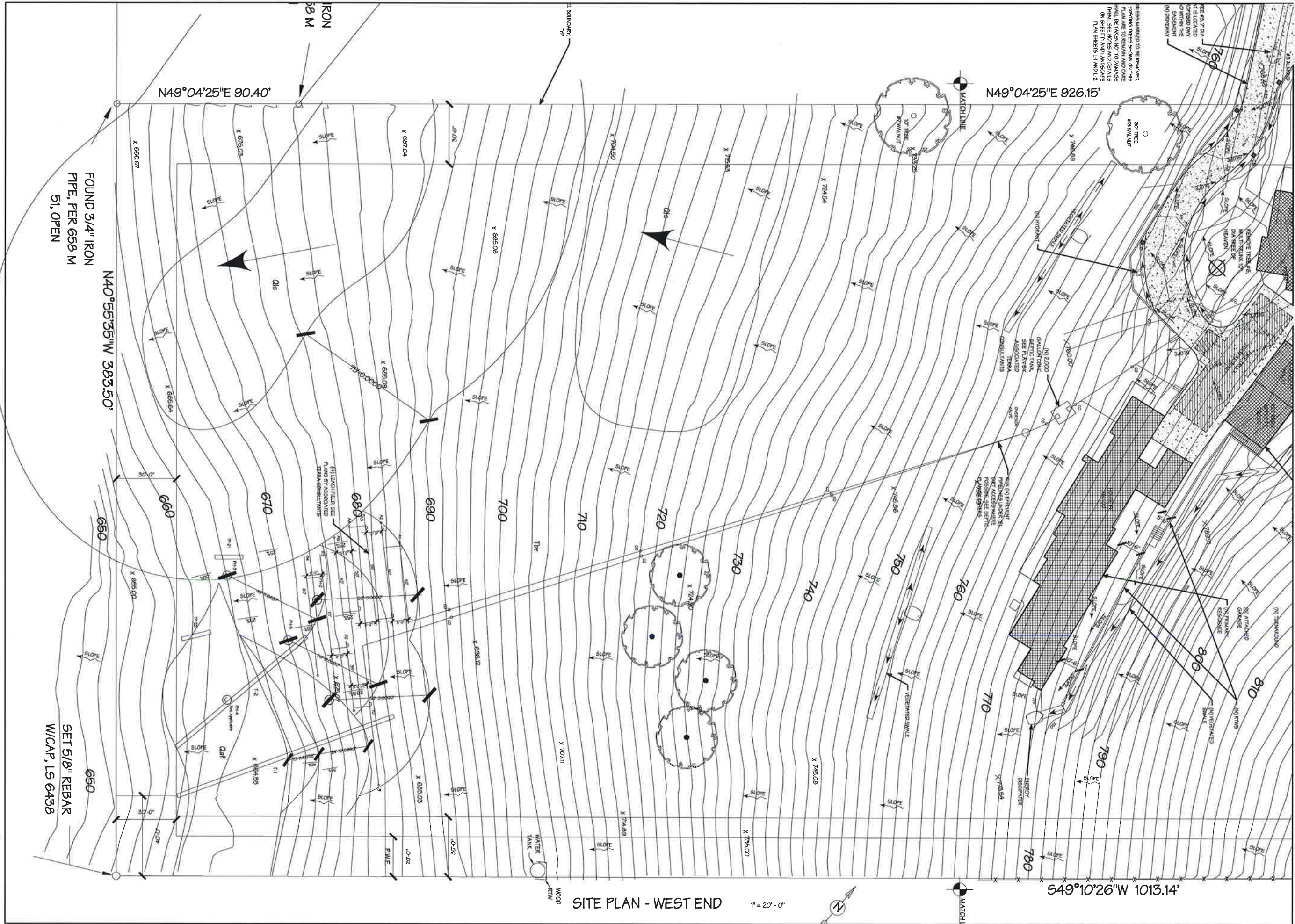


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2-14-17
1" = 60'-0"
RAH
16-021
A-1
Sheets



