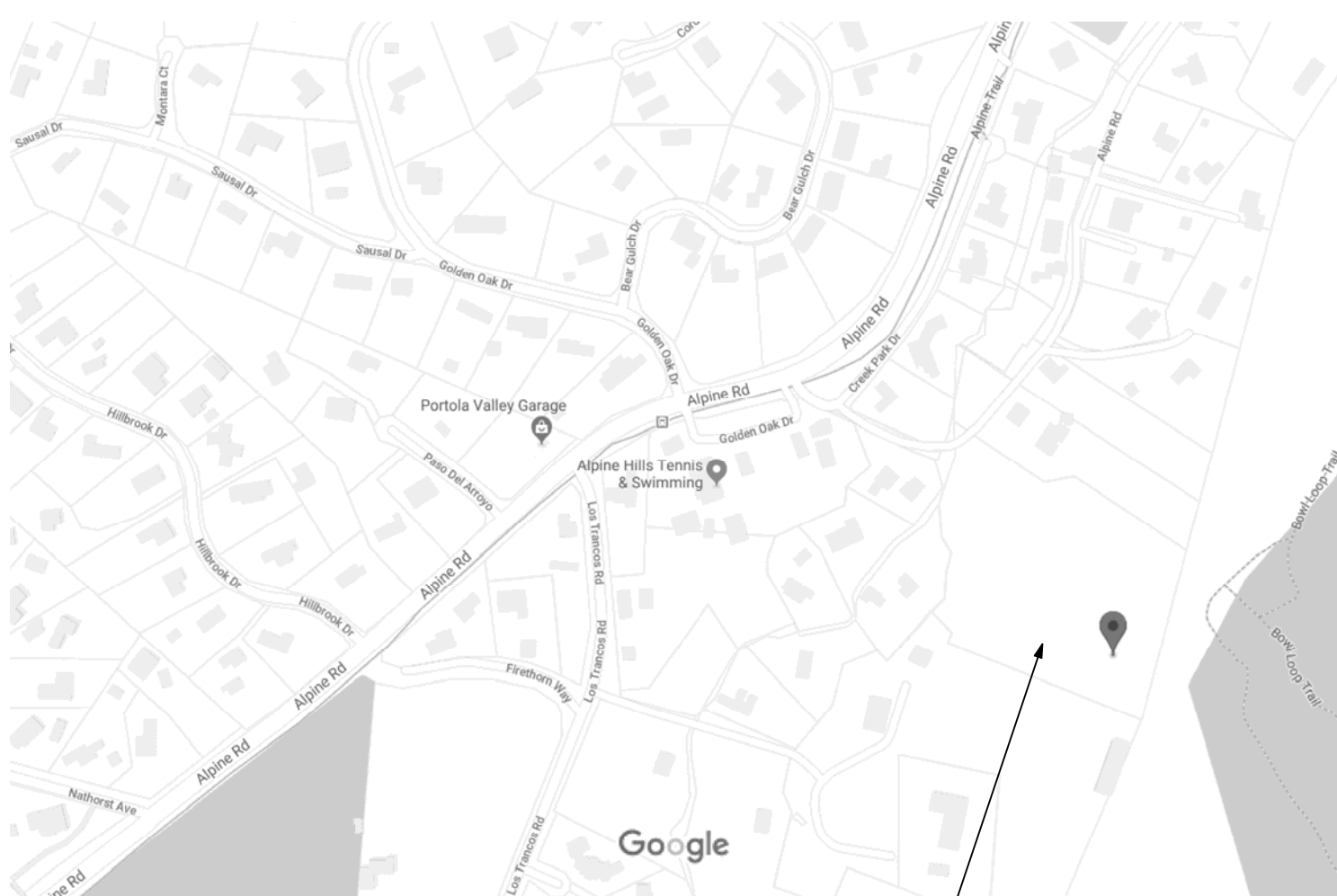


Zaffaroni Residence

ABBREVIATIONS

ACCESS DOOR	AD	EXPANSION JOINT	EXP.	PAINTED	PTD.
ACCESS PANEL	AP	EXPANSION JOINT	EXP JT.	PANIC BAR	PB.
ACOUSTICAL	ACoust.	EXTENSION	EXT.	PARTITION	PTN.
ADHESIVE	ADH.	EXTERIOR	EXT.	PERFORATED	PERF.
ADJUSTABLE	ADJ.			PLASTER	PLAS.
AGGREGATE	AGGR.	FACE OF	FO.	PLASTIC	PLSTC.
AIR CONDITIONER	AC	FIBER BOARD	FB.	PLYWOOD	PLY. WD.
ALUMINUM	AL	FINISH	FIN.	POINT	PT.
ANCHOR BOLT	AB	FIRE ALARM	FA.	POUSHED PLATE GLASS	PPGL
AREA DRAIN	AD	FIRE EXTINGUISHER	F.E.	POLYVINYL CHLORIDE	PVC.
ASBESTOS	ASB.	FIRE EXTINGUISHER CABINET	F.E.C.	POUNDS PER SQUARE FOOT	PSF.
ASBESTOS CEMENT PIPE	ACP.	FIRE TREATED	F.T.	POUNDS PER SQUARE INCH	PSI.
ASPHALT	ASPH.	FLASHING	FL.	PREF. CAST CONCRETE	PC.
ASPHALTIC CONCRETE	AC.	FLAT BAR	FB.	PROPERTY	PROP.
		FLAT HEADED WOOD SCREW	FHWS.	PROPERTY LINE	PL.
		FLOOR	FLR.		
BEGINNING OF VERTICAL CURVE	BVC.	FLOOR DRAIN	FD.	RADIUS	R.
BENCH MARK	BM.	FLOORING	FLG.	REDWOOD	RWD.
BLOCKING	BKG.	FLOW LINE	FL.	REFRIGERATOR	REF.
BOARD	BD.	FLUORESCENT	FLUOR.	REINFORCED CONCRETE PIPE	RCP.
BOTTOM	BTM.	FOOTING	FTG.	REINFORCING	REINF.
BUILDING	BLDG.	FOUNDATION	FDN.	REQUIRED	REQD.
				RESILIENT	RESIL.
CABINET	CAB.	GAGE OR GAUGE	GA.	RESISTANT	RES.
CARRIAGE BOLT	CB.	GALVANIZED	GALV.	ROOF DRAIN	RD.
CAST-IN-PLACE	CIP.	GALVANIZED IRON	GI.	ROOM	RM.
CAST-IRON	CI.	GLASS	GL.	ROUND HEADED WOOD SCREW	R.H.W.S.
CAST IRON PIPE	CIP.	GLUE-LAM BEAM	GLB.	RIGHT OF WAY	R.O.W.
CATCH BASIN	CB.	GRADE	GR.		
CEILING	CLG.	GROUND	GRND.	SCHEDULE	SCHED.
CEMENT	CEM.	GYPSON	GYP.	SECTION	SECT.
CENTER	CTR.			SELECT	SEL.
CENTER TO CENTER	C TO C.	HANGER	HGR.	SHEATHING	SHTHG.
CERAMIC	CER.	HARDBOARD	HDBD.	SIDING	SDG.
CLEAN OUT TO FLOOR	CIT.	HARDWARE	HDW.	SIMILAR	SIM.
CLEAN OUT TO GRADE	CTG.	HARDWOOD	HDWD.	SINGLE ACTING	SA.
CLEAR	CLR.	HEADER	HDR.	SLOPE	S.
CLOSET	CLO.	HEATER	HTR.	SOLID CORE	SC.
COLUMN	COL.	HEIGHT	HT.	SPACE	SP.
CONCRETE	CON.	HIGH STRENGTH BOLT	HSB.	SQUARE	SQ.
CONCRETE PIPE, UN-REINFORCED	CP.	HOLLOW CORE	HC.	STAINLESS STEEL	S.S.
CONSTRUCTION	CONST.	HORIZONTAL	HOR.	STANDARD	STD.
CONSTRUCTION JOINT	CJ.	HOSE BIB	HB.	STEEL	STL.
CONTINUOUS	CONT.	HOUR	HR.	STORAGE	STG.
CORRUGATED METAL PIPE	CMP.			STRUCTURAL	STR.
COUNTER	CTR.	INSIDE DIAMETER	I.D.	SUSPENDED	SUSP.
COUNTERSINK	CSK.	INSULATION	INS.	SYMBOL	SYMB.
CUBIC YARD	CY.	INTERIOR	INT.	SYMMETRICAL	SYMM.
CURB INLET	CI.	INVERT	INV.		
		INVERT ELEVATION	IE.	TELEPHONE	TEL.
DETAIL	DET.	JOINT	JT.	TEMPERED	TEMPD.
DIAMETER	DIA.			TERRAZZO	TER.
DIMENSION	DM.	LAMINATE(D)	LAM.	TIE DOWN	TD.
DISPENSER	DISP.	LAVATORY	LAV.	TONGUE AND GROOVE	T&G.
DOOR	DR.			TOP OF CURB	TC.
DOUBLE	DBL.	MACHINE	MACH.	TOP OF RAIL	TR.
DOUBLE ACTING	DA.	MACHINE BOLT	MB.	TYPICAL	TYP.
DOUGLAS FIR	DF.	MAN HOLE	MH.	UNDERGROUND	UG.
DOWN SPOUT	DN.	MANUFACTURE(R)	MFR.	UNLESS OTHERWISE NOTED	U.O.N.
DRAIN	DS.	MANUFACTURING	MFG.	URNAL	UR.
DRINKING FOUNTAIN	DF.	MAXIMUM	MAX.	VENT THROUGH ROOF	VTR.
DRAWING	DWG.	MECHANICAL	MECH.	VERTICAL	VERT.
DUCTILE IRON PIPE	DIP.	METAL	MTL.	VERTICAL CURVE	VC.
		MINIMUM	MIN.	VERTICAL GRAIN	VG.
		MOUNTING	MTG.	VINYL ASBESTOS TILE	VAT.
				VITREOUS CLAY PIPE	VCP.
EACH	EA.	NEW	(N)		
EACH FACE	EF.	NOMINAL	NOM.	WAREHOUSE	WHSE.
EACH WAY	EW.	NOT IN CONTRACT	N.I.C.	WATER CLOSET	WC.
EDGE OF PAVEMENT	EP.			WATER HEATER	WH.
ELECTRIC	ELEC.			WATERPROOF	W.F.
ELECTRIC WATER COOLER	EWC.	OBSOLETE	OB.	WEAKENED PLANE JOINT	WPLJ.
ELEVATION	EL.	ON CENTER	OC.	WINDOW	WDW.
ELEVATOR	ELEV.	OPENING	OPNG.	WITH	W.
EQUAL	EQ.	OPPOSITE	OPP.	WITHOUT	WO.
EQUIPMENT	EQUIP.	OUTSIDE DIAMETER	OD.	WOOD	WO.
EXISTING	(E)	OUTSIDE FACE OF STUD	OFSP.		
		OVAL HEADED WOOD SCREW	OWHS.		

