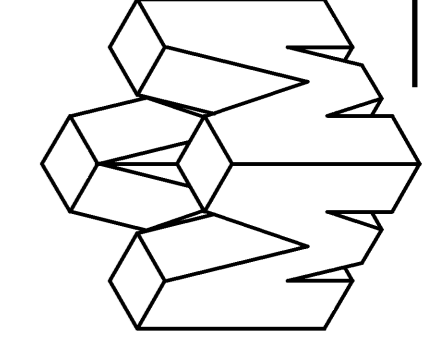
PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-19

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

MISSION ENGINEERS, INC.

RESPONSIVE, RELIABLE RESULTS SINCE 1953

2355 De La Cruz Blvd. Santa Clara, California 95050
Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: missionengineersinc.com



STORM DRAINAGE DETENTION SYSTEM
APN 558-41-020
19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA

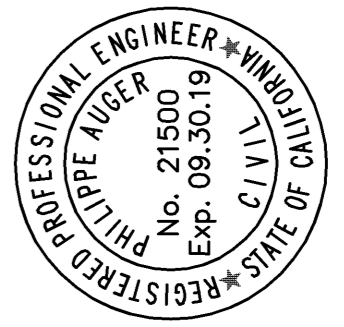
REVISIONS	
DATE	DESCRIPTION

SCALE AS SHOWN
DATE 11-07-17
DWN SS ME30
CH'KD
JOB NO. 15070
DWG. NO. L14691A-B
SHEET
C8
OF 14 SHEETS



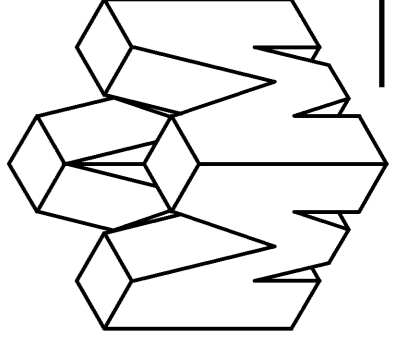
LEGEND
 X FIBER ROLL
 □ SEDIMENT BARRIER

SCALE: 1"=30'



PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-19

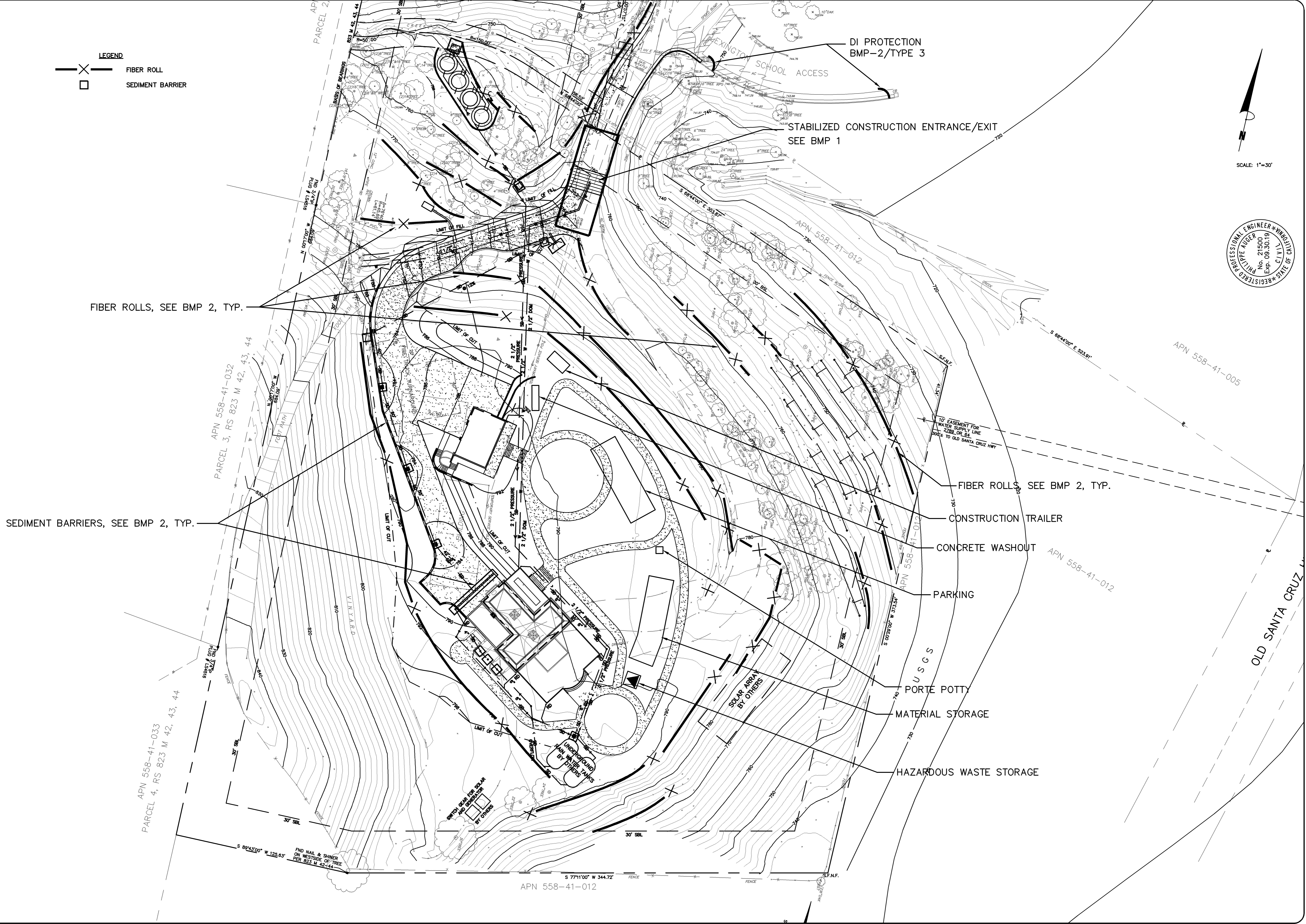
PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING
MISSION ENGINEERS, INC.
 RESPONSIVE, RELIABLE RESULTS SINCE 1953
 2355 De La Cruz Blvd. Santa Clara, California 95050
 Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: missionengineersinc.com



EROSION CONTROL PLAN
 APN 558-41-020
 19800 OLD SANTA CRUZ HWY, LOS GATOS
 IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS		
DATE	BY CH'KD	DESCRIPTION

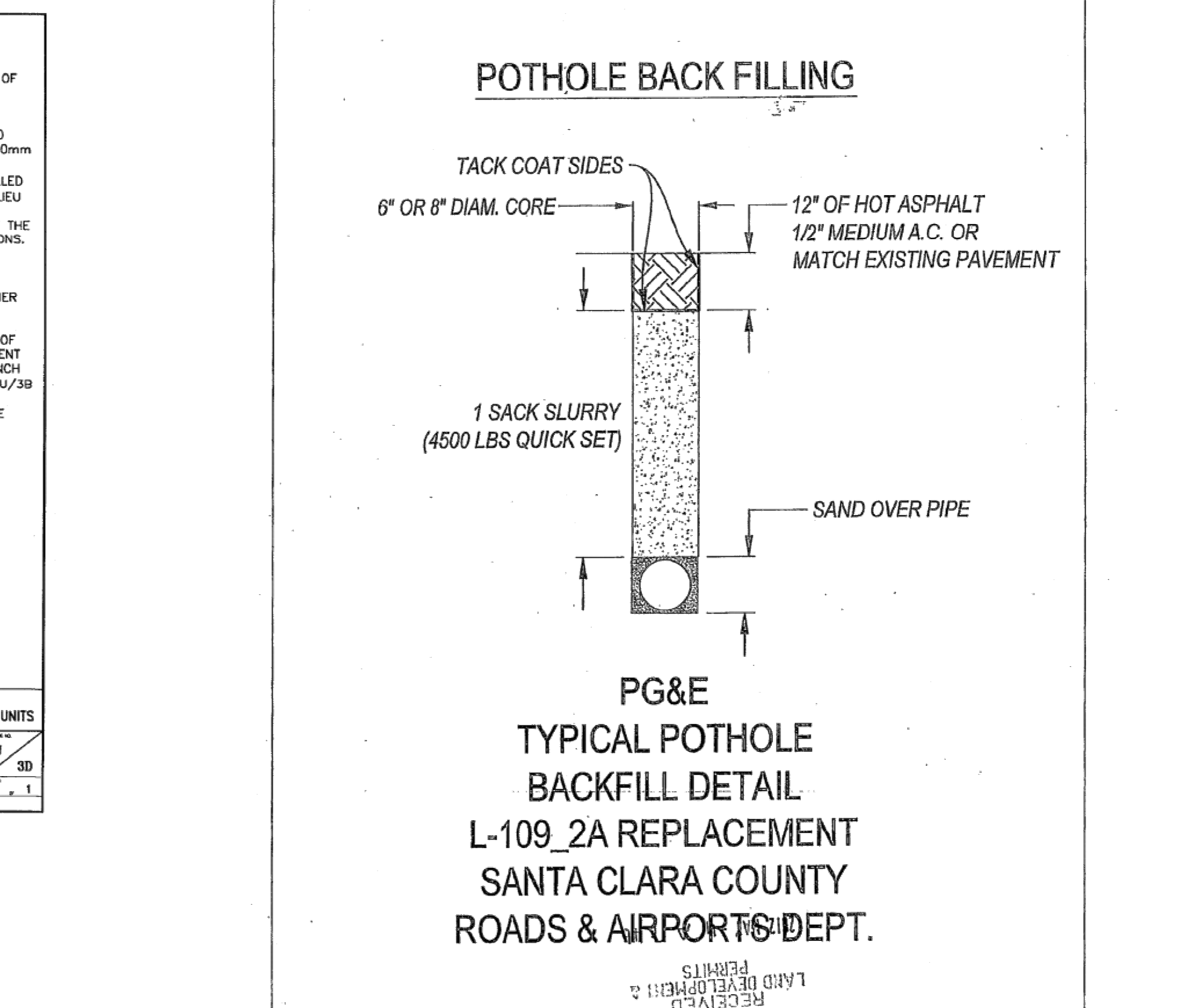
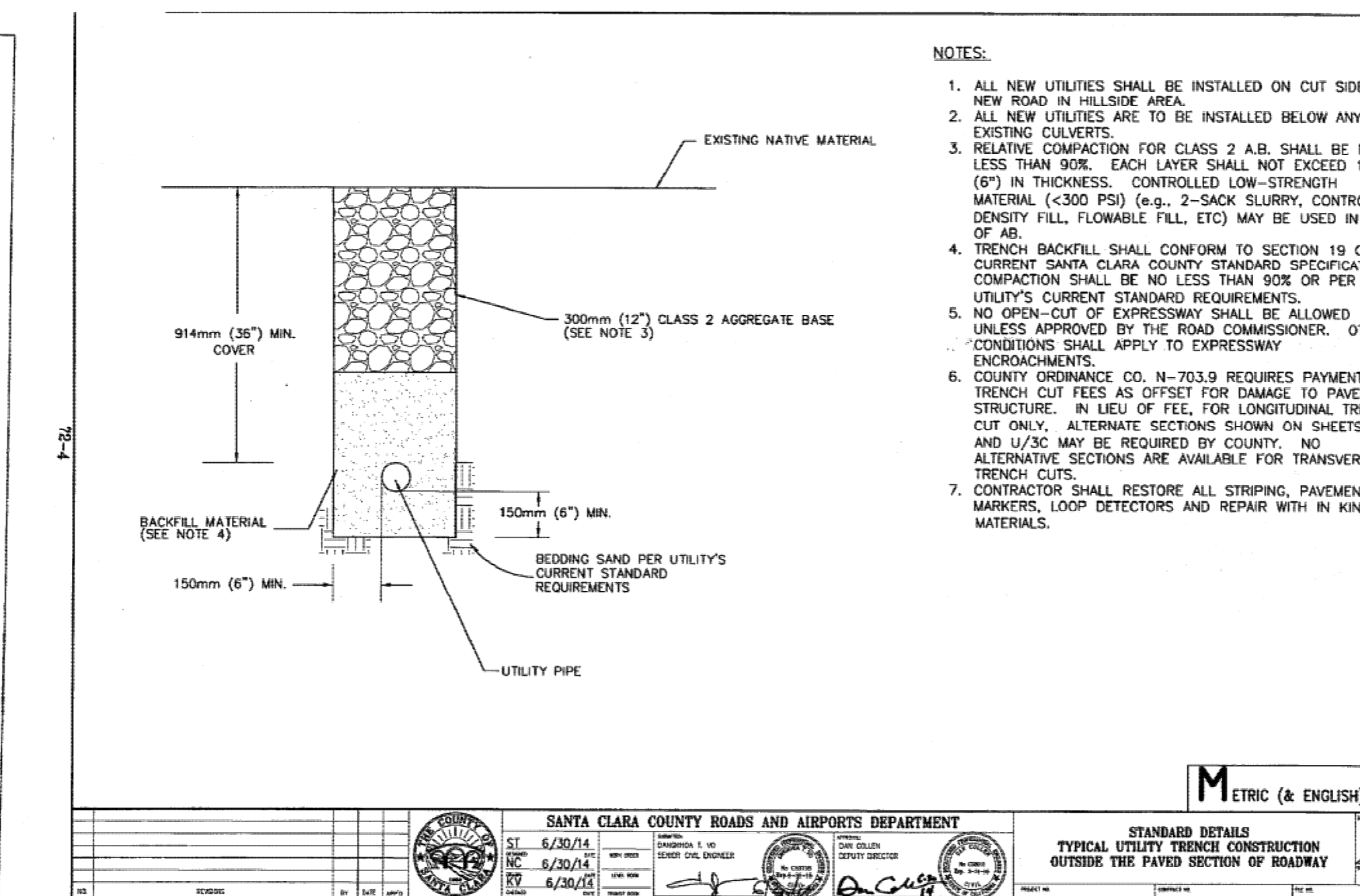
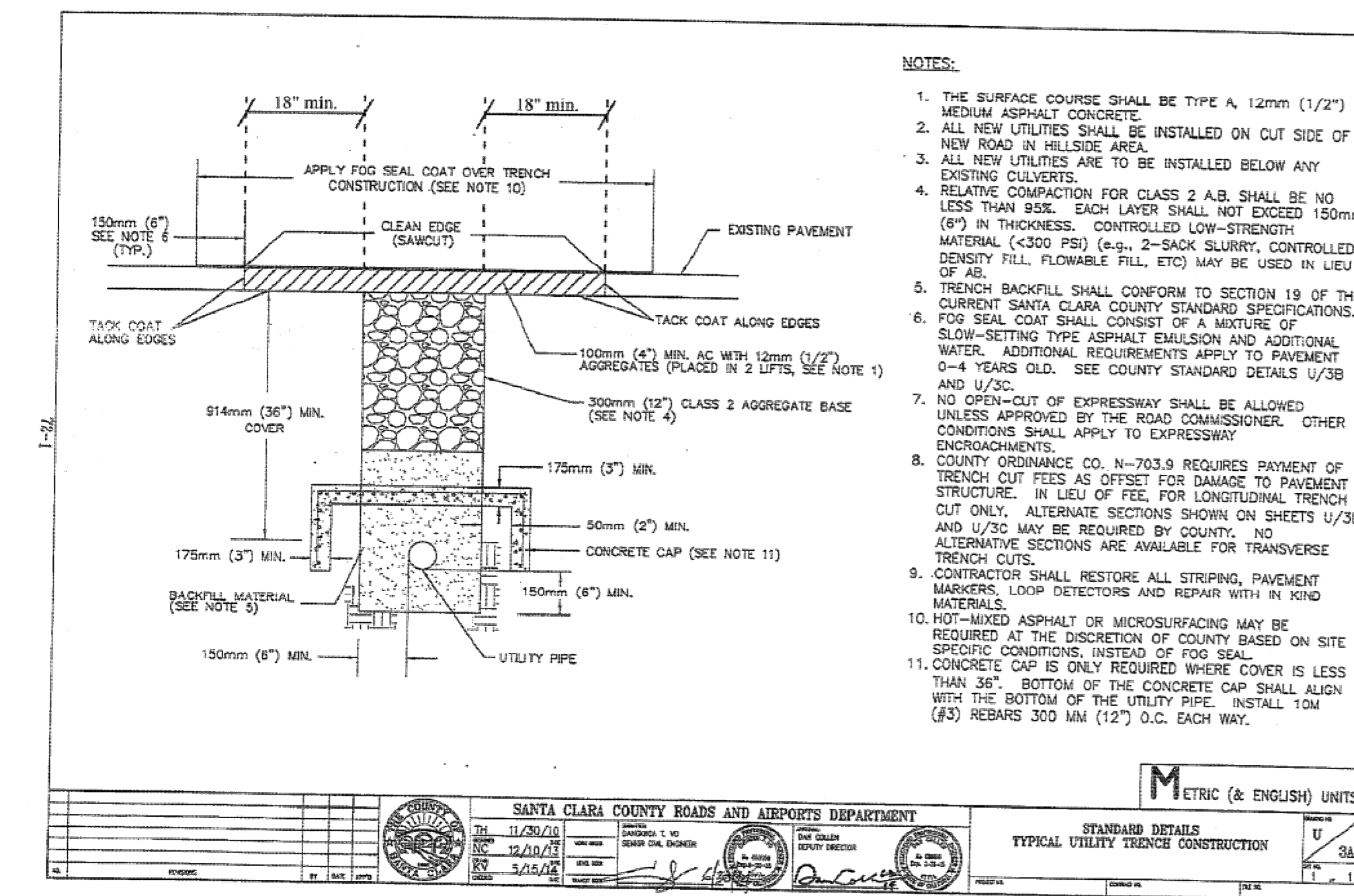
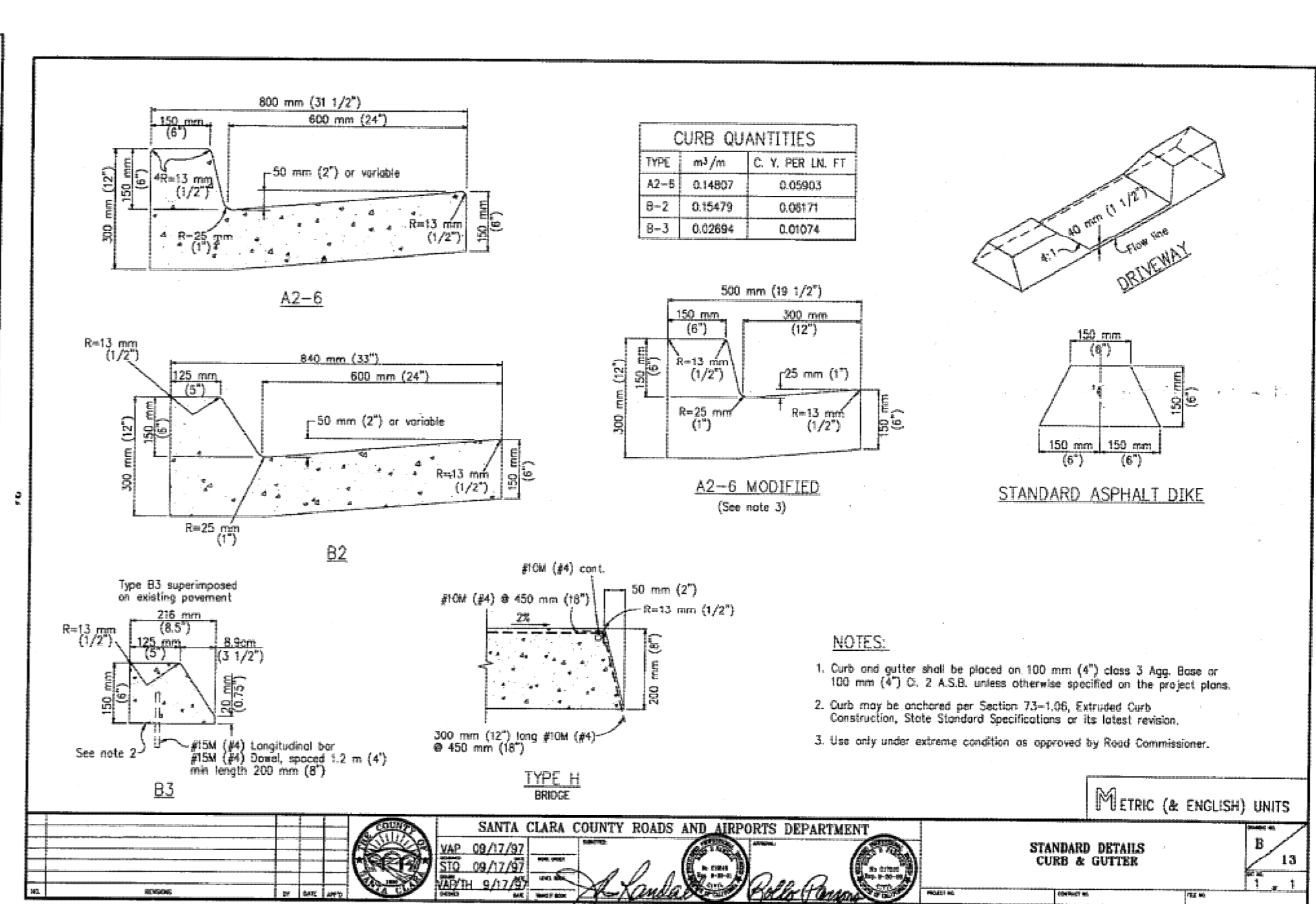
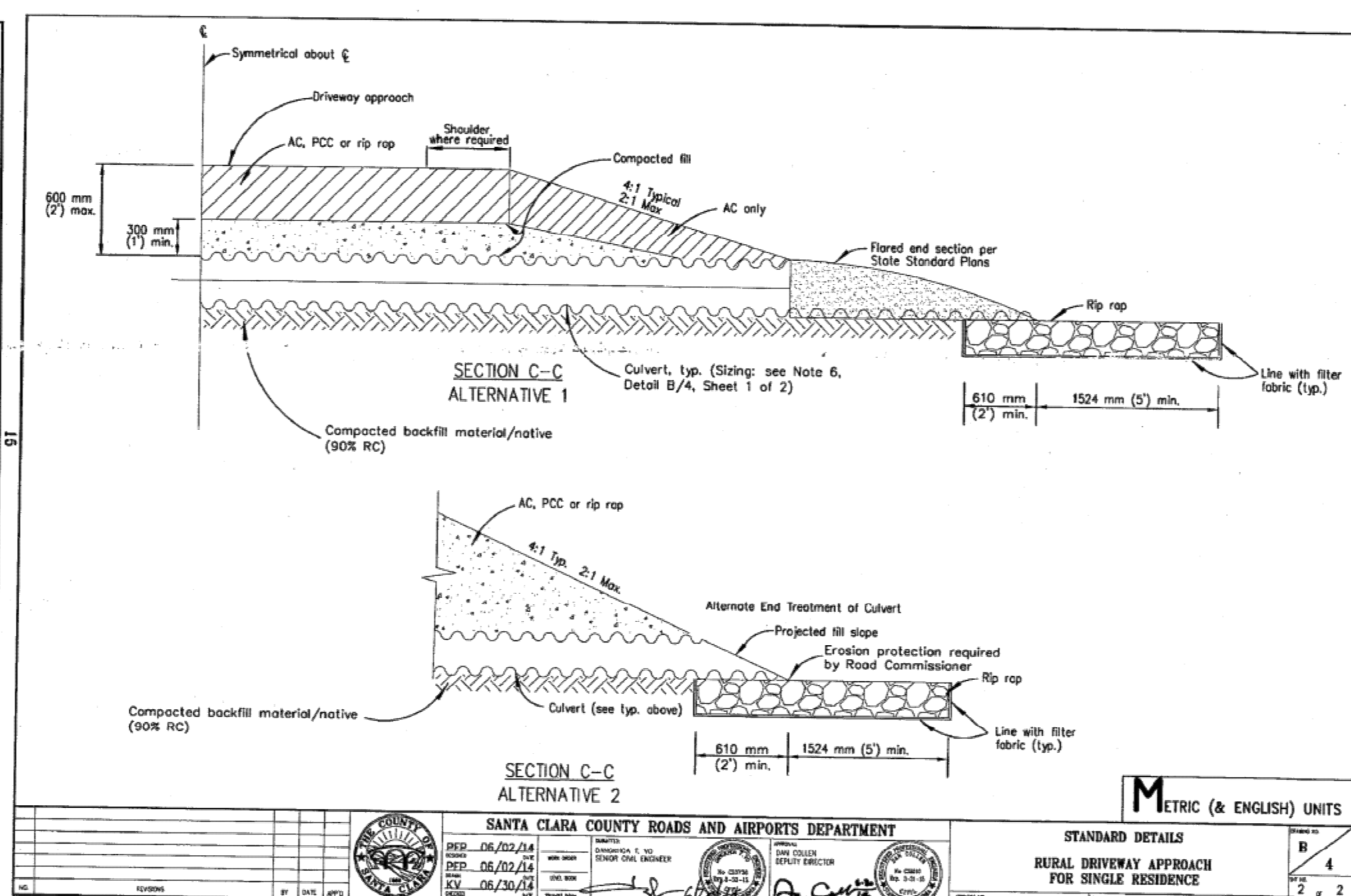
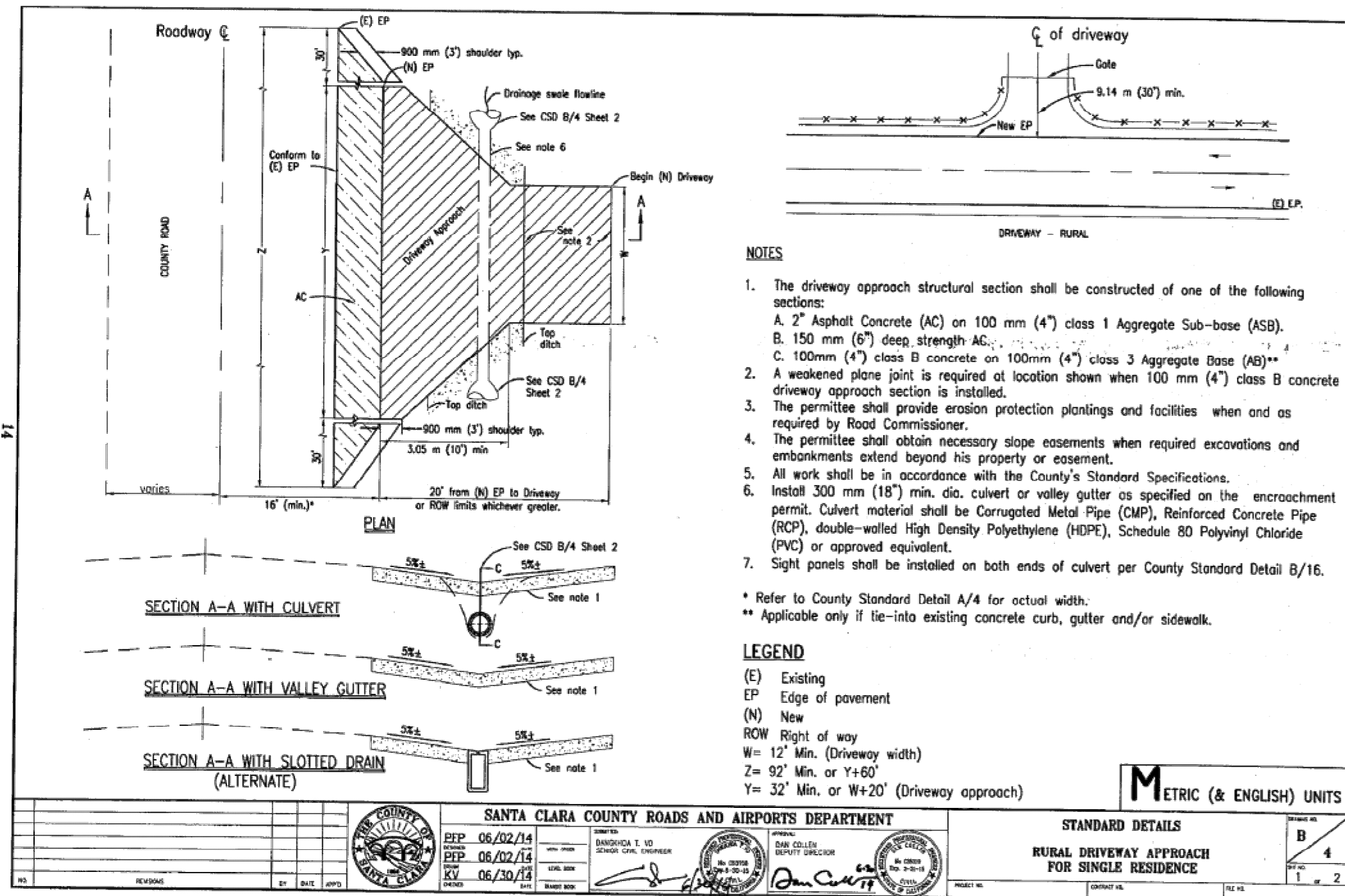
SCALE 1"=30'
 DATE 11-07-17
 DWN SS ME30
 CH'KD
 JOB NO. 15070
 DWG. NO. L14691A-9
 SHEET
C9
 OF 13 SHEETS



APPLICANT: INGRAM-CAUCHI

ROAD NAME: OLD SANTA CRUZ HWY

COUNTY FILE NO.: 10735-15B-15G



REVISIONS	
DATE	DESCRIPTION

SCALE	AS SHOWN
DATE	11-07-17
DWN	SS ME30
CHKD	
JOB NO.	15070
DWG. NO.	L14691A-10

SHEET
C10
 OF 14 SHEETS

PHILIPPE AUJER, R.C.E. 21500-EXPIRES 9-30-19

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

MISSION ENGINEERS, INC.

RESPONSIVE, RELIABLE RESULTS SINCE 1953

2555 De La Cruz Blvd. Santa Clara, California 95050
 Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: missionengineersinc.com

ATTACHMENT 11

SANTA CLARA COUNTY LAND DEVELOPMENT ENGINEERING

GRADING PERMIT

62181939

INSPECTIONS REQUIRED !
 TO SCHEDULE INSPECTIONS CALL 408-299-6868
 24 HOURS BEFORE STARTING ANY WORK.



62181939

KEEP THIS PERMIT ON JOB SITE
 SEE ATTACHMENTS FOR PERMIT REQUIREMENTS

Permit Number 62181939	Date Issued JAN 18, 2018	Expiration Date JAN 18, 2020
----------------------------------	------------------------------------	--

PERMITTEE

ALEXA INGRAM-GAUCHI

2051 INTERTAKEN PLACE

SEATTLE WA 98112

Telephone
206.409.9867

Jess Tanciangco
Jess Tanciangco

**Engineering
 Technician III**

COMPLETED _____

CANCELED _____

BY _____

Inspector

BY _____

Permit Office

ATTACHMENTS

Approved Plans

Inspection Card

LOCATION OF WORK

Address 19800	Road Name OLD SANTA CRUZ HWY	Locaide
-------------------------	--	---------

File Number 10735-27-45-15G	APN 558 - 41 - 020	Zone -
---------------------------------------	------------------------------	-----------

DESCRIPTION OF WORK

As per approved plans

SPECIAL PROVISIONS

PC44943, PC44944 & PC46167
 Inspection Fees= \$5,657.00

BONDS

AMOUNT

TYPE

RELEASE DATE

Performance

Labor and Material

Monument

Engineers Name **Mission Engineers**

Plan ID No.

Inspection By

SP No.

Permit Validate 62181939

LDE Insp Fees 5657

COUNTY OF SANTA CLARA

General Construction Specifications

GENERAL CONDITIONS

- 1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE... 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 3. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

CONSTRUCTION STAKING

- 1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND... 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

CONSTRUCTION INSPECTION

- 1. CONTRACTOR SHALL NOTIFY HOME INSPECTION UNIT, SANTA CLARA COUNTY... 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

SITE PREPARATION (CLEARING AND GRUBBING)

- 1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS AND REMOVAL MATERIAL... 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

UTILITY LOCATION, TRENCHING & BACKFILL

- 1. CONTRACTOR SHALL NOTIFY UTA (UNDERGROUND SERVICE ALERTS) AT... 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

SANITARY SEWER

- 1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS... 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

PORTLAND CEMENT CONCRETE

- 1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "45" OR... 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS, THERE () HERE () HERE ()... THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

RETAINING WALLS

- 1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS... 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

GRADING

- 1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED... 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

IRRE PROTECTION

- 1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT... 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

ACCESS ROADS AND DRIVEWAYS

- 1. DEVELOPER LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS... 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

STREET LIGHTING

- 1. PAFCG GAS & ELECTRIC ELECTRICIAN SERVICE FEE SHALL BE PAID BY... 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

SURVEY MONUMENT PRESERVATION

- 1. THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE... 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

GEOTECHNICAL ENGINEER OBSERVATION

- 1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE... 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

- 1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY... 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

STORM DRAINAGE AND STORMWATER MANAGEMENT

- 1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES... 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

EXISTING TREE PROTECTION DETAILS

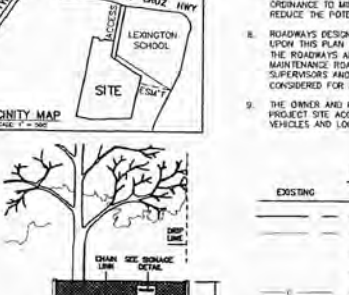
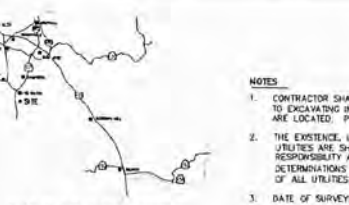
- 1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING... 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS... THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE... THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...



GRADING AND DRAINAGE PLAN 19800 OLD SANTA CRUZ HWY, LOS GATOS IN THE COUNTY OF SANTA CLARA, CALIFORNIA APN 558-41-020

- CONTRACTOR SHALL CONTACT U.S.A. AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ANY AREA WHERE UNDERGROUND FACILITIES ARE LOCATED... THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE EROSION CONTROL PLAN...

- DATE OF SURVEY: OCTOBER 2015 & MAY 2016... THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE EROSION CONTROL PLAN... OFFSITE SCOPE OF WORK COVERED IN SHEETS CI-C10 INCLUSIVE...

ABBREVIATIONS

Table with 3 columns: Abbreviation, Description. Includes entries for ASPHALTIC CONCRETE, BACK FLOW PREVENTER, BRICK, CHAIN LINK FENCE, etc.

SHEET INDEX

Table with 2 columns: Sheet Number, Description. Lists sheets C1 through C10, including COVER SHEET, GRADING & DRAINAGE PLANS, etc.

COUNTY OF SANTA CLARA LAND DEVELOPMENT ENGINEERING & SURVEYING GRADING / DRAINAGE PERMIT # 23181934 ISSUED BY: [Signature] DATE: 11/8/2018

COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS ISSUED BY: [Signature] DATE: 11/8/2018 CONSTRUCTION PERMIT NO. 56-180022

ENGINEER: MISSION ENGINEERS, INC. 2355 DE LA CRUZ BLVD, SANTA CLARA, CA 95050... OWNER: ALEXA INGRAM-CAUGH 19870 OLD SANTA CRUZ HIGHWAY LOS GATOS, CA 95033



SEE SHEET C2
MATCH

SEE SHEET C2
LINE



SEE SHEET
C3.1



PLANNING : LAND SURVEYING : CIVIL ENGINEERING : CONSTRUCTION STAKING
 PHILIPPE AUBER, P.C.E. 21500-EXPRES 9-30-19
 DANIEL NUÑEZ, P.C.E. 76440-EXPRES 12-31-18, L.S. 9212-EXPRES 09-30-19
MISSION ENGINEERS, INC.
 RESPONSIBLE DESIGNER: PHILIPPE AUBER
 2355 De La Cruz Blvd., Suite 100
 San Jose, CA 95128
 Tel: (408) 727-8282 Fax: (408) 727-8285 E-mail: mision@missionengineers.com



GRADING & DRAINAGE PLAN
 APN 558-41-020
 19800 OLD SANTA CRUZ HWY, LOS GATOS
 IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS	
DATE	DESCRIPTION

SCALE: 1"=20'
 DATE: 12-22-17
 DWN: SS M20
 CADD
 JOB NO: 15573
 SHEET NO: 15573-1
 SHEET

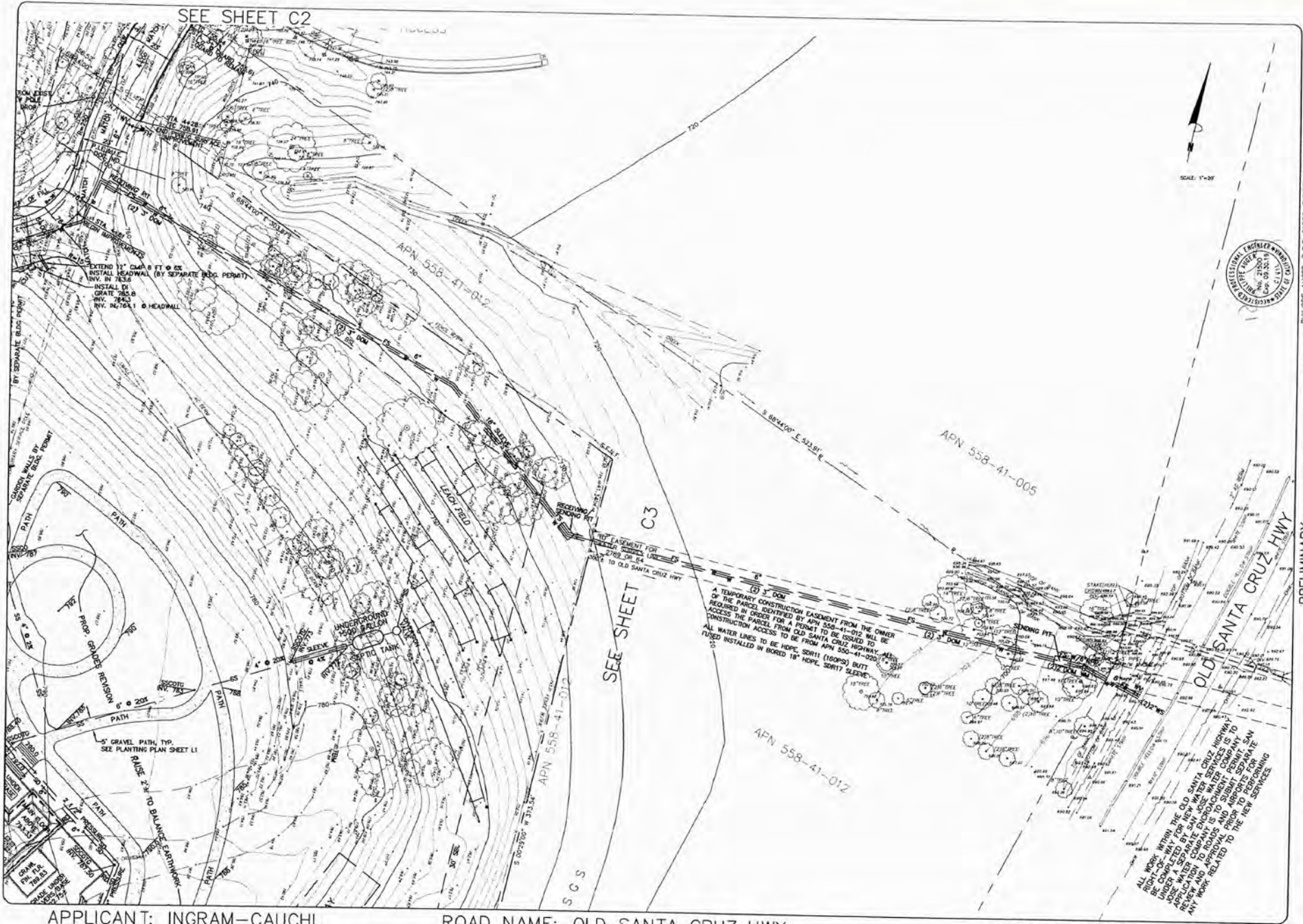
C3
 OF 14 SHEETS

NOTE:
 NO TREES ARE PROPOSED FOR REMOVAL.

