

County of Santa Clara

Department of Planning and Development
Planning Office

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(408) 299-5770 FAX (408) 288-9198
www.sccplanning.org



STAFF MEMORANDUM

December 18, 2020

Staff Contact: Colleen Tsuchimoto, Senior Planner
(408) 299-5797, Colleen.Tsuchimoto@pln.sccgov.org

FILE: PLN19-0074-MOD1
ADDRESS: 19800 Old Santa Cruz Highway, Los Gatos (APN: 558-41-020)
SUBJECT: Minor modification of the existing Grading Approval, granted on June 7, 2019 by the Zoning Administrator through a modification. The approval included a 6,511 sq. ft. single family residence, including an attached garage, a 960 sq. ft. secondary dwelling with driveway, and ancillary site improvements including retaining walls, septic system, water tanks and landscaping. Grading of the project consisted of 3,600 cubic yards of cut, and 1,850 cubic yards of fill. The Minor Modification alters the grading to add new retaining walls to repurpose the excavated dirt from the construction of the site improvements as new fill within the existing rear yard. The modification was submitted on June 25, 2020. Modified grading quantities include project total of 3,600 cubic yards of cut and 2,620 cubic yards of fill, which adds an additional 770 cubic yards of fill to the June 7, 2019 approval.

BACKGROUND

On April 18, 2016, the Zoning Administrator approved a Building Site Approval and Grading Approval for the subject property (PLN15-10735). The applicant obtained a Grading Permit to construct the new residence on December 7, 2017 (LDE15-10735) and Building Permit to construct the new residence on January 29, 2018 (Building Permit No. 2018-64821).

On April 15, 2019, the applicant submitted a Modification to the April 18, 2016 Building Site Approval and Grading Approval (new record number - PLN19-0074). The Modification included a request to address access issues related two properties that the applicant owns. Subsequently, on June 7, 2019, the Zoning Administrator approved the Modification with new Conditions of Approval addressing utility and access easements across the subject lot and the neighboring lot.

In December 2019, Planning Staff reviewed a revision to the Grading Permit that was submitted for review to the Department's Land Development Engineering Division (LDE15-10735 G R1). The plans included new retaining walls and additional grading that was not approved by the Planning Division or Zoning Administrator. This resulted in a plan check comment/correction to provide development plans that are in substantial compliance with the June 7, 2019 Planning-approved plans (PLN19-0074), or to submit another Modification to the Grading Approval

issued by the Zoning Administrator. Additional background is discussed at the end of this report under Additional Information. It is important to note that Staff met with the applicant to inform them of initial issues of concern related to the additional grading that was being proposed.

On June 25, 2020, the applicant applied for a Minor Modification to the Grading Approval (PLN19-0074-MOD1).

On July 23, 2020, Staff deemed the project complete for processing, noting under ‘additional information/ issues of concern’ the project does not appear to meet the Grading Ordinance Findings, and Staff would not likely be able to support the project. Planning Staff and the Zoning Administrator recommended that the applicant eliminate the additional retaining walls and grading, withdraw the application and revert to the original approval, or receive a denial of the project which could be appealed to the Planning Commission. Staff also informed the applicant that a courtesy notice would be mailed to residents within a 300-foot radius, and if comments were received, the Minor Modification would require a Zoning Administration Public Hearing.

On July 23, 2020, a courtesy notice was sent to residents (see Attachment A) within a 300-foot radius of the subject property informing them of the proposed modifications. No comments were received as a result of sending the courtesy notice.

As no comments were received as a result of the courtesy notice, it was determined that a public hearing would not be required for the Minor Modification. A summary of the Zoning Ordinance requirements for a Minor Modification are outlined in the Discussion section of this Memorandum, below.

On September 18, 2020, the applicant provided a one-time 90-day extension to the Permit Streamlining Act, making the new decision deadline December 18, 2020.

DISCUSSION

Minor Modification

Pursuant to Section 5.20.200 of the Santa Clara County Zoning Ordinance, modifications of approved permits (Planning approvals) may be initiated to alter an approved structure, change the configuration of site improvements, or modify or delete conditions of approval. Modifications are classified as either “minor” or “major” generally based on their significance, consequences, and amount of additional processing and review required. As noted in the Background section of this Memorandum, the Zoning Administrator, in consultation with the Director, determined that the proposed Modification would be “minor,” and that a courtesy notice would be required to be mailed to all residents within a 300-foot radius of the property. The standards for a Minor Modification (Section 5.20.200(A)) are listed below, followed by a brief discussion of meeting the requirements:

A modification is considered minor when all of the following circumstances apply:

- 1. It does not involve substantive changes to the approved site plan;***
- 2. It does not significantly change the nature of the approved use;***
- 3. It does not intensify the approved use; and***
- 4. It would not result in any new or substantially greater environmental effects than the originally approved project.***

Staff reviewed the proposed plans submitted for the Minor Modification (see Attachment C), deemed complete on July 23, 2020 against the approved plans of June 7, 2019. The proposed changes involve new retaining walls and additional fill at a maximum height of 6'-7'. While the applicant is proposing new grading (fill) and retaining walls that are subject to the County Grading Findings, *Guidelines for Grading and Hillside Development* and General Plan Policies, the changes do not involve substantive changes to the approved site plan with respect to processing a Minor Modification. The changes would not significantly change the nature of the originally approved use as a single-family residential use, and do not intensify the approved use. The property would continue to be maintained as a private residence. The area of the retaining walls and new fill would not result in any new or substantially greater environmental effects than originally approved (no tree removal or sensitive resources affected), however Staff is required to analyze how the additional grading meets the County's Grading Ordinance, using the County *Guidelines for Grading and Hillside Development* and General Plan Policies, which are separate from the findings to determine if a project is considered a 'major' or 'minor' modification. The Zoning Administrator, in consultation with the Director, determined that the project could be processed as a Minor Modification with a fee in the amount of 75% of a Grading Approval fee, as opposed to 100% of a Grading Approval fee required for a 'major' modification.

Grading Findings

Per Section C12-433 of the Santa Clara County Grading Ordinance, a Grading Approval may be granted if all of the following findings are met. Each required finding is identified in ***bold italics*** below, followed by Staff's evaluation in regular text. The Grading Findings are as follows:

1) The amount, design, location and the nature of any proposed grading is necessary to establish or maintain a use presently permitted by law on the property.

The project proposes a new single-family residence. The previous Grading approval accommodates minimal grading necessary for the building pad of the residence, accessory dwelling unit, driveway, septic system, drainage and landscaping. The proposed grading is located on an existing, generally flat area of the lot with gradual slope (less than 20%). With this new modification, the applicant is proposing to use excavation material from the construction of the house to be filled in the rear yard area to avoid off hauling dirt. This extra amount of fill, approximately 770 cubic yards, is not necessary to establish or maintain the residence. To address minimizing the grading, design changes can be incorporated to significantly reduce the amount of fill for the retaining walls, including reducing the quantity of fill, the height of the fill, and the engineered slope to support the fill. The additional grading fill is not necessary to establish the residential use on the property. Therefore Finding No. 1 cannot be met.

2) The grading will not endanger public and/or private property, endanger public health and safety, will not result in excessive deposition of debris or soil sediments on any public right of way, or impair any spring or existing water course.

The grading area does not endanger property or impact any water course or have excessive debris. There are no watercourses on site. The retaining walls are not located near the road right-of-way and do not impact neighboring lots. Therefore Finding No. 2 can be met.

3) *Grading will minimize impacts to the natural landscape, scenic, biological and aquatic resources, and minimize erosion impacts.*

The grading will not impact the natural environment. There are no sensitive biological or scenic resources on-site. Erosion is minimized through an erosion control plan. Therefore Finding No. 3 can be met.

4) *For grading associated with a new building or development site, the subject site shall be one that minimizes grading in comparison with other available development sites, taking into consideration other development constraints and regulations applicable to the project.*

The proposed grading that is part of the subject minor modification is not necessary to accommodate a new building or development site. As this is a lot with a flat building pad and adjacent yard area with a gradual slope, significant fill is not necessary to establish the residence, and therefore the additional retaining walls are unnecessary in their proposed configuration. There are no development constraints on the subject property that would make the proposed project (additional fill and retaining walls) necessary. Additionally, there are no natural resources or geological impacts that would require or constrain the lot to have the fill or retaining walls in the rear yard. Therefore Finding No. 4 cannot be met.

5) *Grading and associated improvements will conform with the natural terrain and existing topography of the site as much as possible, and should not create a significant visual scar.*

The proposed contours do not blend in with the existing, natural topography of the site, including the contours in the rear yard. The plans show approximately 6' to 7' of excessive fill with a sharp 2:1 slope proposed to support the new fill, whereby the existing topography and rear yard is generally flat with a slope closer to 5:1 (give or take) near the edge of the rear yard area. For these reasons, the proposed additional grading requested as part of this minor modification does not conform with the natural terrain and existing topography of the site to the maximum extent possible and would create visual scar. Furthermore, design changes could be incorporated further to minimize the height and fill in the rear yard, as well as a reduction in the number of new retaining walls and associated heights. As such, Finding No. 4 cannot be made.

6) *Grading conforms with any applicable general plan or specific plan policies; and*

This project does not comply with all applicable General Plan policies, as it relates to establishing the use and minimizing the grading and blending in with natural terrain. For example, General Plan Policy R-GD24 states the following:

Where an existing parcel contains multiple possible building or development sites, and where one or more possible sites requires less grading, with less overall environmental and visual impacts, greater economy of access roads or other site improvements, and better achieves matters of public health and safety, grading approval may be granted only for the alternative which minimizes grading amounts and is deemed otherwise suitable with respect to other development issues, regulations, and conditions of reviewing agencies...

The proposed retaining walls of the yard do not provide minimal grading to establish the use.

With sharp slopes and up to 7 ft. in height of fill, design changes with shorter walls and minimized grading within the rear yard could be accommodated to reduce the impacts of the proposed grading and could then meet General Plan Policy R-GD24. In addition to R-GD24, the proposed fill and retaining walls do not meet General Plan Policy Nos. R-GD22, which requires that the “*amount, design, location and nature of any proposed grading may only be approved if determined to be appropriate, justifiable and reasonably necessary for the establishment of the allowable use.*” As noted in Grading Finding Nos. 1, 4, and 6 above, the proposed fill and retaining walls are not necessary to establish the single-family residence and residential use, and the design and quantity of additional fill is not justifiable and is unreasonable. As the applicant has not proposed any design changes to meet this requirement, Staff cannot support the minor modification. As such, Finding No. 6 cannot be met.

7) Grading substantially conforms with the adopted ‘Guidelines for Grading and Hillside Development’ and other applicable guidelines adopted by the County

This project does not comply with all applicable guidelines as it relates to minimizing the grading and blending in with the natural terrain.

Guideline No. 1 of the Guidelines states the following: *Locate proposed development in areas with level land or gentler slopes, adjacent to existing infrastructure, minimizing the need for grading and longer driveways into hillside areas.*

Guideline No. 2 of the Guidelines states the following: *Based on the location of existing access roads and site constraints, development in hilltop locations may be preferred if other building sites are not available and extensive grading and terrain alteration is avoided.*

The proposed additional fill and new retaining walls do not meet the Guidelines for Grading and Hillside Development, as noted above. The new fill and retaining walls are not the minimum amount of fill to establish the use (single-family residence), and are unnecessary with the existing, flat and gently sloping rear yard. With design changes of shorter tiered walls, and as it appears the area is on level flat slope, reduction in grading fill could be achieved to reduce the impacts and potentially meet this finding and the County’s Guidelines. As the applicant has not proposed any design changes to meet this requirement and has not designed the project to be in conformance with and consistent with the Guidelines for Grading and Hillside Development, Staff cannot support this finding. As such, Finding No. 7 cannot be met.

In Summary, as described above, the Zoning Administrator determined that the project could be processed as a ‘minor’ modification, however also subject to the Grading Findings, *Guidelines for Grading and Hillside Development* and General Plan Policies. As noted in the Grading Findings above, while Staff was able to make Grading Finding Nos. 2 and 3, Staff was unable to make Grading Finding Nos. 1, 4, 5, 6 or 7. The proposed additional grading (fill) is located within an existing landscaped area in the rear yard. Based on a review of the plans and topographic surveys on file with the County GIS, the existing landscape area is generally flat, with a gradual slope (average 3% slope), that increases (to approximately 20%) near the edges of the rear yard landscaped area. Staff has determined that the proposed fill is unnecessary to establish the primary use of the lot and is excessive with 770 cubic yards of fill. Although the

project can be processed as a Minor Modification, as the Grading Findings required for the requested changes cannot be met, the Minor Modification is DENIED by the Zoning Administrator.

ADDITIONAL INFORMATION

In March 2017, the applicant submitted plans into Land Development Engineering (LDE) for a plan check to issue a Grading Permit for grading construction. Planning staff reviewed and approved the project after submittal into plan check, as it matched the 2016 Planning approved plans. However, when resubmitting plans to LDE, additional grading was shown on the plans but not routed to Planning for review. Subsequently, after several resubmittals, on December 7, 2017, LDE issued the original Grading Permit with additional grading that was not reviewed by Planning Staff. In December 2019, a new revision was submitted to LDE, which was routed to the Planning Division for review. At that time, Staff determined that a Modification to the 2016 Planning approval was never obtained and the additional/new grading could not be supported. Additionally, LDE Staff conducted a site inspection on October 29, 2020 and verified that the retaining walls and additional fill have already been constructed and developed.

APPEALS

An appeal may be filed at the Planning Office at 70 W. Hedding Street, 7th Floor, San Jose, within 15 days of the Final Action of this Memorandum, accompanied by the appropriate appeal fee. Please note that during the Shelter in Place Order for the County and State in December 2020, although County offices are open for filing an appeal, if the applicant would like to file an appeal through the County's public portal, the applicant will need to coordinate with Planning Staff a minimum of 72 hours in advance of the appeal deadline to set up a record and appeal fee to be accessed within the public portal, as there is not a fully configured electronic submittal process for appeals at the moment.

REVIEWED BY

Prepared by: Colleen Tsuchimoto, Senior Planner

Approved by: Leza Mikhail, Zoning Administrator



Attachments:

- A) Attachment A – Courtesy Notice to Neighbors
- B) Attachment B – July 23, 2020 Complete Letter to Applicant
- C) Attachment C – Modified Plans submitted for Minor Modification (submitted June 23, 2020)
- D) Previous Planning Approved plans of June 9, 2019.

**ATTACHMENT A -
Neighbors Notice**

Grading Approval - County of Santa Clara

Notice Publication Date: 07/23/2020

Permit Type: Grading Modification Approval

Property Location: 19800 Old Santa Cruz Highway

APN: 558-41-020

Owner/Applicant: Alexa Ingram-Cauchy / Mission Engineers Inc.

Planning Record Number: PLN19-0074 Mod 1

Project Planner: Colleen Tsuchimoto, colleen.tsuchimoto@pln.sccgov.org

CEQA: Exempt

Description: Grading Modification to add grading fill for site improvements. Proposed 770 cubic yards of fill.

Meeting Date/Time: September 21, 2020 - no hearing

Meeting Location: N/A - Decision of Grading Approval Modification to be determined 9/21/20



If you have any comments regarding this project, you can view the project files on our website:
<https://www.sccgov.org/sites/dpd/Development/Current/Pages/Current.aspx>

Please provide comments or questions to the project planner within 10 days of this notice.

**ATTACHMENT B -
Complete Letter**

County of Santa Clara

Department of Planning and Development
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County Government Center, East Wing, 7th Floor
70 West Hedding Street
San Jose, California 95110-1705
(408) 299-5770 FAX (408) 288-9198
www.sccplanning.org



July 23, 2020

Alexa Ingram-Cauchy
19800 Old Santa Cruz Highway
Los Gatos, CA 95033
Email: alexa@idtech.com

VIA EMAIL ONLYDelivered to Owner and Applicant

FILE NUMBER: PLN19-0074 Mod 1
SUBJECT: Modification to Grading Approval
SITE LOCATION: 19800 Old Santa Cruz Highway, Los Gatos (APN: 558-41-020)
DATE RECEIVED: June 25, 2020
FINAL ACTION: September 21, 2020

Dear Ms. Ingram-Cauchy:

Your application for Grading Approval Modification is complete. This is a modification to the Grading Approval application (File PLN19-0074)) originally approved on June 7, 2019. A final action on this application is scheduled **for September 21, 2020.**

Prior to this date, you have the following options:

1. Submit revised grading plans to meet Grading Ordinance findings. Note: once revised plans are submitted, staff shall review the project for completeness based on the changed design, which could result in additional corrections.
2. Submit in writing a letter requesting withdrawal of your application reverting back to the approved plan set of the project. Staff is willing to refund the project application fees for the modification if this occurs.
3. Do not submit any revised grading plans resulting in a final action of denial on September 21, 2020.

If no response is received prior to September 21, 2020, this office will take a final action of denial. See concerns on next page.

ADDITIONAL INFORMATION / ISSUES OF CONCERN

Note: The following issues are related to meeting the project findings – not an incomplete item, but it should be taken into consideration as moving forward with the plans.

PLANNING

Contact Colleen Tsuchimoto at (408) 299-5797 / Colleen.Tsuchimoto@pln.sccgov.org) for information regarding the following item(s).

1. The grading plans appear to show excessive grading to establish the proposed residence with access driveway and landscaping. This appears to not be in conformance with the Grading Ordinance findings. Revised grading plans should demonstrate conformance with all findings of Section C12-433 of the Santa Clara County Grading Ordinance specifically:
 - (a) The amount, design, location, and the nature of any proposed grading is necessary to establish or maintain a use presently permitted by law on the property.
 - (b) Grading and associated improvements will conform with the natural terrain and existing topography of the site as much as possible, and should not create a significant visual scar.
2. Updated grading justification letter should describe how the project meets all the Grading Ordinance findings. The current grading justification letter indicates that the purpose of the increase of fill is to eliminate unnecessary and environmentally undesirable long-distance export. This does not meet the Grading Ordinance findings demonstrating how the fill would be the minimum to establish the use and blends in with the natural contours – existing grade.

If you have any questions, please call me at (408) 299-5797, or contact me at Colleen.Tsuchimoto@pln.sccgov.org.

Sincerely,

Colleen A. Tsuchimoto

Colleen A. Tsuchimoto

Senior Planner

cc Leza Mikhail, Zoning Administrator

Applicant:

Daniel Nunes, 2355 De La Cruz Blvd. Santa Clara, CA 95050

Email: daniel@missionengineersinc.com

ATTACHMENT C - Modification Plans

COUNTY OF SANTA CLARA

General Construction Specifications

GENERAL CONDITIONS

1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND GEOTECHNICAL REPORT PREPARED BY ASSOCIATED TERRA CONSULTANTS, INC. DATED JUNE 30, 2015. HARO KASUNICH AND ASSOCIATES REVIEWED BOTH REPORTS AND COMPLETED A SOILS ENGINEER TRANSFER OF RESPONSIBILITY FORM DATED NOVEMBER 18, 2016. THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECIFICATIONS, 4) THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY. DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
2. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
3. DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
4. DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
5. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
6. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
7. UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION 86-15).
8. THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
9. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

CONSTRUCTION STAKING

1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.
2. ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
3. PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.
4. PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

CONSTRUCTION INSPECTION

1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
2. THE COUNTY REQUIRE 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
3. INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
4. DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
5. THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR TO COMMENCEMENT OF THE BUILDING FOUNDATION.

SITE PREPARATION (CLEARING AND GRUBBING)

1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
- A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE).
- B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.
2. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

UTILITY LOCATION, TRENCHING & BACKFILL

1. CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
2. ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
3. ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY IS CONCERNED INDICATES BY LETTER THAT IT WILL BORE UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.
4. TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE FOLLOWING: THE COUNTY ENGINEER SHALL BE THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
5. BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

RETAINING WALLS

1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.
2. SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.
- (ALL RETAINING WALLS BY SEPARATE BUILDING PERMIT)

GRADING

1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IT SHALL BE STRIPPED OF ALL VEGETATION, TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL. THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEYED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
2. EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
3. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS.
4. ALL EXPOSED DISTURBED AREAS SHALL BE SEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
5. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDB.
6. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO A CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
7. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
8. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
9. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.
10. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPs SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
- A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS.
- B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
- C. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
11. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ESTABLISH TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN AREAS, AND OTHER CONSTRUCTION FACILITIES, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.
12. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS. THE PLAN SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS. THE PLAN SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS. THE PLAN SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS.

1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
3. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACE AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
4. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.
1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
3. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACE AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
4. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

TREE PROTECTION

1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
- A. FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIFLINE OF THE TREE OR GROVE OF TREES.
- B. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.
- C. FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
- D. SIGNAGE STATING, "WARNING- THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT <http://www.sccplanning.gov>." SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY.
2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACE AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

ACCESS ROADS AND DRIVEWAYS

1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
3. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACE AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
4. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.
1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
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3. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACE AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
4. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

STREET LIGHTING

1. PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

SANITARY SEWER

1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

PORTLAND CEMENT CONCRETE

1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI SEVEN-DAY PERIOD. CONCRETE DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE () WERE () WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL () () WERE () WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL.

DATE

SIGNATURE

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
2. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
3. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL DRIVEWAY ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
4. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
5. MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
6. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.
7. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
8. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FIRM AND REASON FOR THE EXISTING ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
- A. 15 MILES PER HOUR (MPH) SPEED LIMIT
- B. 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
- C. TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING COMPLAINTS. NOT PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAINT HOTLINE OF 1-800-334-6367.
10. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION.
11. ALL EXPOSED DISTURBED AREAS SHALL BE SEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
12. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDB.
13. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO A CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
14. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
15. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
16. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.
17. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPs SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
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- C. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ESTABLISH TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN AREAS, AND OTHER CONSTRUCTION FACILITIES, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.
19. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS. THE PLAN SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS. THE PLAN SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS. THE PLAN SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS.

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4. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.
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4. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

STORM DRAINAGE AND STORMWATER MANAGEMENT

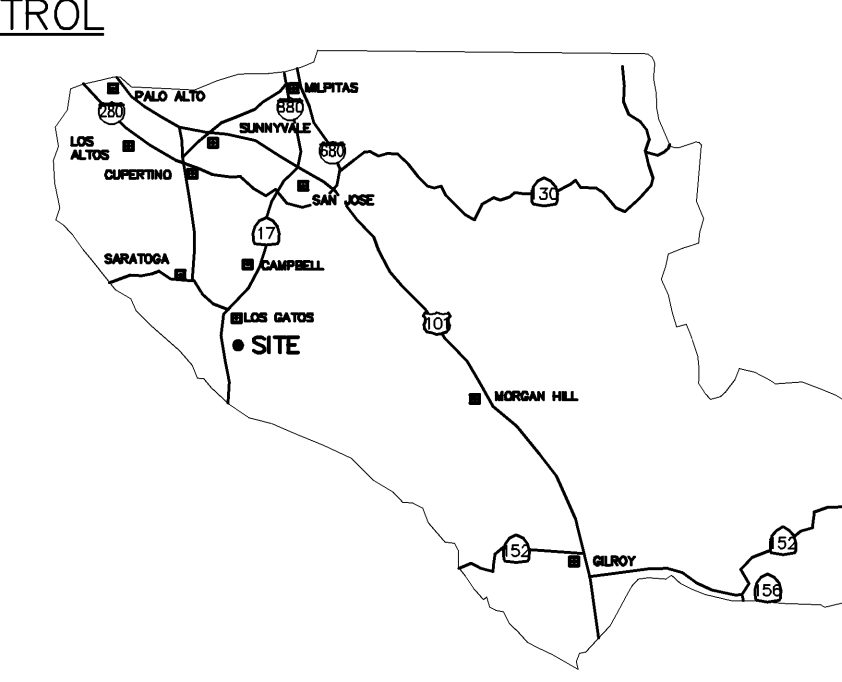
1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAS612008 / ORDER NO. R2-2009-0047 AND NPDES PERMIT CAS000004 / ORDER NO. 2013-0001-DWQ.
2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACE AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
3. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW.
4. UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF STORMWATER THROUGH THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

SURVEY MONUMENT PRESERVATION

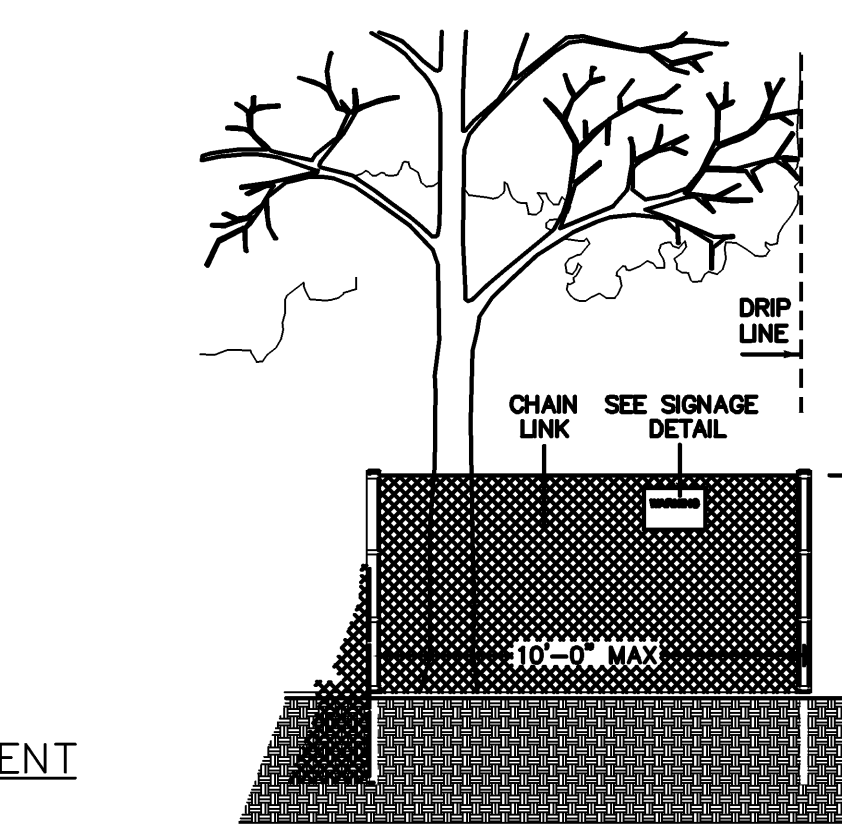
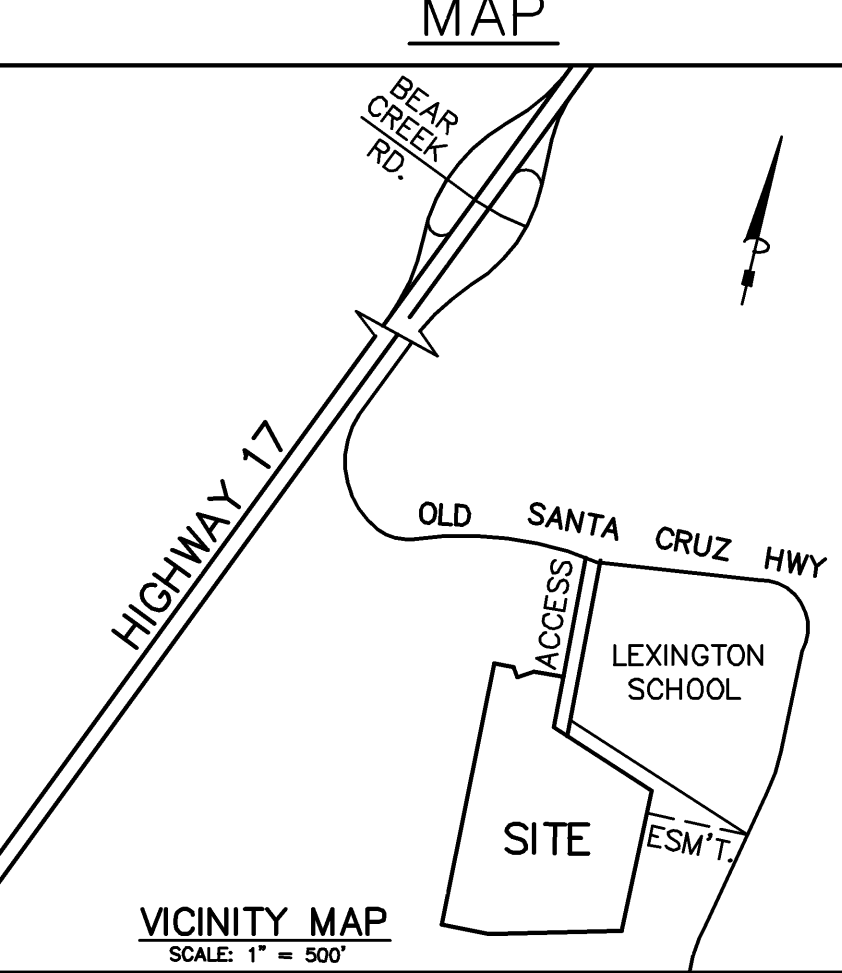
1. THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES.
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG OR OTHERWISE IDENTIFY WITH PAINT OR OTHER MARKINGS ALL PERMANENT SURVEY MONUMENTS AND RECORD THEM IN THE CONSTRUCTION ACTIVITY.
3. THE LANDOWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, OR ANY OTHER SURVEY MONUMENT, SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS AND RESET PERMANENT MONUMENT(S) IN THE SURFACE(S) OF THE NEW CONSTRUCTION OR SET A WITNESS MONUMENT(S) TO PERTURBED THE LOCATION IF ANY PERMANENT MONUMENT COULD BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL CAUSE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.

