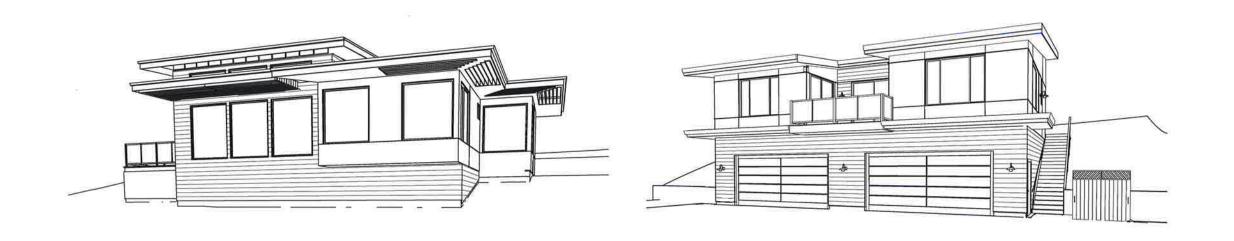


NEW HOME FOR:

KEVIN AITKEN & JUDY HART

65 PEDRO VIEW ROAD, SAN JOSE, CA. 95140 612 - 67 - 003 (MOUNT HAMILTON ROAD)



PLANNING 5-16-17 PLANNING 5-31-18	S BY	4
MAN J.A.	408/995-0496 A@Gmuil.com	
RICHARD A, HARTMAN	408/995-0496 HometecArrh@Cmail.com	
HOMETEC RCHITECTURE, INC.	9 NORTH FIRST STREET, SAN JOSE, CA 95112	

KEVIN AITKEN & JUDY HART 612 - 67 - 003 (MOUNT HAMILTON ROAD)

Date 2-14-17

Scale 1/4" = 1'-0

Drawn RAH

Job 16-021

Sheet

T-1

Kielty Arborist Services LLC Certified Arborist WE#B476A P.O. Box 6187 San Mateo, CA 94403 650-515-9783

April 27, 2017

Ms. Judy Hart 65 Pedro View Road San Jose, CA 95140

Site: 65 Pedro View, San Jose, CA

Dear Ms. Hart.

As requested on Tuesday, April 25, 2017, I visited the above site to inspect and comment on the trees at the above site. A new home is planned for this site and your concern as to the future health and safety of the trees has prompted this visit.

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on a map provided by you. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and viaulity. The trees' condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1 - 29 Very Poor 30 - 49 Poor 50 - 69 Fair 70 - 89 Good 90 - 100 Excellent

The height of each tree was measured using a Nikon Forestry 550 Hypsometer. The spreads

were p	paced off. Commen	is and reco	nmeno	lations í	or future maintenance are provided. Survey:
Tree#	Species Dendar cedar (Cedrus dendara)	DRH 10.2	CON 40		Comments Fair vigor, poor form, leans southwest at near a 45 degree angle. Topped in past, decay at base.
2	Italian cypress (Cupressus semper	24est rvirens)	45	35/20	Good vigor, poor form, leans to the
1	Almond (Prunus dulcis)	7,1-7,4	50	25/25	Goud vigor, poor-fair form, multi leader
4	California pepper (Schinus mole)	29,6	55	35/50	Gond vigor. fair form, history of broken limbs.
5	Almond (Prunus dulcis)	7.2-7.6	55	25/20	Fuir vigor, poor-fair form, cudominant at 1 foot
6	Tree of heaven tAilamhus altissin	10x10" uu)	45	35/45	Poor-fair vigor, poor form, multi leader at
7	Black walnut (Auglans coliforni	7,8-9,8 ca)	55	25/30	Fair vigor, poor-fair form, codominant at
8	Brazilian pepper (Schinus terebinth	21.4 nifolian	55	35/35	Good vigor, fair form, multi leader at 2 feet
9	Almond (Prumis dulcis)	9.1	10	15/15	Poor vigor, poor form, nearly dead
10	Apricot	5x2**	0	15/15	Dead, failed

Summary:
The trees on site consist of imported trees with two native walnuts. The native walnuts are in paor-fair condition and do not greatly contribute to the property.

6.9 10 10/10 Poor vigor, poor form, decay in trunk.

12.1 50 10:15 Poor vigor, poor form, decay in trunk,

24.1 40 35/40 Poor-fair vigor, fair form, in decline

The imported trees are also in poor-tir form with several trees being dead or nearly dead. The trees di not contribuie to the property with the Brazilian pepper which screens the water ianks. Several of the trees will be removed to facilitate the building of the new redictience. Replacement rees should be of low water use and be located where the trees can hirve and contribute to the property. Trees at the top of the property which would screen the road above would be wise.

The dead apriced orchard at the bottom of the hill (approximately 20 trees) will not be affected by construction and are planned to remain for habitat. The following tree protection plan should be stillized to help reduce impacts on any retained trees on site.

Tree Protection Plan:
Tree protection funcing
Tree protection zones should be established and maintained throughout the entire length of the
protection zones should be established and maintained throughout the entire length of the
project. Fencing for protection zones should be 4 foot tall orange plastic fencing supported by
mutal stakes of poles pounded into the ground. The location for protective fencing should be as
clauses the thopine as possible still allowing pround reconstruction to suffey continue. No
equipment shall be stored or operated inside tree protection zones.

Root Catting
Any word to be cut should be monitored and documented. Large roots or large mauses of most,
to be cut should be inspected by the site arborist. The site urborist may recommend irrigation or
fertilizing at that time. Out all roots clean with a saw or toppes. Roots to be left exposed for a
period of time should be covered with layers of burglan and keyt moist.

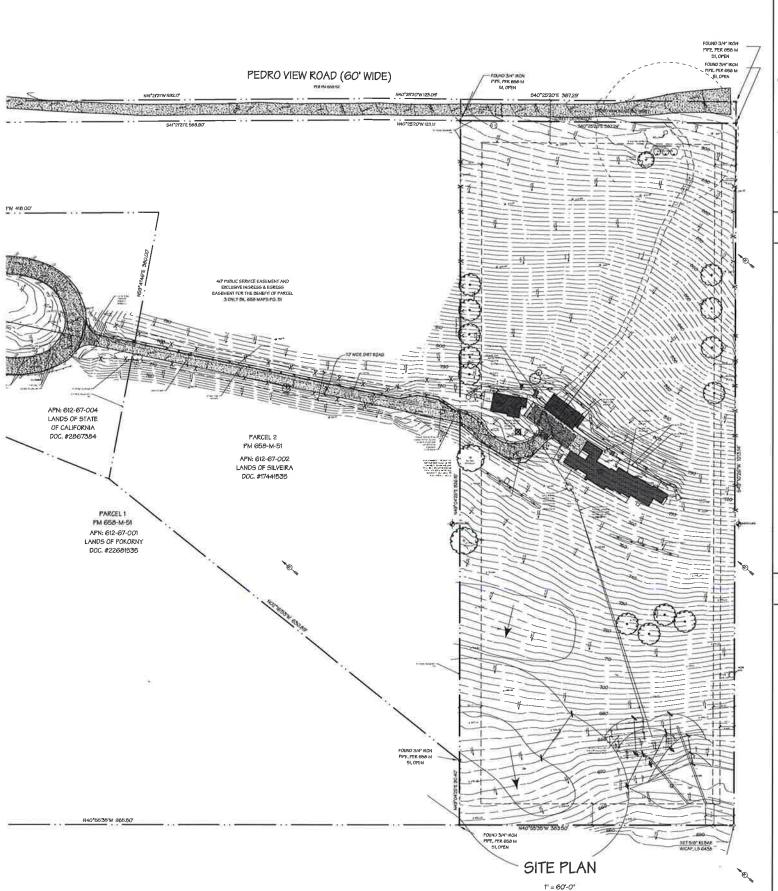
Trenching and Excavation
Trenching for irrigation, electrical, diminage or any other reason, should be hand dog when
benealt the displice of desired trees. Hand digging and careful placement of pipes below or
beside protected roots will dimansically reduce root loss, thus reducing trauma to desired trees.
Trenches should be back filled as soon an possible using native materials and campacted to not
original levels. Trenches to be followed most shall be covered with buring and
kept moist. Plywood bird over the trench will help to protect roots below.

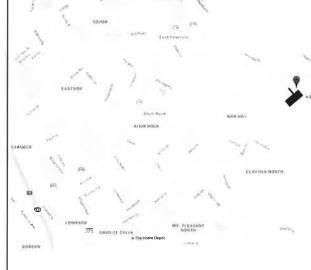
This site needs no irrigation as the trees on site are have not been irrigated for years. If the trees roots on site are traumatized then an irrigation schedule will be put in place as part of the

The information included in this report is believed to be true and based on sound arboricultural rinciples and practices

Couls P Kiebs Certified Arborist WE#0476A

David P. Beckham Certified Arborist WE#10724A





VICINITY MAP

APN: 612 - 67 - 003 ZONING: R-1E, 10 AC, d-1 (H5-10ac-d1) LOT SIZE:

9 ACRES 392,040 (GR055) 380,505 S.F. (NET)

VACANT LAND

796 S.F.

3,779 S.F. NEW HOUSE: ATTACHED GARAGE: 347 S.F. TOTAL MAIN HOUSE: 4,126 5.F.

EXISTING HOUSE:

GUEST HOUSE:

REC. ROOM: 1.091 S.F. DETACHED GARAGE: 1.200 S.F.

APPROVED BUILDING SITE 1990 #7921

TYPE OF CONSTRUCTION: VB OCCUPANCY GROUP: R-3, U

THIS PROJECT SHALL COMPLY WITH 2016 CBC, CRC, CMC, CPC, CEC, CFC, CAL GREEN, CAL ENERGY CODE, AND LOCAL ORD.