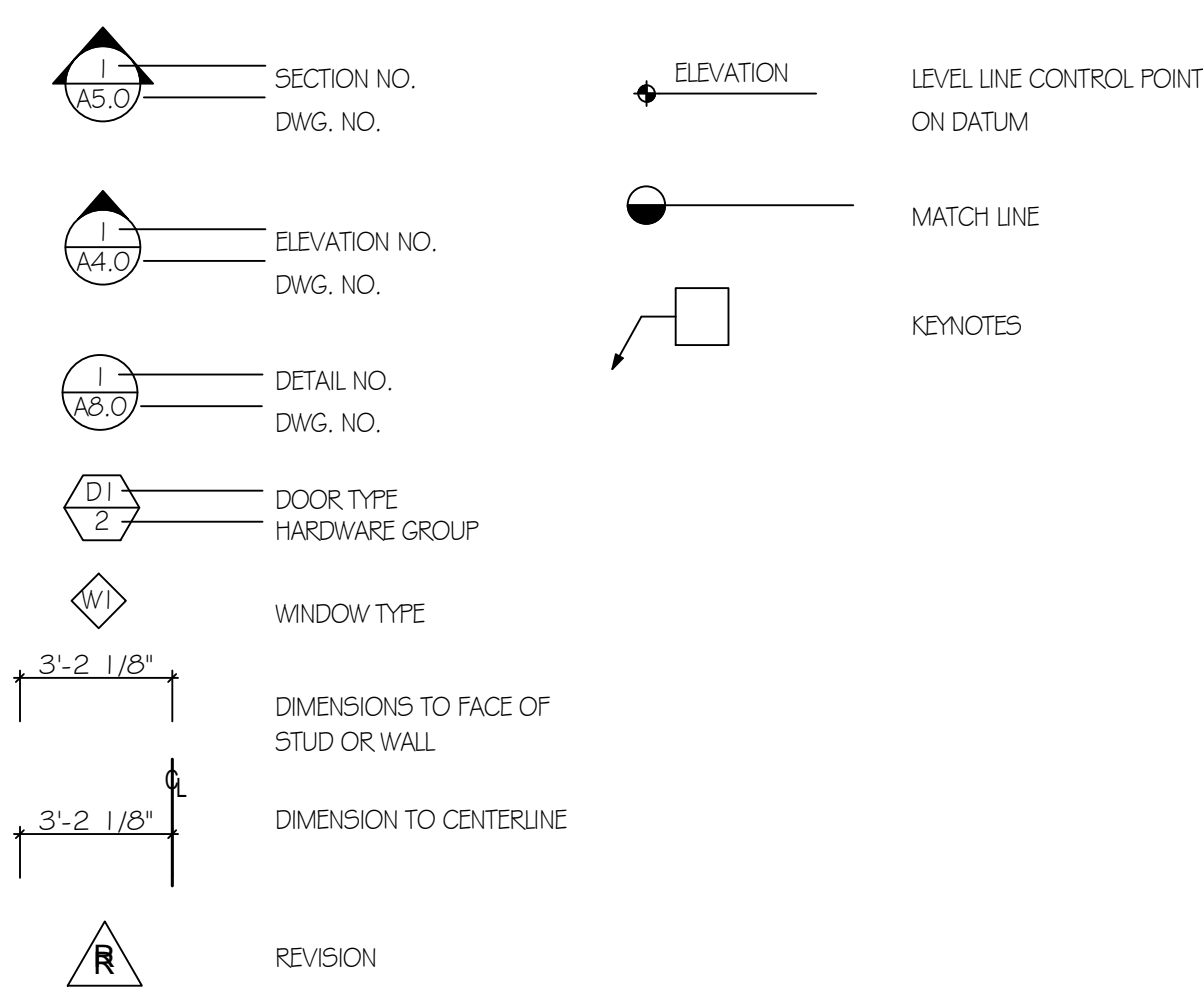
SITE LOCATION MAP



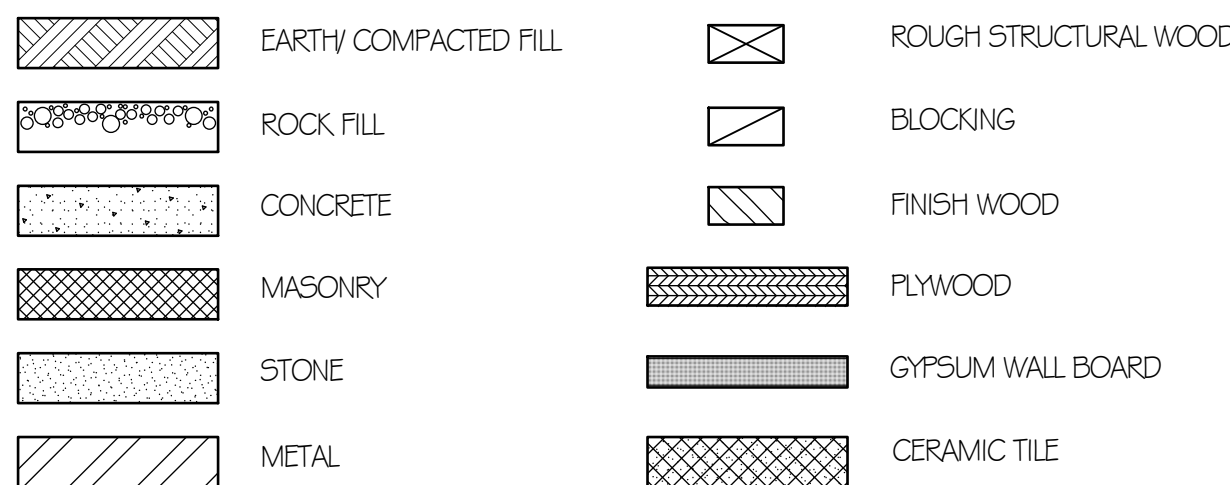
VICINITY MAP

N.T.S.

SYMBOLS LEGEND



MATERIALS LEGEND



PROJECT DATA

CJW Job No. 2018 - 2500
PROJECT ADDRESS: 0 Alpine Road, Portola Valley, CA 94028
ASSESSOR'S PARCEL No. 182-36-043 & 044

PROJECT SCOPE:

NEW RESIDENCE AND ACCESSORY BUILDINGS

BUILDING OCCUPANCY GROUPS

TYPE OF CONSTRUCTION: V-B
NUMBER OF STORIES: 2 + BASEMENT
OCCUPANCY GROUP: R-3/U

PROJECT DATA

ZONING: HS
LOT SIZE: 9.11 ACRES

PROJECT TEAM

ARCHITECT:

CJW ARCHITECTURE
130 PORTOLA ROAD, SUITE A
PORTOLA VALLEY, CA 94028
ATT.: KEVIN SCHWARTZOFF
T: 650-851-9335 F: 650-851-9337
E-MAIL: kevin@cjwarchitecture.com

CIVIL ENGINEER:

Lea & Braze Engineering, Inc.
Civil Engineers | Land Surveyors
San Francisco Bay Area Region
2495 Industrial Parkway West
Hayward, CA 94545
ATT.: KEVIN ZHANG
Phone: 510-887-4086 x.159
Email: kzhang@leabraze.com

GEOLOGIST & GEOTECHNICAL ENGINEER:

C2Earth
750 Camden Avenue
Campbell, CA 95008
ATT.: CRAIG REED
Phone: (408) 866-5436
Fax: (408) 866-9436
Email: craig@c2earth.com

DRAWING INDEX

ARCHITECTURAL

T-0.1 Cover Sheet
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A-1.1 Site Plan
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A-1.3 Landscape Plan
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A-2.1 1st Floor Plan, Front Elevation & Floor Area
A-2.2 Basement, Lower Level Plan & Rear Eleva...
A-2.3 2nd Floor Plan & Side Elevations
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A-3.4 Site Perspective Views - Proposed

CIVIL

C-1.0 County of Santa Clara Title Sheet
C-1.1 Title Sheet
C-1.2 Overall Site Plan
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C-2.1 Driveway Plan & Profile
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C-3.0 Grading & Drainage Plan
C-4.0 Bridge Plan & Profile
C-4.1 Creek Cross Sections
ER-1 Conceptual Erosion Control Plan
BMP-1 Conceptual Erosion Control Details
BMP-2 Conceptual Erosion Control Details
SU-1 Topographic Survey

GENERAL NOTES

1. CODE COMPLIANCE:

1a. Contract and Construction Documents include: AIA Document A201 (2007), the General Conditions of the contract for Construction.

1b. All work is to be performed in accordance with all governing codes, ordinances, and regulations.

2. UTILITIES AND SITE WORK:

2a. General Contractor shall verify all underground utility locations prior to excavation, trenching, or grading of any kind. General Contractor shall coordinate with applicable utility companies when routing electrical, telephone, cable TV, gas, water, sanitary sewer services, or any other utility.

2b. Construction Documents include the Geotechnical Investigation Report By:

2c. Geotechnical Engineer and Civil Engineer shall coordinate drainage system and approved before backfilling. Drainage and positive flow of entire system shall be tested prior to backfill.

2d. General Contractor shall include Soils Engineer in the inspection of foundations, foundation waterproofing and drainage systems, and all related facets of the job. The Architect requires a signed letter stating that the work is in compliance with the Soils Engineer's recommendations.

3. DIMENSIONS:

3a. No dimensions shall be taken by scaling from the drawings. Contact architect for dimension clarifications or additional dimensions as required. Refer to this Cover Sheet for dimensioning standards. Details and the dimensions provided therein take precedence over general floor plans, elevations, and sections.

3b. Verify all dimensions on the job site prior to ordering or manufacturing.

3c. Dimensions noted "clear" must be accurately maintained, and shall not vary more than +/- 1/8" without written instruction from the Architect. Dimension marked +/- mean a tolerance not greater nor smaller than 2" from indicated dimension, u.o.n. verify field dimensions exceeding tolerance with the Architect, and secure Architect's approval.

4. DISCREPANCIES:

4a. In case of any discrepancy in the contract documents, consult the Architect before proceeding.

5. GENERAL CONTRACTOR RESPONSIBILITIES:

5a. General Contractor shall be responsible for coordination and execution of the work shown or implied in the construction documents. General Contractor is responsible for all construction means, methods, and procedures.

5b. General Contractor shall coordinate all facets of work and all trades involved to avoid conflict in the location, installation, and construction of all items of work as indicated on the construction documents. If any work is to be installed by the Owner directly, allowances for such work must be made. Coordinate with Architect.

5c. General Contractor shall review all Contract and Construction Documents; Architectural Drawings include reflected ceiling, finish, electrical, lighting, and mechanical plans; and all schedules prior to pouring concrete and prior to framing. Coordinate locations of shafts, electrical wiring/conduit, HVAC ductwork, and light fixtures with locations of foundations and framing. It is imperative that locations of framing members do not conflict with locations of recessed light fixtures.

5d. General Contractor shall install all appliances specified and all equipment specified according to the respective manufacturer's instructions. All instruction booklets, warranties, and other information regarding appliances and equipment shall be handed directly to the Owner in a manila envelope at the time of substantial completion. Contractor shall verify that every appliance and every piece of equipment is in perfect working order and that information about all warranties and guarantees is made known to the Owner.

5e. The installer of each major unit of work is required to inspect the substrate and conditions to receive work and shall report all unsatisfactory conditions to the General Contractor and shall not proceed until satisfactory conditions are attained.

5f. No work shall commence with unapproved materials. Any work done with un-approved materials and equipment is at the contractor's risk. See specifications for submittal and substitution requirements.

5g. Construction materials stored on the site shall be properly stacked and protected so as to prevent damage or deterioration until used. Failure in this regard may be cause for rejection of material and/or work.

5h. New/existing finishes and construction shall be protected by the contractor from potential damage caused by construction activity. Damage to finishes or construction caused in this manner shall be repaired or replaced (owner's decision) by the contractor with identical material and/or finishes. Contractor shall make and maintain a photographic record notebook with dated/indexed photographs.

5i. In addition to those shown on drawings, provide and locate access doors or panels in ceiling and wall construction as required by mechanical, plumbing, and electrical work.

5j. General Contractor shall leave the job site "broom clean" at the end of each working day. All materials shall be stored in a neat and safe place to avoid accidents.

6. EQUIPMENT BACKING:

6a. For mounting heights not clearly outlined in the plans or schedules, coordinate with the Architect. Architect shall confirm all electrical device and light fixture locations before contractor pulls wire.

6b. Provide solid backing as necessary for wall mounted shelves, fixtures, and fittings, even when work is to be done by Owner directly. Coordinate work and locations with Owner and Architect.

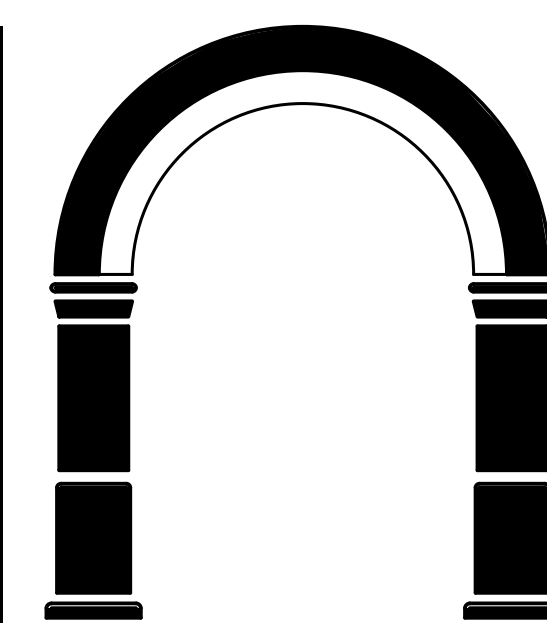
6c. All fastening devices to be concealed, unless otherwise shown.

7. WEATHER PROOFING:

7a. Weather-strip all exterior doors and windows.

7b. Caulk or otherwise seal around all openings to limit infiltration, including but not limited to: Exterior joints around windows and door frames, between sole plates and floors, at exterior wall intersections and corners, and between exterior wall panels.

7c. General Contractor shall verify that all work on the exterior of the project is watertight. All joints exposed to the elements shall be tested for water tightness prior to substantial completion.

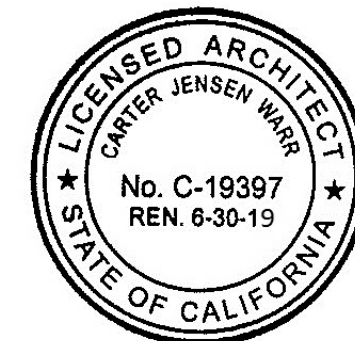


CJW ARCHITECTURE

130 Portola Road, suite A
Portola Valley, CA 94028

(650) 851-9335 / (Fax) 851-9337

These plans are copyrighted and are subject to copyright protection as an "architectural work" under Sec. 102 of the Copyright Act, 17 U.S.C. as amended December 1990 and known as Architectural Works Copyright Protection Act of 1990. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work or home represented, can legally result in the cessation of construction or building being seized and /or monetary compensation to CJW Architecture.