GEOTECHNICAL ENGINEER OBSERVATION

1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.



COUNTY LOCATION MAP



EXISTING TREE PROTECTION DETAILS

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED AUGUST 12, 2013.

DATE 21500 SIGNATURE R.C.E. NO. 09-30-21 EXPIRATION DATE

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE 42107 CHRISTOPHER L. FREITAS 3/31/20 R.C.E. NO. EXPIRATION DATE

GRADING AND DRAINAGE PLAN
19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA
APN 558-41-020

SCOPE OF WORK

NOTES

1. CONTRACTOR SHALL CONTACT U.S.A. AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ANY AREA WHERE UNDERGROUND FACILITIES ARE LOCATED. PHONE (800)642-2444.
2. THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND UTILITIES ARE SHOWN IN A GENERAL WAY ONLY. IT WILL BE THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE FINAL DETERMINATIONS AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES.
3. DATE OF SURVEY: OCTOBER 2015 & MAY 2016
4. BASIS OF BEARINGS: THE BEARING S 00°27'12" E ALONG THE EASTERLY LINE OF PARCELS 2, 3 AND 4 AS SHOWN ON THE RECORD OF SURVEY MAP RECORDED IN BOOK 823 OF MAPS, AT PAGE 43 AND 44. SANTA CLARA COUNTY RECORDS WAS USED AS THE BASIS OF BEARINGS HEREON.
5. TEMPORARY BENCHMARK: PK NAIL IN ASPHALT @ LOWER INTERSECTION OF DRIVEWAYS. ELEVATION=781.88 FROM "SITE TOPOGRAPHIC MAP" BY ASSOCIATED TERRA CONSULTANTS, INC. PROJECT NO. 210954 DATED 6/15/15 SHOWN AS 2002.69 MINUS 1240 FEET=762.69
6. THE WATER AND SANITARY UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY. SEPARATE PERMITS FROM THE FIRE MARSHAL'S OFFICE AND ENVIRONMENTAL HEALTH DEPARTMENT ARE REQUIRED PRIOR TO CONSTRUCTION.
7. PRIOR TO GRADING COMPLETION AND RELEASE OF BOND, ALL GRADED AREAS SHALL BE RESEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADED SLOPES AND REDUCE THE POTENTIAL FOR EROSION ON THE SUBJECT SITE.
8. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN UPON THIS PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
9. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.

1. THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE EROSION CONTROL PLAN. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE DESIGN OF THE EROSION CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSION CONTROL PLANS TO PREVENT ILLICIT DISCHARGES FROM THE SITE DURING CONSTRUCTION.
2. ONSITE SCOPE OF WORK COVERED IN SHEETS C1-C10 INCLUDE:
- A. DRIVEWAYS & RETAINING WALLS
- B. GRADING & STORM DRAINAGE STRUCTURES, PIPING & TANKS
- C. EROSION CONTROL
- D. SEPIC TANK & SANITARY LEACH FIELD
- E. UNDERGROUND WATER & ELECTRICAL CONDUIT ROUTING
- F. TOTAL DISTURBED AREA=68,552± SQ.FT.

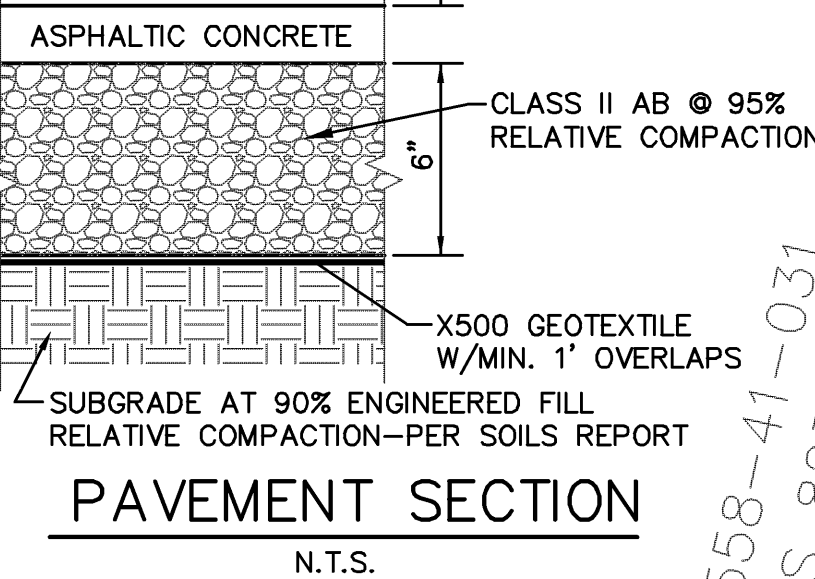
3. ALL EXPOSED AND DISTURBED AREAS MUST BE SEEDDED AS PER COUNTY SPECIFICATIONS OR BETTER.
4. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL DISPOST SITE BE SUBMITTED PRIOR TO GRADING COMPLETION AND RELEASE OF BOND.
5. OFFSITE SCOPE OF WORK COVERED IN SHEETS C1-C10 INCLUDE:
- A. DRIVEWAY APPROACH
- B. GRADING & STORM DRAINAGE IMPROVEMENTS
- C. PLACEMENT OF EROSION AND SEDIMENT CONTROLS
- D. VEGETATION REMOVAL & LANDSCAPING
- E. UTILITIES INSTALLATIONS AND CONNECTIONS
- F. TRAFFIC CONTROL

ABBREVIATIONS

AC	ASPHALTIC CONCRETE
BFP	BACK FLOW PREVENTOR
BSL	BUILDING SETBACK LINE
CLF	CHAIN LINK FENCE
CONC	CONCRETE
DOM	DOMESTIC
E	ELECTRIC
FF	FINISH FLOOR
FL	FLOW LINE
FS	FIRE SERVICE
G	GAS
GB	GRADE BREAK
GM	GAS METER
INV	PIPE INVERT
IP	IRON PIPE
IMPROV	IMPROVEMENT
L.G.	LIP OF GUTTER
OHWP	OVERHEAD WIRE
PP	POWER POLE
PROP	PROPANE GAS
PIE&UE	PRIVATE INGRESS/EGRESS & UTILITY EASEMENT
RIM	ROOF DRAIN
RPP	REDUCED-PRESSURE PREVENTOR
RWT	RAIN WATER TANK
SD	STORM DRAIN
SS	SANITARY SEWER
SCDOE	SANTA CLARA COUNTY DRAINAGE EASEMENT
SJWCoe	SAN JOSE WATER COMPANY EASEMENT
SSCO	SANITARY SEWER CLEANOUT
TD	TRENCH DRAIN
UUE	UNDERGROUND UTILITY EASEMENT
W	WATER
WM	WATER METER
WSE	WATER SERVICE EASEMENT
WV	WATER VALVE

ABBREVIATIONS	
AC	ASPHALTIC CONCRETE
BSL	BUILDING SETBACK LINE
CLF	CHAIN LINK FENCE
CONC	CONCRETE
DOM	DOMESTIC
FF	FINISH FLOOR
FL	FLOW LINE
FS	FIRE SERVICE
G	GAS
GB	GRADE BREAK
GM	GAS METER
INV	PIPE INVERT
IP	IRON PIPE
OHW	OVERHEAD WIRE
PP	POWER POLE
PG	PROPANE GAS
PI&UE	PRIVATE INGRESS/EGRESS & UTILITY EASEMENT
RD	ROOF DRAIN
RIM	TOP OF GRATE
RWT	RAIN WATER TANK
SD	STORM DRAIN
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
TD	TRENCH DRAIN
W	WATER
WM	WATER METER
WSE	WATER SERVICE EASEMENT
WV	WATER VALVE

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE/RIGHT OF WAY LINE
---	SD	STORM DRAIN
---	SS	SANITARY SEWER
---	E	ELECTRIC
---	W	WATER
---	PG	PROPANE GAS
---	770	ELEVATION CONTOUR
---	□	UTILITY BOX -AS NOTED



APN 558-41-031
PARCEL 2, RS 823 M 42, 43, 44

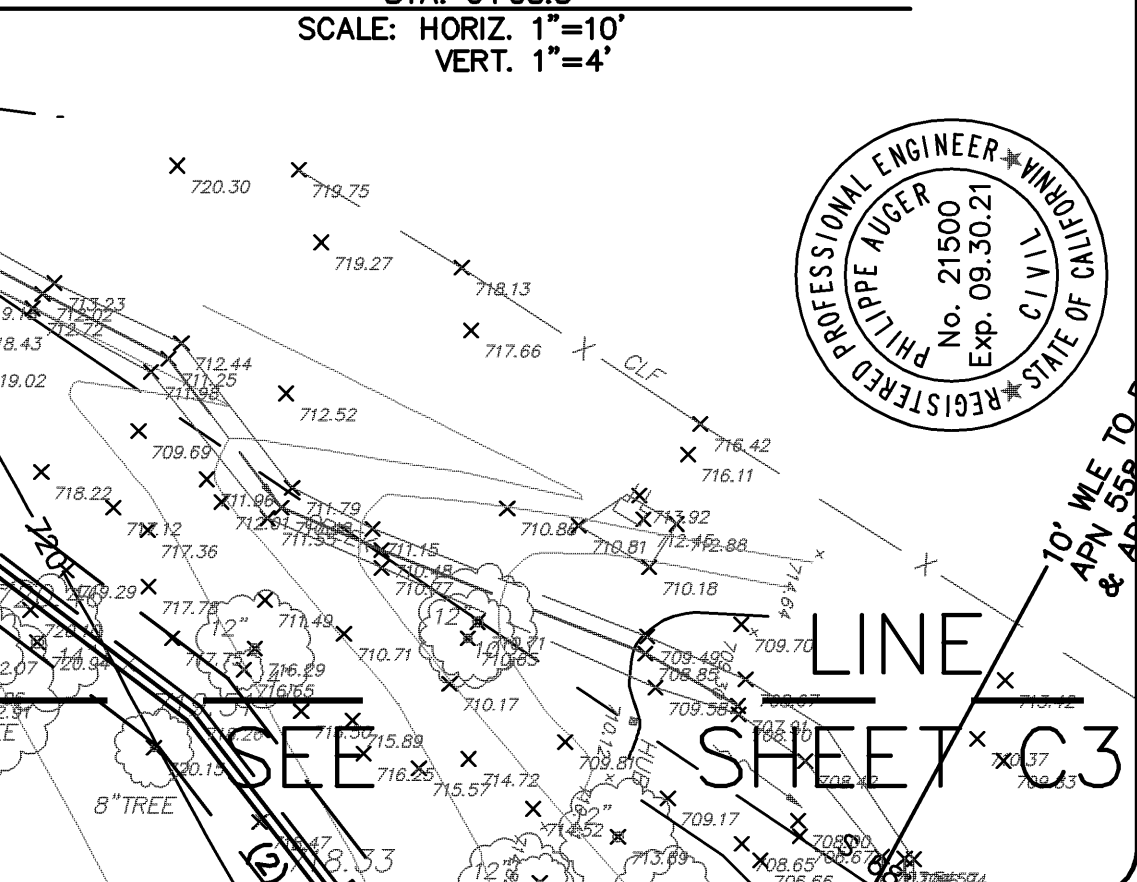
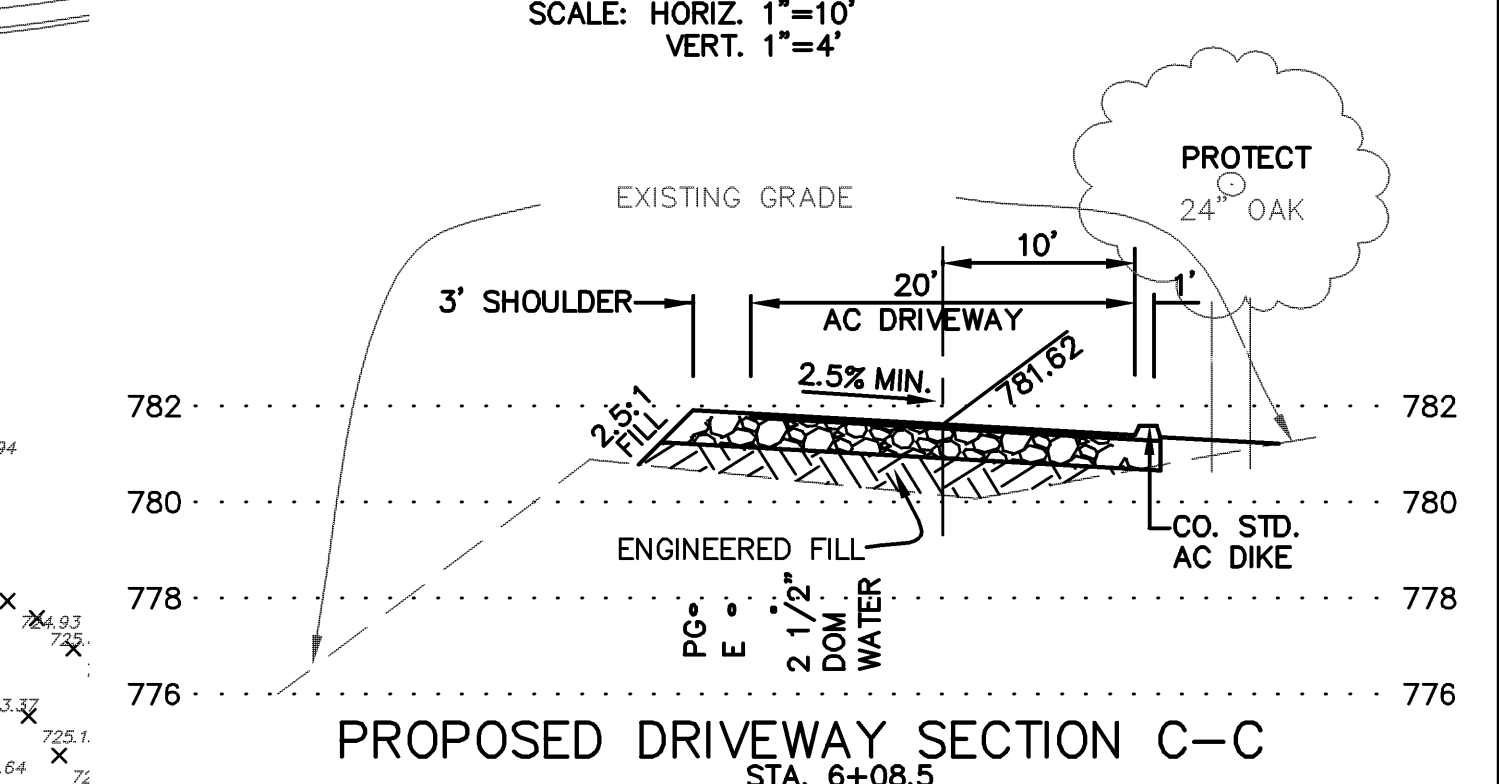
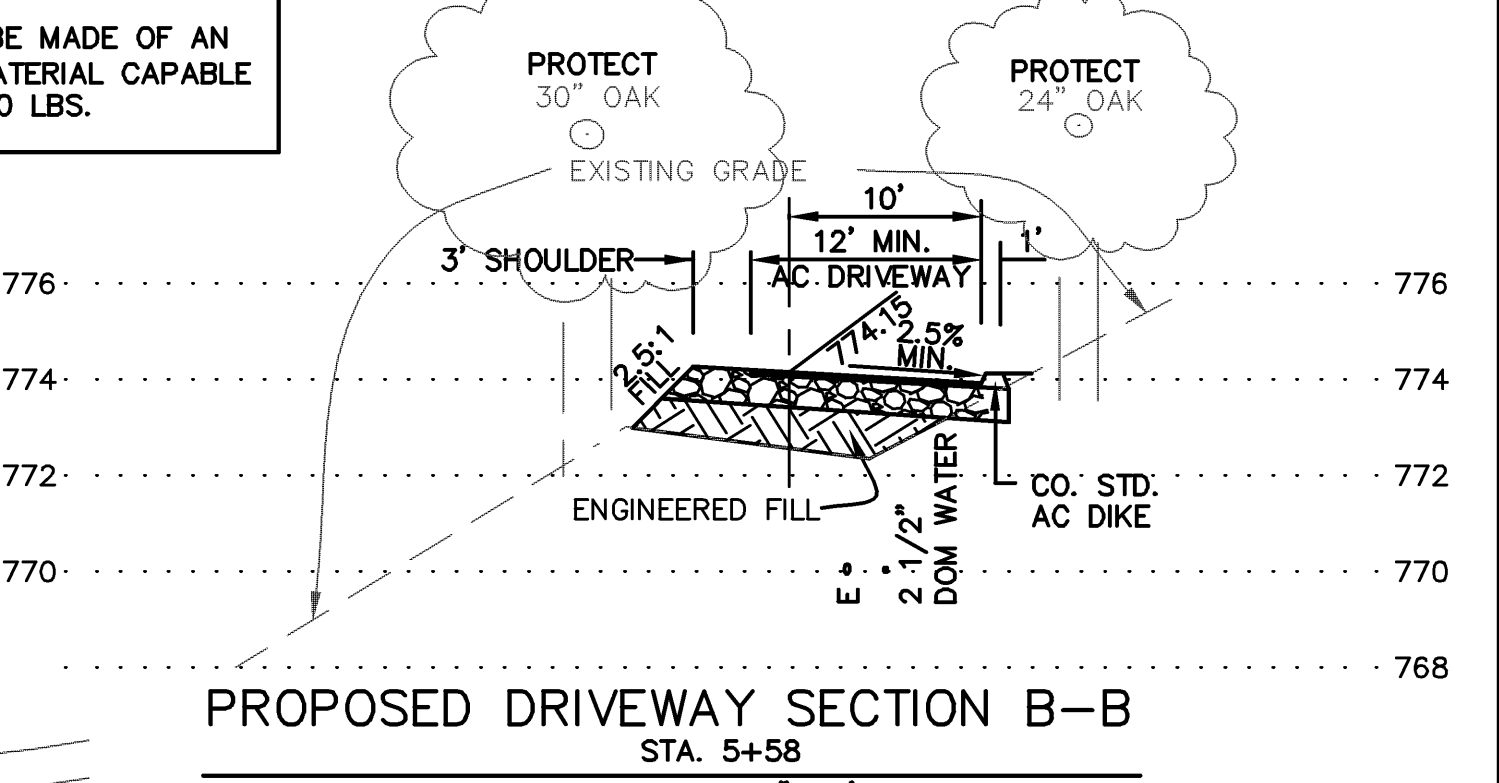
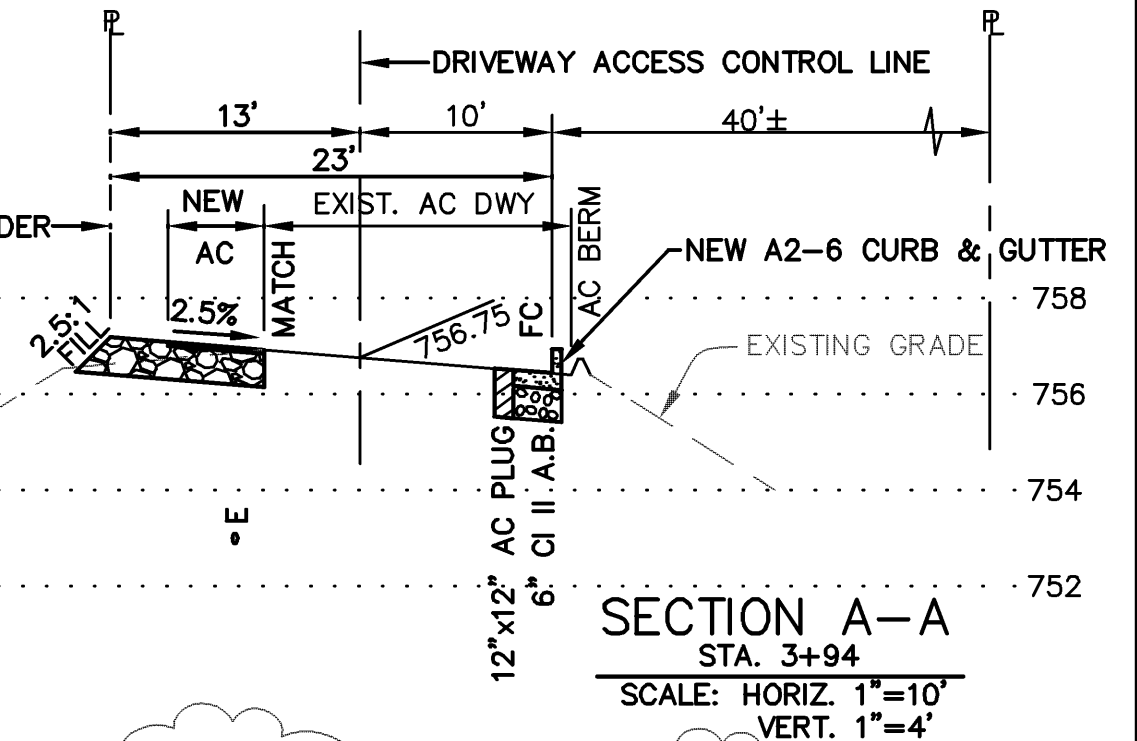
MATCH
SEE SHEET C3

12" O.C.E.W.