BEST MANAGEMENT PRACTICES &

L-1 OVERALL SITE LANDSCAPE PLAN
L-2 BUILDING SITE LANDSCAPE PLAN

Scale 1" = 60'-0" Drawn RAH

A-1

REVISIONS

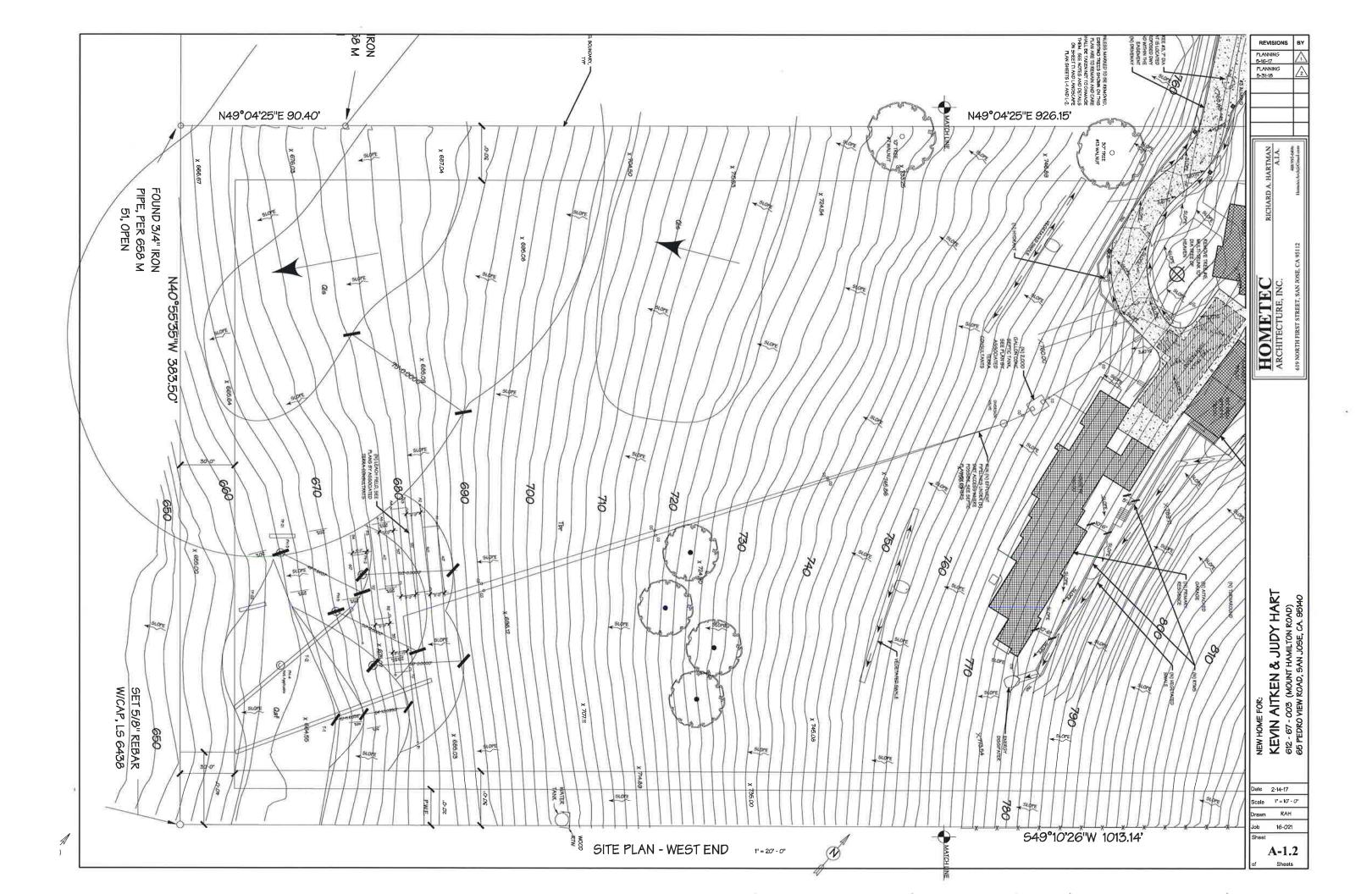
PLANNING 5-16-17

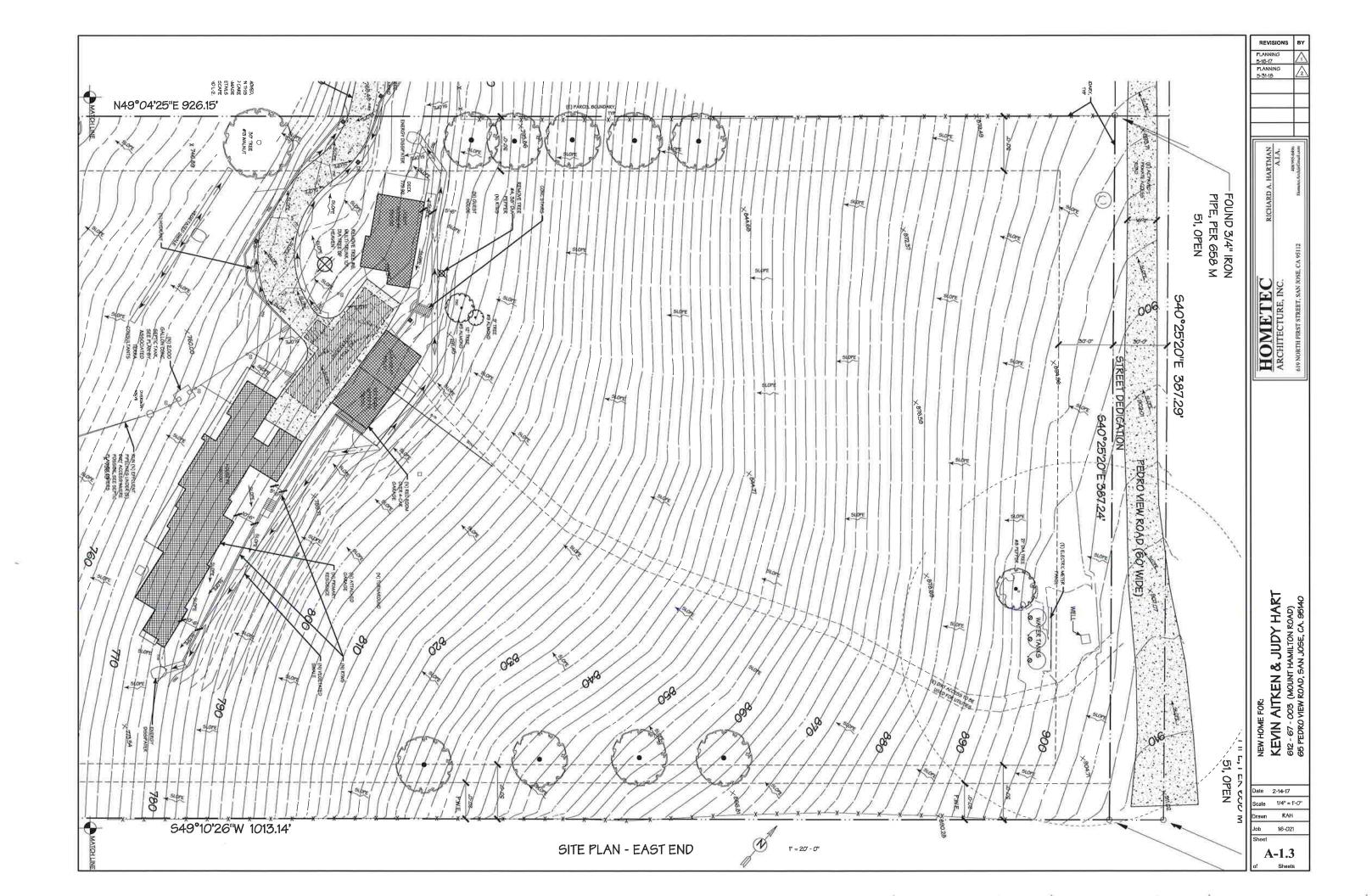
5-31-18

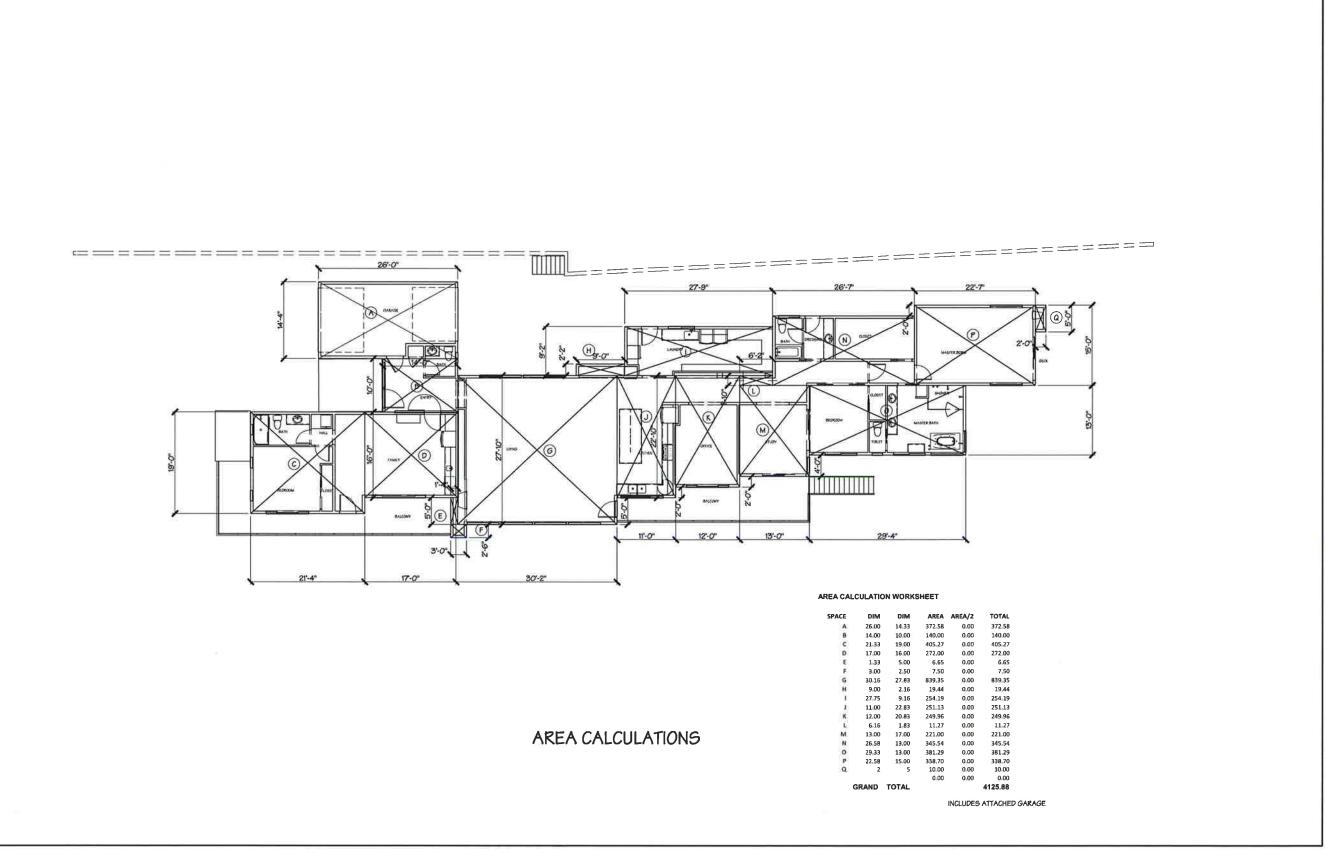
HOMETE ARCHITECTURE, INC

NEW HOME
KEVIN /
612 - 67 - C
65 PEDRO Date 2-14-17

16-021







REVISIONS PLANNING 5-16-17 PLANNING 5-31-16

RICHARD A. HARTMAN

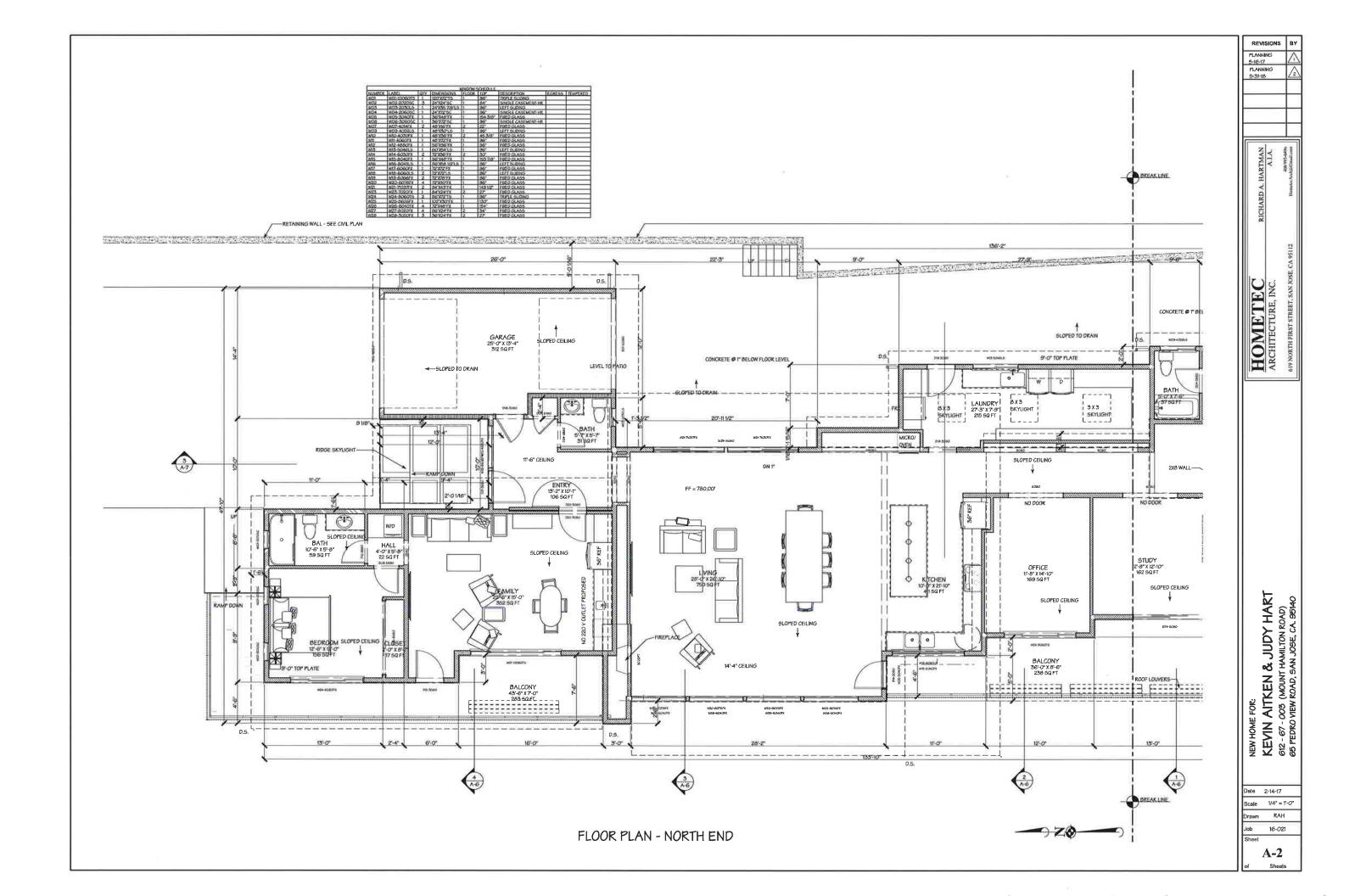
HOMETEC ARCHITECTURE, INC.

NEW HOME FOR:
KEVIN AITKEN & JUDY HART
612 - 67 - 003 (MOUNT HAMILTON ROAD)
65 PEDRO VIEW ROAD, SAN JOSE, CA. 95140

Date 2-14-17 Scale 1/4" = 1'-0"

RAH 16-021

A-1.4



GENERAL NOTES

I, ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE

2. ADJUST DIMENSIONS TO ALIGN WITH EXISTING CONDITIONS IN THE FIELD, WHERE APPLICABLE $_{\rm H}$

3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT IMMEDIATELY.

4. ALL PRODUCTS SHALL BE INSTALLED PER MANUFACTURERS
INSTRUCTIONS. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE POSTED AND PROVIDED TO THE FIELD INSPECTOR AT TIME OF

5. SLOPE FINISH GRADE AT 5% MIN. FOR 10' AWAY FROM HOUSE, 2% MIN. SLOPE ON HARDSCAPE , & 2% MIN. 10 AN APPROVED FACILITY

6 PROVIDE NON-REMOVABLE BACK FLOW PROTECTION AT ALL EXTERIOR HOSE BIBBS

7. PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS, MIN, MINDOW OPENINGS OF 24" MIN. CLEAR HEIGHT, 20" MIN. CLEAR WITH 44" MAXIMUM TO BOTTOM OF THE OPERABLE AREA.

8 TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS (LE. DRYERS, BATH & UTILITY FANS, ETC.) SHALL BE A MINIMUM OF 3 FEET AWAY FROM ANY OPENINGS INTO THE BUILDING (DOORS, WINDOWS, OPENING SKYLIGHTS, OR ATTIC VENTS)

9. ALL AIR DUCTS PENETRATING A SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA SHALL BE $26\ GA$ MINIMUM

IO. ALL EXHAUST FANS SHALL BE "ENERGY STAR" AND SEPARATELY SMITCHED WITH TIMER OR HUMIDISTAT SWITCHES AND CAPABLE OF 5 AIR CHANGES PER HOUR (MIN, 50 CFM) AT BATHS, TOILETS, AND LAUNDRY

1). ALL WATER CLOSETS SHALL BE MAXIMUM L28 GALLONS PER FLUSH 12. PROVIDE A SMOOTH, HARD, NONABSORBENT SURFACE OVER FIBER BOARD TO A MINIAUM HEIGHT OF 72° ABOVE THE DRAIN INEET AT SHOWERS & TUDI-SHOWERS (NO DEFEN BOARD). INSTALL PER MANUFACTURER'S INSTRUCTIONS.

13. SHOWER AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH PRESSURE BALANCE ANTI-SCALD VALVES TO 120f MAX. PER CPC 408.3

14. SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, HAVING A MINIMUM OF ENCOMPASSING A 30-INCH CIRCLE, AND OUTWARD SWING 22" MIN. DOOR

15, ALL UNDER FLOOR PLUMBING CLEANOUTS SHALL BE WITHIN 20' OF THE UNDER FLOOR ACCESS, OR EXTENDED 10 THE EXTERIOR

16. KITCHEN SHALL HAVE SEPARATE CIRCUITS FOR DISPOSAL, DISHWASHER, & TWO (2) 20 AMP. CIRCUITS LIMITED TO SUPPLYING WALL AND COUNTER SPAGE OUTLETS.

17. ELECTRIC DRYERS AND COOK TOPS SHALL HAVE A DEDICATED 30 AMPCIRCUIT, PROVIDE WIRES WITH INSULATED NEUTRAL:

IB LAUNDRY ROOM AND BATHROOM COUNTERTOP OUTLETS SHALL BE EACH SUPPLIED WITH A DEDICATED 20 AMP CIRCUIT 19. ALL ELECTRIC SWITCHES SHALL BE OF THE SCREW TYPE GROUND.

20. ALL BRANCH CIRCUITS IN ALL ROOMS OTHER THAN BATHS SHALL BE PROTECTED BY COMBINATION ARC-FAULT CIRCUIT INTERRUPTERS INSTALLED IN A READILY ACCESSIBLE LOCATION (C.E.C. 210.12 B)

21. LIGHT FIXTURES LOCATED OVER OR WITH-IN 3' OF TUBS OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS"

22 A PERMANENT LABEL SHALL IDENTIFY EACH PANE OF SAFETY GLAZING

23. T-24 INSTALLATION CERTIFICATE (CF-2R-LTG-01-E) SHALL BE SUBMITTED TO THE FIELD INSPECTOR AT TIME OF FINAL INSPECTIO

25, DRYER EXHAUST VENTS SHALL BE PER MANUFACTURER REQUIREMENTS OR MAX. 14' IN LENGTH, TERMINATING 3' CLEAR OF ANY

27. ALL PENETRATIONS INTO UNCONDITIONED SPACE (ATTICS, UNDER FLOORS, ECT.) SHALL BE CAULKED, GASKETED, WEATHERSTRIP, OR SEALED TO LIMIT INFILTRATION AND EXFILTRATION.

26. ALL PENETRATIONS IN TOP PLATES, FLOORS, ETC. SHALL BE CAULKED WITH A RESIDENTIAL FIRE RATED CAULK WITH AN ASTM E136 OR E814 RATING

29. EGRESS WINDOWS WITH MULTIPLE LATCHES SHALL HAVE THEM NTERCONNECTED AND OPERABLE FROM THE LOWEST LATCH.

30. SHOWER ENCLOSURE DOORS SHALL OPEN OUT WITH A CLEAR OPENING OF 22" MIN IN THE OPEN POSITION

31. OMIT

32. ALL 15-AMP AND 20-AMP DWELLING UNIT RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES (GEC 406.12)

33. MAIN ENTRY DOOR SHALL BE OPERABLE FROM THE INSIDE OF THE DWELLING WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT.

36. PROVIDE STATE ARCHITECT CERTIFIED EARTHQUAKE-ACTUATED GAS SHUT OFF VALVES AT ALL NEW, RELOCATED, AND REPLACED GAS UTILITY METERS.

37. PROVIDE A DEDICATED 20 AMP CIRCUIT FOR EACH FAN MOTOR (FAU.,

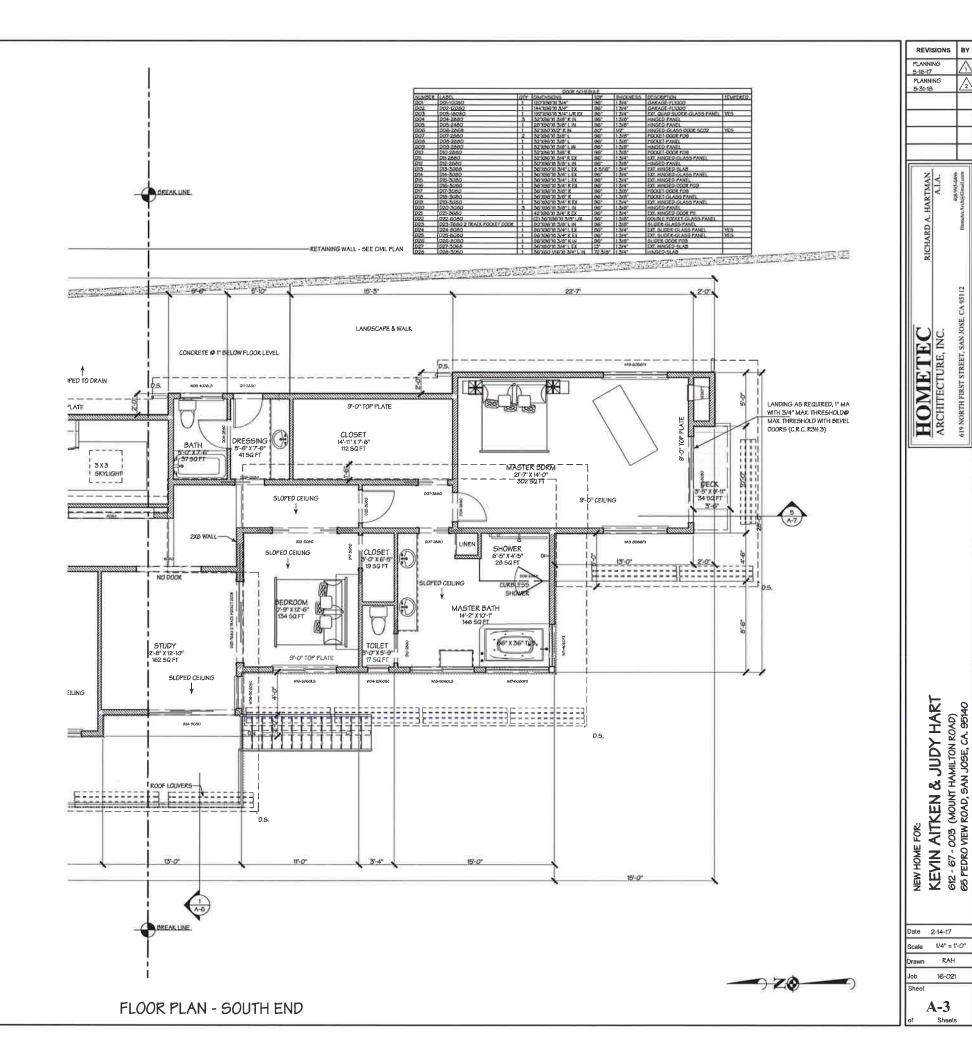
38 PROVIDE LISTED 110V INTERCONNECTED WITH BATTERY BACKUP SMOKE CARBON MONOXIDE DETECTORS AS SHOWN (CRC 314-3, 314.5)

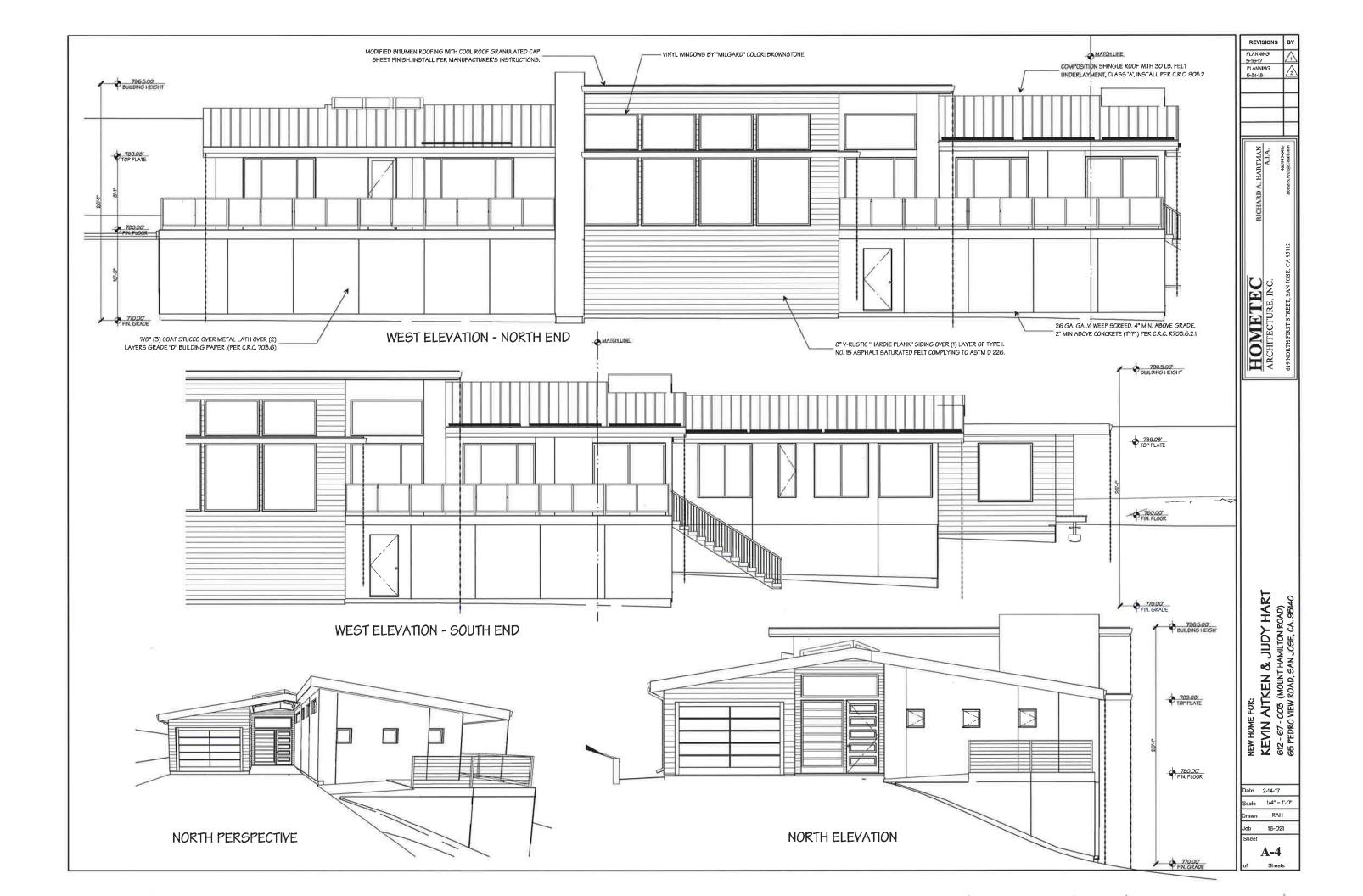
39. A GAS PIPING LAYOUT PLAN SHALL BE PROVIDED TO THE FIELD INSPECTOR BY THE CONTRACTOR AT TIME OF INSPECTION.

