

PROJECT ANALYSIS

Site Area=	37 acres
Conditioned area:	
First Floor:	3,861 sf
Second Floor:	2,602 sf
Total Area:	6,463 sf
Garages:	1,006 sf
Unconditioned:	36 sf
Covered Porches:	510 sf
Total Under Roof Area:	8,015 sf

Occupancy:	R-3/U
Type of Construction of the building:	VB
Building sprinklered: 100% w/WUI	100% w/WUI

SCOPE OF WORK

NEW CUSTOM HOME & GARAGES

INDEX

A1.0	Site Plan (60 scale);
A1.1	Site Plan (30 scale);
C1	Grading Plan
C2	Grading Plan Overlay
C3	Grading Sections
A2.1	First Floor plan
A2.2	Second Floor Plan
A3.0	Roof plan
A4.1	Elevations
A4.2	Elevations
A5.0	Sections
L1	Overall Site Plan
L2	Landscape Screening Plan
L3	Legend
L4	Landscape Screening Profile
L5	Hydrozone Plan
L6	Irrigation Plan

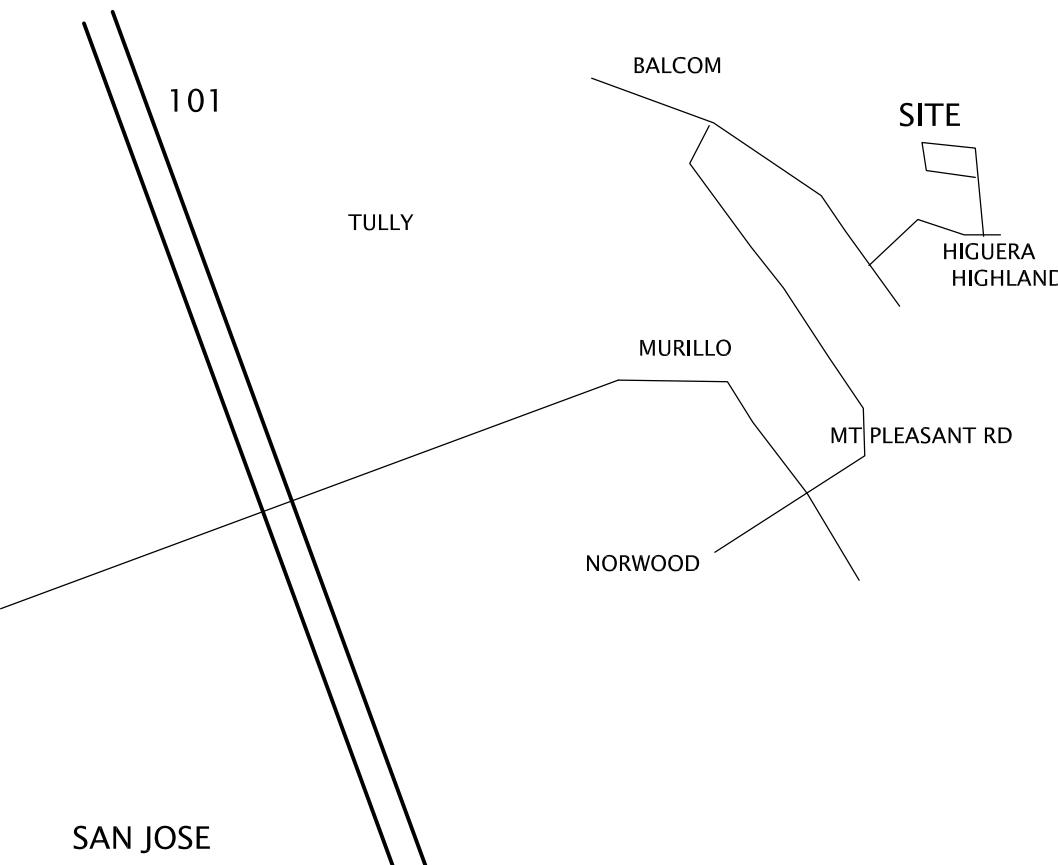
CODE REFERENCES

- 2019 California Residential Code.
- 2019 California Administrative Code.
- 2019 Green Building Standards.
- 2019 California Mechanical Code.
- 2019 California Plumbing Code.
- 2019 California Electrical Code.
- 2019 CEC, 2016 California Energy Code.
- 2019 Fire Codes.

Fire Departments Requirements:

- The site is served by an existing on-site well, 2-5,000 gallon above ground tanks hall be connected to a wharf hydrant. A 1-3,000 gallon above ground tank shall be required for domestic / fire sprinkler water. Tanks shall meet CFMO-W5
- Wharf hydrant shall be placed along fire department access route. Hydrant shall be located between 55-600 ft of all portions of the building and meet CFMO-W4 standards.
- Fire sprinklers shall be a deferred submittal.
- Driveway shall have a maximum slope of 16% & shall be made of "All-Weather" material.
- Fire Truck Turnaround shall be as shown on site plan & shall be kept clear at all times of cars, storage, etc.
- Property is in the Wildland Urban Interface (WUI) & shall have 1 hour construction.
- Property is in the State Response Area (SRA).

LOCATION MAP



ANTOINE MEO

Custom Residential Design

M

11925 Main St, #610  
Sund, CA 94586  
925-963-8646  
tonymeo@meo.com

Associate Member

The BomBay Living Trust

4001 HIGUERA HIGHLAND :

SAN JOSE

CALIFORNIA

SITE PLAN

OPTION 1

PRELIMINARY	
NOT FOR CONSTRUCTION	
NOT FOR BID	
APN	654-16-002
TRACT #	XXX
LOT #	X
PLN #	11296-18PA
BLDG #	XXXX-XXXXX

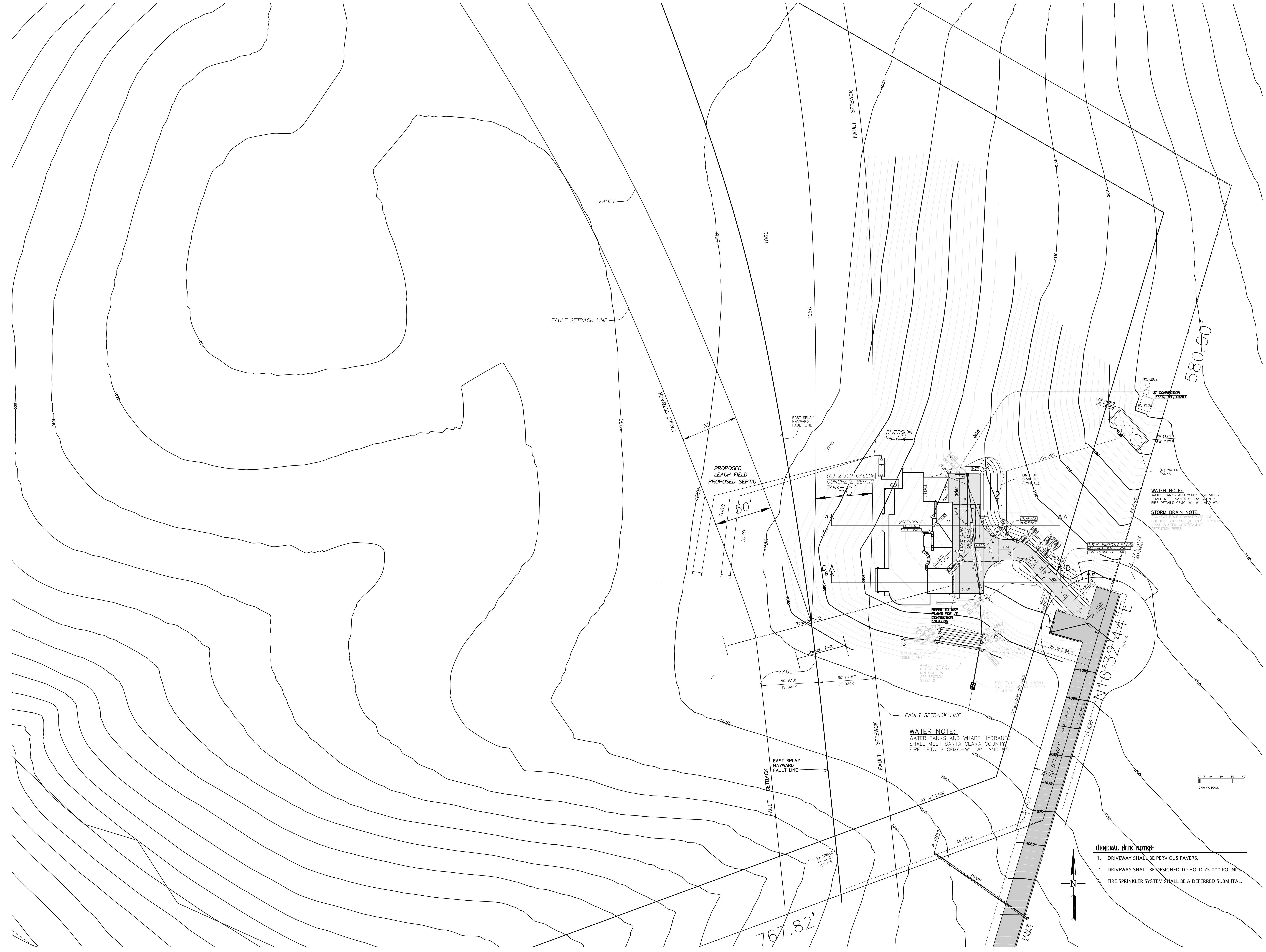
SUB	DATE	SUBMITTAL
1.	5/29/18	PLN 1
2.	12/5/18	PLN 2
3.	4/16/19	PLN 3
4.	8/20/19	PLN 4
5.	8/21/20	PLN 5
6.	12/10/20	PLN 6
7.	2/5/2021	PLN 7
8.		
9.		
10.		

CONTRACT DATE	9/16/2017
ISSUE DATE	2/11/2021
SCALE	1" = 60'
DRAWN	AM/JPS
JOB	2017-624
SHEET	

A1.0

OF SHEETS





ANTOINE MEO

Custom  
Residential  
Design

M

11925 Main St, #610  
San Jose, CA 95128  
925-963-8646  
tonymeedesign@gmail.com  
Associate Member

The BomBay  
Living Trust

4001 HIGUERA HIGHLAND :  
SAN JOSE  
CALIFORNIA

SITE PLAN  
ALTERNATE 1 LOCATION  
ALTERNATE 2 LOCATION

PRELIMINARY  
NOT FOR CONSTRUCTION  
NOT FOR BID  
APN 654-16-002  
TRACT # XXX  
LOT # X  
PLN # 11296-18PA  
BLDG # XXXX-XXXXX