APPLICANT: INGRAM-CAUCHI

ROAD NAME: OLD SANTA CRUZ HWY

COUNTY FILE NO.: 10735-15B-15G



PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-21
DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-20, L.S. 9212-EXPIRES 09-30-21

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GRADING & DRAINAGE PLAN
APN 558-41-020
19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA

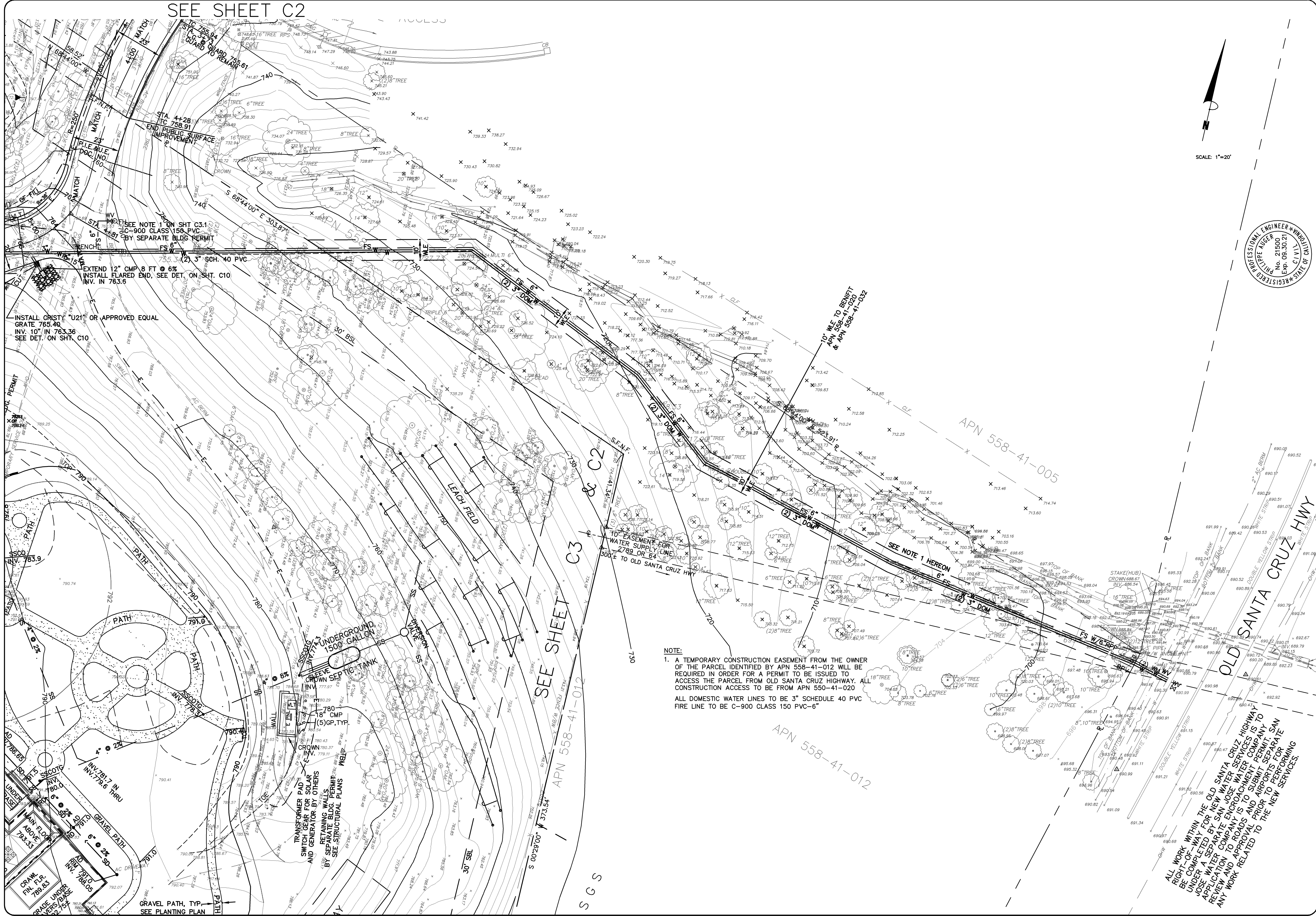
DATE	CHK'D	DESCRIPTION
4/27	SS	3 DWY, SD
11/18	PA	4 ACCESS DWY
1/19	PA	4 UTILITIES
		ADD DWY NOTE

SCALE AS SHOWN
DATE 12-22-17
DWN SS ME30
CHK'D
JOB NO. 15070
DWG. NO. L146918-2
SHEET OF 14 SHEETS

REVISIONS

DATE	CHK'D	DESCRIPTION
4/27	SS	3 DWY, SD
11/18	PA	4 ACCESS DWY
1/19	PA	4 UTILITIES
		ADD DWY NOTE

SCALE AS SHOWN
DATE 12-22-17
DWN SS ME30
CHK'D
JOB NO. 15070
DWG. NO. L146918-2
SHEET OF 14 SHEETS



APPLICANT: INGRAM—CAUCHI

ROAD NAME: OLD SANTA CRUZ HWY

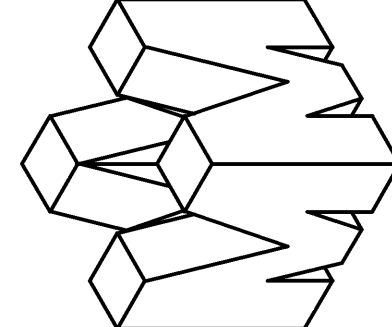
COUNTY FILE NO.: 10735—15B—15G

PHILIPPE AUGER, R.C.E. 21500—EXPIRES 9—30—21
DANIEL NUNES, R.C.E. 76449—EXPIRES 12—31—20, L.S. 9212—EXPIRES 09—30—21

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WATER SERVICES CONNECTIONS TO WATER MAIN
APN 558-41-020
19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS

DATE	BY	DESCRIPTION
4/9/19	SS	ACCESS DWN & UTILITIES

SCALE 1"=20'

DATE 11-16-18

DWN SS ME30

CH'KD

JOB NO. 15070

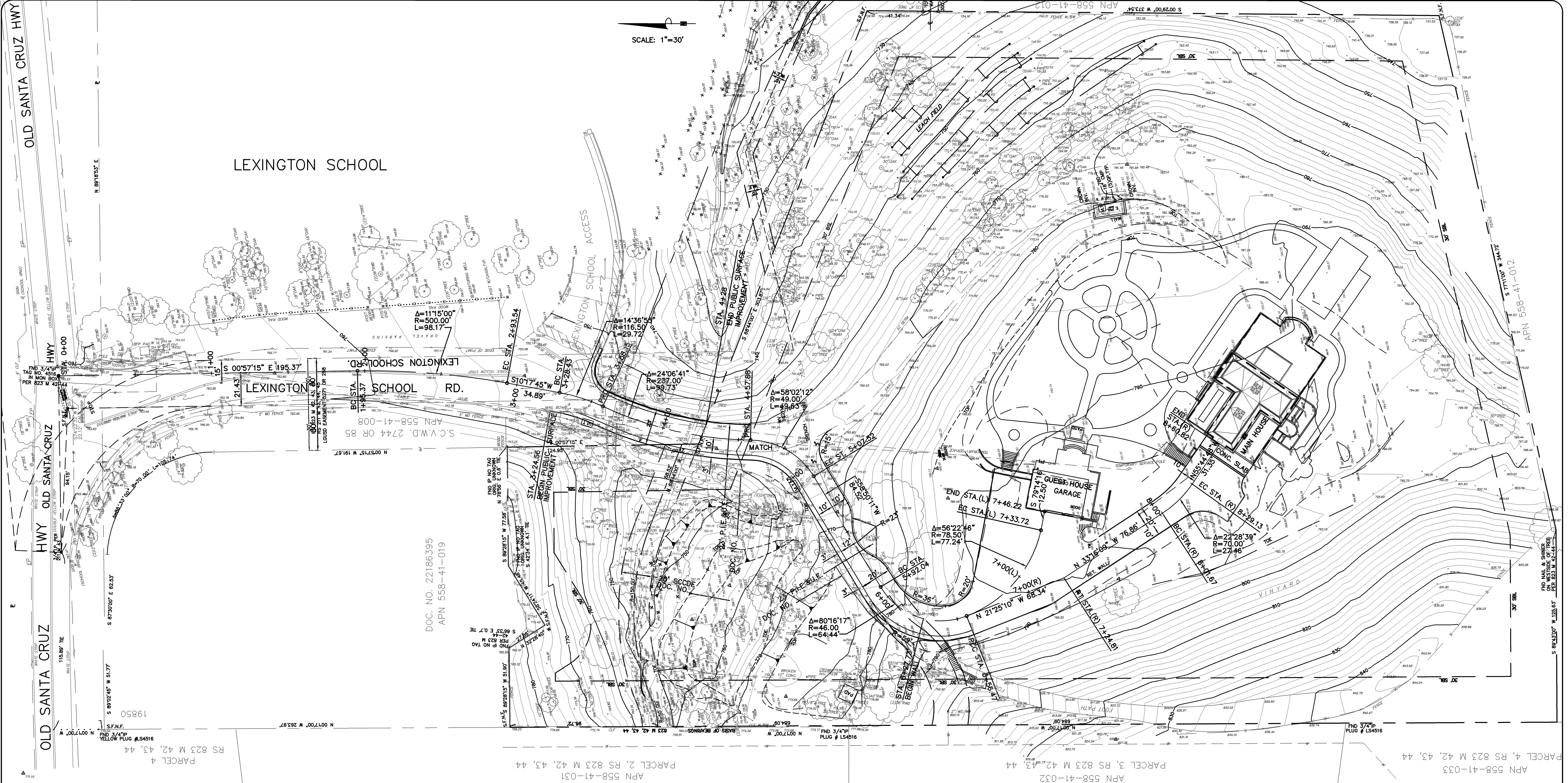
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REF. TOPO, SITE

SHEET

C3.1

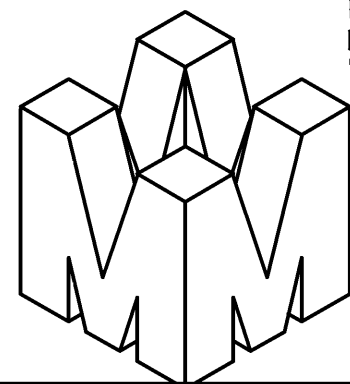
OF 14 SHEETS



DRIVEWAY SHALL BE MADE OF AN
"ALL WEATHER" MATERIAL CAPABLE
OF HOLDING 75,000 LBS.



PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-21
DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-20, L.S. 9212-EXPIRES 09-30-21



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DRIVEWAY ALIGNMENT CONTROL PLAN
APN 558-41-020
19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA

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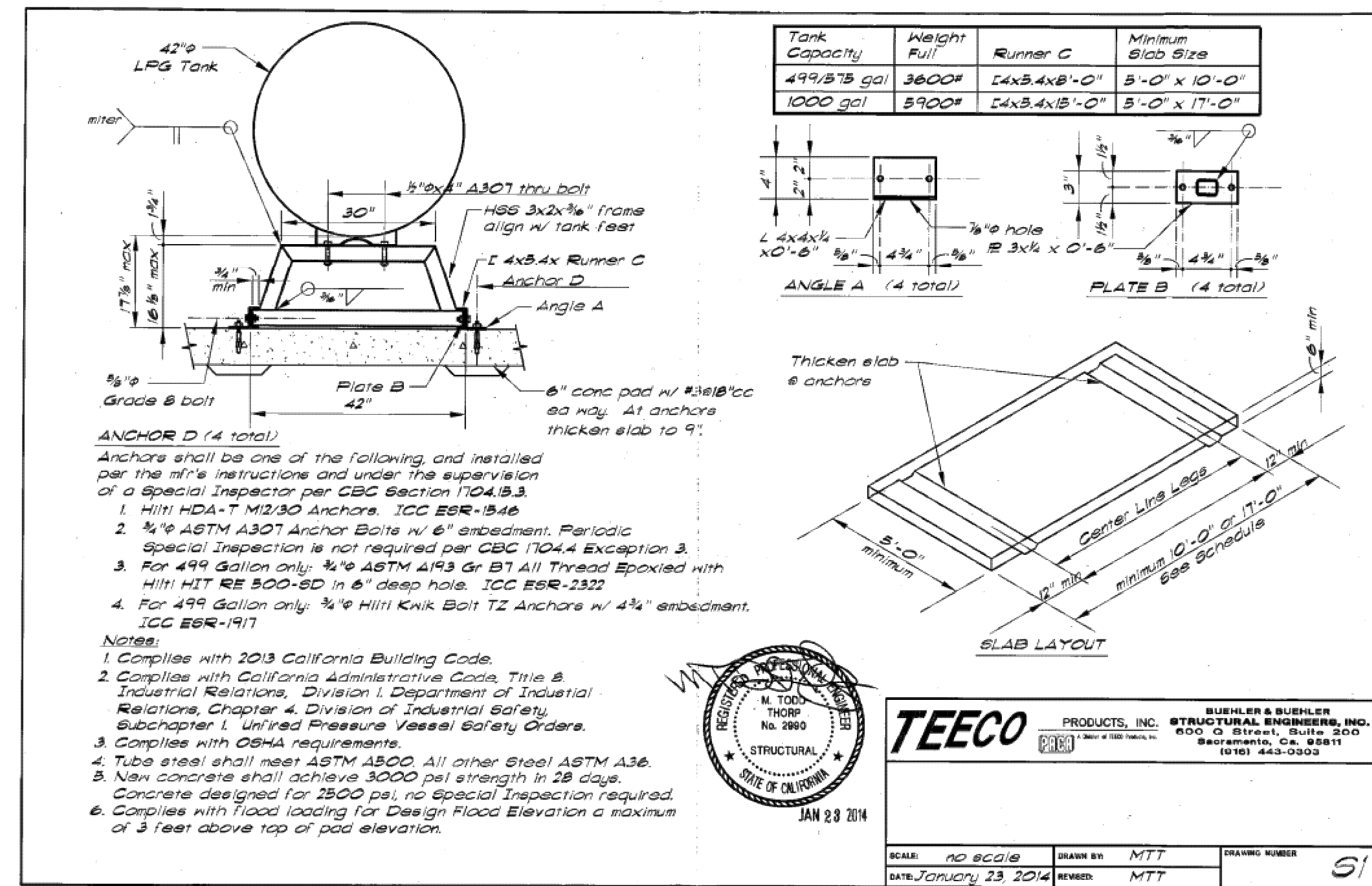
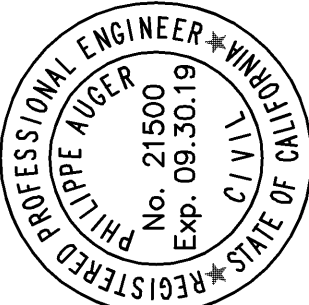
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DATE:	12-22-17
DWN:	SS ME30
CHKD:	
JOB NO.	15070
DWG NO.	L14691A-4
XREF.	TOPO, SITE

SHEET
C4
14 SHEETS

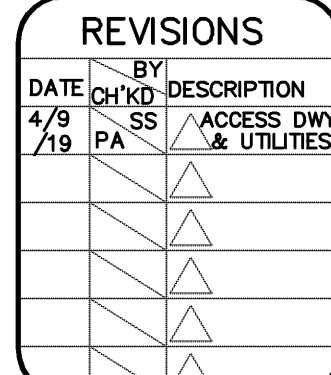
APPLICANT: INGRAM-CAUCHI

ROAD NAME: OLD SANTA CRUZ HWY

COUNTY FILE NO.: 10735-15B-15G



DRIVEWAY PROFILE

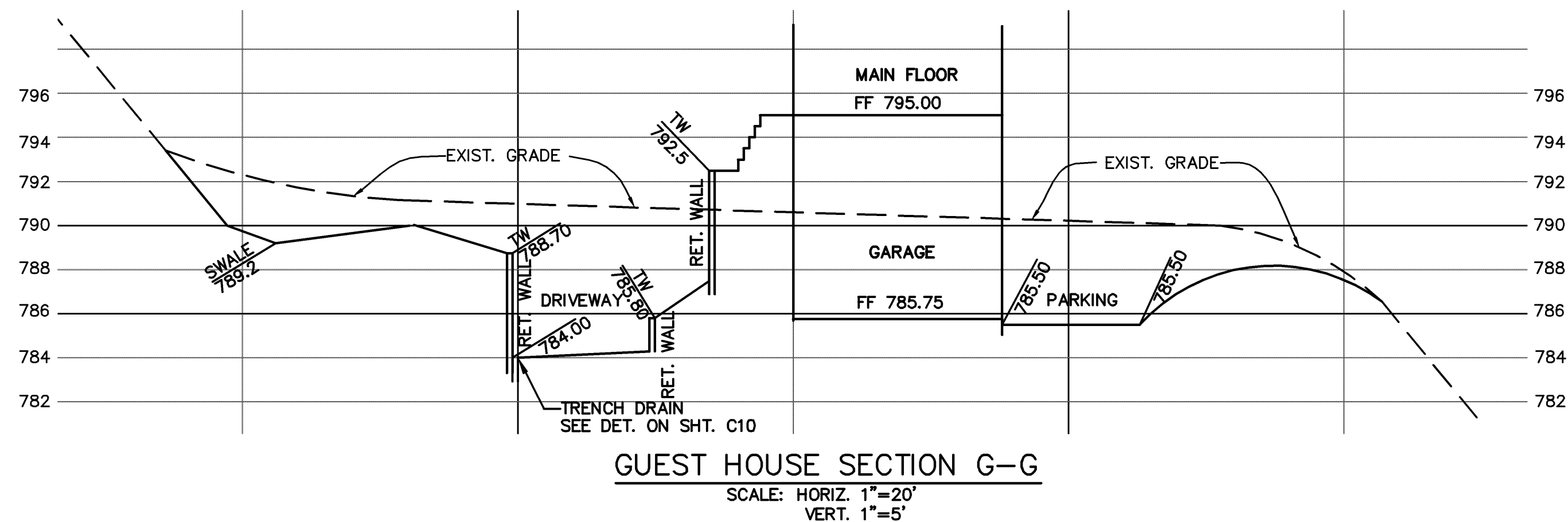
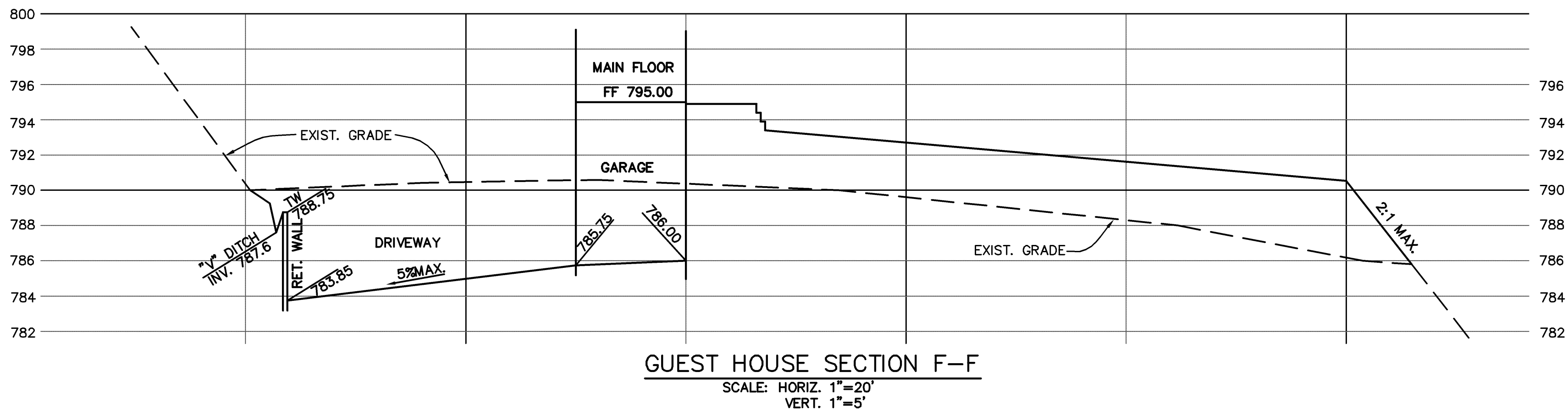
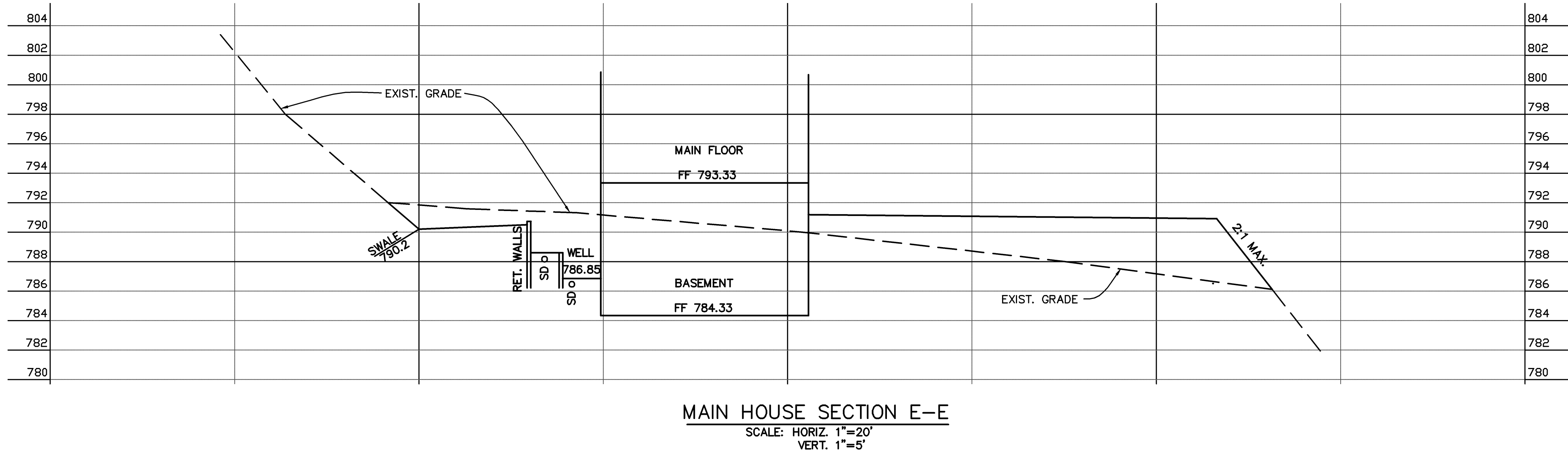
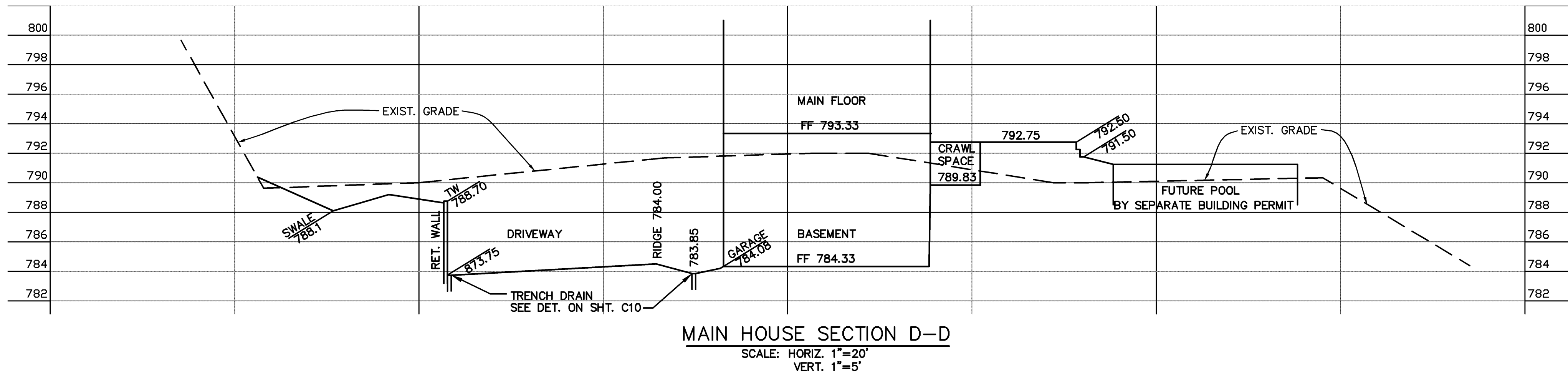


SCALE	AS SHOWN
DATE	12-22-17
DWN	SS ME30
CH'KD	
JOB NO.	15070
DWG. NO.	114601A

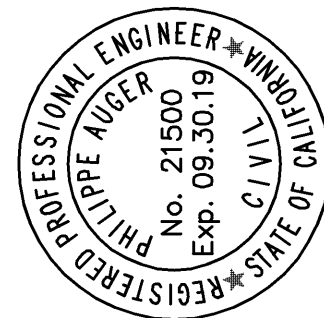
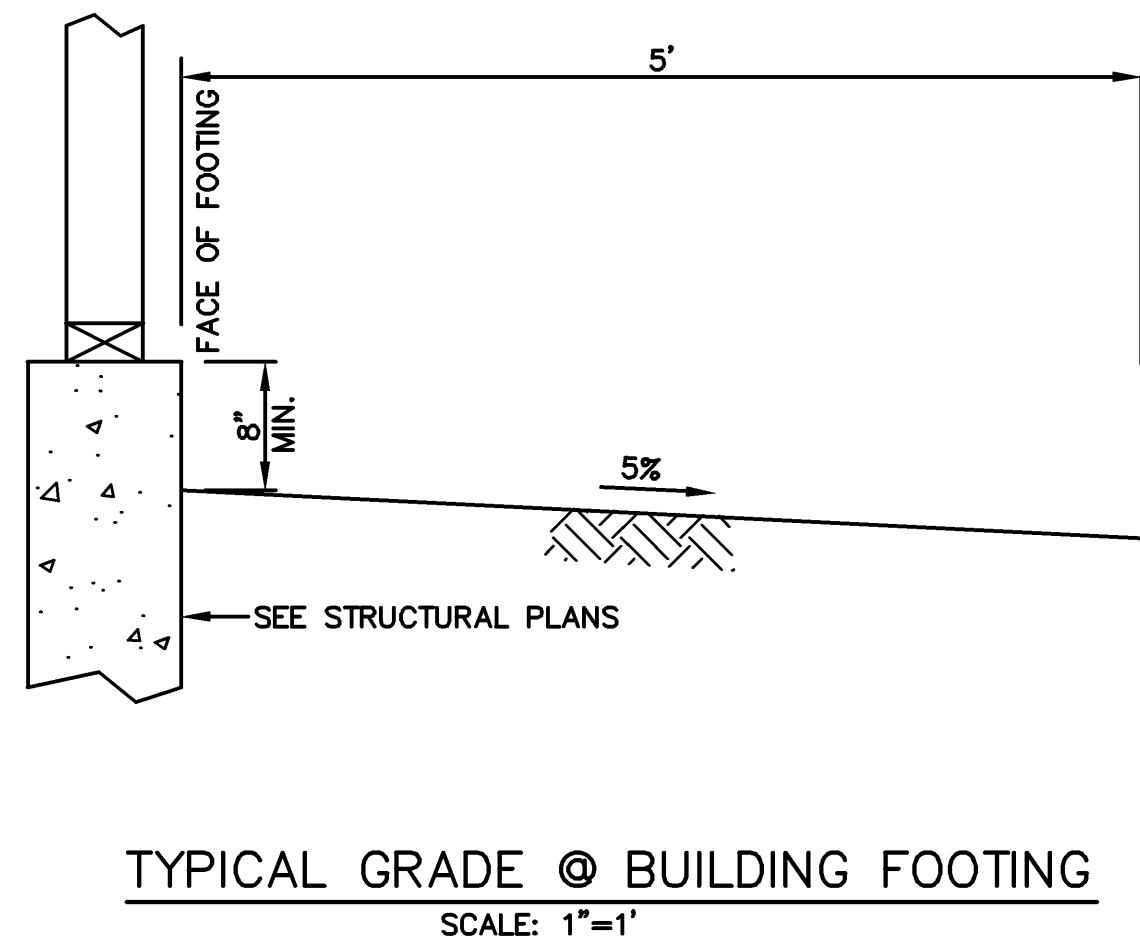
SHEET

C5

OF 14 SHEETS



NOTE:
ALL RETAINING WALLS BY SEPARATE BUILDING PERMIT.



PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-19

DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-20, L.S. 9212-EXPIRES 09-30-19

SECTIONS @ MAIN HOUSE & GUEST HOUSE

APN 558-41-020

19800 OLD SANTA CRUZ HWY, LOS GATOS

IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS		
DATE	BY	DESCRIPTION
3/29/19	CH'KD	SS
1/19	PA	ACCESS DOWNS & UTILITIES

SCALE	AS SHOWN
DATE	12-22-17
DWN	SS ME30
CH'KD	
JOB NO.	15070
DWG. NO.	L14691A-6

SHEET
C6
OF 14 SHEETS

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PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

APPLICANT: INGRAM-CAUCHI

ROAD NAME: OLD SANTA CRUZ HWY

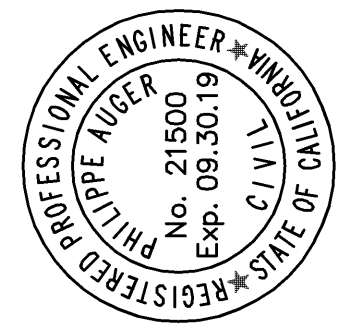
COUNTY FILE NO.: 10735-15B-15G



SCALE: 1"=20'

LEXINGTON SCHOOL

NOTE:
WORK IS RESTRICTED ON LEXINGTON SCHOOL ROAD TO BETWEEN THE HOURS OF 8:30AM AND 2:00PM ON MON, TUES, THURS, & FRI, FROM 1:00PM TO DUSK ON WED AND OTHER DESIGNATED EARLY RELEASE DAYS AT LEXINGTON ELEMENTARY SCHOOL, AND FROM DAWN TO DUSK ON SAT. RESTRICTION APPLIES TO DAYS SCHOOL IS IN SESSION. THIS RESTRICTION ALSO APPLIES TO MATERIAL AND EQUIPMENT DELIVERY, MATERIAL EXPORT, AND OTHER ACCESS BY LARGE VEHICLES. TWO-AXLE PICKUPS AND SMALLER ARE NOT RESTRICTED.