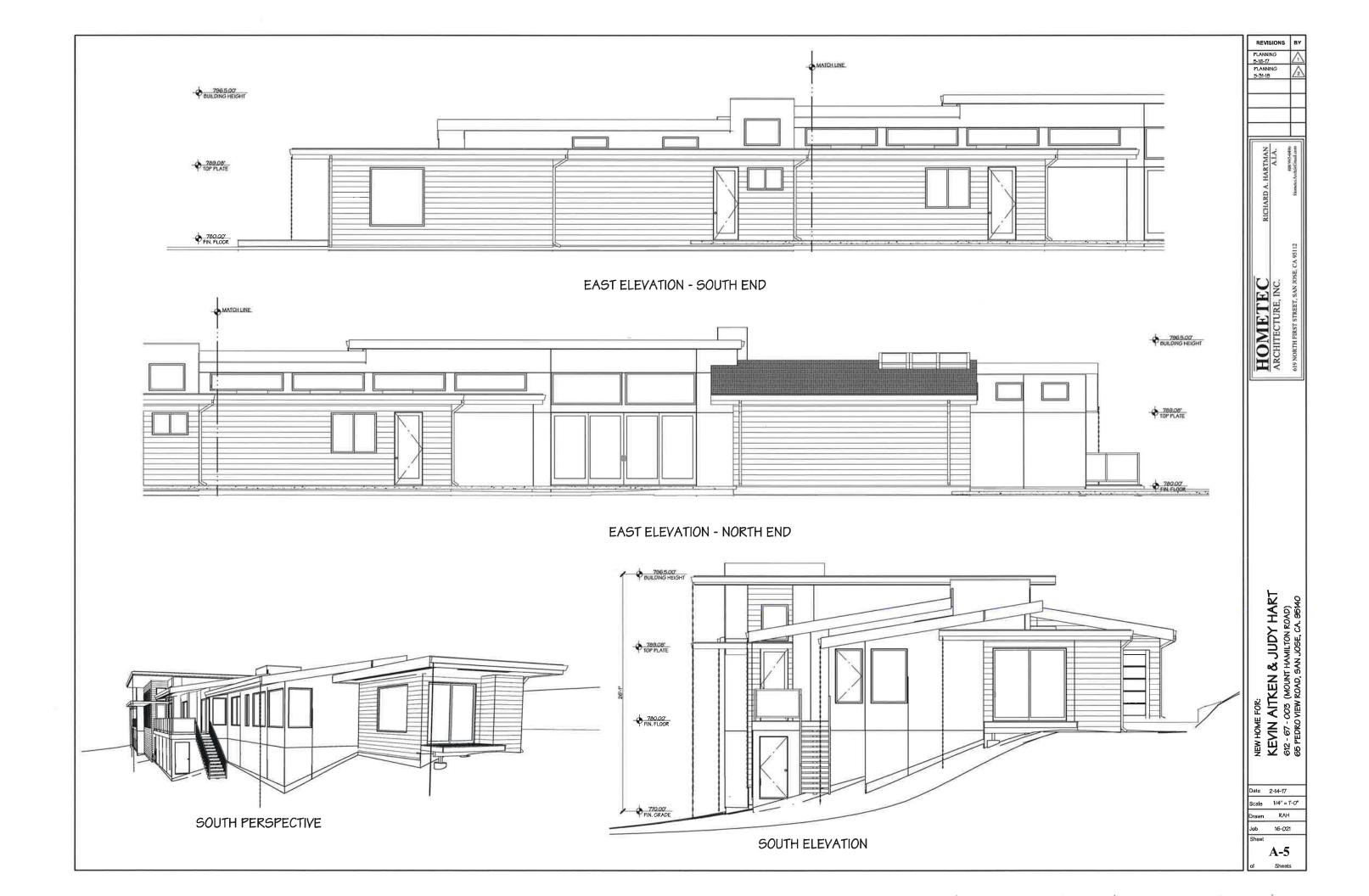
40. FOR ANY LE D. LIGHTS TO QUALIFY AS HIGH EFFICACY LIFTING, THEY MUST BE CERTIFIED BY THE ENERGY COMMISSION AND LISTED ON THEIR DATABASE AT INTEXT/MAN APPLIAGEMENT, AS QUALIFROMET OTHER FILED INSPECTOR EVIDENCE OF CERTIFICATION FOR ALL HIGH EFFICACY LE D.

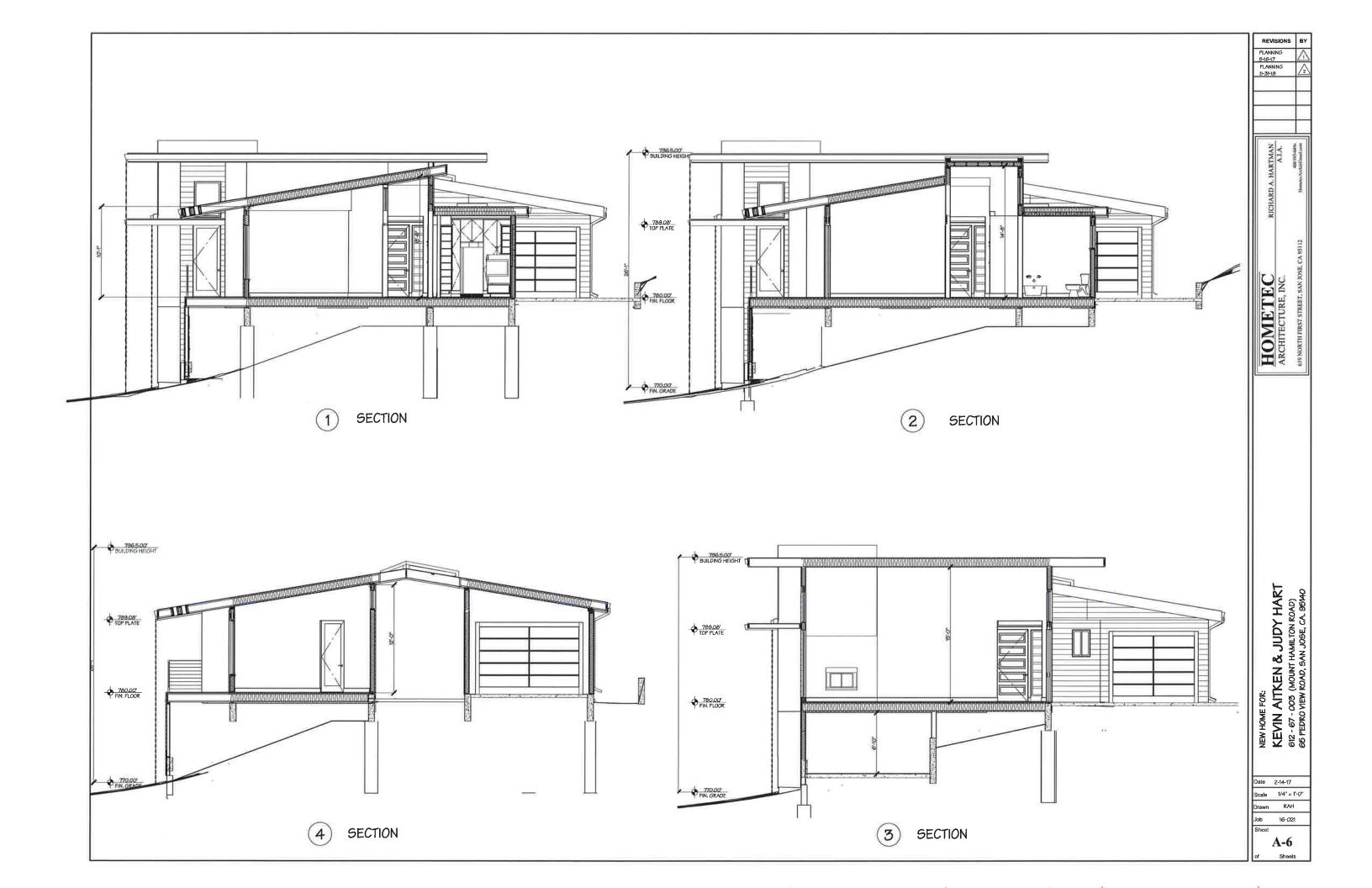
41. ALL PLASTIC PIPE AND FITTINGS SHALL MEET THE 'NATIONAL ATION FOUNDATION' AND STANDARDS REFERENCED IN TABLE 17011 OF THE 2016 CPC (CGB5C 4.303.2)

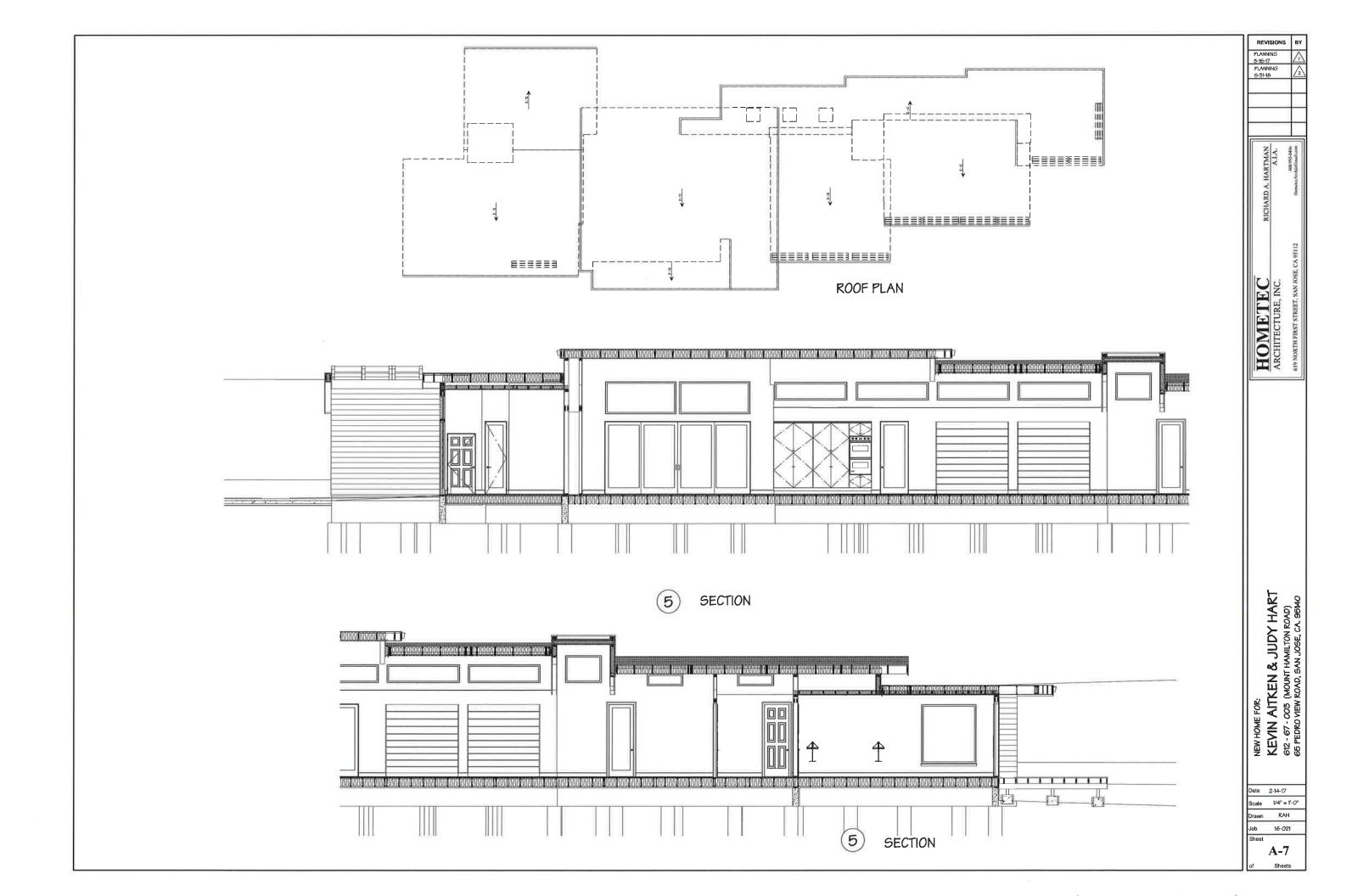
44. ALL GAS LINE PRESSURE TESTING SHALL BE AT IO PSI FOR 15 MINUTES AND WELDED PIPING IS 60 PSI FOR 30 MINUTES CPC 1213.3