APPLICANT: INGRAM-CAUCHI

ROAD NAME: OLD SANTA CRUZ HWY

COUNTY FILE NO.: 10735-15B-15G



PHILIPPE AUDER, R.C.E. 21500-EMPRES 9-20-19
 DANIEL JONES, R.C.E. 78449-EXPRES 12-31-18, L.S. 9217-EXPRES 09-30-19

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAMPING

MISSION ENGINEERS, INC.
 RESPONSIVE • RELIABLE RESULTS SINCE 1953
 2355 De La Cruz Blvd. Santa Clara, California 95050
 Ph: (408) 727-8282 Fax: (408) 727-8286 E-mail: mission@missionengineersinc.com

PRELIMINARY

WATER SERVICES CONNECTIONS TO WATER MAIN
 APN 558-41-020
 19800 OLD SANTA CRUZ HWY, LOS GATOS
 IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS	
DATE	DESCRIPTION

SCALE 1"=20'
 DATE 12-22-19
 DWG. 50-MK-30
 JOB NO. 15070
 DWG. 61-11489-A-1
 10% SET

SHEET
C3.1
 OF 14 SHEETS

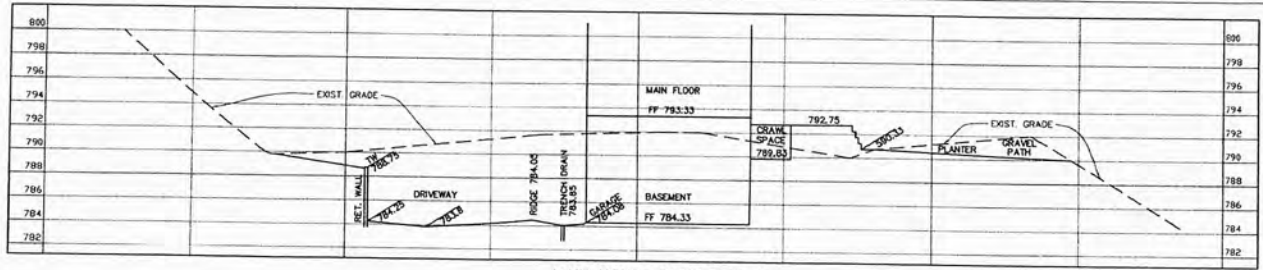
APPLICANT: INGRAM-CAUCHI

ROAD NAME: OLD SANTA CRUZ HWY

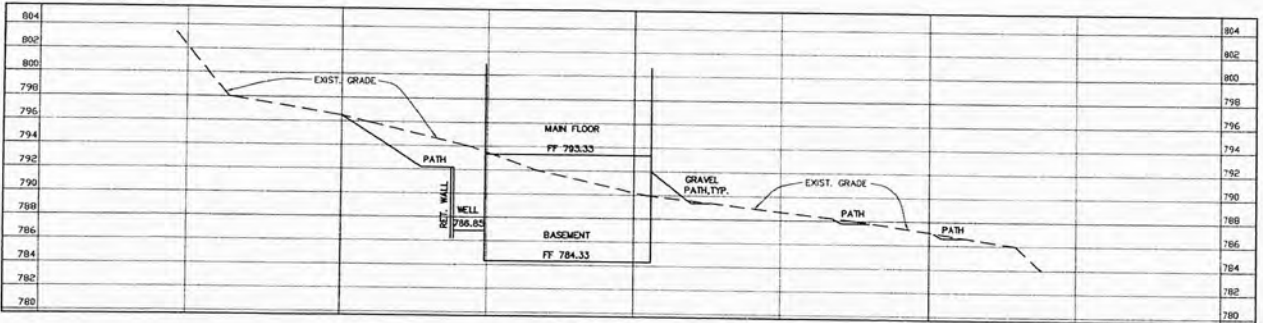
COUNTY FILE NO.: 10735-15B-15G

A TEMPORARY CONSTRUCTION EASEMENT FROM THE OWNER OF THE PARCEL IDENTIFIED BY APN 558-41-012 WILL BE ACQUIRED IN ORDER FOR A PERMIT TO BE ISSUED TO ACCESS THE PARCEL FROM OLD SANTA CRUZ HIGHWAY. ALL CONSTRUCTION ACCESS TO BE FROM APN 558-41-020. ALL WATER LINES TO BE HOPE, SORRI (160PS) BUTT FUSED INSTALLED IN BORED 18" HOPE, SORRI SLEAVE.

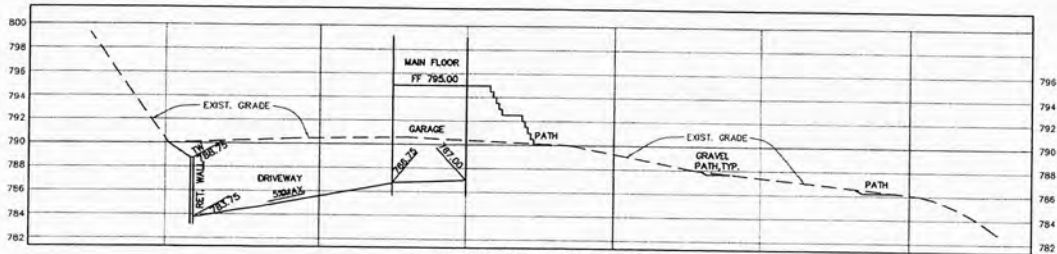
ALL WORK WITHIN THE OLD SANTA CRUZ HIGHWAY RIGHT-OF-WAY FOR THE SAN JUAN VALLEY WATER PROJECT IS TO BE CHECKED BY THE SAN JUAN VALLEY WATER PROJECT ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING ANY WORK RELATED TO THE NEW SERVICES.



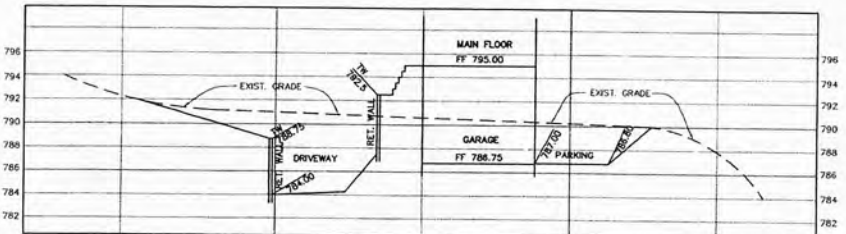
MAIN HOUSE SECTION D-D
SCALE: HORIZ. 1"=20'
VERT. 1"=5'



MAIN HOUSE SECTION E-E
SCALE: HORIZ. 1"=20'
VERT. 1"=5'

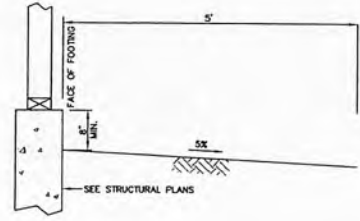


GUEST HOUSE SECTION F-F
SCALE: HORIZ. 1"=20'
VERT. 1"=5'



GUEST HOUSE SECTION G-G
SCALE: HORIZ. 1"=20'
VERT. 1"=5'

NOTE:
ALL RETAINING WALLS BY SEPARATE BUILDING PERMIT.



TYPICAL GRADE @ BUILDING FOOTING
SCALE: 1"=1'



PHILIPPE AUSSER, R.C.E. 21500-EXPIRES 9-30-19
DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-18, L.S. 9212-EXPIRES 08-30-19

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

MISSION ENGINEERS, INC.

RESPONSIBLE RELIABLE RESULTS SINCE 1953

2355 De Soto Ave., Suite 200
Ph: (408) 727-8282 FAX: (408) 727-8285 E-mail: mission@missionengineering.com



SECTIONS @ MAIN HOUSE & GUEST HOUSE
APN 558-41-020
19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS	
DATE	DESCRIPTION

SCALE: AS SHOWN
DATE: 12-22-17
DWG: 53 ME 30
JOB NO: 15010
DWG NO: L146591A-6

SHEET
C6
OF 14 SHEETS

ATTACHMENT 12



MaxiCon, Inc.

GENERAL ENGINEERING CONTRACTORS

August 27, 2020

Mr. Barton G. Hechtman
 bgh@matteoni.com
 Matteoni, O'Laughlin & Hechtman
 848 The Alameda
 San Jose, CA 95126

This timecard reflects the date Maxicon, Inc. began grading at 19800 Old Santa Cruz Highway in Los Gatos, CA for Alexa Ingram-Cauchy:

WEEKLY TIME CARD

©2003 REDIFORM® 4K409

EMPLOYEE NAME		NO.	WEEK ENDING:	DATE:											
Pedro Ramirez			8-20-18												
JOB NAME OR NO.	KIND OF WORK DONE	S	M	T	W	T	F	S	HRS.	RATE	AMOUNT				
Gold Creek	Asphalt Work Labor		4 1/2		1										
Yard	Gravel #10		2		1										
Alexa	(1) #12 paver Mach.		3												
(187715)	(1) #10 Dozer				5										
"	(1) #10 TR93				2 1/2										
Gold Creek	pick up cold AC #12						3								
"	labor		4 1/2				2								
Abaton Rd.	pick up Rock #12					2									
Alexa	(1) #12 TR89					2 1/2									
(187715)	" " TR91					2									
"	" " TR92					2 1/2									
APPROVED BY:										WITHHOLD	S.D.J.	F.I.C.A.	MEDICARE	STATE W.H.	TOTAL EARNINGS
DATE PAID:										9 1/2 4 1/2 9 1/2 9 5					TOTAL DEDUCTIONS
CHECK NO.:															NET PAY

George Hall, President
 MaxiCon, Inc.

Cc: alexa@idtech.com, daniel@missionengineersinc.com, roseconstruction@verizon.net

P.O. BOX 729 • LOS GATOS, CA 95031 • CAL LIC. # A724617
 Phone: (408) 395-6846 • Fax: (408) 354-5151
 www.maxiconinc.com



MaxiCon, Inc.

GENERAL ENGINEERING CONTRACTORS

August 27, 2020

Mr. Barton G. Hechtman
 bgh@matteoni.com
 Matteoni, O'Laughlin & Hechtman
 848 The Alameda
 San Jose, CA 95126

This timecard reflects the date MaxiCon, Inc. finished grading at 19800 Old Santa Cruz Highway in Los Gatos, CA for Alexa Ingram-Cauchy:

WEEKLY TIME CARD		©2003 REDIFORM® 4K409							
EMPLOYEE'S NAME		NO.	WEEK ENDING:			DATE:			
Pablo Ramirez		71	2-15-20						
JOB NAME OR NO.	KIND OF WORK DONE	S	M	W	F	S	HRS.	RATE	AMOUNT
187715	6" drain line TR99		4						
" "	" " " Labor		4				2 1/2		
" "	pick up Material #39			2 1/2					
yard	(U) #5 TR92			3 1/2					
19217A	Driveway Work #5				4 1/2				
" "	" " " Labor				2 1/2				
yard	(U) #5 TR104				1 1/2				
187715	(U) #5 TR64				1 1/2				
yard	(U) #5 TR89				1 1/2				
TOTAL REGULAR TIME			8	8	7	8	7 1/2		38 1/2
APPROVED BY:		WITHHOLD		S.D.I.	F.I.C.A.	MEDICARE	STATE W.H.	TOTAL EARNINGS	
DATE:								TOTAL DEDUCTIONS	
POSTED H.P.		POSTED C.P.		CHECK NO.				NET PAY	
Time paid includes 30 minute break.									

George Hall, President
 MaxiCon, Inc.

Cc: alexa@idtech.com, daniel@missionengineersinc.com, roseconstruction@verizon.net

P.O. BOX 729 • LOS GATOS, CA 95031 • CAL LIC. # A724617
 Phone: (408) 395-6846 • Fax: (408) 354-5151
 www.maxiconinc.com

ATTACHMENT 13

Permit Number 64821 <i>MAIN</i>	Issued By SO	Date 1/29/2018		
Job Address 19800 OLD SANTA CRUZ HY LOS GATOS, CA 95033-0000				
Nearest Cross Street BEAR CREEK RD				
Owner ALEXA INGRAM-CAUCHI	Phone 208 409.9867			
mailing address 2051 INTERLAKEN PLE Seattle, WA 98112				
Architect Or Engineer TOM SCHILB - SCHILB INDUSTRIAL	Phone 206 849.2682			
mailing address 8820 YAKIMA AVE Tacoma, WA 98444				
Contractor ROSE GENERAL CONTRACTOR INC	Phone 408.353.2720			
mailing address 24180 LOMA PRIETA AVENUE LOS GATOS, CA 95033				
Licenses No 548513				
Type of Improvement				
<input checked="" type="checkbox"/> Build Addition	<input type="checkbox"/> Alteration Repair	<input type="checkbox"/> Move Convert	<input type="checkbox"/> Demolish Reroof	<input type="checkbox"/> Remodel Rebuild
APN 55841020	Plan Chk # 44943	Checked By JYH	Stories	Size (sq ft)
Fees	Amount	Paid		
Building	7,173.00	1/25/2018		
Electrical	639.91	1/29/2018		
Mechanical	481.25	1/29/2018		
Plumbing	26.81	1/29/2018		
SMIP/Gat1	158.00	1/29/2018		
CBSC	48.00	1/29/2018		
Scan	190.30	1/29/2018		
Valuation 1200000				
1. TOTAL FEES MAY NOT INCLUDE ALL APPLICABLE MECHANICAL, PLUMBING, AND ELECTRICAL PERMIT FEES.				
2. PERMIT EXPIRES IF WORK IS NOT STARTED WITHIN 180 DAYS OF PERMIT ISSUANCE OR 180 DAYS FROM LAST SIGNED MILESTONE INSPECTION.				

**BUILDING PERMIT
SANTA CLARA COUNTY
BUILDING INSPECTION OFFICE**
70 W. Hedding St., San Jose, CA 95110 408-299-5700

Complete Before Final Inspection	See Back Page
Yes	Geology
Yes	Land Develop
No	Planning
Yes	Roads / Airports
Yes Yes	Environ Health
Yes	Fire Marshal
	FEMA Certificate
	Energy Compliance Form
	Clean Water Program
	Green Building Program
	Pervious Paving
	Special Inspection

Job Notes
SEE PC 44944 FOR SECONDARY DWELLING

Job Description
BUILD (N) 5767 SF 2 STORY W/BASEMENT SFR AND ATTACHED GARAGE 1131 SF. INCLUDING (N) 512 SF COVERED PORCH AND 345 SF BALCONIES

Permit Detail		
Residence, Pier	807380	5767
Permit Fee, Elec./Flat Fee	687.6573	5767
Permit Fee, Mechanics	324.8821	5767
Permit Fee, Mechanical	129.7576	5767
Issuance Fee, Electrical	26.81	1
	26.81	1
Issuance Fee, Plumbing and non Covered Deck/Porch	26.81	1
Deck/Balcony	13240	512
Garage, Finished	5190	348
Permit Fee, Elec, Water	26550	1131
Scanning Fee	28.4478	1131
	190.3	58

**FOR INSPECTION REQUEST
CALL 408-299-3181 BUILDING PERMIT
CALL 408-299-6868 DRAINAGE PERMIT**

**POST THIS PERMIT AT
JOB SITE**

INSPECTION RECORD

set back	STD1		special inspection RCE sign here		
foundation forms # pier/grade beam	ST02		clear ground. elect-underground	EL01	
piers	ST05	10/31/18 <i>act</i>	slab #	ST03	11/26/18 <i>act</i>
DO NOT POUR CONCRETE UNTIL THE ABOVE HAS BEEN SIGNED					
underfloor ducts	MED1		temporary meter/pole	FI05	
girders	ST07	8-20-18 <i>JMB</i>	underfloor insulation	ST09	
rough plumbing (partial)	PL03	6/05/18 <i>act</i>	underground plumbing	PL01	
			<i>for 26 house</i>		
			<i>later</i>		9/25/18 <i>act</i>
DO NOT COVER FLOOR UNTIL THE ABOVE HAS BEEN SIGNED					
bond beam (concrete block)	ST08	6/11/18 <i>act</i>	(rough mechanical)	ME11	6/28/19 <i>act</i>
rough plumbing (complete)	PL04	6/29/19 <i>act</i>	shower pan	PL05	7/9/19 <i>act</i>
sewer	PL02	9/10/18 <i>act</i>	water service	PL08	8/20/19 <i>act</i>
gas pressure	PL06	8/19/19 <i>act</i>	propane gas (tank to house)	PL10	6/26/19 <i>act</i>
rough electric	EL04	6/28/19 <i>act</i>	electric service bonding	EL02	
roof nailing	ST10	2/22/19 <i>act</i>	shear nailing	ST09	12/13/18 <i>act</i>
<i>SFR beams</i>					
rough frame & roof	ST11	7/19/19 <i>act</i>	roof tear off	RR01	
			<i>266 - from TRANS. Pkg</i>		6/26/19 <i>act</i>
DO NOT INSULATE UNTIL THE ABOVE HAS BEEN SIGNED					
wall insulation	ST12	7/21/19 <i>act</i>	ceiling insulation	ST13	4/05/19 <i>act</i>
shear rock	ST14	8/19/19 <i>act</i>	demolition	ST19	
stucco wire or lat	ST15	8/12/19 <i>act</i>	<i>ME10 RABINE PRESSURE TEST</i>		7/08/19 <i>act</i>
gas appliances & mech final	ME12	7/13/20 <i>act</i>	<i>1307 NEW SECT ME10</i>		6/18/20 <i>act</i>
plumbing final	PL09	7/13/20 <i>act</i>	swimming pool 1	SP01	
electrical final	EL08	7/17/20 <i>act</i>	swimming pool 2	SP02	
PROJECT COMPLETE	FI01	7/13/20 <i>act</i>	swimming pool 3	SP03	

NO UTILITY WILL BE CLEARED UNTIL PROJECT COMPLETE HAS BEEN SIGNED

INSPECTION RECORDS - LAND USE DEPARTMENTS

GEOLOGY

CLEARED FOR OCCUPANCY BY: _____ DATE _____

CALL (408) 299-5774 FOR INSPECTION

PLANNING

CLEARED FOR OCCUPANCY BY: _____ DATE _____

CALL (408) 299-5770 FOR INSPECTION

LAND DEVELOPMENT ENGINEERING & SURVEYING

RD IMPROVEMENT CLEARED BY _____ DATE _____

DWY APPR CLEARED BY _____ DATE _____

OTHERS CLEARED BY _____ DATE _____

CALL (408) 299-5888 FOR INSPECTION

ROADS & AIRPORTS

RD IMPROVEMENT CLEARED BY [Signature] DATE 7/8/20

DWY APPR CLEARED BY [Signature] DATE 7/8/20

CALL (408) 573-2429 FOR INSPECTION

ENVIRONMENTAL HEALTH

HAZARDOUS MATERIALS CLEARED BY: _____ DATE _____

WATER SYSTEM PERMIT # _____ DATE _____

SEPTIC SYSTEM PERMIT # 64371 DATE 1/26/18

CLEARED BY: [Signature] DATE 10/18/19

CALL (408) 618-3400 FOR INSPECTION

FIRE MARSHAL

ACCESS & SUPPRESSION WATER BY _____ DATE _____

SPRINKLER ROUGH BY [Signature] DATE 7/10/19

CLEARED FOR OCCUPANCY BY [Signature] DATE 7/1/20

CALL (408) 378-4010 FOR INSPECTION

INSPECTION REQUESTS

64821
MANN HOUSE

INSPECTION REQUESTS MADE PRIOR TO 3 PM WILL GENERALLY BE MADE THE NEXT WORKING DAY. PERMITS ISSUED ON THE DAY OF THE INSPECTION REQUEST WILL NOT BE PROCESSED IN TIME FOR THE NEXT WORKING DAY INSPECTION.

TO REQUEST INSPECTIONS: CALL THE REQUEST LINE AT (408) 299-3161.

AN AUTOMATED SYSTEM WILL ASK FOR THE FOLLOWING INFORMATION:

- A 5 DIGIT BUILDING PERMIT NUMBER
- HOUSE NUMBER OF THE JOB
- TYPE OF INSPECTION:
 - 1 FOR FOUNDATION;
 - 2 FOR ELECTRICAL;
 - 3 FOR PLUMBING;
 - 4 FOR MECHANICAL;
 - 5 FOR FRAMING
 - 6 FOR FINAL;
 - 7 FOR OTHERS;
 - 9 TO REPEAT THE CHOICES

DAYTIME PHONE NUMBER OF A PERSON THE COUNTY CAN CONTACT

**PETS/ANIMALS MUST BE KEPT IN A SECURED AREA,
OR YOUR INSPECTION WILL NOT BE MADE.**

TO SPEAK TO THE INSPECTORS, CALL (408) 299-5700 FROM 8:00-8:30 AM OR 4:00-4:30 PM. IF YOU WOULD LIKE THE APPROXIMATE TIME OF YOUR INSPECTION, CALL THE MORNING OF YOUR INSPECTION. ALL INSPECTIONS ARE IN 4 HOUR TIME SLOTS DUE TO DRIVING DISTANCE & TYPE OF INSPECTIONS.

PLEASE CALL (408) 299-5700 PRIOR TO 8:30 AM TO CANCEL A SCHEDULED INSPECTION. OTHERWISE, A REINSPECTION FEE MAY BE CHARGED.

NOTES

REFUNDS: "WHERE NO PORTION OF THE WORK OR CONSTRUCTION COVERED BY THIS PERMIT HAS BEEN COMMENCED BEFORE THE EXPIRATION DATE HEREOF, REQUESTS FOR REFUNDS MUST BE MADE IN WRITING TO THE DIRECTOR OF THE BUILDING INSPECTION OFFICE ON OR BEFORE ONE HUNDRED-EIGHTY (180) DAYS FROM THE DATE OF ISSUANCE OF THIS PERMIT."

COMMENTS: ST02 - PARTIAL FOOTING FOR BASEMENT
RET. WALLS & TIE BEAMS 8/1/18
ST03 GARAGE FLOOR SLAB 8/1/18
ST02, PARTIAL-LEVEL W/IC FOOTINGS
ST06 LIFE W/IC WALLS 9/10/18
ST03 - PARTIAL BASEMENT SLAB
ST03 SLAB OVER GARAGE 10/25/18
ST02 LOT of house foundation
Grid line B OK JMB 8-8-18
ST05 - ENTRY PATIO PERM & G.B.
10/26/18 OK
ST03 ENTRY SLAB OK 11/1/18
ST09 - CON STAIRS ON 2ND FLOOR
ST11 - PARTIAL INT. DRW FLOOR 12/1/18
NOTES OK 12/13/18
BACK @ HOTEL PAD 02/26/19
PLEASE NOTE P.V. UNDER DRIVEWAY
NOTED 36" COVERS 7/8/19 OK

Permit Number 64823 - GUEST	Issued By SO	Date 1/29/2018		
Job Address 19802 OLD SANTA CRUZ HY (PRIMARY 19800 OLD SANTA CRUZ) Los Gatos, CA 95033-0000				
Nearest Cross Street BEAR CREEK RD				
Owner ALEXA INGRAM-CAUCHI	Phone 206.409.8867			
mailing address 2051 INTERLAKEN PL E Seattle, WA 98112				
Architect Or Engineer TOM SCHILB - SCHILB INDUSTRIAL	Phone 206.849.2682			
mailing address 8820 YAKIMA AVE Tacoma, WA 98444				
Contractor ROSE GENERAL CONTRACTOR INC	Phone 408.353.2720			
mailing address 24180 LOMA PRIETA AVENUE LOS GATOS, CA 95033				
License No. 548513				
Type of Improvement				
<input checked="" type="checkbox"/> Build Addition	<input type="checkbox"/> Alteration Repair	<input type="checkbox"/> Move Convert	<input type="checkbox"/> Demolish Reroof	<input type="checkbox"/> Remodel Rebuild
APN 55841020	Plan Chk # 44944	Checked By JYH	Stories	Size (sq ft)
Fees	Amount	Paid		
Building	6,079.00	1/29/2018		
Electrical	148.23	1/29/2018		
Mechanical	80.86	1/29/2018		
Plumbing	124.63	1/29/2018		
SMPCat1	130.00	1/29/2018		
CBSC	40.00	1/29/2018		
ITEF	192.92	1/29/2018		
Valuation 1000000				
1. TOTAL FEES MAY NOT INCLUDE ALL APPLICABLE MECHANICAL, PLUMBING, AND ELECTRICAL PERMIT FEES.				
2. PERMIT EXPIRES IF WORK IS NOT STARTED WITHIN 180 DAYS OF PERMIT ISSUANCE OR 180 DAYS FROM LAST SIGNED MILESTONE INSPECTION.				

**BUILDING PERMIT
SANTA CLARA COUNTY
BUILDING INSPECTION OFFICE
70 W. Hedding St., San Jose, CA 95110 408-299-5700**

Complete Before Final Inspection	See Back Page
Yes	Geology
Yes	Land Develop
N/A	Planning
Yes	Roads / Airports
Yes	Environ Health
Yes	Fire Marshal
	FEMA Certificate
	Energy Compliance Form
	Clean Water Program
	Green Building Program
	Pervious Paving
	Special Inspection

Job Notes
BP 64821: BUILD (N) 5767 SF 2 STORY W/BASEMENT SFR AND ATTACHED GARAGE 1131 SF, INCLUDING (N) 512 SF COVERED PORCH AND 346 SF BALCONIES.

Job Description
BUILD (N) 960 SF 2 STORY SECONDARY DWELLING W/ATTACHED GARAGE.

Permit Detail		
Residence, Foundation	120000	950
Permit Fee, Elec-Plat Fee	97.824	950
Permit Fee, Mechanical	54.048	950
Permit Fee, Plumbing	97.924	950
Issuance Fee, Electrical	26.81	1
	26.81	1
Issuance Fee, Plumbing and non	26.81	1
Garage, Finished	45000	960
Permit Fee, Elec, Ware	218	980

**FOR INSPECTION REQUEST
CALL 408-299-3161 BUILDING PERMIT
CALL 408-299-6888 DRAINAGE PERMIT**

**POST THIS PERMIT AT
JOB SITE**

INSPECTION RECORD

set back	ST01	3/15/18	ACC	special inspection RCE sign here		
foundation forms	ST02	5/13/18	ACC	ufer ground, elect-underground	EL01	
slab	ST05			slab	ST03	
DO NOT POUR CONCRETE UNTIL THE ABOVE HAS BEEN SIGNED						
underfloor ducts	ME01			temporary meter/pole	FI05	
girders	ST07			underfloor insulation	ST06	
rough plumbing (partial)	PL03			underground plumbing	PL01	
DO NOT COVER FLOOR UNTIL THE ABOVE HAS BEEN SIGNED						
bond beam (concrete block)	ST08	5/20/18	ACC	rough mechanical	ME11	11/05/18 ACC
rough plumbing (complete)	PL04	11/08/18	ACC	shower pan	PL05	11-21-18 TON
sewer	PL02	9/25/19	ACC	water service	PL08	8/26/19 ACC
gas pressure	PL06	12/05/18	ACC	propane gas (tank to house)	FL10	6/26/19 ACC
rough electric	EL04	11/08/18	ACC	electric service bonding	EL02	
roof nailing	ST10	10/09/18	ACC	shear nailing	ST09	10/09/18 ACC
rough frame & roof	ST11	11/08/18	ACC	roof tear off	RR01	
ST 27 2 shower pan		11/08/19	ACC	ELI1 FROM TRANS PAD		6/26/19 ACC
DO NOT INSULATE UNTIL THE ABOVE HAS BEEN SIGNED						
wall insulation	ST12	11-26-18	TON	ceiling insulation	ST13	12/10/18 ACC
sheet rock	ST14	12/05/18	ACC	demolition	ST19	
stucco wire or lath	ST15	12/05/18	ACC	K207 NEW ELECT METER		6/26/20 ACC
gas appliances & mech final	ME12	7/13/20	ACC			
plumbing final	PL09	6/26/20	ACC	swimming pool 1	SP01	
electrical final	EL06	6/26/20	ACC	swimming pool 2	SP02	
PROJECT COMPLETE	FI01	7/13/20	ACC	swimming pool 3	SP03	
NO UTILITY WILL BE CLEARED UNTIL PROJECT COMPLETE HAS BEEN SIGNED						

INSPECTION RECORDS - LAND USE DEPARTMENTS

INSPECTION REQUESTS

64823
GUEST HOUSE

NOTES

GEOLOGY

CLEARED FOR OCCUPANCY BY: _____ DATE _____
CALL (408) 299-5774 FOR INSPECTION.

PLANNING

CLEARED FOR OCCUPANCY BY: _____ DATE _____
CALL (408) 299-5770 FOR INSPECTION

LAND DEVELOPMENT ENGINEERING & SURVEYING

RD IMPROVEMENT CLEARED BY S. BEANS DATE 12/17/19
 DWY APPR CLEARED BY S. BEANS DATE 12/17/19
 OTHERS CLEARED BY S. BEANS DATE 12/17/19
CALL (408) 259-8988 FOR INSPECTION

ROADS & AIRPORTS

RD IMPROVEMENT CLEARED BY DM DATE 7/8/20
 DWY APPR CLEARED BY DM DATE 7/8/20
CALL (408) 873-2429 FOR INSPECTION.

ENVIRONMENTAL HEALTH

HAZARDOUS MATERIALS
CLEARED BY: _____ DATE _____

WATER SYSTEM PERMIT # _____ DATE _____
CLEARED BY: _____ DATE _____

SEPTIC SYSTEM PERMIT # 64371 DATE 11/26/18
CLEARED BY: D. H. Davis/Horvath DATE 10/15/19
CALL (408) 918-3430 FOR INSPECTION

FIRE MARSHAL

ACCESS & SUPPRESSION WATER BY MB2K19 DATE 9/10/19
 SPRINKLER ROUGH BY 102718 DATE 7/2/18
 CLEARED FOR OCCUPANCY BY MB2K19 DATE 9/10/19
CALL (408) 378-4010 FOR INSPECTION

INSPECTION REQUESTS MADE PRIOR TO 3 PM WILL GENERALLY BE MADE THE NEXT WORKING DAY. PERMITS ISSUED ON THE DAY OF THE INSPECTION REQUEST WILL NOT BE PROCESSED IN TIME FOR THE NEXT WORKING DAY INSPECTION.

TO REQUEST INSPECTIONS: CALL THE REQUEST LINE AT (408) 299-3161.

AN AUTOMATED SYSTEM WILL ASK FOR THE FOLLOWING INFORMATION

- A 5 DIGIT BUILDING PERMIT NUMBER
- HOUSE NUMBER OF THE JOB
- TYPE OF INSPECTION:
 - 1 FOR FOUNDATION;
 - 2 FOR ELECTRICAL;
 - 3 FOR PLUMBING;
 - 4 FOR MECHANICAL;
 - 5 FOR FRAMING
 - 6 FOR FINAL;
 - 7 FOR OTHERS;
 - 8 TO REPEAT THE CHOICES

DAYTIME PHONE NUMBER OF A PERSON THE COUNTY CAN CONTACT

**PETS/ANIMALS MUST BE KEPT IN A SECURED AREA,
OR YOUR INSPECTION WILL NOT BE MADE.**

TO SPEAK TO THE INSPECTORS, CALL (408) 299-5700 FROM 8:00-8:30 AM OR 4:00-4:30 PM. IF YOU WOULD LIKE THE APPROXIMATE TIME OF YOUR INSPECTION, CALL THE MORNING OF YOUR INSPECTION. ALL INSPECTIONS ARE IN 4 HOUR TIME SLOTS DUE TO DRIVING DISTANCE & TYPE OF INSPECTIONS.

PLEASE CALL (408) 299-5700 PRIOR TO 8:30 AM TO CANCEL A SCHEDULED INSPECTION. OTHERWISE, A REINSPECTION FEE MAY BE CHARGED.

REFUNDS: "WHERE NO PORTION OF THE WORK OR CONSTRUCTION COVERED BY THIS PERMIT HAS BEEN COMMENCED BEFORE THE EXPIRATION DATE HEREOF, REQUESTS FOR REFUNDS MUST BE MADE IN WRITING TO THE DIRECTOR OF THE BUILDING INSPECTION OFFICE ON OR BEFORE ONE HUNDRED-EIGHTY (180) DAYS FROM THE DATE OF ISSUANCE OF THIS PERMIT."

COMMENTS: Detail 7 of 561
OK TO pour JMB
6-25-18

5102 stair footing OK Grid
line A1 OK TO POOL
JMB 8-8-18

5109 Ext. shear mailing OK
JMB 9-18-18 OK TO
2/1/19

5102 - WATCHDOG FOR EXT. 2/1/19
5109 Pet. @ 2:00 PM 5/08/19
Spec 9th. Square Pet wall 5/08/19
5109 Pet. North Pet Wall 4/2/19

ATTACHMENT 14

NO. 738943

NON-HAZARDOUS WASTE DATA FORM

BESI # 292797

GENERATOR	Generator's Name and Mailing Address THE OLD SANTA CRUZ REVOCABLE TRUST 23368 COVE LANE LOS GATOS, CA 95033		Generator's Site Address (if different than mailing address) RESIDENTIAL PROPERTY 19800 OLD SANTA CRUZ HIGHWAY LOS GATOS, CA 95033																		
	Generator's Phone: 208-409-9887		LOAD #1																		
	Container type removed from site: <input type="checkbox"/> Drums <input type="checkbox"/> Vacuum Truck <input type="checkbox"/> Roll-off Truck <input checked="" type="checkbox"/> Dump Truck <input type="checkbox"/> Other _____		Container type transported to receiving facility: <input type="checkbox"/> Drums <input type="checkbox"/> Vacuum Truck <input type="checkbox"/> Roll-off Truck <input checked="" type="checkbox"/> Dump Truck <input type="checkbox"/> Other _____																		
	Quantity 1		Quantity 1 Volume 14 CY																		
WASTE DESCRIPTION NON-HAZARDOUS SOIL		GENERATING PROCESS EXCAVATION ACTIVITIES																			
<table border="1"> <thead> <tr> <th>COMPONENTS OF WASTE</th> <th>PPM</th> <th>%</th> </tr> </thead> <tbody> <tr> <td>1. SOIL</td> <td></td> <td>100%</td> </tr> <tr> <td>2. _____</td> <td></td> <td></td> </tr> </tbody> </table>		COMPONENTS OF WASTE	PPM	%	1. SOIL		100%	2. _____			<table border="1"> <thead> <tr> <th>COMPONENTS OF WASTE</th> <th>PPM</th> <th>%</th> </tr> </thead> <tbody> <tr> <td>3. _____</td> <td></td> <td></td> </tr> <tr> <td>4. _____</td> <td></td> <td></td> </tr> </tbody> </table>		COMPONENTS OF WASTE	PPM	%	3. _____			4. _____		
COMPONENTS OF WASTE	PPM	%																			
1. SOIL		100%																			
2. _____																					
COMPONENTS OF WASTE	PPM	%																			
3. _____																					
4. _____																					
Waste Profile 634415CA PROPERTIES: pH _____		<input type="checkbox"/> SOLID <input type="checkbox"/> LIQUID <input type="checkbox"/> SLUDGE <input type="checkbox"/> SLURRY <input type="checkbox"/> OTHER _____																			
HANDLING INSTRUCTIONS: _____																					

Generator Printed/Typed Name JAN GAMBLE OBO Property Owner	Signature 	Month Day Year 3 29 18
The Generator certifies that the waste as described is 100% non-hazardous		

TRANSPORTER	Transporter 1 Company Name Ferrest Transportation	Phone# (851) 637-2778
	Transporter 1 Printed/Typed Name James Silva	Signature
	Transporter 1 Acknowledgment of Receipt of Materials	Month Day Year 3 29 18
	Transporter 2 Company Name	Phone#
Transporter 2 Printed/Typed Name	Signature	Month Day Year
Transporter Acknowledgment of Receipt of Materials		

RECEIVING FACILITY	Designated Facility Name and Site Address ALTAMONT LANDFILL AND RESOURCE RECOVERY FAC. 10840 ALTAMONT PASS ROAD LIVERMORE, CA 94550		Phone# 925-455-7300
	Printed/Typed Name Nick Araujo	Signature 	Month Day Year 3 29 18
	Designated Facility Owner or Operator: Certification of receipt of materials covered by this data form.		