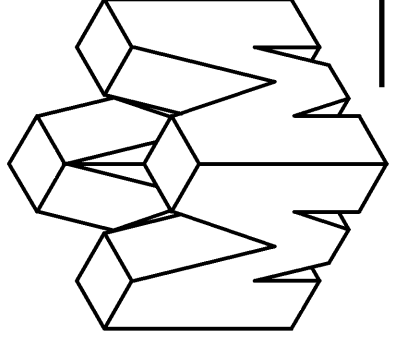


PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-19
DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-20, L.S. 9212-EXPIRES 09-30-19

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TRAFFIC CONTROL PLAN
APN 558-41-020
19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS	
DATE	DESCRIPTION

SCALE	AS SHOWN
DATE	12-22-17
DWN	SS ME30
CHK'D	
JOB NO.	15070
DWG. NO.	L14691A-7
REF.	TOPO, SITE

SHEET
C7
OF 14 SHEETS

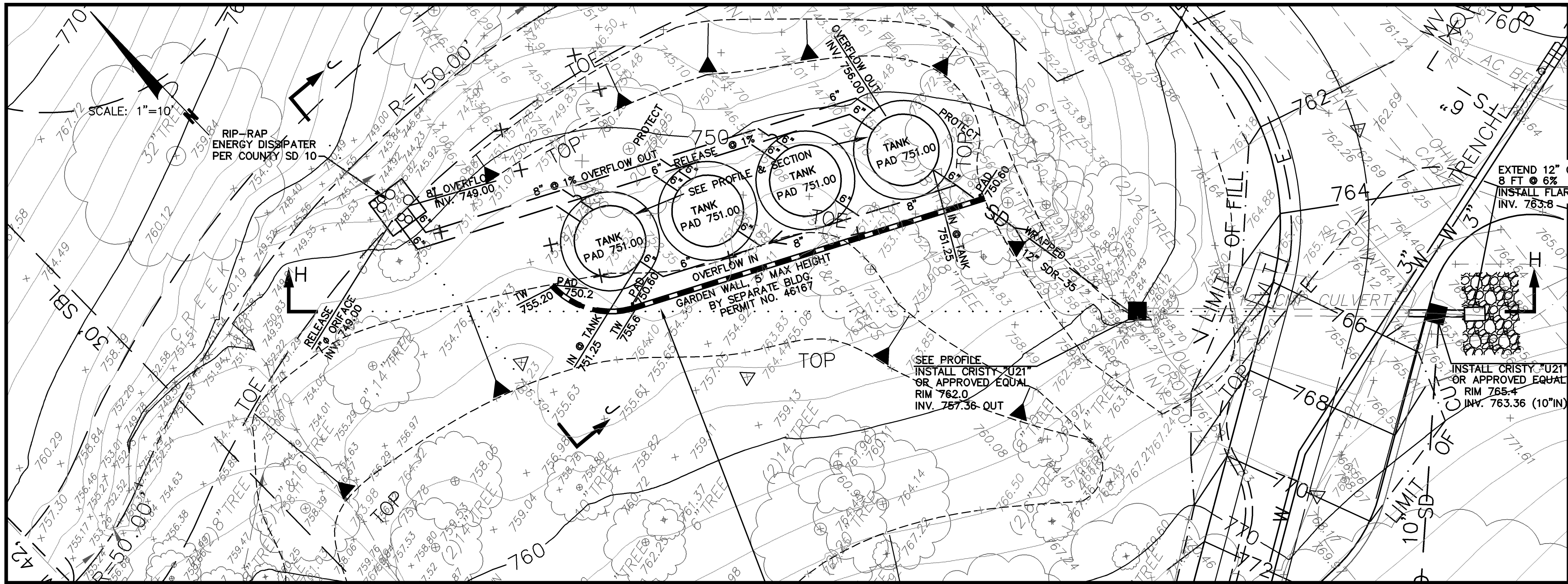
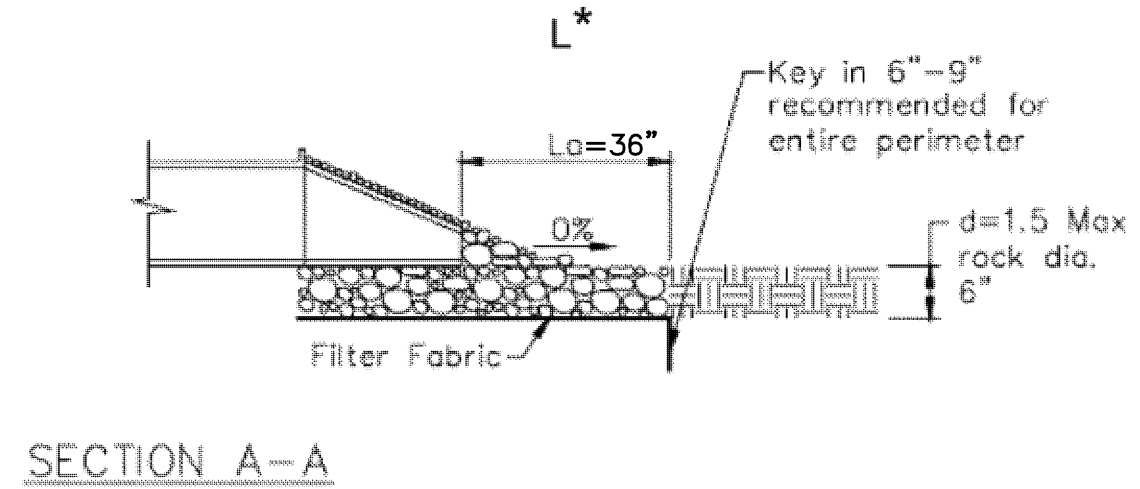
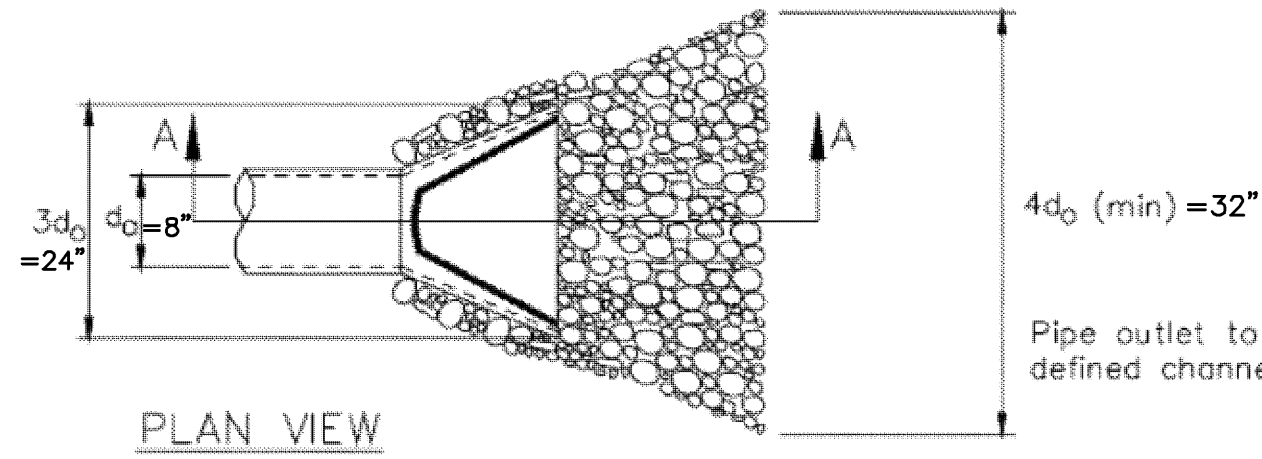
APPLICANT: INGRAM-CAUCHI

ROAD NAME: OLD SANTA CRUZ HWY

COUNTY FILE NO.: 10735-15B-15G

Velocity Dissipation Devices

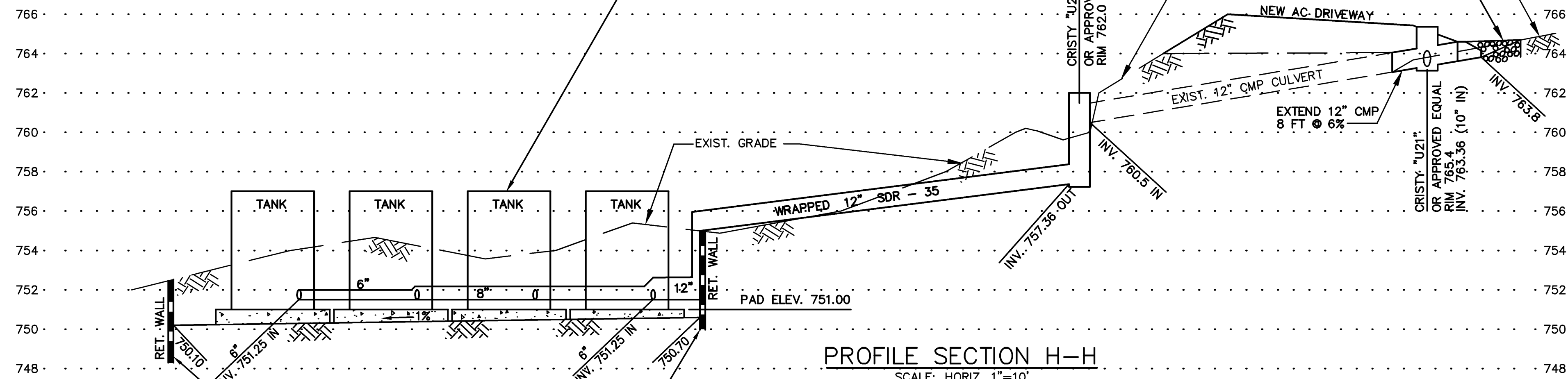
CASQA Detail EC-10



NOTE:
WATERTANK TO SLAB CONNECTION: SEE DETAIL 11 ON SHEET S2.1.

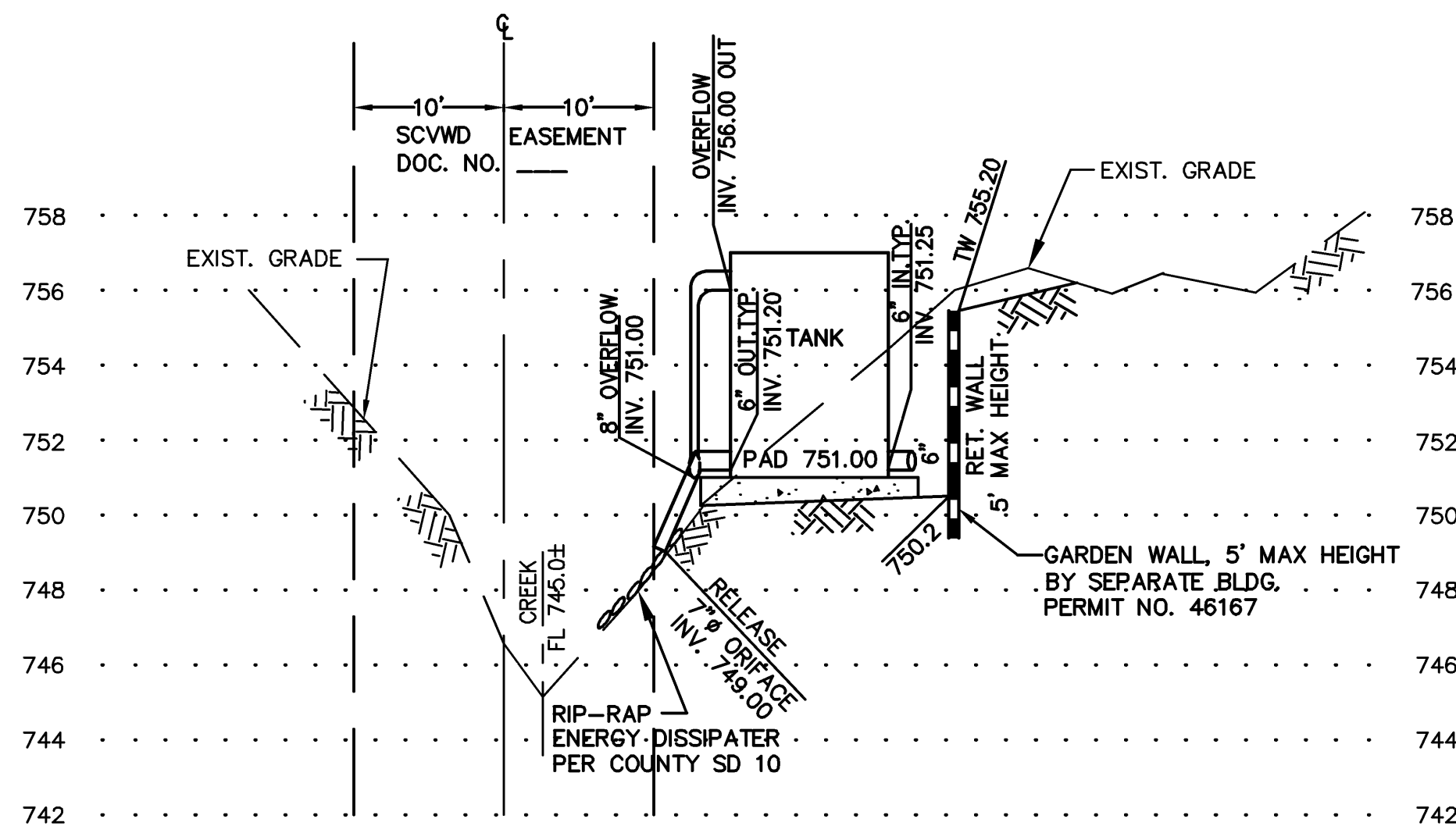
PLAN
SCALE: 1"=10'

5,000 GAL STORMWATER DETENTION TANKS (BUSHMAN CWTX5-132 OR APPROVED EQUAL) WITH 6" OVERFLOW, TYP. AND 7" ORIFICE RELEASE OUTLET @ RIP-RAP



PROFILE SECTION H-H
SCALE: HORIZ. 1"=10'
VERT. 1"=4'

GARDEN WALL, 5' MAX HEIGHT
BY SEPARATE BLDG. PERMIT NO. 46167

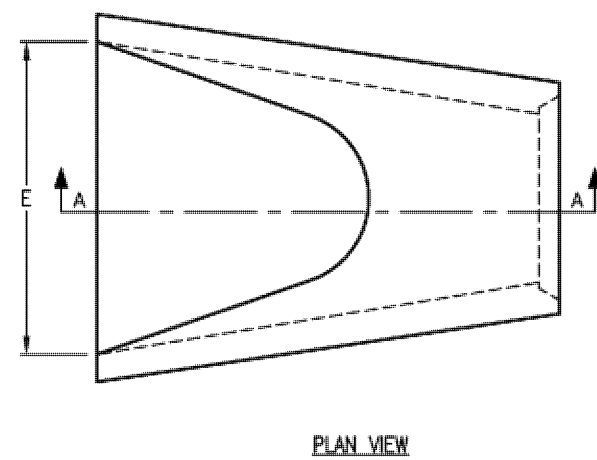


SECTION J-J
SCALE: HORIZ. 1"=10'
VERT. 1"=4'

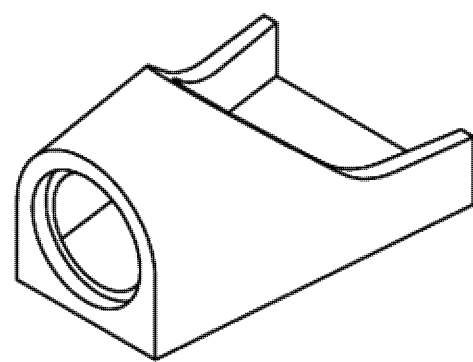
NOTES:
1. REINFORCEMENT SHALL BE EQUAL TO THAT REQUIRED FOR CLASS III RCP OF CORRESPONDING DIAMETER PER CALTRANS SPECIFICATIONS.

PIPE DIA.	A	B	C	D	E	F	WEIGHTS (LBS.)
12"	4"	2"	13"	24"	24"	37"	400
18"	9"	2"	13"	27"	36"	40"	900
24"	9"	3"	16"	42"	48"	56"	1,400
30"	12"	3"	18"	54"	60"	72"	2,300
36"	15"	4"	18"	63"	72"	81"	4,100
42"	21"	5"	18"	63"	78"	81"	5,200
48"	24"	5"	18"	72"	84"	90"	6,500
54"	27"	6"	18"	65"	90"	83"	7,400

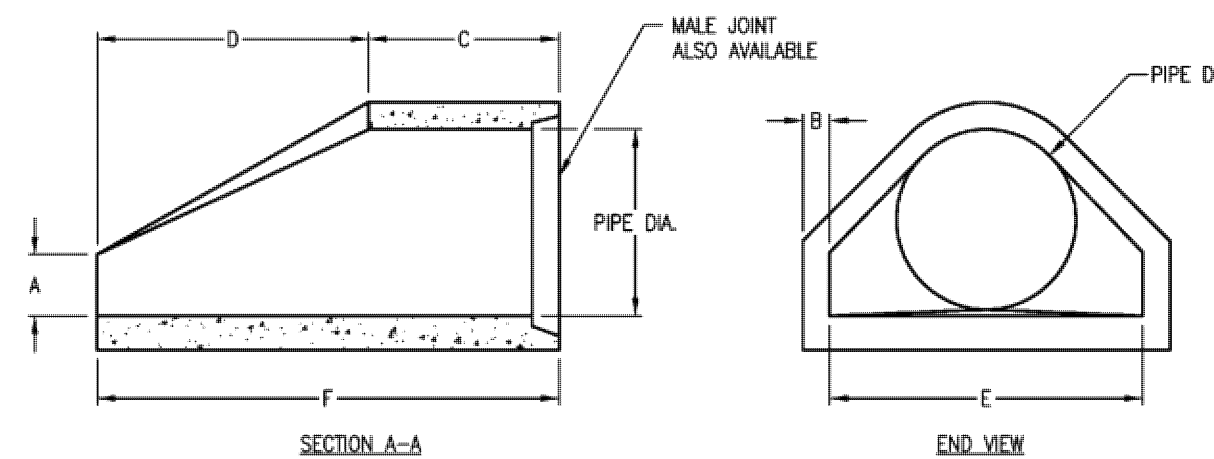
CDOT-14



PLAN VIEW



ISOMETRIC VIEW



SECTION A-A

END VIEW

DRAWING MAY NOT CONFORM TO THE MOST CURRENT SPECIFICATION

Oldcastle Precast
Northern California
Madera • Morgan Hill • Pleasanton • Santa Rosa • Stockton • Tulare
Phone: 925-750-6555 Fax: 925-750-6560

FLARED ENDS
FILE NAME: CDOT-14.DWG
REVISED: MARCH 2016
www.oldcastleprecast.com

CONCRETE FLARED
END SECTIONS
CALTRANS
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STORM DRAINAGE DETENTION SYSTEM

APN 558-41-020

19800 OLD SANTA CRUZ HWY, LOS GATOS

IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS	
DATE	DESCRIPTION
4/5/19	CH'D BY SS UPDATED H-H

SCALE	AS SHOWN
DATE	01-17-18
DWN	SS ME30
CH'D	NO. 15070
JOB NO.	15070
DWG. NO.	L14691A-B

SHEET
C8
OF 14 SHEETS



PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-21

DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-20, L.S. 9212-EXPIRES 09-30-21

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Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: missionengineersinc.com

APPLICANT: INGRAM-CAUCHI

ROAD NAME: OLD SANTA CRUZ HWY

COUNTY FILE NO.: 10735-15B-15G

LEGEND
X FIBER ROLL
□ SEDIMENT BARRIER

FIBER ROLLS, SEE BMP 2, TYP.

SEDIMENT BARRIERS, SEE BMP 2, TYP.

FIBER ROLLS, SEE BMP 2, TYP.

DI PROTECTION
BMP-2/TYP 3

STABILIZED CONSTRUCTION ENTRANCE/EXIT
SEE BMP 1

FIBER ROLLS, SEE BMP 2, TYP.

CONSTRUCTION TRAILER

CONCRETE WASHOUT

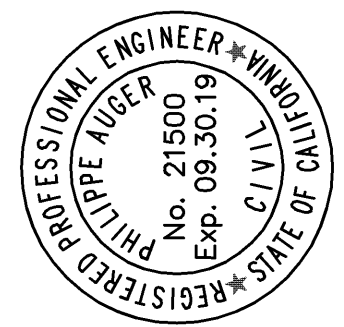
PARKING

PORTE POTTY

MATERIAL STORAGE

HAZARDOUS WASTE STORAGE

SCALE: 1"=30'



PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-19
DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-20, L.S. 9212-EXPIRES 09-30-19
PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING
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EROSION CONTROL PLAN
APN 558-41-020