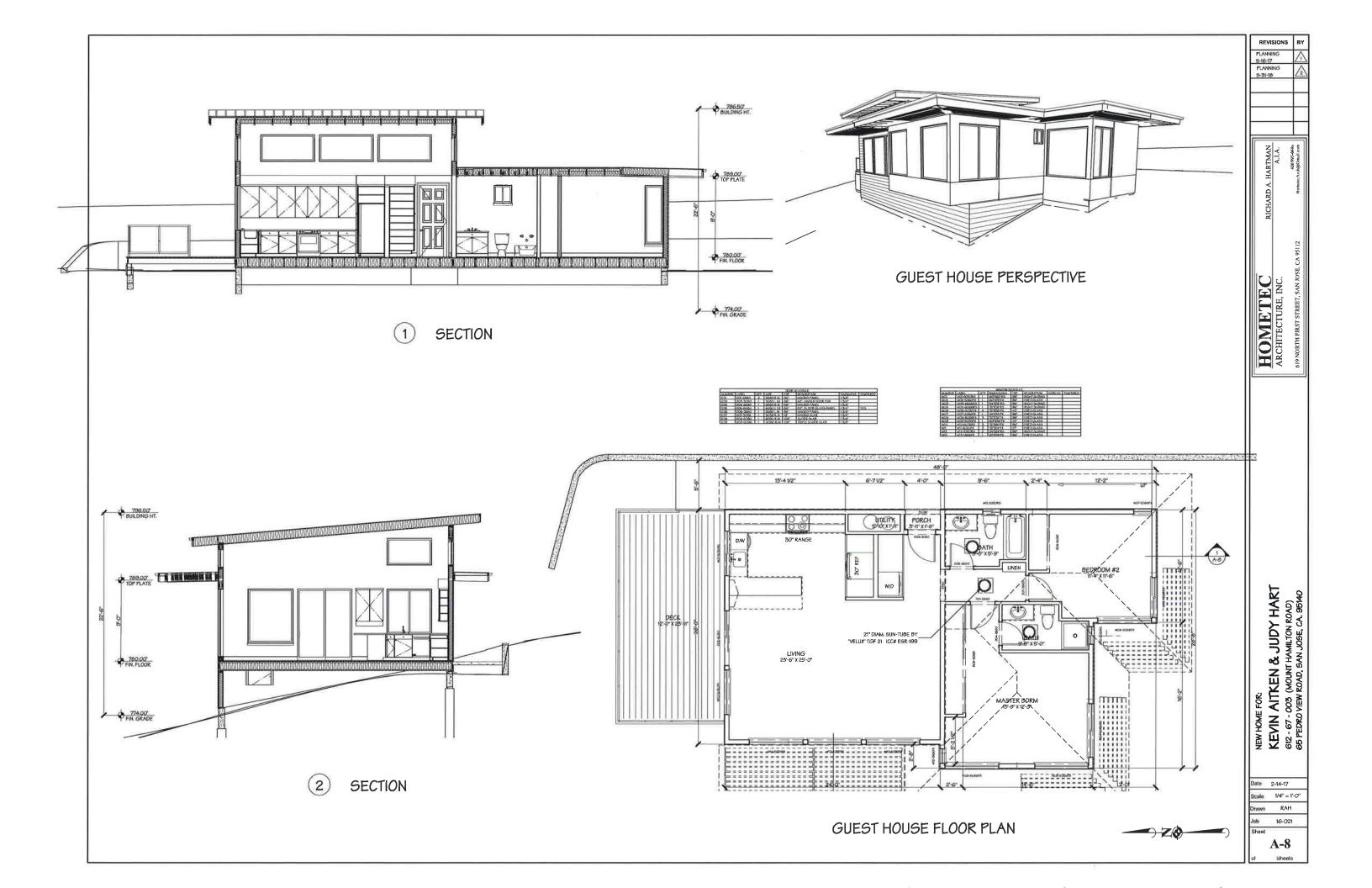


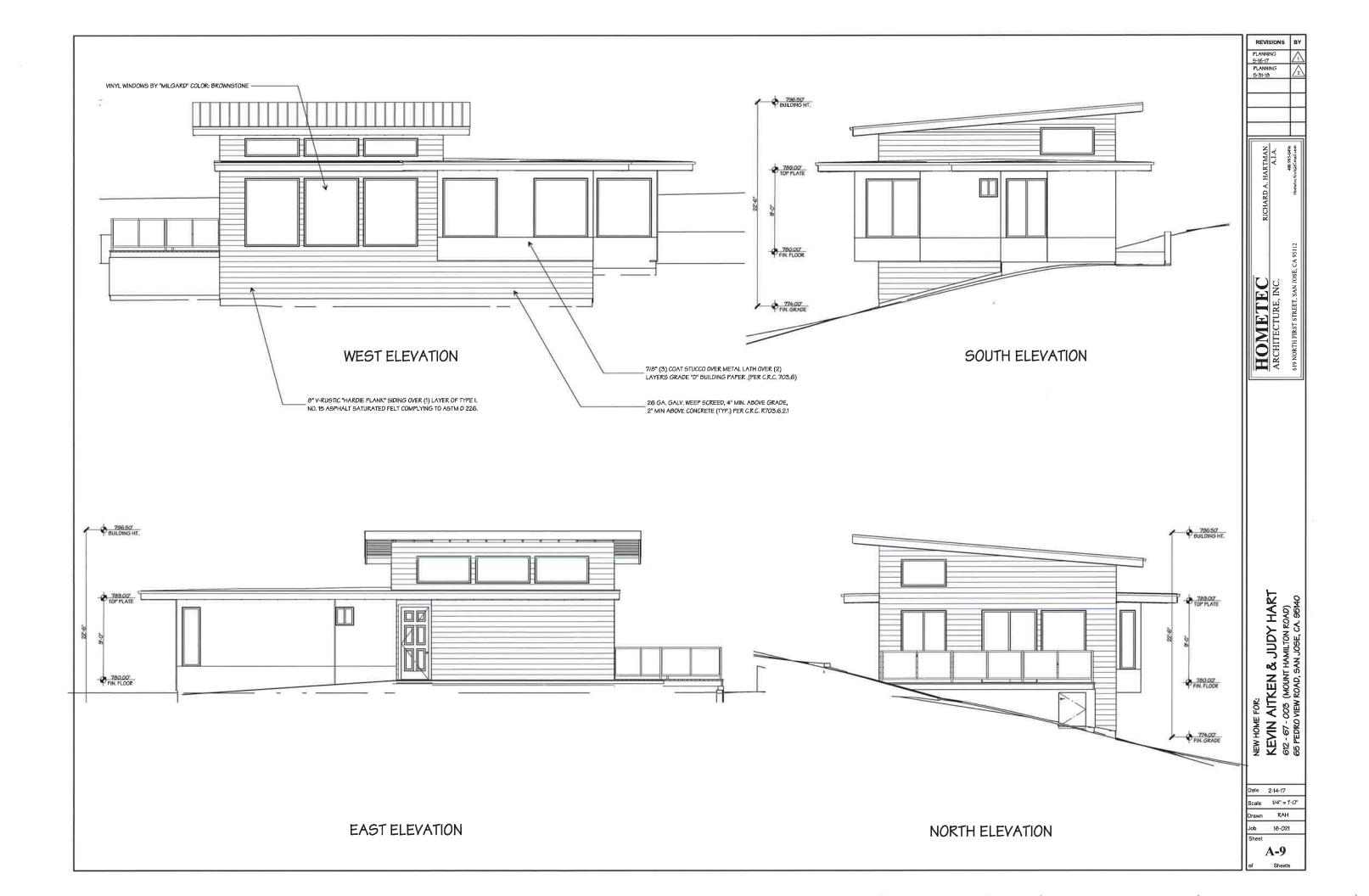


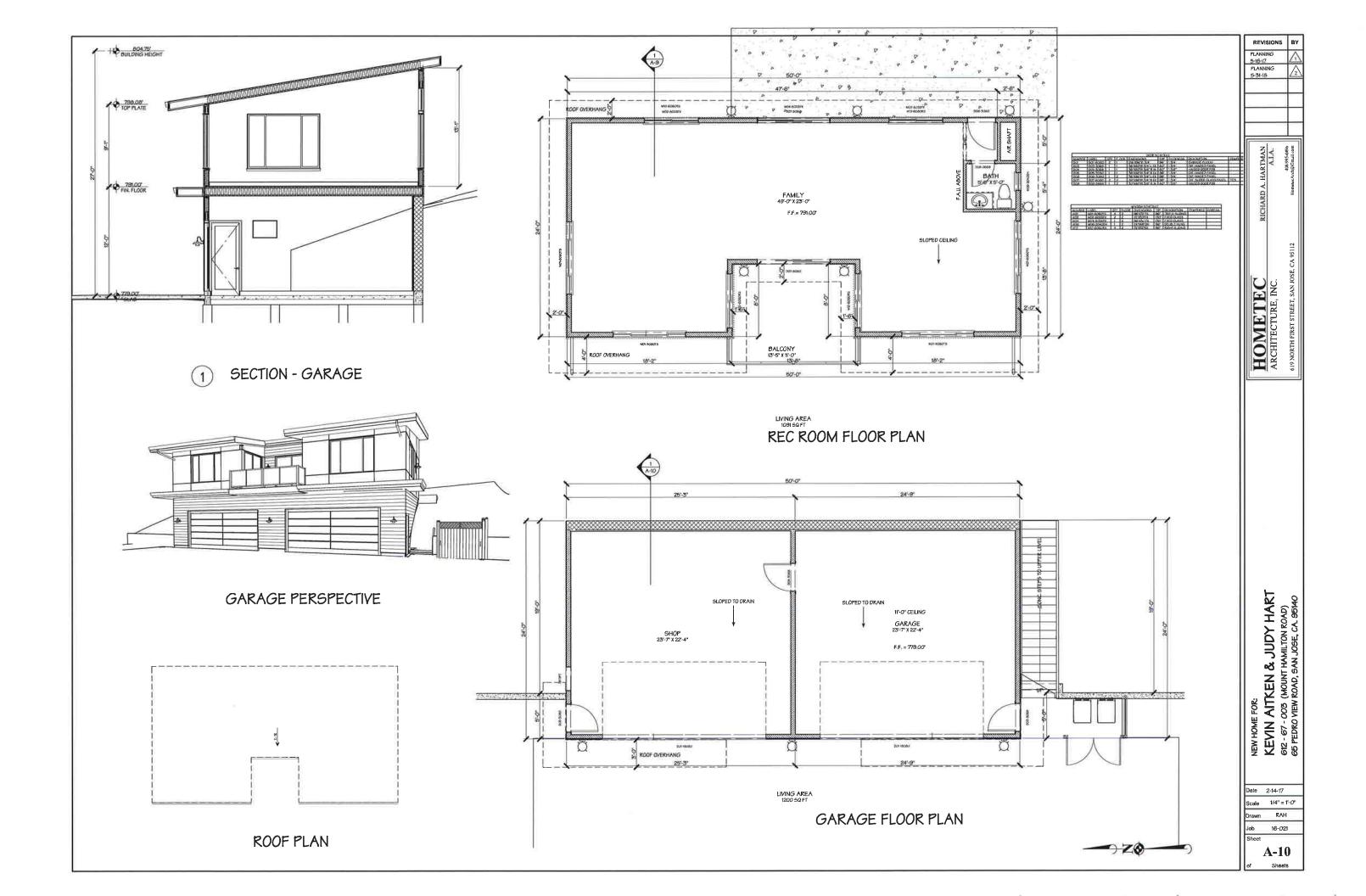


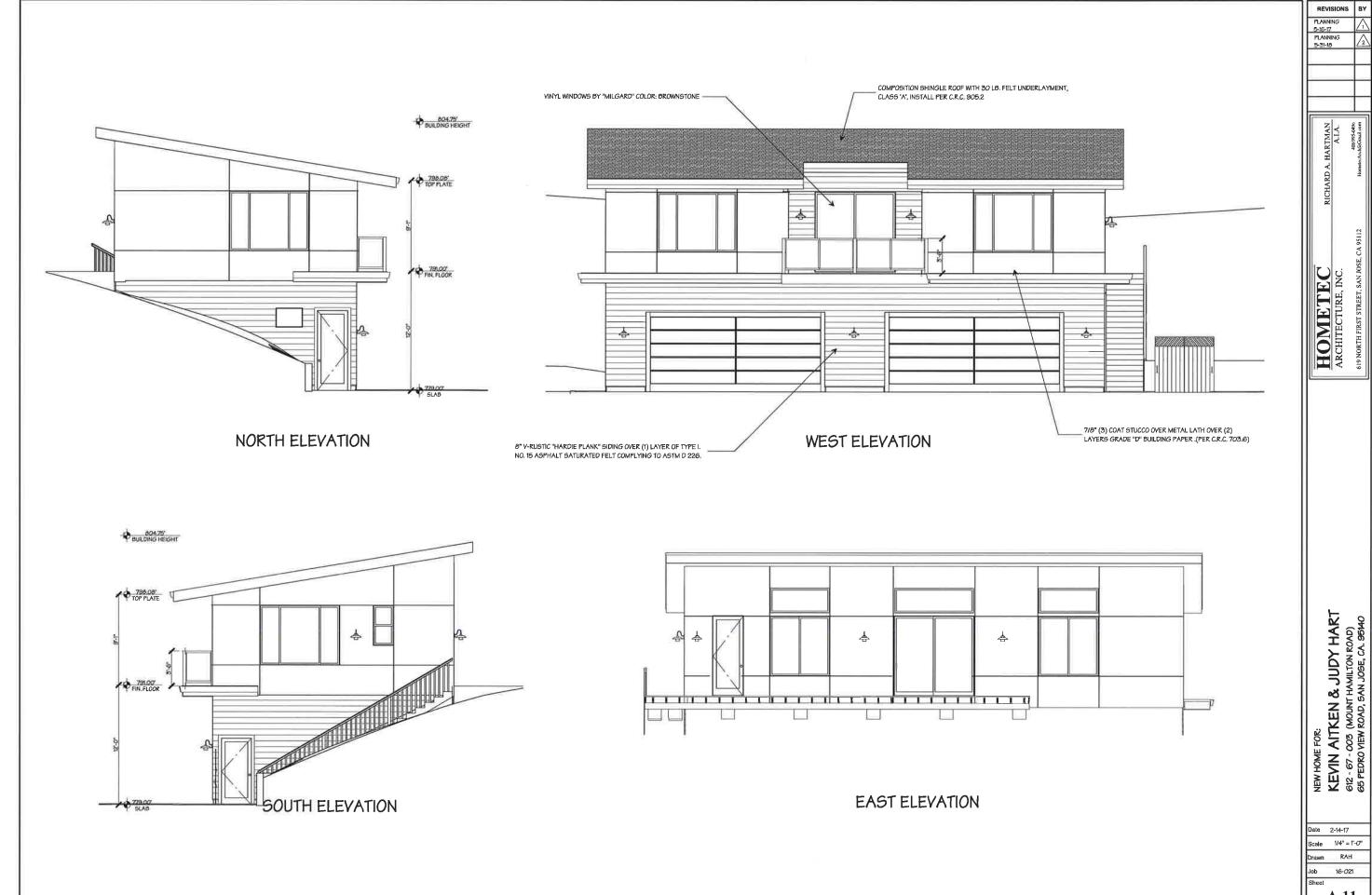












A-11

COUNTY OF SANTA CLARA General Construction Specifications

GENERAL CONDITIONS

- CANERAL CONDITIONS

 ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOLIS AND/OR GEOTECHNICAL REPORT PREPARED BY ASSOCIATED. TERRA CONSULTANTS AND DATED MARCH. 13, 2001, THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SECRIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SECRIFICATIONS, IN THE EVENT OF CONFLICT THE FORMER SHALL STANDARD SECRIFICATIONS, IN THE EVENT OF CONFLICT THE FORMER SHALL WORK MUST BE TO THE ATTER, THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SUCCESSOR PROPERTY OWNERS ARE DEVELOPED AND AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE DEVELOPED. THE SECRIFICATION OF THE COUNTY.

 DEVELOPER SHALL BE RESPONSIBLE FOR INSTALLATION OF THE MORNES ARE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.

 DEVELOPER SHALL DETAILS AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED, COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR RESEAR BY THE COUNTY SHAPE DEPARTMENT OF TRANSPORTATION WHERE NEEDED, COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR RESEAR BY HE COUNTY SHAPE CORRECTION FROM THE SHAPE OF THE SHAPE AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED, COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR RESEARCH BY THE COUNTY SHAPE CORES TO PROMODE AN UNDSTRUCTED FIFTEEN (15) FOOT WESTICAL ELAPANCE FOR ROADWAY AREA THE PROMOVAL OF ONLY THOSE TREES WITH THEME DIABACT THE PERMOVAL OF AND MEMBER PROM THE REMOVAL OF ADDITIONAL TREES HAS BEEN PERMIT IS DETAINED FROM THE REMOVAL OF ADDITIONAL TREES HAS BEEN PERMIT SO TREES MITTERN (14) FOOT SHEET REMOVAL OF ADDITIONAL TREES HAS BEEN PERMIT SO CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.

 ALL PERSONS MUST COUNTY SETTING COUNTY HAS CODE BY THE COUNTY OF THE COUNTY OF THE SECOND CONTROL AND ADDITION OF THE COUNTY OF THE PUBLIC RESOURCES.

- COUNTY INSPECTOR.

 ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.

 UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OF ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONERY AT (408) 454-2520 AND LAND DEVELOPMENT CHICKER ACT (408) 299-5730.

 NOTHORIZED BY THE AND DEVELOPMENT OFFICE AND COOCH WITH PROVISIONS OF THIS REPONDANCE (COUNTY CORDINANCE CODE WITH THE PROVISIONS CONTINUED BE 18).
- OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION B6-18). WORK ONLY, A SEPARATE FEMILIAL BROWNING CODE SECTION B6-18). WORK ONLY, A SEPARATE FEMILIAL BROWNING FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

CONSTRUCTION STAKING

- THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB. ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING. CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
- LAND SURVEYOR.

 PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.

 PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERRIFED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADIES.

CONSTRUCTION INSPECTION

- CONTRICTOR SHALL NOTEY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND STE. THE COUNTY REQUIRES A WINNING OF A SHALL RELIGIOUS OF WORK AND STE. THE COUNTY REQUIRES AS WINNING OF A SHALL RELIGIOUS OF THE COUNTY REQUIRES AS WINNING OF A SHALL RELIGIOUS OF THE COUNTY REQUIRES AND PROCESSES OF CONSTRUCTION TO OBSERVE THE REPORT OF AMERICAS AND PROCESSES OF CONSTRUCTION OF MATERIALS AND PROCESSES OF CONSTRUCTION SUIT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, CQUIREMENT OR PERSONNEL CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299–6888 AT LEAST 24 HOURS FROM TO COMMENCING WORK AND FOR FINAL INSPECTION OF PRIOR OF SHALL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR TO COMMENCEMENT OF THE BUILDING FOUNDATION.

SITE PREPARATION (CLEARING AND GRUBBING) EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE

- AS FOLLOWS:

 A. TO A MINIMUM CEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (GITHER PRIVATE OR TO BE DEDICATED TO
- PROPOSED ROBOWAYS (CHIER PRIVATE OR TO BE DEDICATED TO
 BUILD USS)

 PROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE
 BY THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE
 UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

JTILITY LOCATION, TRENCHING & BACKFILL

- CONTRACTOR SHALL MOTIFY USA CUNDERGROUND SERVICE ALERTY AT 1-800-277-2800 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIMUDIAL CONDUITS OR FACILITIES SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACES TRUCTURES SURFACES THAT IT WILL BORKE UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED AND CONDERNED INDICATES BY LETTER THAT IT WILL BOKE UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED AND CONCERNED INDICATES BY LETTER THAT IT WILL BOKE UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED AND CONCERNED INDICATES BY LETTER THAT IT WILL BOKE UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED BY THE COUNTY OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE NOTES OF THE COUNTY, INTERCH PACKFILL IN NEW CONSTITUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAYED BY COUNTY FITTE MATURE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE MATURE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE MATURE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE MATURE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE MATURE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE MATURE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE MATURE SOIL THE MATURE AND THE MATURE SOIL THE MATURE SOIL THE MATURE SOIL THE MATURE SOI

RETAINING WALLS

- REINFORCED CONCRETE AND CONCRETE MASCHRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTIOR THE COUNTY TOKNICETHING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.

 SECRETAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCHEMY INSPECTOR UT THE COUNTY ENGINEERING INSPECTOR.

PORTLAND CEMENT CONCRETE

CONGRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS, CONGRETE PLACED MUST DEVELOP A MINIMUM STRENDTH FACTOR OF 2800 PS IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECIOR.

GRADING

- 1. EXCAVATED MATERIAL. SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL. GROUND, IT SHALL BE STATED TO THE PROVIDE SHALL BE STATED TO THE PROVIDE SHALL BE STATED TO THE PROVIDE SHALL BE STATED TO THE OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEYED IN TO ADHEVE STATEDITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION BEST FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 5" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE ROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) ABRAITING THE FILL IF IT IS TOO WET OR 2) MOSTERING THE SHALL BE THE SHALL BE SHALL BE STATED THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) ABRAITING THE FILL IF IT IS TOO WET OR 2) MOSTERING THE FILL WITH WATER IT IT IS TOO ON.Y. ACCH. LIFT SHALL BE THOROUGHLY MINED BEFORE COMPACTION TO ENSURE A UNFORM DISTRIBUTION OF MOSTERIES.
- THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (6" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL, NO TREES SHALL BE REMOVED DUTISDE OF CUT, FILL OR ROADWAY AREAS. THE UPPER 6" OF SUBGRADE BELOW BRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 93% OF MAXIMUM DENSITY. MADMIUM CUT SUFFICIENT OF SHALL BE 2 HORIZONTAL TO 1 VERTICAL MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL MAXIMUM FILL

TOTAL	1782	888	914 CY N	ET CUT EXPORT	ij
OFF SITE DRIVEWAY	445	74	371	5'-6" MAX	19
ON SITE DRIVEWAY	158	709	-561	7-6" MAX	1 ₽
LANDSCAPE	0	0	0	N/A	lซ
HARDSCAPE	559	0	559	6'-0" MAX	1 0
DETACHED GARAGE	449	0	449	TF-5" MAX	1 2
ACCESSORY UNIT	32	50	-16	3'-10" MAX	1 ₩
RESIDENCE	129	35	105	5'-6" MAX	1
LOCATION	CUT (C.Y.)	FILL (C.Y.)	NET CUT	I VERT, DEPTH	เซ

- NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE.
 EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY
 APPROVED DUMP SITE.
- EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP STE.

 7. NOTEY SOLS BIONNER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY CRADING WORK TO COORDINATE THE WORK IN THE FELD.

 8. ALL MATERIALS FOR PILL SHOULD BE APPROVED BY THE SOLS ENGINEER STEED TO THE SUBGRADE SOLS SHALL BE SCARPIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95% TO ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.

 1. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.

 12. AND PRESENT THE RESULTS TO THE COUNTY ENGINEER FOR BUILDING OF ANY PAYED AREA.

 13. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE ANTIAL CLARK COUNTY GRADING OFFICIAL.

 14. TOTAL DISTURBED AREA FOR THE PROJECT BOLDT S. (1.81 ACRES). SEE SHELL ELL FOR MORE SALL).

- SHEET CI FOR MORE DETAIL WOID NO. NOT RECEIVED IS. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER
- POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

TREE PROTECTION

- IREE_PROTECTION

 1. FOR ALL TREES TO BE RETAINED WITH A CAMPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE IMITS OF GRADING FOR INLE PROPOSED OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY OF THE TREE OR GROWE OF TREES.

 A FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIPLING OF THE TREE OR GROWE OF TREES.

 B. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROFER FLINCTION. S. NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.

 D. SIGNAGE STATING, "WARNING—THIS FERGING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT HIS LIFT." // WARNING COUNTY PLANNING OFFICE (408) 299–5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT HIS LIFT. // // www.rescipnning.gov. SHALL BE PLACED ON THE TIRE PROTECTIVE FERCING UNTIL FINAL OCCUPANCY.

 PRICH TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACED AND INSPECTED BY THE LAND DEVELOPMENT FENCING INSPECTED BY THE LAND.

ACCESS ROADS AND DRIVEWAYS

- DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING, THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES
- INCHES THROUGHOUT (WITH A MODIFIED PER FOOT).
 ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15%
 ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15%
 LONGITUDINAL SLOPE MUST BE PAYED WITH A MINIMUM Z-INCH ASPHALT LIFT
 OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTRISE FRAMING.
 THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING
 PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES
 SUIT LOCAL REGIONNY.
- PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
 ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
 ALL WORK IN THE COUNTY ROAD RICHT-OF-WAY REQUIRES AN ENCROACHBENT PERMIT FROM THE ROAD AND AIRPORTS DEPARTMENT. EACH HOIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT I.E. CABLE, ELECTRICAL, GAS, SEKER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC.

STREET LIGHTING

. PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

- 1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
- ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SANID JURISDICTION.

SURVEY MONUMENT PRESERVATION

- THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION
- PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES.

 PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG OR OTHERWISE IDENTIFY WITH PAINT OR OTHER MARKINGS
- MONUMENT SHAPE STATES AND THAT ARE WITHIN SO TEEL OF THE HOUSE STATES AND THE STA

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

- WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
 COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS
 OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF
 FREEBOARD.

- 2. COVER ALL INDOORS HAUDING SOIL, SAND, AND OHER LODGS MAILTING.
 OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF
 FREEDOARD AND AND THE THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL.

 3. FREEDOARD Y WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL.

 5. TREEDOARD Y WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL.

 5. TREEDOARD Y WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL.

 5. SMEED PAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS,
 PARKING AREAS AND STAGNIG AREAS AT CONSTRUCTION SITES. THE USE
 OF DRY POWDER SWEEPING IS PROHIBITED.