9F56822

NO. 723750

NON-HAZARDOUS WASTE DATA FORM

BEST # 294154

GENERATOR

Generator's Name and Mailing Address
THE OLD SANTA CRUZ REVOCABLE TRUST
23368 COVE LANE
LOS GATOS, CA 95033

Generator's Site Address (if different than mailing address)
RESIDENTIAL PROPERTY
19800 OLD SANTA CRUZ HIGHWAY
LOS GATOS, CA 95033

Generator's Phone: 206-409-9867

LOAD #49

Container type removed from site:
 Drums Vacuum Truck Roll-off Truck Dump Truck
 Other _____

Container type transported to receiving facility:
 Drums Vacuum Truck Roll-off Truck Dump Truck
 Other _____

Quantity _____

Quantity _____ Volume ~14CY

WASTE DESCRIPTION NON-HAZARDOUS SOIL

GENERATING PROCESS CONSTRUCTION ACTIVITIES

COMPONENTS OF WASTE	PPM	%
1. SOIL		100%
2. _____		

COMPONENTS OF WASTE	PPM	%
3. _____		
4. _____		

Waste Profile #7470 PROPERTIES: pH _____ SOLID LIQUID SLUDGE SLURRY OTHER _____

HANDLING INSTRUCTIONS: _____

Generator Printed/Typed Name _____ Signature _____ Month Day Year 05 11 18

The Generator certifies that the waste as described is 100% non-hazardous

TRANSPORTER

Transporter 1 Company Name _____ Phone# _____

Transporter 1 Printed/Typed Name _____ Signature _____ Month Day Year 05 11 18

Transporter Acknowledgment of Receipt of Materials _____

Transporter 2 Company Name _____ Phone# _____

Transporter 2 Printed/Typed Name _____ Signature _____ Month Day Year _____

Transporter Acknowledgment of Receipt of Materials _____

RECEIVING FACILITY

Designated Facility Name and Site Address
RECOLOGY HAY RD. LANDFILL
8426 HAY RD
VACAVILLE, CA 95687
Phone# 707-676-4718

Printed/Typed Name _____ Signature _____ Month Day Year 05 11 18

Designated Facility Owner or Operator: Certification of receipt of materials covered by this data form.

ATTACHMENT 15



ATTACHMENT 16

Project No. SCL11132
27 January 2020

MRS. ALEXA INGRAM-CAUCHI
19800 Old Santa Cruz Highway
Los Gatos, California 95030

Subject: Geotechnical Final Inspection Letter

Reference: Carriage House
19800 Old Santa Cruz Highway
APN 558-41-020
Los Gatos, Santa Clara County

Dear Mrs. Ingram-Cauch:

This letter is written to state the recently completed detached Carriage House at the referenced site has been constructed in conformance with our geotechnical recommendations. The main residence is currently under construction. An Engineering Geologic Investigation and Geotechnical Soils Investigation was prepared for the referenced project by Associated Terra Consultants, Inc. both dated 30 June 2015. HKA prepared a Supplemental Geotechnical Design Criteria letter, dated 18 November 2016, for the referenced site as well.

This letter summarizes our observations and presents the results of field and laboratory compaction tests performed between 4 May 2018 and 19 September 2018. HKA was also onsite on 19 December 2019 to inspect final site drainage and confirm positive grades away from the structure.

Our firm observed the geotechnical engineering aspects of construction as follows:

- a) Basement wall and conventional spread footing excavations for the Carriage Home. Footing excavations measured the minimum plan dimensions. The footings had been cut into undisturbed native material and probed dense when applying body weight to a ½ inch diameter smooth steel rod.
- b) 8 inch thick capillary break beneath interior slabs for the Carriage House
- c) Basement wall backdrain and waterproofing for the Carriage House. Waterproofing was placed the full height of the basement walls. A 4-inch diameter perforated drain pipe was placed at the base of the wall (holes

- down) to prevent buildup of subsurface drainage behind the wall. The perforated drain pipe was placed on a blanket of granular material. Filter fabric was placed at the bottom of the excavation and up the face of the basement cut to design elevation. The granular material was then backfilled to design elevation behind the wall.
- d) Placement of concrete lagging and back drain. A 4-inch diameter perforated rigid drainpipe was placed at the base of the wall atop a bed of drain rock. The drain rock was placed to within 1 foot of the top of the wall and wrapped in filter fabric.
 - e) Footing excavations for the retaining wall running parallel to new residence driveway. Footing excavations measured the minimum dimensions per structural plans. The footings had been cut into undisturbed native material and probed dense when applying body weight to a ½ inch diameter smooth steel rod.
 - f) Backdrain for the driveway retaining wall. A 4 inch diameter perforated drain pipe was placed at the base of the wall (holes down) to prevent buildup of subsurface drainage behind the wall. The perforated drain pipe was placed on a blanket of granular material. Filter fabric was placed at the bottom of the excavation and up the face of the retained cut to design elevation. The granular material was then backfilled to design elevation behind the wall.
 - g) In place density testing of back fill for water main trench, driveway subgrade, and driveway lime treated aggregate base.
 - h) Site visit on 19 December 2019 to view the completed project site drainage improvements. Full gutters and downspouts have been installed. Downspouts direct storm runoff into underground solid pipe conveying water away from the building into a series of catch basins and landscape planter boxes. The graded baserock driveway slopes away from the guest house conveying surface runoff toward catch basins and slip-drain. The lime treated driveway was observed intact after recent rains and vehicular and construction tractor loading.

The geotechnical aspects of the new Carriage House, its basement, the driveway and its retaining wall and site drainage improvements have been constructed in accordance with the recommendations of our report.

Mrs. Alexa Ingram-Cauch
Project No. SCL11132
19800 Old Santa Cruz Highway
27 January 2020
Page 3

If you have any questions regarding this letter or the geotechnical aspects of the project, please call our office.

Respectfully Submitted,

HARO, KASUNICH AND ASSOCIATES, INC.



Andrew Kasunich, E.I.T.
Staff Engineer

John Kasunich
G.E. 455



AK/JEK/sr
Attachments:
Figure 1 Test Location Map
Tables I and II – In Place Density Results

Copies: 2 to Addressee
 1 pdf to Rich Rose
 1 pdf to George Hall

TABLE I			
LABORATORY COMPACTION CURVE RESULTS			
ASTM D1557-91			
CURVE NUMBER	SOURCE AND SOIL DESCRIPTION	MAXIMUM DRY DENSITY (PCF)	OPTIMUM MOISTURE CONTENT (%)
1	Tan Silty	113.0	15.0
2	Class II Recycled AB-AROMAS	122.0	9.0
3	Class II Lime Treated AB- Stevens Creek	138.0	8.0

Mrs. Alexa Ingram-Cauchy
 Carriage House
 19800 Old Santa Cruz Highway

Project No. SCL11132
 27 January 2020

SUMMARY OF FIELD DENSITY TEST RESULTS							
Test No.	Date of Test	Location	Grade	Moisture Content (%)	Dry Density (pcf)	Relative Compaction (%)	Curve No.
1	8/15/2019	Water Main Trench Driveway	FSG	13.4	120.0	98.4	2
2	8/15/2019	Water Main Trench Driveway	FSG	12.0	119.2	97.7	2
3	11/6/2019	Driveway	FSG	13.2	110.6	97.9	1
4	11/6/2019	Driveway	FSG	12.7	108.9	96.4	1
5	11/6/2019	Driveway	FSG	13.4	109.5	96.9	1
6	11/6/2019	Driveway	FSG	12.3	108.1	95.7	1
7	11/6/2019	Driveway	FSG	14.2	110.7	98.0	1
8	11/13/2019	Driveway	FAB	11.4	134.6	97.5	3
9	11/13/2019	Driveway	FAB	12.4	140.8	102.0	3
10	11/13/2019	Driveway	FAB	11.8	139.2	100.9	3
11	11/13/2019	Driveway	FAB	11.0	138.9	100.7	3
12	11/13/2019	Driveway	FAB	12.5	140.1	101.5	3

1. The field in-place density tests were performed in accordance with ASTM D6938-07b, Density of Soil In-Place by Nuclear Methods, and the results are expressed as relative compaction based on ASTM D1557-07, Laboratory Compaction Test. The field tests were taken at random, as were the bulk samples for the earth materials encountered during the grading operation.

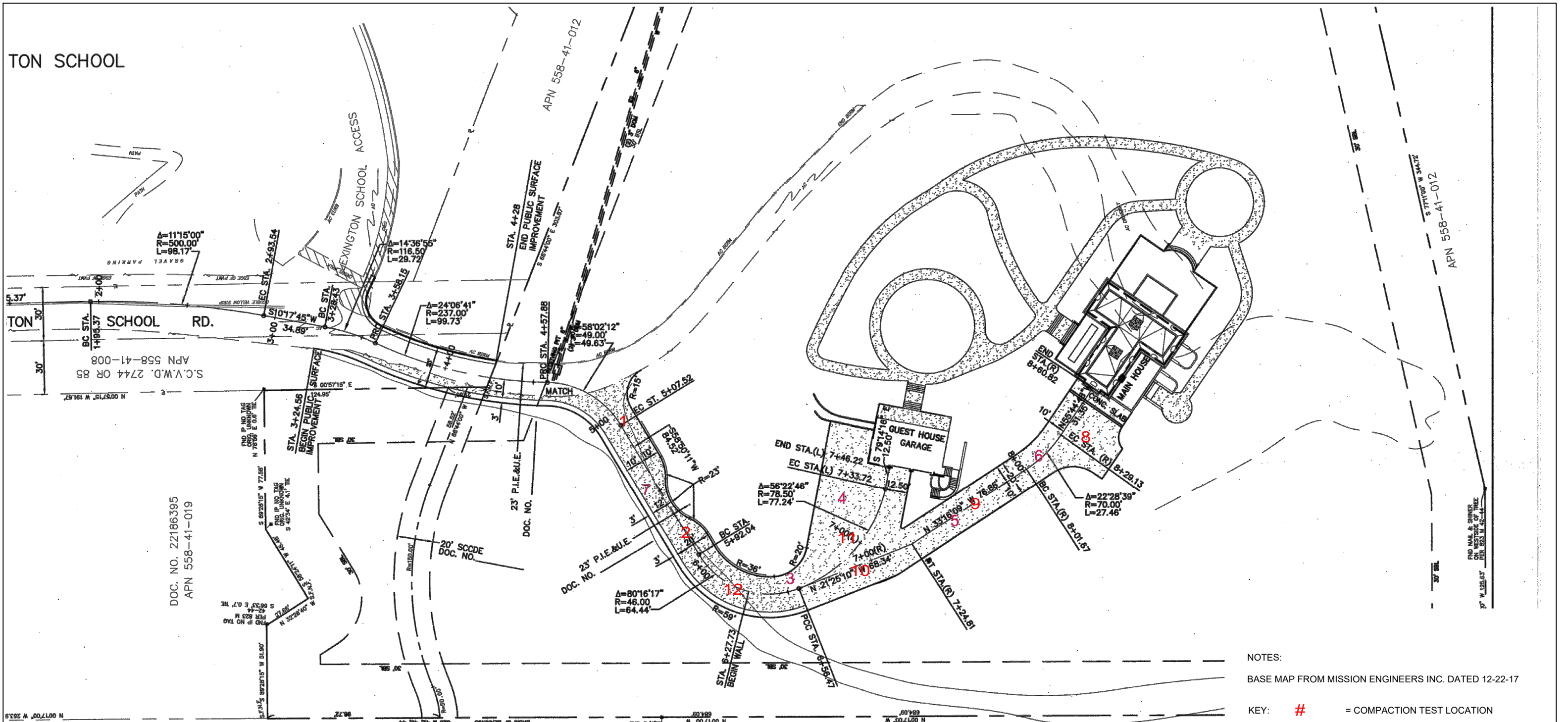
2. * - Denotes failing test.

3. Numbers in remarks section refer to soil type from Table I.

4. N, W, NW, SE, etc. refer to compass directions.

5. Abbreviations:

FAB - Finished Aggregate Base
FSG - Finished Subgrade



TON SCHOOL

TON SCHOOL RD.

S.C.V.W.D. 2744 OR 85
APN 558-41-008

DOC. NO. 22186395
APN 558-41-019

APN 558-41-031
PARCEL 2, RS 823 M 42, 43, 44

APN 558-41-032
PARCEL 3, RS 823 M 42, 43, 44


APN 558-41-012

PRO. MAIL & SHIRER
CIVIL ENGINEERS
PER. 803 M 42-44

NOTES:
BASE MAP FROM MISSION ENGINEERS INC. DATED 12-22-17

KEY: # = COMPACTION TEST LOCATION

COMPACTION TEST MAP

 <p>COMPACTION TEST MAP 19800 OLD SC HWY LOS GATOS, SANTA CLARA COUNTY</p>	
SCALE:	NTS
DRAWN BY:	AK
DATE:	FEB 2019
REVISED:	
JOB NO.	SCL11132
<p>HARO, KASUNICH & ASSOCIATES, INC. GEOTECHNICAL AND COASTAL ENGINEERS 116 E. LAKE AVENUE, WATSONVILLE, CA 95076 (831) 722-4175</p>	
<p>FIGURE NO. 1</p>	

ATTACHMENT 17

JOSE T. MENJIVAR

PO BOX 5087
SAN JOSE, CA 95150
(408)425-1925

Invoice

Date	Invoice #
1/9/2020	632

Bill To
ALEXA INGRAM-CAUCHI 19800 Old Santa Cruz Highway Los Gatos, CA 95033

P.O. No.	Terms	Project
	Due on receipt	

Quantity	Description	Rate	Amount
1	LANDSCAPE AROUND GUEST HOUSE	2,950.00	2,950.00
1	PLANT 7 BIG TREES	4,250.00	4,250.00
		Total	\$7,200.00

ATTACHMENT 18

Santa Clara County

Department of Planning and Development

Date: 1/2/2020

INGRAM-CAUCHI ALEXA A TRUSTEE
2051 INTERLAKEN PLACE EAST
SEATTLE WA

RE: [LDE15-10735G-REV1](#) - REVISIONS to Grading and Drainage for SFH and swimming pool, 8,050CY of site grading

Dear INGRAM-CAUCHI ALEXA A TRUSTEE,

The review of your application has been completed by all applicable divisions. In order to complete the application process, please address the attached comments. Please respond to ALL comments as a single package.

Your response may be in one of the following formats:

1. Mark the revised plans with “cloud” symbols to indicate where corrections are made. **AND**,
2. Respond to the comments on the correction list provided. **OR**
3. Provide a separate **itemized** response addressing the comments (please include the sheet number for each correction).

Please resubmit 2 full sets and electronic pdf files.

Please do not ignore any comment(s), because that may result in a delay of your plan check. An additional plan check fee may be charged for additional time required to plan check due to incomplete or excessive resubmittals. The plan checker’s e-mail address is provided so you may contact them if have any questions about a comment.

DO NOT e-mail resubmittal material directly to the reviewer. When you have completed all the required corrections, resubmit the complete package to the Permit Center.

Your application expires/d on: .

If you don’t believe you can complete the review process prior to the expiration date above, please submit an extension request form. Plan check extensions cost \$80.43 per 90-day extension. If a permit is not issued by the application expiration date, you may retrieve your plans from the Development Services Division. If we receive no communication from you, the application package will be discarded 14 days after the expiration date.

Regards,

Permit Center Staff

▼ Colleen Tsuchimoto, colleen.tsuchimoto@pln.sccgov.org, 408-299-5797

Application No.	Plan Check Comments
LDE15-10735G-REV1	Planning Review

A Modification to the Grading Approval is required. File for permit approval with the Planning Dept. Contact Colleen Tsuchimoto to set up a submittal appt. Increase in grading outside of the building pad is subject to further review. Please provide a breakdown of grading cut and fill for the house pad, driveway, landscaping. Note: Applicant has indicated the difference of fill is related to landscaping and future driveway access to an adjoining parcel (however that is not what is shown on the grading plans - only grading for building pad and driveway are indicated).

▼ Darrin Lee, darrin.lee@cep.sccgov.org, 408-299-5748

Application No.	Plan Check Comments
LDE15-10735G-REV1	Department of Environmental Health (DEH)

Call the Department of Environmental Health (DEH) at 408-918-3462 (Darius Haghghi) for septic system/ grading clearance. This is a separate submittal to DEH and additional fees may apply. Two wet-stamped plans signed by DEH (3 if a septic permit is required) are needed at Planning to issue the building permit (DEH will keep one copy for the permit file). After obtaining septic/ grading clearance, return/ upload approved plans to 70 W. Hedding, Permit Center, for sign-off.

▼ Eric Gonzales, eric.gonzales@pln.sccgov.org, 408-299-5716

Application No.	Plan Check Comments
LDE15-10735G-REV1	Land Development Engineering Review

Please log on to the InSite Public Portal to access the documents that have been uploaded for your review.

The amount of site grading has been revised since the earlier entitlement approval. Applicant to resolve with Planning prior to LDE approval.

▼ Gavin Finley, gavin.finley@rda.sccgov.org, 408-573-2491

Application No.	Plan Check Comments
LDE15-10735G-REV1	Roads and Airports Review

The Encroachment Permit (180022 R1) is ready to issue pending payment of fees and approval of the Grading Permit plans by Land Development Engineering. The two permits will be issued together with one set of improvement plans.

ATTACHMENT 19

Carol Ann Bianco-Webb

From: Alexa Ingram-Cauchy <alexa@idtech.com>
Sent: Tuesday, August 25, 2020 2:44 PM
To: Bart Hechtman
Subject: Fwd: Followup to Grading Plans - PLN19-0074/PLN15-10535

----- Forwarded message -----

From: **Tsuchimoto, Colleen** <Colleen.Tsuchimoto@pln.sccgov.org>
Date: Fri, Jan 24, 2020 at 10:00 AM
Subject: Followup to Grading Plans - PLN19-0074/PLN15-10535
To: Alexa Ingram-Cauchy <alexa@idtech.com>, alexaic@icloud.com <alexaic@icloud.com>, daniel@missionengineersinc.com <daniel@missionengineersinc.com>, George Hall <george@maxiconinc.com>
Cc: Freitas, Chris <Chris.Freitas@pln.sccgov.org>, Gonzales, Eric <eric.gonzales@pln.sccgov.org>, Salisbury, Robert <Robert.Salisbury@pln.sccgov.org>

Hi Alexa and all,

Thank you for your patience with getting your inquiry responded to. We met with Leza Mikhail this morning regarding your case. The determination was made that a Modification to the Grading Approval and Grading Permit is required in order to allow for the spread of 770 cubic yards of fill on-site. Conditions needs to be updated as the Grading approval conditions required off haul of all excess fill. At your earliest convenience, please contact me to schedule a submittal appt. for the Grading Approval Modification.

Please keep in mind that as part of the Grading Approval modification submittal, you should provide the grading plans along with grading justification showing how all the Grading Approval findings are met. See submittal requirements at the below weblink.

<https://www.sccgov.org/sites/dpd/Iwantto/Permits/Pages/GA.aspx>

Thanks,

Colleen

Colleen A. Tsuchimoto

Senior Planner / Habitat Conservation Plan Program Manager

Santa Clara County Planning Dept.

70 W. Hedding St., E. Wing, 7th Floor

San Jose, CA 95110

Phone: (408) 299-5797

Fax: (408) 288-9198

Email: Colleen.Tsuchimoto@pln.sccgov.org

Please consider the environment before printing this email.

Please visit our [website](#).

Click [here](#) to look up unincorporated property zoning information.

On July 1st, the Department of Planning and Development launched our new digital plan review system. [Bring in your USB to submit digital documents.](#)



Colleen A. Tsuchimoto

Senior Planner / Habitat Conservation Plan Program Manager

Santa Clara County Planning Dept.

70 W. Hedding St., E. Wing, 7th Floor

San Jose, CA 95110

Phone: (408) 299-5797

Fax: (408) 288-9198

Email: Colleen.Tsuchimoto@pln.sccgov.org

Please consider the environment before printing this email.

Please visit our [website](#).

Click [here](#) to look up unincorporated property zoning information.

On July 1st, the Department of Planning and Development launched our new digital plan review system. [Bring in your USB to submit digital documents.](#)



ATTACHMENT 20

Daniel Nunes

From: Freitas, Chris <Chris.Freitas@pln.sccgov.org>
Sent: Monday, January 27, 2020 2:17 PM
To: Daniel Nunes
Cc: Gonzales, Eric; Salisbury, Robert; roseconstruction@verizon.net; george@maxiconinc.com; Tsuchimoto, Colleen; alexa@idtech.com; alexaic@icloud.com; Alvarez, Michael
Subject: RE: [EXTERNAL] Re: Followup to Grading Plans - PLN19-0074/PLN15-10735
Attachments: 10735-15B-15G final conditions.pdf; 10735-15PS-15B-15G-PLANS (002).pdf; 10735-15G.pdf

Daniel,

Please think back to early 2017 when this was being submitted for plan check. Our records indicate that the plans submitted had significantly more grading than the original approval (3,600 cy cut vs. 1,950 cy cut). It took a great deal of discussion for Planning to approve to begin with, and the nearly doubling of the volumes without adequate justification delayed the plan review for nearly 9 months.

It appears that the plans were approved in error, with the note of adding two feet through the back garden, as that additional work was never addressed in the initial land use approval.

We then got a request from the field to allow the placement of nearly 700 cy of material from the basement from one of the structures in that garden area that appears to be redesigned. The nature of the request for a modification to an approved plan reopens the land use approval. Planning needs a application for land use approval modification concurrently with the engineering review. Based upon our discussion with staff, there were no initial proposal deficiencies identified, but an application needs to be made.

This appears to be an administrative review only to clean up the scope to what your client wants.

Sincerely,

Christopher Freitas, PE, QSD
Senior Civil Engineer
County of Santa Clara
Land Development Engineering

(408) 299-5732 (O)
(408) 279-8537 (F)

Please visit our [website](#).

Click [here](#) to look up unincorporated property zoning information.

Questions on the status of your permit? Please e-mail: PLN-PermitCenter@pln.sccgov.org

From: Daniel Nunes <daniel@missionengineersinc.com>

Sent: Friday, January 24, 2020 4:41 PM

To: george@maxiconinc.com; Tsuchimoto, Colleen <Colleen.Tsuchimoto@pln.sccgov.org>; alexa@idtech.com; alexaic@icloud.com

Cc: Freitas, Chris <Chris.Freitas@pln.sccgov.org>; Gonzales, Eric <eric.gonzales@pln.sccgov.org>; Salisbury, Robert <Robert.Salisbury@PLN.SCCGOV.ORG>; roseconstruction@verizon.net

Subject: RE: [EXTERNAL] Re: Followup to Grading Plans - PLN19-0074/PLN15-10735

Colleen,

Correct me if I missed it, but the conditions from 2016 don't state any grading quantities at all. The conditions from 2019 do state grading quantities, but do not match anything ever shown on our drawings. I am still confused as to why a grading approval/modification was even done for this site in April of 2019. The only changes to our drawings for that submittal were the addition of easements to serve the future development on the neighboring site.

Daniel Nunes, P.E.
Mission Engineers, Inc.
2355 De La Cruz Blvd.
Santa Clara, Ca. 95050
408-727-8262 Ph.
408-727-8285 Fax
daniel@missionengineersinc.com

On Fri, 24 Jan 2020 19:11:10 -0500, George Hall <george@maxiconinc.com> wrote:

Colleen,

I see nothing which states that the material has to be exported. What it does say is that the plan must clearly indicate that all exported material must be taken to a county approved disposal site. It is only referring to any soil that is to be exported, not that any generated soil must be exported.

It is understandable that without this statement there is no way to confirm that any export was properly disposed of. It has nothing to do with whether it is permissible to keep generated soil on site which is more advantageous not only to the owner but relieves the county from the task of policing exporting, verifying non-contamination of export, verifying quantities of generated material match the amount exported to the approved site, etc. The architect and the soils engineer have signed off on this placement of soil which was done in accordance with the stamped and approved set of drawings.

George Hall
President
Maxicon General Engineering Contractors, Inc.
PO Box 729
Los Gatos, CA 95031
Office: (408) 395 6846
Fax: (408) 354 5151
Cell: (408) 892 4497
maxiconinc.com

On Fri, 24 Jan 2020 23:36:21 +0000, "Tsuchimoto, Colleen" <Colleen.Tsuchimoto@pln.sccgov.org> wrote:

George,

In response to your inquiry, see description below and attached conditions documents.

File PLN19-0074 See Condition 21g of Grading Approval attached which states, "The requirement to take all exported materials from the site to a County approved disposal site must be clearly indicated on the plan."

File PLN15-10735 See Condition 18G of Grading Approval attached with same requirement "The requirement to take all exported materials from the site to a County approved disposal site must be clearly indicated on the plan."

Thanks,
Colleen

Colleen A. Tsuchimoto
Senior Planner / Habitat Conservation Plan Program Manager
Santa Clara County Planning Dept.

70 W. Hedding St., E. Wing, 7th Floor
San Jose, CA 95110
Phone: (408) 299-5797
Fax: (408) 288-9198
Email: Colleen.Tsuchimoto@pln.sccgov.org

Please consider the environment before printing this email.
Please visit our [website](#).
Click [here](#) to look up unincorporated property zoning information.

On July 1st, the Department of Planning and Development launched our new digital plan review system. [Bring in your USB to submit digital documents.](#)



From: George Hall <george@maxiconinc.com>

Sent: Friday, January 24, 2020 10:39 AM

To: Tsuchimoto, Colleen <Colleen.Tsuchimoto@pln.sccgov.org>; alexa@idtech.com; alexaic@icloud.com; daniel@missionengineersinc.com

Cc: Freitas, Chris <Chris.Freitas@pln.sccgov.org>; Gonzales, Eric <eric.gonzales@pln.sccgov.org>; Salisbury, Robert <Robert.Salisbury@PLN.SCCGOV.ORG>; roseconstruction@verizon.net

Subject: [EXTERNAL] Re: Followup to Grading Plans - PLN19-0074/PLN15-10535

Colleen, Can you please forward the documentation(s) which required the generated material to be off hauled? We would like to compare that to our records.

Thank you,

George Hall
President
Maxicon General Engineering Contractors, Inc.
PO Box 729
Los Gatos, CA 95031
Office: (408) 395 6846
Fax: (408) 354 5151
Cell: (408) 892 4497
maxiconinc.com

On Fri, 24 Jan 2020 18:00:27 +0000, "Tsuchimoto, Colleen" <Colleen.Tsuchimoto@pln.sccgov.org> wrote:

Hi Alexa and all,

Thank you for your patience with getting your inquiry responded to. We met with Leza Mikhail this morning regarding your case. The determination was made that a Modification to the Grading Approval and Grading Permit is required in order to allow for the spread of 770 cubic yards of fill on-site. Conditions needs to be updated as the Grading approval conditions required off haul of all excess fill. At your earliest convenience, please contact me to schedule a submittal appt. for the Grading Approval Modification.

Please keep in mind that as part of the Grading Approval modification submittal, you should provide the grading plans along with grading justification showing how all the Grading Approval findings are met. See submittal requirements at the below weblink.

<https://www.sccgov.org/sites/dpd/lwantto/Permits/Pages/GA.aspx>

Thanks,
Colleen

Colleen A. Tsuchimoto
Senior Planner / Habitat Conservation Plan Program Manager
Santa Clara County Planning Dept.

70 W. Hedding St., E. Wing, 7th Floor
San Jose, CA 95110
Phone: (408) 299-5797

Fax: (408) 288-9198

Email: Colleen.Tsuchimoto@pln.sccgov.org

Please consider the environment before printing this email.

Please visit our [website](#).

Click [here](#) to look up unincorporated property zoning information.

On July 1st, the Department of Planning and Development launched our new digital plan review system. [Bring in your USB to submit digital documents.](#)



Colleen A. Tsuchimoto
Senior Planner / Habitat Conservation Plan Program Manager
Santa Clara County Planning Dept.

70 W. Hedding St., E. Wing, 7th Floor

San Jose, CA 95110

Phone: (408) 299-5797

Fax: (408) 288-9198

Email: Colleen.Tsuchimoto@pln.sccgov.org

Please consider the environment before printing this email.

Please visit our [website](#).

Click [here](#) to look up unincorporated property zoning information.

On July 1st, the Department of Planning and Development launched our new digital plan review system. [Bring in your USB to submit digital documents.](#)



ATTACHMENT 21

COUNTY OF SANTA CLARA

General Construction Specifications

GENERAL CONDITIONS

- 1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND GEOTECHNICAL REPORT PREPARED BY ASSOCIATED TERRA CONSULTANTS...

CONSTRUCTION STAKING

- 1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES...

CONSTRUCTION INSPECTION

- 1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE...

SITE PREPARATION (CLEARING AND GRUBBING)

- 1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE...

UTILITY LOCATION, TRENCHING & BACKFILL

- 1. CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK...

RETAINING WALLS

- 1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR...

GRADING

- 1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE...

TREE PROTECTION

- 1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING...

ACCESS ROADS AND DRIVEWAYS

- 1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING...

STREET LIGHTING

- 1. PACIFIC GAS & ELECTRIC ELECTROLUX SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

SANITARY SEWER

- 1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.

PORTLAND CEMENT CONCRETE

- 1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS.

AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE () WERE () WERE NOT) MINOR FILE CHANGES - MARKED WITH THE SYMBOL (?), THERE () WERE () WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL.

DATE SIGNATURE

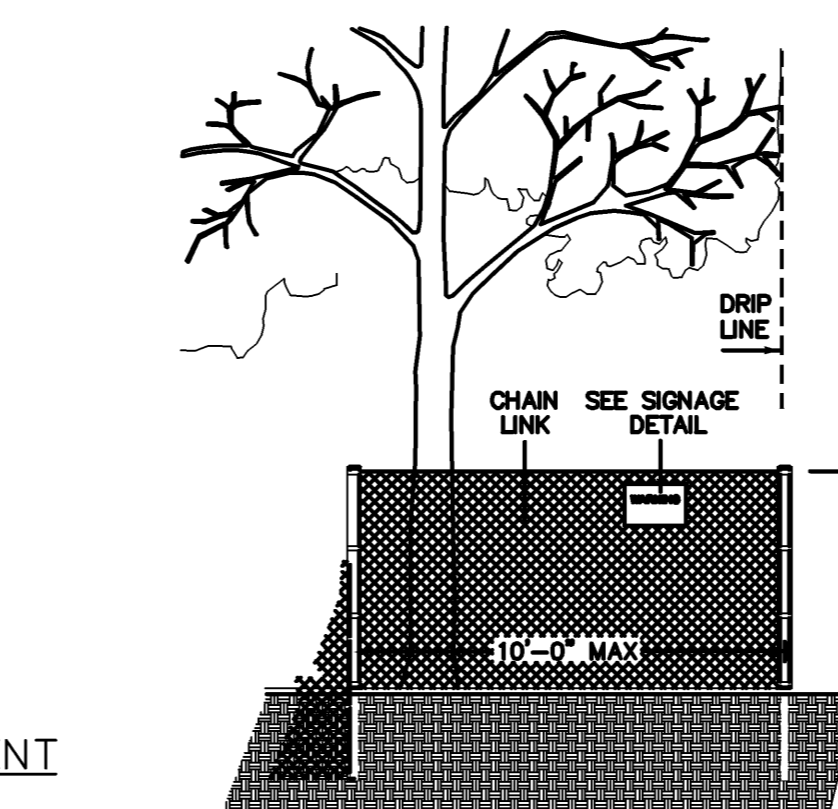
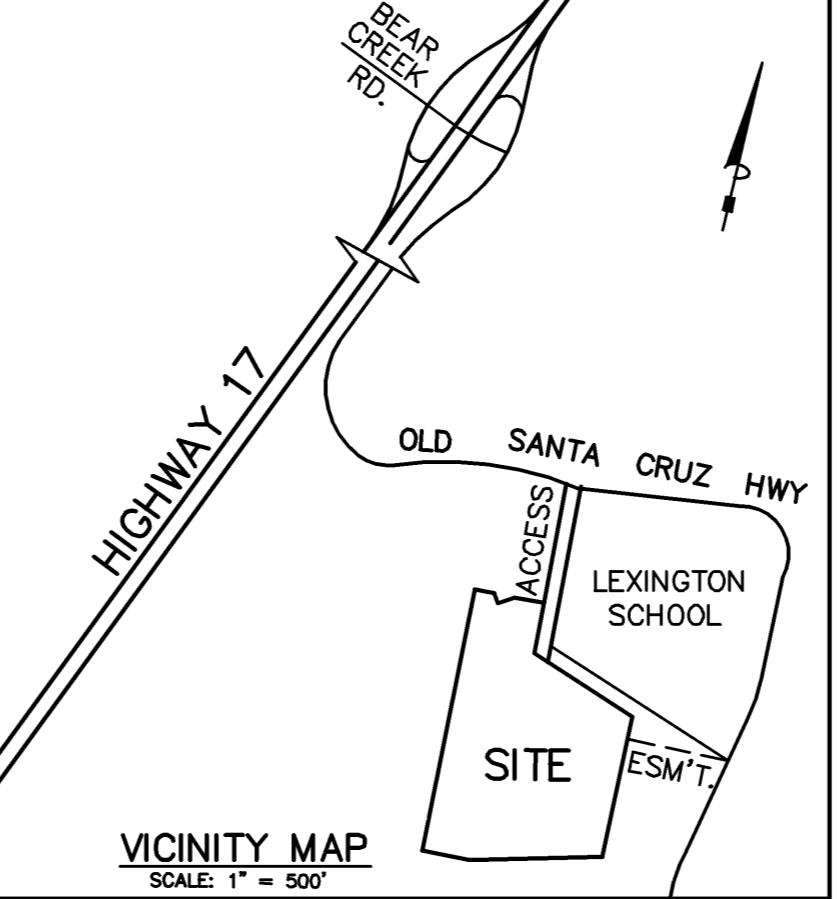
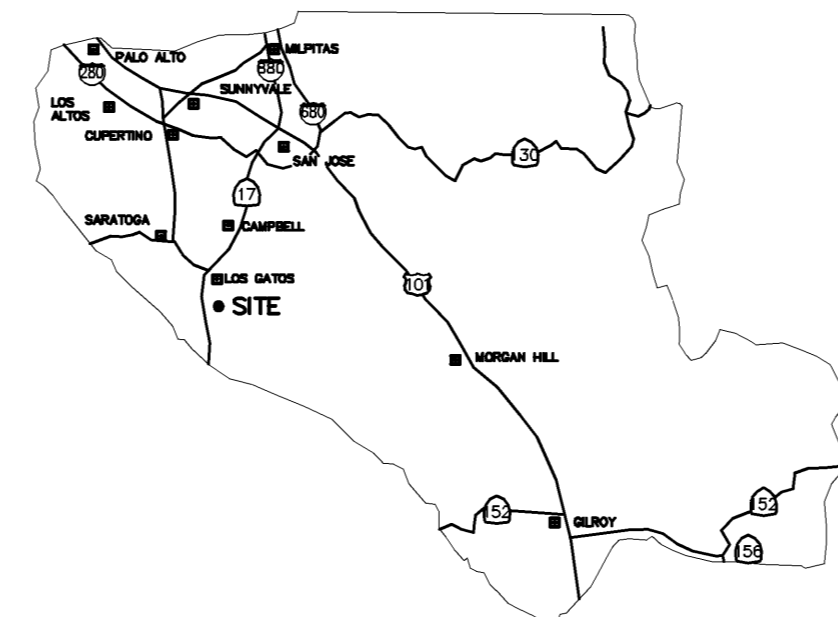
NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

GEOTECHNICAL ENGINEER OBSERVATION

- 1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

- 1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
2. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.



EXISTING TREE PROTECTION DETAILS

STORM DRAINAGE AND STORMWATER MANAGEMENT

- 1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND THE OWNER OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES...

SURVEY MONUMENT PRESERVATION

- 1. THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES.
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG OR OTHERWISE IDENTIFY WITH PAINT OR OTHER MARKINGS ALL PERMANENT SURVEY MONUMENTS...

GEOTECHNICAL ENGINEER OBSERVATION

- 1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.

EXISTING TREE PROTECTION DETAILS

- 1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST.

ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED AUGUST 12, 2013.

DATE 21500 SIGNATURE CHRISTOPHER L. FREITAS R.C.E. NO. 42107 EXPIRATION DATE 09-30-21

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK...

DATE 21500 SIGNATURE CHRISTOPHER L. FREITAS R.C.E. NO. 42107 EXPIRATION DATE 3/31/20

GRADING AND DRAINAGE PLAN 19800 OLD SANTA CRUZ HWY, LOS GATOS IN THE COUNTY OF SANTA CLARA, CALIFORNIA APN 558-41-020

NOTES

- 1. CONTRACTOR SHALL CONTACT USA. AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ANY AREA WHERE UNDERGROUND FACILITIES ARE LOCATED. PHONE (800)642-2444.
2. THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND UTILITIES ARE SHOWN IN A GENERAL WAY ONLY. IT WILL BE THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE FINAL DETERMINATIONS AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES.

LEGEND

Table with columns: EXISTING, PROPOSED, DESCRIPTION. Includes entries for SITE PROPERTY BOUNDARY, EXISTING PROPERTY LINE, STORM DRAIN, SANITARY SEWER, ELECTRIC, WATER, ELEVATION CONTOUR, and UTILITY BOX.

SCOPE OF WORK

- 1. THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE EROSION CONTROL PLAN. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE DESIGN OF THE EROSION CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSION CONTROL PLANS TO PREVENT ILLICIT DISCHARGES FROM THE SITE DURING CONSTRUCTION.
2. ONSITE SCOPE OF WORK COVERED IN SHEETS C1-C10 INCLUDE: A. DRIVEWAYS & RETAINING WALLS B. GRADING & STORM DRAINAGE STRUCTURES, PIPING & TANKS C. EROSION CONTROL D. SEPIC TANK & SANITARY LEACH FIELD E. UNDERGROUND WATER & ELECTRICAL CONDUIT ROUTING F. TOTAL DISTURBED AREA=68,552± SQ.FT.