19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS	
DATE	DESCRIPTION

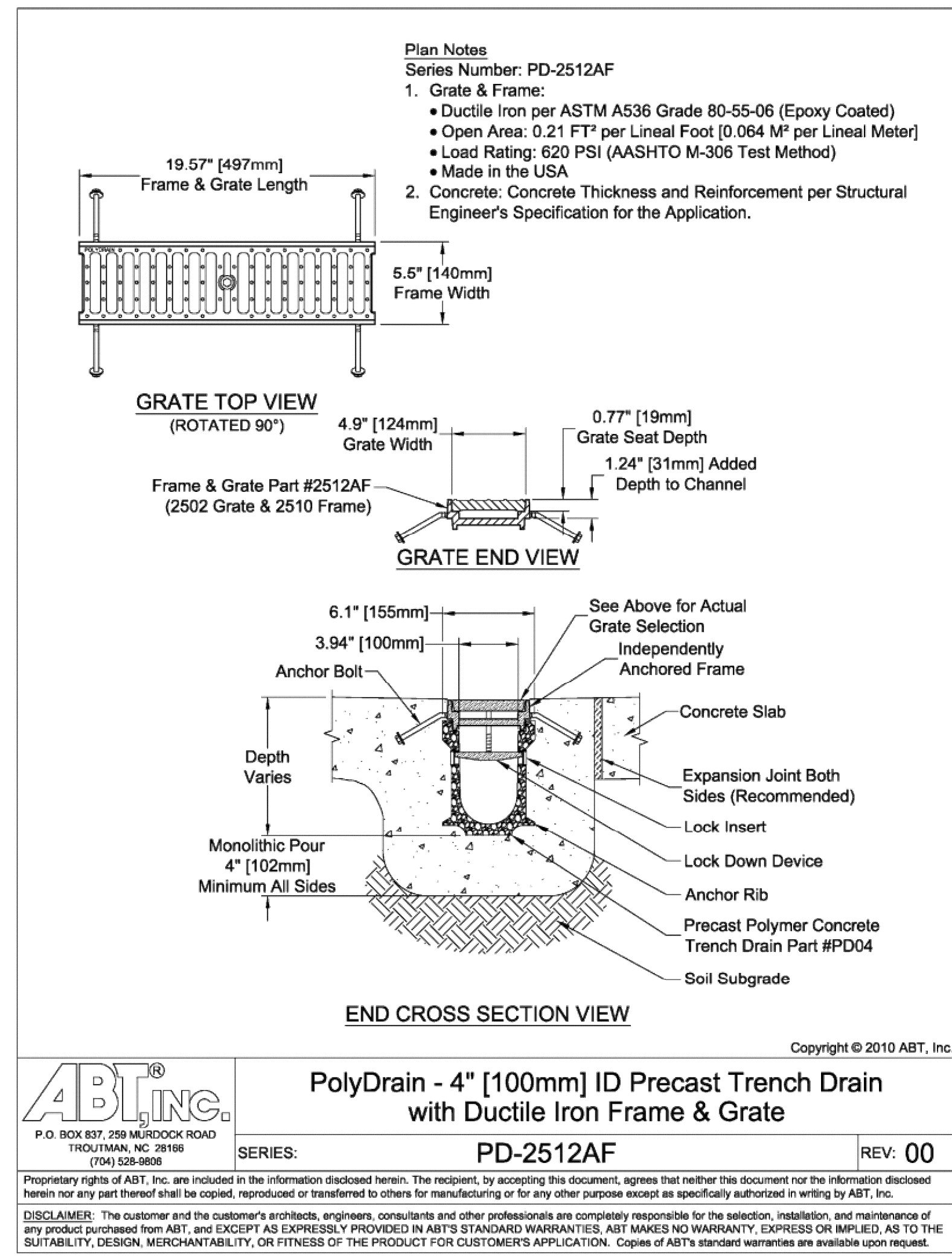
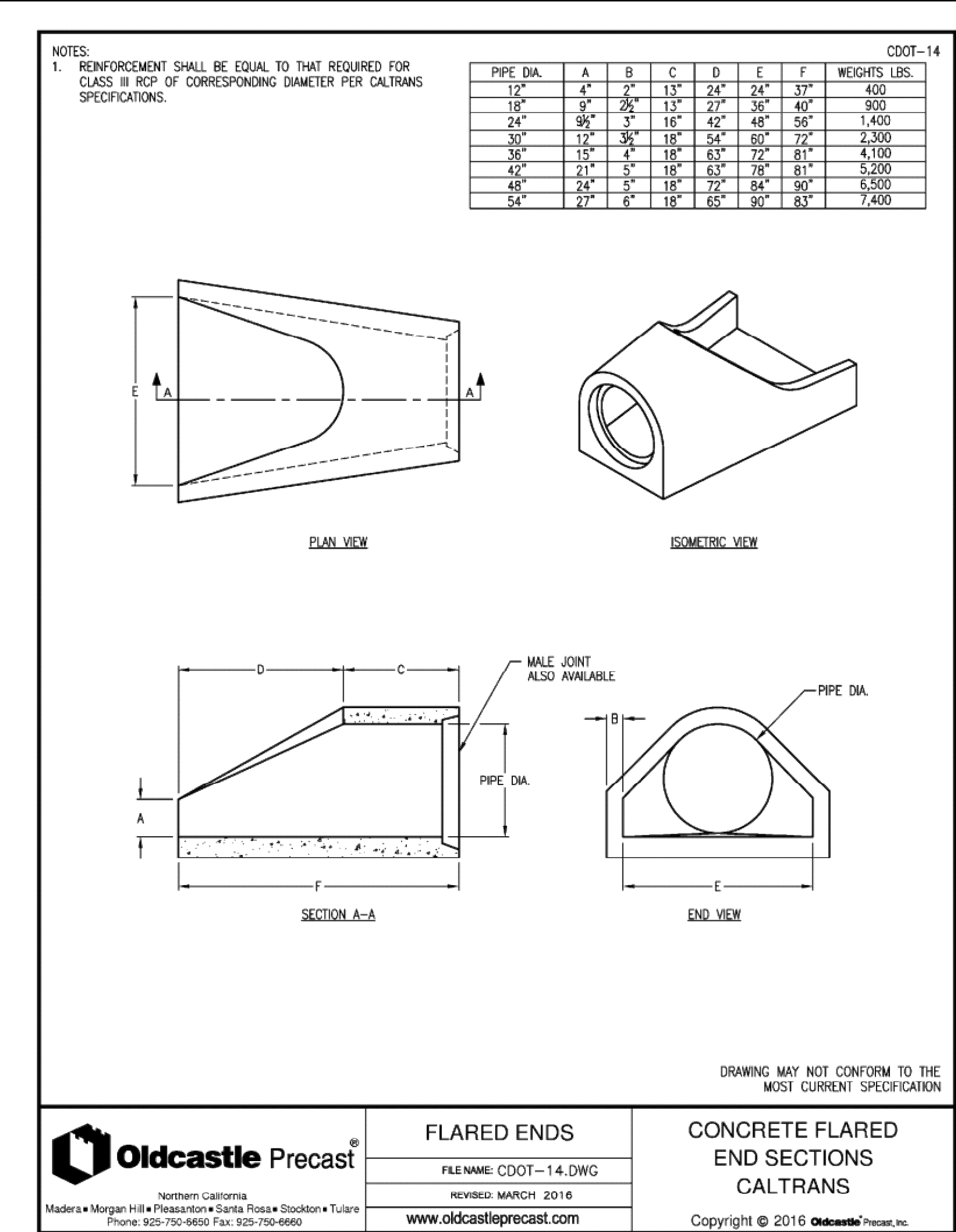
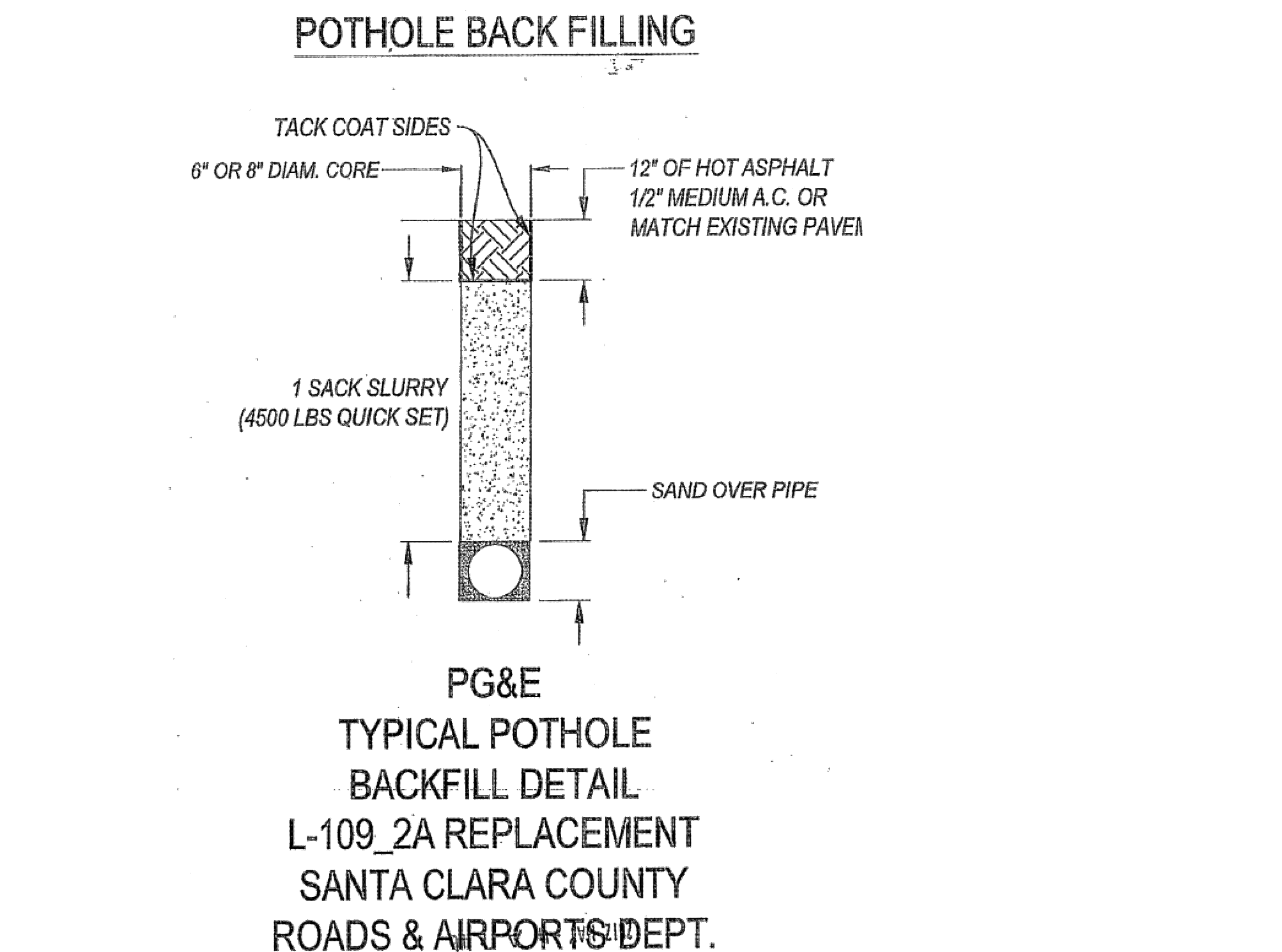
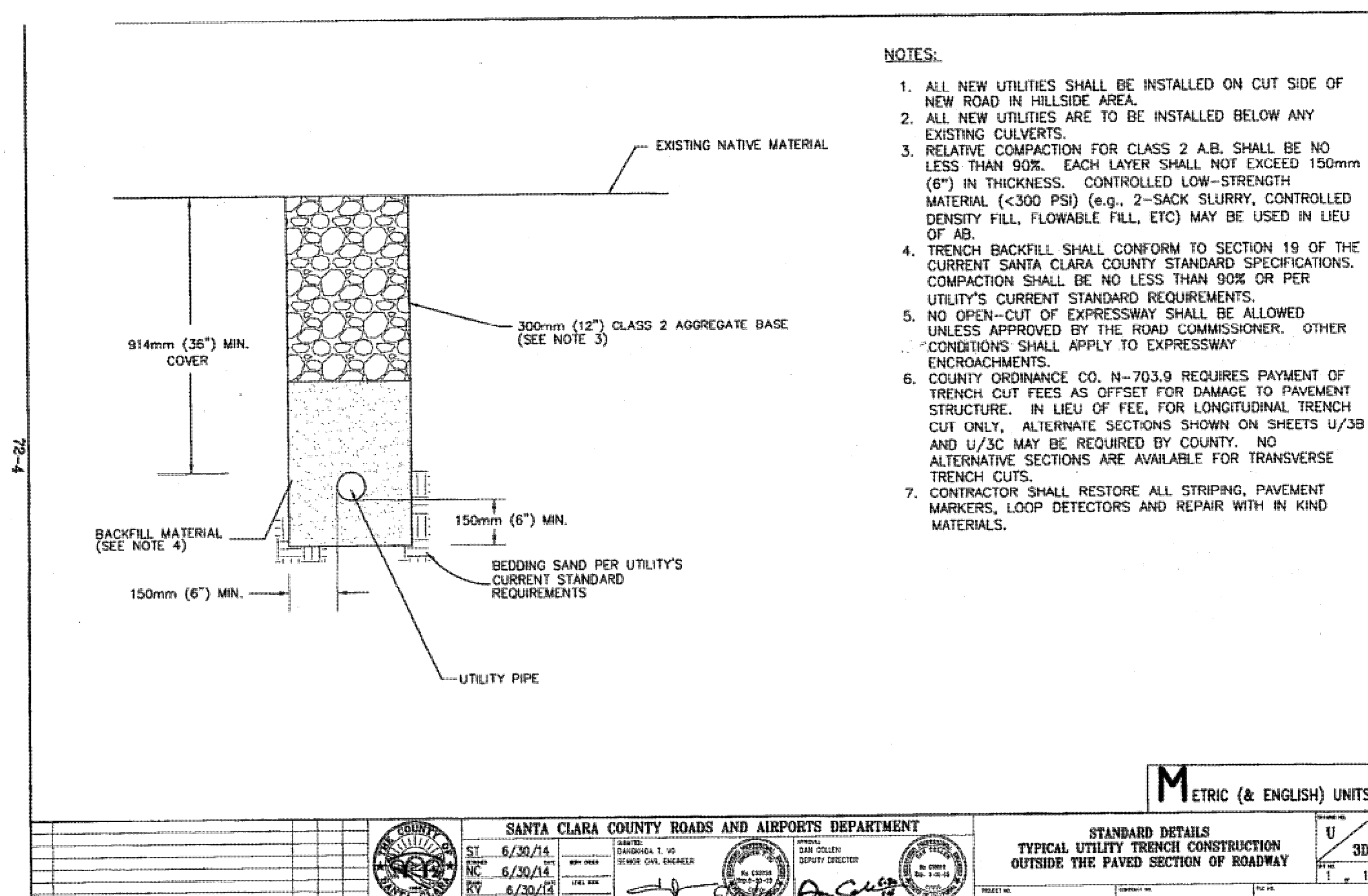
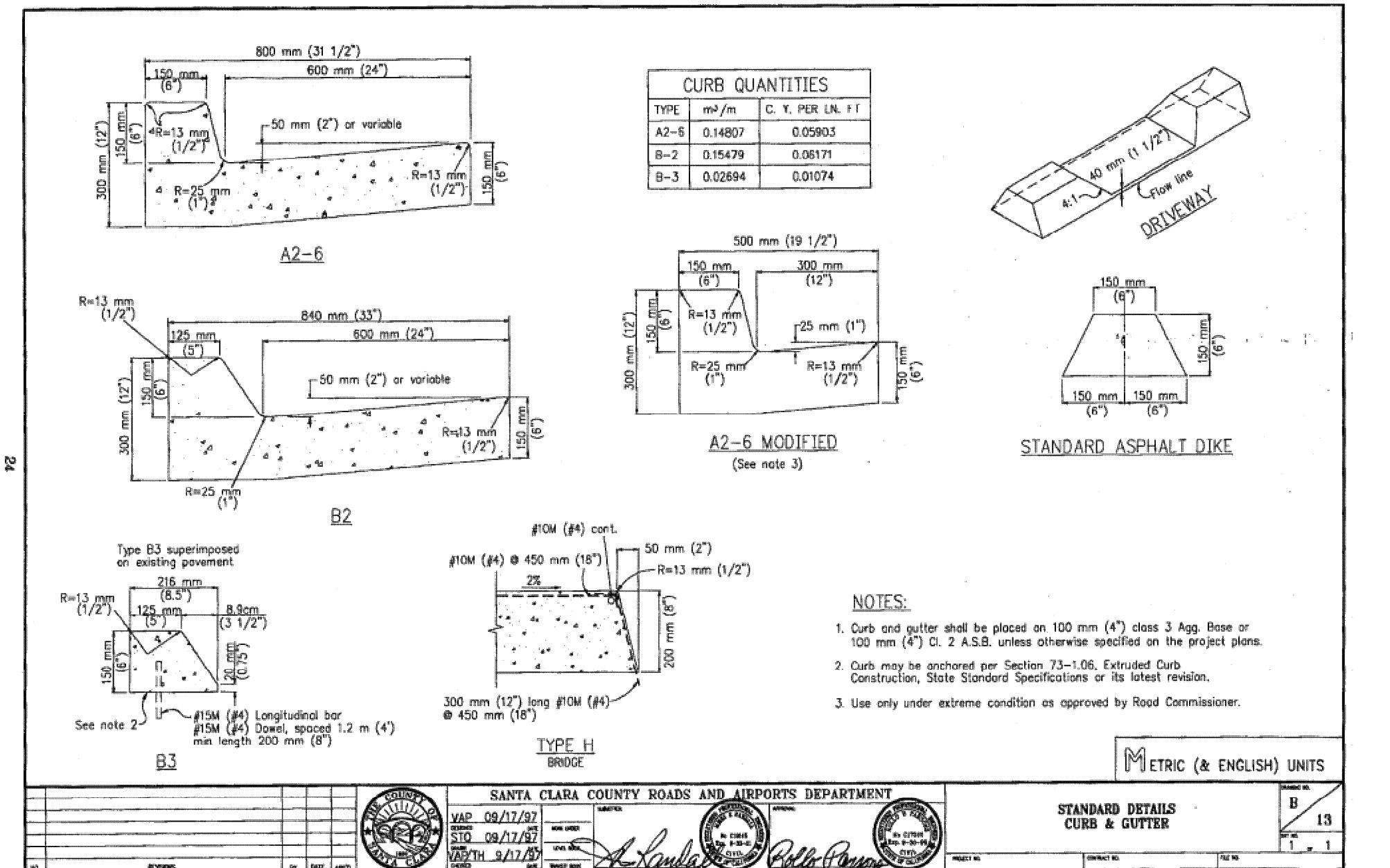
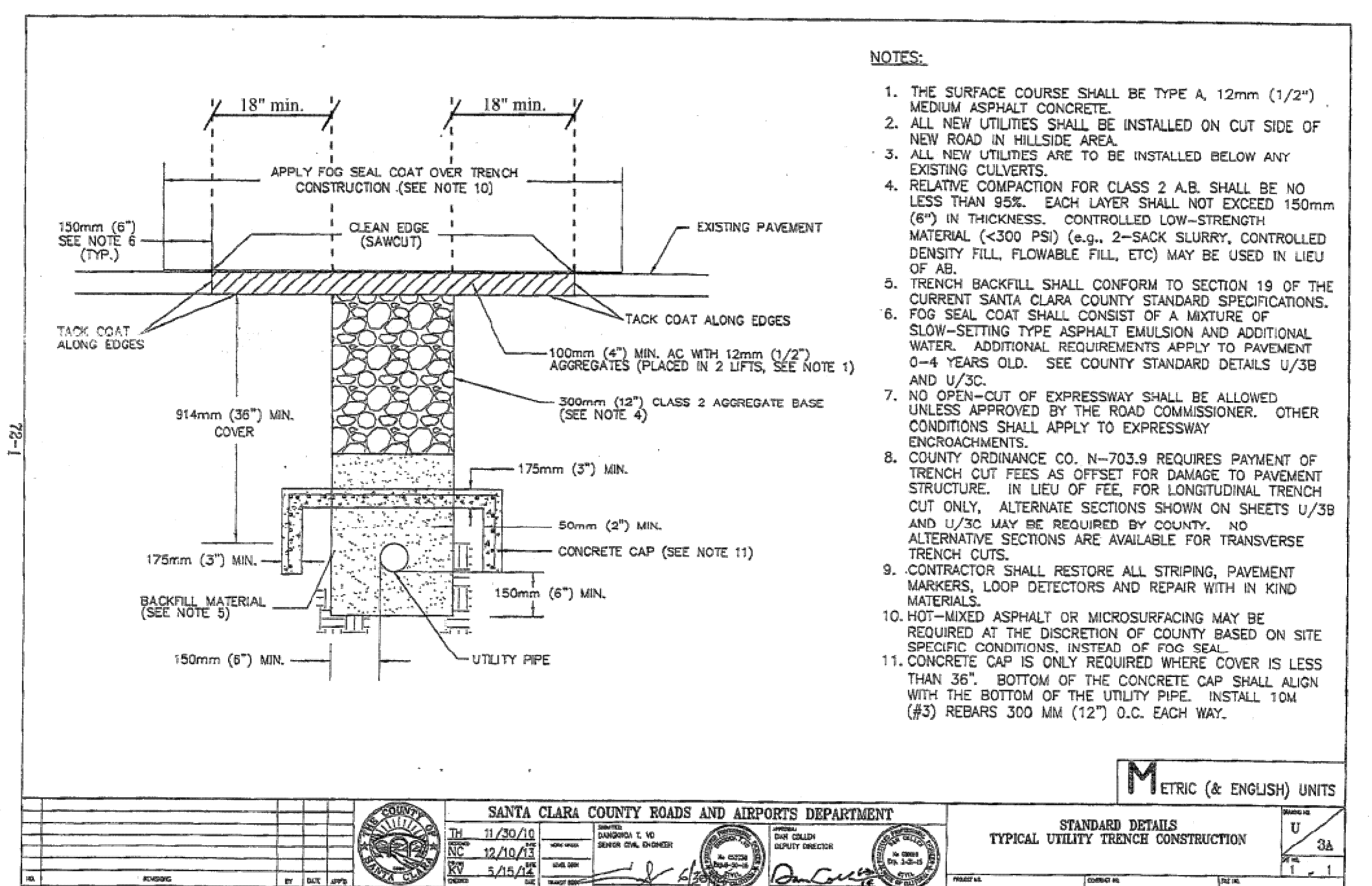
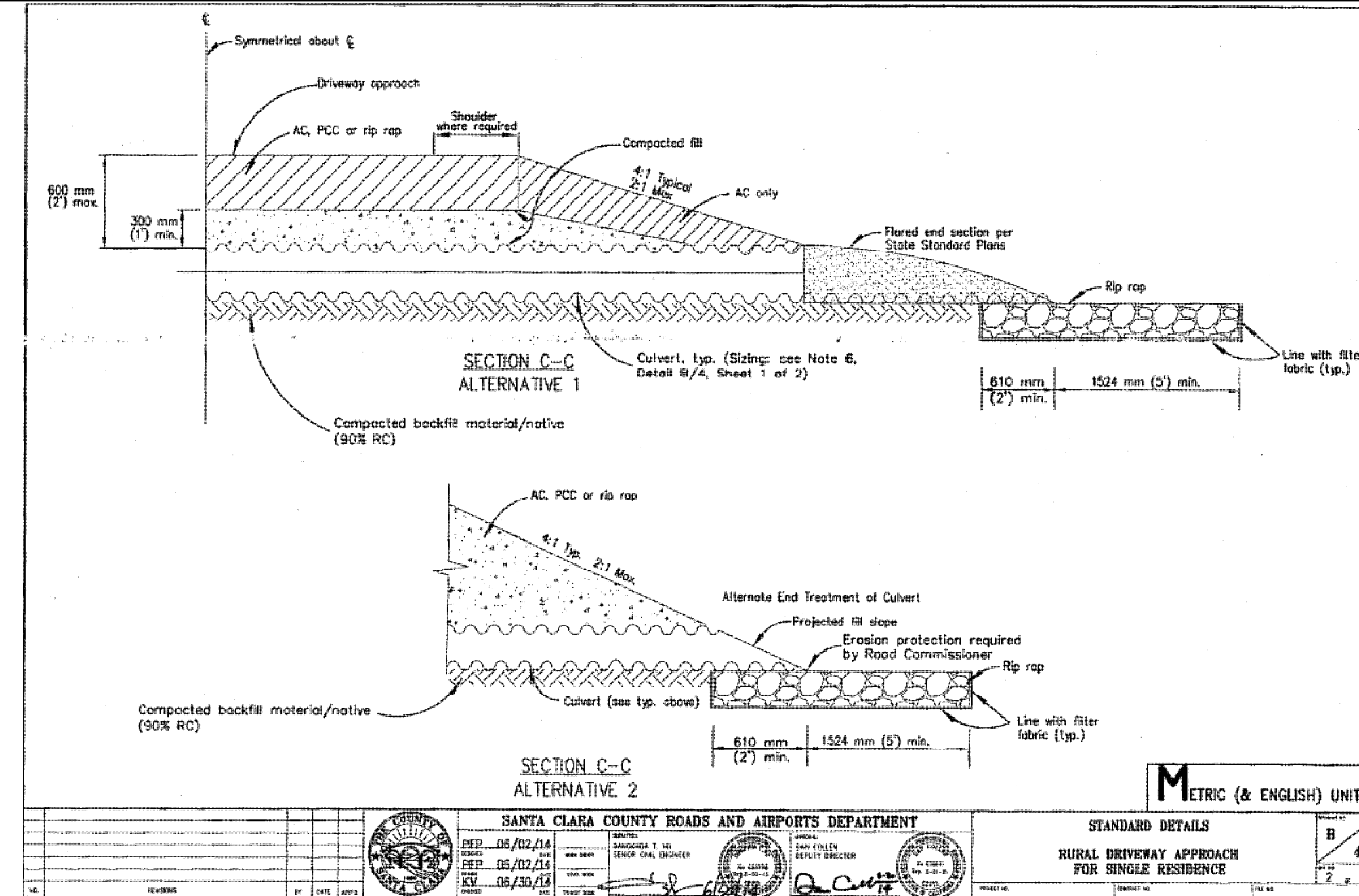
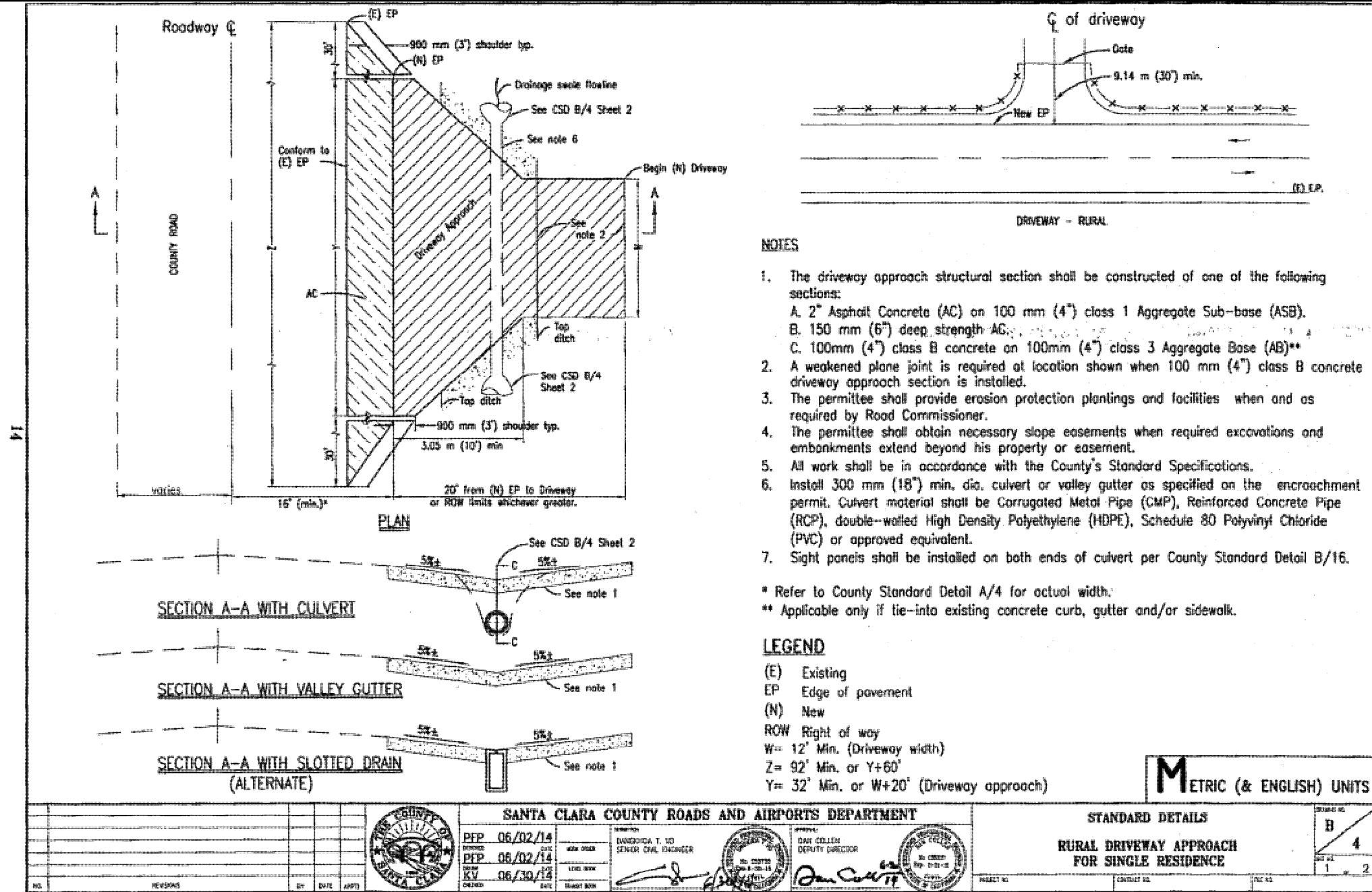
SCALE	1"= 30'
DATE	12-22-17
DWN	SS ME30
CHK'D	
JOB NO.	15070
DWG. NO.	L14691A-9

SHEET
C9
OF 13 SHEETS

APPLICANT: INGRAM-CAUCHI

ROAD NAME: OLD SANTA CRUZ HWY

COUNTY FILE NO.: 10735-15B-15G



PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-19
 DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-20, L.S. 9212-EXPIRES 09-30-19

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

MISSION ENGINEERS, INC.