 5. SWEEP STREETS DAILY (WITH WATER SWEEPERS), IF VISIBLE SOIL MATERIAL

 5. SWEEP STREETS DAILY (WITH WATER SWEEPERS), IF VISIBLE SOIL MATERIAL

 5. SWEEP STREETS DAILY (WITH WATER SWEEPERS), IF VISIBLE SOIL MATERIAL

 5. SWEEP STREETS DAILY (WITH WATER SWEEPERS), IF VISIBLE SOIL MATERIAL

 5. SWEEP STREETS DAILY (WITH WATER SWEEPERS), IF VISIBLE SOIL MATERIAL

 6. SALL CONSTRUCTION THEOLOS, EQUIPMENT AND DELIVERY TRUCKS SHALL

 HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE

 CALIFORMA AIRBORNE TOXIC CONTROL MEASURE TITLE 1), SECTION 2485
 OF CALIFORMA CODE OF REGULATIONS (CCR)). PROINTS SHALL BE SHUT

 OFF IF CONSTRUCTION REQUIRES LONGER DUINO THE UNITESS NECESSARY

 OF THE CONSTRUCTION COUNTROL WATER OF THE STREETS SHELL BE SHUT

 TOWN OF THE CONSTRUCTION COUNTROL WATER'S SPECIFICATIONS.

 ALL CONSTRUCTION EQUIPMENT SHALL BE MINITAINED AND PROPERLY

 TUNDED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

 ALL

 COUNTREMENT SHALL BE CHECKED BY A CERTIFICD MECHANIC AND

 DETERMINED TO BE RUNNING IN PROPER COMPILION FOR TO OPERATION,

 1. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES

 LETTER HEIGHT VISIBLE MEART THE ENTRANCE OF CONSTRUCTION SITE THAT

 DENTIFIES THE FOLLOWING IN PROPER COMPILION ENCONCHMENT PERMIT

 FOR SIGN FROM MORADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF

 REQUIRED.

 ALL MONTH SENDAM WITH AND PROPERTY OF OTHER APPLICABLE AGENCY IF

 A MINIME SENDAM WITH AND PROPERTY OF ONE PROMITED.

 A MINIME SENDAM WITH AND PROPERTY OF ONE PROMITED

- TOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.

 A. 15 MILES PER HOUR (MPH) SPEED LIMIT

 B. S IMINUTES MANIMUM IDLING TIME OF VEHICLES

 C. TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT ISSTROT REGORDED.

 A. 15 MILES PER HOUR (MPH) SPEED LIMIT

 B. S IMINUTES MANIMUM IDLING TIME OF YEHICLES

 C. TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT ISSTROT REPORT OF THE BAY AREA AIR QUALITY MANAGEMENT ISSTROT REPORT OF THE BAY AREA AIR QUALITY MANAGEMENT OF THE BAY AREA AIR QUALITY MANAGEMENT OF THE BAY AREA SHALL BE COUNDED AND THE ROAD FROM CONDITION CAPABLE OF MINISTANDING WEATHERING.

 10. ALL FILL SLOPES SHALL BE COUNDED AND HERING.

 11. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED SPAEAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED SPAEAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED SPAEAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED SPAEAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED STRUCTURES SHALL BE RESTANDED AS REQUIRED TO THE STANDARD SUB
 13. ALL DITCHES SHALL BE EINSTANDED AS REQUIRED TO THE STANDARD SUB
 BUTTAINE & QUITTALL EROSION CONTROLS E.G. SACKED CONGRETE RIP-RAP, ENERGY DISSPATERS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE QUITTALLS ARE NOT INTO AN EMISTING CREEK OR WATER RIP-RAP, ENROPY DISSPATERS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE QUITTALLS ARE NOT INTO AN EMISTING CREEK OR WATER RIP-RAP ENROPY OF SEPARATIS SHOWN ON THE AUTHORITY CRADING REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE PLAN MUST BE INSTALLED APPROVAL BY THE COUNTY PLANNING OFFICE PROOF TO THAIL APPROVAL BY THE COUNTY PLANNING OFFICE PROOF TO THE SUBJECT SITE TO THE OWNER, SANDARD HILD APPROVAL BY THE COUNTY PLANNING OFFICE PROOF TO THE SUBJECT SITE PLAN MUST BE INSTALLED AND FIRED APPROVED BY THE COUNTY PLANNING OFFICE PROOF TO THE SUBJECT SITE PLAN MUST BE INSTALLED AND FIRED AR

- 16. THE OWNER SHALL PREPARE AND PRESENT A MATERIZATION REPORT TO THE COUNTY INSPECTION FOR REVIEW PIGIN TO OCTOBER 15TH OF EVERY YEAR.

 THE WHER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION AND ANY PERSON PERFORMING CONSTRUCTION AND ANY PERSON PERFORMING CONSTRUCTION AND AND AND ANY PERSON PERFORMING CONSTRUCTION AND AND AND AND CONSTRUCTION PERSON THE DISCHARGE OF POLICY STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLICY STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLICY STABILIZATION AND SEDIMENT CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RICHTOF—WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BIMPS SHALL INCLUDE BUT NOT BE LIMITED TO THE COLOMING.

 ALE OF THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LATODOM / STADING AFEAS.

 B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS, CONTROL PROVIDED ON THE PUBLIC ROAD RICHTOF—WAY.

 C. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND METALIAS ONTO THE PUBLIC ROAD RICHTOF—WAY.

 B. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONTRIUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONTRIUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONTRIUCTION AND SANTA COUNTY FOR DIET. AND SANTA CLORES OF THE AND THE SANTA CLORES ON A YEAR AND OND DATE OF THE SANTA CLORES ON A YEAR AND OND DATE OF THE SANTA CLORES ON A YEAR AND OND DATE OF THE SANTA CLORES ON A YEAR AND OND DATE OF THE SANTA CLORES ON A YEAR AND OND DATE OF THE SANTA CLORES ON A YEAR AND OND DATE OF THE SANTA CLORES ON ANY ENCRESS ON A YEAR AND OND DATE OF THE SANTA CLORES ON ANY ENCRESS. TO A YEAR AND OND DATE OF THE SANTA CLORES ON ANY ENCRESS AN

STORM DRAINAGE AND STORMWATER MANAGEMENT

- DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINGE FACILITIES
 WEDTER SHOWLOW THE PLANS OR NOT AND HE OR HIS SUCCESSOR
 WEDTER SHOWLOW THE PLANS OR NOT AND HE OR HIS SUCCESSOR
 WEDTER SHOWLOW THE PLANS OR NOT AND HE OR HIS SUCCESSOR
 WEDTERS OWNERS ARE RESPONSIBLE OR HE ADOLLOY AND CONTINUED
 MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE
 ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADDIMINE PROPERTY,
 CONSISTENT WITH NPDES PERMIT CASSIZOOB / ORDER NO, R2-Z009-0047
 AND NPDES PERMIT CASSIZOOOMO4/ ORDER NO, 2013-0001-0040.
 DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE
 NOTED ON THE PLANS, THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE
 FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE
 FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE
 OFFICE COLVERTS ARE INSTALLED HE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE
 FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO
 AN OPEN AREA FOR SHEET FLOW.
 JPON INSTALLATION OF DRIEWMY CONNECTIONS, PROPERTY OWNERS SHALL
 PROVIDE FOR THE UNINTERRIPTED FLOW OF WATER IN ROADSIDE DITCHES.
 HE COLLY SHALL HON DEVELOPE SHALL BE RESPONSIBLE
 FOR THE UNINTERRIPTED FLOW OF WATER IN ROADSIDE DITCHES.
 HE COUNTY SHALL HIS PROTECT UNDERGROUND DRIANAGE IMPROVEMENTS AND
 STORMWATER MANAGEMENT FEATURES PRION TO BACKFILL.

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (__WERE) (_WERE NOT) MINOR FIELD CHANGES — MARKED WITH THE STABOL (*). THERE (_WERE) (_WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE STABOL (_

SIGNATURE NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK, A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION,

GEOTECHNICAL ENGINEER OBSERVATION

A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE
GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING
CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE
IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND
GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING
COMPLETION AND RELEASE OF THE BOND.

AS-BUILT PLANS STATEMENT

SHEET INDEX

- COUNTY COVER SHEET, VIONITY MAP, PROJECT INFO ALEVE'S
- CI OVERALL CIVIL KEY FLAN
- CZ GRADING AND DRANAGE PLAN (DRIVEWAY)
- CS GRADING AND DRAINAGE PLAN (BUILDING SITE)
- GRADING AND DRAINAGE PLAN (UPPER PROPERTY)
- GRADING AND DRAINAGE PLAN (LOWER PROPERTY)
- DRIVEWAY CENTERLINE PROFILE C7 - C8 SITE SECTIONS
- DRIVEWAY SECTIONS CML DETALS COUNTY BAY AND EROSION CONTROL DETAILS
- COUNTY BMF AND EROSION CONTROL DETAILS
- AREA CALCULATIONS
- A4 A5 HOUSE ELEVATIONS
- AB A7 HOUSE SECTIONS
- GUEST HOUSE FLOOR FLAN AND SECTIONS
- GUEST HOUSE ELEVATIONS
- GARAGE / REC ROOM FLOOR PLAN AND SECTION

COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

COUNTY OF SANTA CLARA
LAND DEVELOPMENT ENGINEERING & SURVEYING

COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS

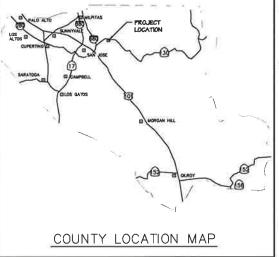
NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT-OF-WAY WITHOUT AN ENCROACHMENT PERMIT, INCLUDING THE STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.

ISSUED BY: ______ DATE:_

ENCROACHMENT PERMIT NO. ___

- GARAGE / REC ROOM ELEVATIONS L1 - L2 LANDSCAPE PLANS
- 1 2 SEPTIC PLAN AND DETAILS

PIPE 2" DIA



VILLA EAST

TOYON

O Millard McConan

EASTSIDE

uare Mali

WARMSPRINGS

- 680 NORTH

- 680 BOUTH

PROJECT NOB HILL CLAYTON NORTH VICINITY MAP NOT TO SCALE CONSULTANTS OWNER: JUDY HART AND KEYN AITKEN JUDY HART AND KEVI 10066 JUDY AVENUE CUPERTINO, CA 96014 (408) 366-1520

NEAREST CROSS STREET MT. HAMILTON ROAD

CIVIL ENGINEER; MILLS YOUNG ENGINEERING 241 SUNNY PATCH LANE BEN LOMOND, CA 95005 (851) 556-8420

APCHIDICT: RICK HARTMAN, ARCHITECT HOMETEC ARCHITECTURE

GEOTECHNICALI
ASSOCIATED TERRA CONSULTANTS
1735 DELL AVENUE,
CAMPBELL, CA 95008 (408) 866-1067

GURVEYOR TEM LAND SURVEYORS BANTA CLARA, CA 95050 (408) 615-8855

SEPTIC SYSTEM DESIGNER:

SCOPE OF WORK

EXISTING TREE PROTECTION DETAILS EAISTING TIRE PROVIDED THE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDING WHITHE TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDINGE WITH THE TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDING WHITH THE PRESERVATION PLAN CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ACHEMED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.

FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.

FREE FENCING SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.

TREE FENCING SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.

TREE FENCING SHALL BE NANTAINED INFOCULTY FOR DAMAGE AND PROPER CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER CONSTRUCTION ACTIVITIES, AND REASON IN PRACE UNTIL THE FINAL INSPECTION.

A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHAM INTO THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FINE COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FINE COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FINE COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FINE COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FINE COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FINE COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FINE COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FINE COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FINE COUNTY PLANNING OFFICE, SHALL BE SECURELY ATTACHED TO THE FINE COUNTY PLANNING OFFICE, SHALL BE SECURELY ATTACHED TO THE FINE COUNTY PLANNING OFFICE, SHALL BE SECURELY ATTACHED TO THE FINE THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE EROSION CONTROL. PLAN. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE DESIGN OF THE EROSION CONTROL. PLANS AND ANY MODIFICATIONS OF THE EROSION CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSION CONTROL PLANS TO PREVENT LILLET DISCHARGES FROM THE SITE DURING

- ANS TO PREVENT LILIOT DISCHARGES FRUM INE DITE DUBLING
 NSTRUCTION.

 1. CONSTRUCTION OF A NEW 15' MIDE DRIVEWAY AND RETAINING
 WALL IN PLACE OF AN EXISTING 10' MIDE DIRT DRIVEWAY FROM
 MOUNT HAMILTON ROAD.

 2. CONSTRUCTION OF A TOWN TO SO FT MANN RESIDENCE WITH
 CONSTRUCTION OF A TOWN TOWN TOWN TOWN TOWN TOWN
 A 1198 SQ FT OUSET TOWN TOWN TOWN ABOVE, AND
 A 1198 SQ FT OUSET HOUSE.

 3. CONSTRUCTION OF A 420 LF LEACHFIELD.

 4. NEW UNITLY CONNECTIONS FOR WATER, ELECTRICITY, AND
 INTERNET ALONG EXISTING DIRT ROAD.

LINE/SYMBOL LEGEND

- CATCH BASE

- iia.aa

SLOPE ... - SLOPE OF HARD SURFACE - GENERAL DRAINAGE FLOW - SPOT ELEVATION - PARCEL BOUNDARY BANITARY SEWER PIFELINE DRANAGE PIPE NEW MAJOR CONTOUR EXISTING MAJOR CONTOLE EXISTING MINOR CONTOUR RETAINING WALL BACKDRA - LIMITS OF PIE

ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS OF APPROVAL PERTAINING THERETO, DATED

FILE(S) NO. 7921-170R (R1) -17G (R1)

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

CHRISTOPHER I FREITAS

No. C72007

EXPIRATION DATE

R,C,E, NO.

3-31-2018 EXPIRATION DATE

RESIDENCE SAN JOSE, CA F AND KEVIN AI 1-67-003 VIEW RD, SAN JUDY HART ANI APN: 612-67-C AITKEN

ILLS YOUNG
IGINEERING
Est I Samp Patch Lance
Ben Down

MILLS

HART 65 PEDRO



STANDARD IEET, VICNITY ROJECT INFO HEET, VIC

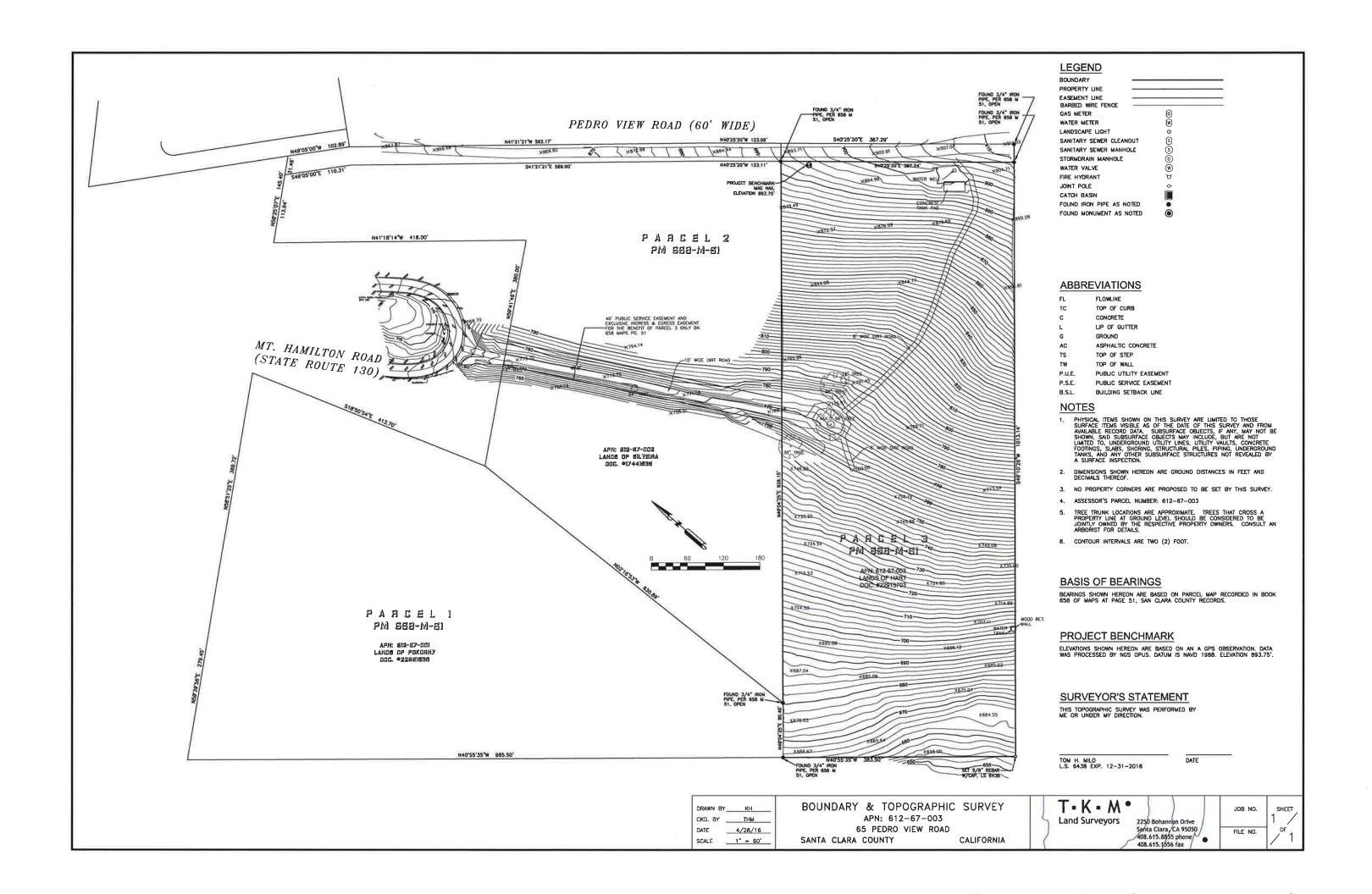
COUNTY OVER SH ಳ COVE SCALE: NOT TO SCALE JAY