PROJECT

Zaffaroni Residence

0 Alpine Road
APN 182-36-043 & 044
Portola Valley, CA 94028

SHEET TITLE

Cover Sheet

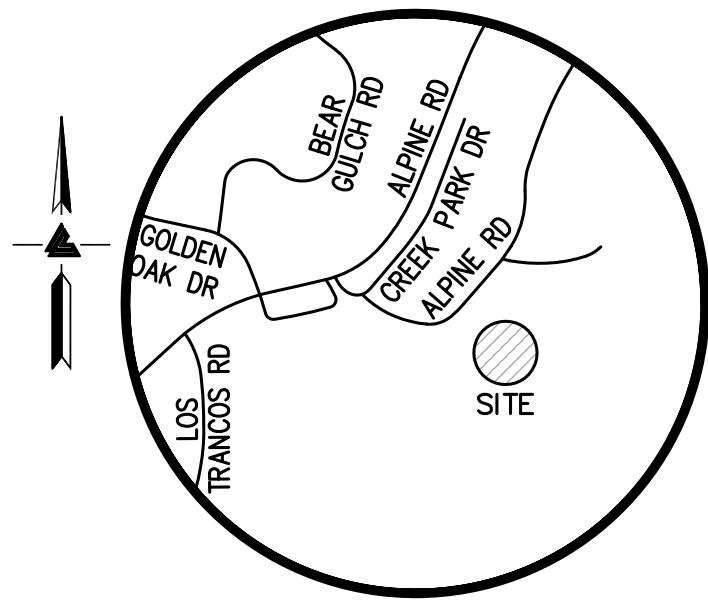
REVISIONS

No.	Date	Notes

JOB: 2018-2500

DATE: 4/15/2019

SHEET: T-0.1



VICINITY MAP
NO SCALE

NOTES

ALL DISTANCES AND DIMENSIONS ARE
IN FEET AND DECIMALS.

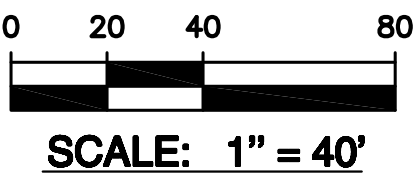
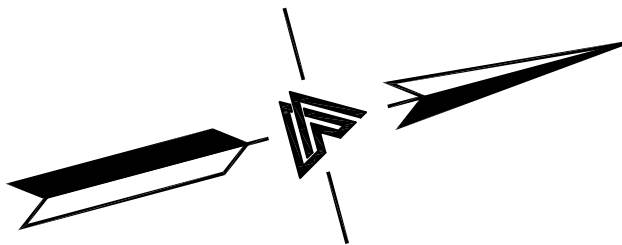
UNDERGROUND UTILITY LOCATION IS
BASED ON SURFACE EVIDENCE.

ALL RETAINING WALLS ARE ROCK
EXCEPT WHERE NOTED.

EASEMENT NOTE

APN 182-36-043
EASEMENTS ARE SHOWN PER TITLE REPORT
PREPARED BY CHICAGO TITLE COMPANY,
TITLE NO. FWPS-2999181327,
DATED AUGUST 9, 2018.
EXCEPTION # 8 - RIGHTS AND EASEMENTS
FOR NAVIGATION AND FISHERY WHICH MAY
EXIST OVER THAT PORTION OF SAID LAND
LYING BENEATH THE WATERS OF LOS
TRANCOS CREEK. (NOT PLOTTABLE)

APN 182-36-044
A CURRENT TITLE REPORT FOR THE SUBJECT
PROPERTY HAS NOT BEEN EXAMINED BY LEA
& BRAZE ENGINEERING, INC. EASEMENTS OF
RECORD MAY EXIST THAT ARE NOT SHOWN
ON THIS MAP.



SCALE: 1" = 40'



LEGEND AND NOTES

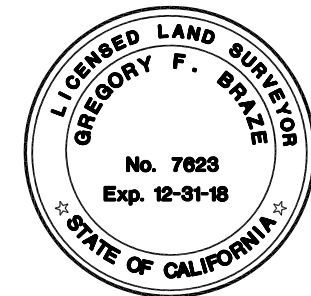
- BOUNDARY LINE
- EASEMENT
- FENCE LINE
- FLOW LINE
- SD STORM DRAIN LINE
- AD AREA DRAIN
- BW BENCHMARK
- CB BOTTOM RETAINING WALL
- CMP CATCH BASIN
- CPP CORRUGATED METAL PIPE
- CPP CORRUGATED PLASTIC PIPE
- FL FIRE HYDRANT
- FL FLOW LINE
- GA GUY ANCHOR
- INV INVERT
- ICV IRRIGATION CONTROL VALVE
- JMAP JAPANESE MAPLE
- JP JOINT POLE
- M- MULTI-TRUNK TREE
- PVC POLYVINYL CHLORIDE PIPE
- RWD REDWOOD
- RCP REINFORCED CONCRETE PIPE
- SS SANITARY SEWER BOX
- SB# SOIL BORE LOCATION
- SYC SYCAMORE
- TW TOP OF RETAINING WALL
- XXX.XX SPOTGRADE
- ASPHALT
- CONCRETE
- GRAVEL
- RIVER ROCK
- STONE
- WOOD

BENCHMARK

TOWN OF PORTOLA VALLEY BENCHMARK PV-15
33'± SE OF STREET MON, 33'± SW OF STOP SIGN
POLE, 39'± NE OF POWER POLE, AT THE
INTERSECTION OF ALPINE RD AND LOS TRANCOS RD.
ELEVATION = 476.30'
(ADJUSTED TO NAVD 88 DATUM)

SITE BENCHMARK

SURVEY CONTROL POINT
CUT CROSS IN CONCRETE
ELEVATION = 418.91'
(ADJUSTED TO NAVD 88 DATUM)



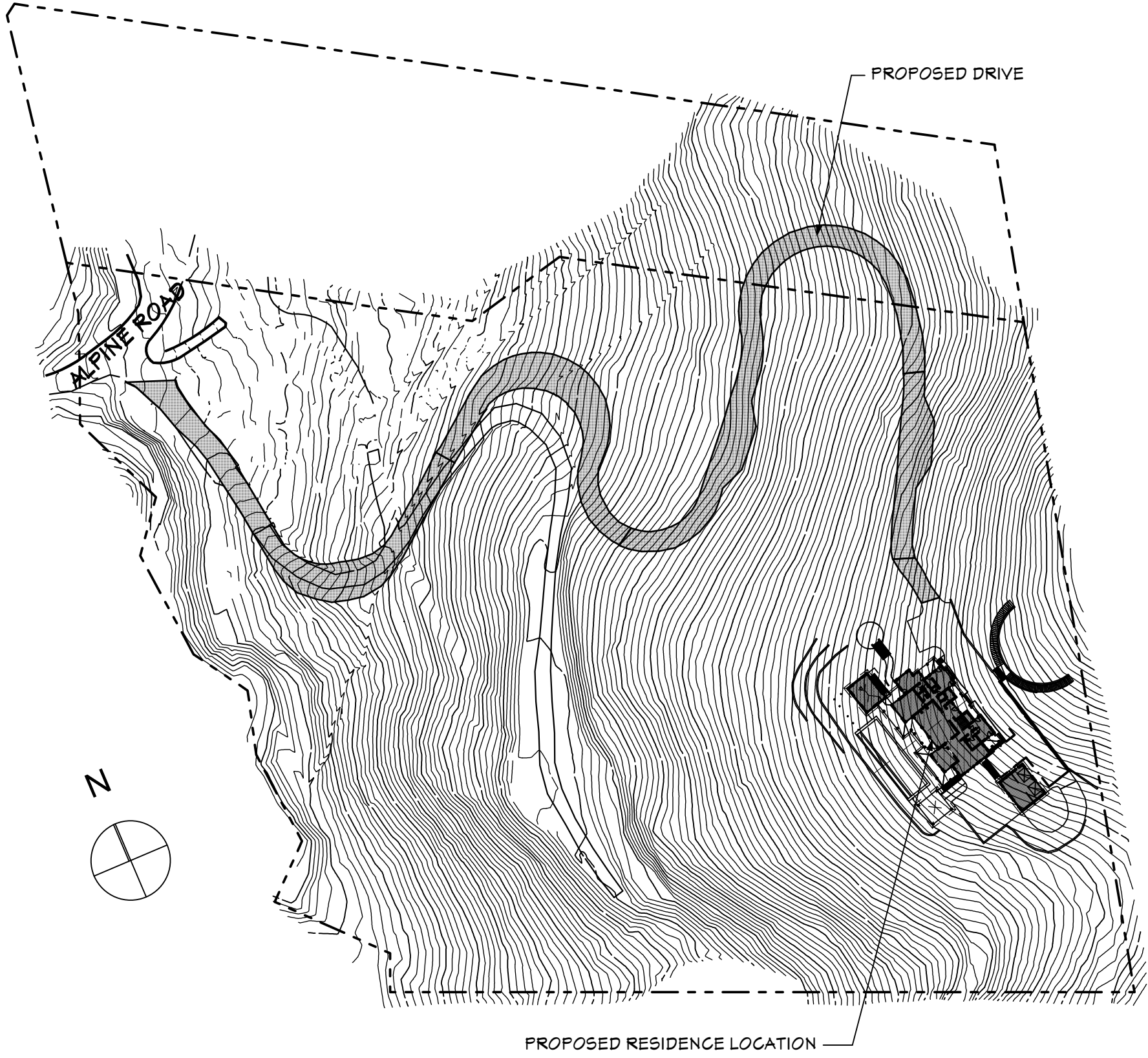
LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
SACRAMENTO REGION
3017 DOUGLAS BLVD., # 300
ROSEVILLE, CA 95661
BAY AREA REGION
2495 INDUSTRIAL PKWY WEST
HAYWARD, CALIFORNIA 94545
(P) (916) 968-1338
(F) (916) 887-3019
(C) (916) 797-7363
WWW.LEA-BRAZE.COM

ALPINE ROAD
PORTOLA VALLEY
CALIFORNIA

TOPOGRAPHIC
SURVEY

REVISIONS	BY
JOB NO:	2180884
DATE:	9-14-18
SCALE:	
FIELD BY:	ES
DRAWN BY:	DB
SHEET NO:	





2 Overall Site Plan

1" = 100'

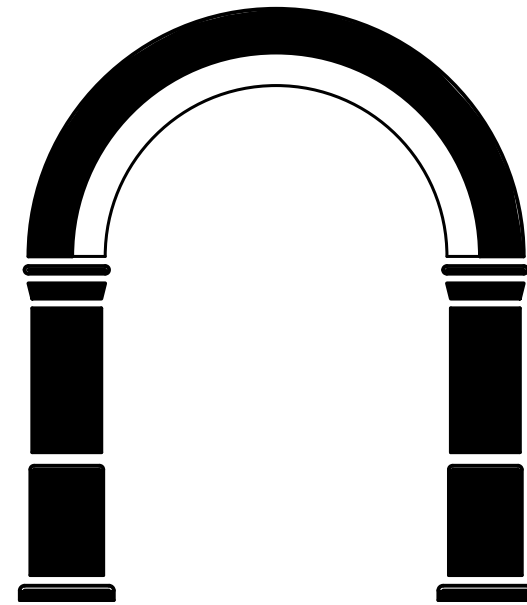
SITE INFORMATION

LOT SIZE (GROSS):	9.11 ACRES
ZONING:	HS
(N) 2 STORY RESIDENCE :	6,317 SF
(N) 2-STORY GARAGE:	1,440 SF
(N) 2 STORY CABANA:	1,070 SF
(N) OPEN AIR OUTDOOR KITCHEN & POTTING AREA:	921 SF



1 1:20 Site Plan

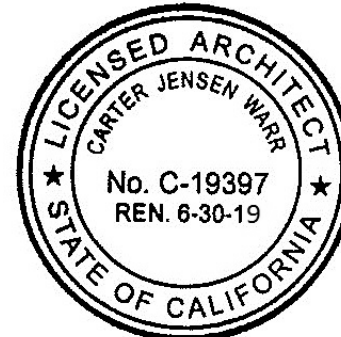
1" = 20'



CJW ARCHITECTURE

130 Portola Road, suite A
Portola Valley, CA 94028
(650) 851-9335 / (Fax) 851-9337

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• PROJECT •

Zaffaroni Residence

0 Alpine Road
APN 182-36-043 & 044
Portola Valley, CA 94028

• SHEET TITLE •

Site Plan

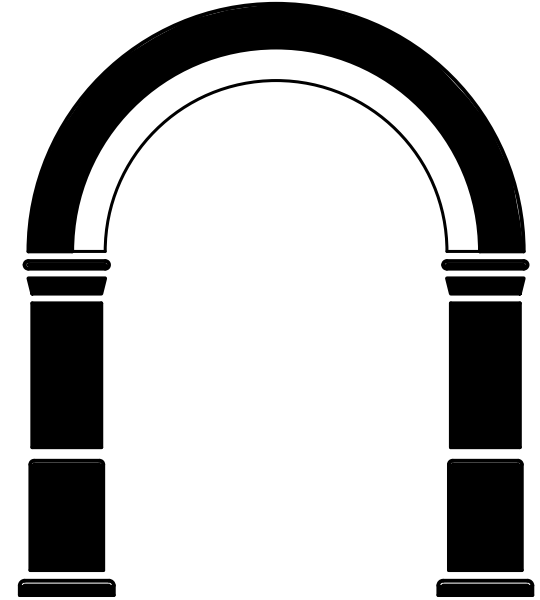
• REVISIONS •

No.	Date	Notes

• JOB: 2018-2500

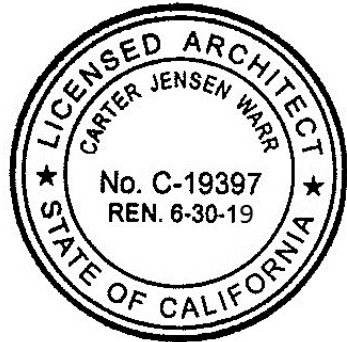
• DATE: 4/15/2019

• SHEET: A-1.1



CJW ARCHITECTURE
130 Portola Road, suite A
Portola Valley, CA 94028
(650) 851-9335 / (Fax) 851-9337