RESPONSIVE, RELIABLE RESULTS SINCE 1953

2555 De La Cruz Blvd. Santa Clara, California 95050
 Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: missionengineersinc.com

DETAILS
 APN 558-41-020
 19800 OLD SANTA CRUZ HWY, LOS GATOS
 IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS

DATE	BY	DESCRIPTION
3/29/19	CHD	ADDED DETAILS

SCALE AS SHOWN
 DATE 12-22-17
 DWN SS ME30
 CHD
 JOB NO. 15070
 DWG. NO. L14691A-10
 SHEET
C10
 OF 14 SHEETS

APPLICANT: INGRAM-CAUCHI

ROAD NAME: OLD SANTA CRUZ HWY

COUNTY FILE NO.: 10735-15B-15G

SEE SHEET C2

SEE SHEET C2

May 2017
Planting Plan

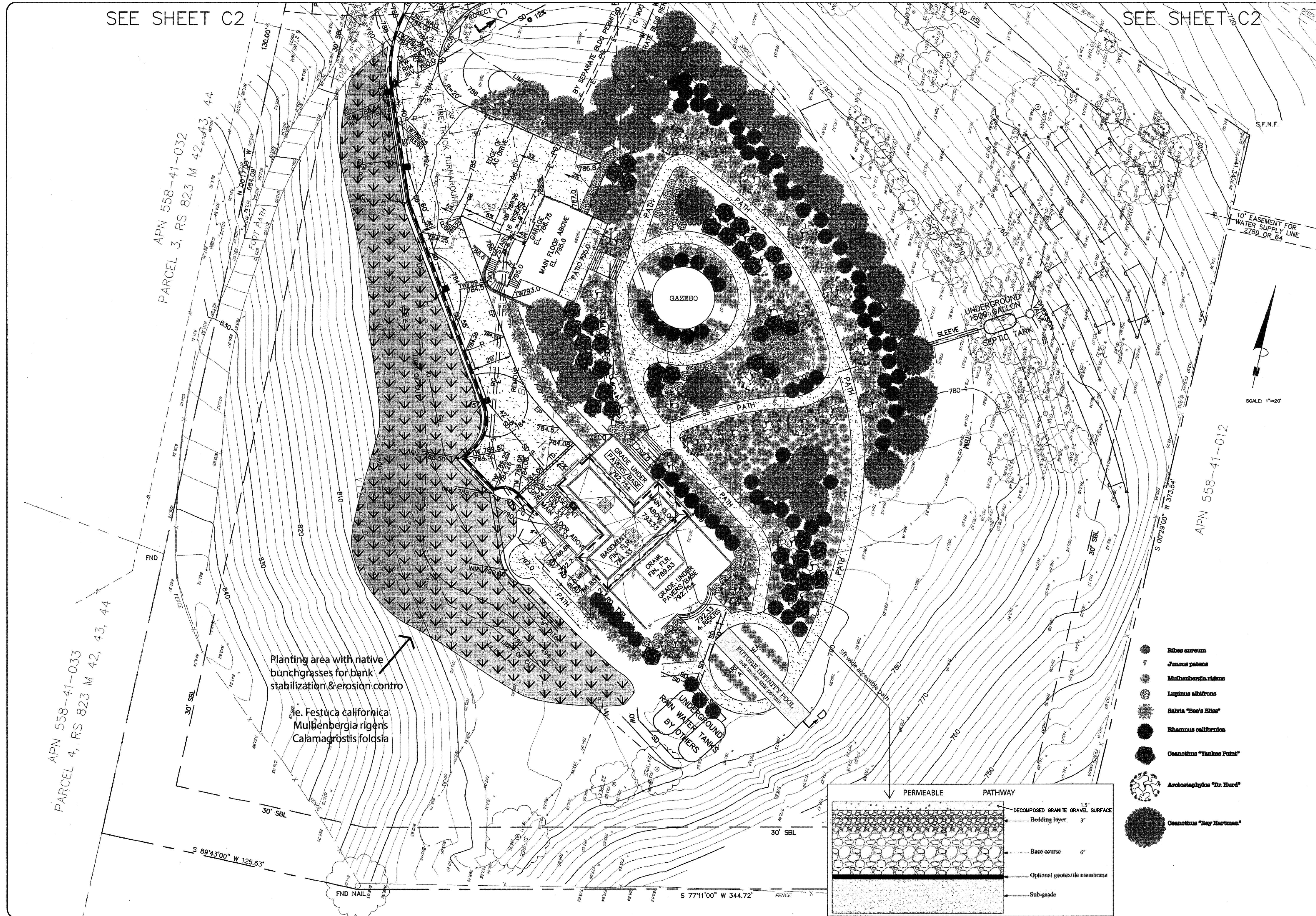
SCALE 1" = 20'

Ingram-Cauchí Residence
19800 Old Santa Cruz Hwy
Los Gatos in the County of Santa Clara



1231 N 1st St
San Jose, CA 95112
info@baymaples.com
408.642.1860
LIC # 977639

L1
jk



APN 558-41-033
PARCEL 4, RS 823 M 42, 43, 44

APN 558-41-032
PARCEL 3, RS 823 M 42, 43, 44

APN 558-41-012

APPLICANT: INGRAM-CAUCHI

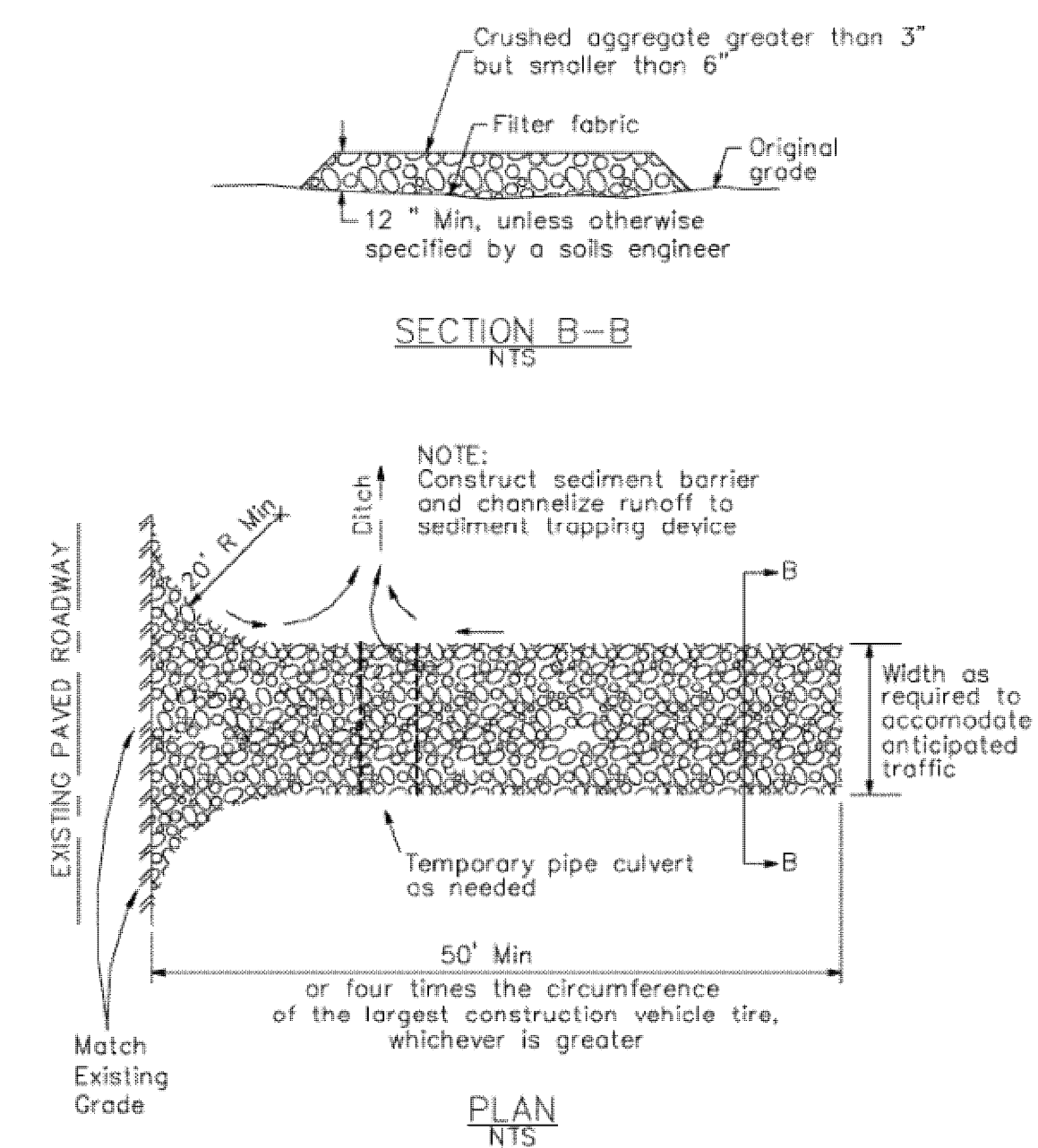
ROAD NAME: OLD SANTA CRUZ HWY

COUNTY FILE NO.: 10735-15B-15G

3

Stabilized Construction Entrance/Exit

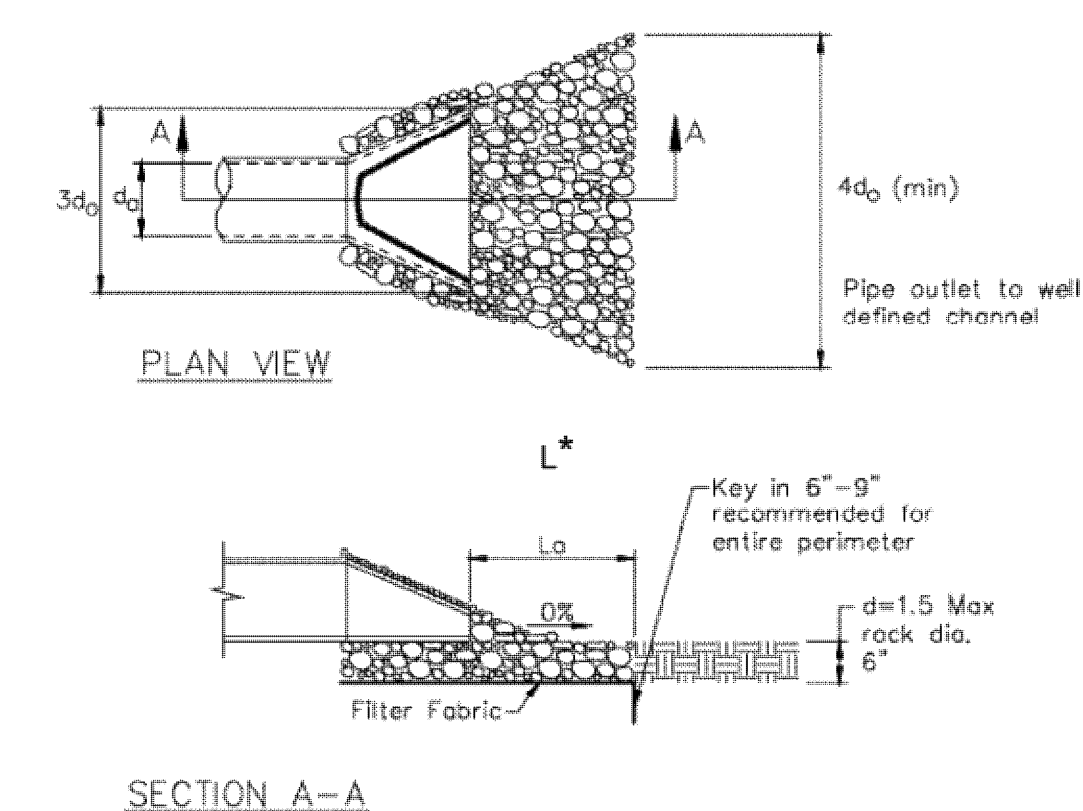
CASQA Detail TC-1



4

Velocity Dissipation Devices

CASQA Detail EC-10

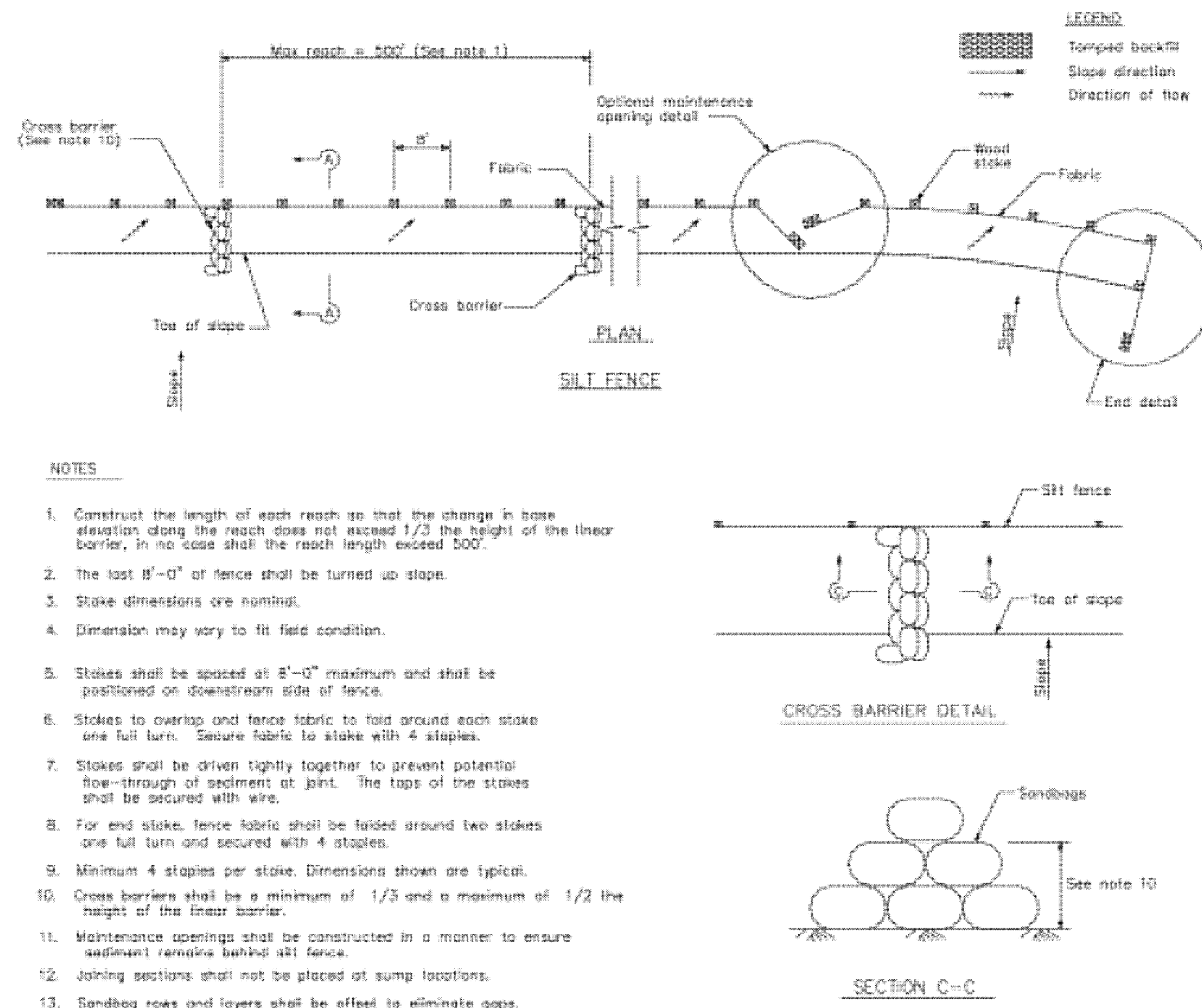


Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.
Available from www.cabmphandbooks.com.

1

Silt Fence

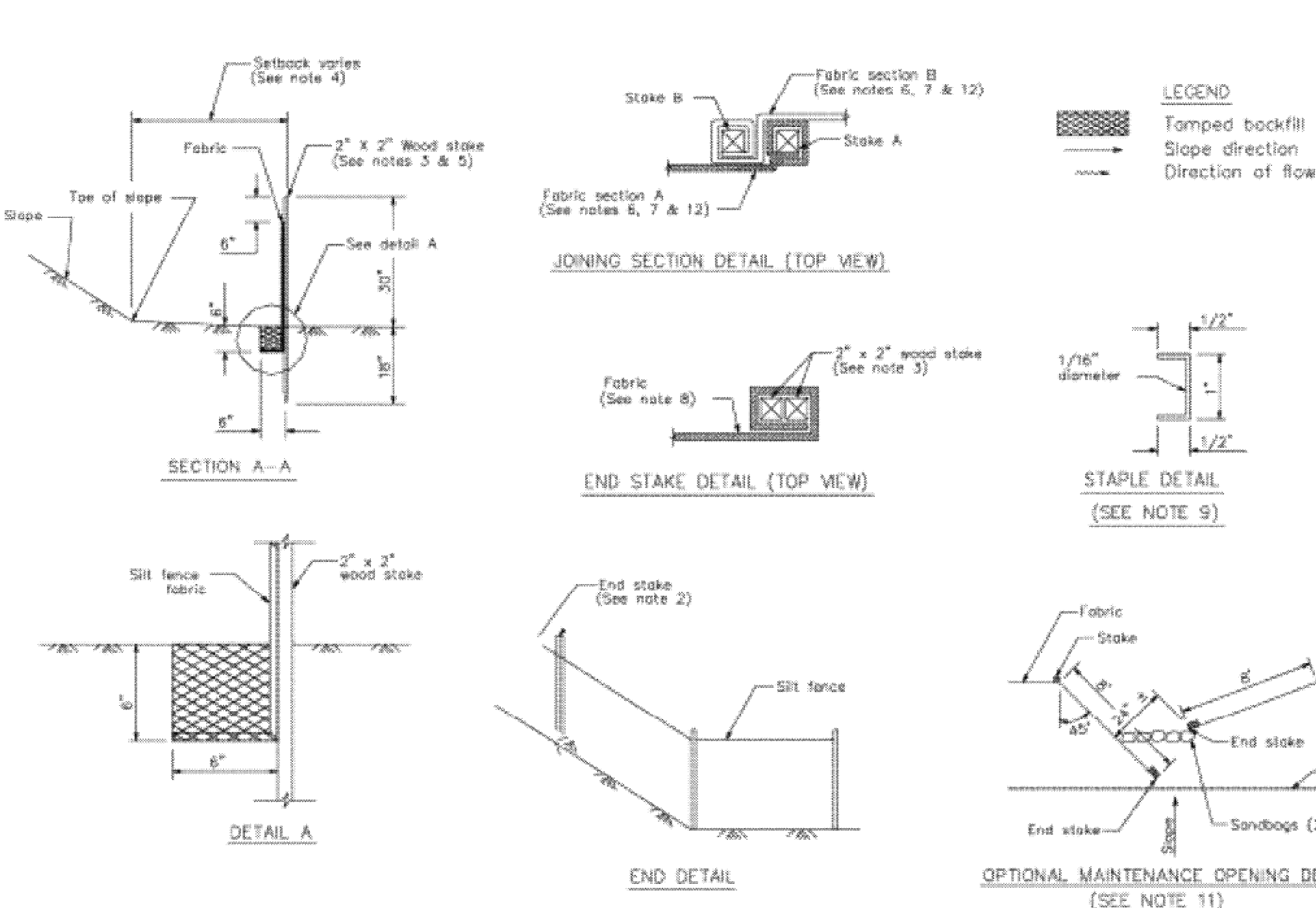
CASQA Detail SE-1



2

Silt Fence

CASQA Detail SE-1

**STANDARD BEST MANAGEMENT PRACTICE NOTES**

- Solid and Demolition Waste Management:** Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or latest.
- Hazardous Waste Management:** Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- Spill Prevention and Control:** Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
- Vehicle and Construction Equipment Service and Storage:** An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
- Material Delivery, Handling and Storage:** In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- Handling and Disposal of Concrete and Cement:** When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
- Pavement Construction Management:** Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- Contaminated Soil and Water Management:** Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
- Sanitary/Septic Water Management:** Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
- Inspection & Maintenance:** Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

STANDARD EROSION CONTROL NOTES

- Sediment Control Management:**

Tracking Prevention & Clean Up: Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.

Storm Drain Inlet and Catch Basin Inlet Protection: All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber roles or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.

Storm Water Runoff: No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.

Dust Control: The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.

Stockpiling: Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures (tarps, straw bales, silt fences, ect.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.
- Erosion Control:** During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
- Inspection & Maintenance:** Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- Project Completion:** Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

Project Information

EROSION CONTROL PLAN

APN 558-41-020

19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA

PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-19
DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-20, L.S. 9212-EXPIRES 09-30-19

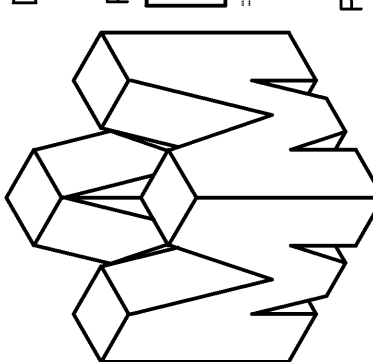
PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