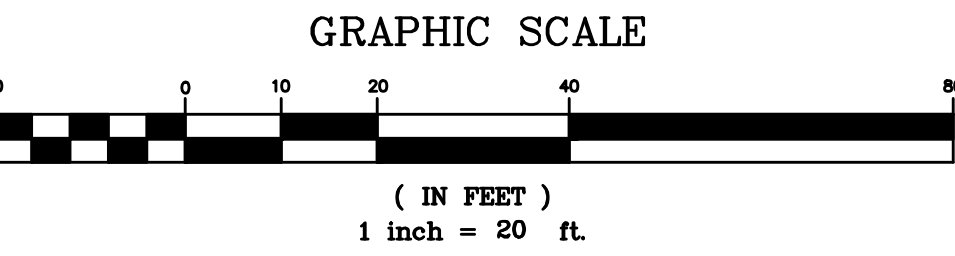
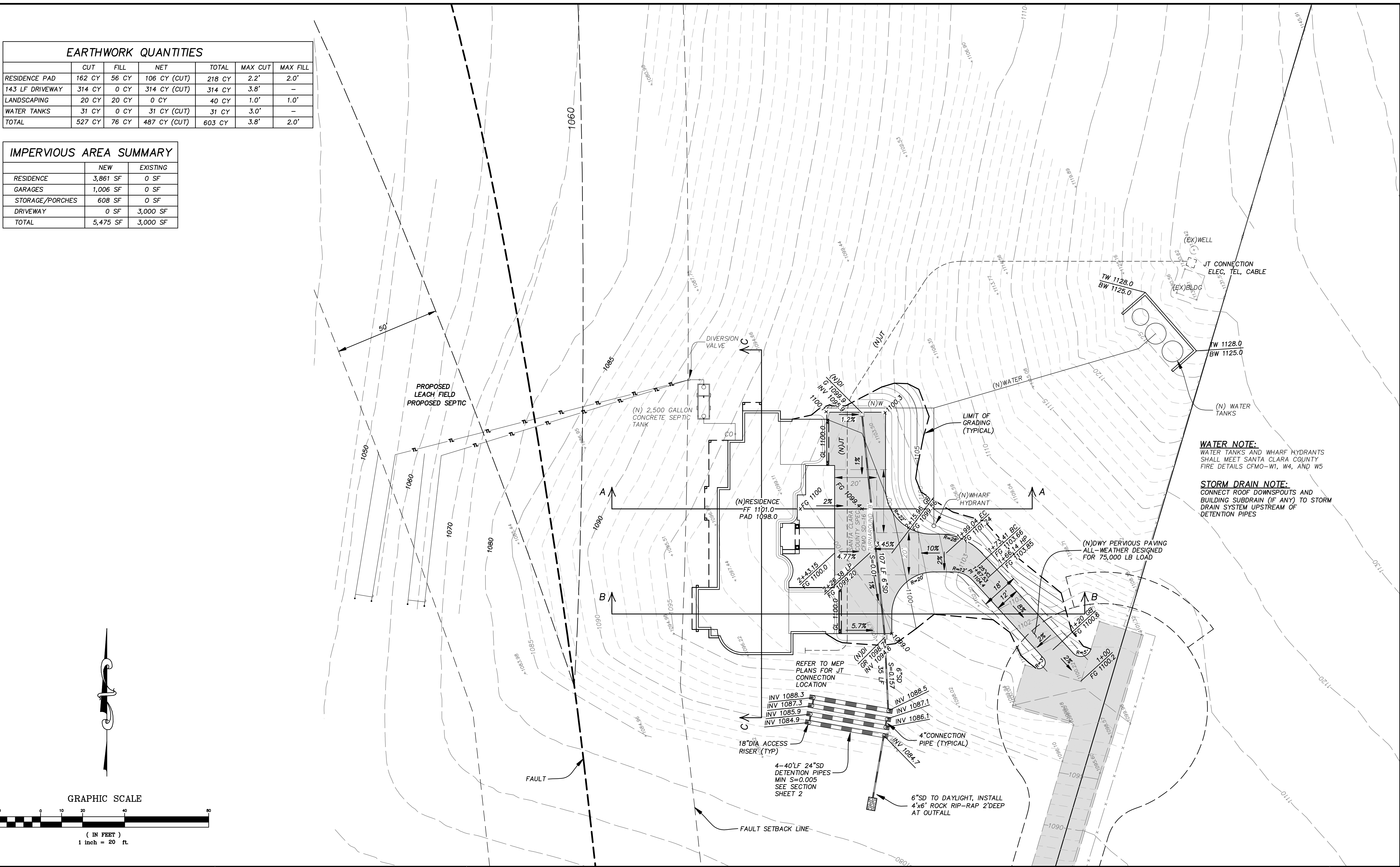
SUB	DATE	SUBMITTAL
1.	5/29/18	PLN 1
2.	12/5/18	PLN 2
3.	4/16/19	PLN 3
4.	8/20/19	PLN 4
5.	8/21/20	PLN 5
6.	12/10/20	PLN 6
7.	2/5/2021	PLN 7
8.		
9.		
10.		

CONTRACT DATE 9/16/2017  
ISSUE DATE 2/11/2021  
SCALE 1" = 30'  
DRAWN AM/JPS  
JOB 2017-624  
SHEET

A1.1

EARTHWORK QUANTITIES						
	CUT	FILL	NET	TOTAL	MAX CUT	MAX FILL
RESIDENCE PAD	162 CY	56 CY	106 CY (CUT)	218 CY	2.2'	2.0'
143 LF DRIVEWAY	314 CY	0 CY	314 CY (CUT)	314 CY	3.8'	-
LANDSCAPING	20 CY	20 CY	0 CY	40 CY	1.0'	1.0'
WATER TANKS	31 CY	0 CY	31 CY (CUT)	31 CY	3.0'	-
TOTAL	527 CY	76 CY	487 CY (CUT)	603 CY	3.8'	2.0'

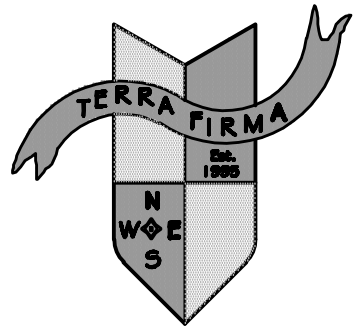
IMPERVIOUS AREA SUMMARY		
	NEW	EXISTING
RESIDENCE	3,861 SF	0 SF
GARAGES	1,006 SF	0 SF
STORAGE/PORCHES	608 SF	0 SF
DRIVEWAY	0 SF	3,000 SF
TOTAL	5,475 SF	3,000 SF



C:\TF Projects\1882\dwg\1882-GP-13-option2.dwg, GP, 2/6/2021 8:23:16 PM

DATE: 02/01/2021		No.	DATE	APVD.	REVISION
SCALE: AS SHOWN					
DESIGNED BY: BM					
DRAWN BY: RF					
CHECKED BY: RC					

**TERRA FIRMA**  
ENGINEERING-SURVEYING-LAND PLANNING  
GOLF COURSE DESIGN  
3710 LONE TREE WAY #113, ANTIOCH, CA. 94509  
PH: 925-437-3700



SAN JOSE

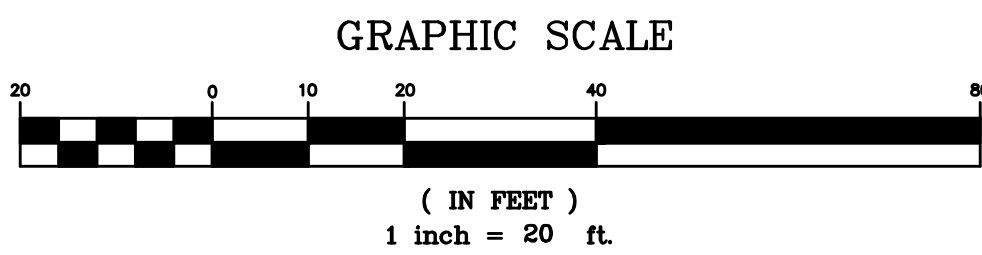
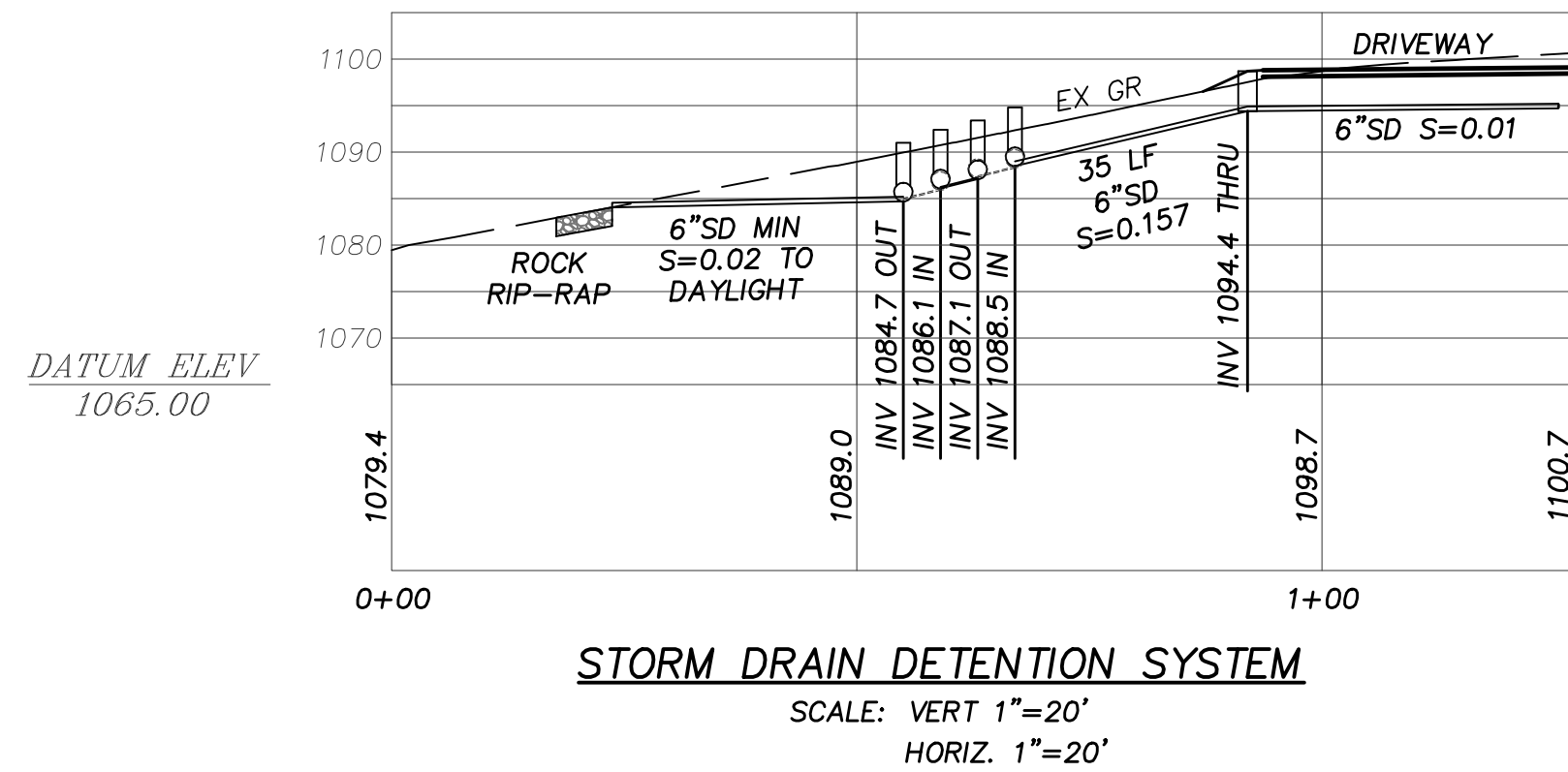
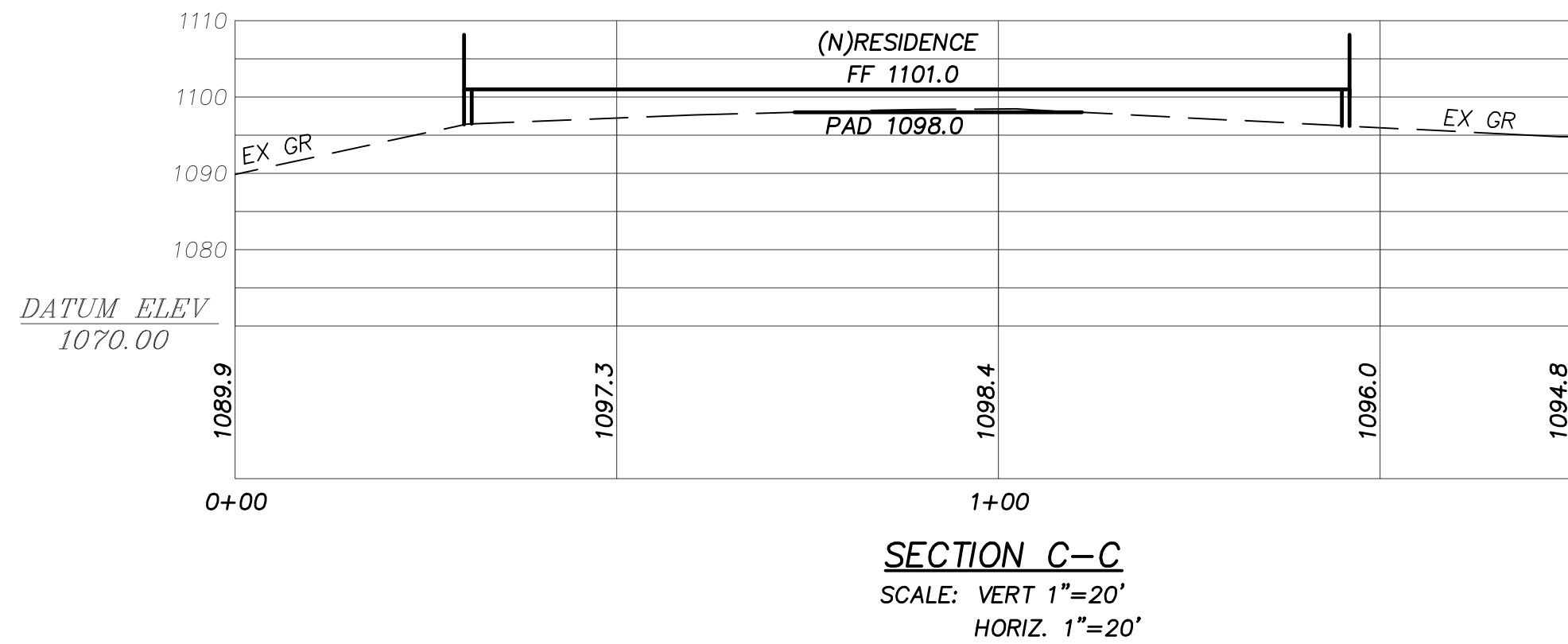
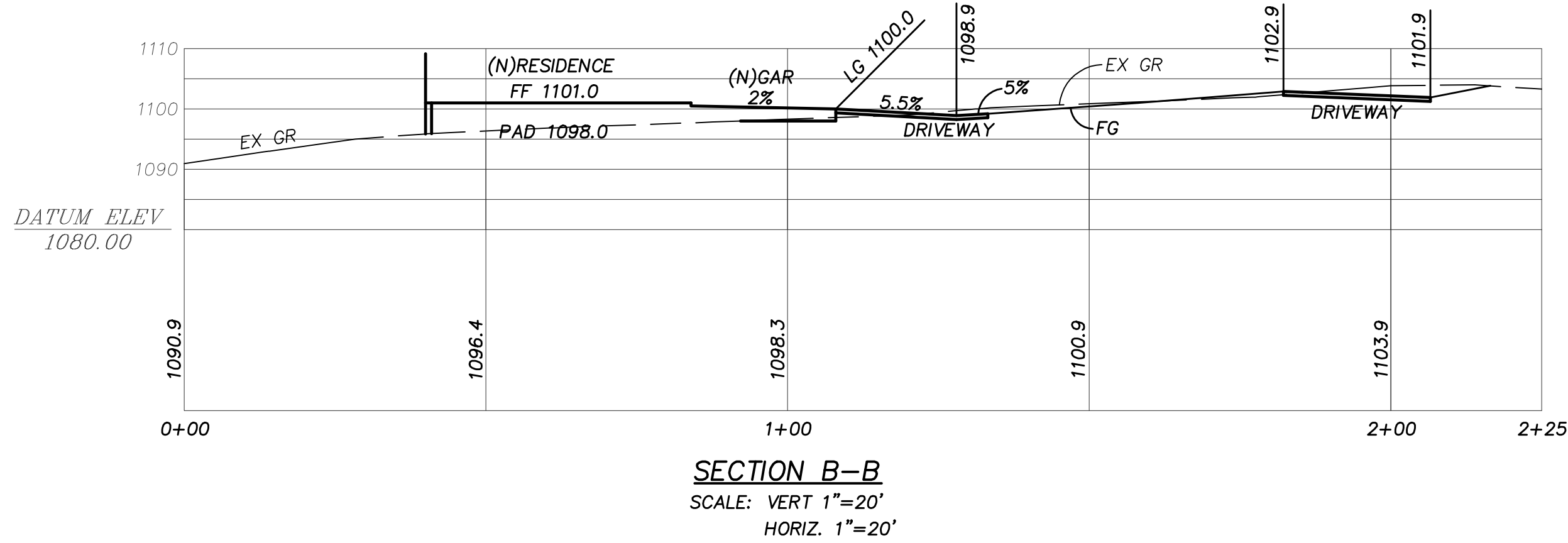
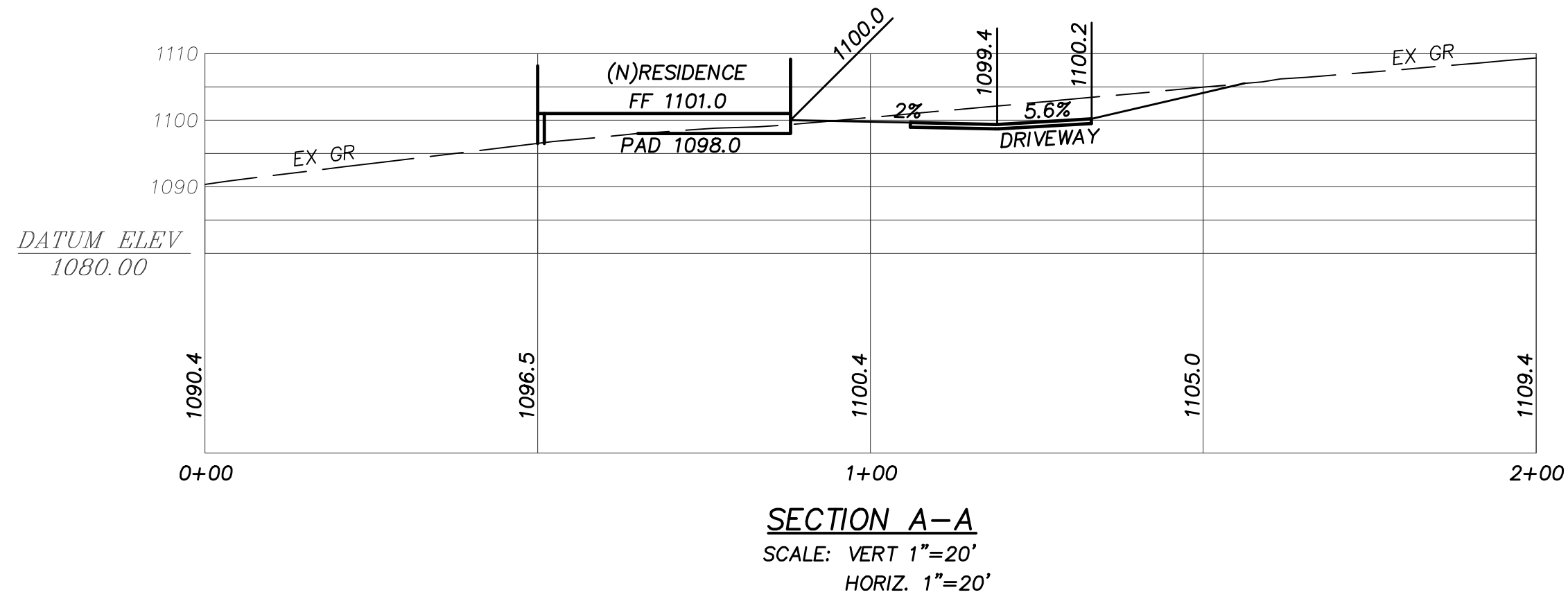
**GRADING PLAN**  
**4001 HIGUERA HIGHLAND**  
SANTA CLARA COUNTY