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• PROJECT •

Zaffaroni Residence

0 Alpine Road
APN 182-36-043 & 044
Portola Valley, CA 94028

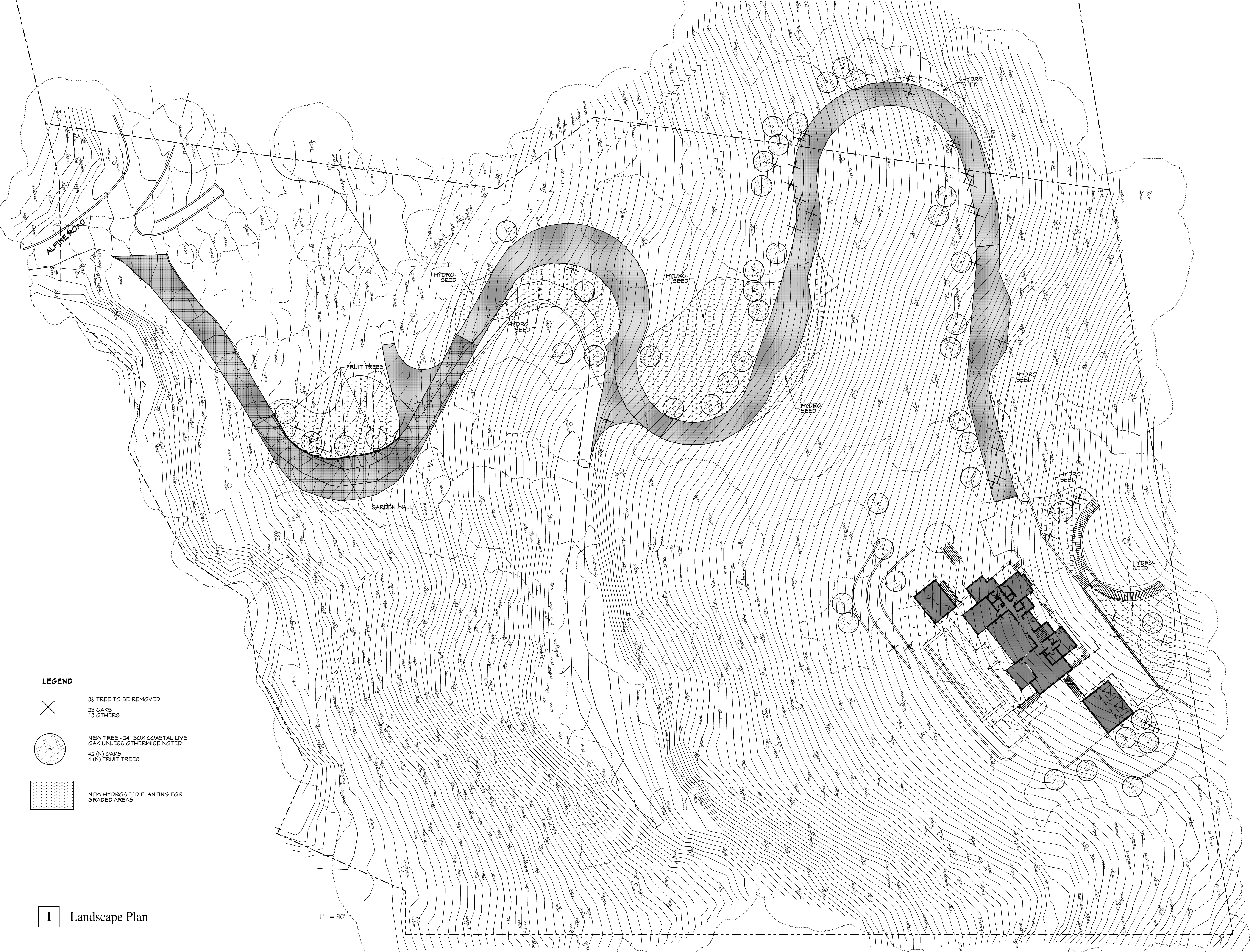
• SHEET TITLE •

Enlarged Site Plan

• REVISIONS •

No.	Date	Notes

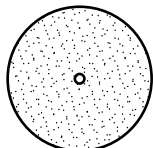
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• DATE: 4/15/2019
• SHEET: A-1.2



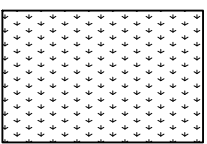
LEGEND



36 TREE TO BE REMOVED:
23 OAKS
13 OTHERS



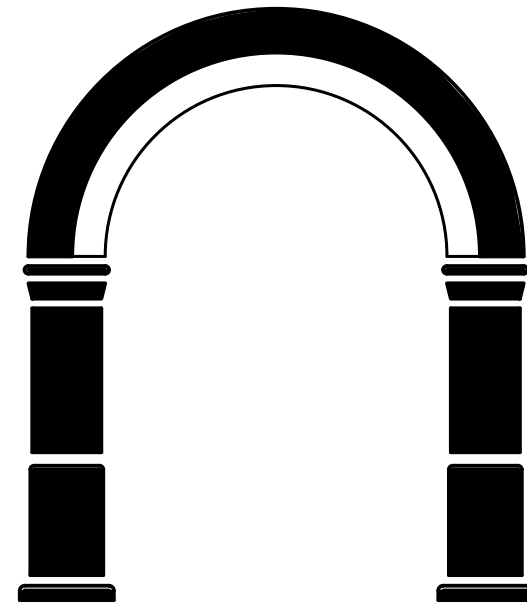
NEW TREE - 24" BOX COASTAL LIVE
OAK UNLESS OTHERWISE NOTED:
42 (N) OAKS
4 (N) FRUIT TREES



NEW HYDROSEED PLANTING FOR
GRADED AREAS

1 Landscape Plan

1" = 30'

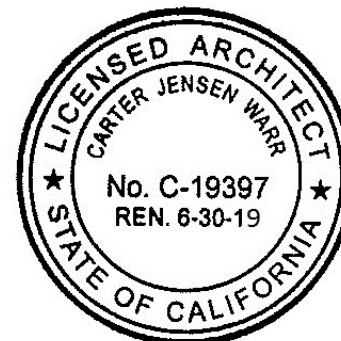


CJW ARCHITECTURE

130 Portola Road, suite A
Portola Valley, CA 94028

(650) 851-9335 / (Fax) 851-9337

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• PROJECT •

Zaffaroni Residence

0 Alpine Road
APN 182-36-043 & 044
Portola Valley, CA 94028

• SHEET TITLE •

Landscape Plan

• REVISIONS •

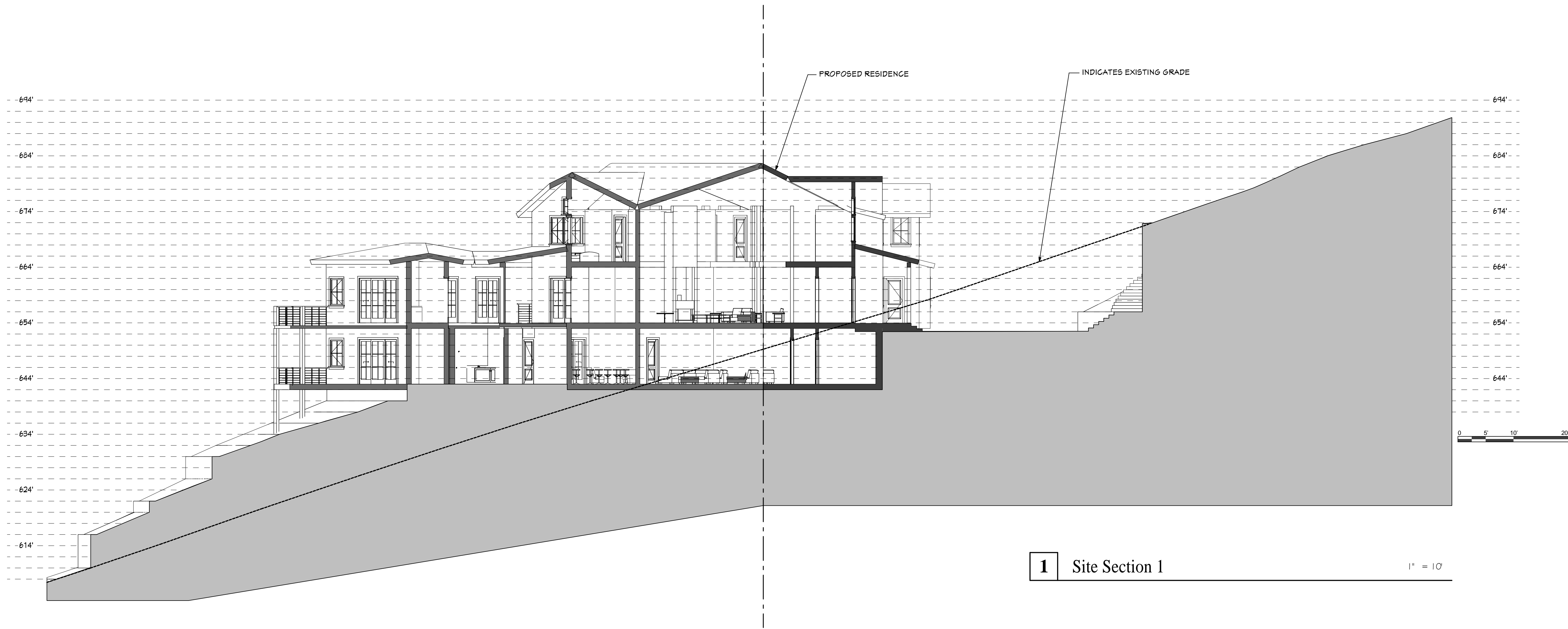
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• DATE: 4/15/2019

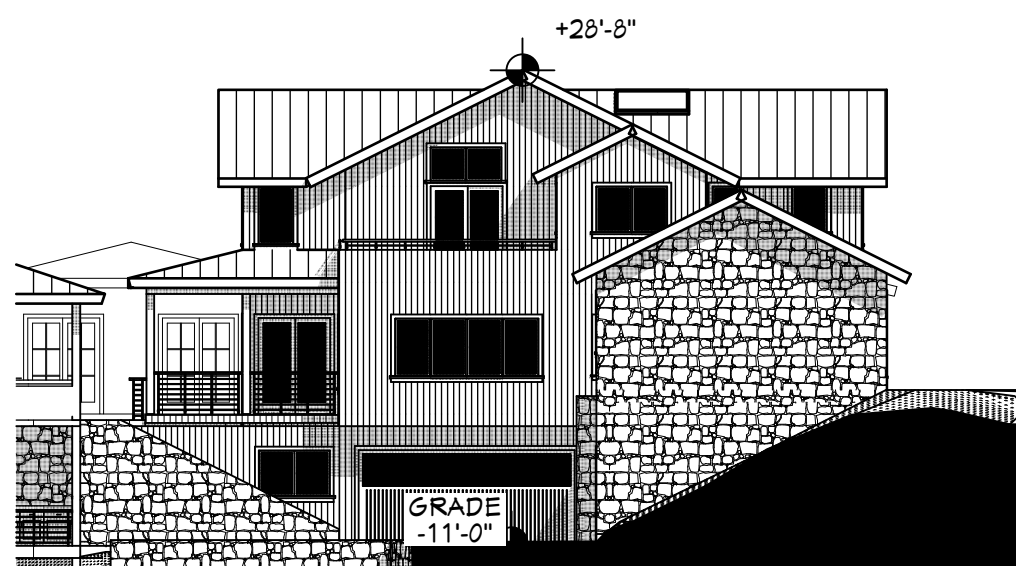
• SHEET: A-1.3

M:\CJW_Job_Files\2018\2500 Zaffaroni - Alpine Lot\Drawings\1 Current Lot\Drawings\2500 Zaffaroni Residence F Vers 21.dwg
Friday, April 12, 2019 10:42 AM