T1 52 SHEET

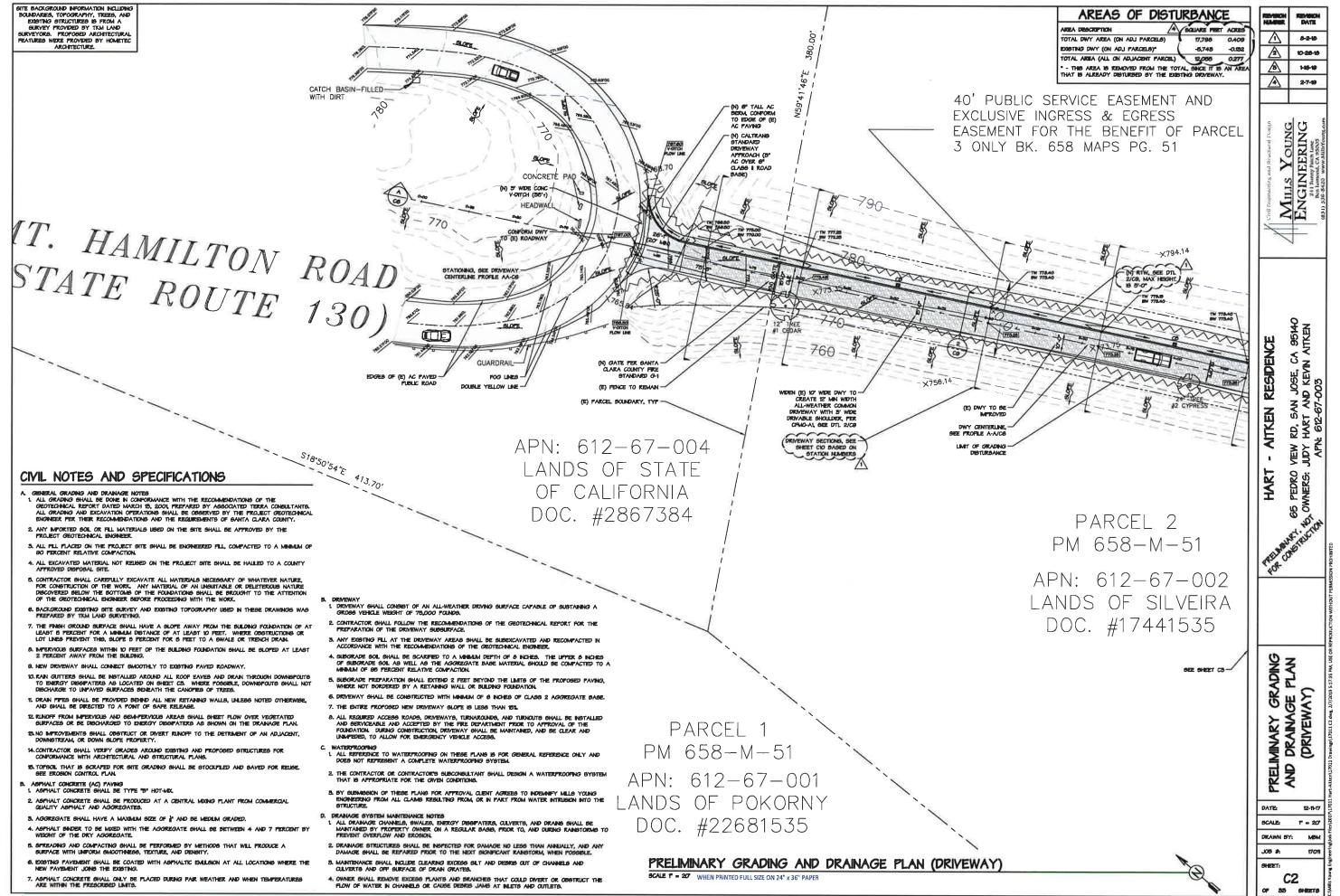
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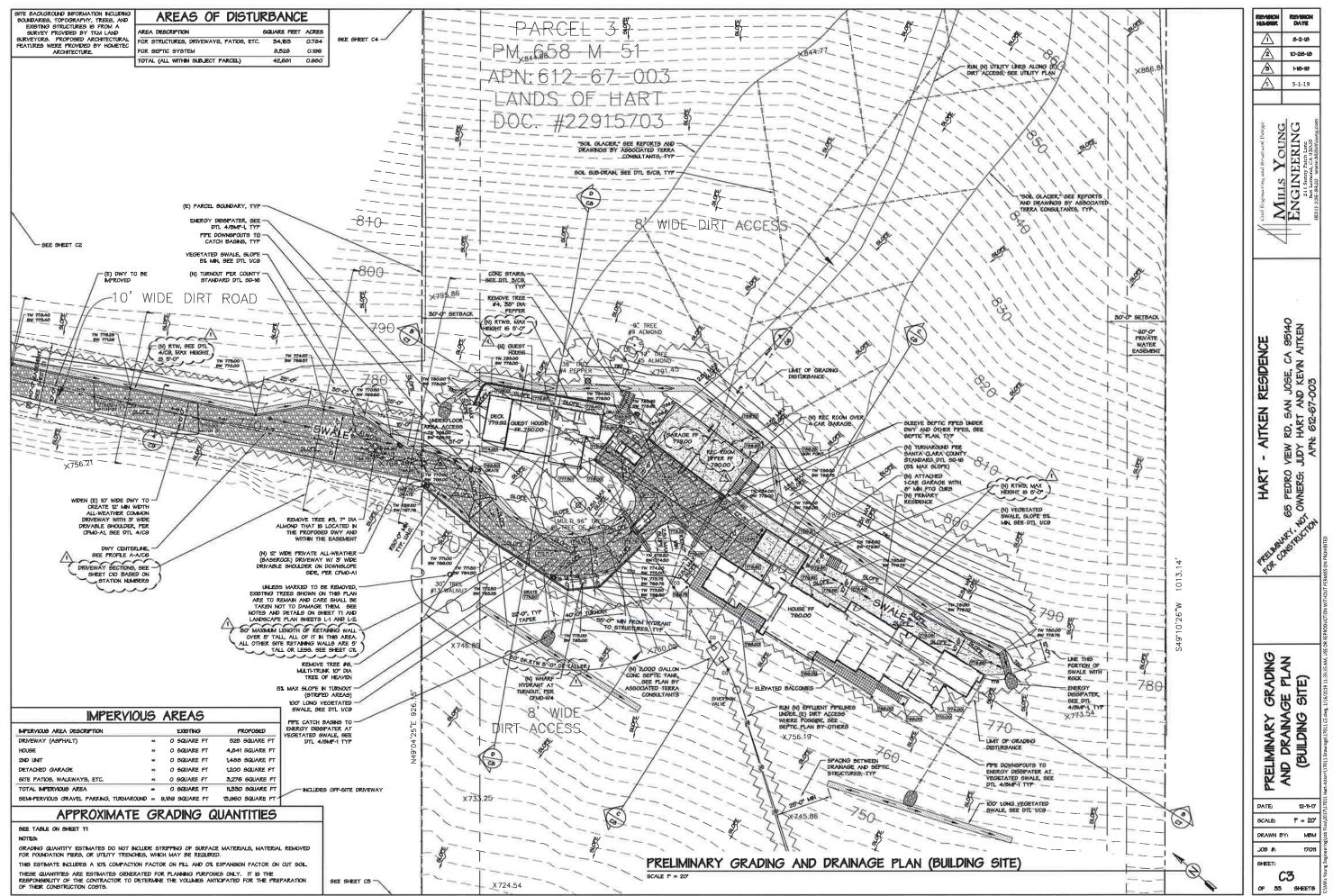
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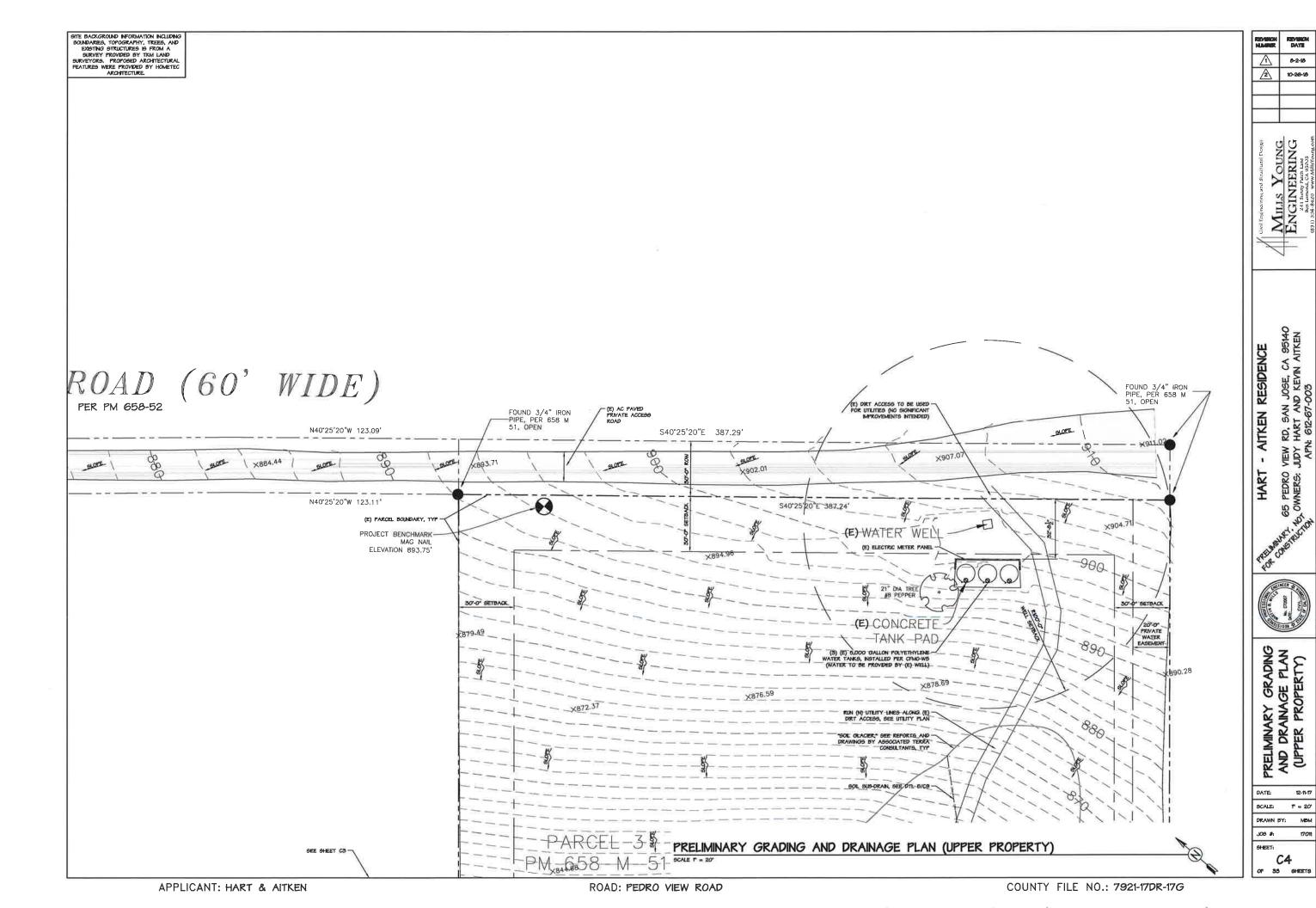
APPLICANT: HART & AITKEN ROAD: PEDRO VIEW ROAD COUNTY FILE NO.: 7921-17DR-17G