CALIFORNIA

SHEET  
1  
OF 2 SHEETS  
PROJECT NO.  
1882

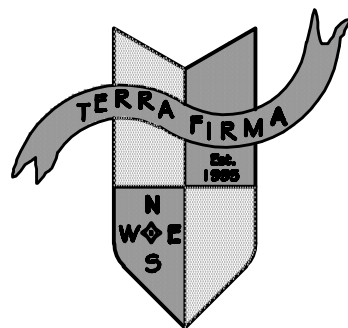


C:\TF Projects\1882.dwg\1882-GP-13-option2.dwg, SECTIONS, 2/5/2021 12:26:06 AM



DATE: 02/04/2021		No. DATE APVD. REVISION		
SCALE: AS SHOWN				
DESIGNED BY: BM				
DRAWN BY: RF				
CHECKED BY: RC				

**TERRA FIRMA**  
ENGINEERING-SURVEYING-LAND PLANNING  
GOLF COURSE DESIGN  
3710 LONE TREE WAY #113, ANTIOCH, CA. 94509  
PH: 925-437-3700



SAN JOSE

**GRADING SECTIONS**  
**4001 HIGUERA HIGHLAND**  
SANTA CLARA COUNTY

CALIFORNIA

SHEET  
2  
OF 2 SHEETS  
PROJECT NO.  
1882  
FILE NO.



The BomBay  
Living Trust

4001 HIGUERA HIGHLAND :  
SAN JOSE  
CALIFORNIA

FIRST FLOOR  
PLAN

PRELIMINARY  
NOT FOR CONSTRUCTION  
NOT FOR BID  
APN 654-16-002  
TRACT # XXX  
LOT # X  
PLN # 11296-18PA  
BLDG # XXXX-XXXX

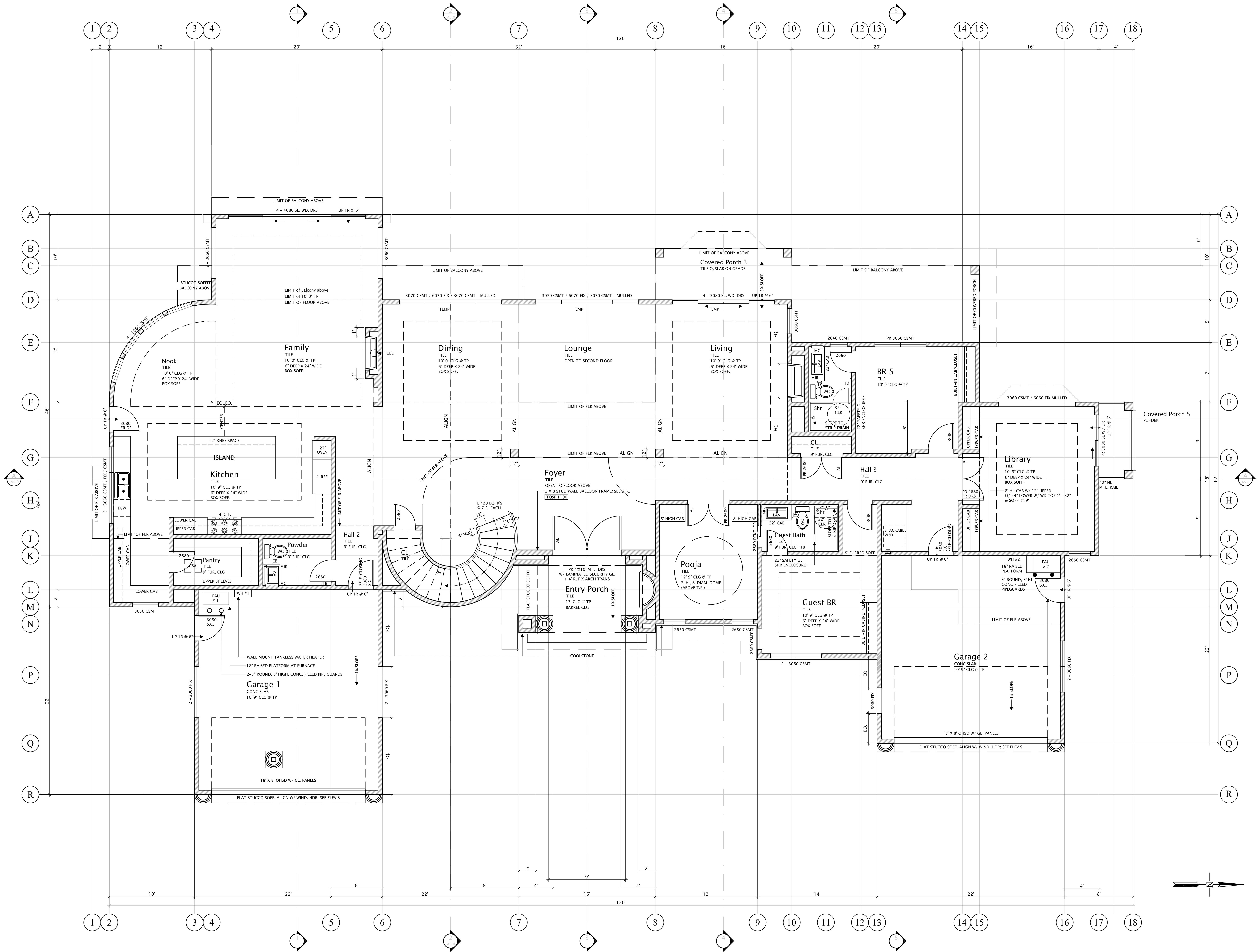
SUB	DATE	SUBMITTAL
1.	5/29/18	PLN 1
2.	12/5/18	PLN 2
3.	4/16/19	PLN 3
4.	8/20/19	PLN 4
5.	8/21/20	PLN 5
6.	12/10/20	PLN 6
7.		
8.		
9.		
10.		