ABBREVIATIONS

Table with columns: AC, BFP, BSL, CLF, CONC, DOM, E, FF, FL, FS, G, GB, GM, INV, IP, IMPROV, L.G., OHW, PP, Q, R, RIE&UE, RIM, RPP, RWT, SD, SS, SCODE, SJWCOE, SJWCO, TD, UUE, W, WM, WSE, WV. Descriptions include ASPHALTIC CONCRETE, BACK FLOW PREVENTOR, BUILDING SETBACK LINE, CHAIN LINK FENCE, CONCRETE, DOMESTIC ELECTRIC, FINISH FLOOR, FLOW LINE, FIRE SERVICE, GAS, GRADE BREAK, GAS METER, PIPE INVERT, IRON PIPE, IMPROVEMENT, LIP OF GUTTER, OVERHEAD WIRE, POWER POLE, PROPANE GAS, PRIVATE INGRESS/EGRESS & UTILITY EASEMENT, ROOF DRAIN, TOP OF GRATE, REDUCED-PRESSURE PREVENTOR, RAIN WATER TANK, STORM DRAIN, SANITARY SEWER, SANTA CLARA COUNTY DRAINAGE EASEMENT, SAN JOSE WATER COMPANY EASEMENT, SANITARY SEWER CLEANOUT, TRENCH DRAIN, UNDERGROUND UTILITY EASEMENT, WATER, WATER METER, WATER SERVICE EASEMENT, WATER VALVE.

SHEET INDEX

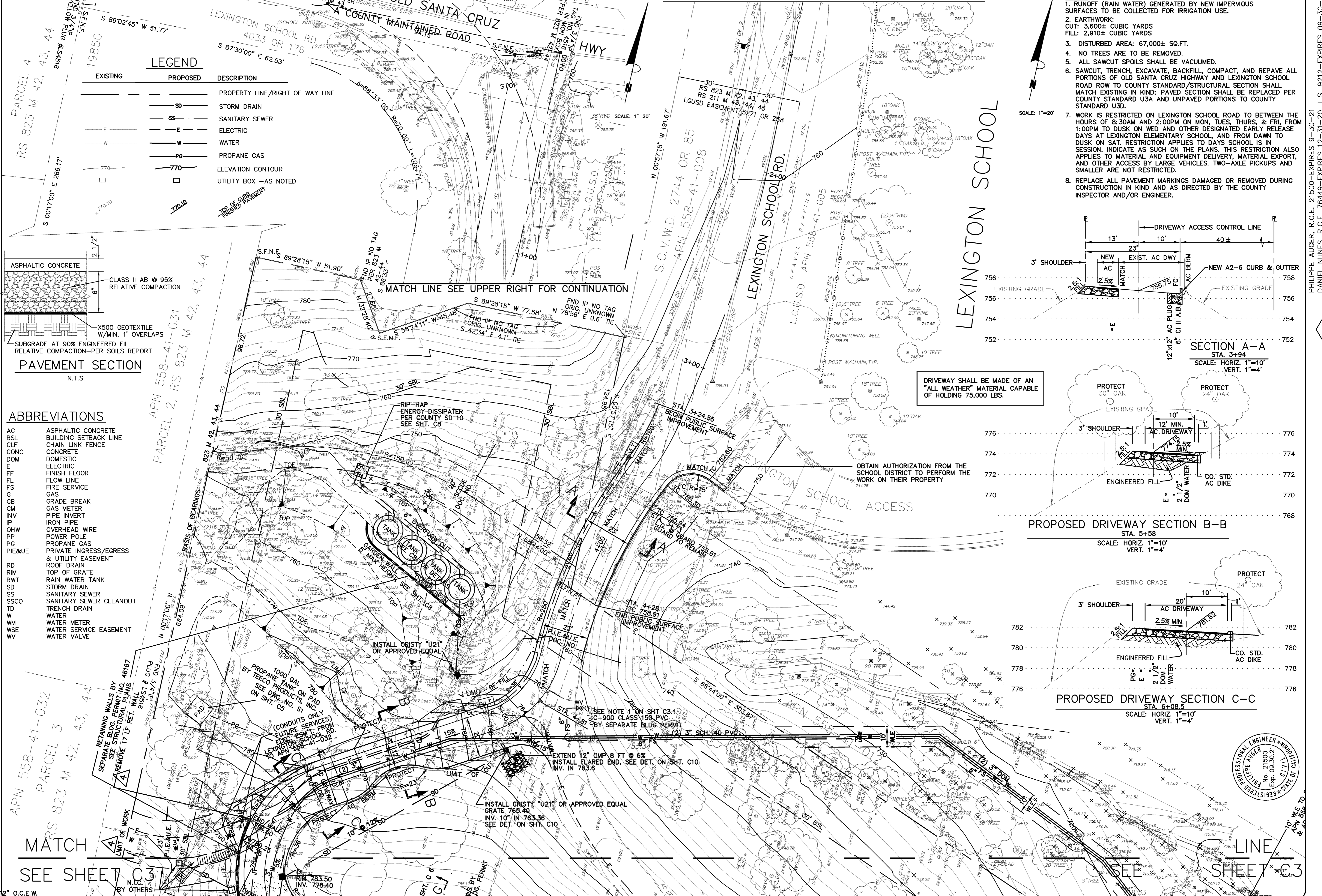
Table with columns: C1, C2, C3, C3.1, C4, C5, C6, C7, C8, C9, C10, L1, BMP-1, BMP-2. Descriptions include COVER SHEET, GRADING & DRAINAGE PLAN (NORTH PORTION), GRADING & DRAINAGE PLAN (SOUTH PORTION), WATER SERVICES CONNECTIONS TO WATER MAIN, DRIVEWAY ALIGNMENT CONTROL PLAN, DRIVEWAY PROFILE, SECTIONS @ MAIN HOUSE & GUEST HOUSE, TRAFFIC CONTROL PLAN, STORM DRAIN DETENTION SYSTEM, EROSION CONTROL PLAN, DETAILS, LANDSCAPE PLANTING PLAN, BMP & EROSION CONTROL DETAILS SHT. 1, BMP & EROSION CONTROL DETAILS SHT. 2.

19800 OLD SANTA CRUZ HWY APN 558-41-020

PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-21 DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-18, L.S. 9212-EXPIRES 09-30-21 MISSION ENGINEERS, INC. 2355 De La Cruz Blvd., Santa Clara, Calif 95050 (408) 727-8262 FAX: (408) 727-8285

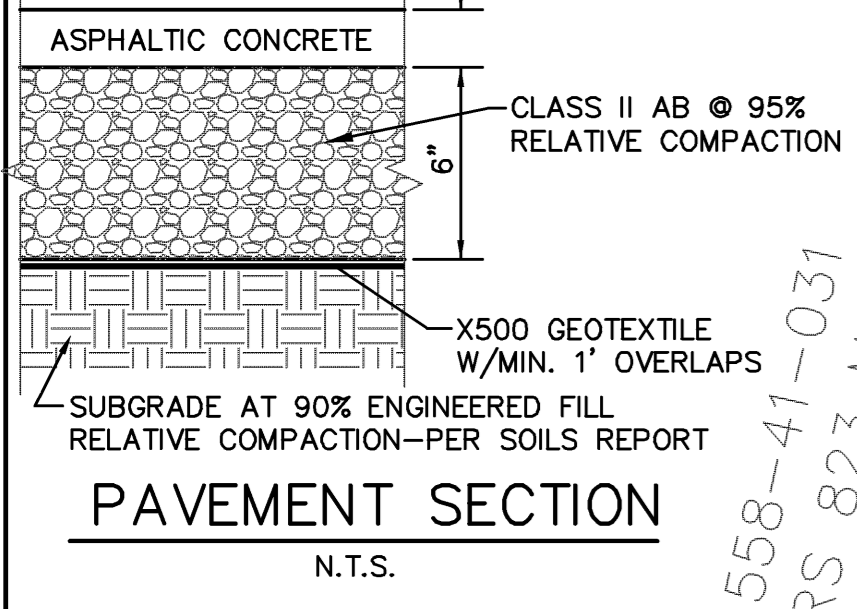
Table with columns: Design: PA, Drawn: ME30, Checked: Date:12-22-17, Scale: AS NOTED, Job No. 15070, Revision 1 Date APN 558-41-020 Sheet C1, Revision 2 Date Co. File, Revision 3 Date of 14.

REVISION 10/27/2015



LEGEND

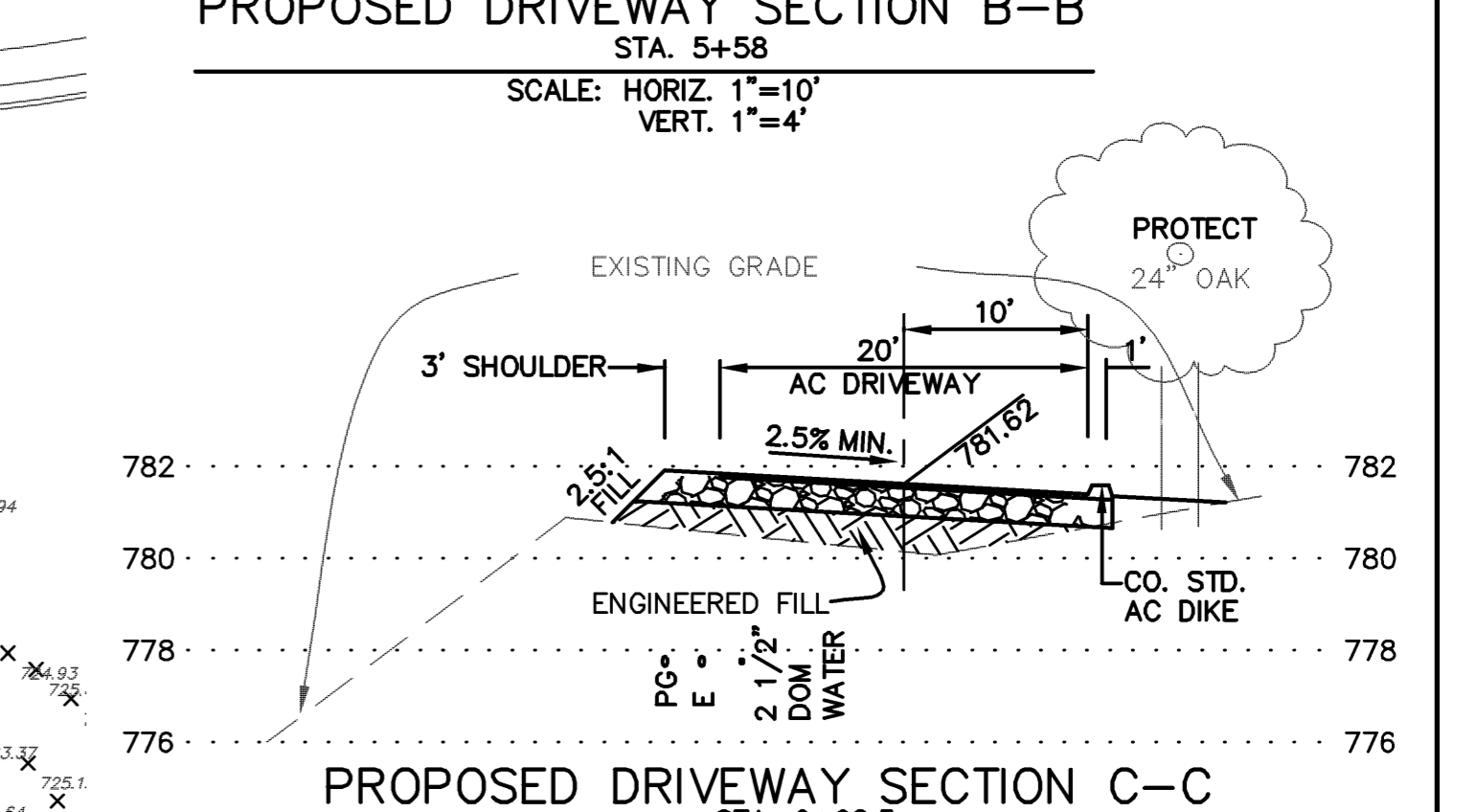
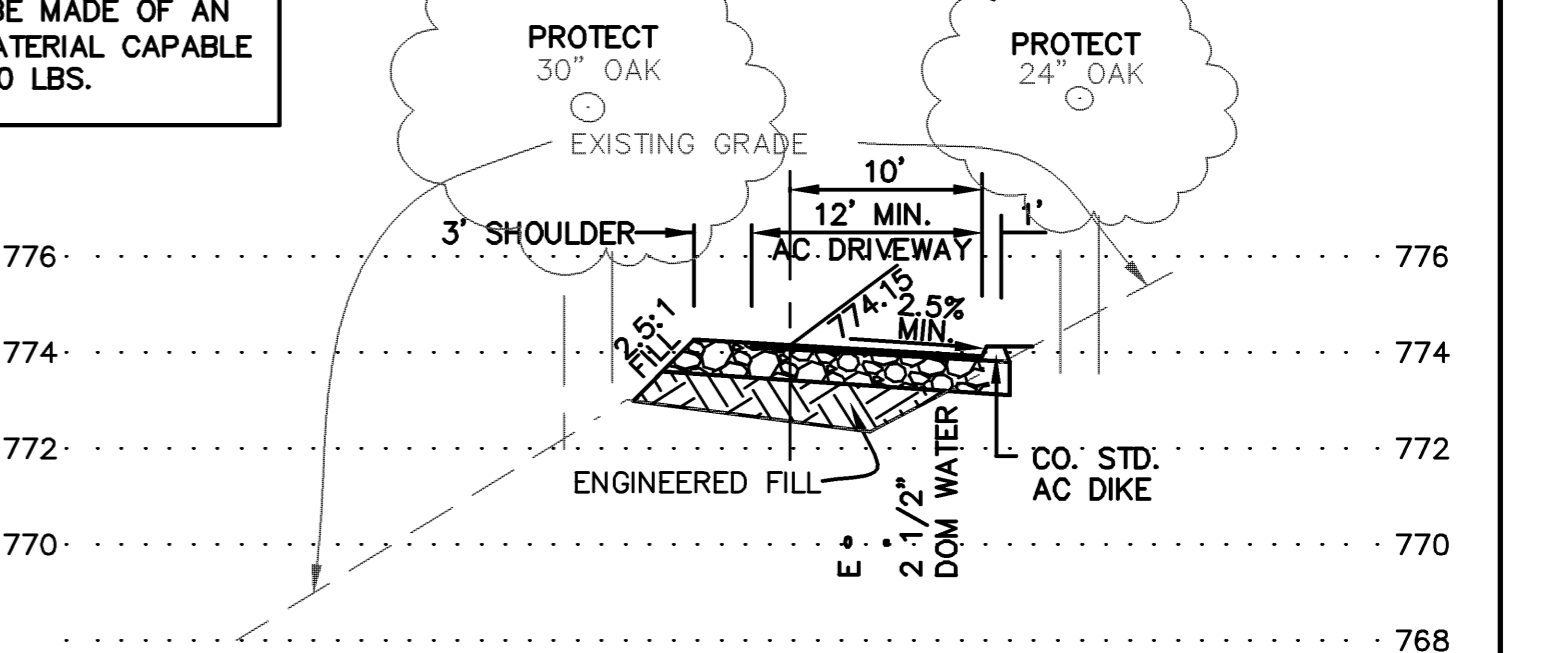
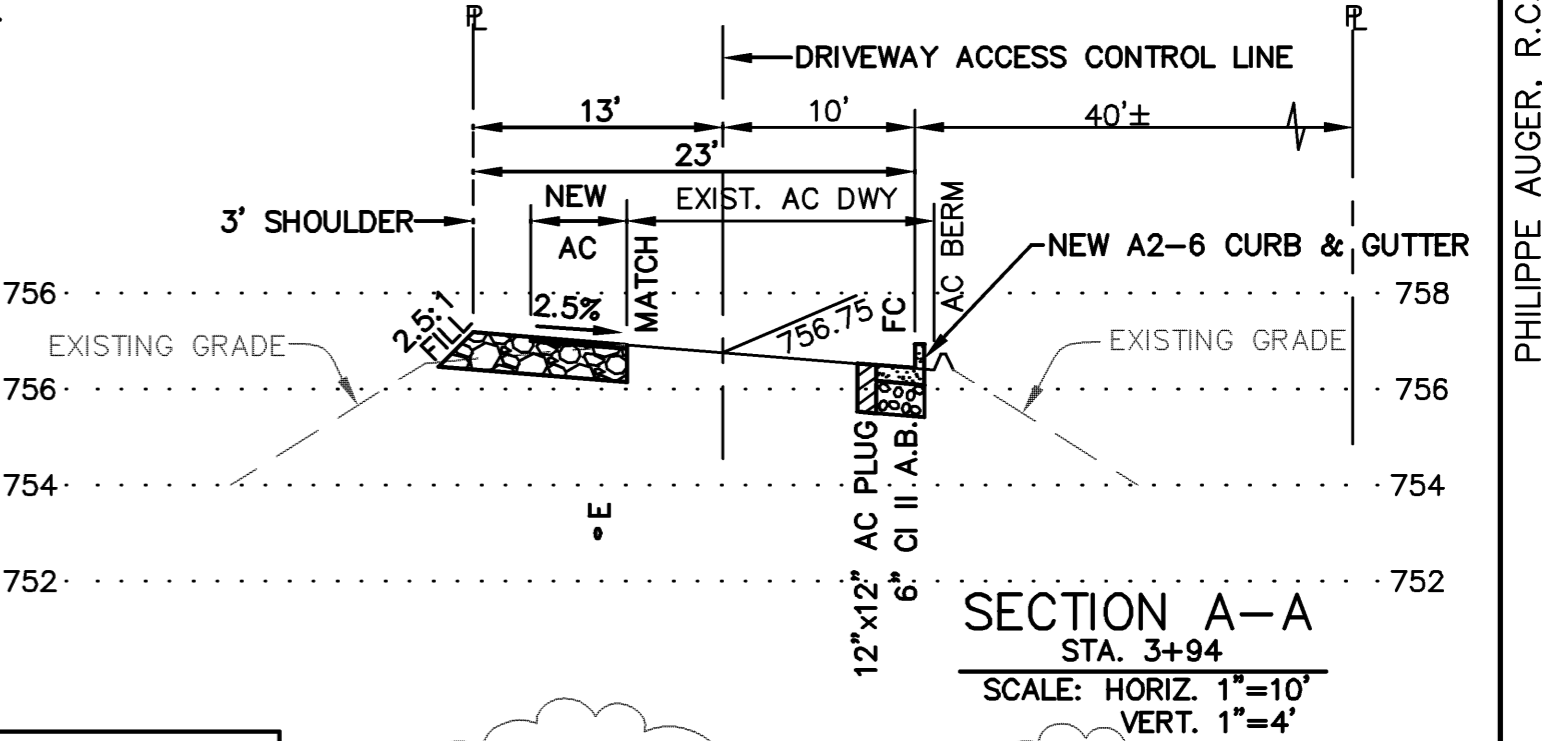
EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE/RIGHT OF WAY LINE
SD	SD	STORM DRAIN
SS	SS	SANITARY SEWER
E	E	ELECTRIC
W	W	WATER
PG	PG	PROPANE GAS
770	770	ELEVATION CONTOUR
□	□	UTILITY BOX - AS NOTED



ABBREVIATIONS

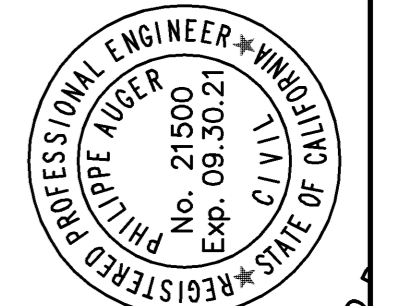
AC	ASPHALTIC CONCRETE
BSL	BUILDING SETBACK LINE
CLF	CHAIN LINK FENCE
CONC	CONCRETE
DOM	DOMESTIC
E	ELECTRIC
FF	FINISH FLOOR
FL	FLOW LINE
FS	FIRE SERVICE
G	GAS
GB	GRADE BREAK
GM	GAS METER
INV	PIPE INVERT
IP	IRON PIPE
OHW	OVERHEAD WIRE
PP	POWER POLE
PG	PROPANE GAS
PI&UE	PRIVATE INGRESS/EGRESS & UTILITY EASEMENT
RD	ROOF DRAIN
RIM	TOP OF GRATE
RWT	RAIN WATER TANK
SD	STORM DRAIN
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
TD	TRENCH DRAIN
W	WATER
WM	WATER METER
WSE	WATER SERVICE EASEMENT
WV	WATER VALVE

- NOTES:**
1. RUNOFF (RAIN WATER) GENERATED BY NEW IMPERVIOUS SURFACES TO BE COLLECTED FOR IRRIGATION USE.
 2. EARTHWORK:
CUT: 3,600± CUBIC YARDS
FILL: 2,910± CUBIC YARDS
 3. DISTURBED AREA: 67,000± SQ.FT.
 4. NO TREES ARE TO BE REMOVED.
 5. ALL SAWCUT SPOILS SHALL BE VACUUMED.
 6. SAWCUT, TRENCH, EXCAVATE, BACKFILL, COMPACT, AND REPAVE ALL PORTIONS OF OLD SANTA CRUZ HIGHWAY AND LEXINGTON SCHOOL ROAD ROW TO COUNTY STANDARD/STRUCTURAL SECTION SHALL MATCH EXISTING IN KIND; PAVED SECTION SHALL BE REPLACED PER COUNTY STANDARD U3A AND UNPAVED PORTIONS TO COUNTY STANDARD U3D.
 7. WORK IS RESTRICTED ON LEXINGTON SCHOOL ROAD TO BETWEEN THE HOURS OF 8:30AM AND 2:00PM ON MON, TUES, THURS, & FRI, FROM 1:00PM TO DUSK ON WED AND OTHER DESIGNATED EARLY RELEASE DAYS AT LEXINGTON ELEMENTARY SCHOOL, AND FROM DAWN TO DUSK ON SAT. RESTRICTION APPLIES TO DAYS SCHOOL IS IN SESSION INDICATE AS SUCH ON THE PLANS. THIS RESTRICTION ALSO APPLIES TO MATERIAL AND EQUIPMENT DELIVERY, MATERIAL EXPORT, AND OTHER ACCESS BY LARGE VEHICLES. TWO-AXLE PICKUPS AND SMALLER ARE NOT RESTRICTED.
 8. REPLACE ALL PAVEMENT MARKINGS DAMAGED OR REMOVED DURING CONSTRUCTION IN KIND AND AS DIRECTED BY THE COUNTY INSPECTOR AND/OR ENGINEER.



DRIVEWAY SHALL BE MADE OF AN "ALL WEATHER" MATERIAL CAPABLE OF HOLDING 75,000 LBS.

OBTAIN AUTHORIZATION FROM THE SCHOOL DISTRICT TO PERFORM THE WORK ON THEIR PROPERTY

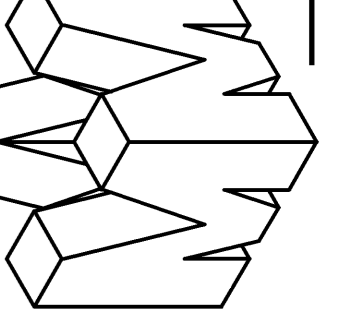


PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-21
DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-20, L.S. 9212-EXPIRES 09-30-21

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

MISSION ENGINEERS, INC.

RESPONSIVE, RELIABLE RESULTS SINCE 1953
2355 De La Cruz Blvd. Santa Clara, California 95050
Ph: (408) 727-8285 E-mail: missionengineersinc.com



GRADING & DRAINAGE PLAN
APN 558-41-020
19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS

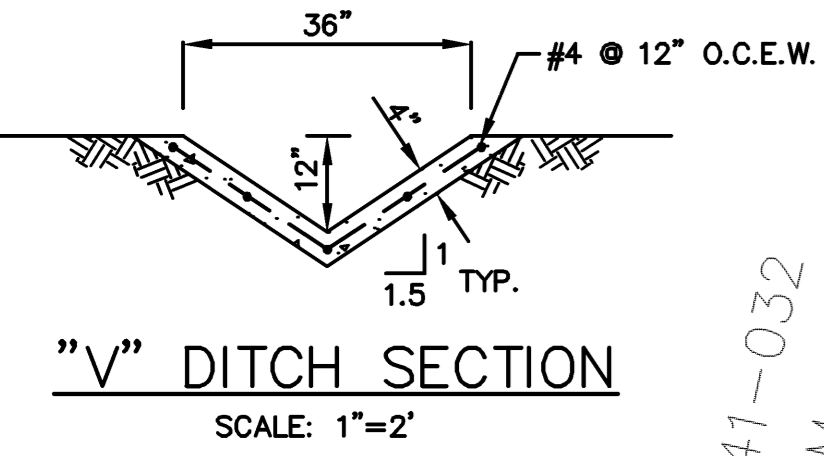
DATE	CHK'D	DESCRIPTION
4/27	SS	3 DWY, SD
11/8	PA	5 ACCESS DWY
1/9	PA	4 UTILITIES
		ADD DWY NOTE
8/24	SS	UPD. FILL QUANTITIES
7/20	DN	

SCALE AS SHOWN
DATE 12-22-17
DWN SS ME30
CHK'D
JOB NO. 15070
DWG. NO. L14691B.20-2
SHEET

C2
OF 14 SHEETS

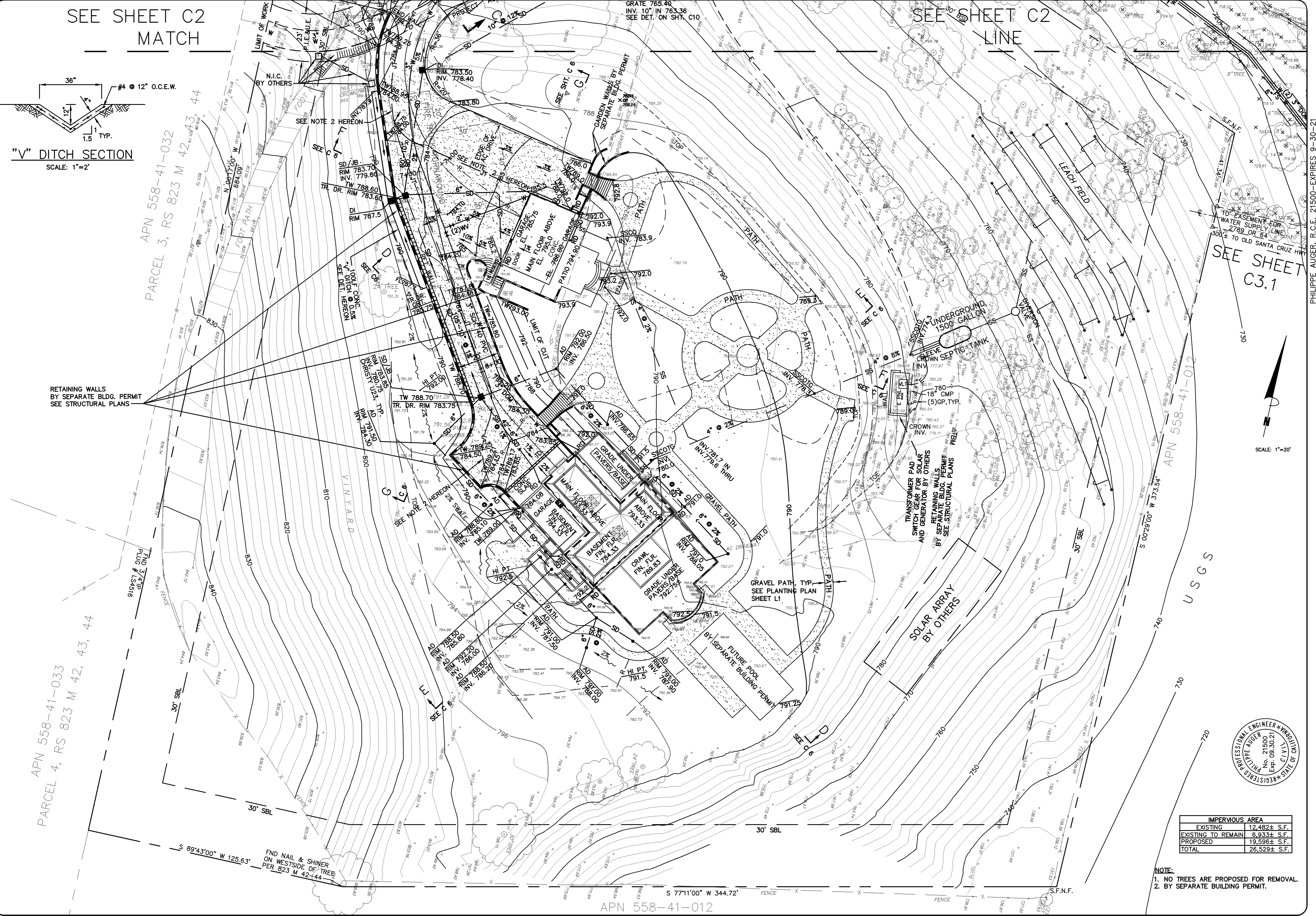
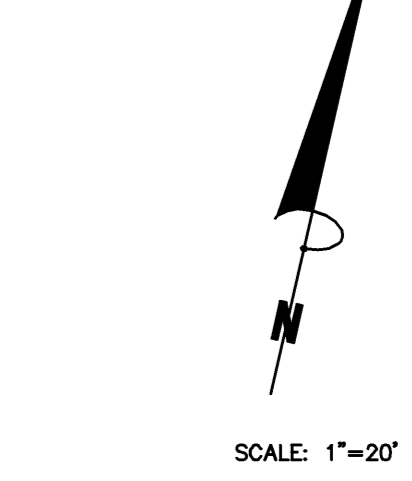
SEE SHEET C2
MATCH

SEE SHEET C2
LINE



APN 558-41-032
PARCEL 3, RS 823 M 42, 43, 44

APN 558-41-033
PARCEL 4, RS 823 M 42, 43, 44



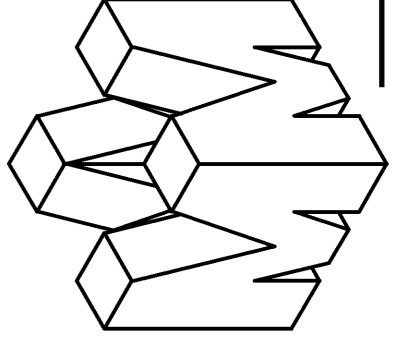
IMPERVIOUS AREA	
EXISTING	12,482± S.F.
EXISTING TO REMAIN	6,933± S.F.
PROPOSED	19,596± S.F.
TOTAL	26,529± S.F.

NOTE:
1. NO TREES ARE PROPOSED FOR REMOVAL.
2. BY SEPARATE BUILDING PERMIT.

PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-21
DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-20, L.S. 9212-EXPIRES 09-30-21

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

MISSION ENGINEERS, INC.
RESPONSIVE, RELIABLE RESULTS SINCE 1953
2355 De La Cruz Blvd. Santa Clara, California 95050
Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: missionengineersinc.com



GRADING & DRAINAGE PLAN
APN 558-41-020
19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS		
DATE	BY	DESCRIPTION
2/21/19	CH/KD	SS LAT
2/23/19	PA/SS	1 SS LAT
7/18/18	DN/SS	2 SD SYSTEM
7/27/18	PA/SS	DWY, SD
11/7/18	PA/SS	ACCESS DWY
8/24/19	PA/SS	4 UTILITIES
8/24/20	DN/SS	UPDATE GRADES

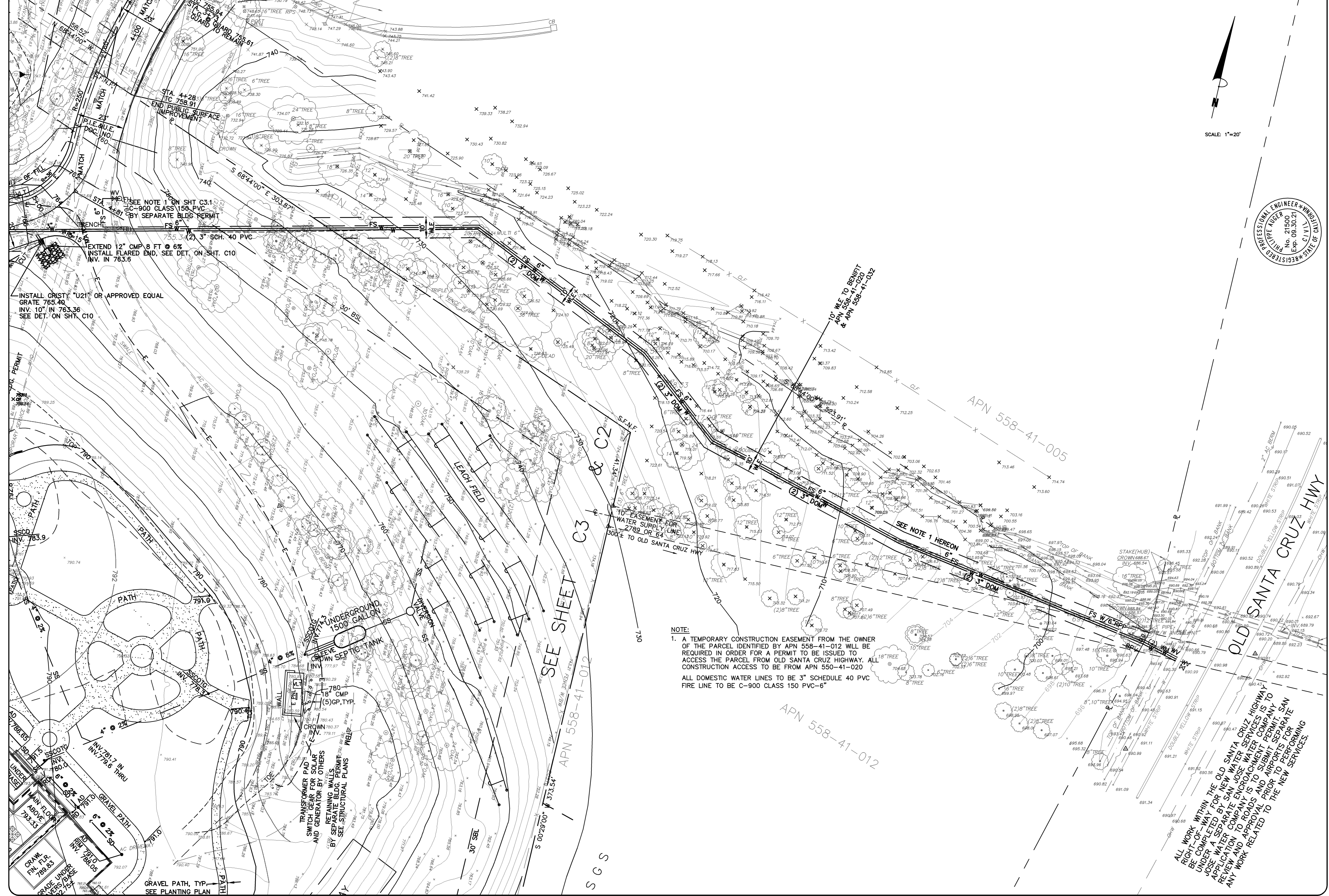
SCALE	1"=20'
DATE	12-22-17
DWN	SS ME30
CH/KD	
JOB NO.	15070
DWG. NO.	L14691B.20-3
REF.	TOPO, SITE

SHEET
C3
OF 14 SHEETS

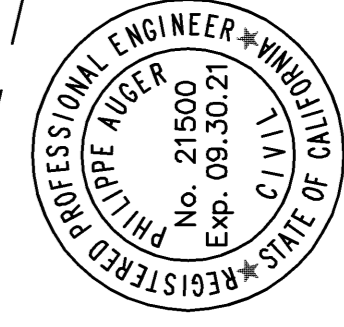
APPLICANT: INGRAM-CAUCHI

ROAD NAME: OLD SANTA CRUZ HWY

COUNTY FILE NO.: 10735-15B-15G



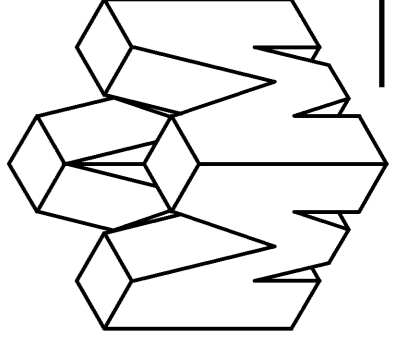
SCALE: 1"=20'



PHILIPPE AUGER, R.C.E. 21500—EXPIRES 9—30—21
 DANIEL NUNES, R.C.E. 76449—EXPIRES 12—31—20, L.S. 9212—EXPIRES 09—30—21

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

MISSION ENGINEERS, INC.
 RESPONSIVE, RELIABLE RESULTS SINCE 1953
 2355 De La Cruz Blvd. Santa Clara, California 95050
 Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: mission@missionengineersinc.com



WATER SERVICES CONNECTIONS TO WATER MAIN
 APN 558-41-020
 19800 OLD SANTA CRUZ HWY, LOS GATOS
 IN THE COUNTY OF SANTA CLARA, CALIFORNIA

NOTE:
 1. A TEMPORARY CONSTRUCTION EASEMENT FROM THE OWNER OF THE PARCEL IDENTIFIED BY APN 558-41-012 WILL BE REQUIRED IN ORDER FOR A PERMIT TO BE ISSUED TO ACCESS THE PARCEL FROM OLD SANTA CRUZ HIGHWAY. ALL CONSTRUCTION ACCESS TO BE FROM APN 550-41-020
 ALL DOMESTIC WATER LINES TO BE 3" SCHEDULE 40 PVC FIRE LINE TO BE C-900 CLASS 150 PVC-6"

ALL WORK WITHIN THE OLD SANTA CRUZ HIGHWAY RIGHT-OF-WAY FOR NEW WATER SERVICES IS TO BE COMPLETED BY SAN JOSE WATER SERVICES UNDER A SEPARATE ENCROACHMENT COMPANY TO APPLICANT. APPLICATION TO ROADS IS TO SUBMIT PERMIT REVIEW AND APPROVAL PRIOR TO PERFORMING ANY WORK RELATED TO THE NEW SERVICES.