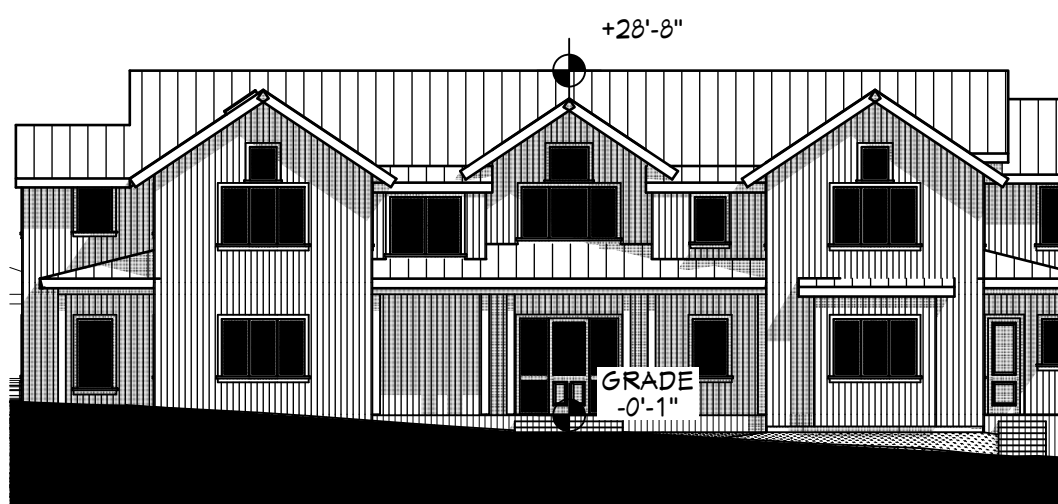


1 Site Section 1

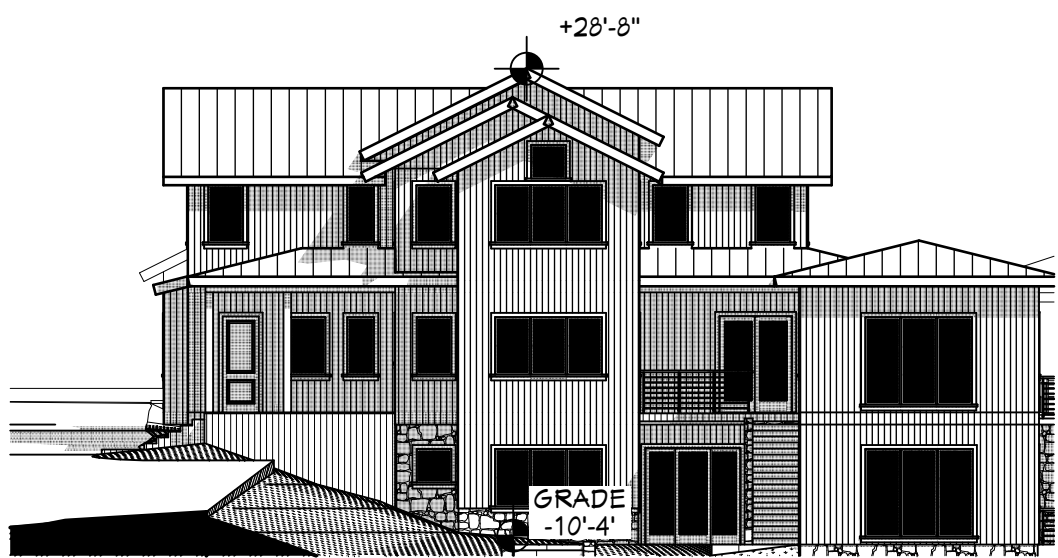
1" = 10'



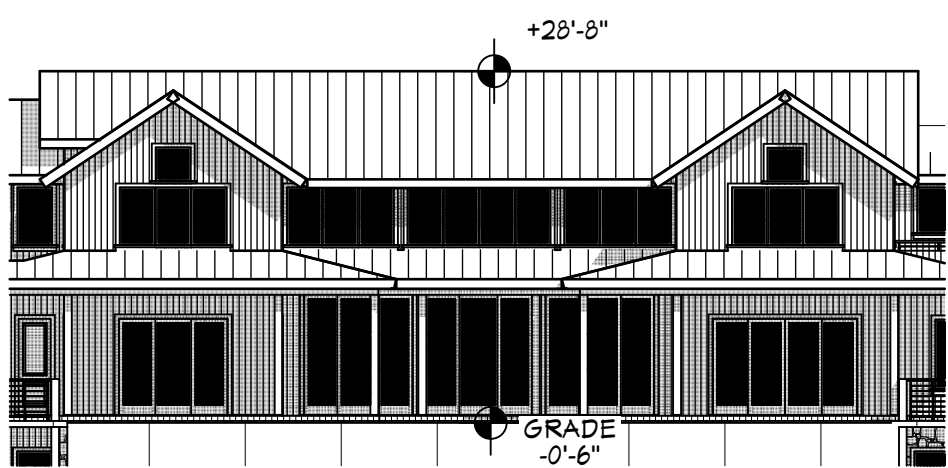
Height diagram - side 1



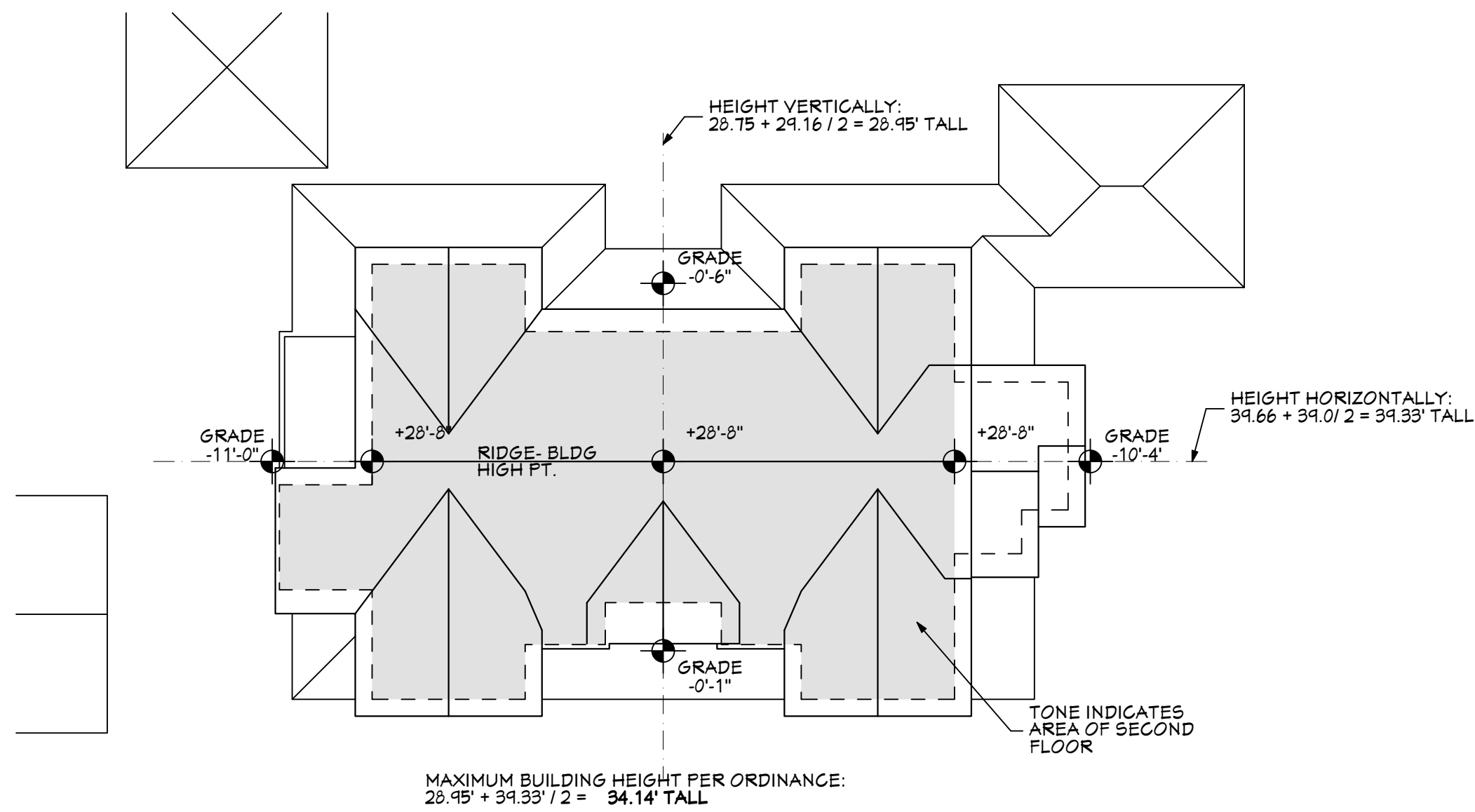
Height diagram - front



Height diagram - side 2

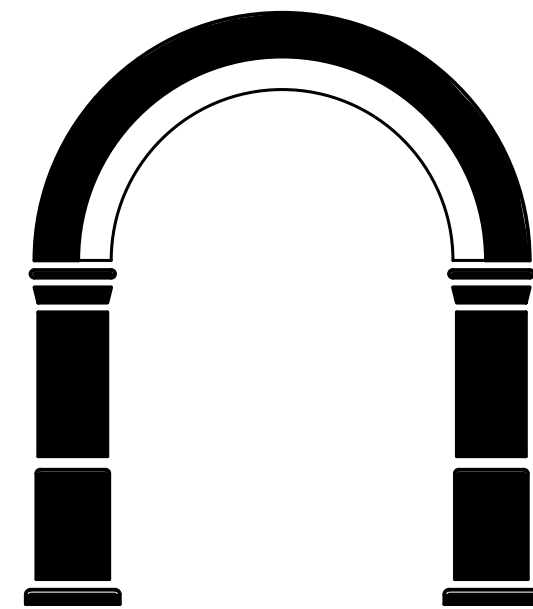


Height diagram - rear



2 Building Height Diagram

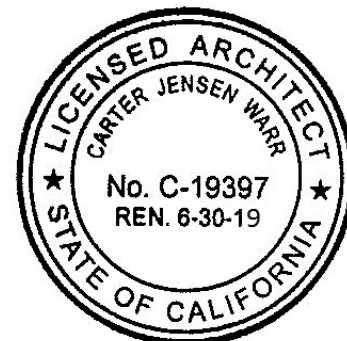
1/16" = 1'-0"



CJW ARCHITECTURE

130 Portola Road, suite A
Portola Valley, CA 94028
(650) 851-9335 / (Fax) 851-9337

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• PROJECT •

Zaffaroni Residence

0 Alpine Road
APN 182-36-043 & 044
Portola Valley, CA 94028

• SHEET TITLE •

Site Section & Height
Diag.

• REVISIONS •

No.	Date	Notes

• JOB: 2018-2500

• DATE: 4/15/2019

• SHEET: A-1.4

FLOOR AREA CALCULATIONS:

PROPOSED RESIDENCE:

COUNTED FLOOR AREA

FIRST FLOOR - 3,585 SF
SECOND FLOOR - 2,732 SF
TOTAL: 6,317 SF

UNCOUNTED FLOOR AREA

BASEMENT - 4,723 SF INCLUDES 2 CAR GARAGE

PROPOSED DETACHED GARAGE:

FIRST FLOOR - 720 SF PARKING FOR 2 CARS
BASEMENT - 720 SF PARKING FOR 2 CARS
TOTAL: 1,440 SF

PROPOSED POOL CABANA:

FIRST FLOOR - 492 SF
BASEMENT - 578 SF
TOTAL: 1,070 SF

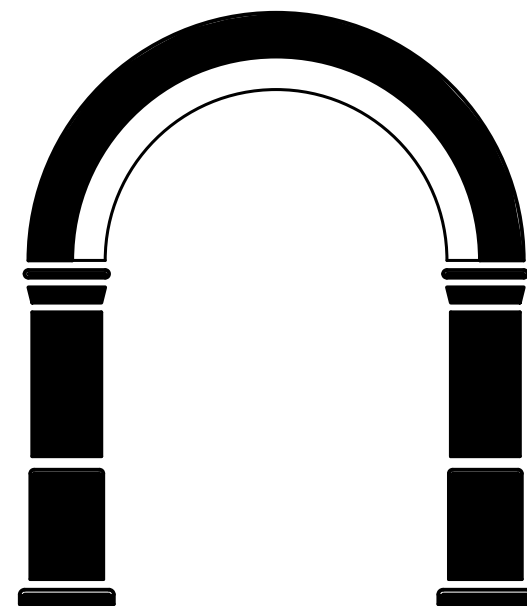
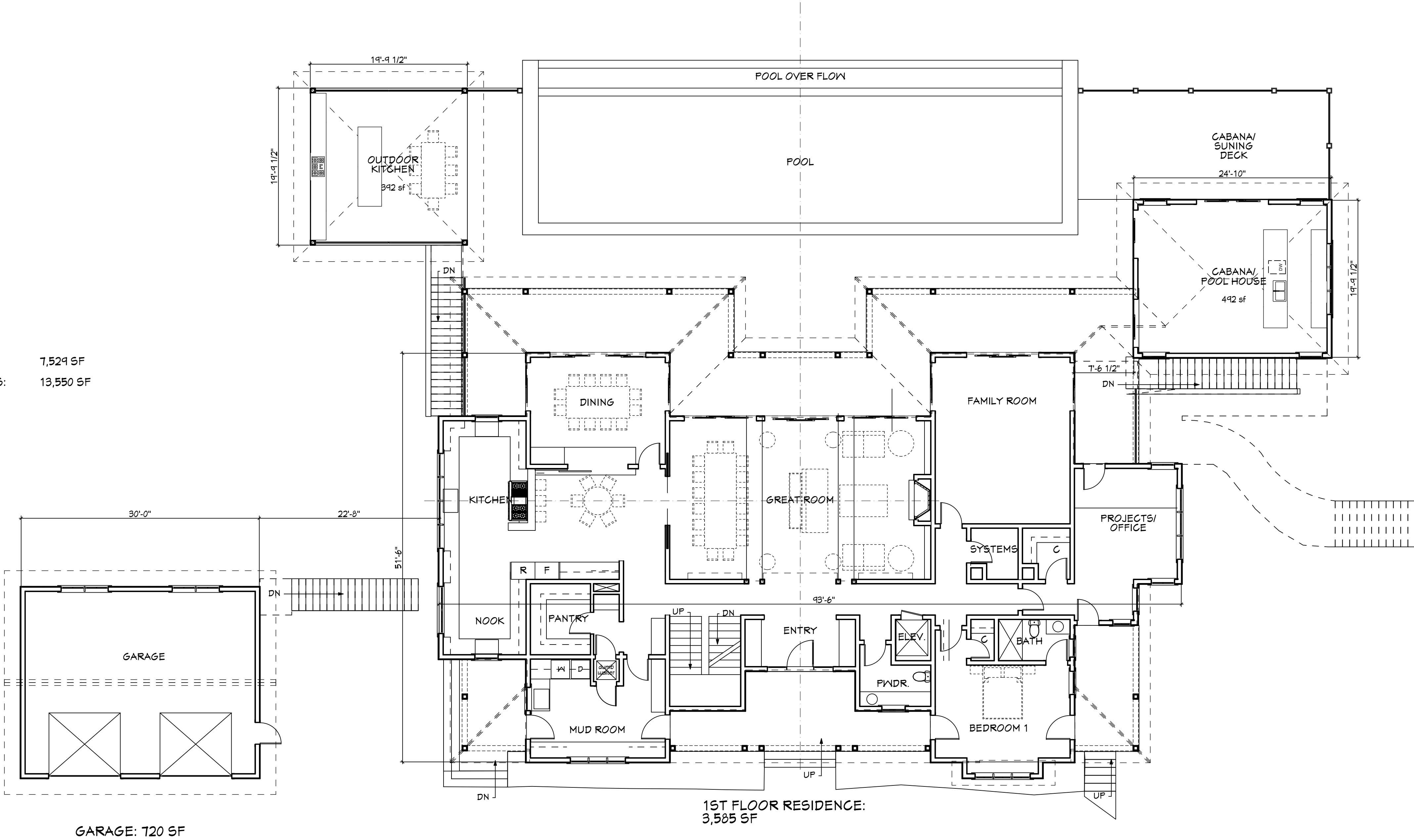
FLOOR AREA ALL ENCLOSED STRUCTURES 1ST & 2ND FLOORS: 7,524 SF