CONTRACT DATE	9/16/2017
ISSUE DATE	12/10/2020
SCALE	1/4" = 1'
DRAWN	AM/JPS
JOB	2017-624

SHEET

A2.1

OF SHEETS



The BomBay  
Living Trust

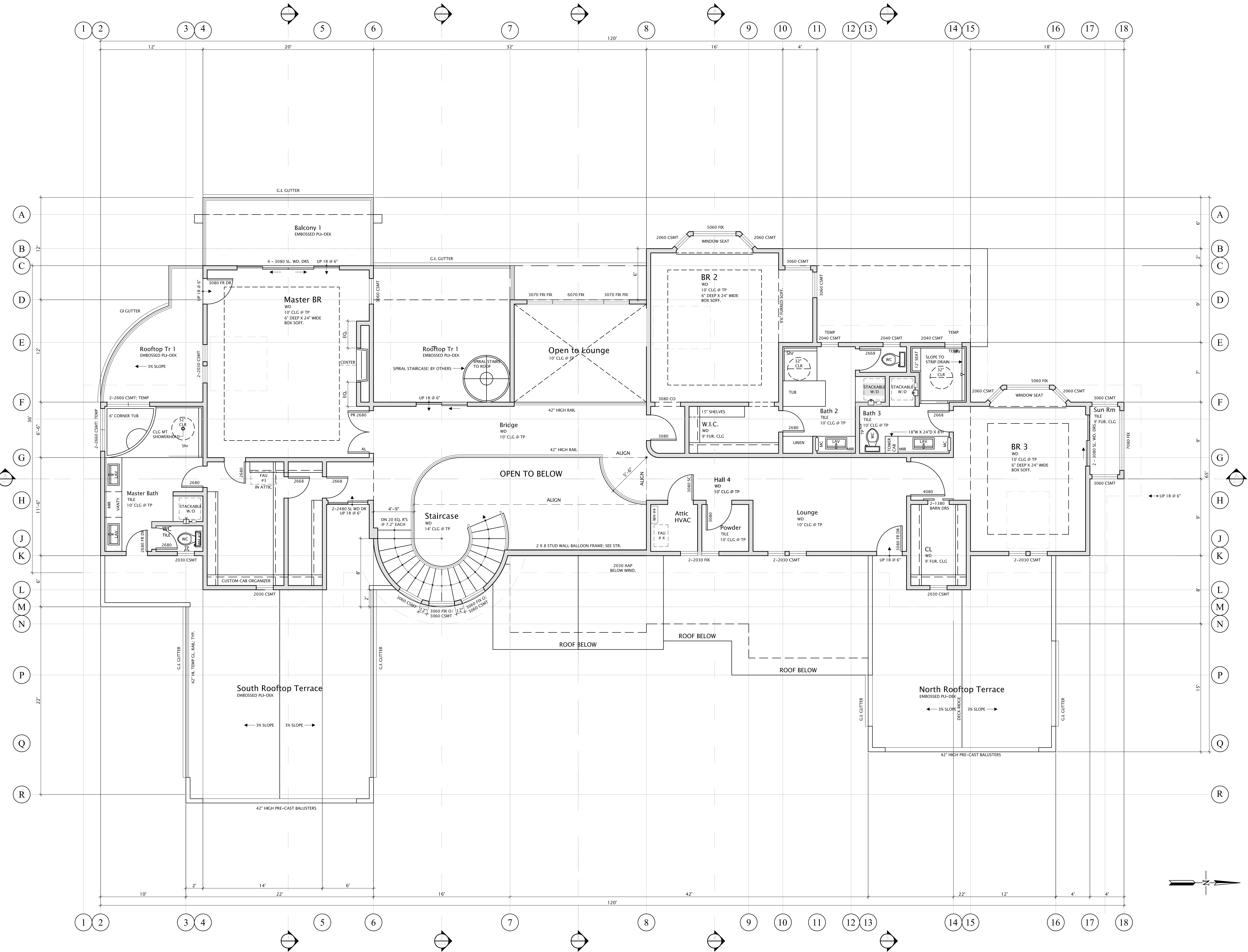
4001 HIGUERA HIGHLAND :  
SAN JOSE  
CALIFORNIA

SECOND FLOOR  
PLAN

PRELIMINARY  
NOT FOR CONSTRUCTION  
NOT FOR BID  
APN 654-16-002  
TRACT # XXX  
LOT # X  
PLN # 11296-18PA  
BLDG # XXXX-XXXX

SUB	DATE	SUBMITTAL
1.	5/29/18	PLN 1
2.	12/5/18	PLN 2
3.	4/16/19	PLN 3
4.	8/20/19	PLN 4
5.	8/21/20	PLN 5
6.	12/10/20	PLN 6
7.		
8.		
9.		
10.		

CONTRACT DATE	9/16/2017
ISSUE DATE	12/10/2020
SCALE	1/4" = 1'
DRAWN	AM/JPS
JOB	2017-624

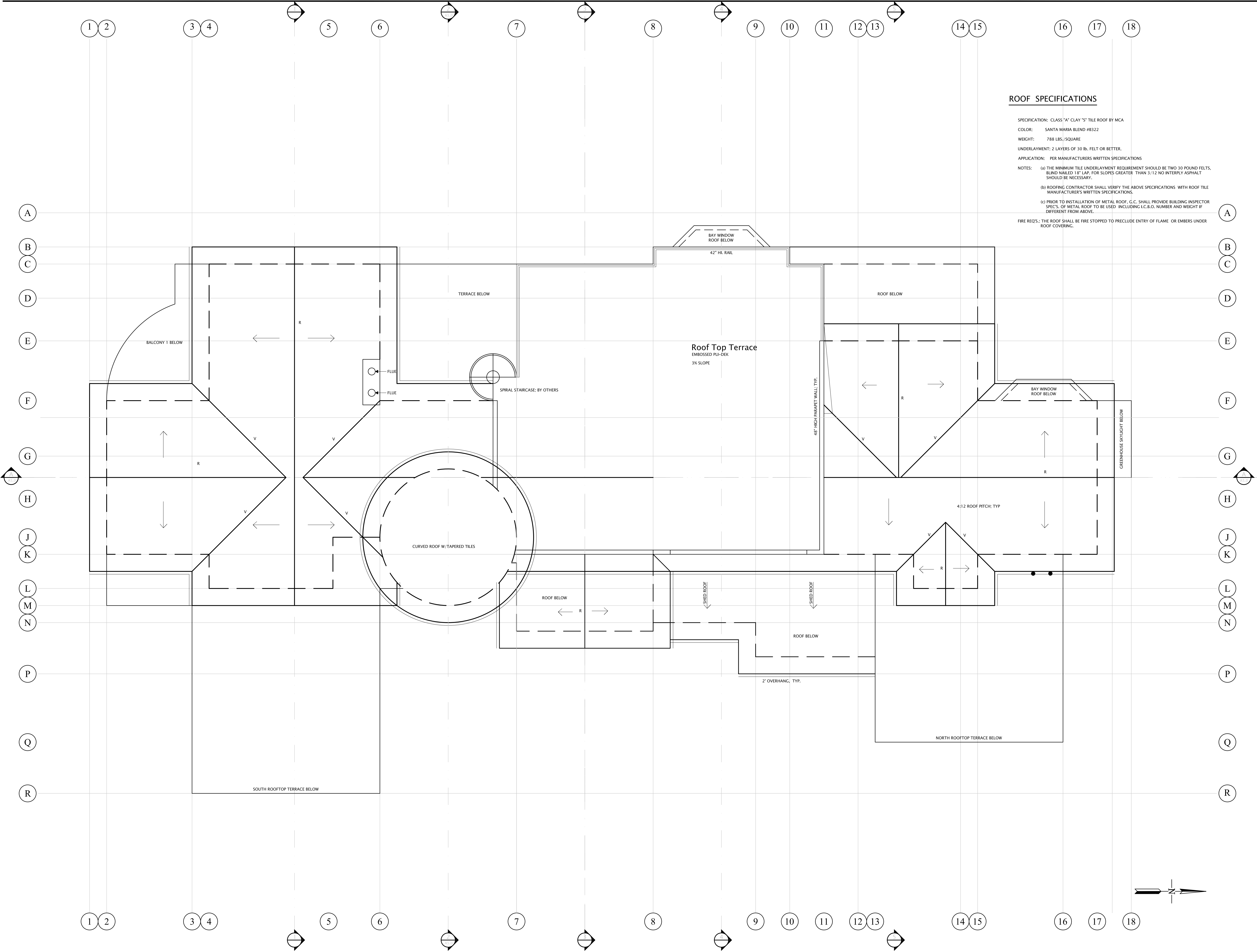




ROOF SPECIFICATIONS

SPECIFICATION: CLASS "A" CLAY "S" TILE ROOF BY MCA  
COLOR: SANTA MARIA BLEND #B322  
WEIGHT: 788 LBS./SQUARE  
UNDERLAYMENT: 2 LAYERS OF 30 LB. FELT OR BETTER.  
APPLICATION: PER MANUFACTURERS WRITTEN SPECIFICATIONS

NOTES:  
(a) THE MINIMUM TILE UNDERLAYMENT REQUIREMENT SHOULD BE TWO 30 POUND FELTS, BLIND NAILED 18" LAP, FOR SLOPES GREATER THAN 3/12 NO INTERPLY ASPHALT SHOULD BE NECESSARY.  
(b) ROOFING CONTRACTOR SHALL VERIFY THE ABOVE SPECIFICATIONS WITH ROOF TILE MANUFACTURER'S WRITTEN SPECIFICATIONS.  
(c) PRIOR TO INSTALLATION OF METAL ROOF, G.C. SHALL PROVIDE BUILDING INSPECTOR SPECS. OF METAL ROOF TO BE USED INCLUDING I.C.B.O. NUMBER AND WEIGHT IF DIFFERENT FROM ABOVE.  
FIRE REQ'S.: THE ROOF SHALL BE FIRE STOPPED TO PRECLUDE ENTRY OF FLAME OR EMBERS UNDER ROOF COVERING.



The BomBay  
Living Trust

4001 HIGUERA HIGHLAND :  
SAN JOSE  
CALIFORNIA

ROOF PLAN

PRELIMINARY  
NOT FOR CONSTRUCTION  
NOT FOR BID  
APN 654-16-002  
TRACT # XXX  
LOT # X  
PLN # 11296-18PA  
BLDG # XXXX-XXXXX

SUB	DATE	SUBMITTAL
1.	5/29/18	PLN 1
2.	12/5/18	PLN 2
3.	4/16/19	PLN 3
4.	8/20/19	PLN 4
5.	8/21/20	PLN 5
6.	12/10/20	PLN 6
7.		
8.		
9.		
10.		

CONTRACT DATE	9/16/2017
ISSUE DATE	12/10/2020
SCALE	1/4" = 1'
DRAWN	AM/JPS
JOB	2017-624

SHEET

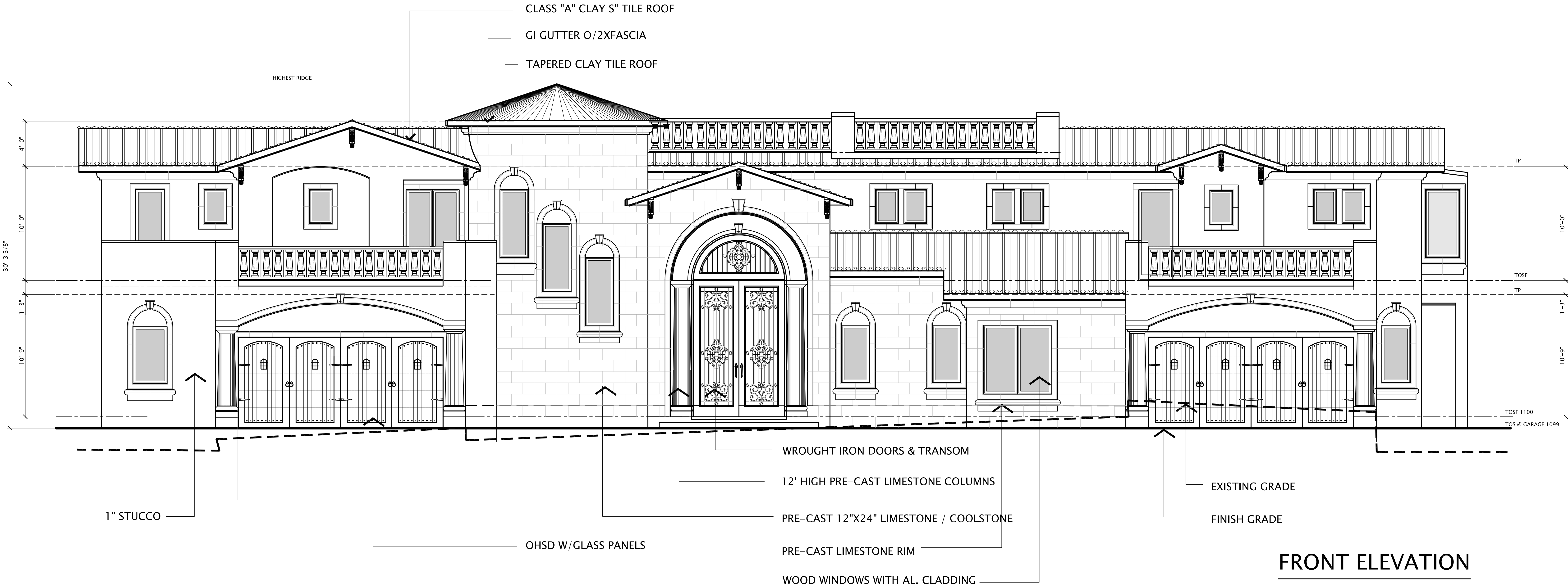
A3.0

OF SHEETS

PRELIMINARY NOT FOR CONSTRUCTION NOT FOR BID		
APN	654-16-002	XXX
TRACT #		XXX
LOT #		X
PLN #	11296-18PA	
BLDG #	XXXX-XXXXX	

SUB	DATE	SUBMITTAL
1.	5/29/18	PLN 1
2.	12/5/18	PLN 2
3.	4/16/19	PLN 3
4.	8/20/19	PLN 4
5.	8/21/20	PLN 5
6.	12/10/20	PLN 6
7.		
8.		
9.		
10.		