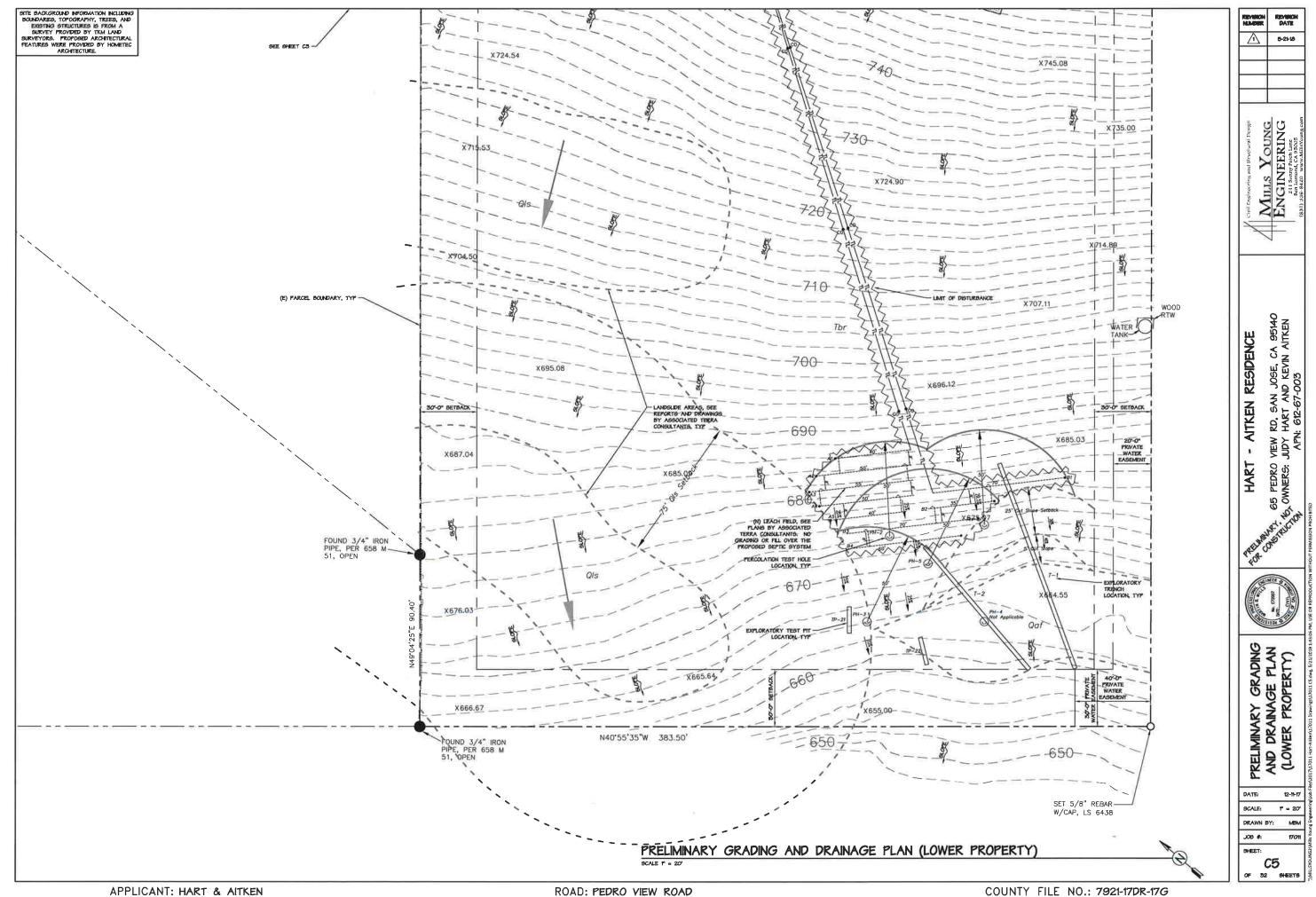


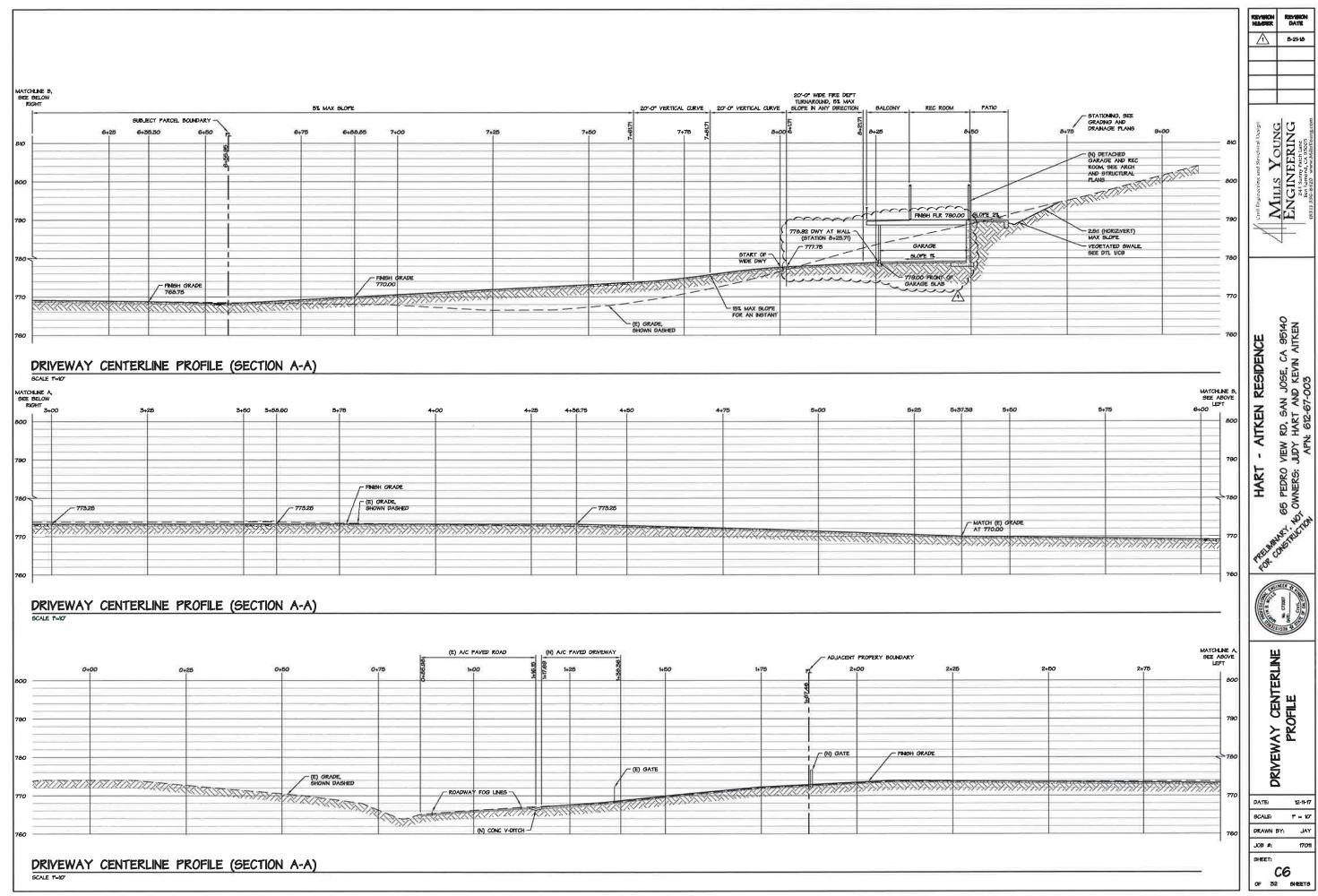
SITE BACKGROUND INFORMATION INCLUDING REVIDION CIVIL NOTES AND SPECIFICATIONS BOUNDARES, TOPOGRAPHY, TREES, AND EXISTING STRUCTURES IS FROM A SURVEY PROVIDED BY TKM LAND SURVEYORS. PROPOSED ARCHITECTURAL A. GENERAL 1. THE CONTRACTOR SHALL EXAMPLE CAREFULLY THE SITE OF WORK CONTEMPLATED, THE PLANS, AND SPECIFICATIONS; THEREFORE, THE SUMMERSION OF A BID SHALL BE CONCLUSIVE EVIDENCE THAT THE CONTRACTOR HAS INVESTIGATED AND IS SATISHED AS TO THE CONDITIONS TO BE ENCOUNTERED, THE CHARACTER, AND AS TO THE REQUIREMENTS OF THE PLANS AND SPECIFICATIONS. 5-21-18 PEATURES WERE PROVIDED BY HOMETEC ARCHITECTURE. 2. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE LATEST EDITION OF THE CALIFORNA BULDING CODE, THE CALIFORNA BULDING CODE STANDARDS, AND LOCALLY ENFORCED CODES AND AUTHORITIES. ALL ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE NOTALLED, APPLIED, VIEW CONNECTED AS PRECITED BY THE MANUFACTURER'S LATEST WRITTEN SPECIFICATIONS EXCEPT WHERE NOTED. DIMENSIONS, DETAILS, NOTES, AND/OR SYMBOLS NOTED AS "TYPICAL" SHALL APPLY IN ALL LIKE CONDITIONS UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. WHERE FEATURES OF THE CONSTITUTION ARE NOT FILLY SPECIFIED, THEIR CONSTITUTION SHALL BE DENTICAL OR SHALAR TO SHALAR FEATURES. CONTACT ENGINEER FOR CLARIFICATION AS NEEDED. FOUND 3/4" IRON PIPE, PER 658 M 51, OPEN MILLS YOUNG ENGINEERING EX I SIRIN PRICE BEN LOWNER, CA 980005 FOUND 3/4" IRON PIPE, PER 658 M 51, OPEN ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER DIMENSIONS SCALED FROM THE FLANS. DO NOT SCALE DRAWNINGS WITHOUT SPECIAL DIMENSIONA, THE ENGINEER. CONTACT ENGINEER FOR ANY DESPRED CLARIFICATION REGARDING DIMENSIONA, PEDRO VIEW ROAD (60' WIDE) N41'21'21'W 592 17' STABILITY OF EXCAVATIONS, BRACING, AND FORMWORK SHALL SE THE SOLE RESPONSIBILITY OF THE CONTRACTOR WHO SHALL DESIGN AND PROVIDE WHATEVER IS REQUIRED FOR THE PROTECTION OF LIFE, STRUCTURES, AND PROVERTY. ALL EXCAVATIONS AND SHORMS SHALL MEET THE REQUIREMENTS OF CALIFORMA OCCUPATIONAL SAFETY, AND HEALTH (CAL OSHA) STANDARDS, LATEST EDITION. NO LINSUPPORTED CUTS ARE TO BE MADE ADJACENT TO IMPROVEMENTS. \$41'21'21'F 589.90 \$49'05'00'E 110.31 I. THE CONTRACTOR CHALL BE SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, AND PROCEDURES ENPLOYED IN THE PERFORMANCE OF WORK IN, ON, OR ABOUT THE JOB SITE. THE CONTRACTOR SHALL COORDINATE AND VERIFY ALL WORK PERFORMED BY SUBCONTRACTORS. THE ENGINEER IS NOT RESPONSIBLE FOR ACTS OR ONE-SHORNS OF CONTRACTORS OR SUBCONTRACTORS OR FALLIRE BY THEM TO CARRY OUT WORK IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS. PROJECT 7. ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK ON, OR RELATED TO, THIS PROJECT SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED, AND SHALL COMPLY WITH THE STATE OF CALFORMA OCCUPATIONAL SAFETY AND HEALTH (CAL OSHA) STANDARDS, LATEST EDITION, AND WITH ANY AND ALL OTHER APPLICABLE STATE AND/OR LOCAL SAFETY REGULATIONS. THE CONTRACTOR N41'18'14"W 418.00' AND ALL OTHER APPLICABLE STATE AND/OR LOCAL SAFETY RESOLUTIONS. THE CANTIKACTOR AGREES: 10 ASSUME SOLE AND COMPLETE RESPONDENTLY FOR JOS SITE SAFETY CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, THAT THIS REGULERANT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO MORMAL WORKING HOURS, AND TO DEPEND, INDEMNITY, AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN PM: 658-M=51 APN: -612--67-003 8. THE CONTRACTOR SHALL EXAMBE AND CHECK ALL EXISTING CONDITIONS, DIMENSIONS, LEVELS, AND MATERIALS AND NOTIFY THE OWNER, ARCHITECT, OR BIGINEER OF ANY DISCREPANCES BEFORE PROCEEDING WITH THE WORK. SHOULD A DISCREPANCY FROM THE CONTRACT DOCUMENTS THAT AFFECTS THE WORK APPEAR IN THE SPECIFICATIONS OR DEARWINGS, OR IN THE WORK DONE BY OTHERS, THE ARCHITECT OR ENGINEER SHALL BE NOTIFED AT ONCE FOR INSTRUCTIONS FORM THE ARCHITECT OR ENGINEER, THE CONTRACTOR PROCEED WITH THE AFFECTED WORK, WITHOUT INSTRUCTIONS FROM THE ARCHITECT OR ENGINEER, THE CONTRACTOR SHALL MAKE GOOD ANY RESILTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE ARCHITECT OR ENGINEER, SHOULD CONNECT ON ENGINEER, SHOULD CONNECT ON ENGINEER, SHOULD BE ARCHITECT OR ENGINEER. SHOULD CONNECT ON THE SATISFACTION OF THE ARCHITECT OR ENGINEER, SHOULD CONNECT ON THE SATISFACTION OF THE ARCHITECT OR ENGINEER. SHOULD CONNECT ON THE SATISFACTION OF THE ARCHITECT OR ENGINEER. SHOULD AND THE ARCHITECT OR ENGINEER HAS DEEN OMITTED, THE CONTRACTOR IS DESIRED TO MAYE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION METHOD INVOLVED, UNLESS A WITTEND DECISION OF THE ARCHITECT OR ENGINEER HAS DEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS. STANDS OF HART hoc_#22915703 RESIDENCE MT. HAMILTON ROAD (STATE ROUTE 130) RD, SAN HART ANI 1: 612-67-0 AITKEN 10. THE CONTRACTOR SHALL DO ALL CLITTING, HTTING, OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS HT TOGETHER PROPELY. AND SHALL NOT ENDANGER ANY OTHER WORK BY CLITTING, OR OTHERWISE ALTERING, THE TOTAL WORK OR ANY PART OF IT. CONTRACTOR SHALL EXERCISE CARE TO PROTECT ANY EXISTING CONSTRUCTION SO THAT INTEGRITY AND PINSH ARE NOT IMPARED. ALL PATCHING, REPARING, AND REPLACING OF MATERIALS AND SURFACES, CLIT OR DAMAGED IN EXECUTION OF THE WORK, SHALL BE DONE WITH APPROPRIATE MATERIALS SO THAT THE SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURFACES SMERAR SURFACES. \$18.50.54.E 413.70. APN: 612-67-004 LANDS OF STATE OF CALIFORNIA 65 PEDRO HART PARCEL 2 11. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMMY FOR LIGHT FIXTURES, ELECTRICAL LINTS, PLLMSING FIXTURES, TOLET ROOM ACCESSORIES, HEATING EQUIPMENT, AND ALL OTHER ITEMS RECURRING SUPPORT. PM 658-M-51 APN: 612-67-002 LANDS OF SILVEIRA DOC. #17441535 LINE/SYMBOL LEGEND LIMITS OF DISTURBANCE - SHUT OFF VALVE **=** - CATCH BASIN PARCEL 1 SLOPE - SLOPE OF HARD SURFACE PM 658-M-51 - YEGETATED SWALE - LANDSLIDE BOUNDARY - SEPTIC LEACH LINE - RETAINING WALL BACKDRAIN - LIMITS OF DISTURBANCE - FRE HYDRANT WATER LINE - WATER FIFTLINE - WATER FIFTLINE - WATER FIFTLINE - CABLE TELEVISION - TELEPHONE SHIP - S APN: 612-67-001 BLOPE - GENERAL DRANAGE FLOW DOC. #22681535 60.00 - SPOT ELEVATION ABBREVIATIONS (USED ON C SHEETS) ANCHOR BOLT DRAWING POUNDS PER SQUARE INC EXISTING PRESERVATIVE TREATED OVERALL CIVIL KEYPLAN ASPHALT CONCRETE EDGE NAILING AMERICAN CONCRETE ENGR ENGINEER QUATRNRY ARTIFICIAL FIL QUATERNARY LANDSLIDE ALTERNATE FINISH FLOOR RDWD REDWOOD AMERICAN PLYWOOD FLOOR REINF REINFORCEMENT FOUNDATION ASSOCIATION REQU REQUIRED ARCHITECT FACE OF CONCRETE FACE OF STUD ROW RIGHT OF WAY ALL THREAD ROD RETAINING WALL BLK(G) BN BP BRG BW CB CBC CLC COLC CONC CONC CONT DBL DF DIA DTL BLOCK (ING) FRAMING S.A.D. SEE ARCHITECTURAL BOUNDARY NALING FOOT OR FEET BASE PLATE FOOTING SOLID BLOCKING BOTTOM OF WALL SQUARE FOOT GLUED LAMINATED CATCH BAGIN CALIFORNIA BUILD HOI DOWN SIM BPEC 6MLAR HDR HEADER **OPECIFICATIONS** CENTER LINE HORIZ HORIZONTAL SQ STD SQUARE DATE 12-11-17 HEIGHT STANDARD N40°55'35"W 985.50' SCALE: T' = 60 CLEAR CLEARANCE INTERIOR STL SKYLT STEEL DRAWN BY: MBM COLLIMN MACHINE BOLT T&B TOP AND BOTTOM CONCRETE MALLEABLE IRON TONGUE AND GROOVE JOB # 1701 CONNECTION MINIMUM TOP OF CONCRETE OVERALL CIVIL KEYPLAN CONTINUOUS TOP OF WALL DOUBLE ON CENTER TYPICAL C1 DOUGLAS FIR PLATE OR PROPERTY LINE UBC PLYWOOD UNO UNIFORM BUILDING CODE UNLESS NOTED OTHERWIS OF 32 SHEETS DETAIL POUNDS PER SQURE FOOT

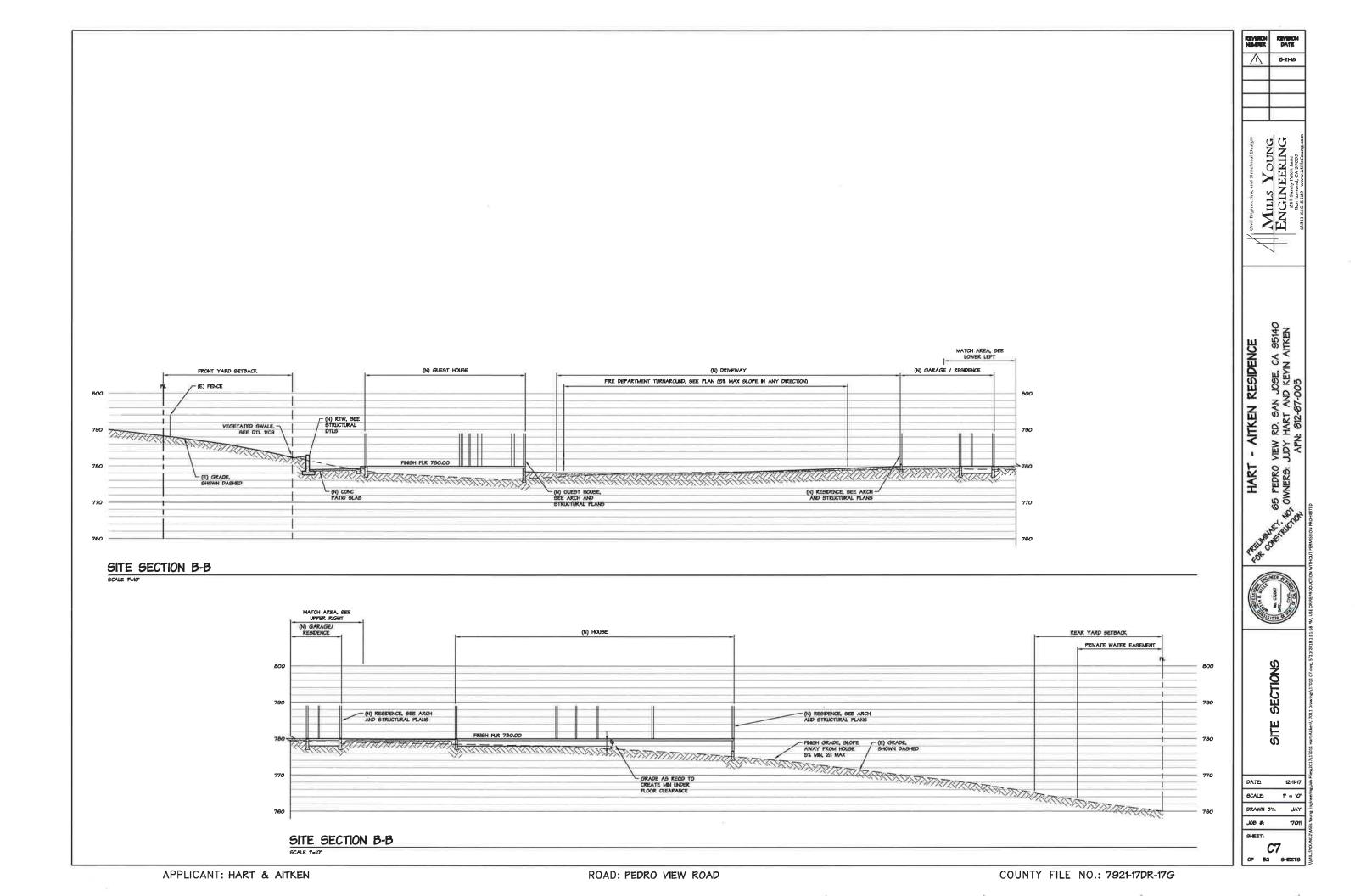


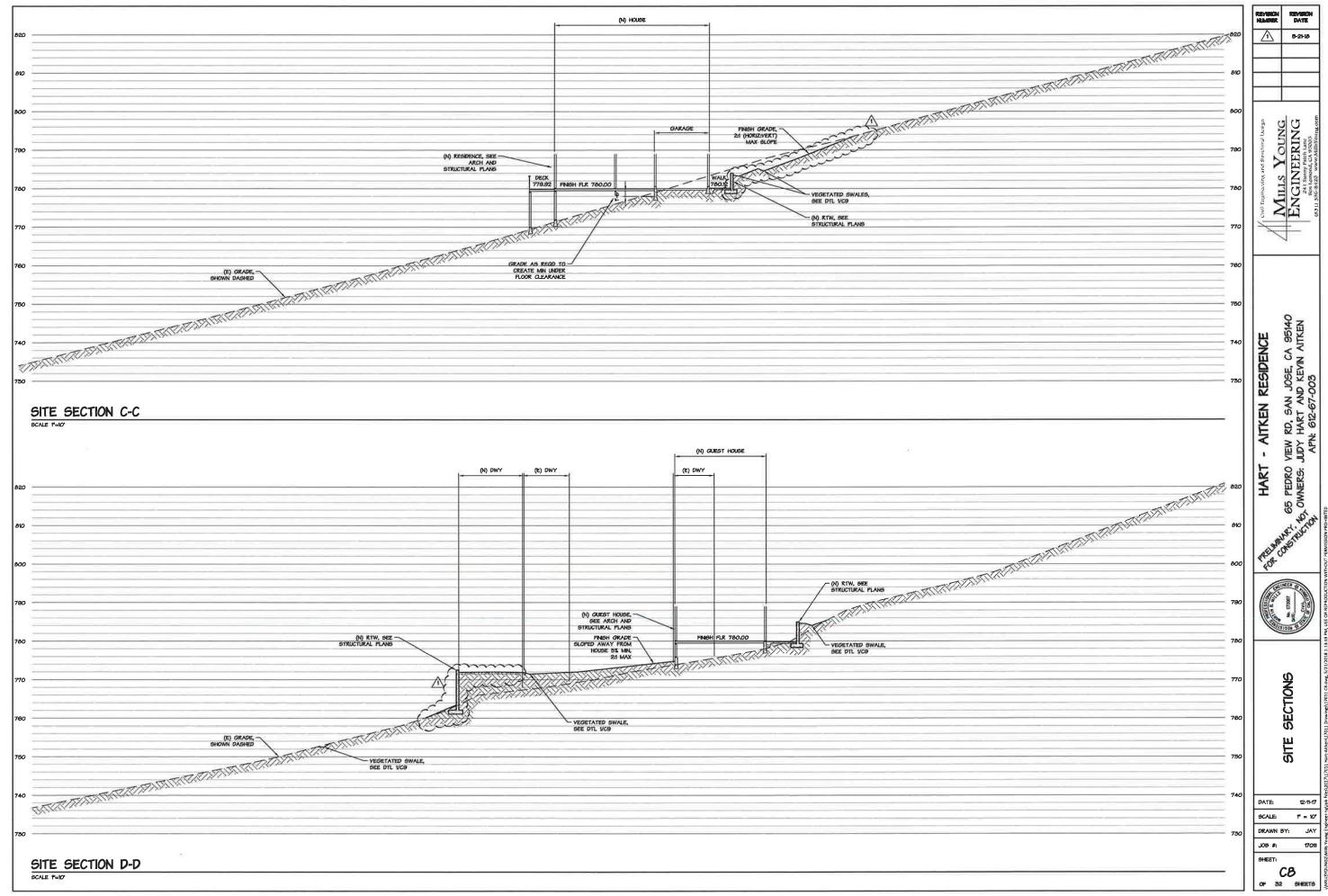


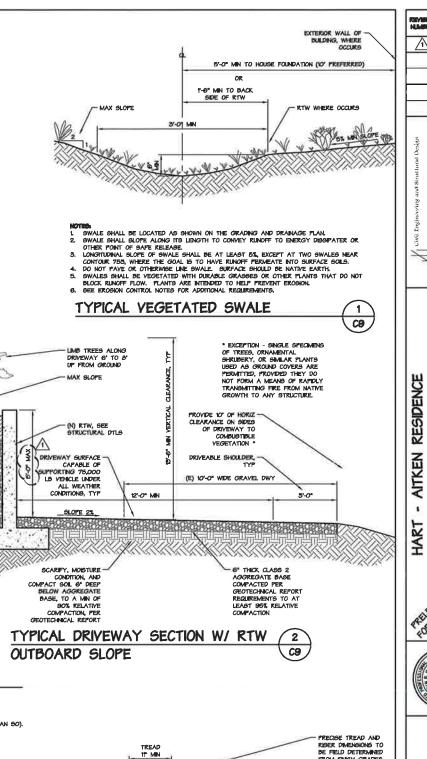












STAIR NOTES

6" THICK CLASS 2

LEAST 96% KELATIVE

COMPACTED PER GEOTECHNICAL REPORT REGUREMENTS TO AT

2. STAIR CONSTRUCTION SHALL CONFORM WITH CBC SECTION 1009.

CO

5'-0"

- 3. MINIMUM CLEAR WIDTH OF STAIRWAY SHALL BE 3'-O" (FOR OCCUPANT LOADS LESS THAN 50).
- 4. MINIMUM HEADROOM CLEARANCE SHALL BE 6'-8".

* EXCEPTION - SNIGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBERY, OR SMILAR FLANTS USED AS GROUND COVERS ARE FERMITTED, PROVIDED THEY DO NOT FORM A MEANS OF RAPPLY TRANSMITTING FIRE FROM MATIVE GROWTH TO ANY STRUCTURE.