FLOOR AREA ALL ENCLOSED STRUCTURES INCLUDING BASEMENTS: 13,550 SF

PROPOSED PROJECT INCLUDES COVERED PARKING FOR 6 CARS

PROPOSED OPEN AIR STRUCTURES:

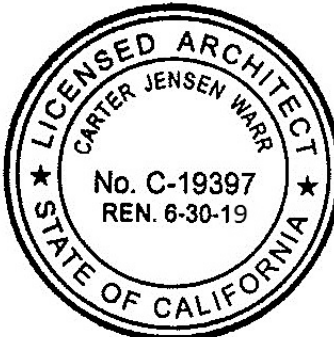
OUTDOOR KITCHEN: 392 SF
POTTING AREA: 529 SF



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• SHEET TITLE •

1st Floor Plan, Front
Elevation & Floor Area

• REVISIONS •

No.	Date	Notes

• JOB: 2018-2500

• DATE: 4/15/2019

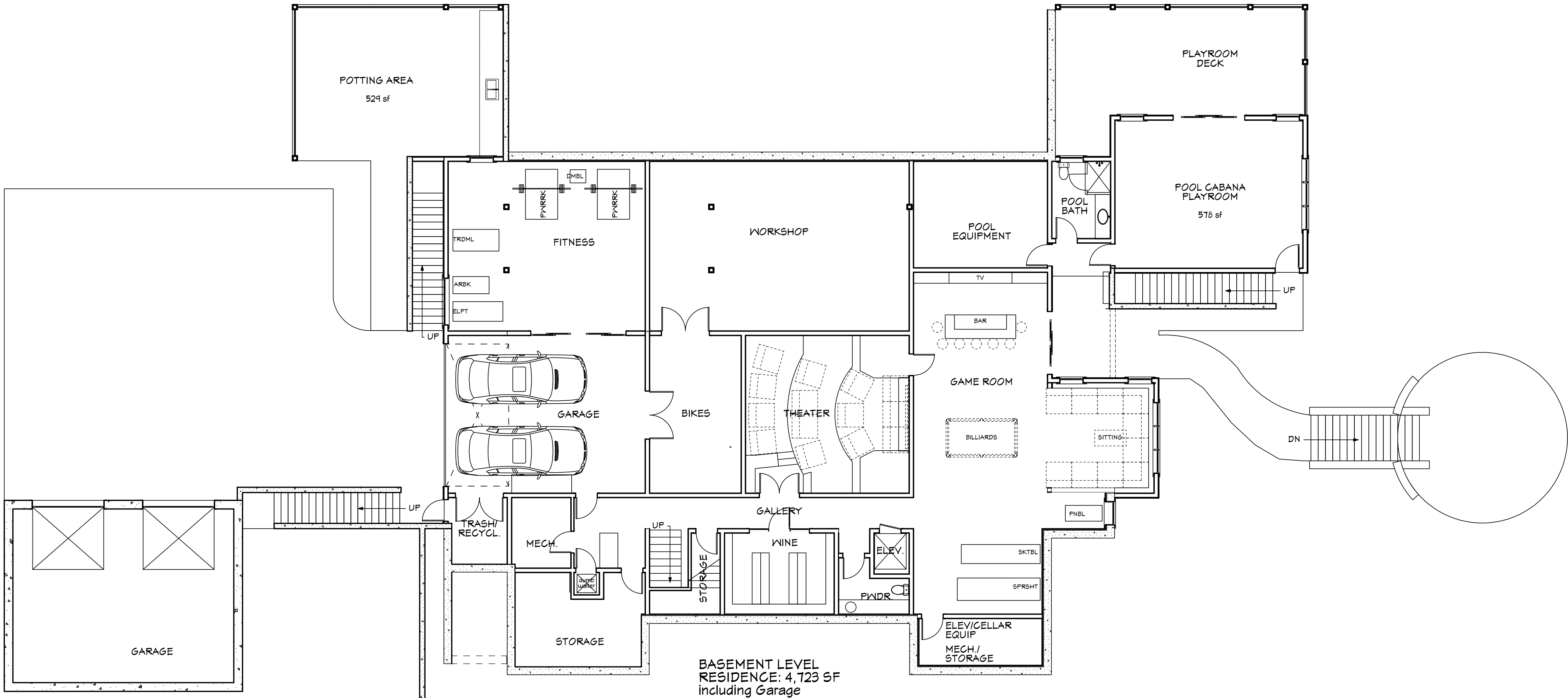
• SHEET: A-2.1

1 Main Floor Plan

1/8" = 1'-0"

2 Front Elevation

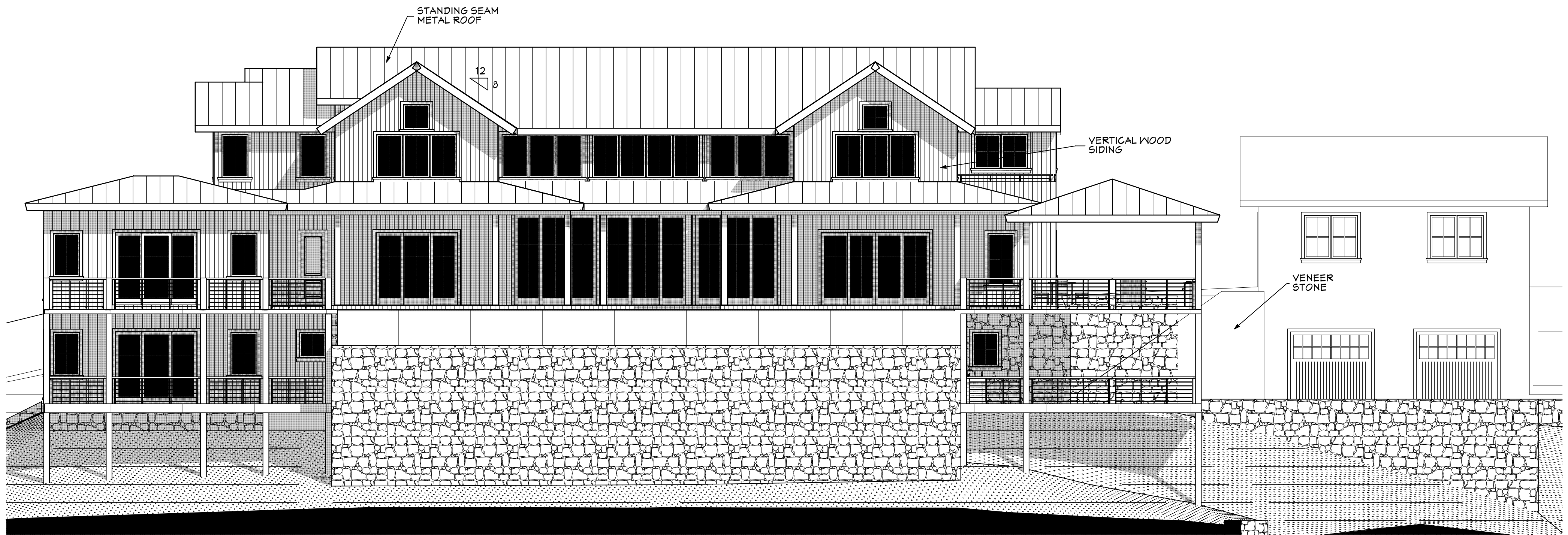
1/8" = 1'-0"



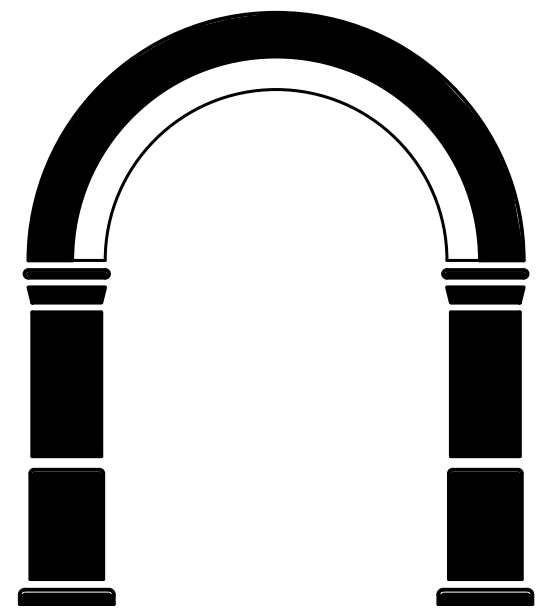
LOWER LEVEL GARAGE:
720 SF

BASEMENT LEVEL
RESIDENCE: 4,723 SF
including Garage

1 Basement & Lower Level Plan 1/8" = 1'-0"



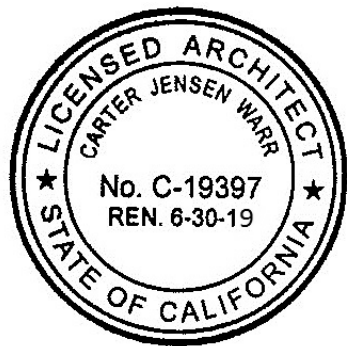
2 Rear Elevation 1/8" = 1'-0"