CONTRACT DATE	9/16/2017
ISSUE DATE	12/10/2020
SCALE	1/4" = 1'
DRAWN	AM/JPS
JOB	2017-624



FRONT ELEVATION

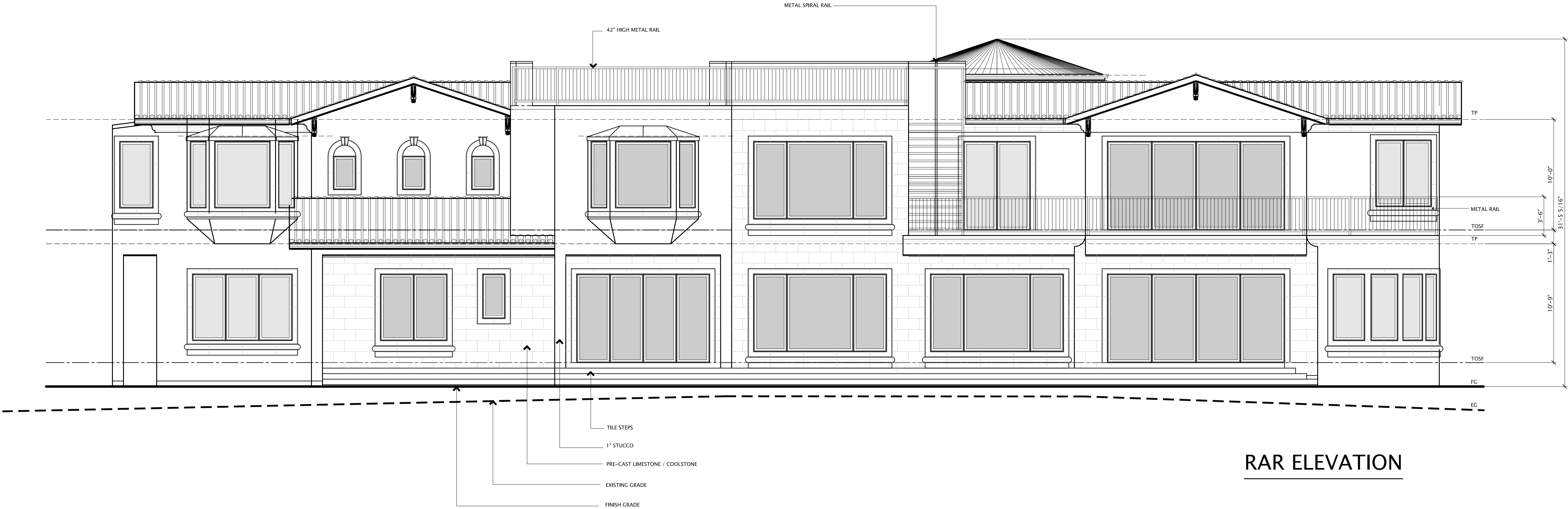
EXTERIOR FINISH SCHEDULE

1. ROOF MATERIAL: CLASS "A" CLAY "S" TILE ROOF BY "MCA" "OLD SANTA BARBARA BLEND" C.C. TO PROVIDE OWNER WITH SAMPLE FOR REVIEW AND APPROVAL. SEE ROOF PLAN FOR SPECS.
  2. ROOF PITCH: 4:12 UNO.
  3. FASCIA: 2X SMOOTH SPRUCE FASCIA; SEE EAVE DETAIL TYP. COLOR: "BROWN"; VERIFY W/ OWNER
  4. GUTTERS: 26 GAUGE G.S.M. GUTTERS: TYP. C.C. SHALL PROVIDE SAMPLE TO OWNER FOR APPROVAL. COLOR: TO MATCH FASCIA
  5. DOWNSPOUTS: 26 GAUGE G.S.M. DOWNSPOUTS: PRIME & PAINT TO MATCH ADJACENT COLOR
  6. FLASHING: 26 GAUGE FLASHING & COUNTER FLASH ALL PENETRATION @ ROOF 4" MIN. LAP. 6" MIN. SIDE LAP. PAINT TO MATCH ADJACENT COLOR. WHERE EXPOSED WITH - 1ST COAT #1722 KEL GUARD GALVANIZED IRON PRIMER; 2ND COAT #1240 ACRYL SHIELD ACRYLIC FLAT FINISH.
  7. CEMENT PLASTER: 3 COATS, 1" CEMENT PLASTER O/ PAPER BACKED WIRE MESH O/ BUILDING PAPER, (TOTAL 2 LAYERS "O" PAPER), O/ FULL PLWID. SHEATHING, SEE STRUCT. DWGS.; CEMENT PLASTER SHALL HAVE A SMOOTH FINISH. BUILDING BASE COLOR: SHERMAN WILLIAMS "EL CARAMELO" SW 91 06, LRV 18% VERIFY W/ OWNER
  8. TRIM: PRE-CAST LIMESTONE OR TRAVERTINE AT WINDOW SURROUND, BRACKETS & AT "COOLSTONE" SCORED WALLS; MIN. 1/2" PRE-CAST OVER FOAM, OR SOLID PRE-CAST AT WINDOW TRIM COLOR: SHERMAN WILLIAMS "SOFT FAWN" SW 9097; LRV 33% VERIFY W/ OWNER.
  9. SOFFITS: CEMENT PLASTER, MATCH BUILDING BASE COLOR.
  10. EAVES: SEE EAVE DETAIL XX, SHEET A7.1
  11. WINDOWS: JELD-WIN CLAD WOOD WINDOWS: SITELINE PREMIUM SERIES. Glass reflectance value shall be less than 45.
  12. DOORS: (A) FRONT DOOR: WROUGHT IRON WITH LAMINATED GLASS DOORS AS SELECTED BY OWNER. (B) FRENCH DOORS: SEE DOOR & WINDOW SPECS.; COLOR: TO MATCH WINDOWS. (C) GARAGE DOORS: O.H.S.D., FIBERGLASS WITH BROWN STAINED FINISH, SEE DOOR & WINDOW SPECS.; COLOR: MATCH WINDOWS. (D) GARAGE SIDE DOOR: SEE DOOR & WINDOW SPECS. COLOR: MATCH WALL BASE.
  13. SKYLIGHT: BY VELUX-AMERICA, INC., OR EQUAL; SEE ROOF PLAN FOR SPECS. COLOR: BRONZE
  14. EXTERIOR RAIL: FRONT TERRACE: PRE-CAST BALUSTERS ALL OTHER RAIL SHALL BE CUSTOM WROUGHT IRON RAIL AS SELECTED BY OWNER; RAIL CONTRACTOR SHALL PROVIDE OWNER W/ DESIGN SHOP DRAWINGS FOR REVIEW & APPROVAL PRIOR TO MANUFACTURING. VERTICAL STIFFENERS SHALL BE EQUALLY SPACED W/ 6" O.C. MAX; SEE EXTERIOR RAIL DETAIL XX SHEET A7.1 RAIL MEMBERS SHALL BE SPACED WHERE 4" DIAMETER SPHERE CANNOT PASS BETWEEN MEMBERS AT ANY POINT. COLOR: ANTIQUE FINISH.
- NOTE: PAINTING CONTRACTOR SHALL APPLY A SAMPLE OF THE COLORS AS SELECTED ON A 3'X3' WALL AREA, OR AS APPROPRIATE, FOR OWNER'S OR DESIGNER'S APPROVAL.



LEFT ELEVATION





The BomBay  
Living Trust

4001 HIGUERA HIGHLAND :

SAN JOSE

CALIFORNIA

ELEVATIONS

PRELIMINARY  
NOT FOR CONSTRUCTION  
NOT FOR BID  
APN 654-16-002  
TRACT # XXX  
LOT # X  
PLN # 11296-18PA  
BLDG # XXXX-XXXXX

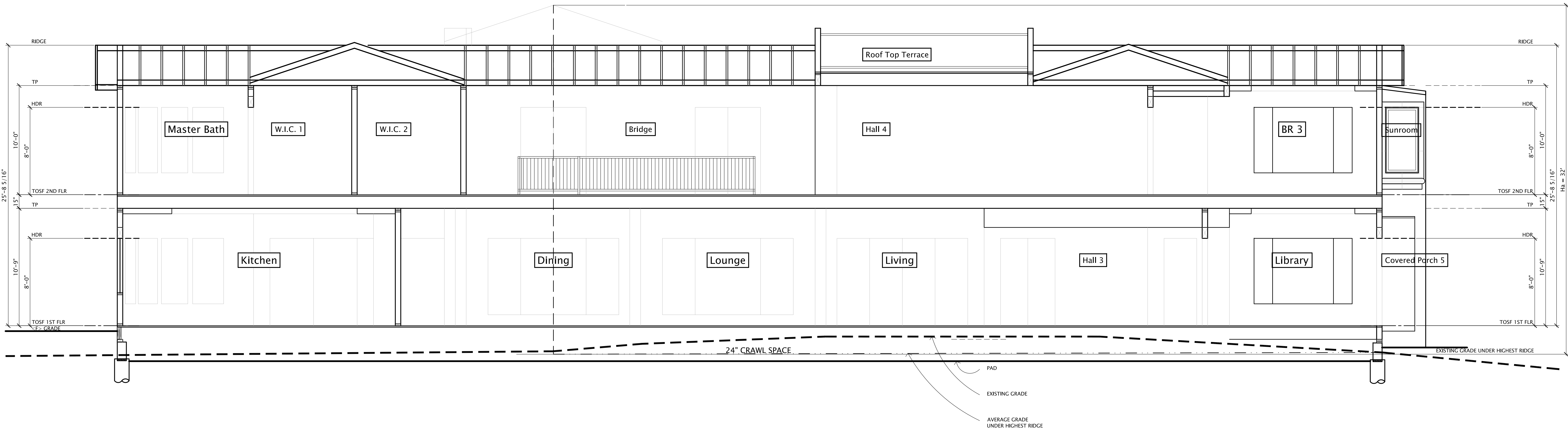
SUB	DATE	SUBMITTAL
1.	5/29/18	PLN 1
2.	12/5/18	PLN 2
3.	4/16/19	PLN 3
4.	8/20/19	PLN 4
5.	8/21/20	PLN 5
6.	12/10/20	PLN 6
7.		
8.		
9.		
10.		