REVISIONS	
DATE	DESCRIPTION
4/9	SS ACCESS DWY & UTILITIES
7/19	PA

SCALE 1"=20'
 DATE 11-16-18
 DWN SS ME30
 CH'KD
 JOB NO. 15070
 DWG. NO. L14691A-3.1
 DREF. TOPO, SITE

SHEET
C3.1
 OF 14 SHEETS

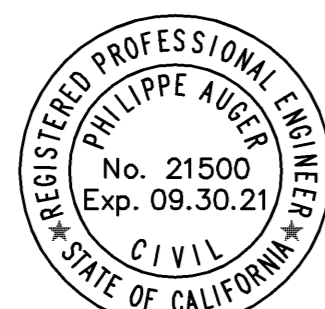
SCALE: 1"=30'

LEXINGTON SCHOOL

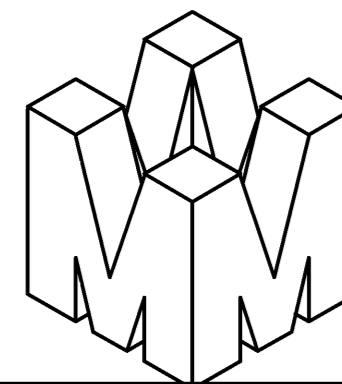
LEXINGTON SCHOOL RD.

DOC. NO. 22186395
APN 558-41-019

DRIVEWAY SHALL BE MADE OF AN
"ALL WEATHER" MATERIAL CAPABLE
OF HOLDING 75,000 LBS.



PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-21
DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-20, L.S. 9212-EXPIRES 09-30-21



PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING
MISSION ENGINEERS, INC.
RESPONSIVE, RELIABLE RESULTS SINCE 1953
2355 De La Cruz Blvd. Santa Clara, California 95050
Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: mission@missionengineersinc.com

DRIVEWAY ALIGNMENT CONTROL PLAN
APN 558-41-020
19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS			
DATE	BY	DESCRIPTION	CHK'D

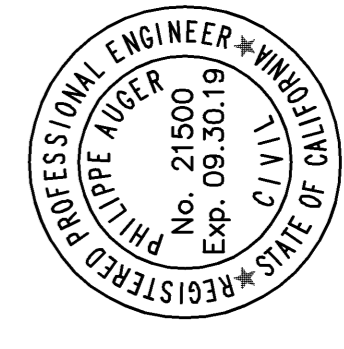
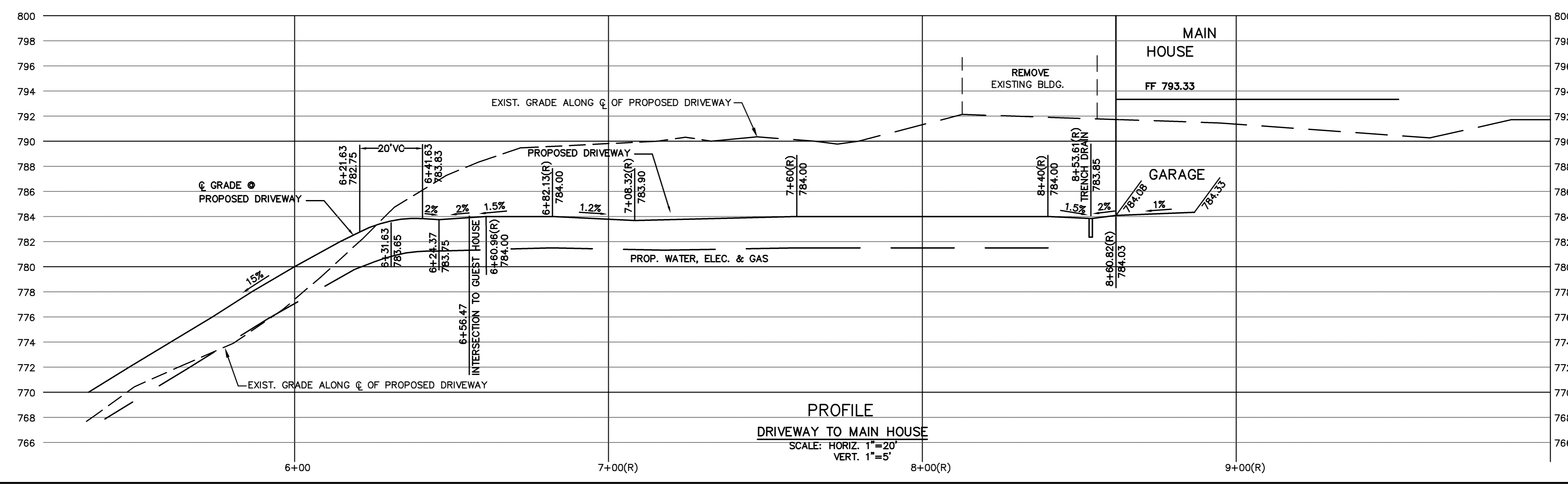
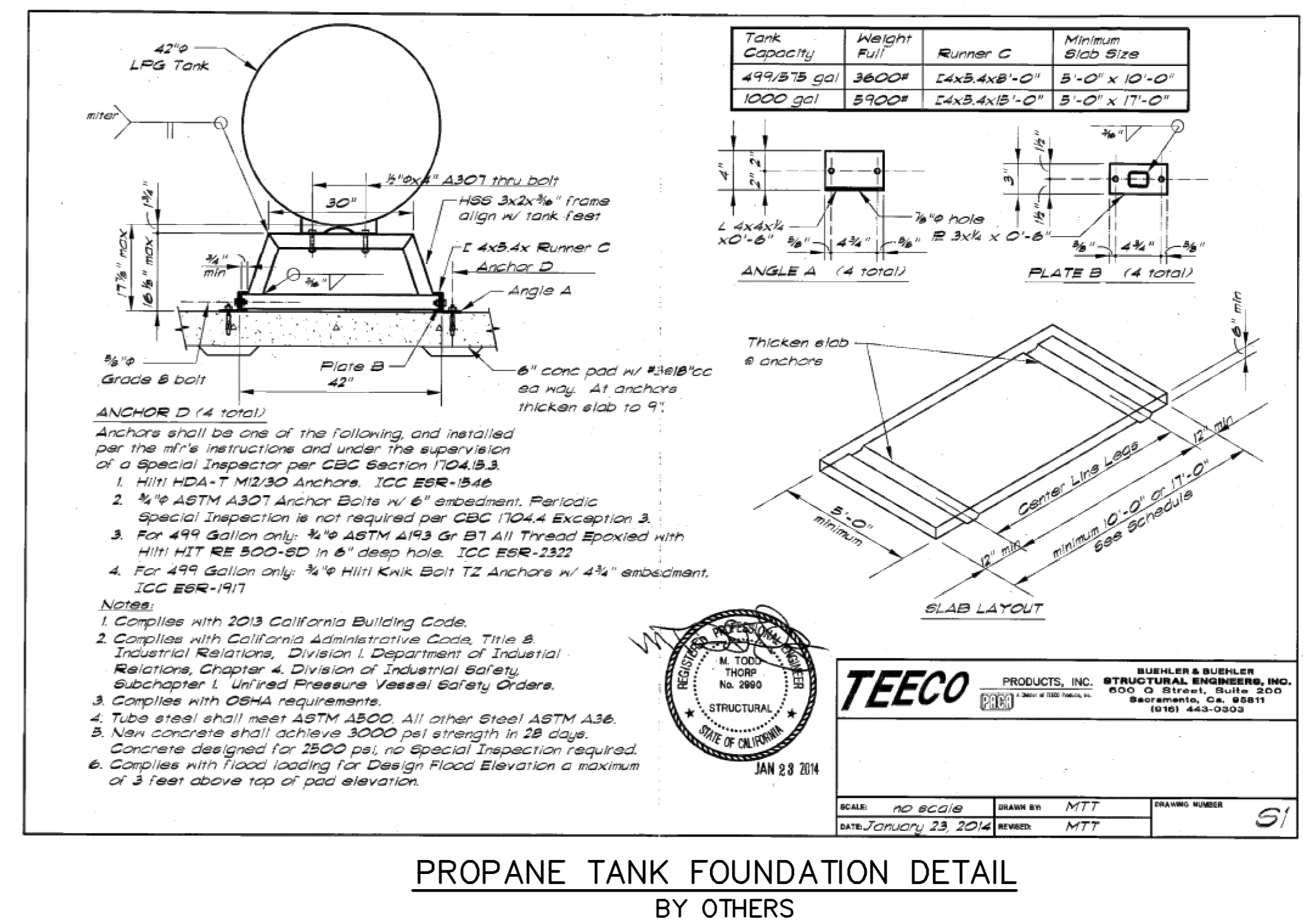
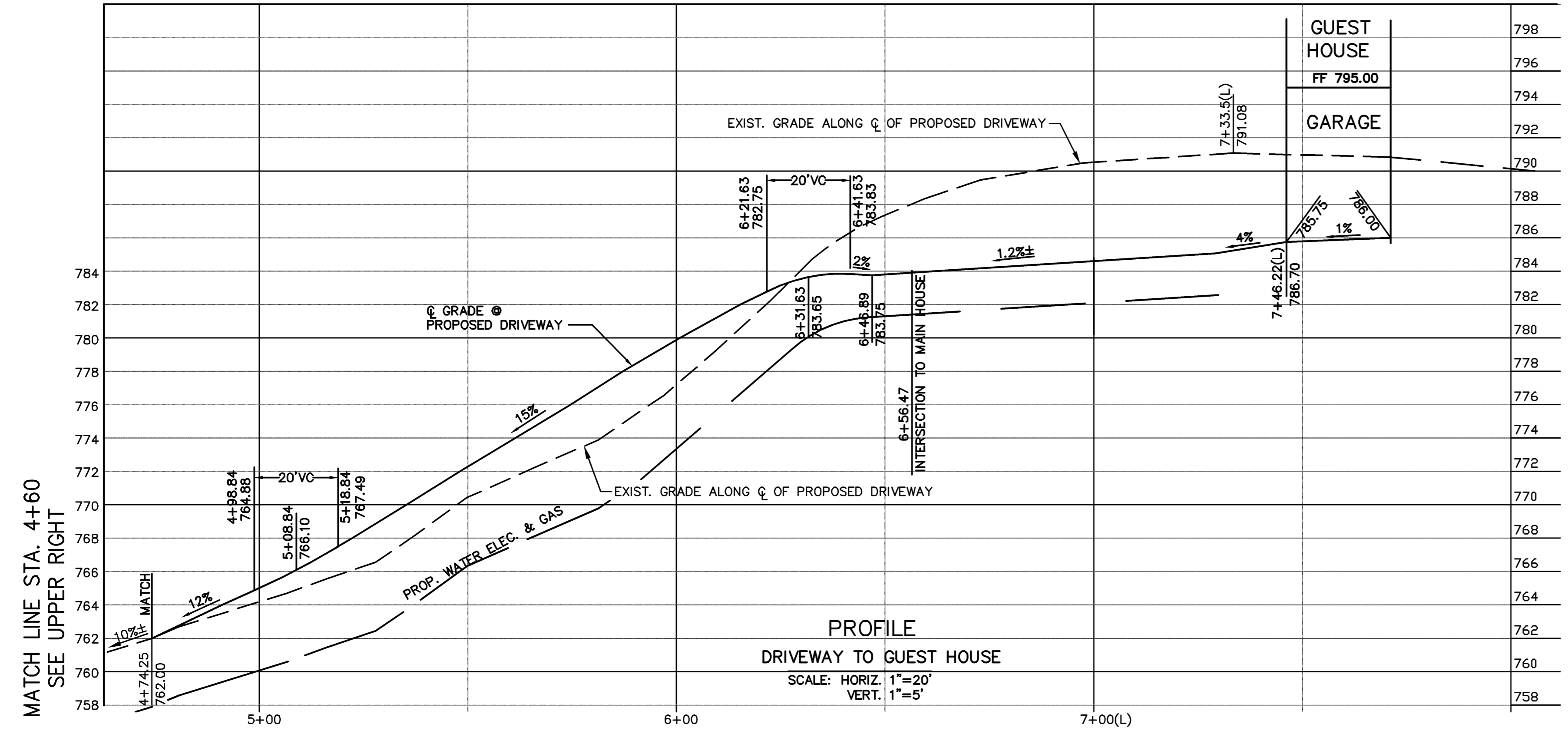
SCALE: 1"=30'
DATE: 12-22-17
DWN: SS ME30
CHKD:
JOB NO. 15070
DWG NO. L14691A-4
XREF. TOPO, SITE

SHEET
C4
OF 14 SHEETS

APPLICANT: INGRAM-CAUCHI

ROAD NAME: OLD SANTA CRUZ HWY

COUNTY FILE NO.: 10735-15B-15G

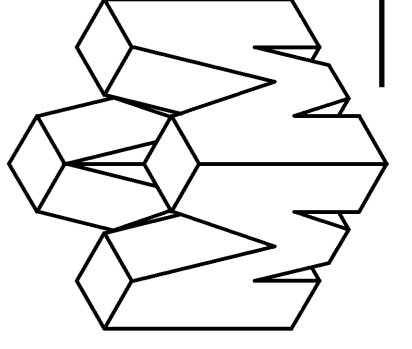


PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-19
 DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-20, L.S. 9212-EXPIRES 09-30-19

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

MISSION ENGINEERS, INC.

RESPONSIVE, RELIABLE RESULTS SINCE 1953
 2355 De La Cruz Blvd. Santa Clara, California 95050
 Ph: (408) 727-8262 FAX: (408) 727-8262 E-mail: missionengineersinc.com

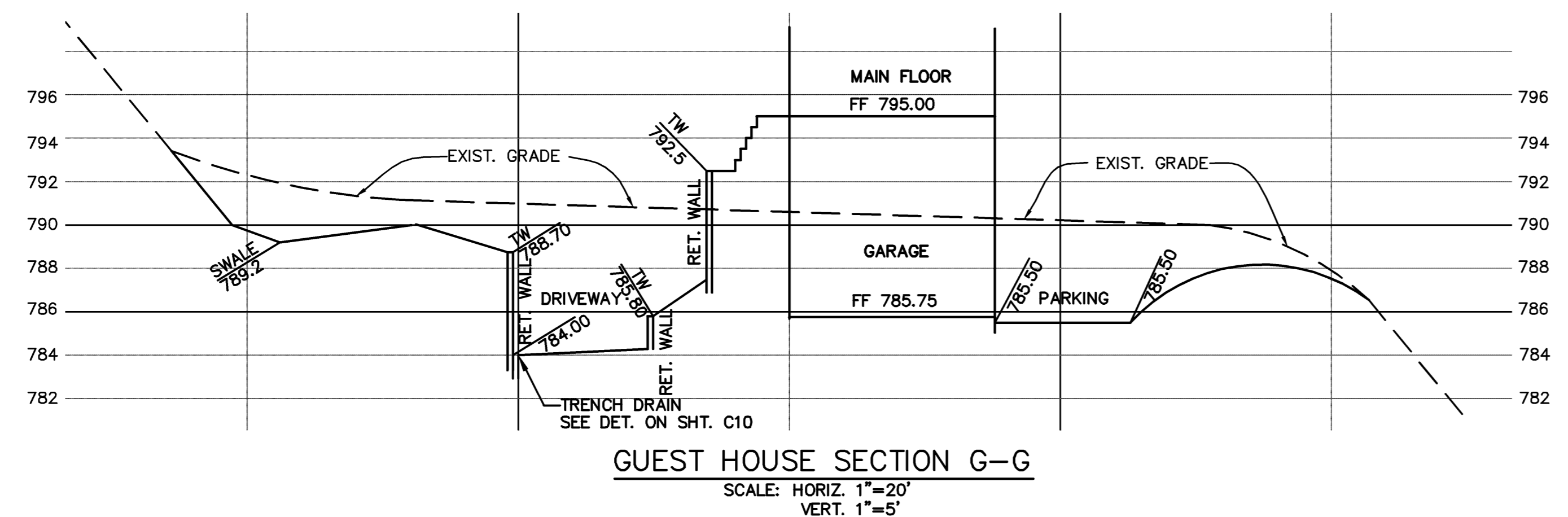
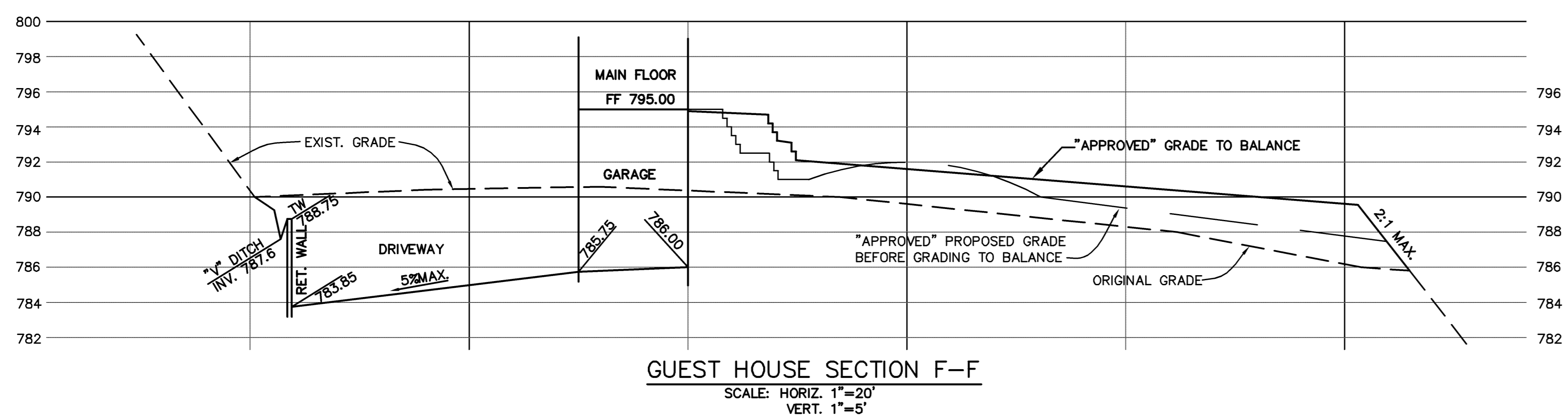
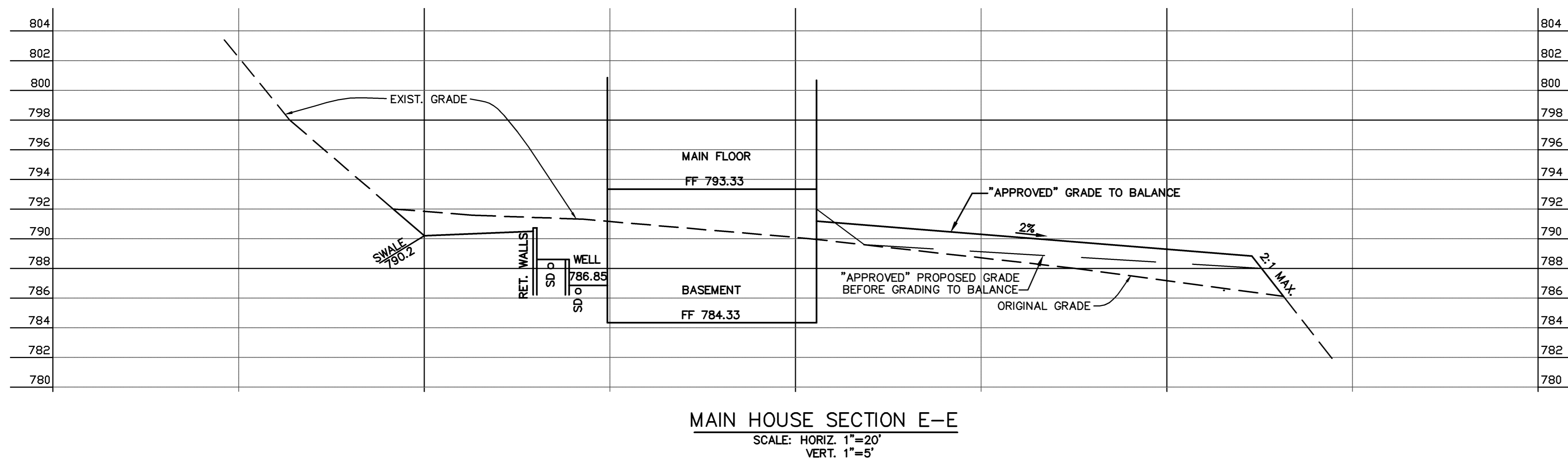
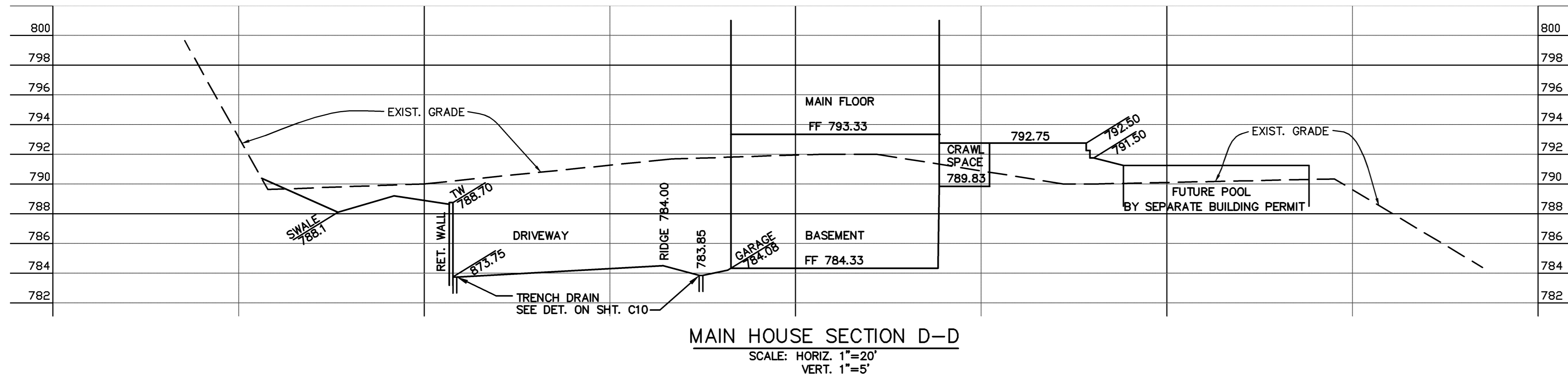


DRIVEWAY PROFILE
 APN 558-41-020
 19800 OLD SANTA CRUZ HWY, LOS GATOS
 IN THE COUNTY OF SANTA CLARA, CALIFORNIA

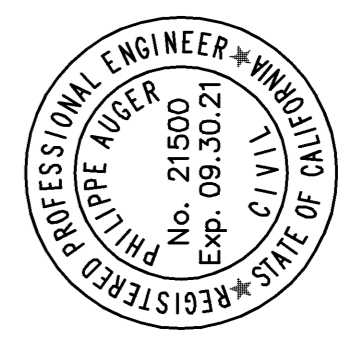
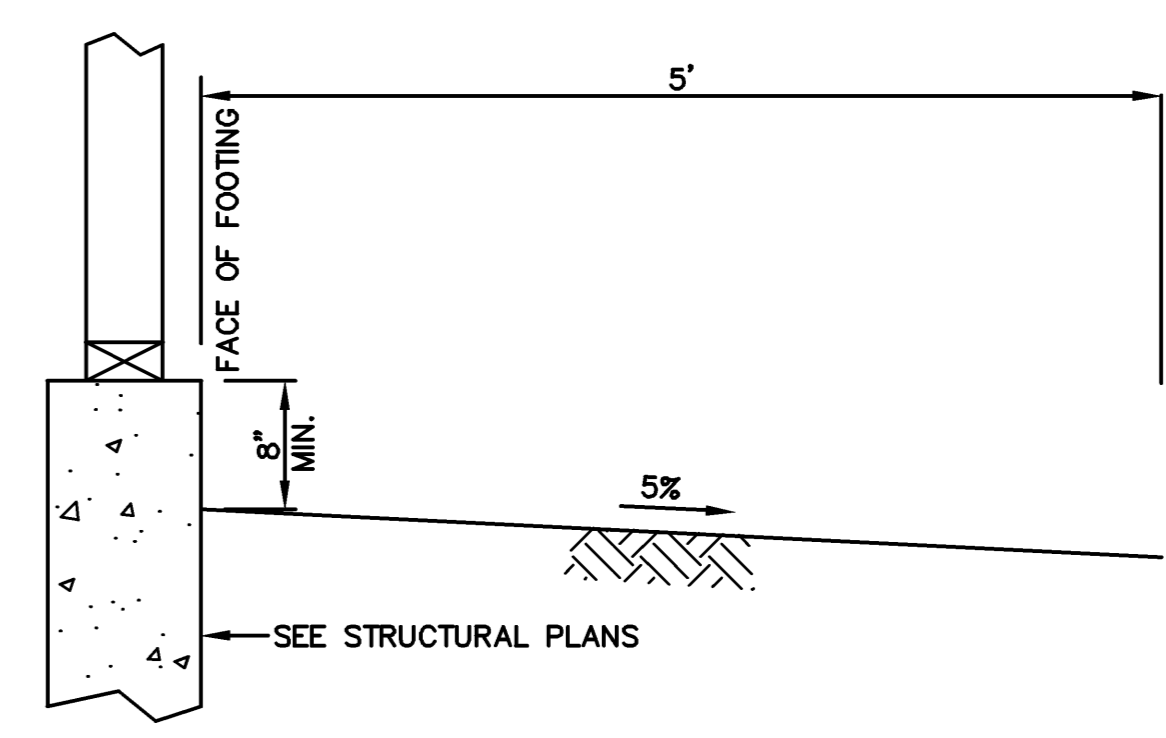
DATE	BY	DESCRIPTION
4/9	CH/KD	ACCESS DWY & UTILITIES
1/19	PA	

SCALE	AS SHOWN
DATE	12-22-17
DWN	SS ME30
CH'KD	
JOB NO.	15070
DWG. NO.	L14691A-5

SHEET
C5
 OF 14 SHEETS



NOTE:
ALL RETAINING WALLS BY SEPARATE BUILDING PERMIT.



PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-21
DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-20, L.S. 9212-EXPIRES 09-30-21

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

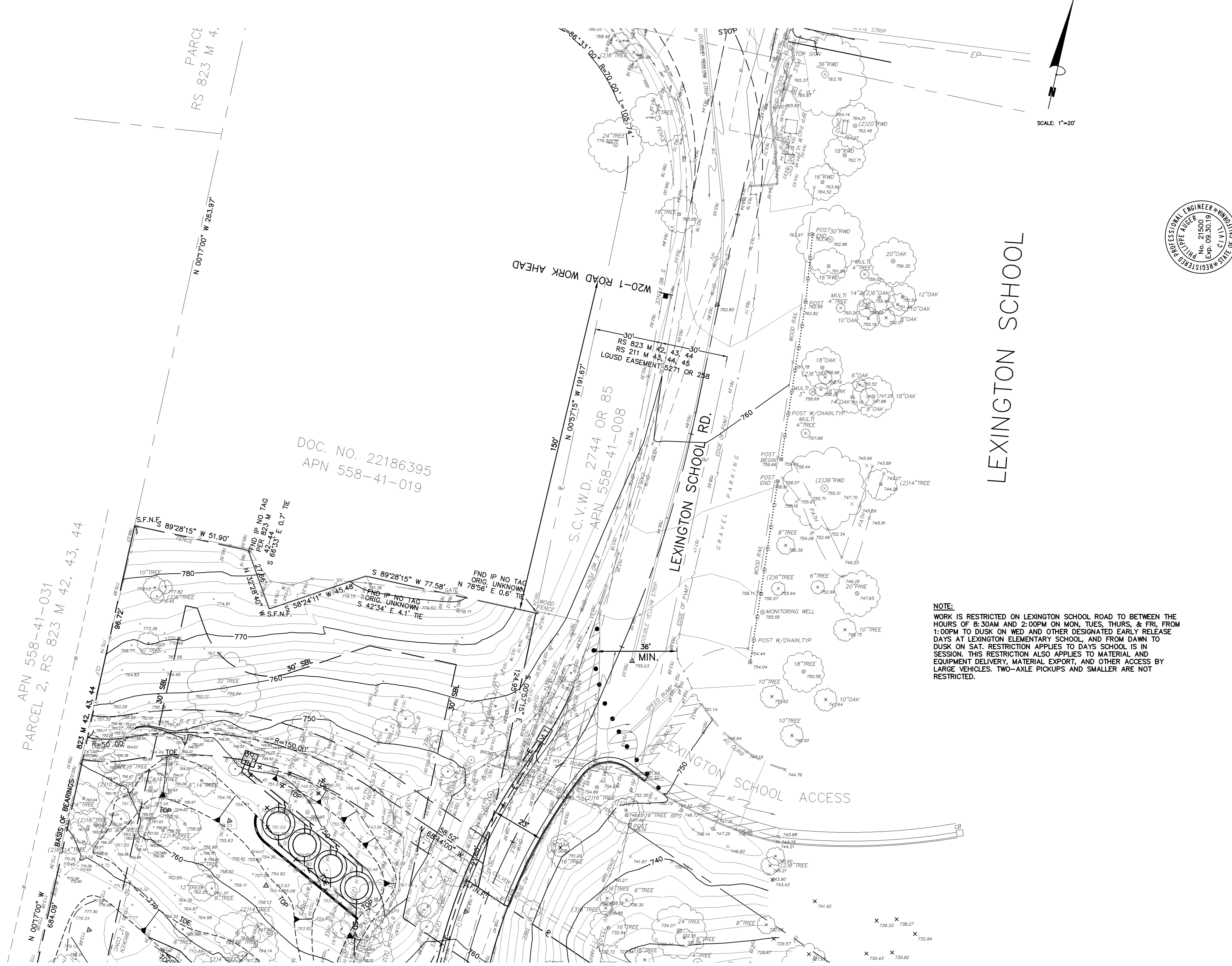
MISSION ENGINEERS, INC.
RESPONSIVE, RELIABLE RESULTS SINCE 1953
2355 De La Cruz Blvd. Santa Clara, California 95050
Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: mission@missionengineersinc.com

SECTIONS @ MAIN HOUSE & GUEST HOUSE
APN 558-41-020
19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS		
DATE	BY	DESCRIPTION
3/29/19	CH/KD/SS	ACCESS DWY & UTILITIES
8/24/20	PA/SS	UPDATE SECTION E&F
8/20/20	DN/SS	SECTION E&F

SCALE AS SHOWN
DATE 12-22-17
DWN SS ME30
CH/KD
JOB NO. 15070
DWG. NO. L14691B.20-6

SHEET
C6
OF 14 SHEETS



DOC. NO. 22186395
 APN 558-41-019

NOTE:
 WORK IS RESTRICTED ON LEXINGTON SCHOOL ROAD TO BETWEEN THE HOURS OF 8:30AM AND 2:00PM ON MON, TUES, THURS, & FRI, FROM 1:00PM TO DUSK ON WED AND OTHER DESIGNATED EARLY RELEASE DAYS AT LEXINGTON ELEMENTARY SCHOOL, AND FROM DAWN TO DUSK ON SAT. RESTRICTION APPLIES TO DAYS SCHOOL IS IN SESSION. THIS RESTRICTION ALSO APPLIES TO MATERIAL AND EQUIPMENT DELIVERY, MATERIAL EXPORT, AND OTHER ACCESS BY LARGE VEHICLES. TWO-AXLE PICKUPS AND SMALLER ARE NOT RESTRICTED.

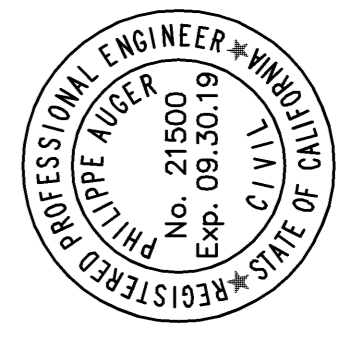
TRAFFIC CONTROL PLAN
 APN 558-41-020
 19800 OLD SANTA CRUZ HWY, LOS GATOS
 IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS

DATE	CH'KD	DESCRIPTION

SCALE	AS SHOWN
DATE	12-22-17
DWN	SS ME30
CH'KD	
JOB NO.	15070
DWG. NO.	L14691A-7
REF.	TOPO, SITE

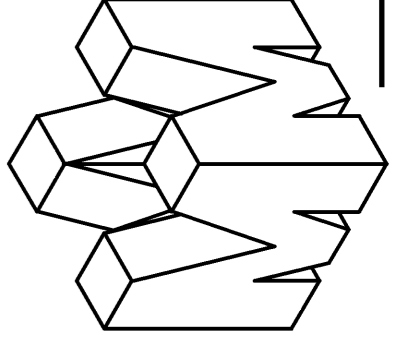
SHEET
C7
 OF 14 SHEETS



PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-19
 DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-20, L.S. 9212-EXPIRES 09-30-19

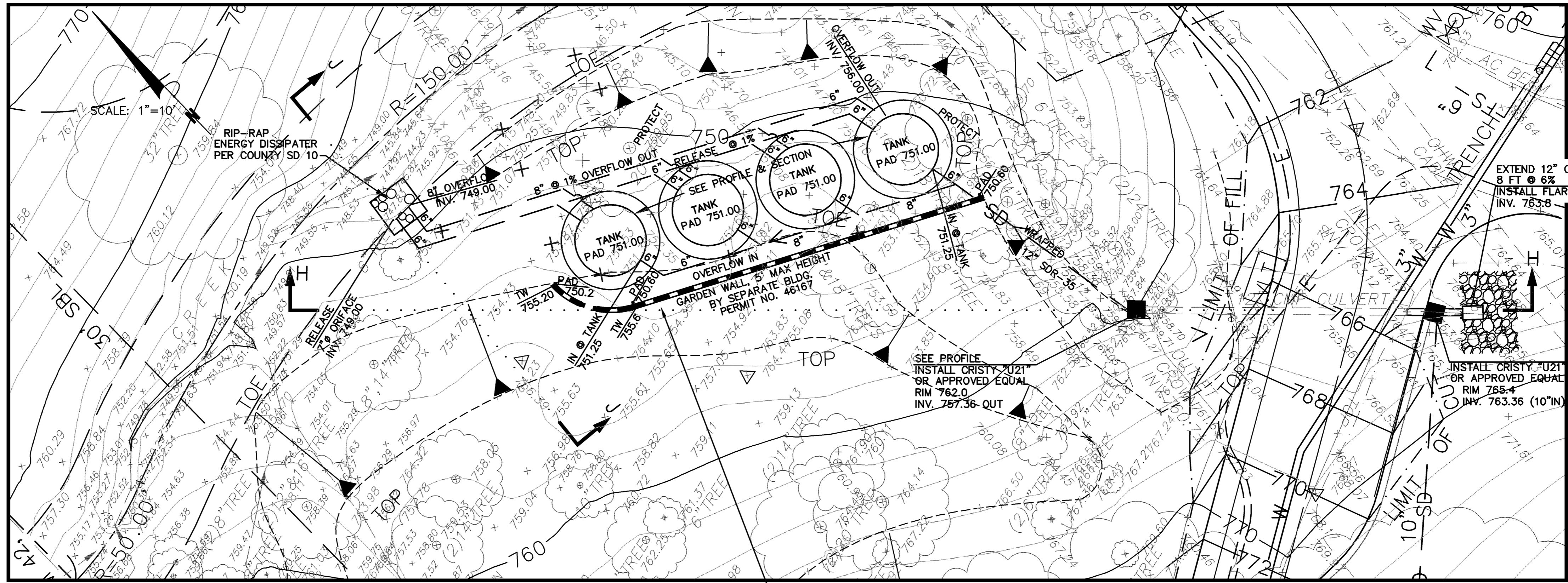
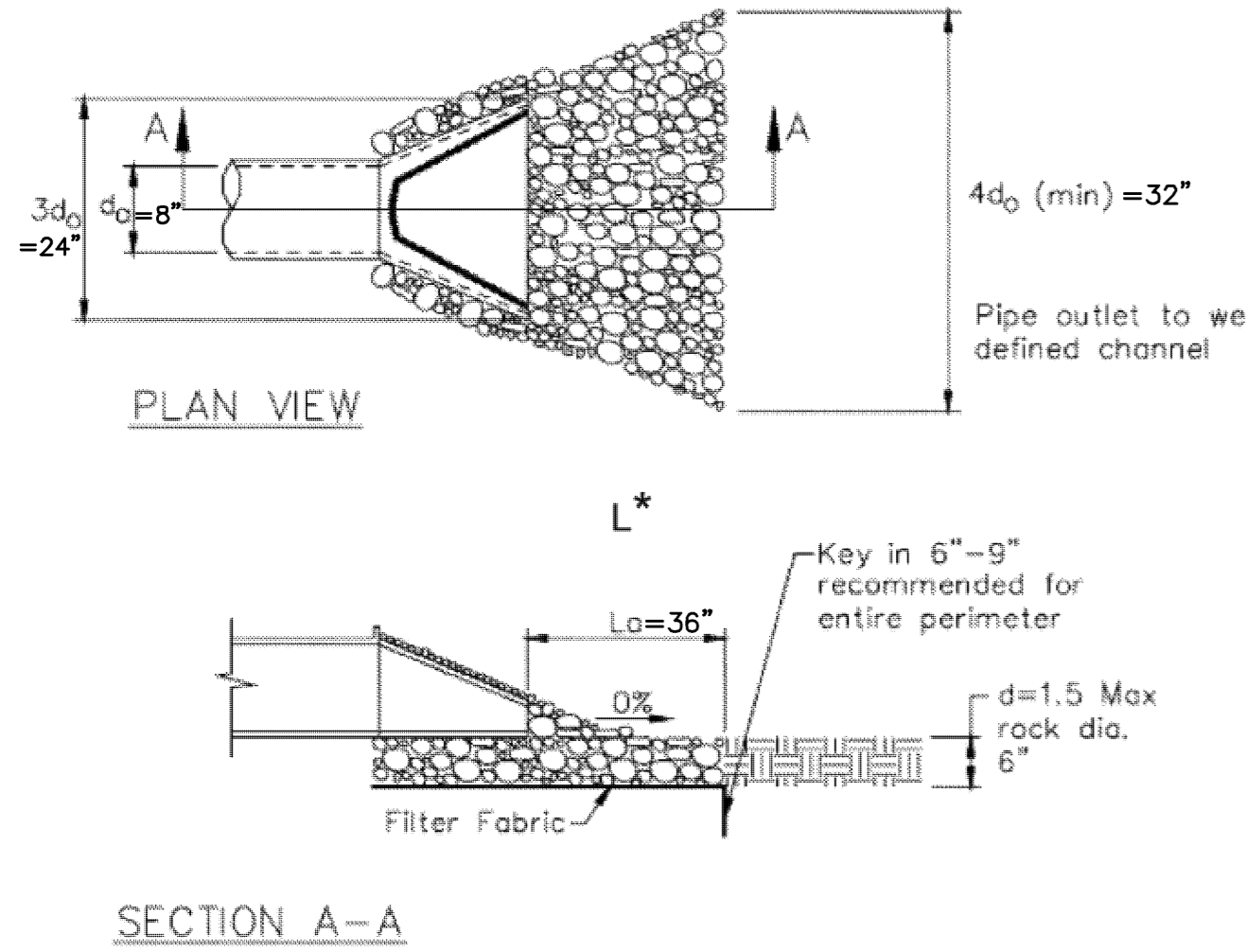
PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

MISSION ENGINEERS, INC.
 RESPONSIVE, RELIABLE RESULTS SINCE 1953
 2355 De La Cruz Blvd. Santa Clara, California 95050
 Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: mission@missionengineersinc.com



Velocity Dissipation Devices

CASQA Detail EC-10



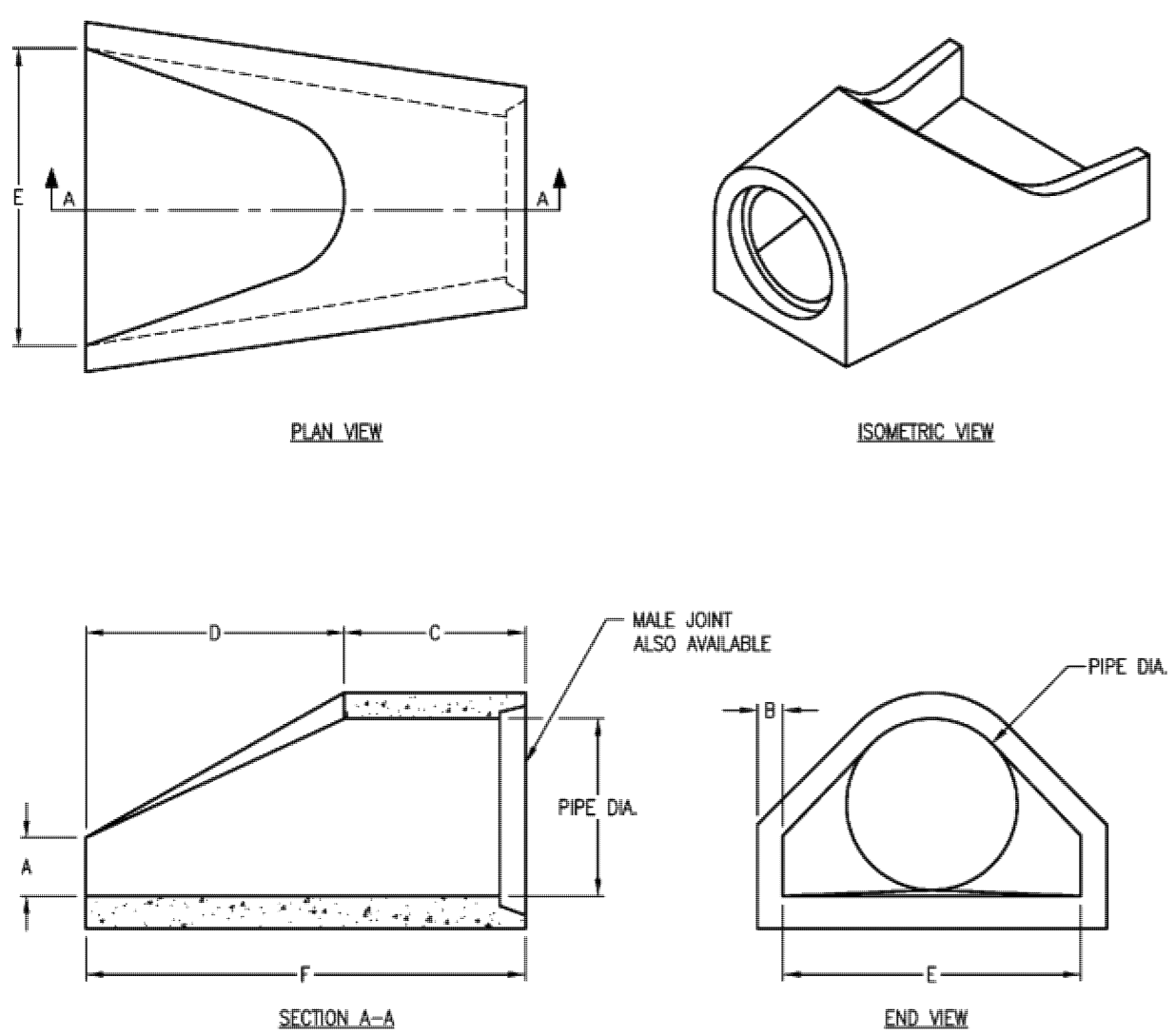
PLAN SCALE: 1"=10'

NOTE: WATERTANK TO SLAB CONNECTION: SEE DETAIL 11 ON SHEET S2.1.