CJ W ARCHITECTURE

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• SHEET TITLE •

Basement, Lower Level
Plan & Rear Elevation

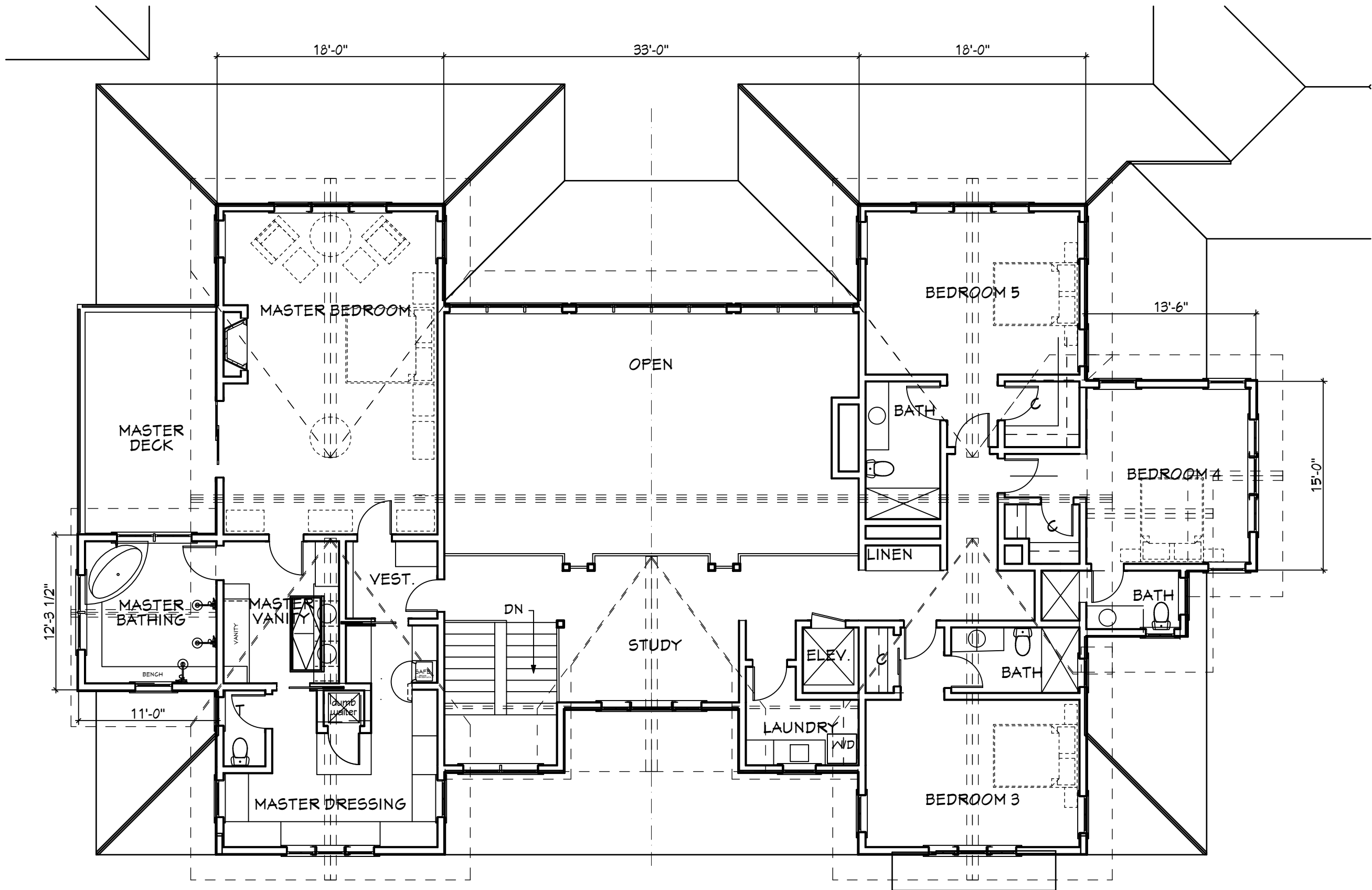
• REVISIONS •

No.	Date	Notes

• JOB: 2018-2500

• DATE: 4/15/2019

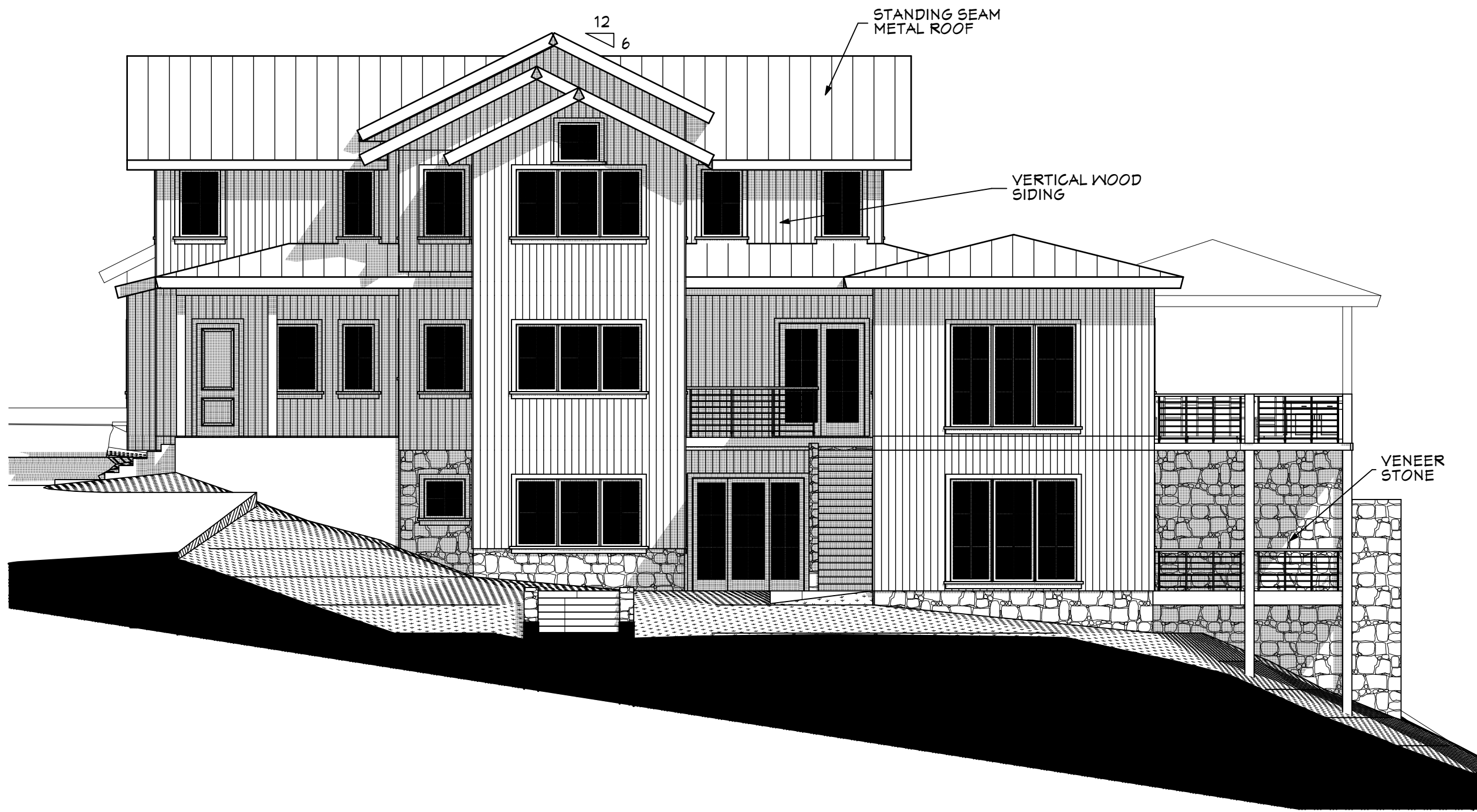
• SHEET: A-2.2



2ND FLOOR RESIDENCE:
2,732 SF

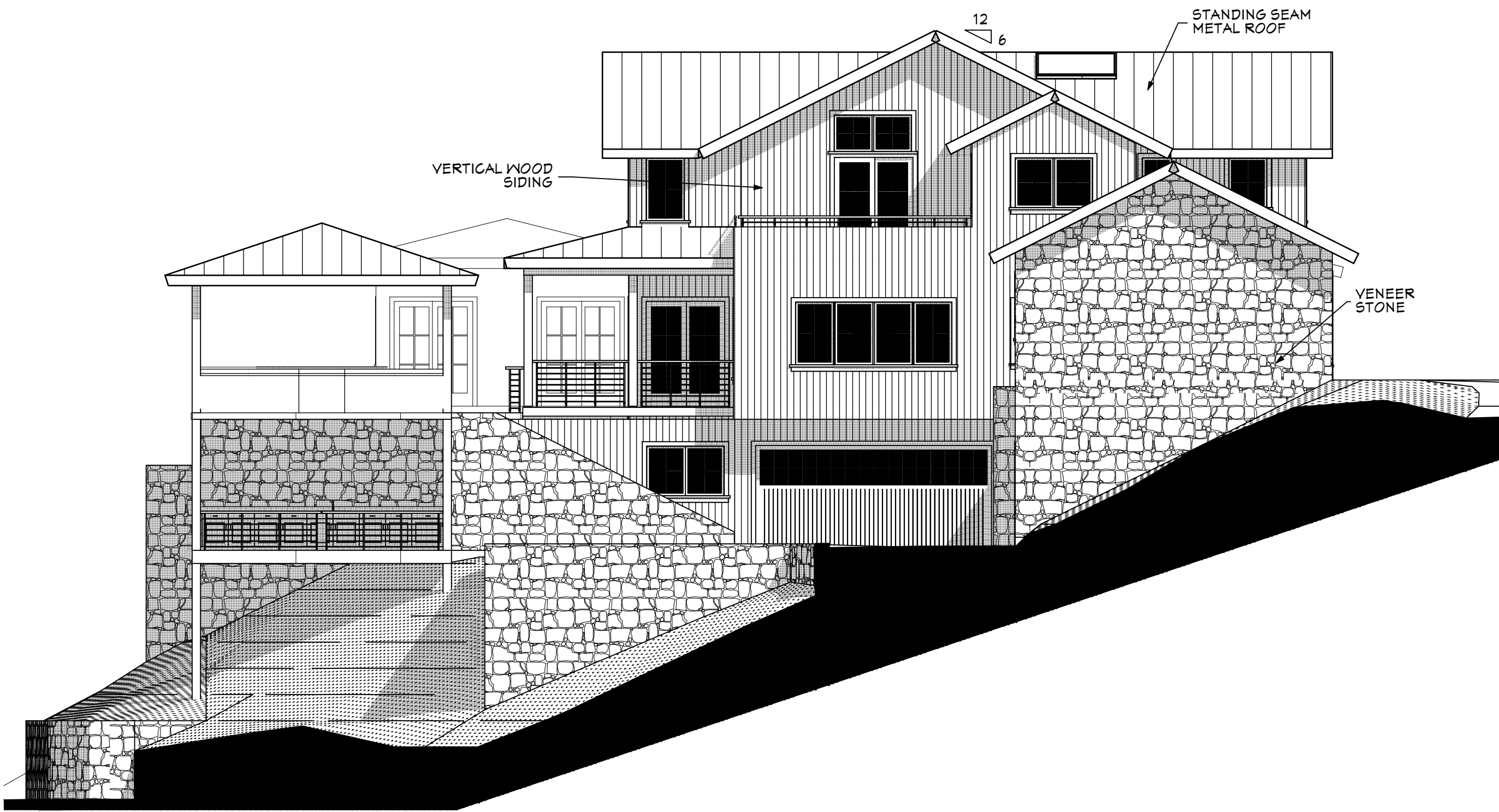
1 Second Floor Plan

1/8" = 1'-0"



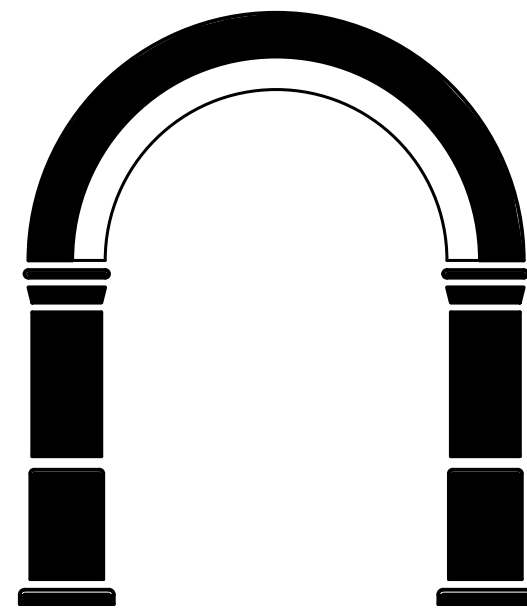
3 Side Elevation 2

1/8" = 1'-0"



2 Side Elevation 1

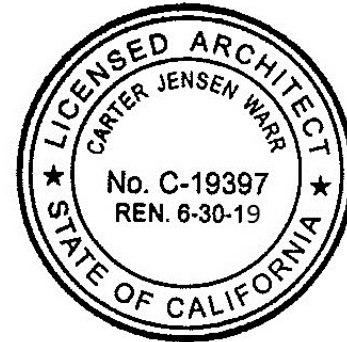
1/8" = 1'-0"



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• SHEET TITLE •

2nd Floor Plan & Side
Elevations

• REVISIONS •

No.	Date	Notes

• JOB: 2018-2500

• DATE: 4/15/2019

• SHEET: A-2.3



1 Residence View 1 1:68.57



2 Residence View 2 1:68.57

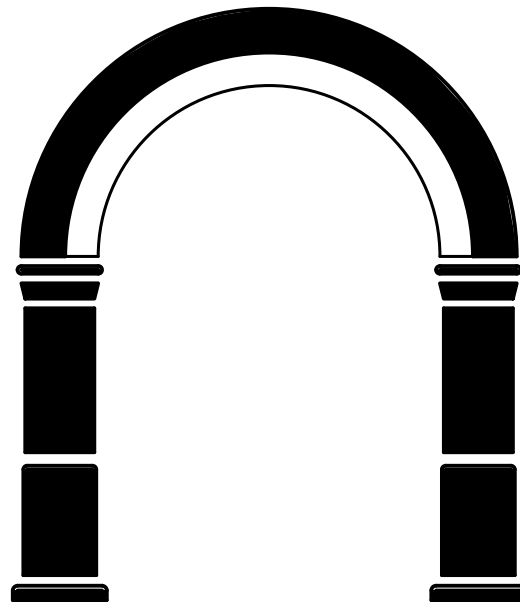


3 Residence View 3 1:68.57



4 Residence View 4 1:68.57

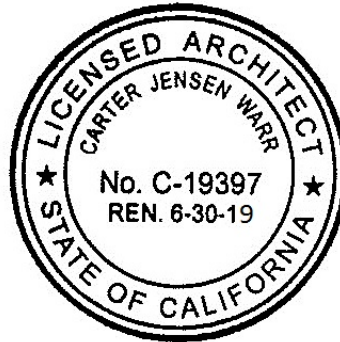
NOTE:
THE VIEWS DEPICTED ON THIS SHEET ARE STRICTLY OF THE ARCHITECTURE AND DO NOT SHOW THE EXTENSIVE SCREENING PROVIDED BY EXISTING TREES / FOLIAGE NOR THE PROPOSED OAKS TO BE PLANTED. PLEASE REFERENCE SHEET A-3.4 FOR PERSPECTIVE VIEWS THAT SHOW THE RESIDENCE IN PROPOSED SITING WITH SCREENING IN PLACE.