CONTRACT DATE 9/16/2017  
ISSUE DATE 12/10/2020  
SCALE 1/4" = 1'  
DRAWN AM./JPS  
JOB 2017-624

SHEET

A4.2

OF SHEETS



SECTION A

The BomBay  
Living Trust

4001 HIGUERA HIGHLAND :

SAN JOSE

CALIFORNIA

SECTIONS

PRELIMINARY  
NOT FOR CONSTRUCTION  
NOT FOR BID  
APN 654-16-002  
TRACT # XXX  
LOT # X  
PLN # 11296-18PA  
BLDG # XXXX-XXXXX

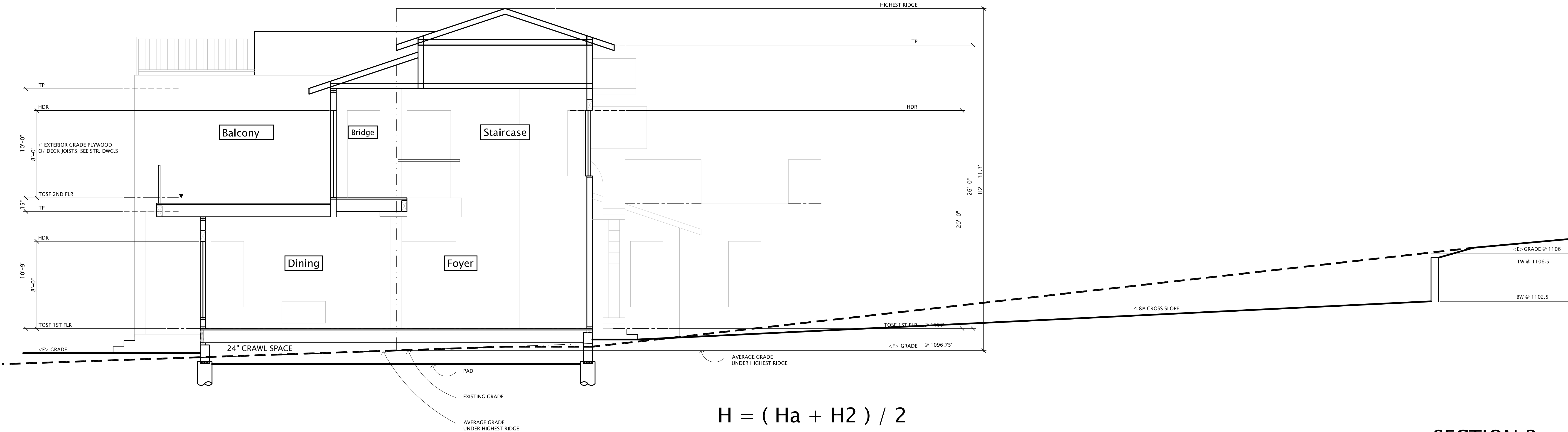
SUB	DATE	SUBMITTAL
1.	5/29/18	PLN 1
2.	12/5/18	PLN 2
3.	4/16/19	PLN 3
4.	8/20/19	PLN 4
5.	8/21/20	PLN 5
6.	12/10/20	PLN 6
7.		
8.		
9.		
10.		

CONTRACT DATE	9/16/2017
ISSUE DATE	12/10/2020
SCALE	1/8" = 1'
DRAWN	AM/JPS
JOB	2017-624

SHEET

A5.0

OF SHEETS

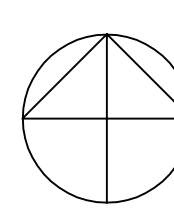


$$H = ( H_a + H_2 ) / 2$$

$$H = 32' + 31.3' = 31.65'$$

SECTION 2





OVERALL SITE PLAN  
1/64" = 1'-0"

W. Jeffrey Heid  
Landscape Architect  
C-2235

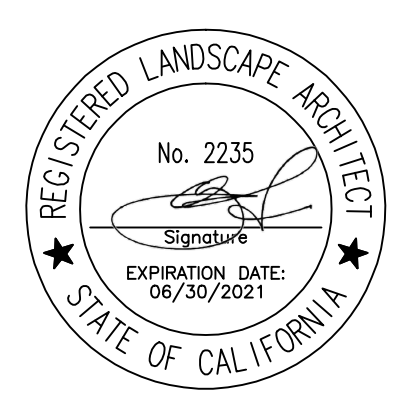
6179 Oneida Drive  
San Jose, California 95123

tel 408 691-5207  
email wjeheidsla@comcast.net

OWNERSHIP AND USE OF DRAWINGS

All drawings, specifications and copies thereof furnished by W. Jeffrey Heid Landscape Architect are and shall remain its property. They are to be used only with respect to this Project and are not to be used on any other project. Submission or distribution to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in derogation of W. Jeffrey Heid Landscape Architect, common law, copyright or other reserved rights.

REVISED 11/28/20  
REVISED 11/30/20  
REVISED 12/1/20  
REVISED 12/9/20



GANDHI RESIDENCE

for:  
HARSHA AND NARAJ GANDHI  
4001 HIGUERA HIGHLANDS  
SAN JOSE, CA. 95148

OVERALL SITE PLAN

date: 11/23/20  
scale: NOTED  
drawn by: WJH  
job no. 20256  
sheet

1  
of 1 sheets

W. Jeffrey Heid  
Landscape Architect  
C-2235

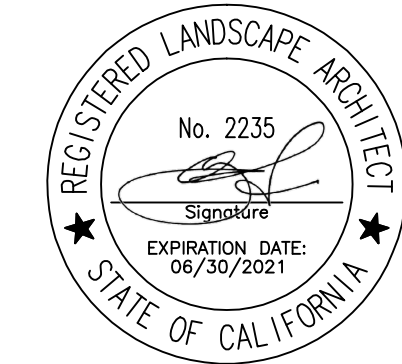
6179 Oneida Drive  
San Jose, California 95123

tel 408 691-5207  
email wjeidasla@comcast.net

OWNERSHIP AND USE OF DRAWINGS

All drawings, specifications and copies thereof furnished by W. Jeffrey Heid Landscape Architect are and shall remain its property. They are to be used only with respect to this Project and are not to be used on any other project. Submission or distribution to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in derogation of W. Jeffrey Heid Landscape Architect, common law, copyright or other reserved rights.

REVISED 11/28/20  
REVISED 11/30/20  
REVISED 12/1/20  
REVISED 12/9/20  
REVISED 2/8/21  
REVISED 2/17/21

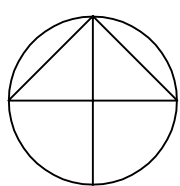


GANDHI RESIDENCE

for:  
HARSHA AND NARAJ GANDHI  
4001 HIGUERA HIGHLANDS  
SAN JOSE, CA. 95148

OVERALL SITE PLAN

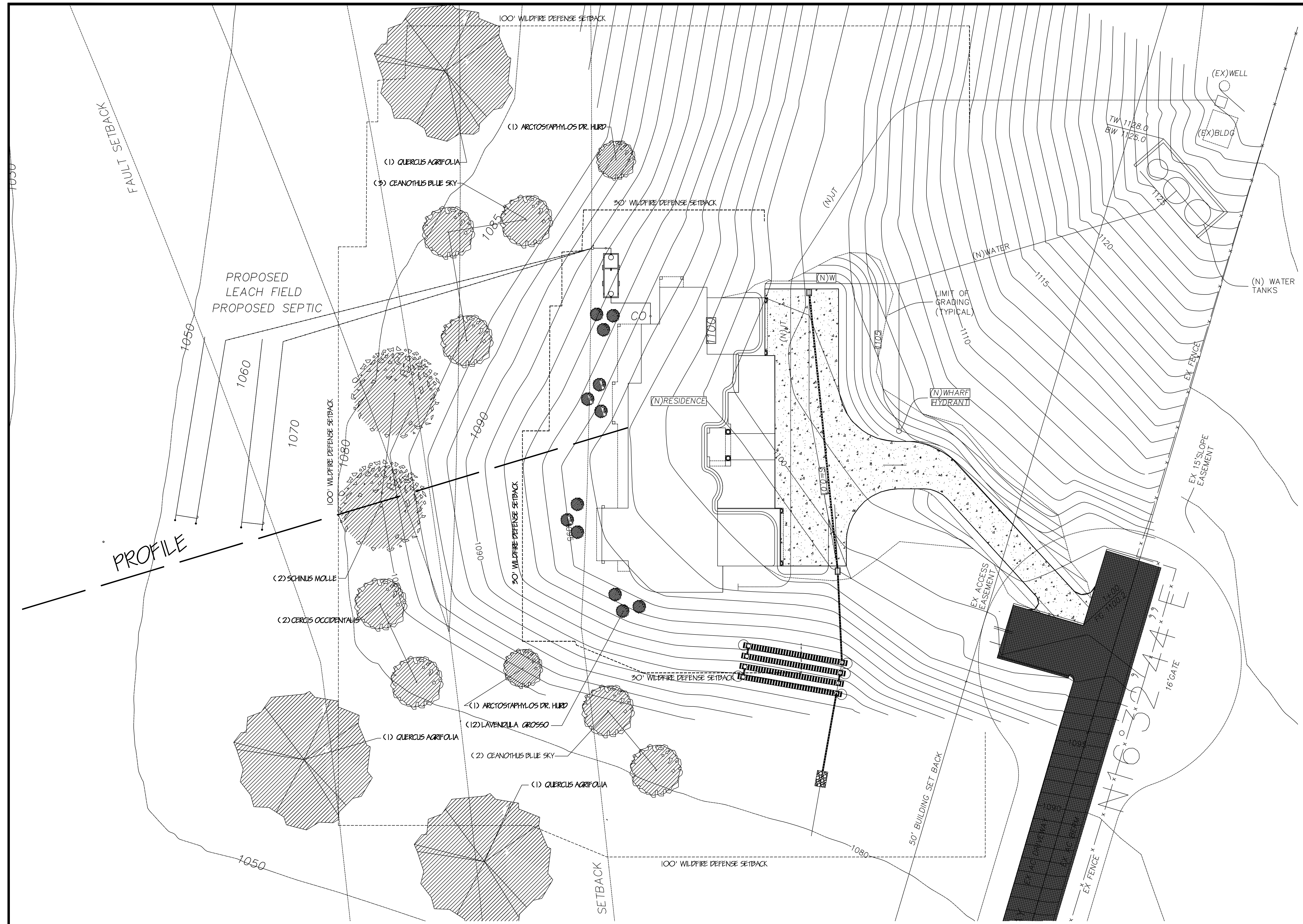
date: 11/23/20  
scale: NOTED  
drawn by: WJH  
job no. 20256  
sheet  
of 1  
shits



OVERALL SITE PLAN

1/64" = 1'-0"





W. Jeffrey Heid  
Landscape Architect  
C-2235

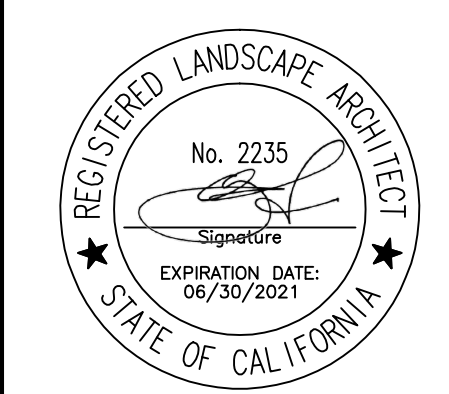
6179 Oneida Drive  
San Jose, California 95123

tel 408 691-5207  
email wjeheidsla@comcast.net

OWNERSHIP AND USE OF DRAWINGS

All drawings, specifications and copies thereof furnished by W. Jeffrey Heid Landscape Architect are and shall remain its property. They are to be used only with respect to this Project and are not to be used on any other project. Submission or distribution to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in derogation of W. Jeffrey Heid Landscape Architect, common law, copyright or other reserved rights.