PROVIDE 10' OF HORIZ = CLEARANCE ON SIDES OF DRIVEWAY TO

DRIVEABLE SHOULDER -

(E) 10'-0" WIDE GRAVEL DWY

COMBUSTIBLE

LIMB TREES ALONG DRIVEWAY 6' TO 8' UP FROM GROUND

(n) rtw, see Structural dtls

SLOPE 2%

12'-0" MIN

TYPICAL DRIVEWAY SECTION W/ RTW

MAX SLOPE

DRIVEWAY SURFACE -

LB VEHICLE UNDER
ALL WEATHER
CONDITIONS, TYP

SCARIFY, MOISTURE

BASE, TO A MIN OF

INBOARD SLOPE

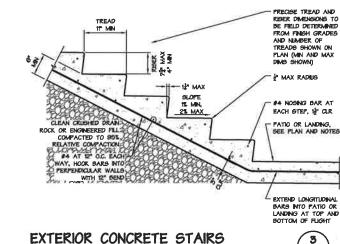
COMPACTION, PER

CONDITION, AND COMPACT SOIL 6" DEEP BELOW AGGREGATE

CAPABLE OF

cons

- 5. MAXIMUM STAIR RISER HEIGHT SHALL BE 7 (GROUP R-3 OCCUPANCY).
- 6. MINIMUM STAIR RISER HEIGHT SHALL BE 4".
- 7. MINIMUM TREAD DEPTH SHALL BE 10" OR θ^a AT NARROW SIDE OF WINDER TREAD (GROUP R-5 OCC.).
- 8. A NOSING NOT LESS THAN \$ BUT NOT MORE THAN \$ SHALL BE PROVIDED ON STAIRWAYS WITH SOLD RISERS WHERE THE TREAD DEPTH IS LESS THAN IT.
- 9. STAIR TREADS AND RISERS SHALL BE OF LINIFORM SIZE AND SHAPE. TOLERANCE BETWEEN LARGEST AND SMALLEST TREADS OR RISERS IN ANY FLIGHT OF STAIRS SHALL BE 🔭
- 10. RESERS SHALL BE SOLD AND VERTICAL OR SLOPED UNDER THE TREAD ABOVE FROM THE UNDERSIDE OF THE NOSING ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES FROM VERTICAL.
- LEADING EDGE (NOSINGS) OF TREADS SHALL PROJECT NOT MORE THAN 1/2 BEYOND THE TREAD BELOW AND ALL PROJECTIONS OF THE LEADING EDGES SHALL BE OF UNIFORM SIZE, INCLIDING THE LEADING EDGE OF THE FLOOR AT THE TOP OF A FLIGHT.
- 12. THE WIDTH AND DEPTH OF LANDINGS SHALL NOT BE LESS THAN THE WIDTH OF STARWAYS THEY SERVE. THE DEPTH OF LANDING IN THE DIRECTION OF TRAVEL NEED NOT EXCEED 4-0" WHERE THE STARWAY HAS A STRAIGHT KIIN.
- 13. THE WALKING SURFACE OF THE STAIRWAY SHALL HAVE A GLIP RESISTANT FINISH AND SHALL BE SLOPED AS SHOWN TO PREVENT WATER FROM ACCUMULATING ON THEM.
- A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE GREATER THAN 12"-O" SETWEEN FLOOR LEVELS OR LANDINGS.
- 15. STAIRWAYS SHALL HAVE HANDRALS ON EACH SIDE AND SHALL COMPLY WITH CBC SECTION 1012, UNLESS EXCEPTED IN CBC SECTION 1008-12.



EXTERIOR CONCRETE STAIRS

JOB #: HEET: 32 SHEETS

C9

5-21-18

REVERON DATE

MILLS YOUNG ENGINEERING 241 Samp Patch Lane fen Loncott, CA 95000

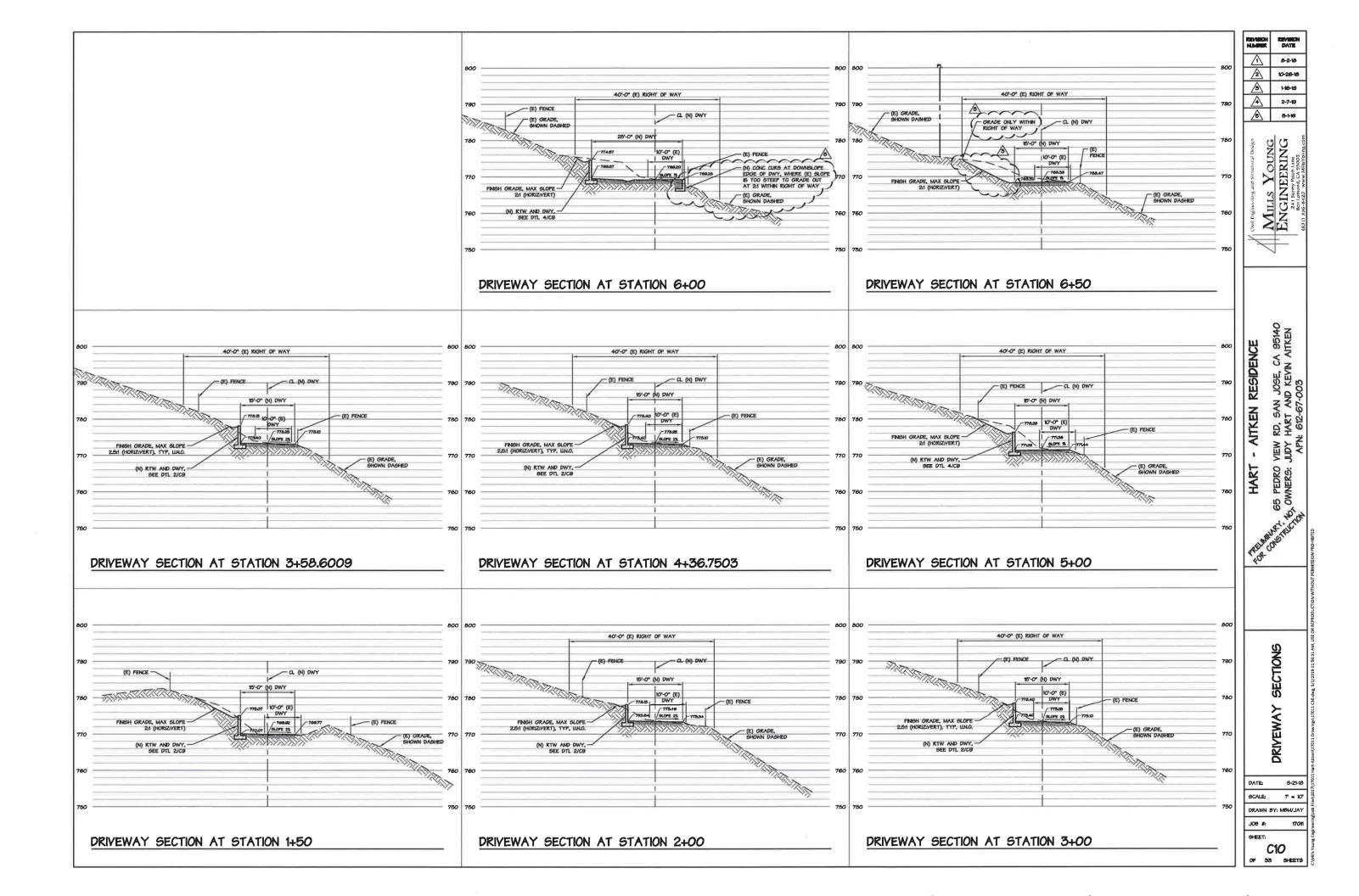
VIEW RD, SAN JOSE, CA 95140 JUDY HART AND KEYIN AITKEN APN: 612-67-003 RESIDENCE AITKEN

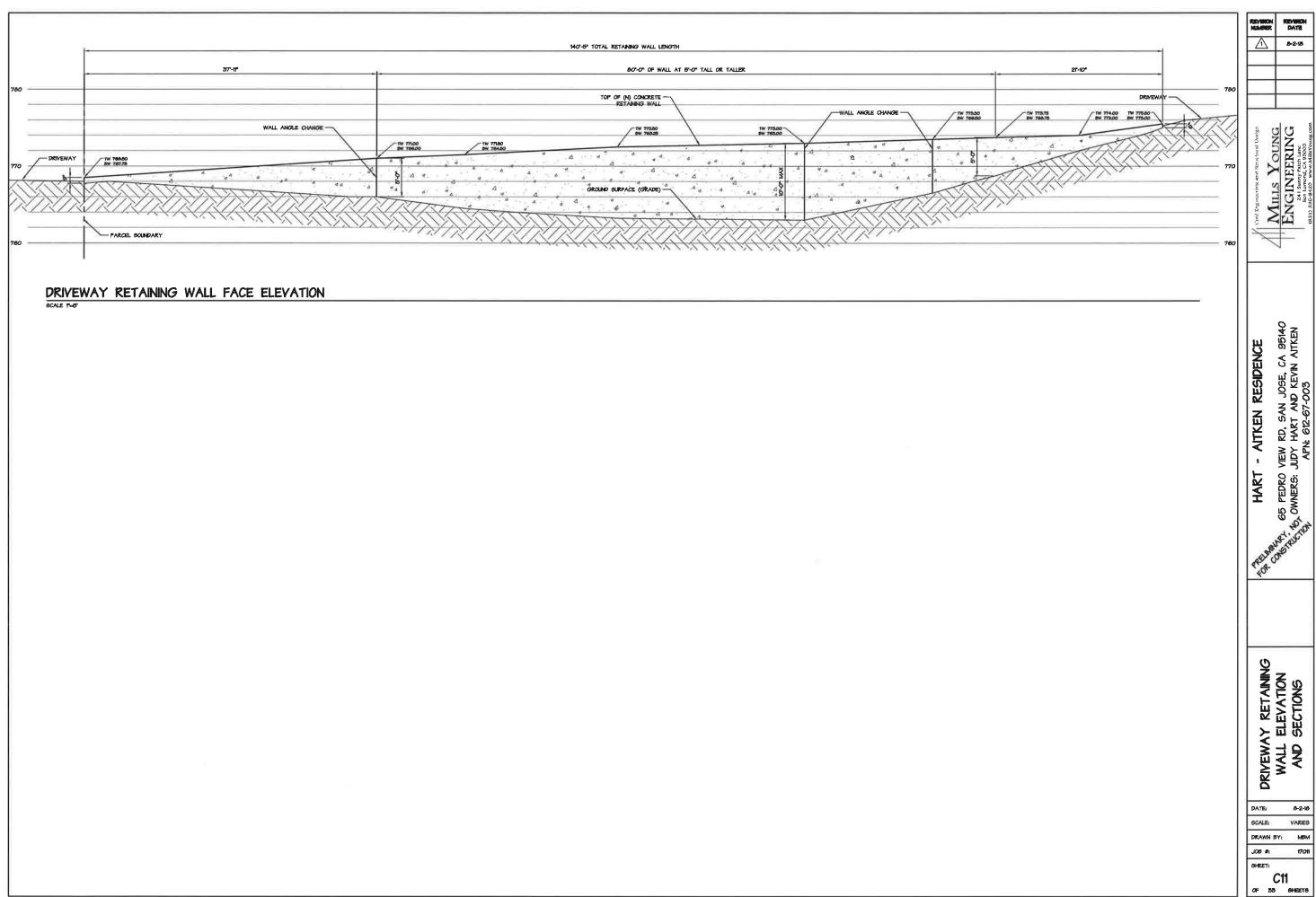
65 PEDRO

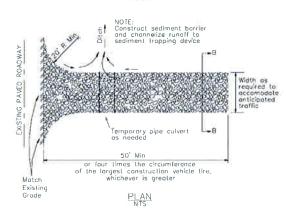


Û DETAIL CIVIL

DATE 12-11-17 3CALE: VARIES DRAWN BY: мвм 170tl **C9**







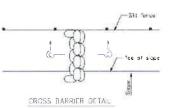
NOTES

Construct the length of each seath in that the change is bose securion along the reach does not exceed 1/3 the height of the lines borrier, in no cose shall the reach regist exceed 200.

May reach = 500 (See hate 1)

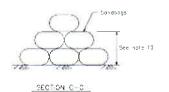
- 2. The last 0'-0" of fence shall be lurned up slope 1. Since dimensions are naming
- 4. Demander may very to fit field condition

- Stokes to overlap and lense facility to feld ground each stake one full turn. Secure for the files with 4 stepter.
- 4. Stokes shall be driven rightly logether to prevent patential flow-through of sectment at joint. The tops of the stakes shall be secured with wire.
- di or end slake, lence topic shall be laded ground two stakes one full turn and secured with 4 stages.
- 9. Minimum 4 stopics pel stave. Dimensions shown are typical
- Maintenduce openings shall be constructed in a manner to ensure healthcall remains busined qit furiou.
- 12. Jaining sections shall not be placed of sump lacotions
- 13. Snorthing year and layers show he offset to minimum group



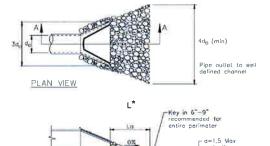
LEGEND

Tamaga books





Velocity Dissipation Devices



SECTION A-A

* Length per ABAG Design Standards

2

Silt Fence

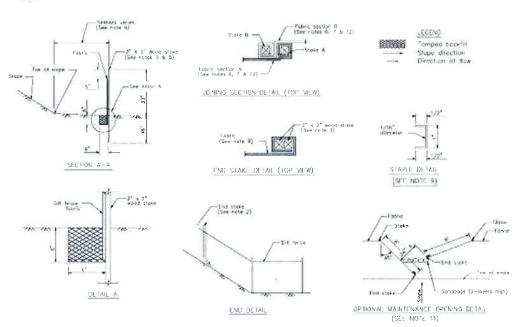
CASQA Detail SE-1

Silt Fence

CASQA Detail SE-1

PLAN

SHIT FENCE



ROAD: PEDRO VIEW ROAD

STANDARD BEST MANAGEMENT PRACTICE NOTES

- 1. Solid and Demolition Waste Management: Provide designated waste collection areas and containers on site away from streets gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or
- 2. Hazardous Waste Management: Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- 3. Spill Prevention and Control: Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8,
- 4. Vehicle and Construction Equipment Service and Storage: An area shall be designated for the maintenance, where onsite maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or
- 5. Material Delivery, Handling and Storage: In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff, Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- 6. Handling and Disposal of Concrete and Cement: When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to
- 7. Payement Construction Management: Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- 8. Contaminated Soil and Water Management: Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sedimen Control Field Manual, 4th Edition (pages C-19 to C-20) or
- 9. Sanitary/Septic Water Management: Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haufers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Brosion & Sediment Control Field Manual, 4th Edition (page C-21) or
- 10 Inspection & Maintenance: Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures in immediately, within 24 hours of the problem being identified

STANDARD EROSION CONTROL NOTES

L. Sediment Control Management

Tracking Prevention & Clean Up: Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.

Storm Drain Inlet and Catch Basin Inlet Protection: All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber roles or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.

Storm Water Runoff: No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.

Dust Control: The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.

Stockpiling: Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures(tarps, straw bales, silt fences, ect.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.

- 2. Erosion Control: During the rainy season, all disturbed areas must include an effective combination of crosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
- 3. Inspection & Maintenance: Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/ or alternative control measures implemented immediately, within 24 hours of the problem being
- 4. Project Completion: Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- 5. It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- 6. Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

APPLICANT: HART & AITKEN

Best Management Practices and Erosion Control Details Sheet 1 County of Santa Clara



COUNTY FILE NO .: 7921-17DR-17G

COUNTY

GLARA

SANTA

RD, SAN JOSE, CA 95140 HART AND KEYIN AITKEN I: 612-67-003

65 PEDRO OWNERS:

RESIDENCE

AITKEN

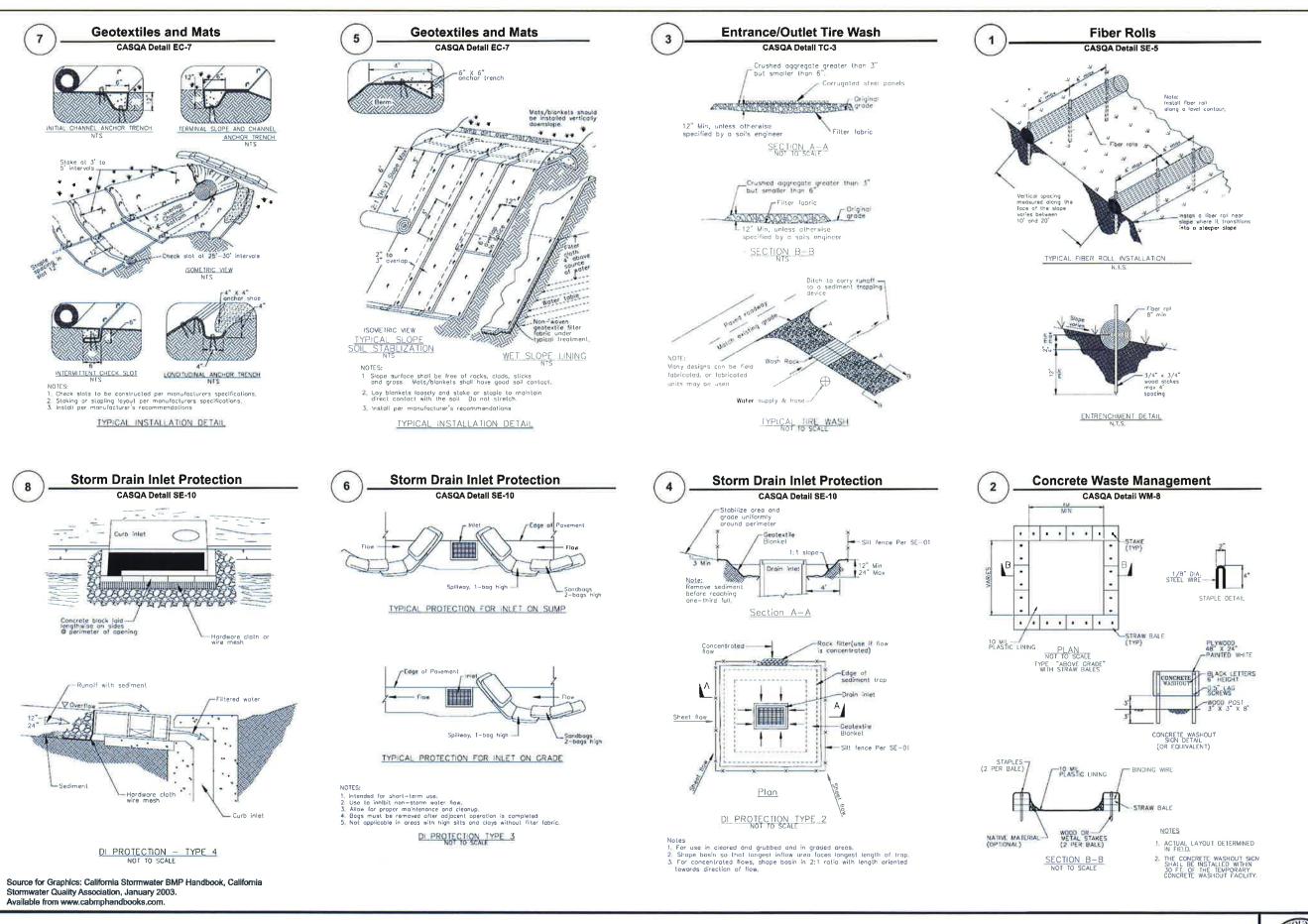
HART

BEST MANAGEMENT PRACTICES AND EROSION CONTROL PETALS

12-11-17 SCALE: NOT TO BCALL

DEAWN BY: COUNTY JOB #1

BMP-1 OF SI SHEET



Best Management Practices and Erosion Control Details Sheet 2 County of Santa Clara



BEST MANAGEMENT PRACTICES AND EROSION CONTROL SCALE NOT TO SCALE DRAWN BY: COUNTY BMP-2 OF SI SHEETS

COUNTY

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