CJW ARCHITECTURE

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• SHEET TITLE •

Residence Perspective Views

• REVISIONS •

No.	Date	Notes

• JOB: 2018-2500

• DATE: 4/15/2019

• SHEET: A-3.1



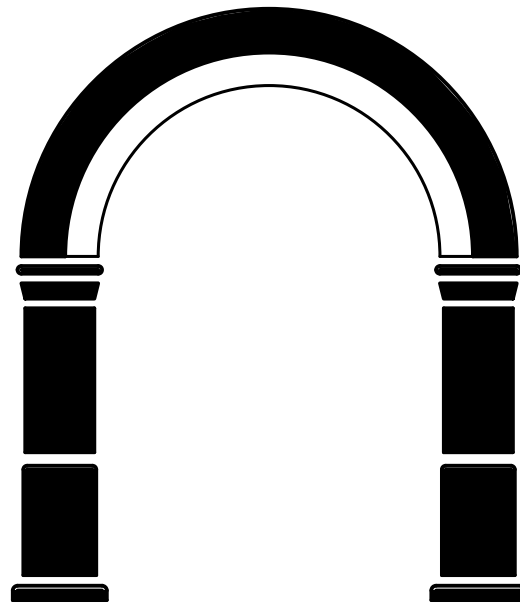
VIEW FROM ARASTRADERO PRESERVE



PLAN OF VARIOUS BUILDING SITE OPTIONS



OVERHEAD MAP W/ PERSPECTIVE VIEW PLACEMARKS (YELLOW PINS) AND AREAS WITHIN 1,000 FOOT RADIUS OF SUBJECT PROPERTY (RED CIRCLES)

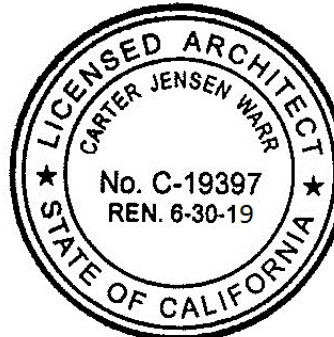


CJ W ARCHITECTURE

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• SHEET TITLE •

Site Perspective Views -
Aerials

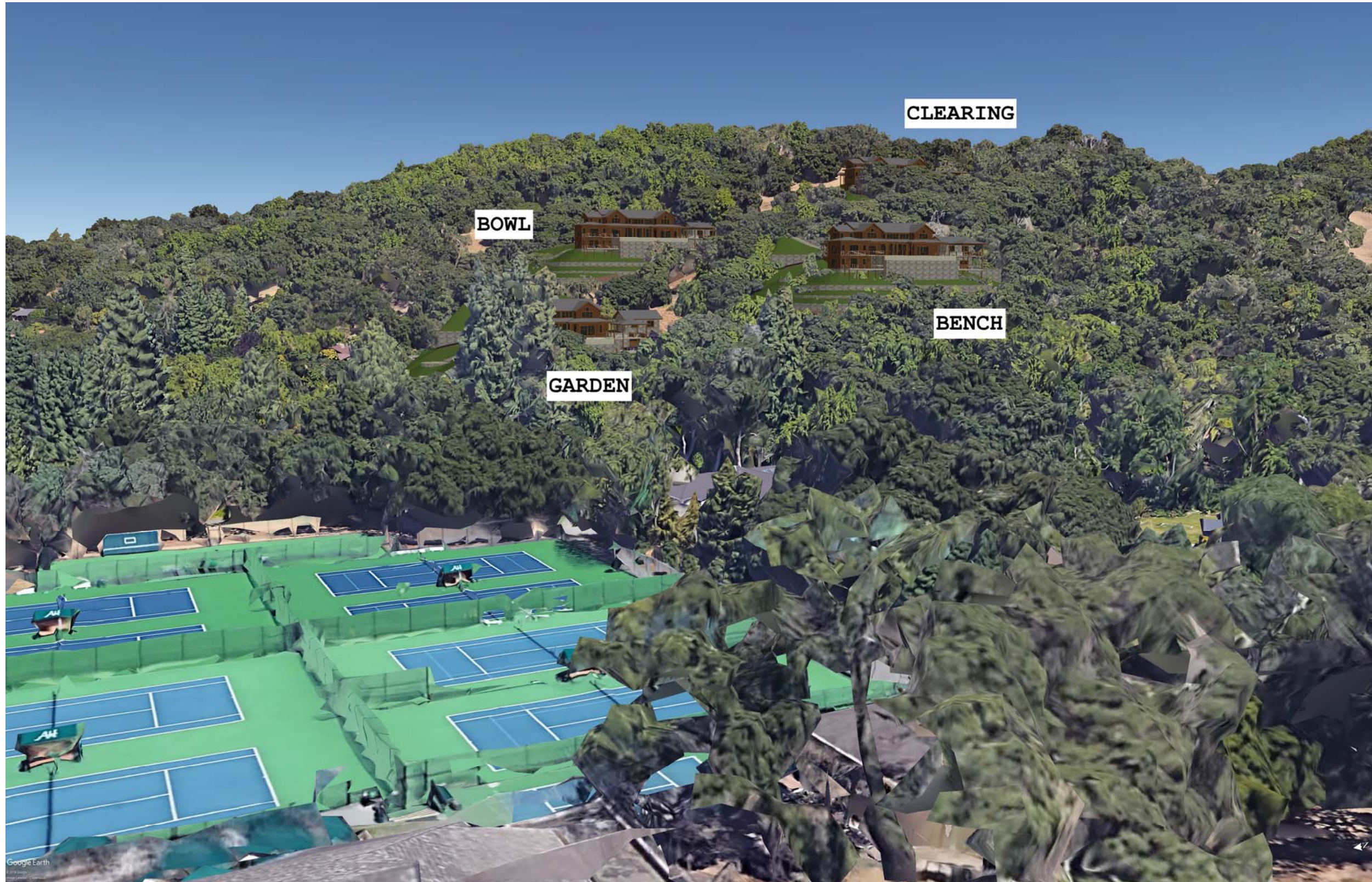
• REVISIONS •

No.	Date	Notes

• JOB: 2018-2500

• DATE: 4/15/2019

• SHEET: A-3.2



VIEW FROM ALPINE HILLS, VARIOUS SITES



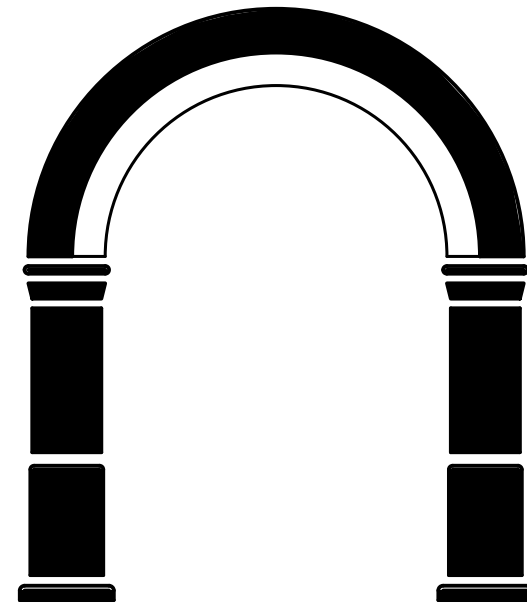
VIEW FROM ALPINE ROAD, VARIOUS SITES



VIEW FROM LOS TRANCOS, VARIOUS SITES



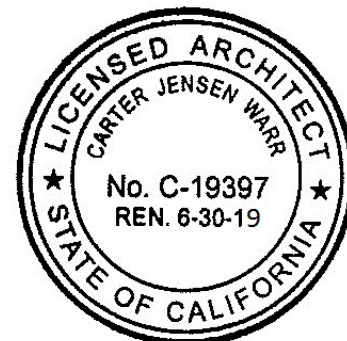
VIEW FROM BEAR GULCH, VARIOUS SITES



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• SHEET TITLE •

Site Perspective Views-
Options

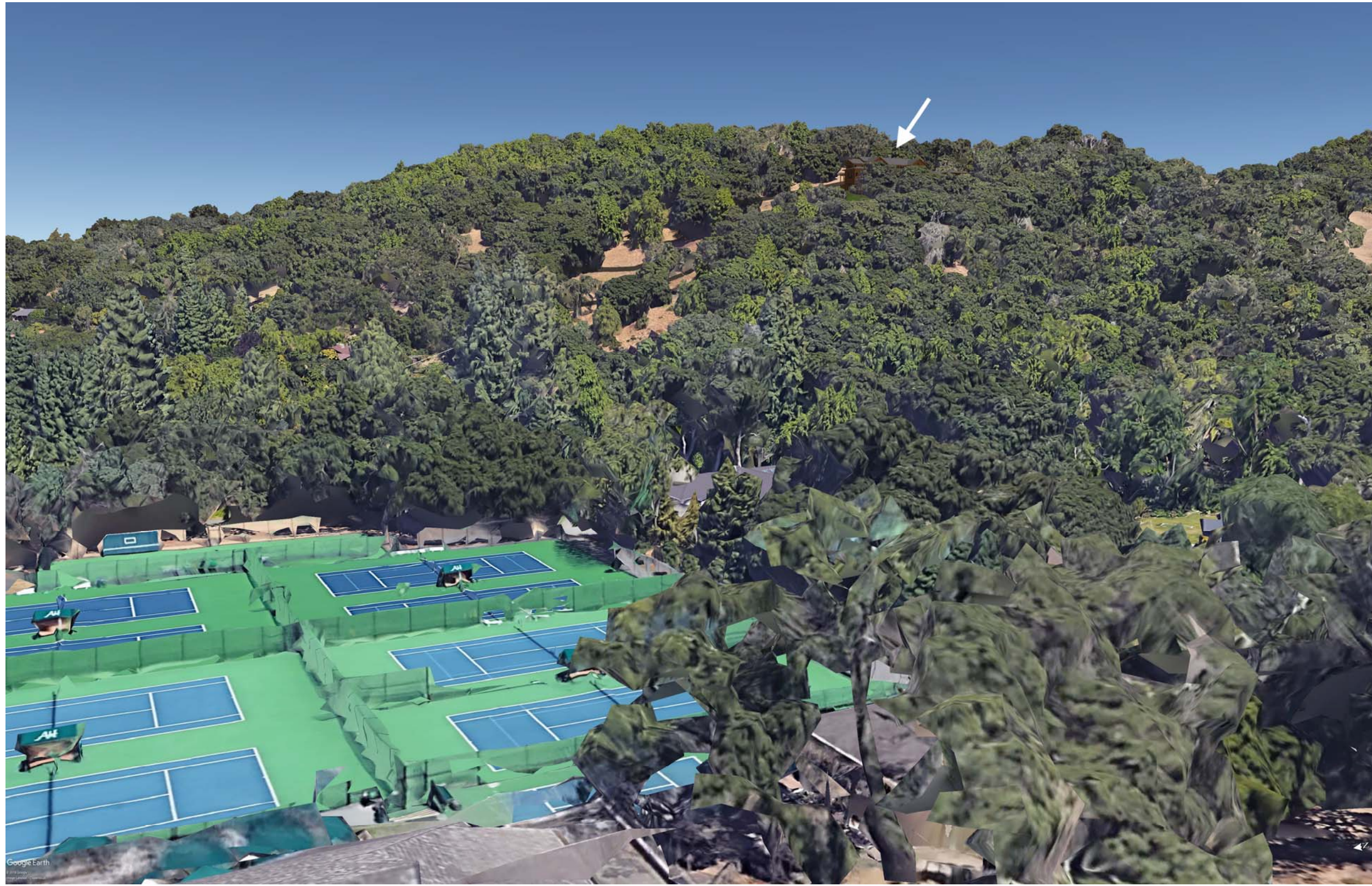
• REVISIONS •

No.	Date	Notes

• JOB: 2018-2500

• DATE: 4/15/2019

• SHEET: A-3.3



VIEW FROM ALPINE HILLS, PROPOSED SITE



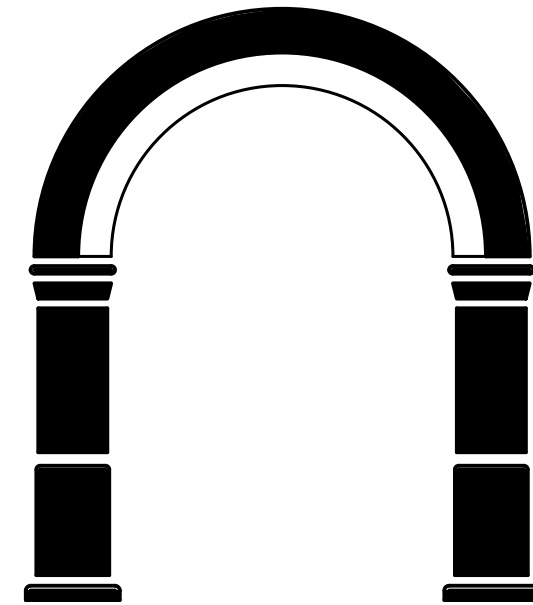
VIEW FROM ALPINE ROAD, PROPOSED SITE



VIEW FROM LOS TRANCOS, PROPOSED SITE



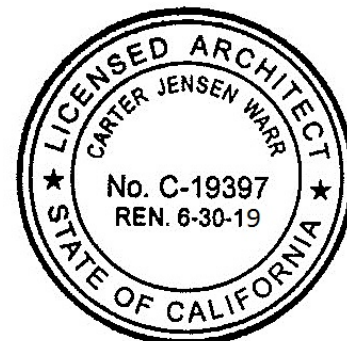
VIEW FROM BEAR GULCH, PROPOSED SITE



CJW ARCHITECTURE

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• SHEET TITLE •

Site Perspective Views -
Proposed

• REVISIONS •

No.	Date	Notes

• JOB: 2018-2500

• DATE: 4/15/2019

• SHEET: A-3.4