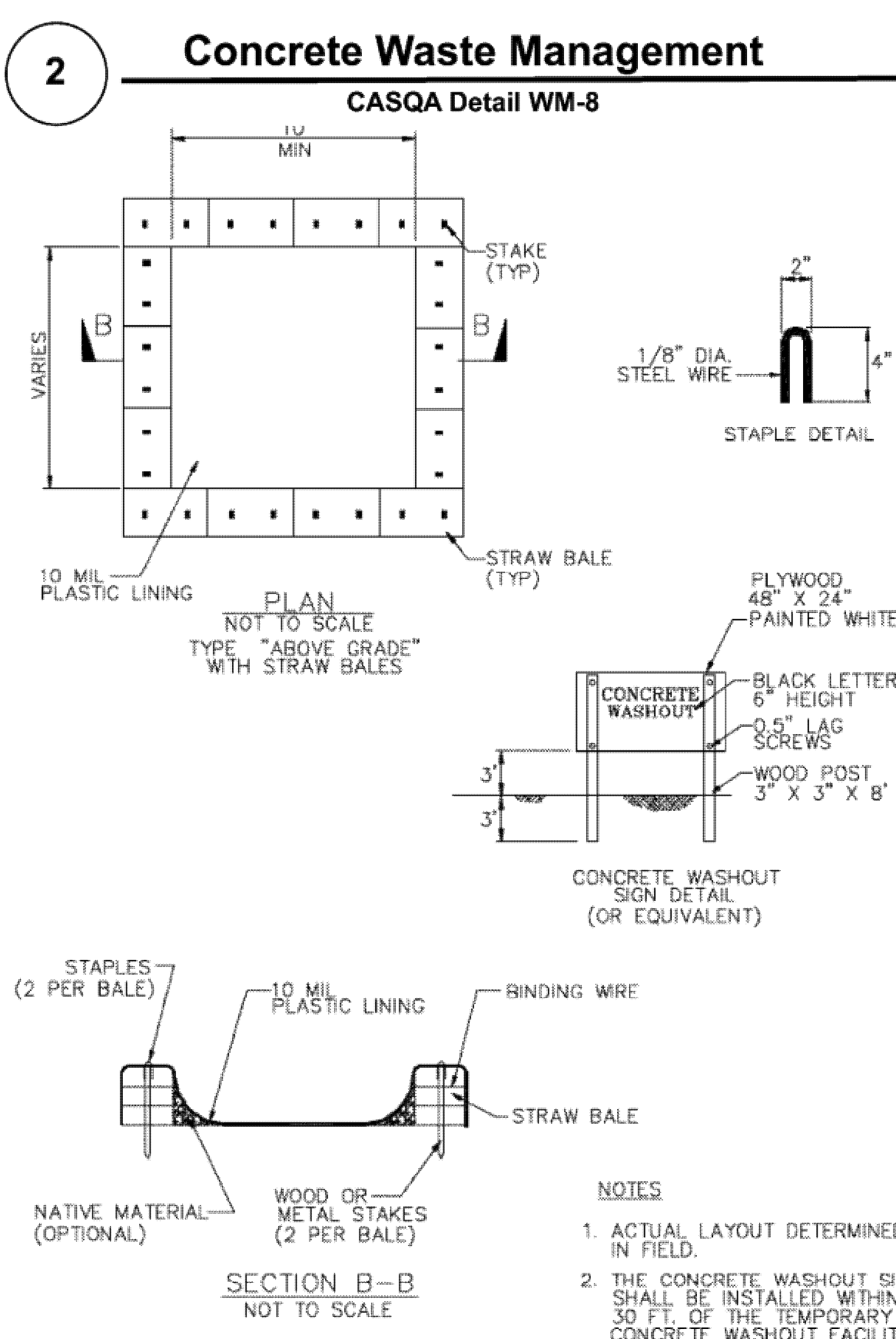
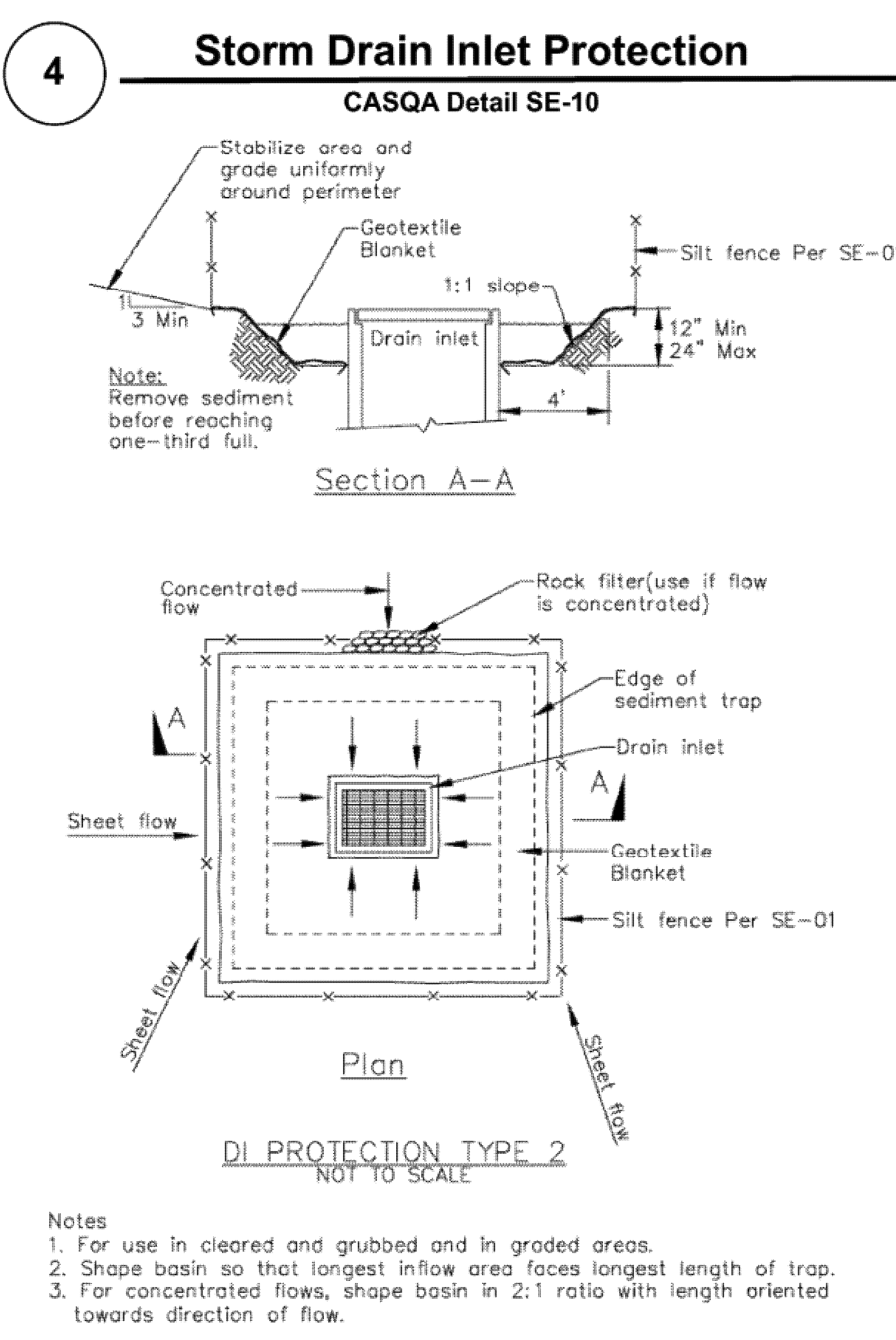
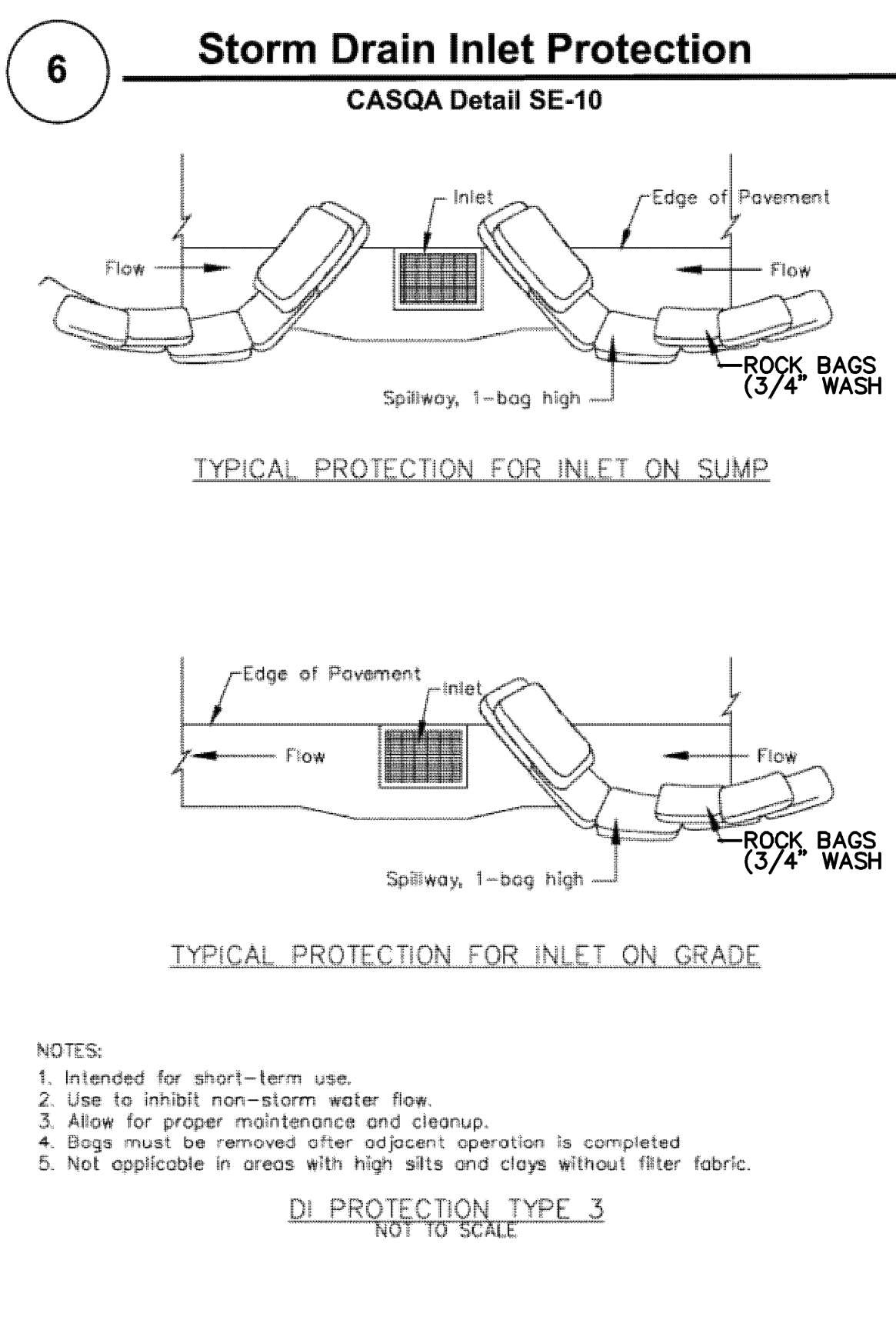
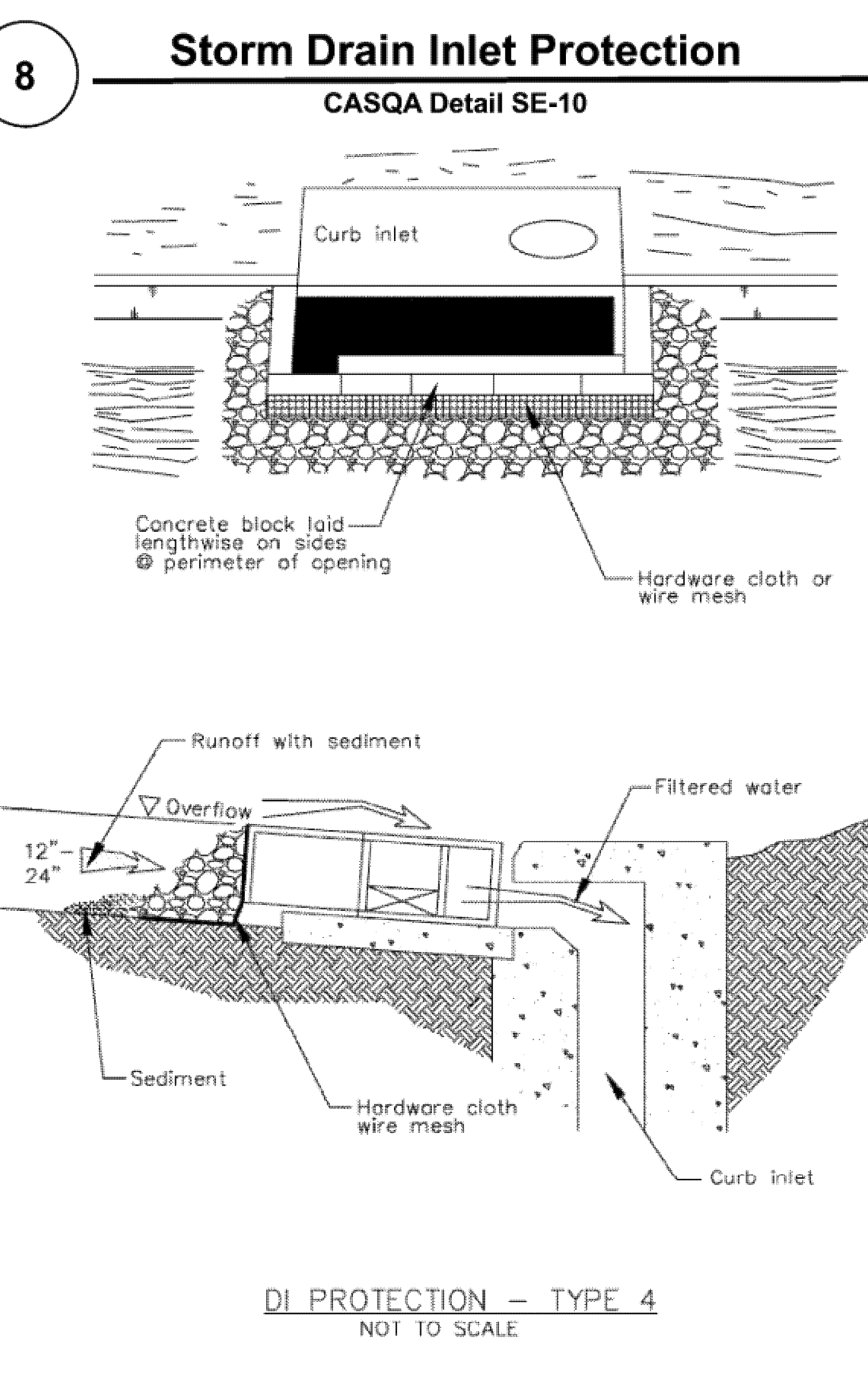
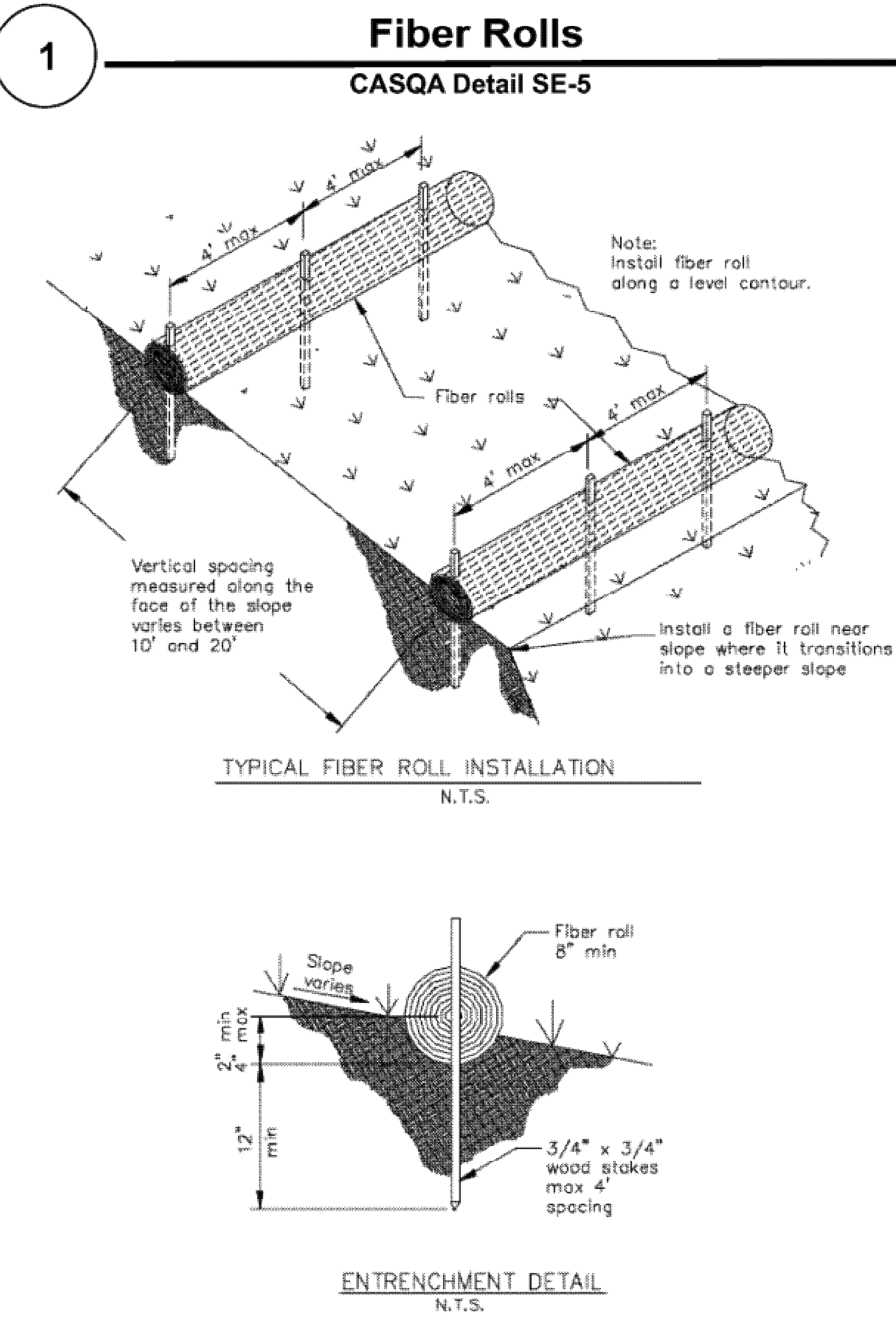
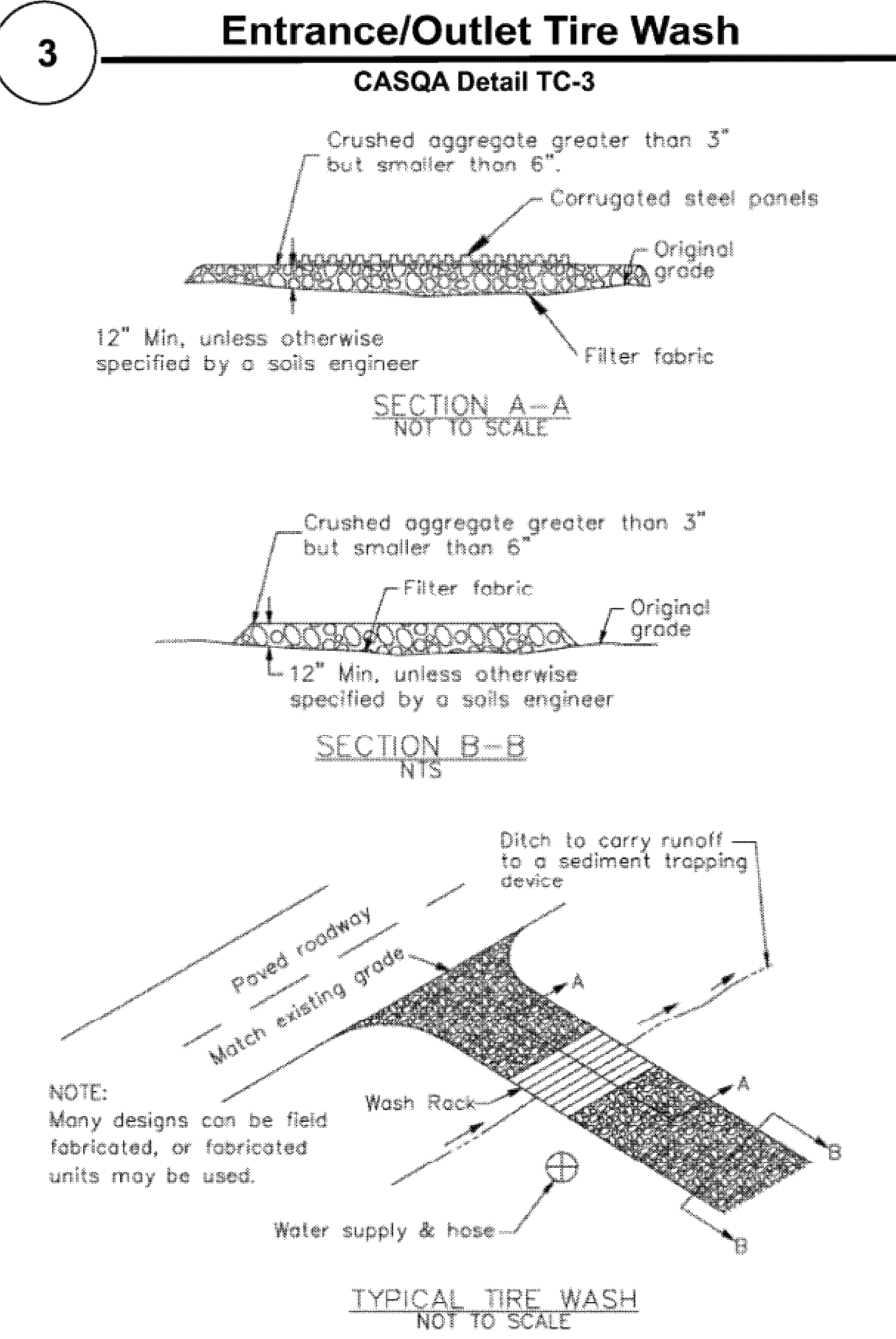
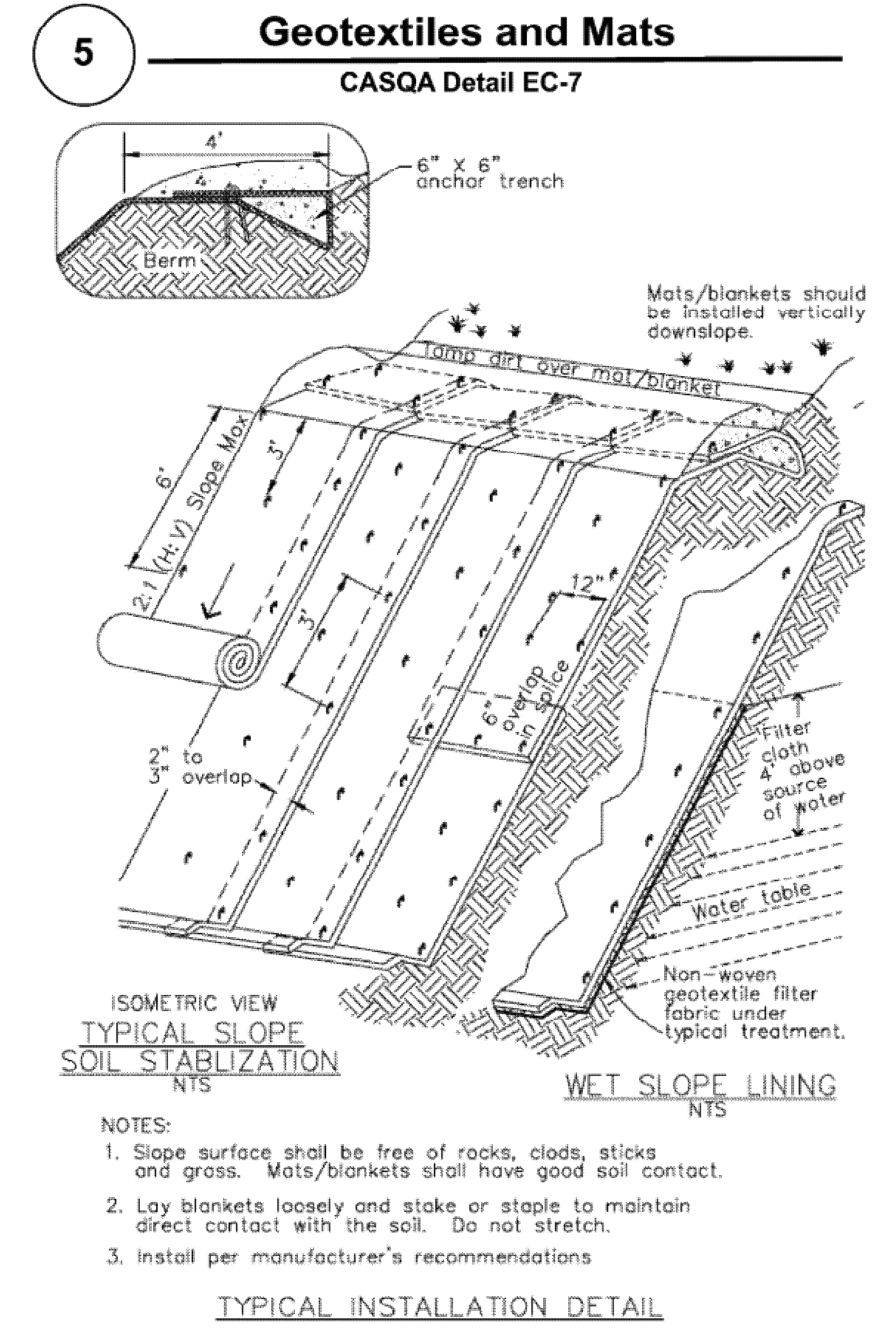
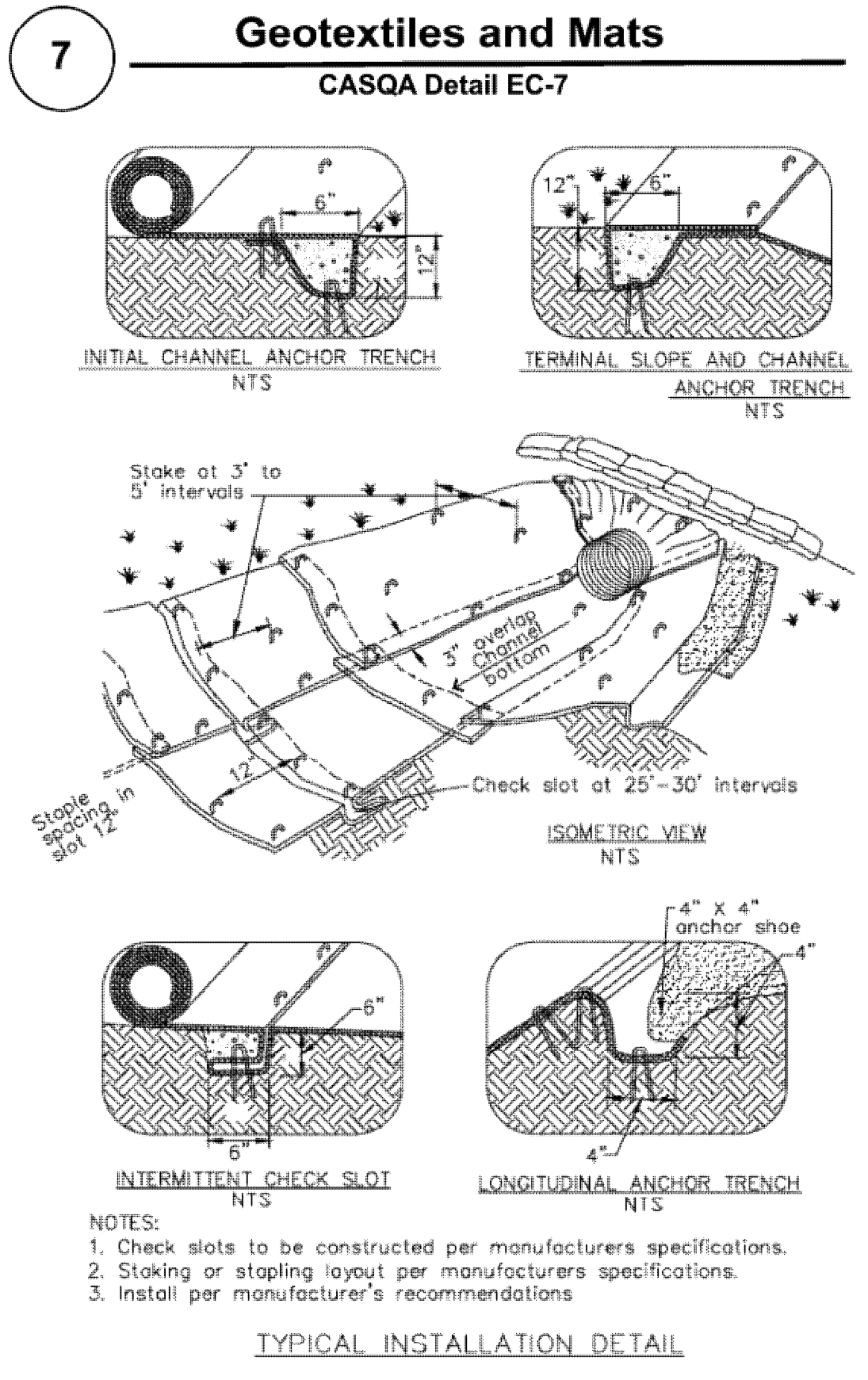
MISSION ENGINEERS, INC.

RESPONSIVE, RELIABLE RESULTS SINCE 1953

2355 De La Cruz Blvd., Santa Clara, California 95050

Ph: (408) 727-8285 E-mail: missionengineersinc.com





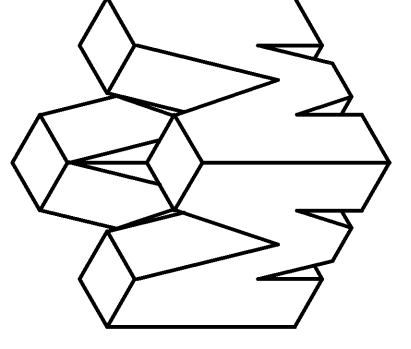
Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.
Available from www.cabmphandbooks.com.

PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-19
DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-20, L.S. 9212-EXPIRES 09-30-19

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2355 De La Cruz Blvd. Santa Clara, California 95050
Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: missionengineersinc.com

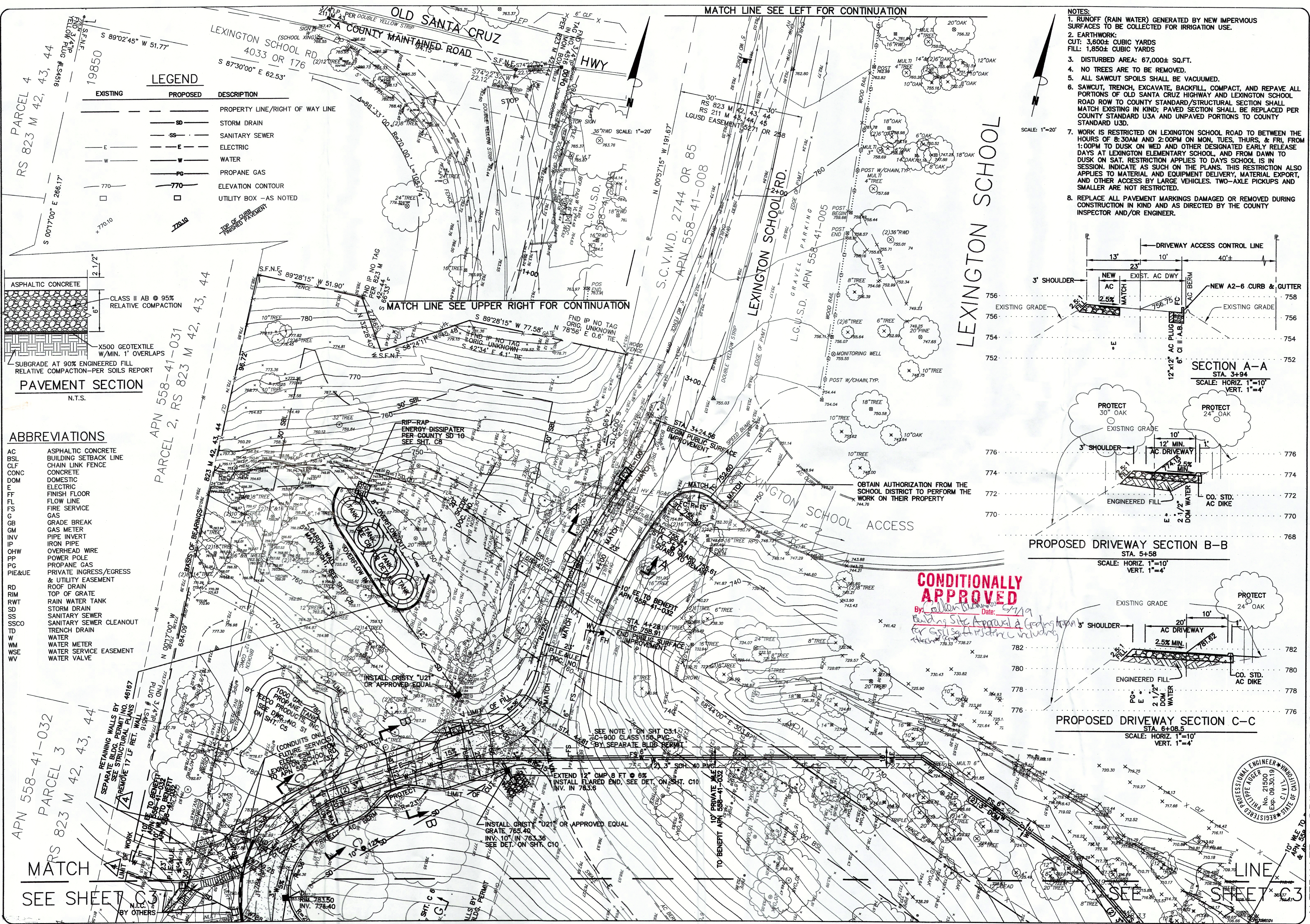


Project Information

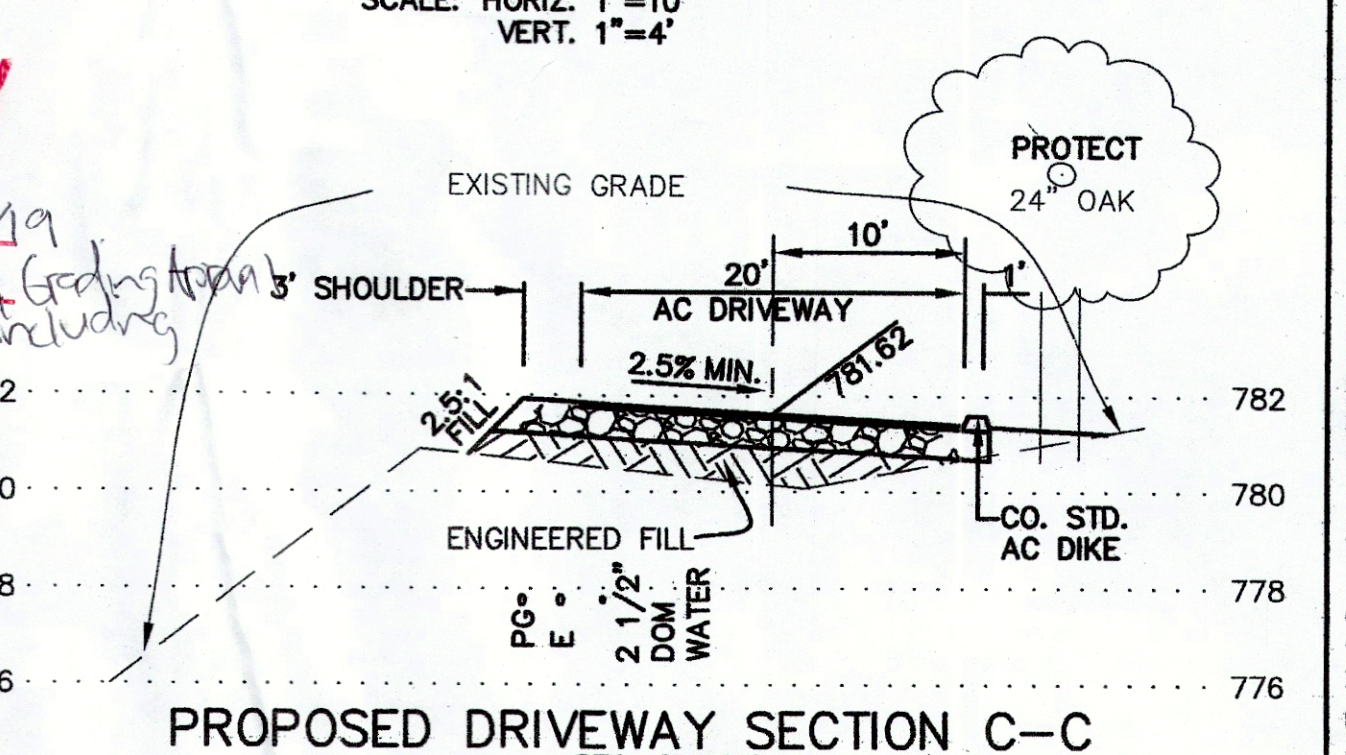
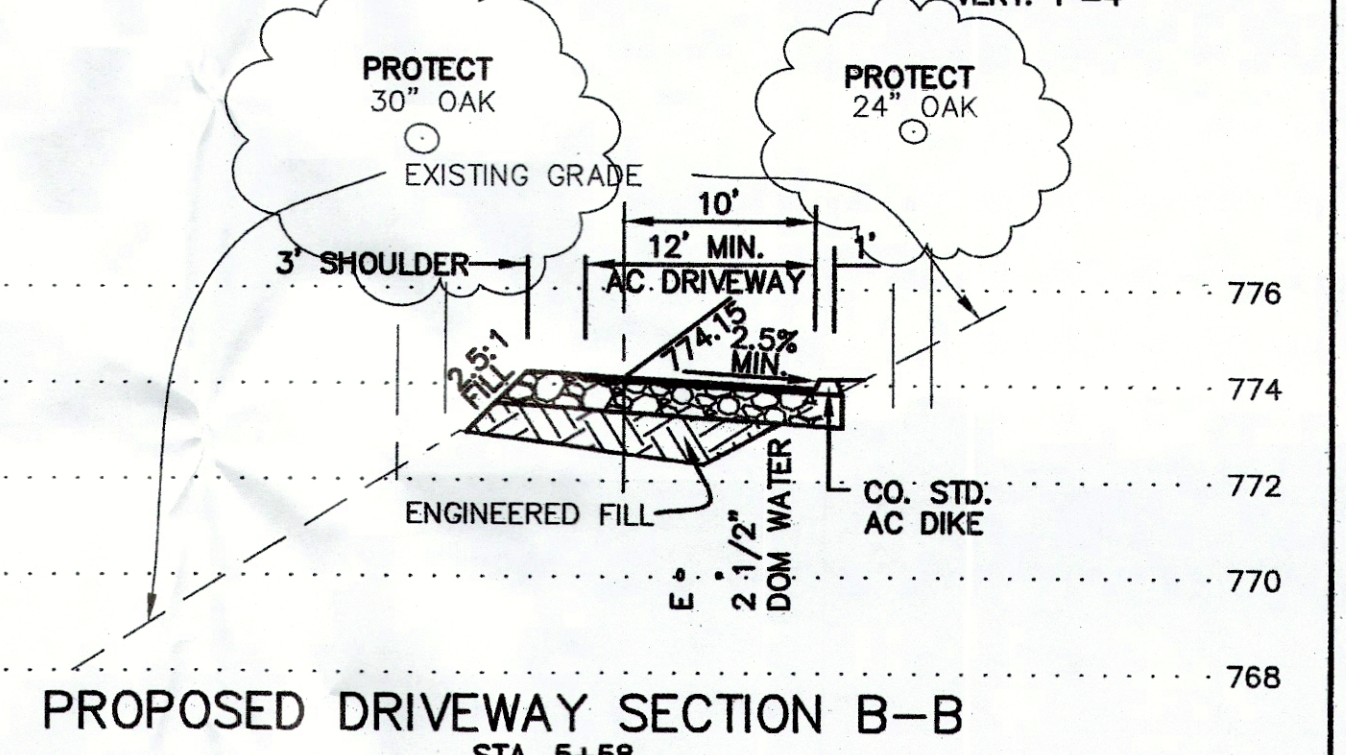
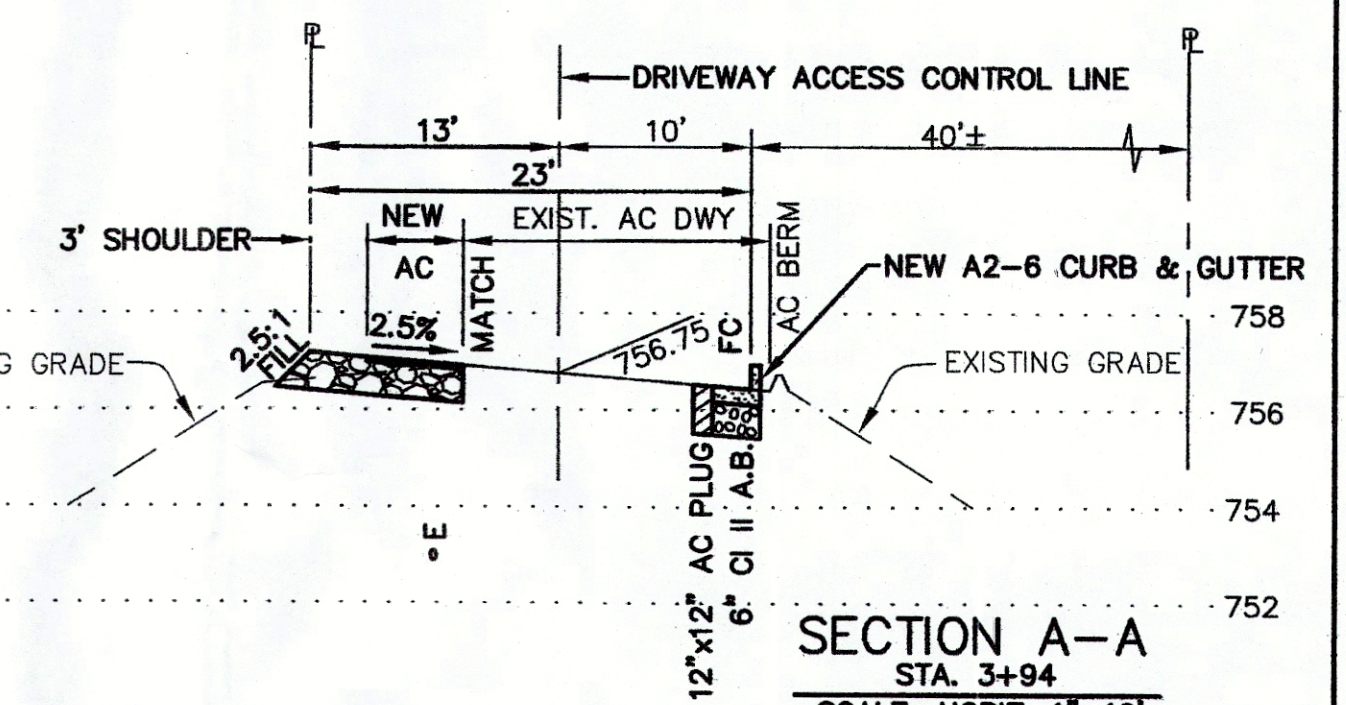
EROSION CONTROL PLAN
APN 558-41-020
19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA



ATTACHMENT D - Approved Plans



- NOTES:
1. RUNOFF (RAIN WATER) GENERATED BY NEW IMPERVIOUS SURFACES TO BE COLLECTED FOR IRRIGATION USE.
 2. EARTHWORK:
CUT: 3,600± CUBIC YARDS
FILL: 1,850± CUBIC YARDS
 3. DISTURBED AREA: 67,000± SQ.FT.
 4. NO TREES ARE TO BE REMOVED.
 5. ALL SAWCUT SPOILS SHALL BE VACUUMED.
 6. SAWCUT, TRENCH, EXCAVATE, BACKFILL, COMPACT, AND REPAVE ALL PORTIONS OF OLD SANTA CRUZ HIGHWAY AND LEXINGTON SCHOOL ROAD ROW TO COUNTY STANDARD/STRUCTURAL SECTION SHALL MATCH EXISTING IN KIND; PAVED SECTION SHALL BE REPLACED PER COUNTY STANDARD USA AND UNPAVED PORTIONS TO COUNTY STANDARD USD.
 7. WORK IS RESTRICTED ON LEXINGTON SCHOOL ROAD TO BETWEEN THE HOURS OF 8:30AM AND 2:00PM ON MON, TUES, THURS, & FRI, FROM 1:00PM TO DUSK ON WED AND OTHER DESIGNATED EARLY RELEASE DAYS AT LEXINGTON ELEMENTARY SCHOOL, AND FROM DAWN TO DUSK ON SAT. RESTRICTION APPLIES TO DAYS SCHOOL IS IN SESSION. INDICATE AS SUCH ON THE PLANS. THIS RESTRICTION ALSO APPLIES TO MATERIAL AND EQUIPMENT DELIVERY, MATERIAL EXPORT, AND OTHER ACCESS BY LARGE VEHICLES. TWO-AXLE PICKUPS AND SMALLER ARE NOT RESTRICTED.
 8. REPLACE ALL PAVEMENT MARKINGS DAMAGED OR REMOVED DURING CONSTRUCTION IN KIND AND AS DIRECTED BY THE COUNTY INSPECTOR AND/OR ENGINEER.



- ABBREVIATIONS
- | | |
|--------|---|
| AC | ASPHALTIC CONCRETE |
| BSL | BUILDING SETBACK LINE |
| CLF | CHAIN LINK FENCE |
| CONC | CONCRETE |
| DOM | DOMESTIC |
| E | ELECTRIC |
| FF | FINISH FLOOR |
| FL | FLOW LINE |
| FS | FIRE SERVICE |
| G | GAS |
| GB | GRADE BREAK |
| GM | GAS METER |
| INV | PIPE INVERT |
| IP | IRON PIPE |
| OHW | OVERHEAD WIRE |
| PP | POWER POLE |
| PG | PROPANE GAS |
| PIE&UE | PRIVATE INGRESS/EGRESS & UTILITY EASEMENT |
| RD | ROAD |
| RIM | TOP OF GRATE |
| RWT | RAIN WATER TANK |
| SD | STORM DRAIN |
| SS | SANITARY SEWER |
| SSCO | SANITARY SEWER CLEANOUT |
| TD | TRENCH DRAIN |
| W | WATER |
| WM | WATER METER |
| WSE | WATER SERVICE EASEMENT |
| WV | WATER VALVE |

APN 558-41-032
PARCEL 3
RS 823 M 42, 43, 44
MATCH
SEE SHEET C3

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MISSION ENGINEERS, INC.

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2355 De La Cruz Blvd. Santa Clara, California 95050
Ph: (408) 727-8262 Fax: (408) 727-8285 E-mail: mission@missionengineersinc.com

GRADING & DRAINAGE PLAN
APN 558-41-020
1800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS

DATE	BY	DESCRIPTION
4/27/18	SS	3. DWT, SD
4/18/18	PA	5. ACCESS DWT
4/9/18	PA	6. UTILITIES

SCALE: AS SHOWN
DATE: 12-22-17
DWN: SS ME30
CHKD:
JOB NO. 15070
DWG. NO. L148918-2
REF: TOPO, SITE

SHEET
C2
OF 14 SHEETS

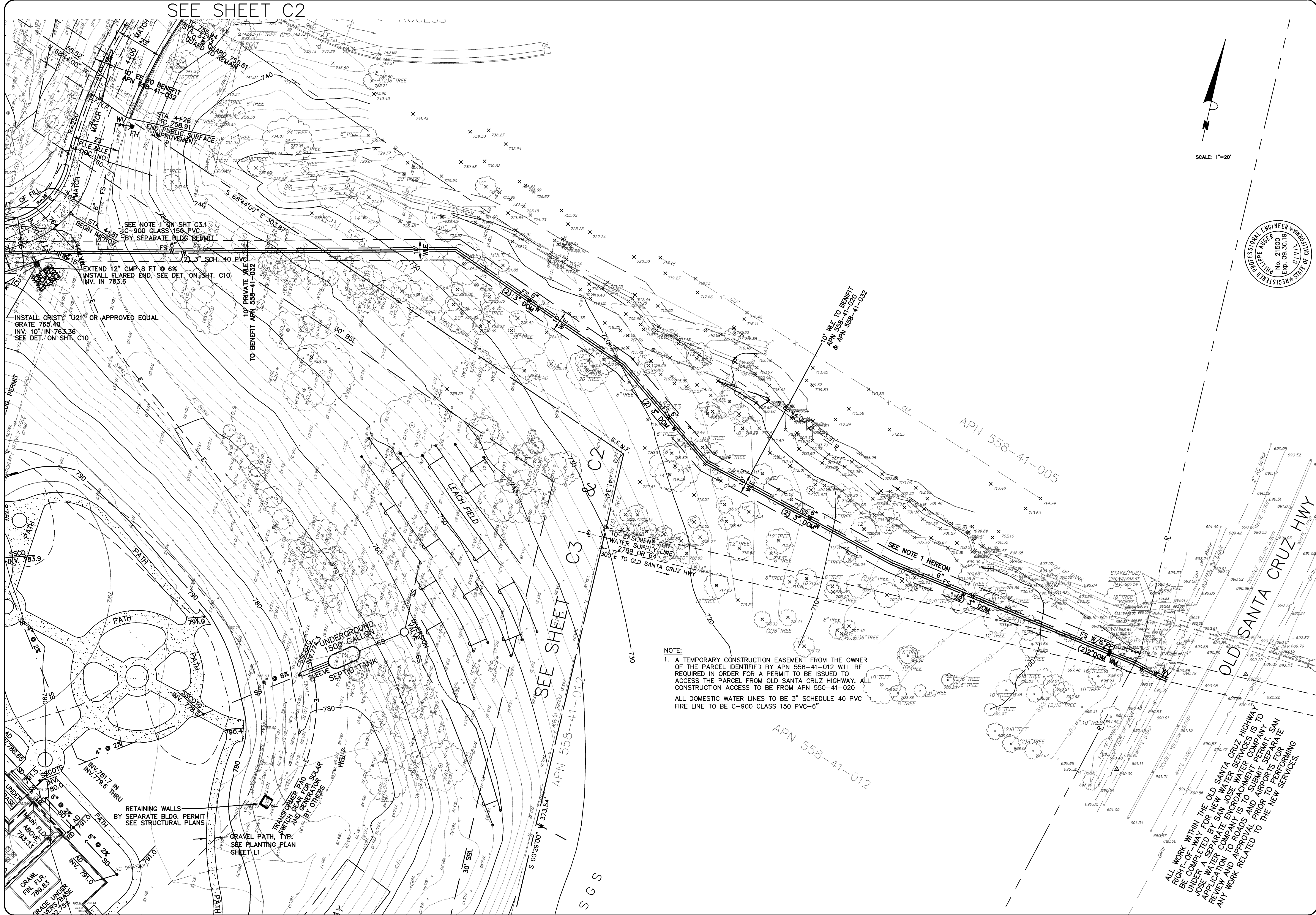
Project Location: 19800 Old Santa Cruz Hwy., Los Gatos, Ca

Project Number: 10735

Parcel Number: APN 558-41-020

The purpose of the attached site plan documents is to describe the easements on the property at 19800 Old Santa Cruz Hwy (APN 558-41-020) that are necessary to provide access and utilities to the adjacent property at 19670 Old Santa Cruz Hwy.

Access to 19670 Old Santa Cruz Highway (APN 558-41-032), from Lexington School Road, shall be made by an easement that follows the private access driveway to the property at 19800 Old Santa Cruz Highway (APN 558-41-020). The access easement shall extend across the property at 19800 Old Santa Cruz Hwy and terminate at the beginning of the private driveway at the property line of 19670 Old Santa Cruz Hwy. This access easement will also serve as a utilities easement for all utilities serving 19670 Old Santa Cruz Hwy from Lexington School Road or Old Santa Cruz Hwy. A separate water line easement will also cross the property at 19800 Old Santa Cruz Hwy to serve the property at 19670 Old Santa Cruz Hwy.



APPLICANT: INGRAM—CAUCHI

ROAD NAME: OLD SANTA CRUZ HWY

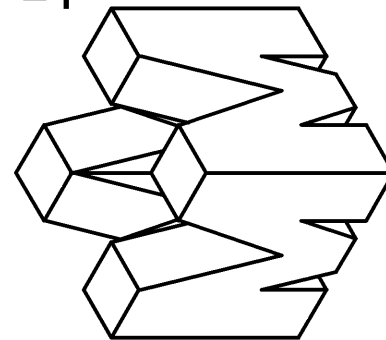
COUNTY FILE NO.: 10735—15B—15G

PHILIPPE AUGER, R.C.E. 21500—EXPIRES 9—30—19
DANIEL NUNES, R.C.E. 76449—EXPIRES 12—31—20, L.S. 9212—EXPIRES 09—30—19

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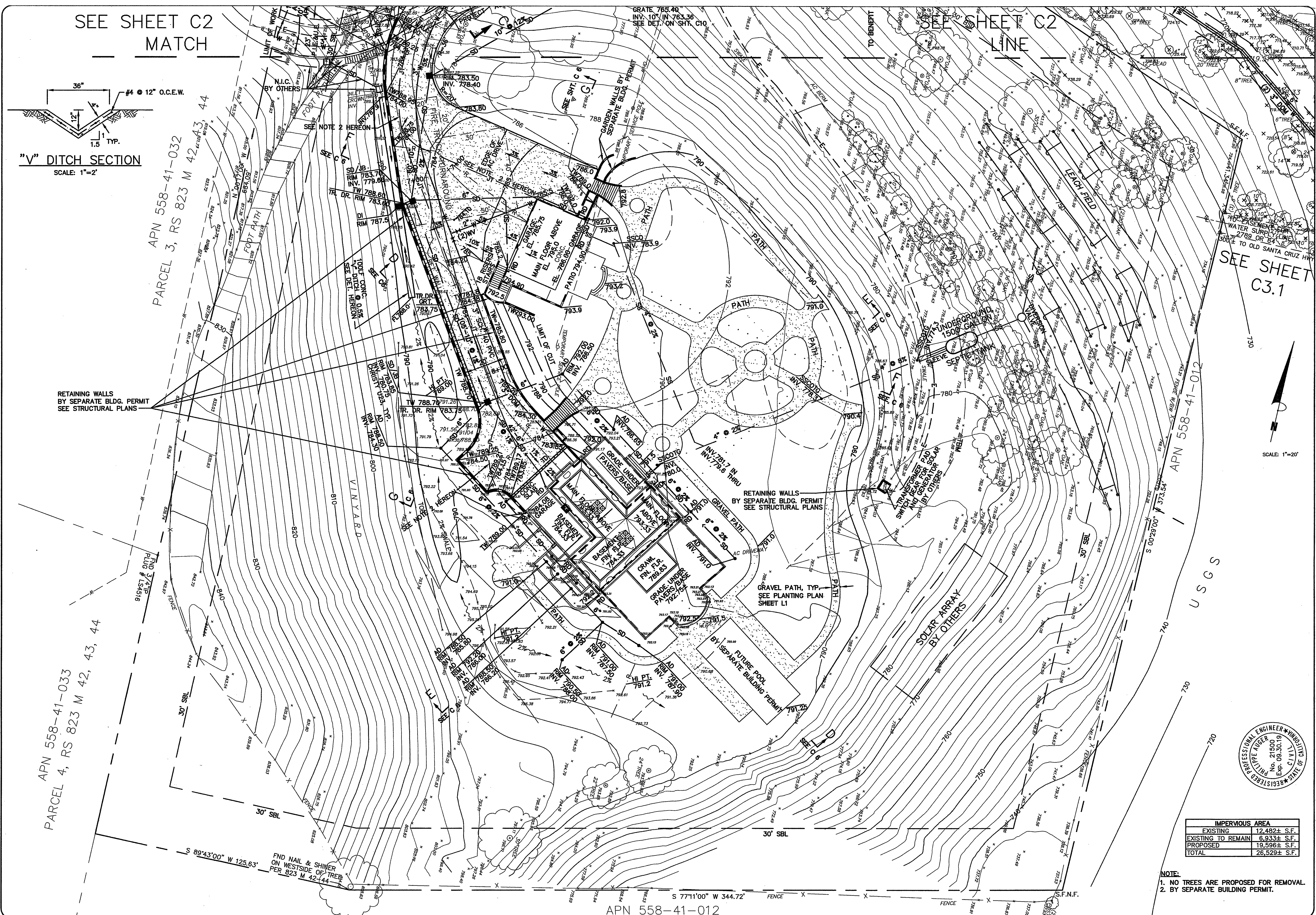
WATER SERVICES CONNECTIONS TO WATER MAIN
APN 558-41-020
19800 OLD SANTA CRUZ HWY, LOS GATOS
IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS		
DATE	BY	DESCRIPTION
4/9	CH/KD	1. ACCESS DWM
7/9	SS	2. & UTILITIES
7/9	PA	

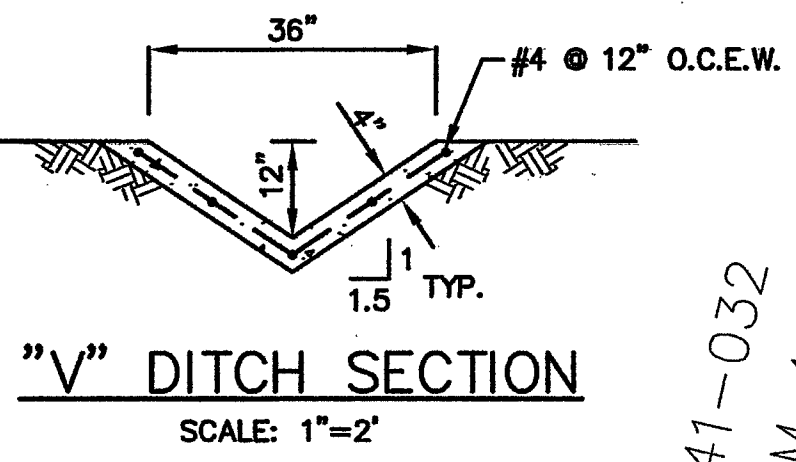
SCALE	1"=20'
DATE	11-16-18
DWN	SS ME30
CH/KD	
JOB NO.	15070
DWG. NO.	L14691A-3.1
REF.	TOPO, SITE

SHEET
C3.1
OF 14 SHEETS





SEE SHEET C2
MATCH



APN 558-41-032
PARCEL 3, RS 823 M 42, 43, 44

SEE SHEET C2
LINE

SEE SHEET
C3.1

SCALE: 1"=20'

IMPERVIOUS AREA	
EXISTING	12,492± S.F.
EXISTING TO REMAIN	6,933± S.F.
PROPOSED	19,596± S.F.
TOTAL	26,529± S.F.

- NOTE:
- NO TREES ARE PROPOSED FOR REMOVAL.
 - BY SEPARATE BUILDING PERMIT.

PHILIP AUGER, R.C.E. 21500-EXPIRES 9-30-19
DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-20, L.S. 9212-EXPIRES 09-30-19

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2355 De La Cruz Blvd. Santa Clara, California 95050

Ph: (408) 727-8262 FAX: (408) 727-8265 E-mail: missionengineersinc.com

ALTERNATE 1-DRIVEWAY GRADING & STORM DRAINS, N & S OF GUEST HOUSE

GRADING & DRAINAGE PLAN

APN 558-41-020

19800 OLD SANTA CRUZ HWY, LOS GATOS

IN THE COUNTY OF SANTA CLARA, CALIFORNIA

REVISIONS	
DATE	DESCRIPTION
2/21/18	SS LAT
2/21/18	SD SYSTEM
4/27/18	DWY, SD
4/6/19	ACCESS DWY & UTILITIES

SCALE	1"=20'
DATE	12-22-17
DWN	SS ME30
CHKD	
JOB NO.	15070
DWG NO.	L146819-3
REF.	TOPO. SITE

SHEET
C3
OF 14 SHEETS