5,000 GAL STORMWATER DETENTION TANKS (BUSHMAN CWTX5-132 OR APPROVED EQUAL) WITH 6" OVERFLOW, TYP. AND 7" ORIFICE RELEASE OUTLET @ RIP-RAP

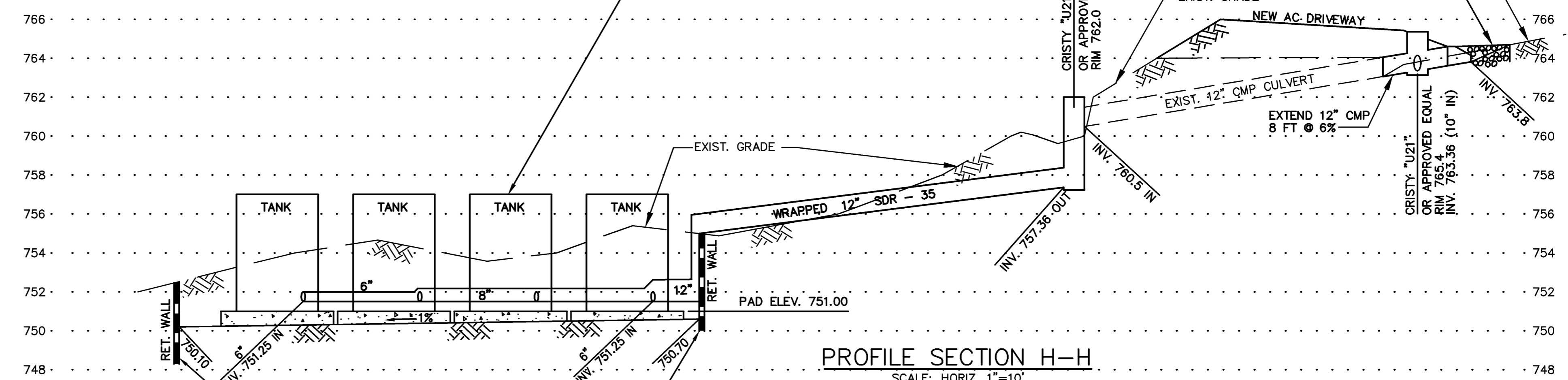
NOTES:
1. REINFORCEMENT SHALL BE EQUAL TO THAT REQUIRED FOR CLASS III RCP OF CORRESPONDING DIAMETER PER CALTRANS SPECIFICATIONS.

PIPE DIA.	A	B	C	D	E	F	WEIGHTS LBS.
12"	4"	2"	13"	24"	24"	37"	400
18"	9"	2"	13"	27"	36"	40"	900
24"	9"	3"	16"	42"	48"	56"	1,400
30"	12"	3"	18"	54"	60"	72"	2,300
36"	15"	4"	18"	63"	72"	81"	4,100
42"	21"	5"	18"	63"	78"	81"	5,200
48"	24"	5"	18"	72"	84"	90"	6,500
54"	27"	6"	18"	65"	90"	83"	7,400

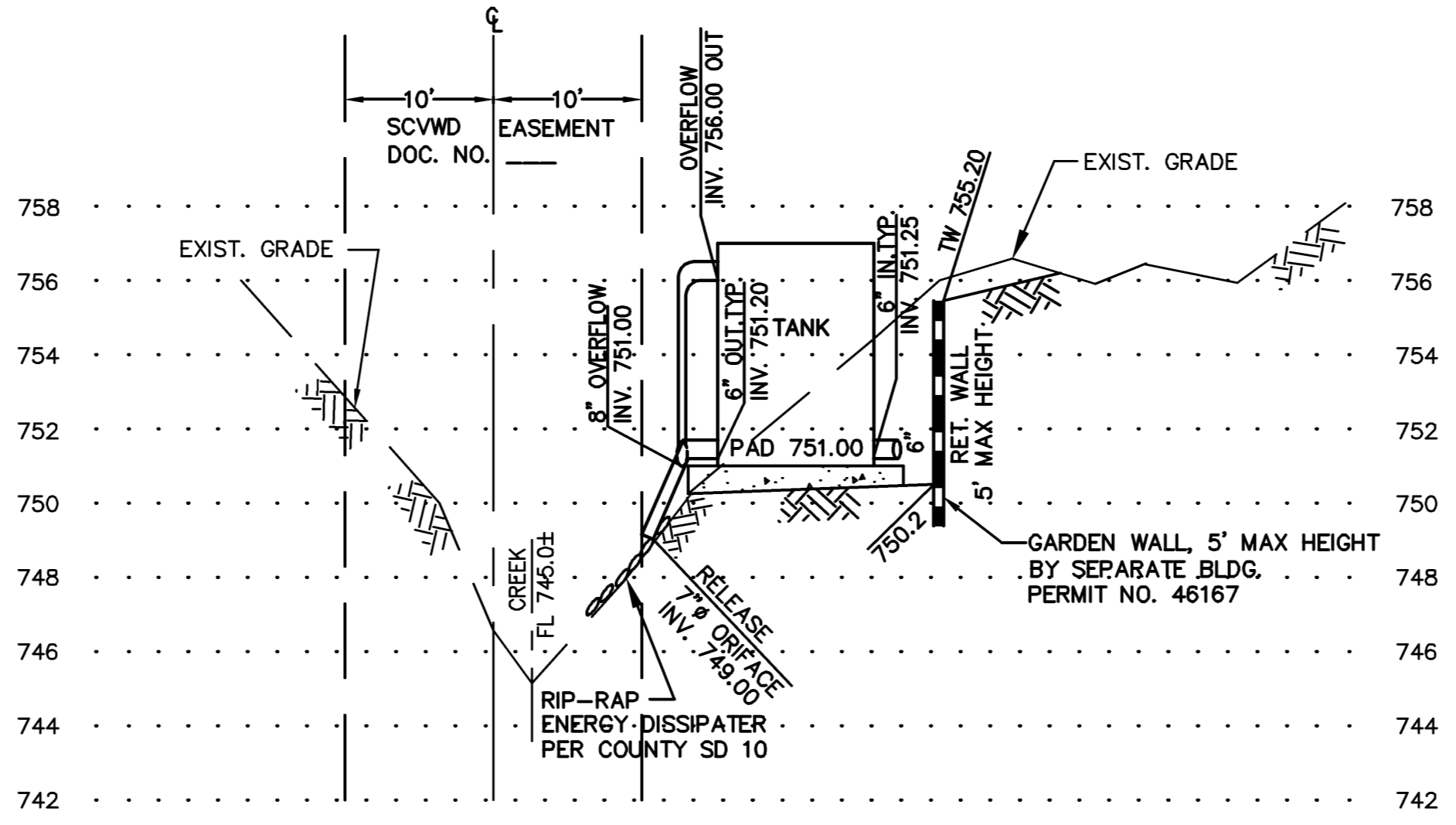


DRAWING MAY NOT CONFORM TO THE MOST CURRENT SPECIFICATION

<p>Northern California Madera • Morgan Hill • Pleasanton • Santa Rosa • Stockton • Tulare Phone: 925-750-6550 Fax: 925-750-6560</p>	FLARED ENDS	CONCRETE FLARED END SECTIONS CALTRANS
	FILE NAME: CDOT-14.DWG	
	REVISED MARCH 2016	
	www.oldcastleprecast.com	Copyright © 2016 Oldcastle Precast, Inc.



PROFILE SECTION H-H SCALE: HORIZ. 1"=10' VERT. 1"=4'



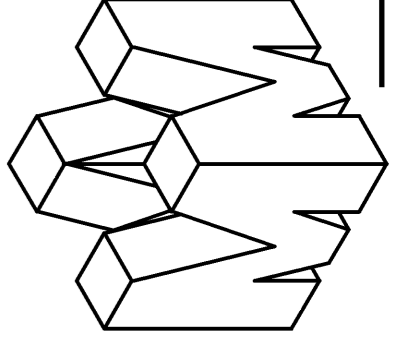
SECTION J-J SCALE: HORIZ. 1"=10' VERT. 1"=4'

PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-21
DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-20, L.S. 9212-EXPIRES 09-30-21

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

MISSION ENGINEERS, INC.

RESPONSIVE, RELIABLE RESULTS SINCE 1953
2355 De La Cruz Blvd. Santa Clara, California 95050
Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: mission@missionengineersinc.com



STORM DRAINAGE DETENTION SYSTEM
APN 558-41-020
19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA



REVISIONS

DATE	BY	DESCRIPTION
4/5/19	CH/KD/SS/PA	CHANGED H-H

SCALE	AS SHOWN
DATE	01-17-18
DWN	SS ME30
CH'KD	
JOB NO.	15070
DWG. NO.	L14691A-B

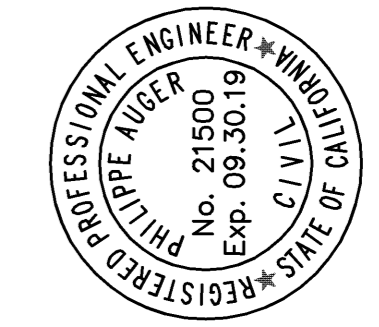
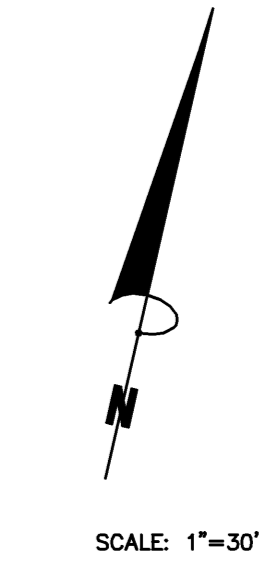
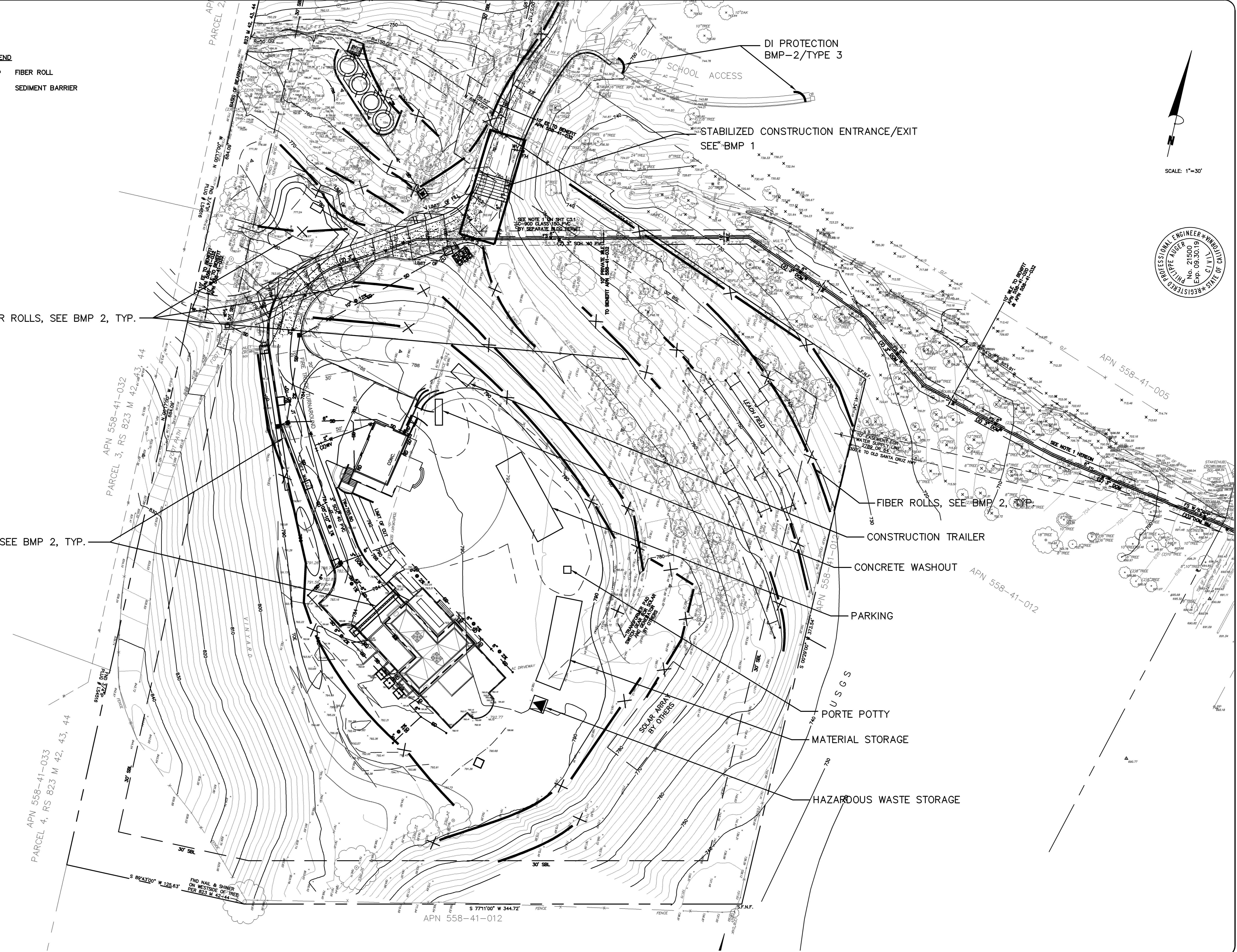
SHEET
C8
OF 14 SHEETS



- LEGEND**
-  FIBER ROLL
 -  SEDIMENT BARRIER

FIBER ROLLS, SEE BMP 2, TYP.

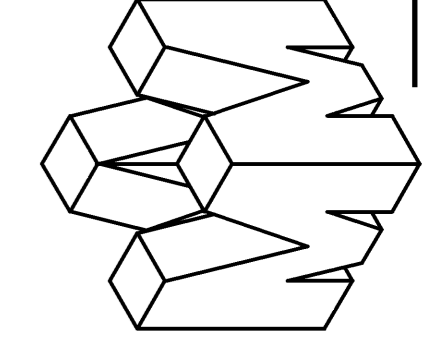
SEDIMENT BARRIERS, SEE BMP 2, TYP.



PHILIPPE AUGER, R.C.E. 21500—EXPIRES 9—30—19
 DANIEL NUNES, R.C.E. 76449—EXPIRES 12—31—20, L.S. 9212—EXPIRES 09—30—19

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

MISSION ENGINEERS, INC.
 RESPONSIVE, RELIABLE RESULTS SINCE 1953
 2355 De La Cruz Blvd. Santa Clara, California 95050
 Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: mission@missionengineersinc.com



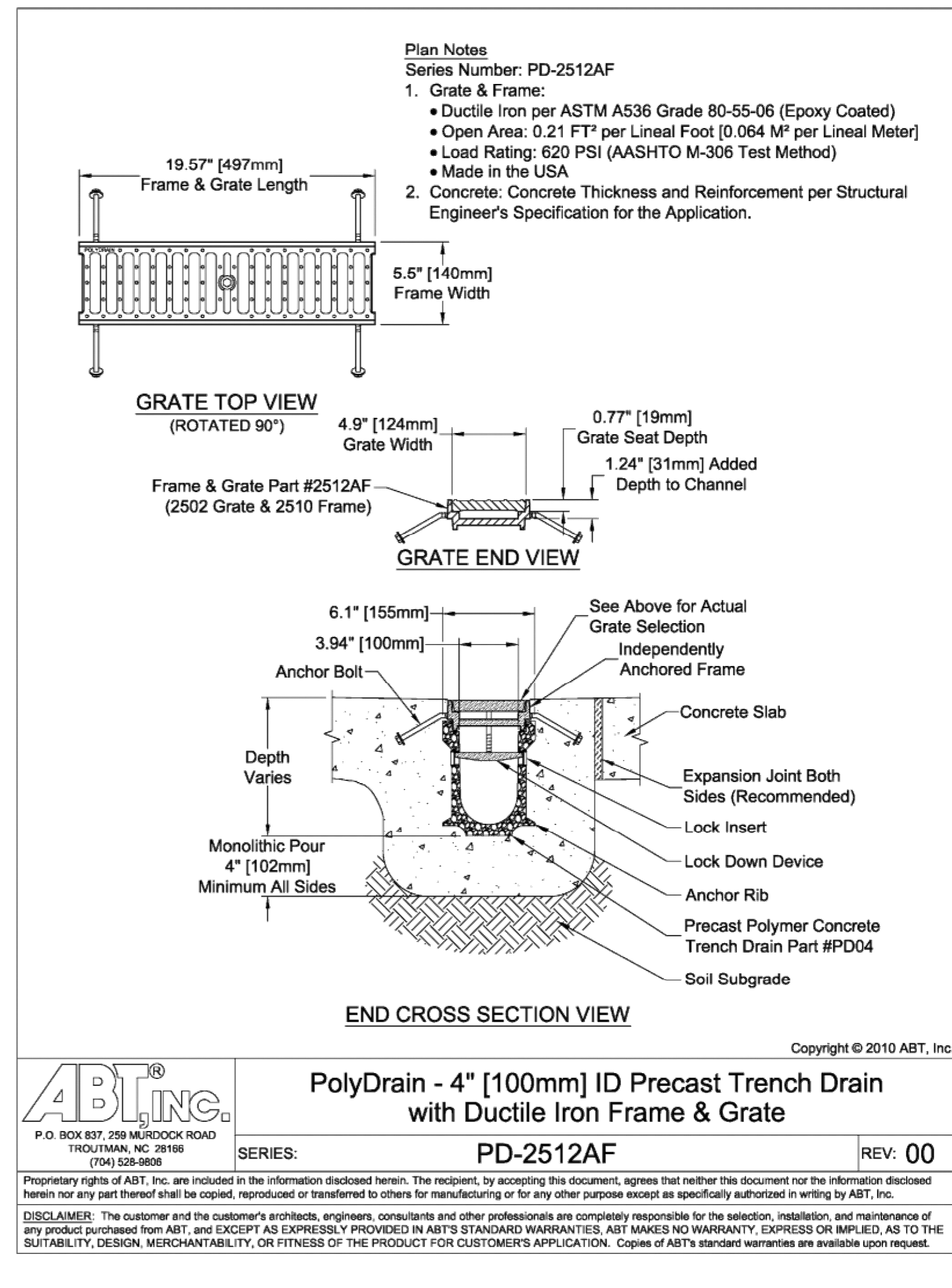
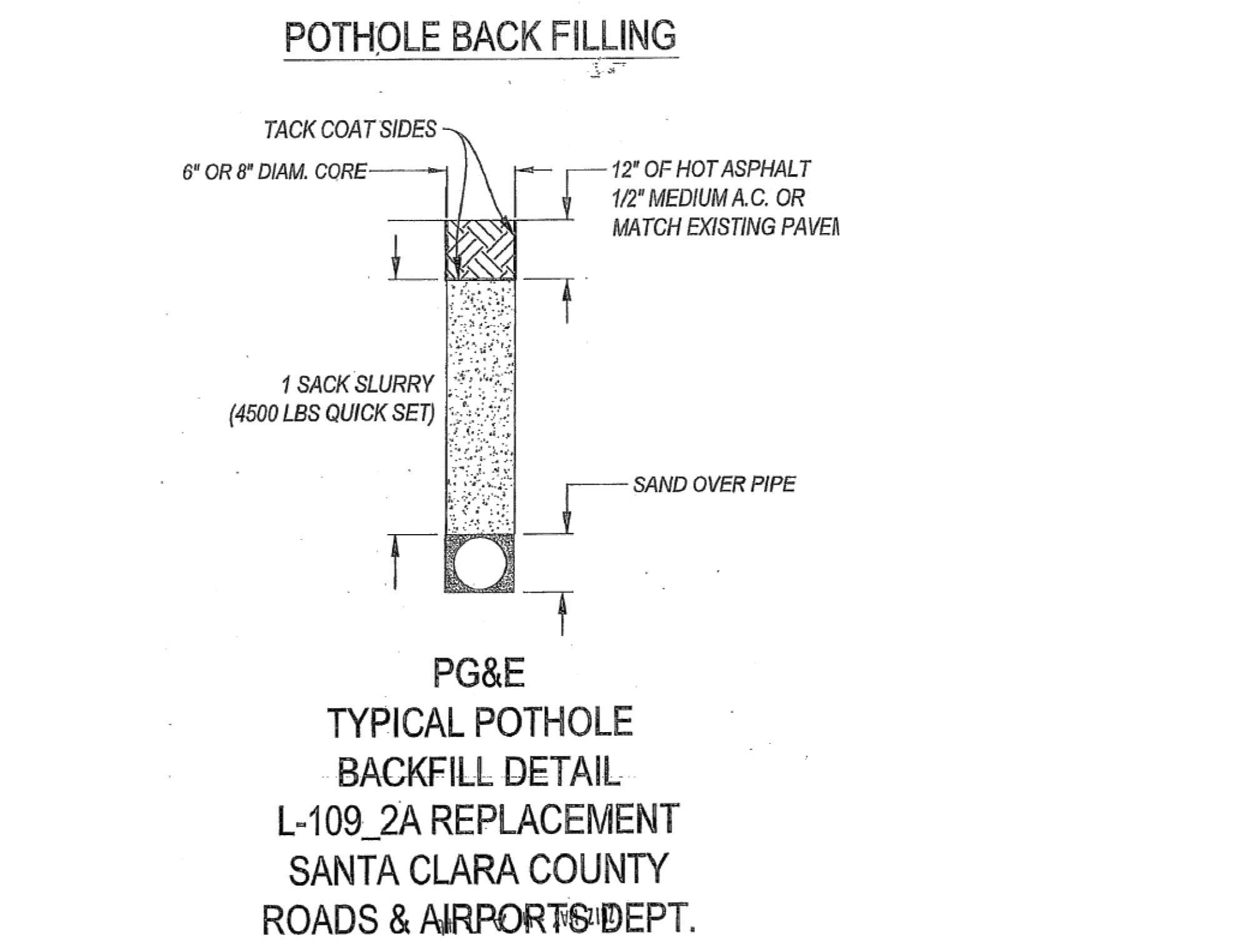
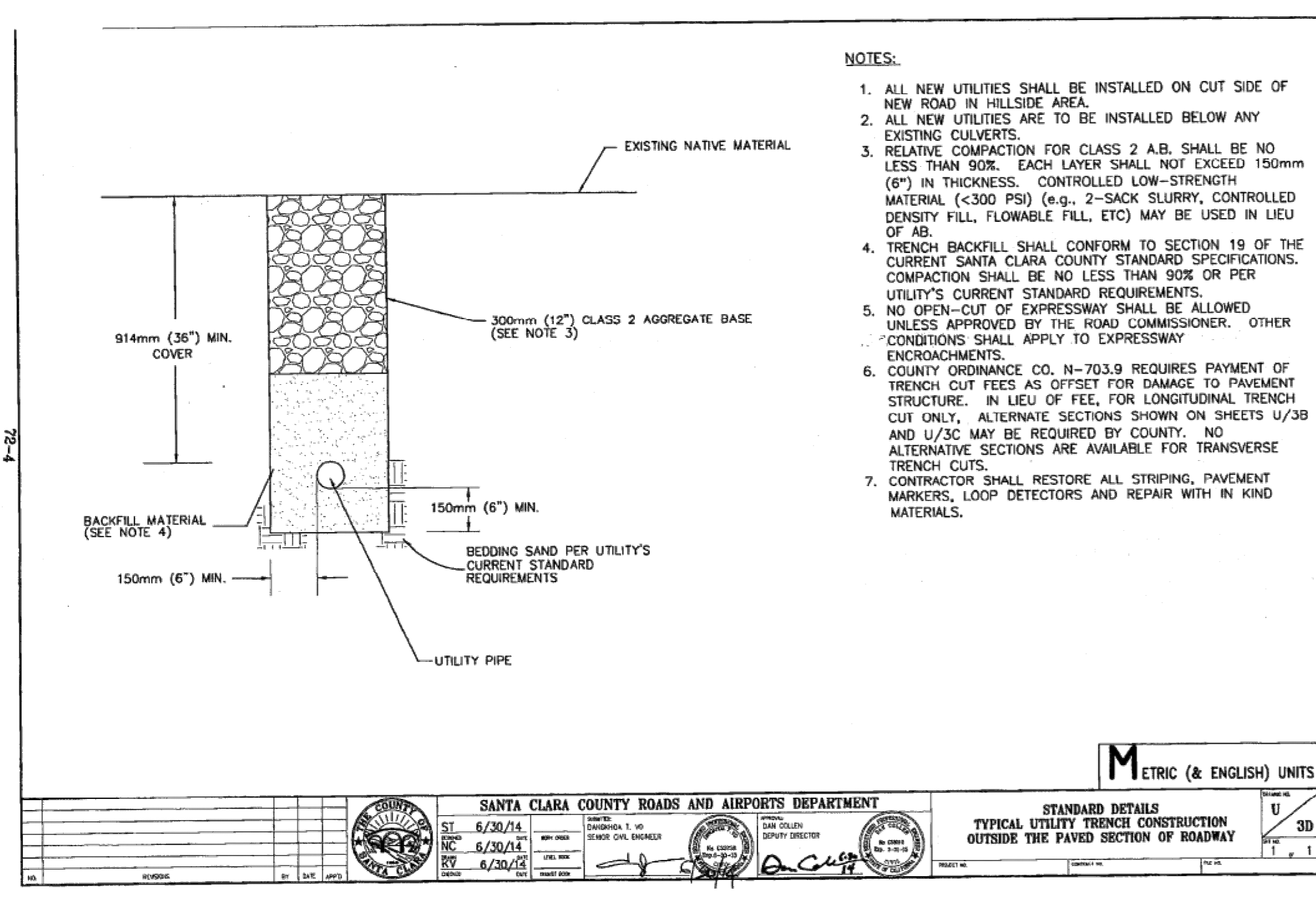
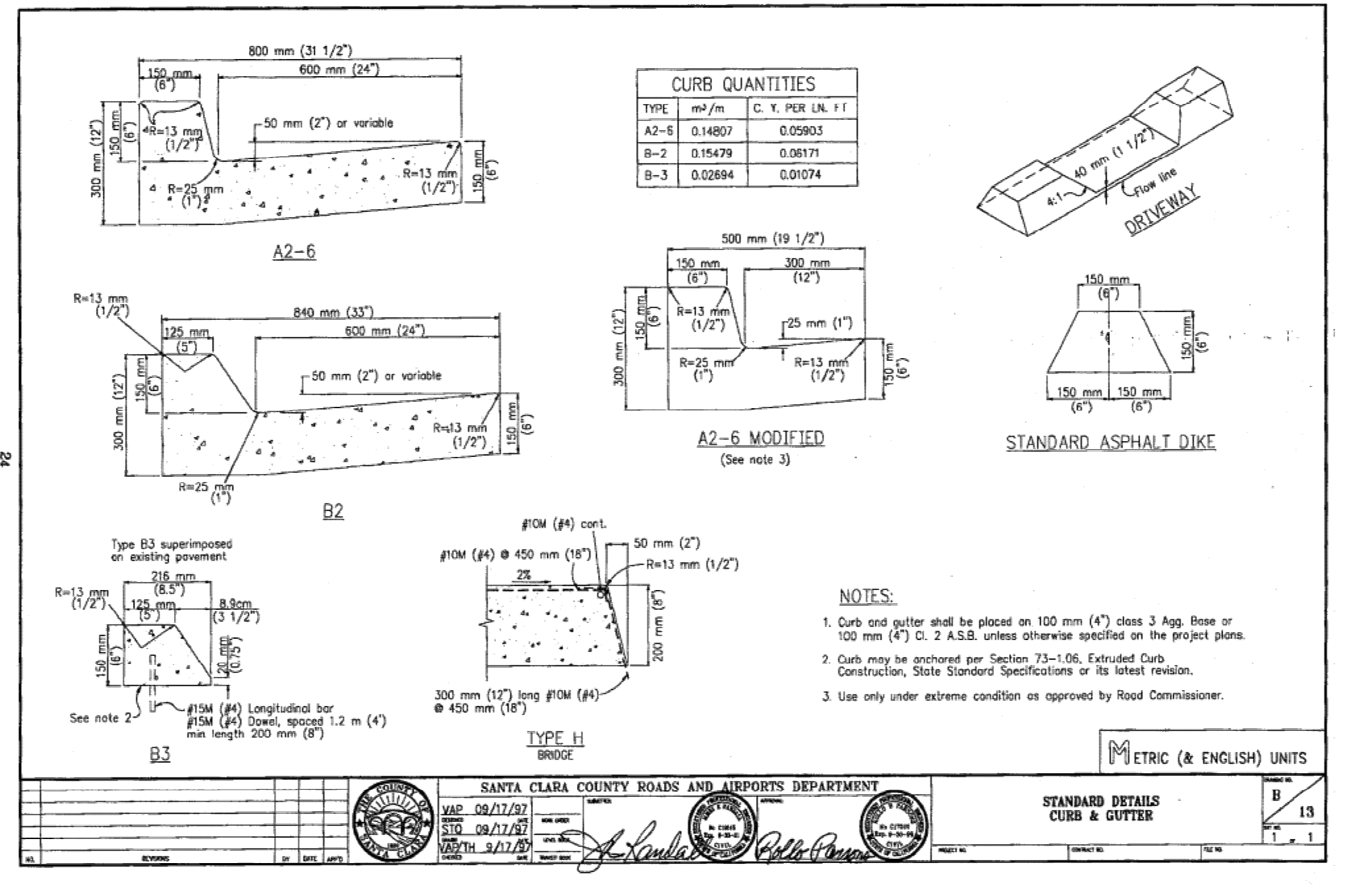
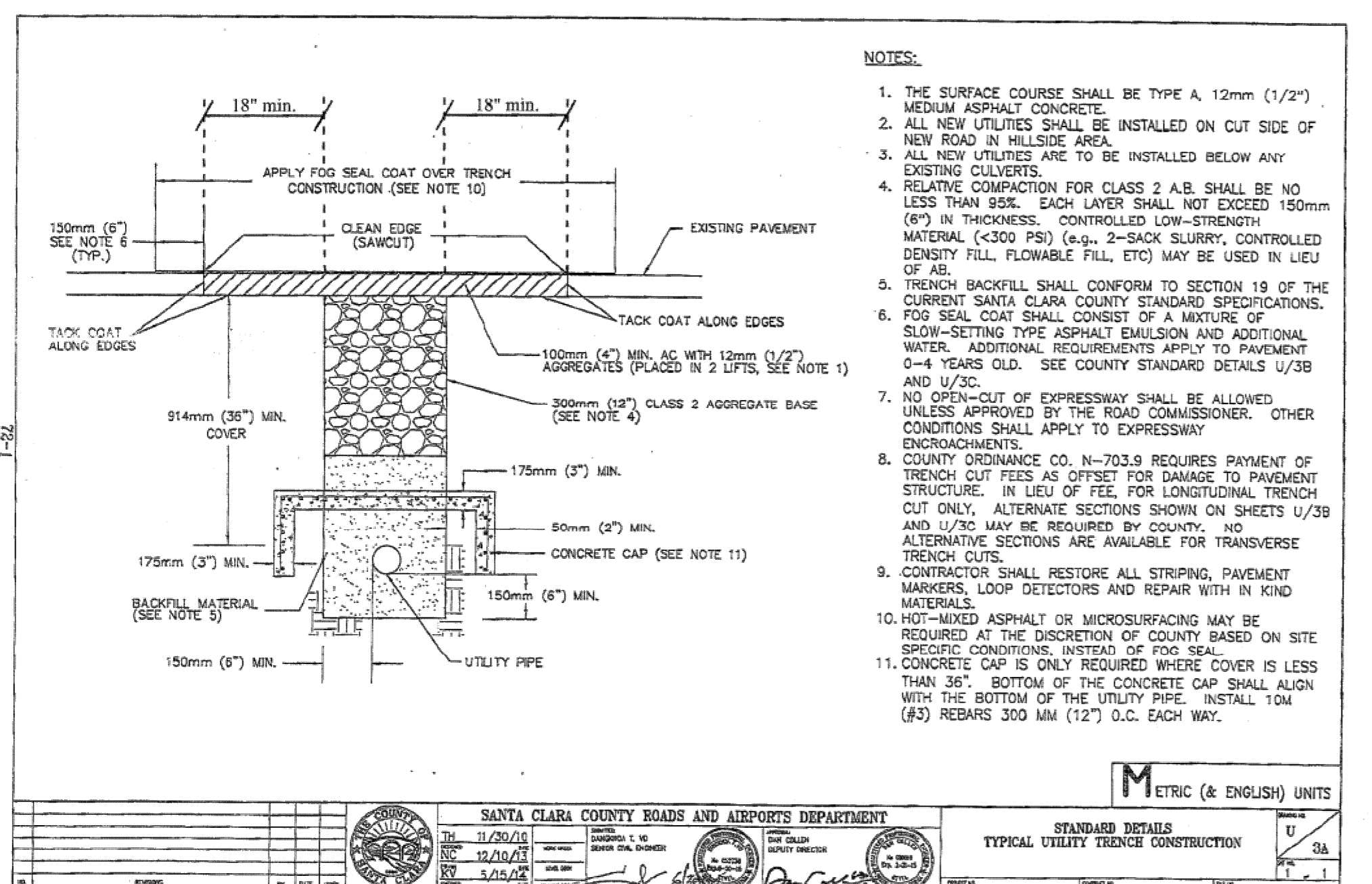
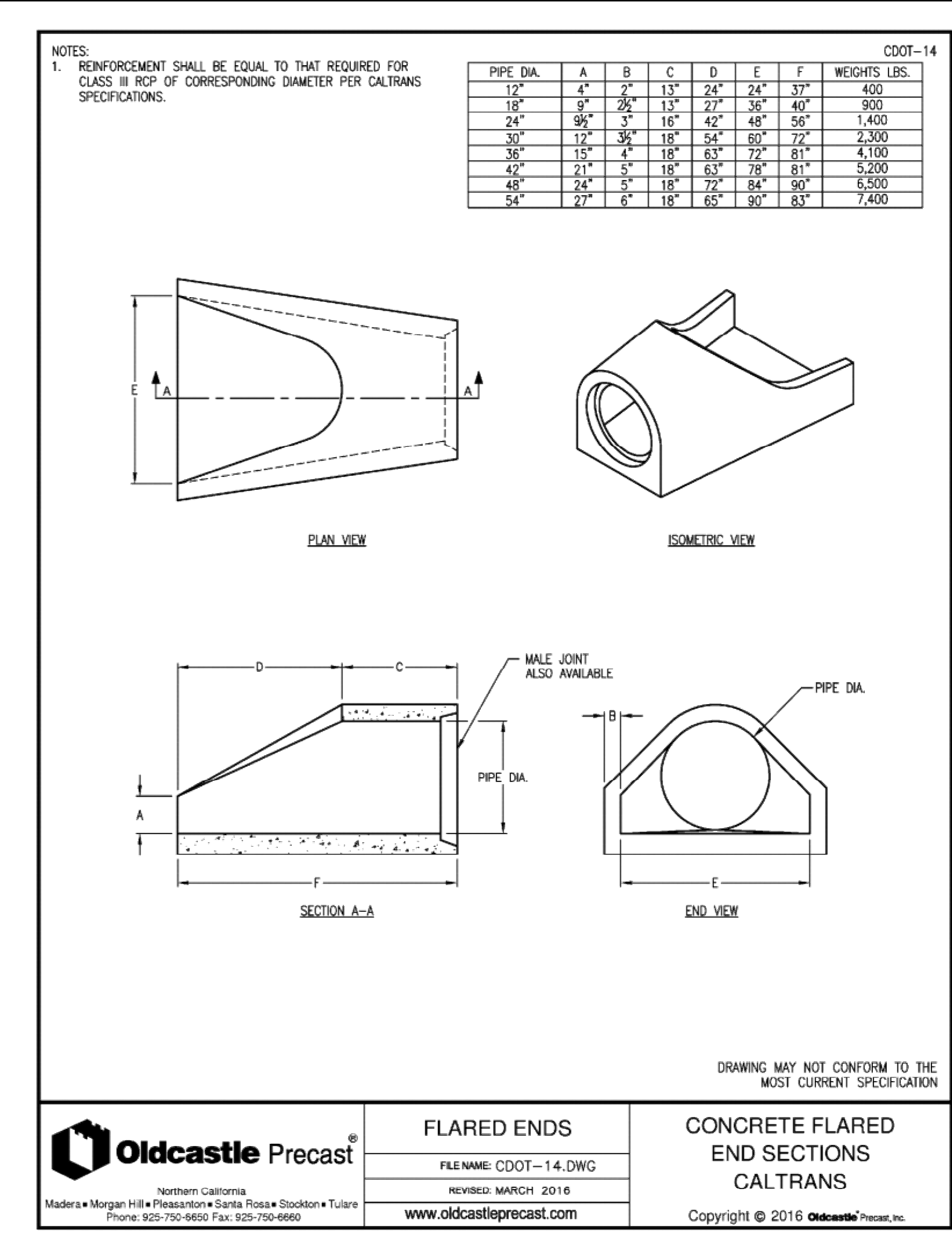
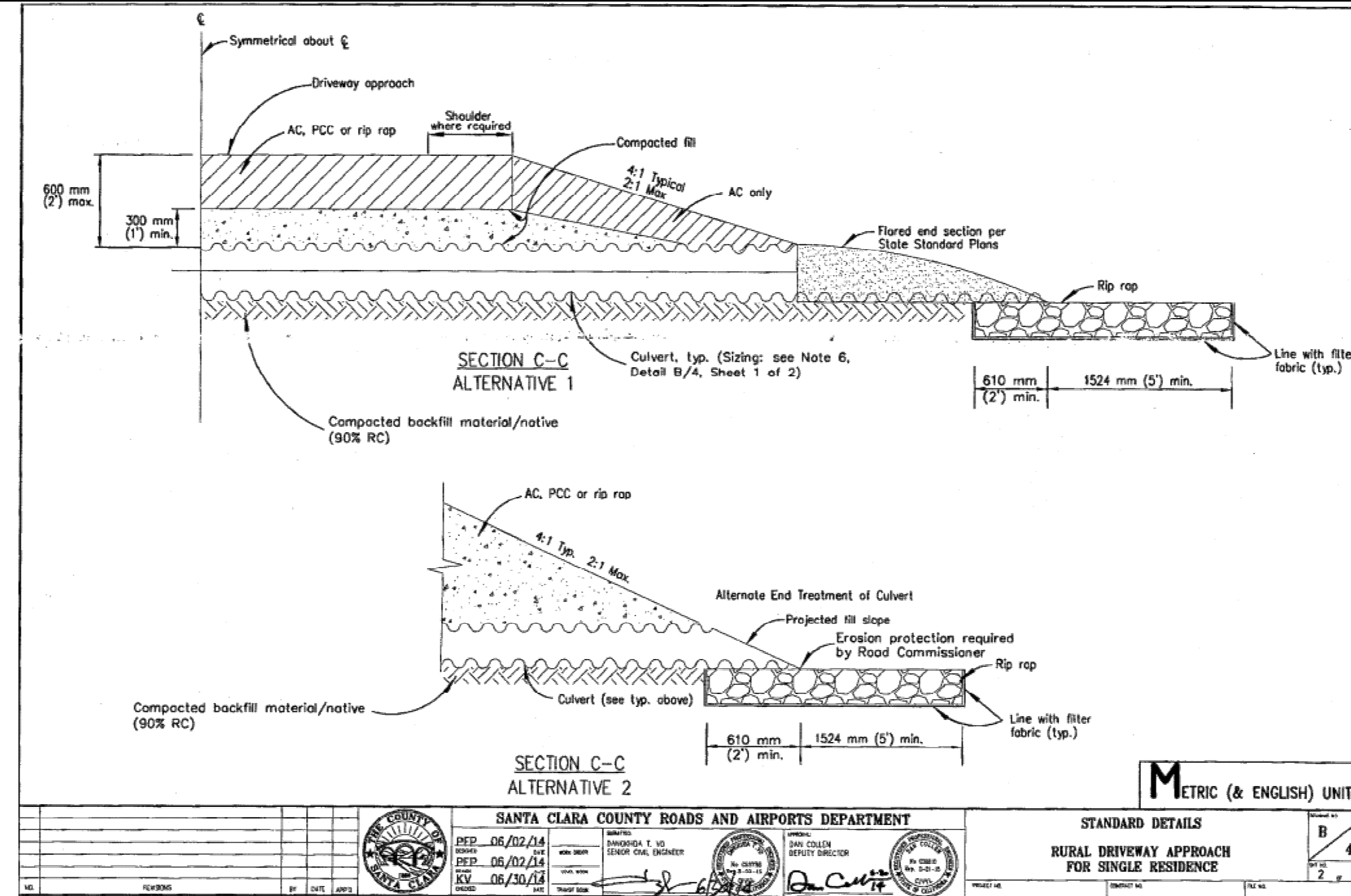
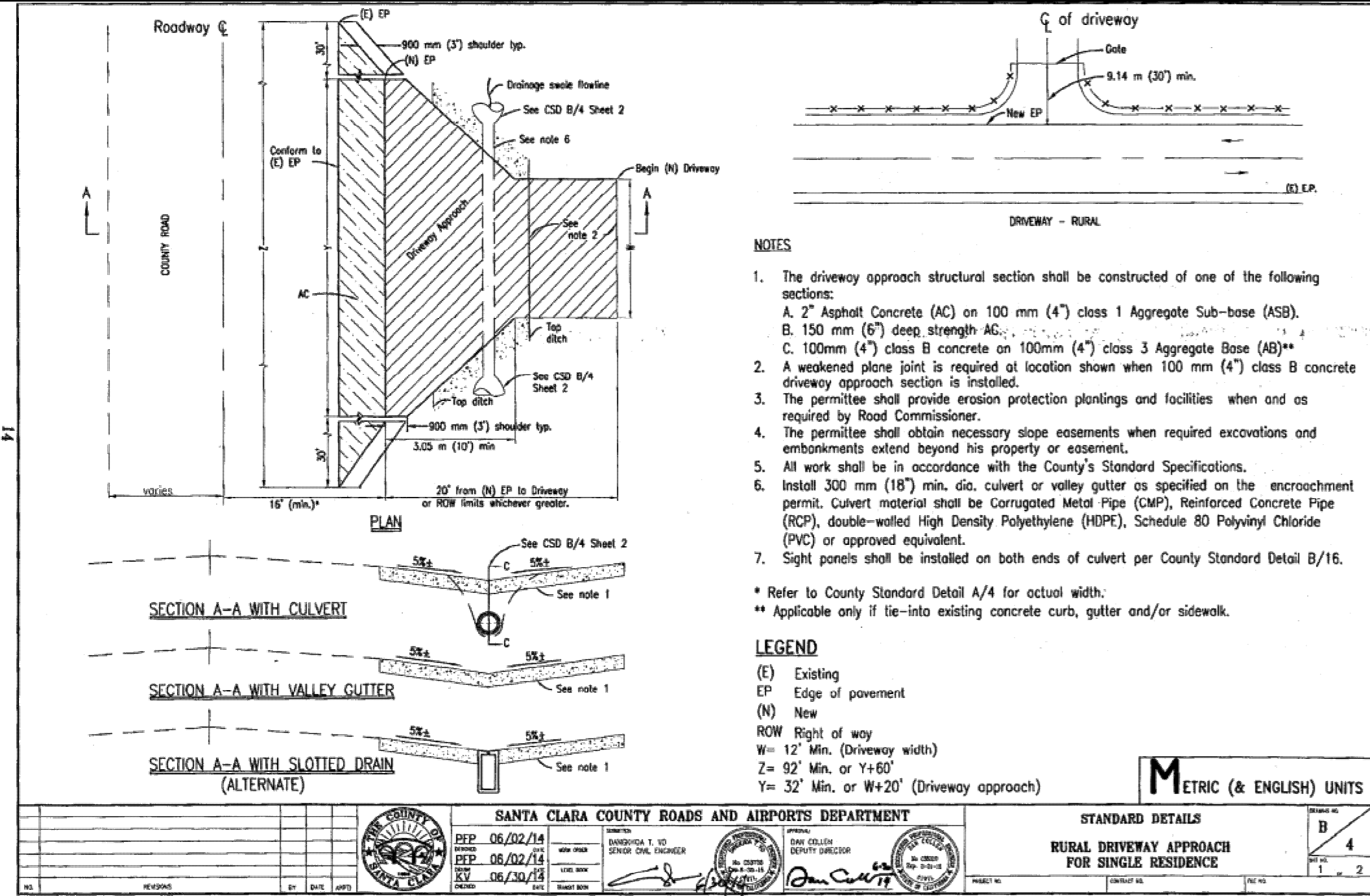
EROSION CONTROL PLAN
 APN 558-41-020
 19800 OLD SANTA CRUZ HWY, LOS GATOS
 IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS

DATE	BY	DESCRIPTION
	CH'KD	

SCALE 1"=30'
 DATE 12-22-17
 DWN SS ME30
 CH'KD
 JOB NO. 15070
 DWG. NO. L14691A-9

SHEET
C9
 OF 13 SHEETS



PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-19
DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-20, L.S. 9212-EXPIRES 09-30-19

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

MISSION ENGINEERS, INC.

RESPONSIVE, RELIABLE RESULTS SINCE 1953

2555 De La Cruz Blvd. Santa Clara, California 95050
Ph: (408) 727-8262 FAX: (408) 727-8295 E-mail: mission@missionengineersinc.com

DETAILS
APN 558-41-020
19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA

DATE	BY	DESCRIPTION
3/29/19	CH/KD	ADDED DETAILS

SCALE AS SHOWN
DATE 12-22-17
DWN SS ME30
CH/KD
JOB NO. 15070
DWG. NO. L14691A-10

SHEET
C10
OF 14 SHEETS

SEE SHEET C2

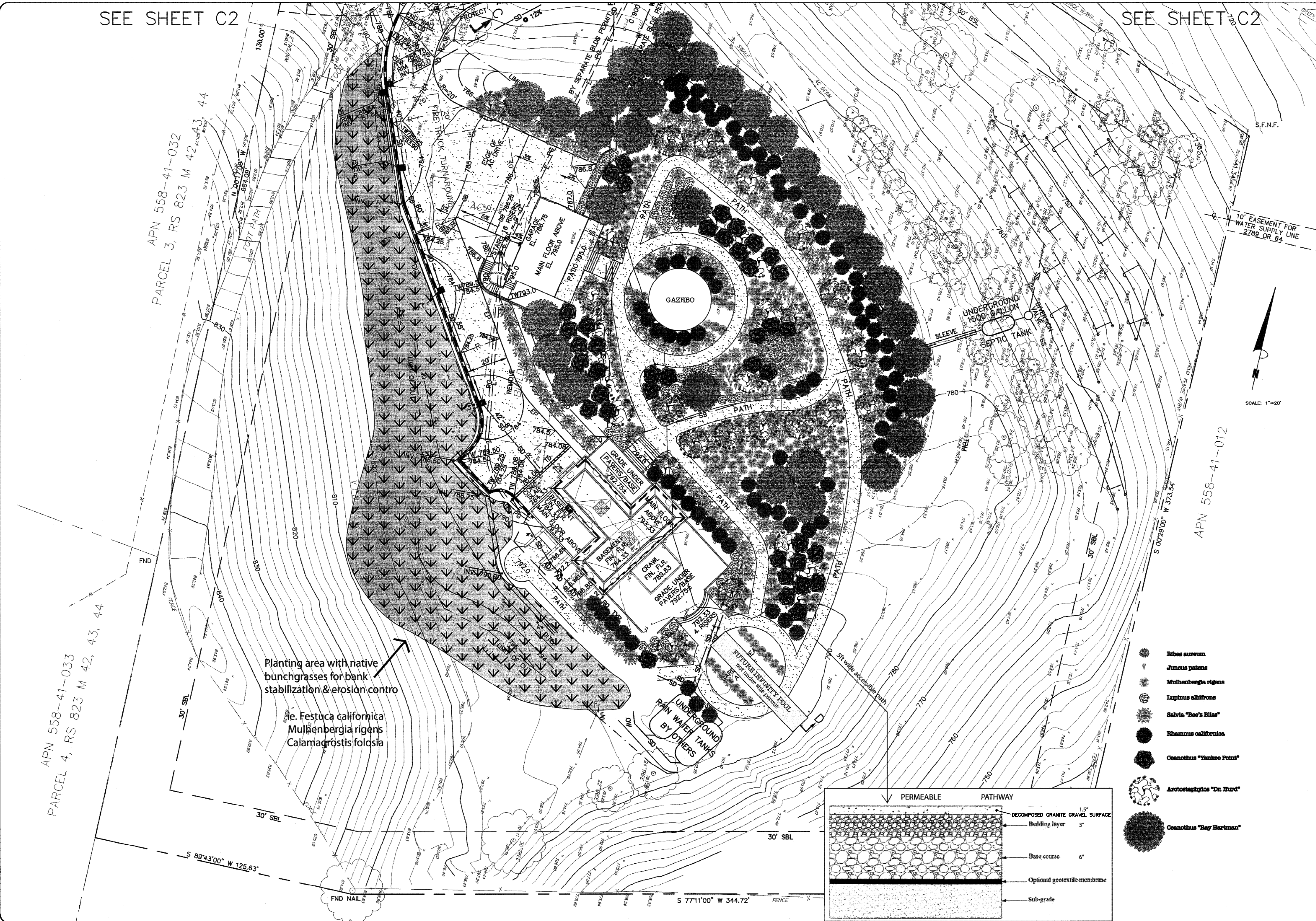
SEE SHEET C2

May 2017

Planting Plan

SCALE 1" = 20'

Ingram-Cauchhi Residence
19800 Old Santa Cruz Hwy
Los Gatos in the County of Santa Clara



APN 558-41-033
PARCEL 4, RS 823 M 42, 43, 44

APN 558-41-032
PARCEL 3, RS 823 M 42, 43, 44

APN 558-41-012

APPLICANT: INGRAM-CAUCHI

ROAD NAME: OLD SANTA CRUZ HWY

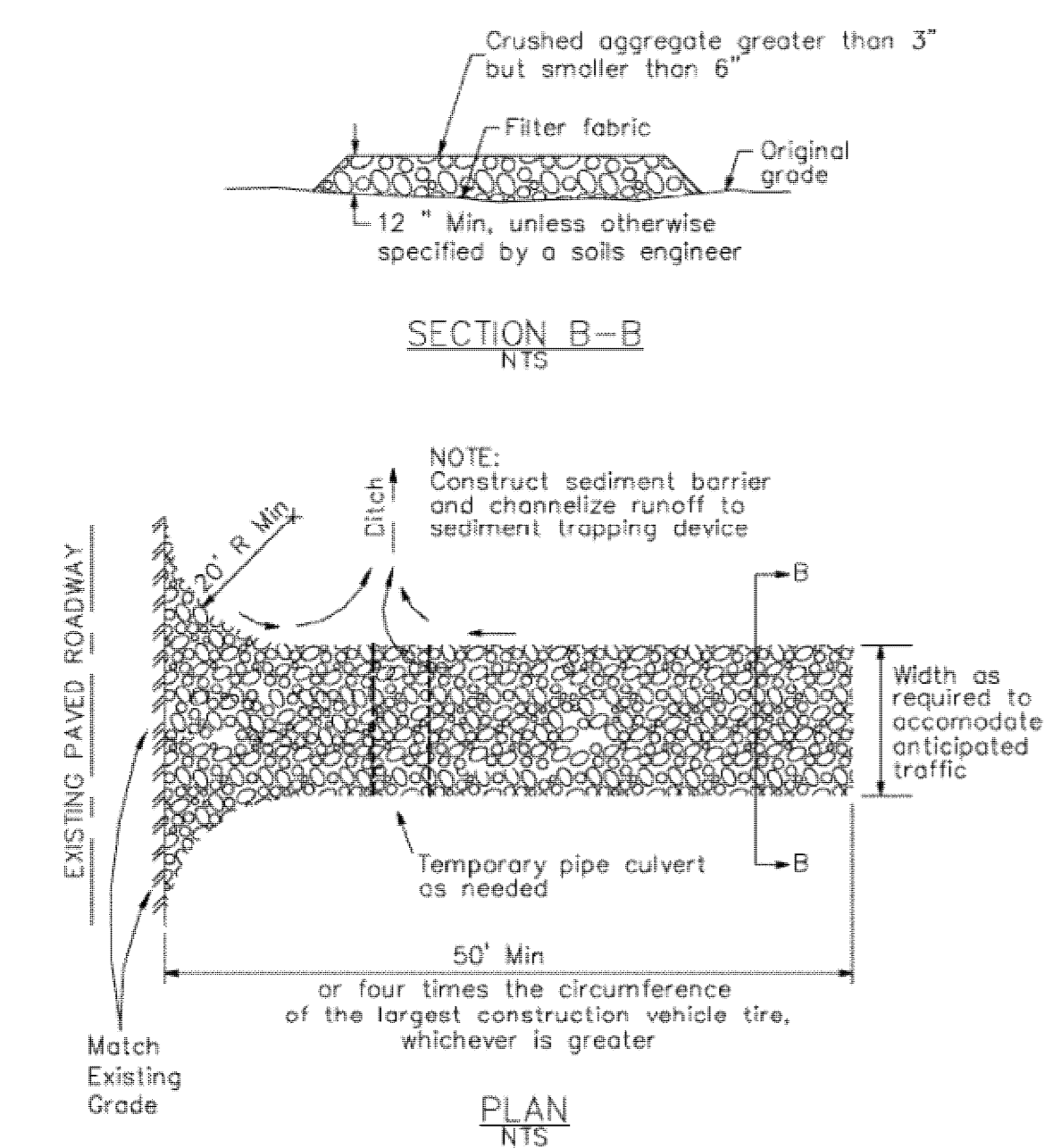
COUNTY FILE NO.: 10735-15B-15G



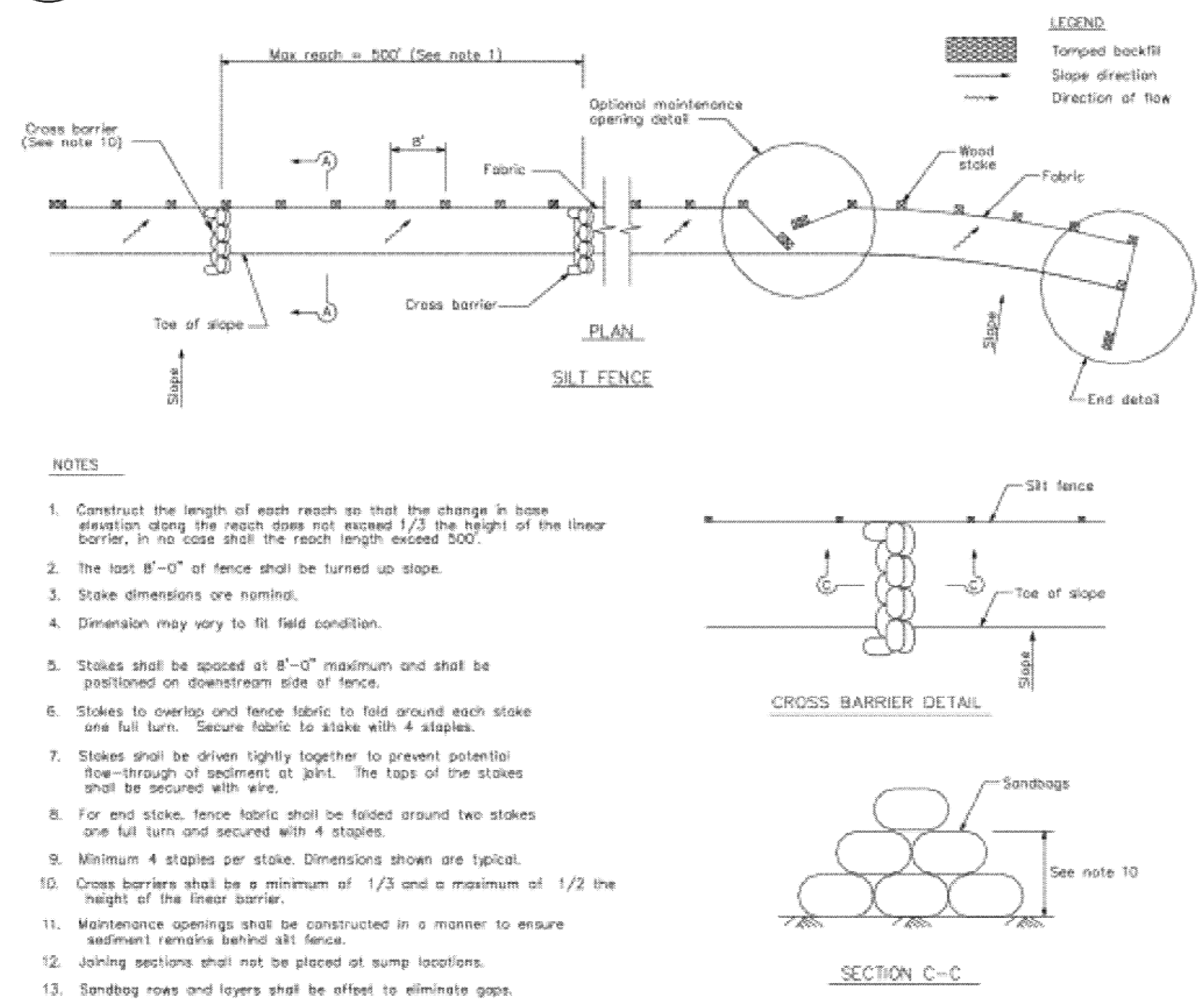
1231 N 1st St
San Jose, CA 95112
info@baymaples.com
408.642.1860
LIC # 977639



3 Stabilized Construction Entrance/Exit
CASQA Detail TC-1



1 Silt Fence
CASQA Detail SE-1



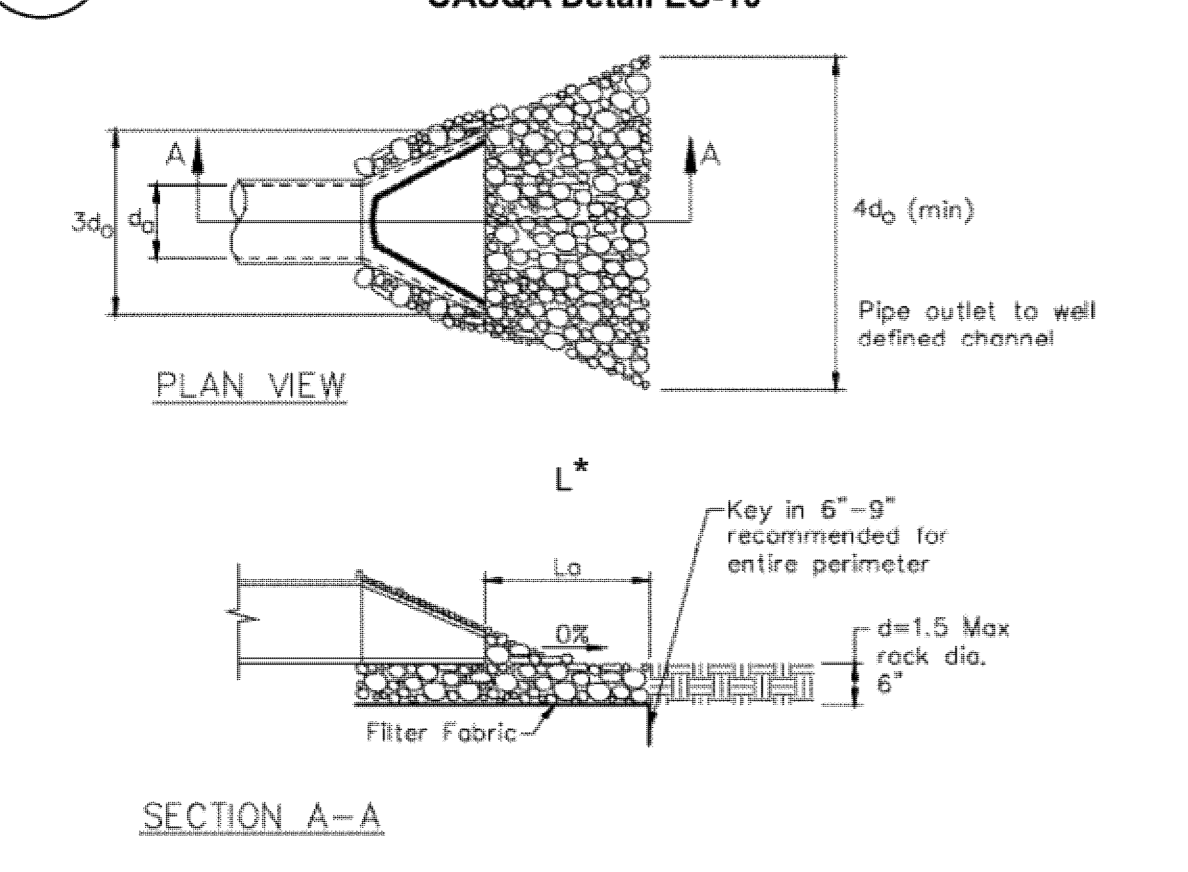
STANDARD BEST MANAGEMENT PRACTICE NOTES

- Solid and Demolition Waste Management:** Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or latest.
- Hazardous Waste Management:** Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- Spill Prevention and Control:** Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
- Vehicle and Construction Equipment Service and Storage:** An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
- Material Delivery, Handling and Storage:** In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- Handling and Disposal of Concrete and Cement:** When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
- Pavement Construction Management:** Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- Contaminated Soil and Water Management:** Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
- Sanitary/Septic Water Management:** Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
- Inspection & Maintenance:** Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

STANDARD EROSION CONTROL NOTES

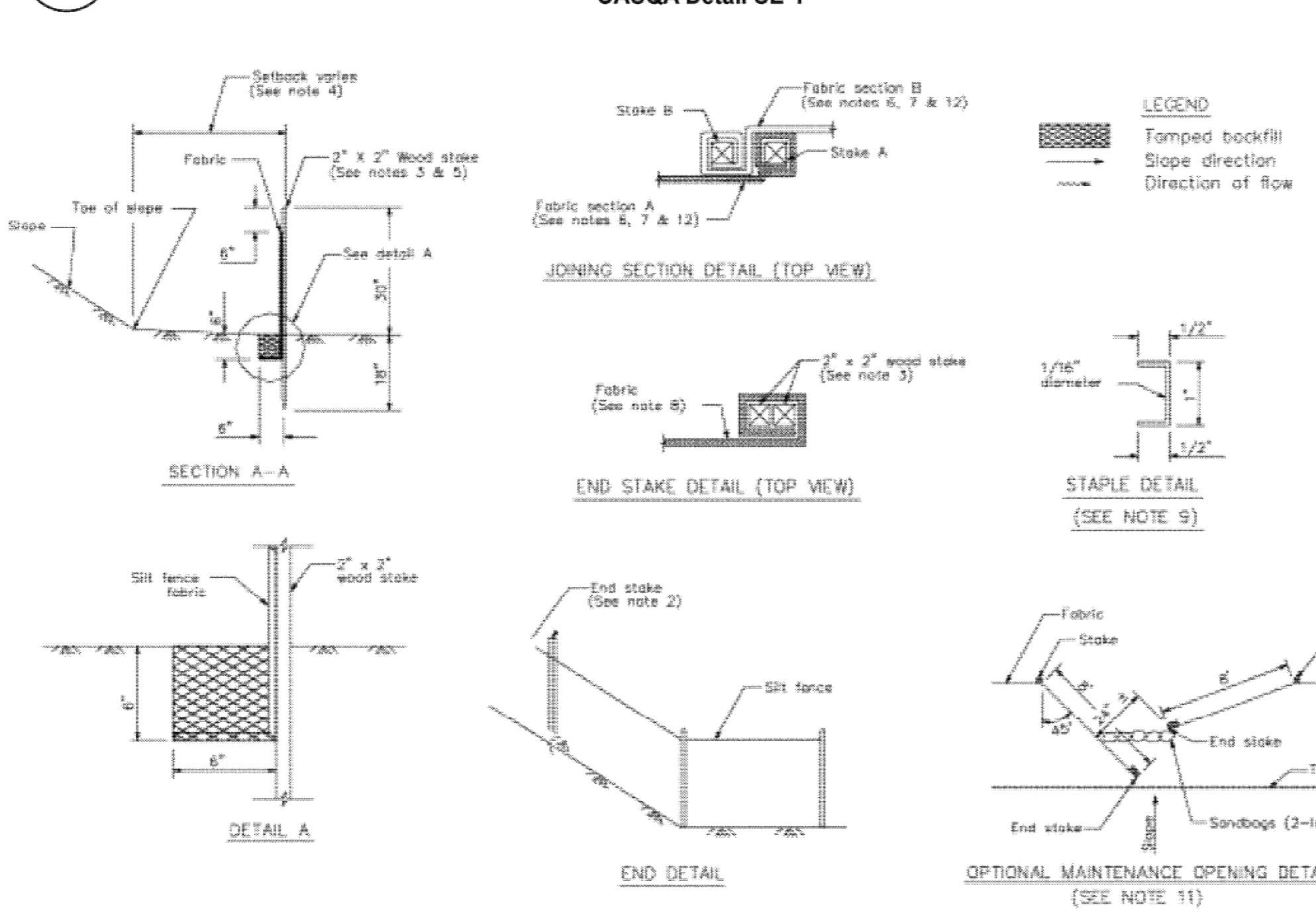
- Sediment Control Management:**
 - Tracking Prevention & Clean Up:** Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.
 - Storm Drain Inlet and Catch Basin Inlet Protection:** All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber roles or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.
 - Storm Water Runoff:** No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.
 - Dust Control:** The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.
 - Stockpiling:** Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures (tarps, straw bales, silt fences, ect.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.
- Erosion Control:** During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
- Inspection & Maintenance:** Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- Project Completion:** Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