REVISED 11/28/20  
REVISED 11/30/20  
REVISED 12/1/20  
REVISED 12/9/20  
REVISED 2/8/21  
REVISED 2/17/21



GANDHI RESIDENCE

for:  
HARSHA AND NARAJ GANDHI  
4001 HIGUERA HIGHLANDS  
SAN JOSE, CA. 95148

LANDSCAPE  
SCREENING PLAN

date: 11/23/20  
scale: NOTED  
drawn by: WJH  
job no. 20256  
sheet

L 2  
of 3 sheets





C



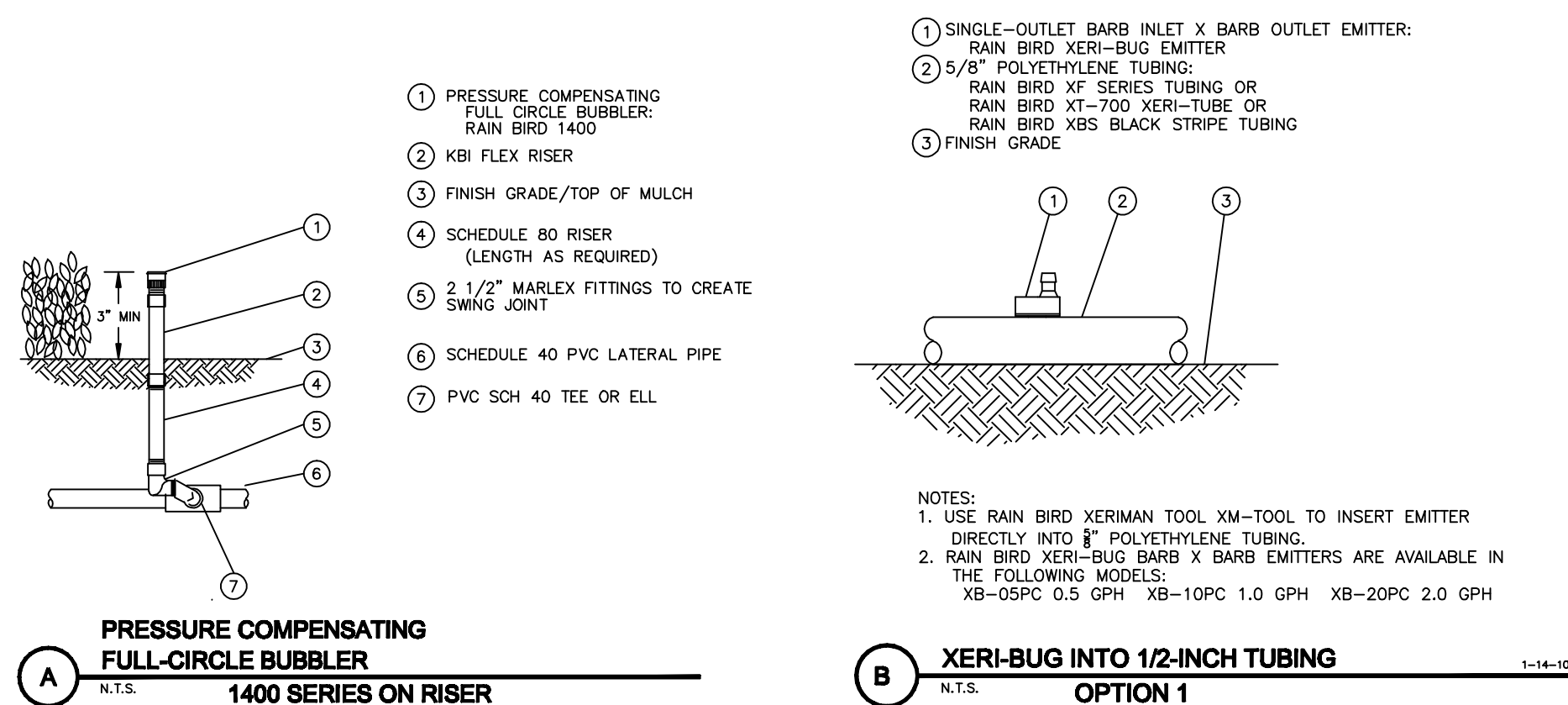
---

---

●

(1)

- 1) Verify water and electrical services for point of connection and controller placement.
- 2) Verify site water pressure of 50 psi at point of connection and 35 psi working pressure - notify architect prior to construction if found to be different.
- 3) Verify electrical source and placement of controller at garage.
- 4) Contractor shall provide all necessary safety precautions throughout construction. This shall include signage and barriers.
- 5) Verify operation of system before backfilling trenches. Drip line to be secured to grade with stakes at base of each plant and covered with final mulch, or buried 3" below grade and marked in field.
- 6) System layout is diagrammatic, actual field conditions will dictate final layout, addition of drip line, etc.
- 7) Verify control wire placement and access under any pavement and extension of additional wires.
- 8) Verify rain sensor placement in field.
- 9) Contractor shall be responsible for setting and monitoring irrigation system to apply adequate water for establishment, but to eliminate runoff and soil saturation.
- 10) Contractor to submit maintenance and irrigation schedule to Owner at completion of installation and maintenance/ warranty period.
- 11) Contractor shall verify location of all underground utilities, including leach field, prior to any trenching or excavation.
- 12) Verify and coordinate installation of sleeving and/ or mainline and control wire conduit access under all pavement.
- 13) Trees shall be irrigated on separate circuits and with two ½ gpm bubblers, one at the surface, the other in a perforated vertical tube set adjacent to the root ball.

[illegible]

- \* **Hydrozone # / Planting Description e.g.**
  - 1) Front lawn
  - 2) Low water use planting
  - 3) Medium water use planting
- \* **Irrigation Method**
  - 1) Overhead Spray
  - 2) Drip
- \* **Irrigation Efficiency**
  - 1) 0.75 for Overhead Spray
  - 2) 0.81 for Drip
- \* **ETWU (Annual Gallons Required) =**  

$$Eto \times 0.62 \times EAF \times Area$$

Where 0.62 is a conversion factor to change acre-inches per acre per year to gallons per square foot per year.
- \* **MWLA (Annual Gallons Allowed) =**  

$$Eto \times 0.62 \times (EAF \times LA) + ((0.2EAF) \times SLA)$$

Where 0.62 is a conversion factor to change acre-inches per acre per year to gallons per square foot per year. LA is the total regular landscape area in square feet, SLA is the total special landscape area in square feet, and EAF is 0.85 for residential areas and 0.45 for non-residential areas.

0.45	Non-Residential
0.55	Residential
0.81	Drip
0.75	Overhead

*Quercus agrifolia*/ Coast Live Oak: (3) at 36" box size  
Evergreen  
Mature height x width: 40'-60' x 40'x50'  
Growth rate: 24" per year  
Drought tolerant, fire resistant, deer resistant  
Wildcats: :2

Schinus molle/ California Pepper: (2) at 36" box size  
Evergreen  
Mature height x width: 30'-50' x 25'-40'  
Growth rate: 36" per year  
Drought tolerant, fire resistant, deer resistant  
Woods: 2

Cercis occidentalis/ Western Redbud std: (2) at 36" box size  
Deciduous/ semi deciduous  
Mature height x width: 15'-20' x 15'x20'  
Growth rate: 36" per year  
Drought tolerant, fire resistant, deer resistance  
Woods: 2

Ceanothus Blue Sky/ California Lilac: (5) at 36" box size  
Evergreen  
Mature height x width: 15'-20' x 10'x15'  
Growth rate: 24"-36" per year  
Drought tolerant, fire resistant, deer may forage new growth  
Wildcals: .2

Artostaphylos Dr. Hurd/ Manzanita: (2) at 36" box size  
Evergreen  
Mature height x width: 12'-15' x 10'-12'  
Growth rate: 24" per year  
Drought tolerant, fire resistant, deer resistant  
Wicoids: 2

Lavandula grosso/ Lavendar: (12) at 5 gallon size  
Evergreen  
Mature height x width: 4' x 4'  
Growth rate: 12" per year  
Drought tolerant, fire resistant, deer resist  
Woods: 3

- 1) Soil backfill mix shall be amended with blend of compost and native compost.
- 2) Planting hole shall be dug twice the size of the root ball in width, but only as deep as the root ball.
- 3) All trees to be double staked.
- 4) A radius of 10' from the base of each tree shall have 3" of wood chip mulch placed (Prochip earthtone, or equal).
- 5) New landscape screening shall be a minimum of 10' from septic system
- 6) Adequate spacing between new screening shall be provided to meet with wildland fire guidelines.

1) Water budget calculations are based on the anticipated size of the mature canopy of the proposed landscape screening. However, it is also anticipated that as the proposed plant species require little to no water once established, this water budget will never be required.

The proposed hydrozone #1 encompasses all the proposed screening with a WUCOLS rating of .2 or low to very low. The total size of the mature hydrozone is estimated at 9350 sf.

W. Jeffrey Held  
Landscape Architect  
C-2235

6179 Oneida Drive  
San Jose, California 95123

tel 408 691-5207  
email [wjheldasla@comcast.net](mailto:wjheldasla@comcast.net)

## OWNERSHIP AND USE OF DRAWINGS

All drawings, specifications and copies thereof furnished by W. Jeffrey Heid Landscape Architect are and shall remain its property. They are to be used only with respect to this Project and are not to be used on any other project. Submission or distribution to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in derogation of W. Jeffrey Heid Landscape Architect, common law, copyright or other reserved rights.

REVISED 11/28/20  
REVISED 11/30/20  
REVISED 12/1/20  
REVISED 12/9/20  
REVISED 2/8/21  
REVISED 2/17/21



## GANDHI RESIDENCE

for:

HARSHA AND NARAJ GANDHI  
4001 HIGUERA HIGHLANDS  
SAN JOSE, CA. 95148

## LEGEND

date: 11/23/20

scale: NOTED

drawn by: WJH

job no. 20256

sheet

L 3

of shits

W. Jeffrey Heid  
Landscape Architect  
C-2235

6179 Oneida Drive  
San Jose, California 95123

tel 408 691-5207  
email wjeheidsla@comcast.net

OWNERSHIP AND USE OF DRAWINGS

All drawings, specifications and copies thereof furnished by W. Jeffrey Heid Landscape Architect are and shall remain its property. They are to be used only with respect to this Project and are not to be used on any other project. Submission or distribution to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in derogation of W. Jeffrey Heid Landscape Architect, common law, copyright or other reserved rights.

REVISED 11/ 28/ 20  
REVISED 11/ 30/ 20  
REVISED 12/ 1/ 20  
REVISED 12/ 9/ 20  
REVISED 2/ 8/ 21  
REVISED 2/ 17/ 21



GANDHI RESIDENCE

for:

HARSHA AND NARAJ GANDHI  
4001 HIGUERA HIGHLANDS  
SAN JOSE, CA. 95148

LANDSCAPE  
SCREENING  
PROFILE

date: 11/ 23/ 20

scale: NOTED

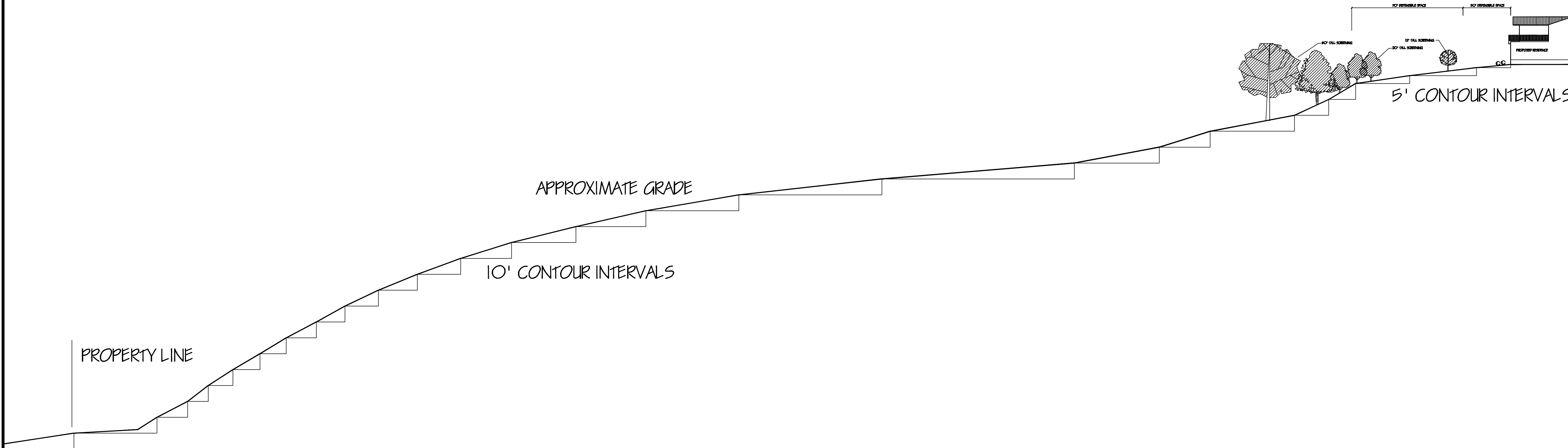
drawn by: WJH

job no. 20256

sheet

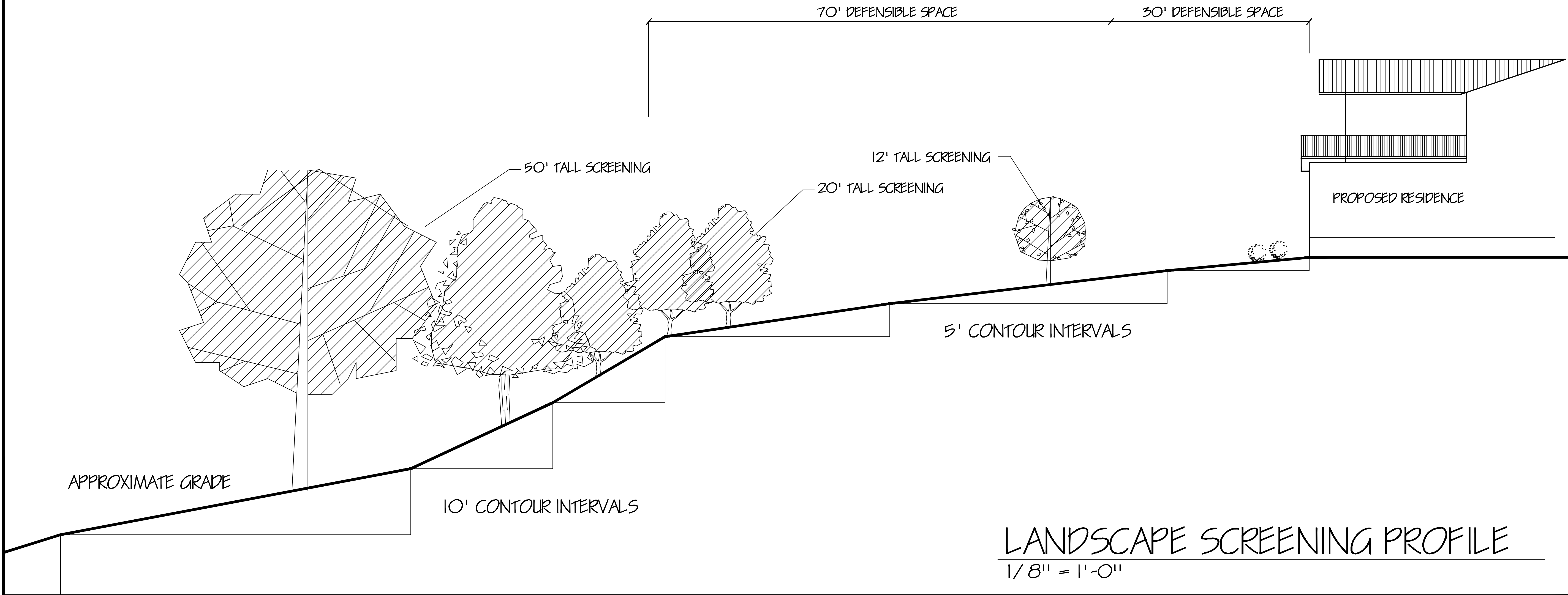
L 4

of shits



LANDSCAPE SCREENING PROFILE

1/ 32" = 1'-0"



LANDSCAPE SCREENING PROFILE

1/ 8" = 1'-0"



tel 408 691-5207  
email [wjhelasia@comcast.net](mailto:wjhelasia@comcast.net)

## OWNERSHIP AND USE OF DRAWINGS

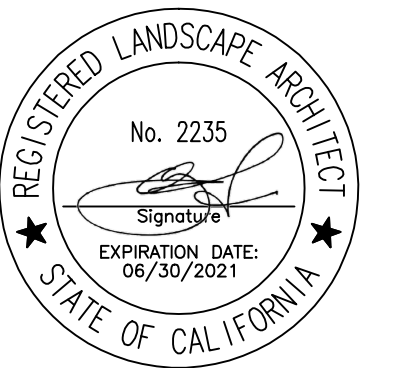
drawings, specifications and copies thereof furnished by W. Jeffrey Heid Landscape Architect are and shall remain its property. They are to be used only with respect to this project and are not to be used on any other project. No reproduction, submission or distribution to meet official regulatory requirements or for other purposes in connection with this Project is not to be construed as publication in violation of W. Jeffrey Heid Landscape Architect, Inc. common law, copyright or other reserved rights.

REVISÉD 11/30/20

REVISED 12/1/20

REVISED 12/9/20

REVISED 2/8/21



## GANDHI RESIDENCE

for:

HARSHA AND NARAJ GANDHI  
4001 HIGUERA HIGHLANDS  
SAN JOSE, CA. 95148

HYDROZONE PLAN

date: 11/28/20

scale: NOTED

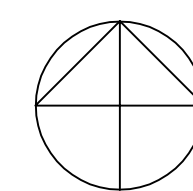
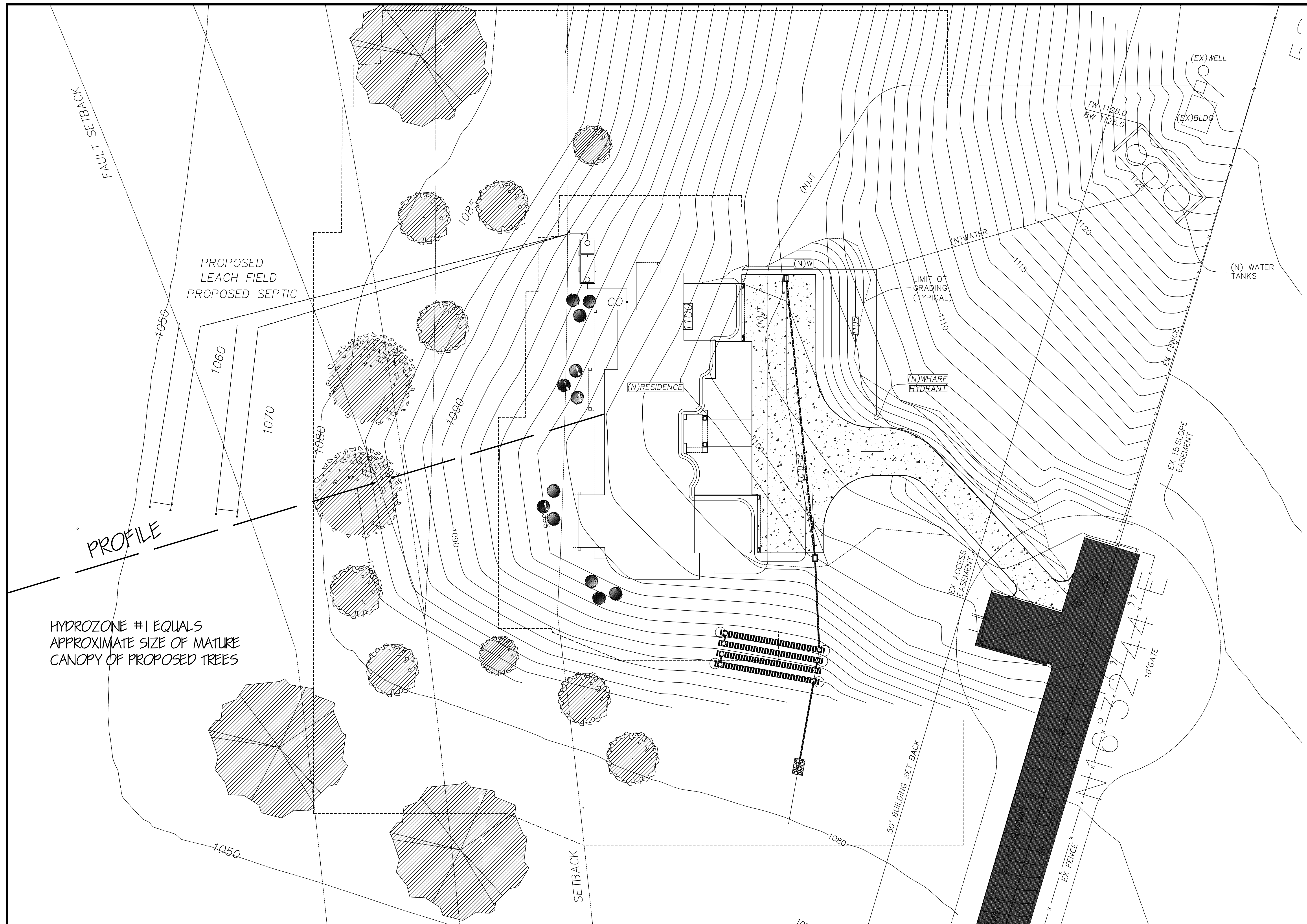
drawn by: WJH

job no. 20256

sheet

L 5

of shits



HYDROZONE PLAN

$$\overline{1/16'' = 1'-0''}$$



tel 408 691-5207  
email wjheidlasla@comcast.net

OWNERSHIP AND USE OF DRAWINGS

All drawings, specifications and copies thereof furnished by or for W. Jeffrey Heid Landscape Architecture are and shall remain its property. They are to be used only with respect to this project and are not to be used on any other project. No reproduction or distribution to meet official regulatory requirements or for other purposes in connection with this Project is not to be construed as publication in violation of W. Jeffrey Heid Landscape Architecture's policy, common law, copyright or other reserved rights.

REVISED 12/1/20  
REVISED 12/9/20  
REVISED 2/8/21  
REVISED 2/17/21



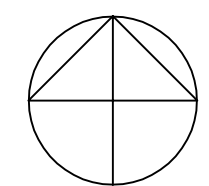
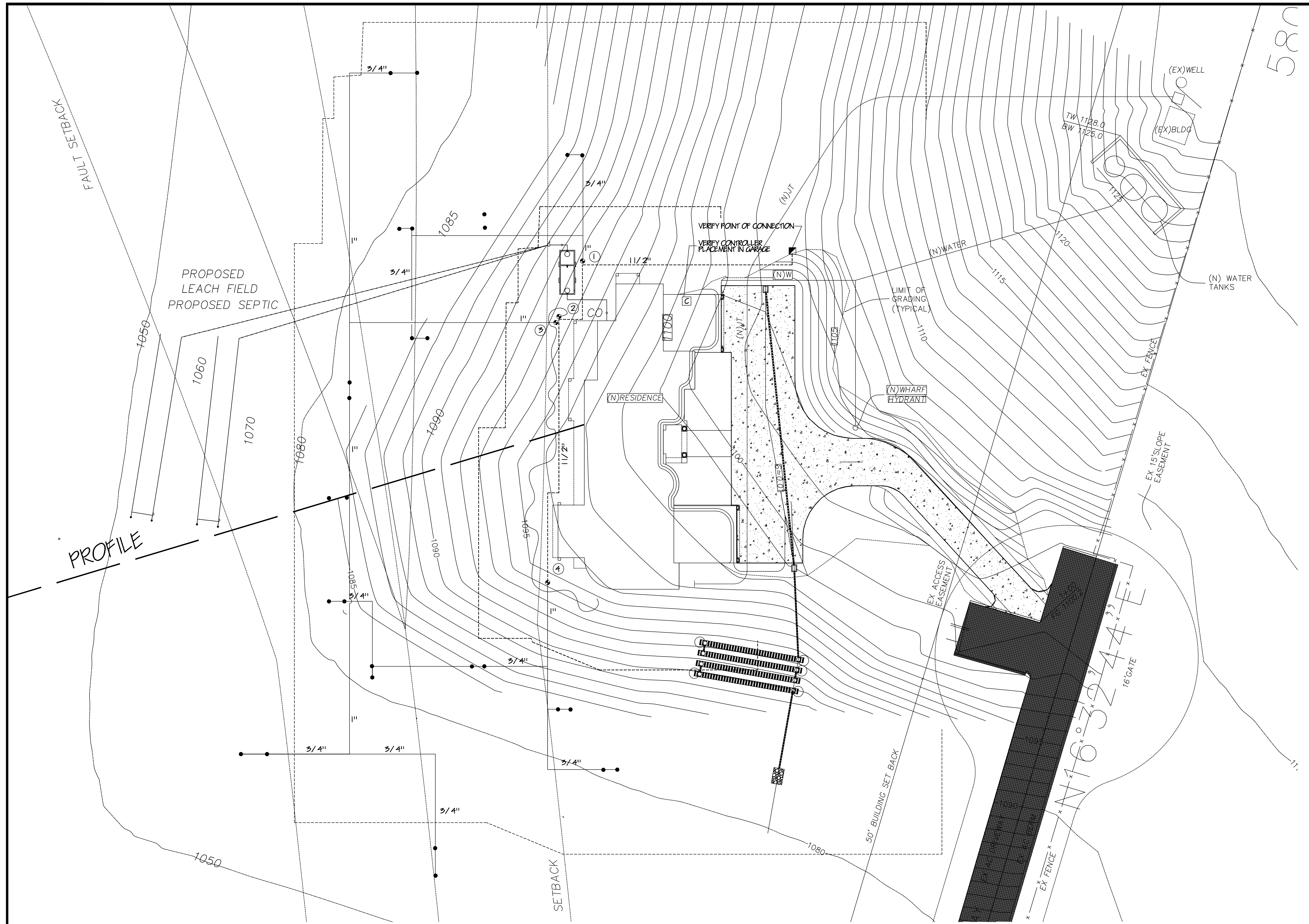
## GANDHI RESIDENCE

for:  
HARSHA AND NARAJ GANDHI  
4001 HIGUERA HIGHLANDS  
SAN JOSE, CA. 95148

## IRRIGATION PLAN

date: 11/30/20  
scale: NOTED  
drawn by: W.J.H.  
job no. 20256  
sheet

L 6  
of shrs



# IRRIGATION PLAN