4 Velocity Dissipation Devices
CASQA Detail EC-10



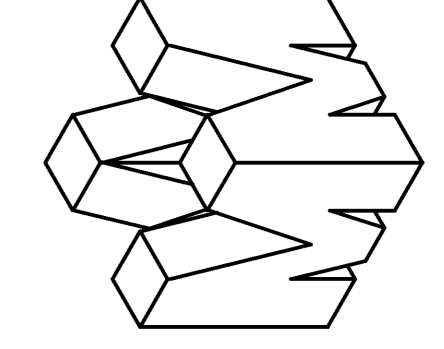
* Length per ABAG Design Standards

2 Silt Fence
CASQA Detail SE-1



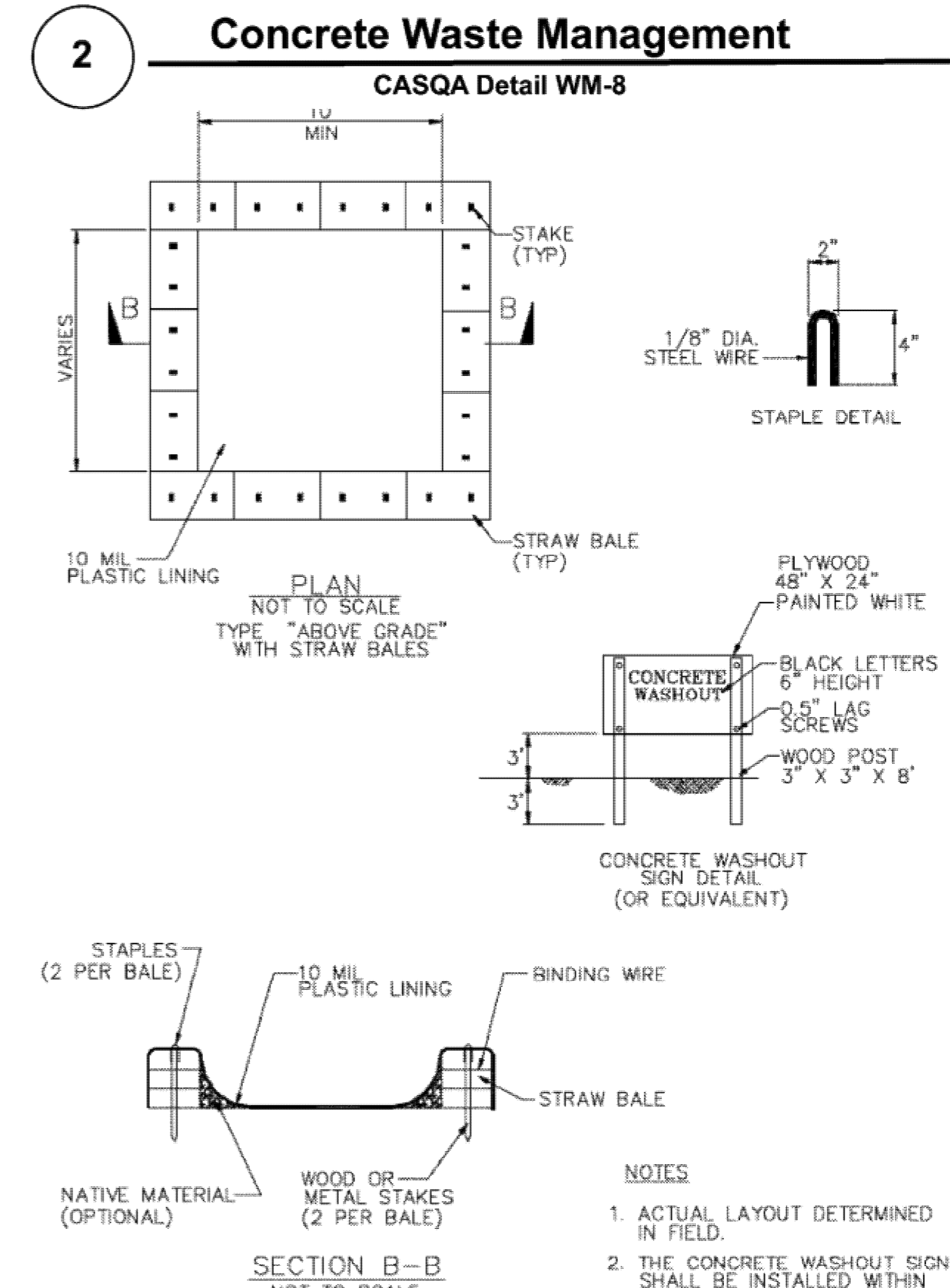
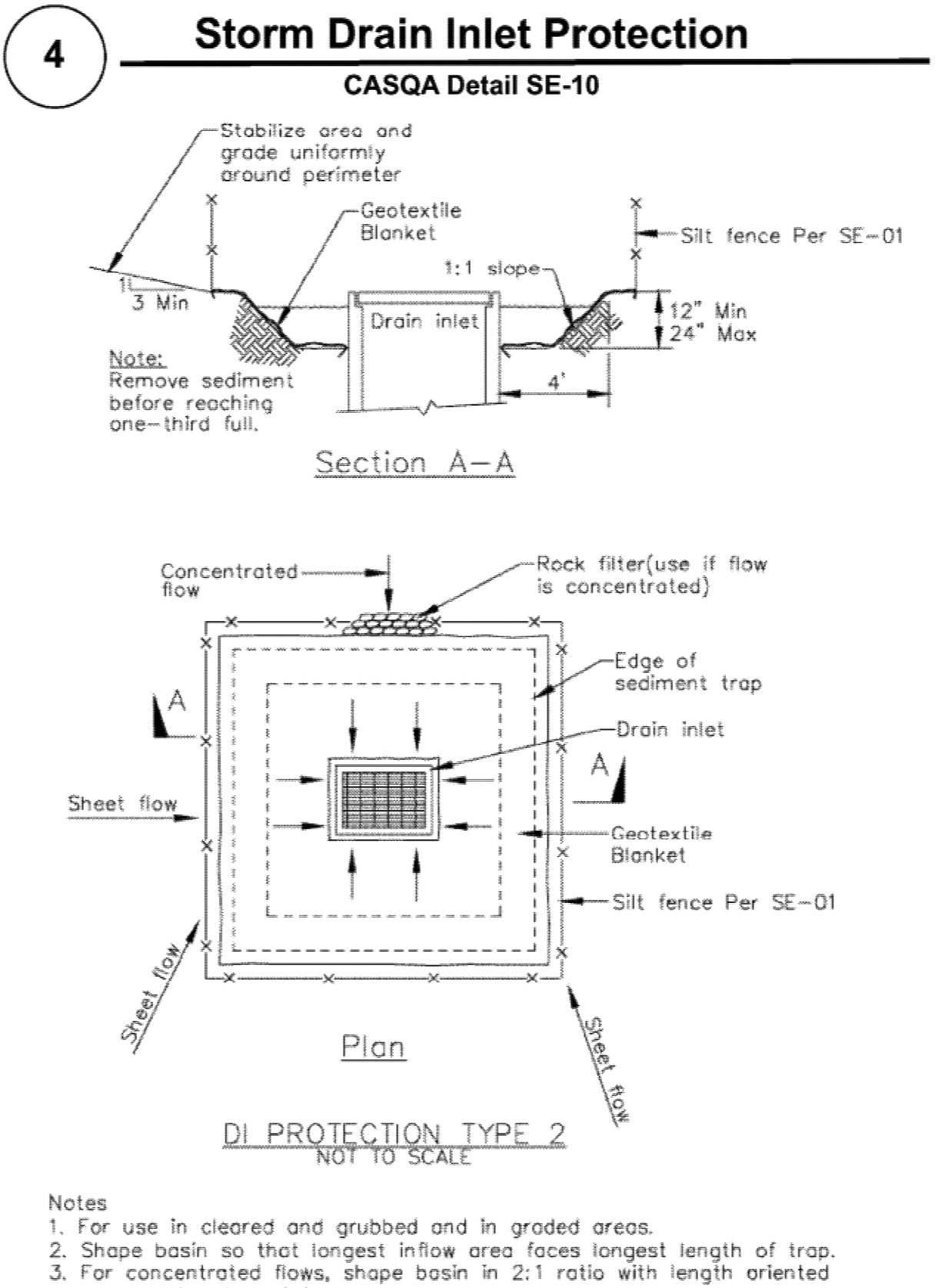
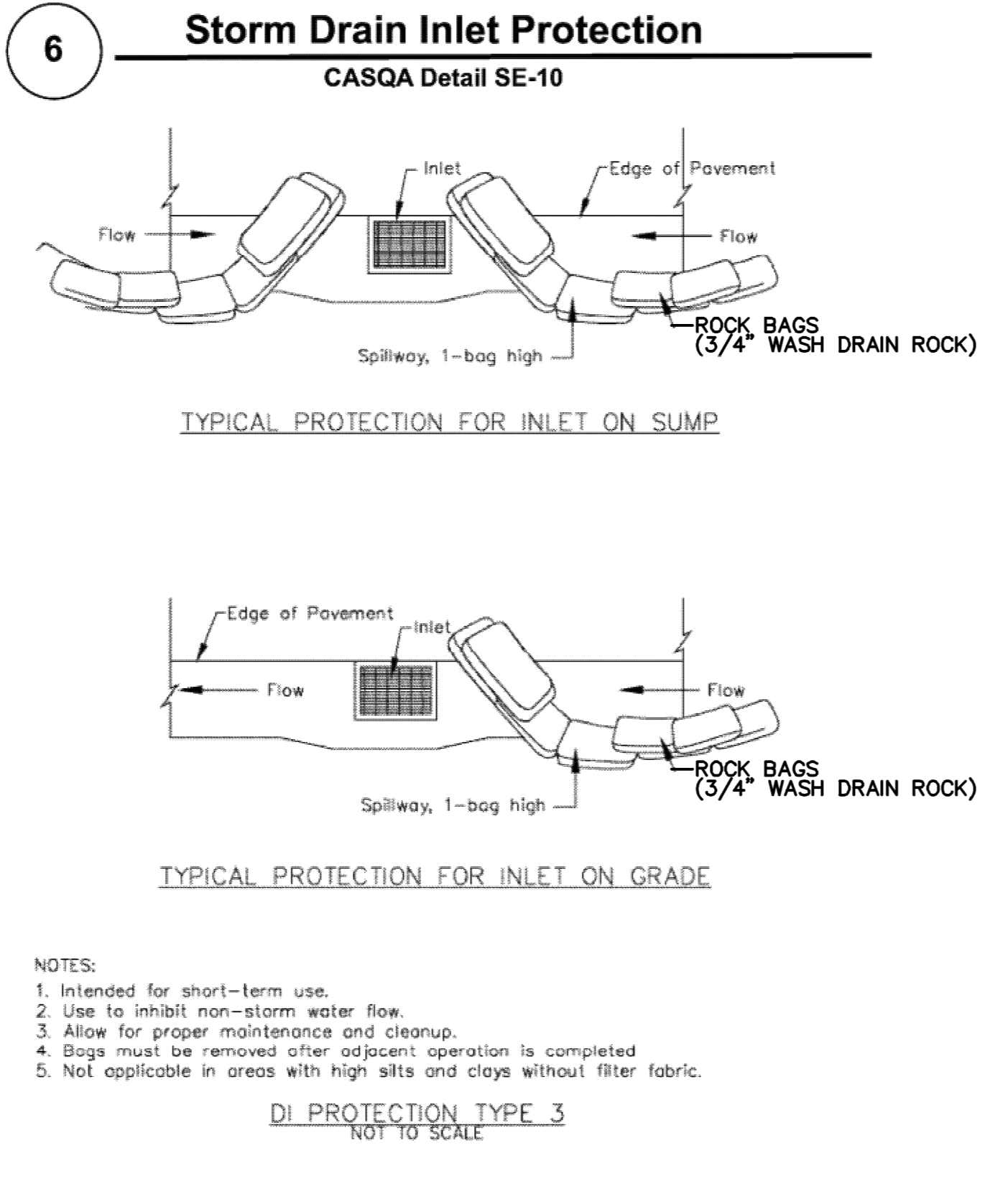
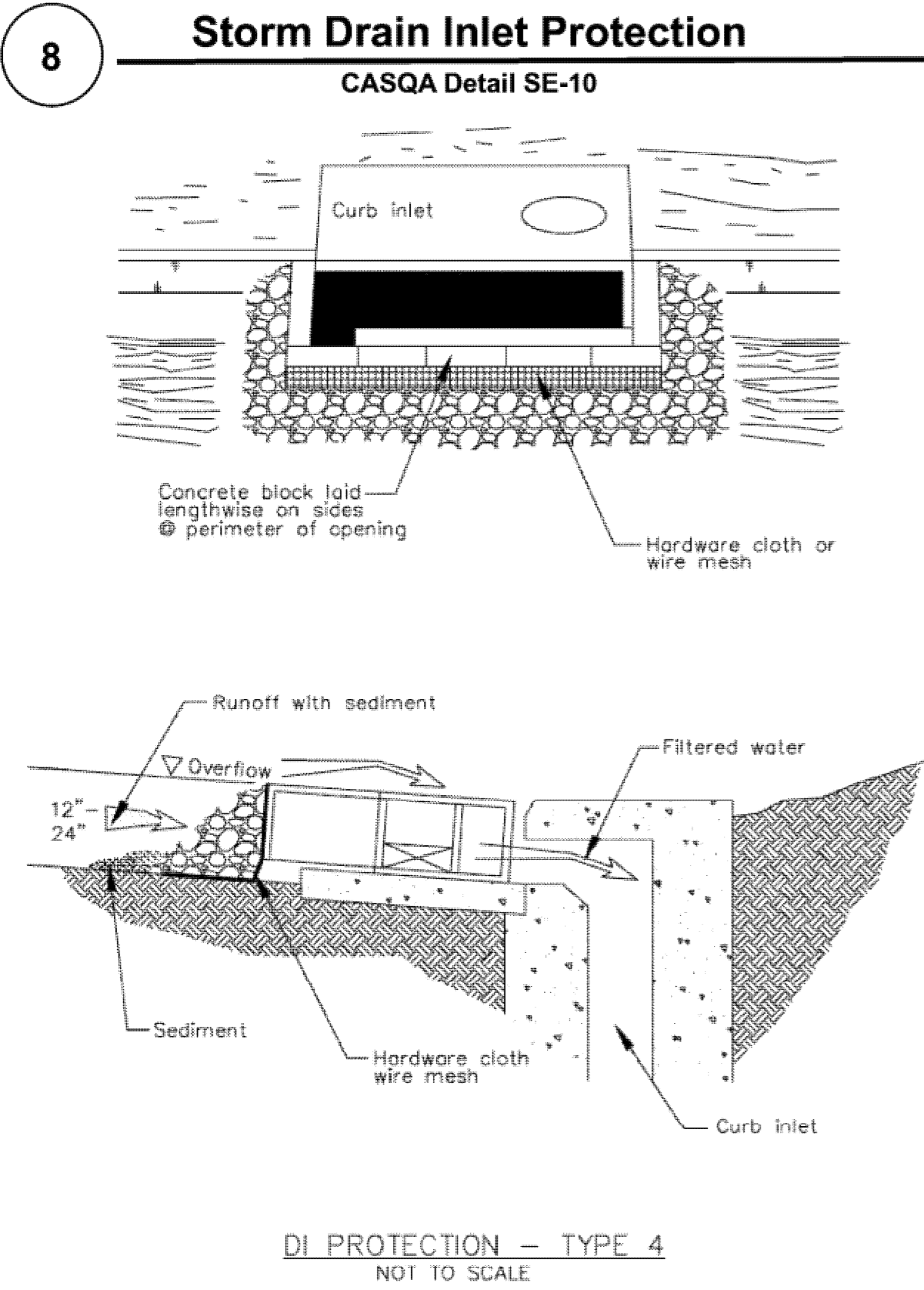
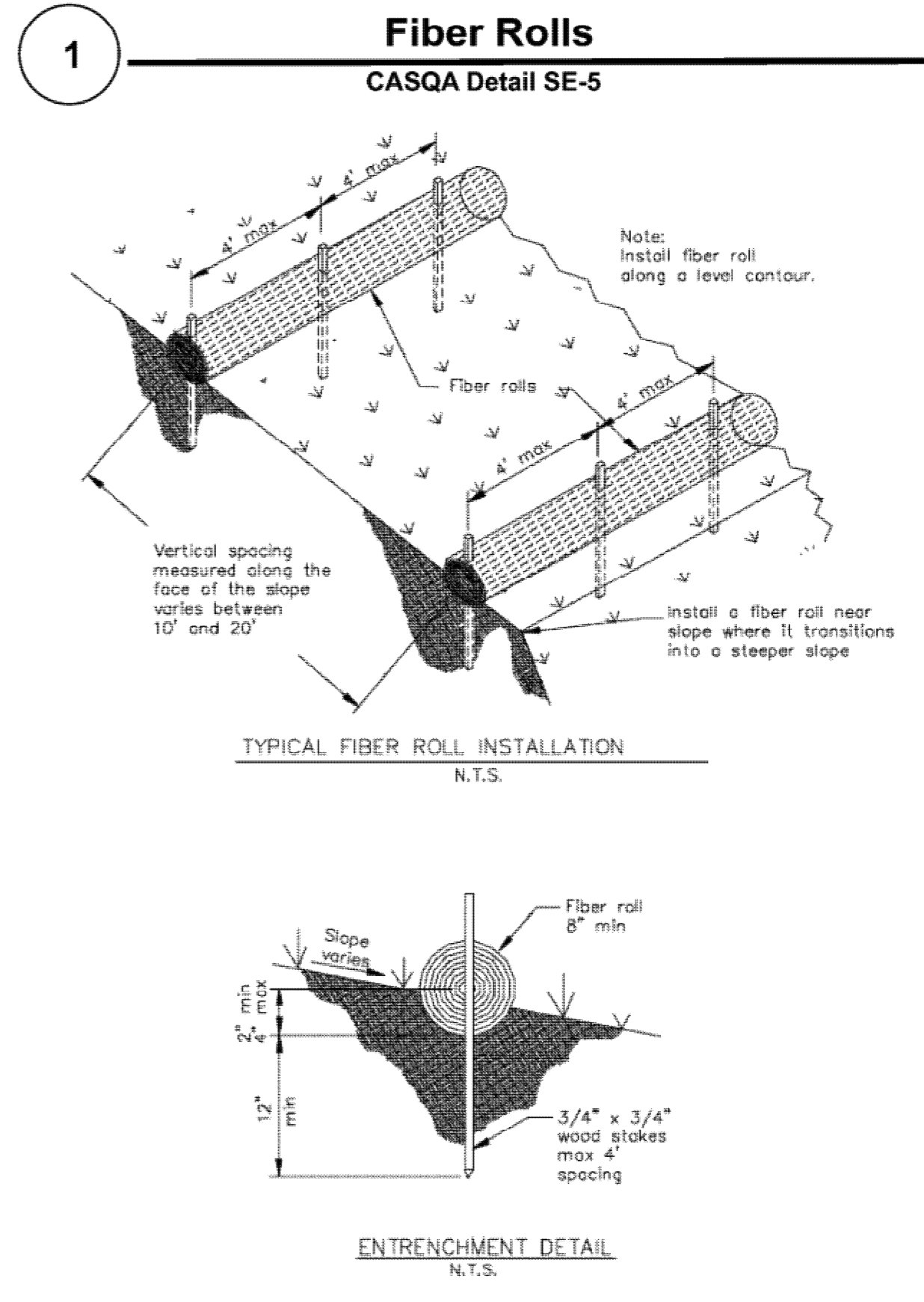
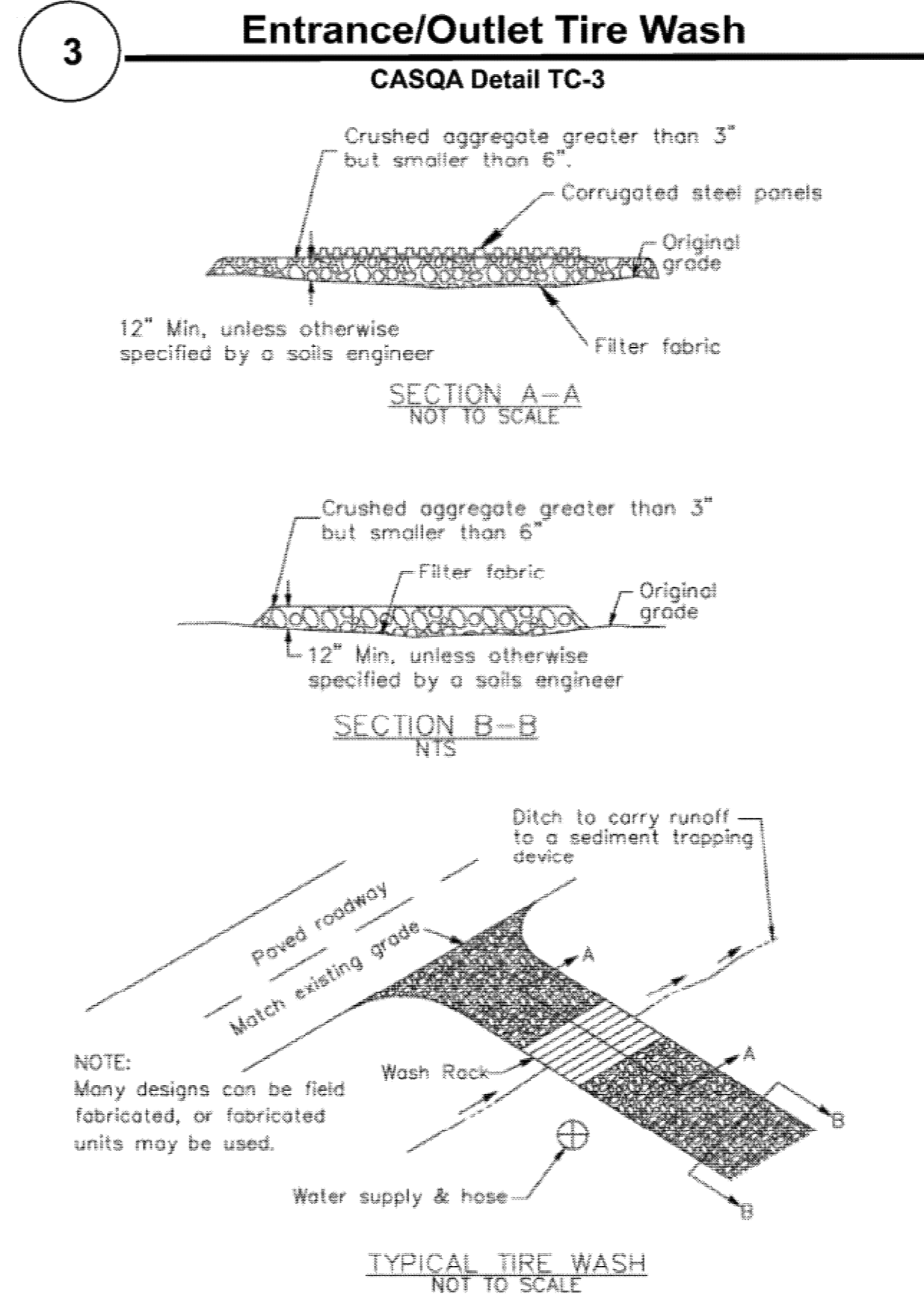
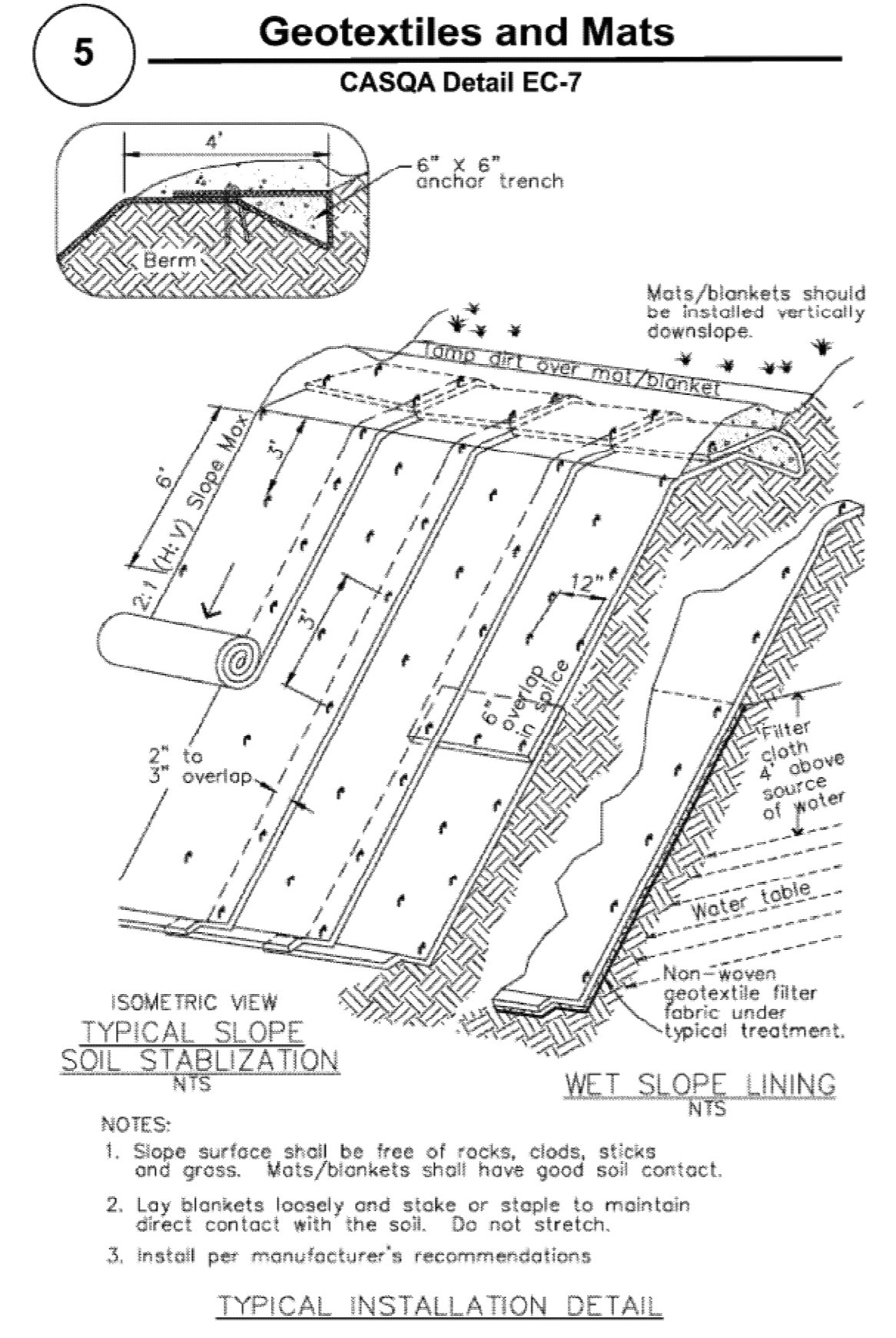
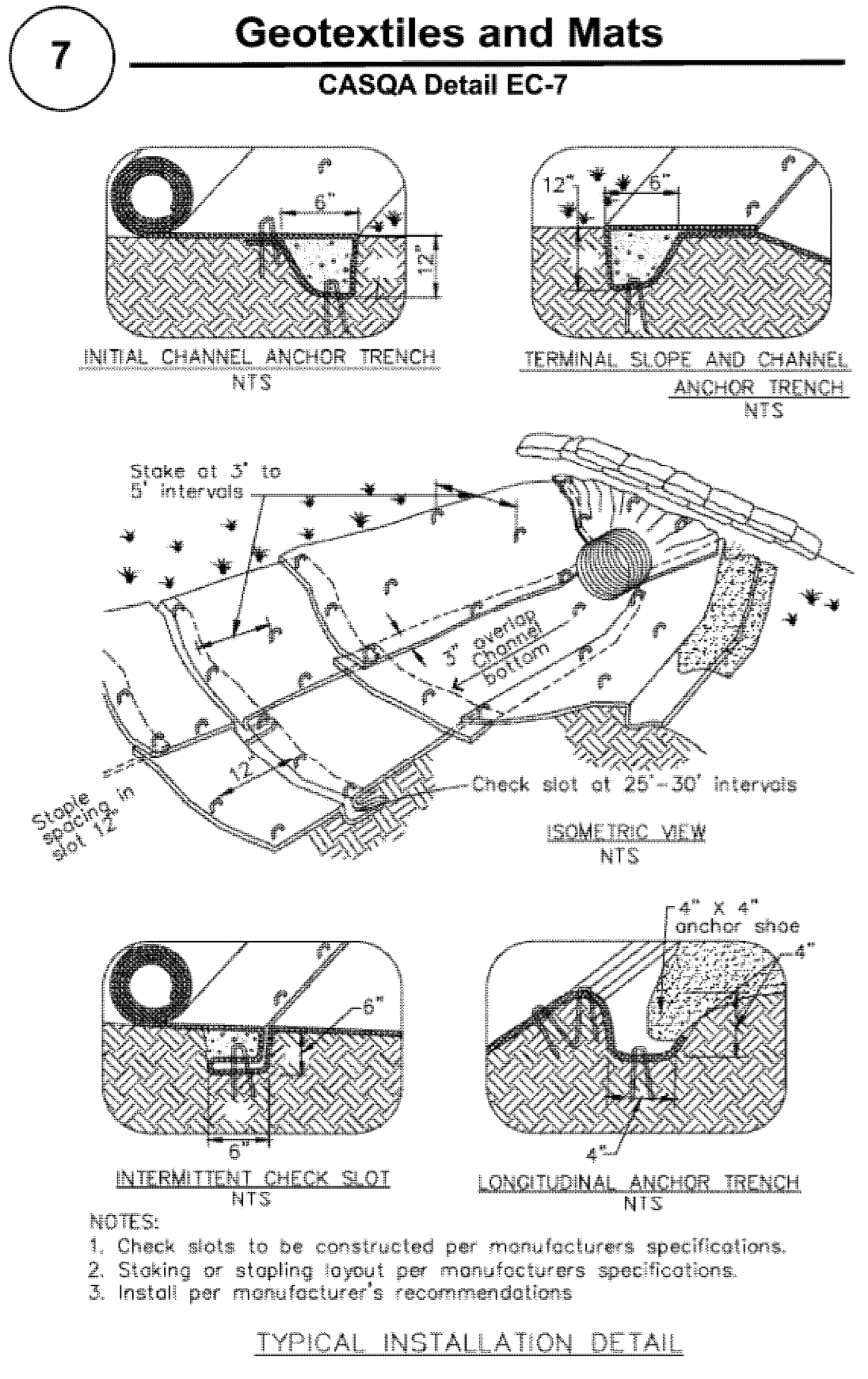
Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-19
DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-20, L.S. 9212-EXPIRES 09-30-19
PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING
MISSION ENGINEERS, INC.
RESPONSIVE, RELIABLE RESULTS SINCE 1953
2355 De La Cruz Blvd., Santa Clara, California 95050
Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: mission@missionengineersinc.com



Project Information
EROSION CONTROL PLAN
APN 558-41-020
19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA





Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.
Available from www.cabmphandbooks.com.

PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-19
DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-20, L.S. 9212-EXPIRES 09-30-19

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

MISSION ENGINEERS, INC.

RESPONSIVE, RELIABLE RESULTS SINCE 1953
2355 De La Cruz Blvd., Santa Clara, California 95050
Ph: (408) 727-8262 FAX: (408) 727-8262 E-mail: mission@missionengineersinc.com

Project Information

EROSION CONTROL PLAN
APN 558-41-020
19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA



ATTACHMENT 22

Project No. SCL11132
12 September 2020

MRS. ALEXA INGRAM-CAUCHI
19800 Old Santa Cruz Highway
Los Gatos, California 95030

Subject: On-Site Disposal of Excavated Soil From
Residential Development Supplemental Letter

Reference: Proposed Residence and Carriage House
19800 Old Santa Cruz Highway
APN 558-41-020
Los Gatos, Santa Clara County

Dear Mrs. Ingram-Cauchy:

Haro Kasunich and Associates, Inc. (HKA) evaluated and approved the excess graded fill that was placed on the main pad upper area/upper flat area (between the main house and guest house). HKA was periodically on site during all grading operations at the site to observe and test compaction, as necessary.

Because the placement of excess graded soil at this location was feasible geotechnically, HKA was/is in favor of keeping it on site to reduce off haul trucking and minimize infill of sparse County dump space, an Environmental correct activity. It is customary (standard of care) to try and balance a cut and fill grading plan so that all soil excavated remains on site.

If you have any questions concerning this letter, please contact our office.

Respectfully Submitted,

HARO, KASUNICH AND ASSOCIATES, INC.

John E. Kasunich
G.E. 455

JEK/sr
Copies: 1 to Addressee + pdf
1 to George Hall pdf
1 to Rich Rose pdf



Ingram-Cauchy Residence Grading Findings – Exhibit C

19800 Old Santa Cruz Highway, Los Gatos (APN: 558-41-020)
File: PLN19-0074-MODI-APL1

The required findings from Section C12-433 of the County's grading ordinance can all be made regarding the modification of the Grading Approval issued in April of 2016, to allow additional excavation of the proposed driveway to accommodate proper drainage and incorporation of a portion of the fill generated by that necessary excavation into the yard area, as impliedly recognized by the County's Land Development Engineering Department in its issuance of the Grading Permit for this additional excavation and placement of resulting fill on January 18, 2018 and by the Planning Department in its approval of the minor modification of the Grading Approval on June 7, 2019:

- (a) The amount, design, location, and the nature of any proposed grading is necessary to establish or maintain a use presently permitted by law on the property.

The project proposes a new single-family residence and guest house, a use presently permitted by law on the property. The original 2016 Grading Approval did not accommodate development of a home on the property because it was discovered after the Grading Approval was issued that the original design and grades approved in the Grading Approval would not ensure proper release of stormwater runoff. As a result it is necessary to lower the grades in a large portion of the driveway which was not anticipated in the Grading Approval. Without this excavation there is a risk of having surface water potentially draining towards the garages of the residences, which could pose a flooding hazard.

The grading excavation quantity approved in the Grading Approval was 1970 cy, including 1500 cy for the driveway, with no reference to the disposition of the fill generated by that excavation. The initial corrective redesign submitted for the grading permit in early 2017 would have required 4500 cy of excavation to accommodate structures and the driveway, but through further refinement the grading quantity was reduced to approximately 3600 cy, all of which is necessary to establish a home and guest house with a driveway that does not create a flooding hazard.

The necessary 3600 cy of cuts (excavation) result in the unavoidable creation of 3600 cy of fill. 1850 cy of that fill was to be placed as specifically delineated in plans approved in the Grading Permit issued January 18, 2018 (approximately 150 cy used for the upper driveway and the remainder of that 1850 spread across the large yard area as a first "lift"), leaving 1750 cy

of fill to account for. That 1750 cy of fill must either be retained on site or hauled off-site. To address that 1750 cy, sheet C-3 of the plan approved by the Grading Permit provides a legend across the yard area stating "PROP. GRADES REVISION RAISE 2' +/- TO BALANCE EARTHWORK". Ultimately, 690 cy of the 1750 cy was hauled off-site and the 1060 remainder was spread across the yard area as a second "lift". By retaining 2760 cy of the excavated soil on site and integrating it into the yard pursuant to the fill specifically shown on Sheet C-3 and the "balancing" legend on Sheet C-3, the project eliminates a significant number of truck trips (approximately 200) to haul the 2760 cy of excavated soil perhaps more than 100 miles from this remote site to an off-site location accepting soil. The soil is proposed to be retained on site by placing it on top of pre-existing gentle slopes (approximately 3.25% slope) in the yard area at a slightly more gentle slope angle (approximately 2% slope). As shown on the plans, the slope before the fill was at an elevation of 790' sloping down to 786', and the proposed modification changes those elevations to 792' sloping down to 789'. The maximum depth of fill added to the yard area (including both "lifts") is just over three feet (3').

- (b) The grading will not endanger public and/or private property, endanger public health and safety, will not result in excessive deposition of debris or soil sediments on any public right-of-way, or impair any spring or existing watercourse.

The grading does not endanger property (though absent the modification the grading would have endangered property by creating a flooding hazard) or impact any water course or have excessive debris. There are no watercourses on site. (In the Staff Memorandum denial of the modification, County Staff agrees that this Finding can be made.)

- (c) Grading will minimize impacts to the natural landscape, scenic, biological and aquatic resources, and minimize erosion impacts.

The grading will not impact the natural environment. There are no sensitive biological or scenic resources on-site. Erosion is minimized through an erosion control plan. (In the Staff Memorandum denial of the modification, County Staff agrees that this Finding can be made.)

- (d) For grading associated with a new building or development site, the subject site shall be one that minimizes grading in comparison with other available development sites, taking into consideration other development constraints and regulations applicable to the project.

This Finding is focused on the selection the development site where there are more than one possible development site on the property. As the County recognized in issuing the original Grading Approval, the location approved for the home is the location on the property that minimizes grading compared to any other available development site on the property. The additional excavation to create a driveway that does not create a flooding hazard, which is the subject of the modification application, does not change that analysis: There is no other location on the property for the home, guest house and related driveways (all of which have already been built pursuant to building permits and grading permits properly issued by the County with final inspections performed by the County) that would require less grading.

- (e) Grading and associated improvements will conform with the natural terrain and existing topography of the site as much as possible, and should not create a significant visual scar.

The excavation necessary to create a driveway that does not create a flooding hazard conforms to the existing topography to the greatest extent possible. The yard area where 2760 cy of the resulting additional fill is proposed to be placed had been leveled in the earlier agricultural use of the property and therefore was not in its native, natural state. The soil is proposed to be retained on site by placing it on top of pre-existing gentle slopes (approximately 3.25% slope) in the yard area at a slightly more gentle slope angle (approximately 2% slope). As shown on the plans, the slope before the fill was at an elevation of 790' sloping down to 786', and the proposed modification changes those elevations to 792' sloping down to 789'. The maximum depth of fill added to the yard area (including both "lifts") is just over three feet (3'). Neither the excavation necessary for a driveway that does not create a flooding hazard nor the placement of the 2760 cy of the resulting fill in the yard area create a visual scar of any kind.

- (f) Grading conforms with any applicable general plan or specific plan policies; and

There is no specific plan applicable to this property.

Regarding the County's General Plan:

Excavation

The additional excavation required to have a driveway that does not create a flooding hazard is consistent with General Plan Policy R-GD24, because (1) there is no alternative site on the property where there could be less grading for the home, guest house and related driveways that do not create a flooding hazard, and (2) by avoiding the flooding risk through the requested modification, the design best achieves matters of public health and safety. The additional excavation required to have a driveway that does not create a flooding hazard is also consistent with General Plan Policy R-GD22, because it is appropriate, justifiable, and reasonably necessary for the establishment of a single family home and related improvements on this property.

Retention of Fill

Retaining on-site 2760 cy of the fill resulting from the excavation necessary for the driveway is consistent with the following General Plan Policies:

- 1. R-GD 23: Proposals to balance cut and fill amounts where such grading would exceed that which is deemed minimally necessary and reasonable for the site may be considered based on environmental impacts, the ability of the site to accommodate the additional fill without causing additional adverse impacts, the remoteness of the site, the overall amount of material that would otherwise need to be removed from the site, and the impacts of any truck traffic that could be involved, including travel distances, local road impacts, safety, noise, dust, and similar issues. *By retaining 2760 cy of the excavated soil on site and integrating it into the yard, the project eliminates a significant number of truck trips (approximately 200) to haul the 2760 cy of excavated soil perhaps more than 100 miles from this remote site to an off-site location accepting soil. In its denial of the modification, County staff acknowledged that Grading Finding (c) (that there are no adverse environmental impacts from retaining the soil on site) can be made.**
- 2. C-RC 47, which states in part: Potentially adverse environmental impacts from extraction and transport of mineral resources should be minimized to the*

greatest extent possible, including, but not limited to: a. nuisances, such as dust, odor, debris, and noise;; and c. increased traffic volumes and damage to road surfaces. *By retaining 2760 cy of the excavated soil on site and integrating it into the yard, the modification eliminates a significant number of truck trips (approximately 200) to haul the 2760 cy of excavated soil perhaps more than 100 miles from this remote site to an off-site location accepting soil, which would result in unnecessary nuisances, traffic and road damage.*

3. *R-GD22, which states: The amount, design, location, and the nature of any proposed grading may be approved only if determined to be: a. appropriate, justifiable, and reasonably necessary for the establishment of an allowable use (because it is an appropriate, justifiable, and reasonably necessary way of relocating on-site the soil necessarily excavated from the driveway area to avoid the flooding hazard); b. the minimum necessary given the various site characteristics, constraints, and potential environmental impacts that may be involved (because the only fill placed in the yard area is necessarily excavated from the driveway to avoid the flooding risk), and, c. that which causes minimum disturbance to the natural environment, slopes, and other natural features of the land (because the yard area where the 2760 cy of fill was proposed to be placed had been leveled in the earlier agricultural use of the property and therefore was not in its native, natural state).*

4. *R-GD24 for the same reasons as the excavation that created the fill, described above.*

(g) Grading substantially conforms with the adopted "Guidelines for Grading and Hillside Development" and other applicable guidelines adopted by the County.

The Guidelines specifically incorporate General Plan Policies R-GD 22, 23 and 24, all of which are consistent with the proposed necessary excavation and retention of fill on the site, as described in Finding (f) above. Additionally, the proposed modification is consistent with the following specific Guidelines:

Guideline 1: Locate proposed development in areas with level lands or gentler slopes, adjacent to existing infrastructure, minimizing the need for grading and longer driveways into hillside areas. *The home, guest house and related driveways are located on relatively flat land, which minimizes the need for grading. The excavation requested by the modification is necessary to avoid a flooding hazard, so the excavated soil is an unavoidable result of that excavation, and the soil is proposed to be retained on site by placing it*

on top of pre-existing gentle slopes (approximately 3.25% slope) in the yard area at a slightly more gentle slope angle (approximately 2% slope). As shown on the plans, the slope before the fill was at an elevation of 790' sloping down to 786', and the proposed modification changes those elevations to 792' sloping down to 789'. The maximum depth of fill added to the yard area (including both "lifts") is just over three feet (3').

Guideline 2: Based on the location of existing access roads and site constraints, development in hilltop locations may be preferred if other buildings sites are not available and extensive grading and terrain alteration is avoided. *This is not a hilltop location and there is no hilltop location that is part of the subject parcel. As the County recognized in issuing the original Grading Approval, the location approved for the home is the location on the property that minimizes grading compared to any other available development site on the property.*

Guideline 12: For grading projects that require new large fill slopes, use landform grading to resemble natural features instead of the conventional sharp angles and unnatural uniform slope treatments. *The excavated soil is proposed to be retained on site by placing it on top of pre-existing gentle slopes (approximately 3.25% slope) in the yard area at a slightly more gentle slope angle (approximately 2% slope). As shown on the plans, the slope before the fill was at an elevation of 790' sloping down to 786', and the proposed modification changes those elevations to 792' sloping down to 789'. The maximum depth of fill added to the yard area (including both "lifts") is just over three feet (3').*

Substantial evidence in the appeal materials submitted by the appellant and other information contained in the administrative record for this project support each of the above findings.

Ingram-Cauchy Residence Walls Exhibit – Exhibit D
19800 Old Santa Cruz Highway, Los Gatos (APN: 558-41-020)
File: PLN19-0074-MODI-APL1

Wall 1: Lower end of driveway. (this is the wall the County emailed us a photo of)

- This decorative “wall” consists of rock stacked (42” max) against the base of an existing slope. No cut was made.
- Little back fill exists and is to support the wall itself.
- Surrounding trees existed prior to wall and are surrounded by original grade.



Section view of same wall. Note if slope is projected downhill it does not bisect the wall (no cut).

Wall 2: Short curved wall at east side of driveway (radius end with stone inlay). Continuation of the short wall to the right, which was shown on Grading Approval Modification plans approved June 7, 2019.

- Concrete garden wall approx. 26" tall visible.
- Wall is 38" tall including footing.
- Note old steel structure still in place on existing grade to the right.