SITE PLAN - WEST END

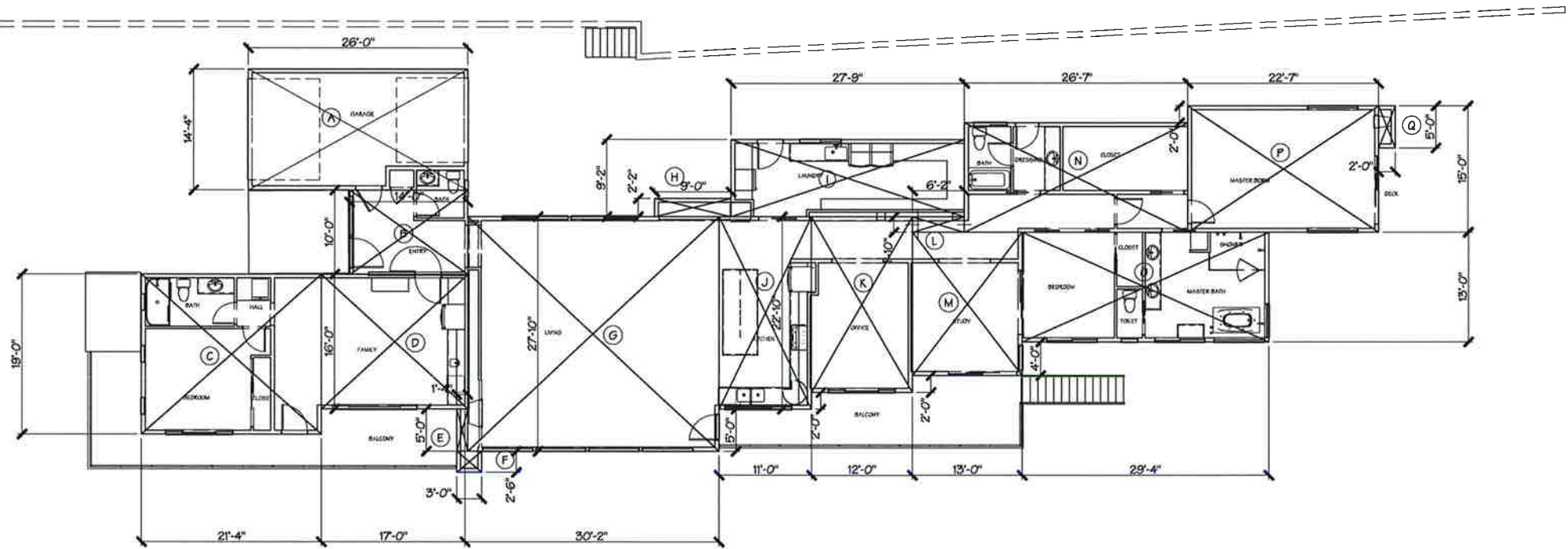
1" = 20' - 0"

REVISIONS	BY
PLANNING 5-16-17	1
PLANNING 5-31-18	2

HOMETEC ARCHITECTURE, INC. 619 NORTH FIRST STREET, SAN JOSE, CA 95112 408-955-5496 HometecArch@aol.com	RICHARD A. HARTMAN A.I.A. 408-955-5496 HometecArch@aol.com
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NEW HOME FOR:	KEVIN AITKEN & JUDY HART 612 - 67 - 003 (MOUNT HAMILTON ROAD) 65 PEDRO VIEW ROAD, SAN JOSE, CA. 95140
---------------	--

Date	2-14-17
Scale	1" = 10' - 0"
Drawn	RAH
Job	16-021
Sheet	A-1.2
of	Sheets



AREA CALCULATIONS

AREA CALCULATION WORKSHEET					
SPACE	DIM	DIM	AREA	AREA/2	TOTAL
A	26.00	14.33	372.58	0.00	372.58
B	14.00	10.00	140.00	0.00	140.00
C	21.33	19.00	405.27	0.00	405.27
D	17.00	16.00	272.00	0.00	272.00
E	1.33	5.00	6.65	0.00	6.65
F	3.00	2.50	7.50	0.00	7.50
G	30.16	27.83	839.35	0.00	839.35
H	9.00	2.16	19.44	0.00	19.44
I	27.75	9.16	254.19	0.00	254.19
J	11.00	22.83	251.13	0.00	251.13
K	12.00	20.83	249.96	0.00	249.96
L	6.16	1.83	11.27	0.00	11.27
M	13.00	17.00	221.00	0.00	221.00
N	26.58	13.00	345.54	0.00	345.54
O	29.33	13.00	381.29	0.00	381.29
P	22.58	15.00	338.70	0.00	338.70
Q	2	5	10.00	0.00	10.00
			0.00	0.00	0.00
GRAND TOTAL					4125.88

INCLUDES ATTACHED GARAGE

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5-16-17

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5-31-18

HOMETEC

ARCHITECTURE, INC.

619 NORTH FIRST STREET, SAN JOSE, CA 95112

RICHARD A. HARTMAN

AIA

408.995.4466

HartmanArch@aol.com

NEW HOME FOR:

KEVIN AITKEN & JUDY HART

612 - 67 - 003 (MOUNT HAMILTON ROAD)

65 PEDRO VIEW ROAD, SAN JOSE, CA. 95140

Date

2-14-17

Scale

1/4" = 1'-0"

Drawn

RAH

Job

16-021

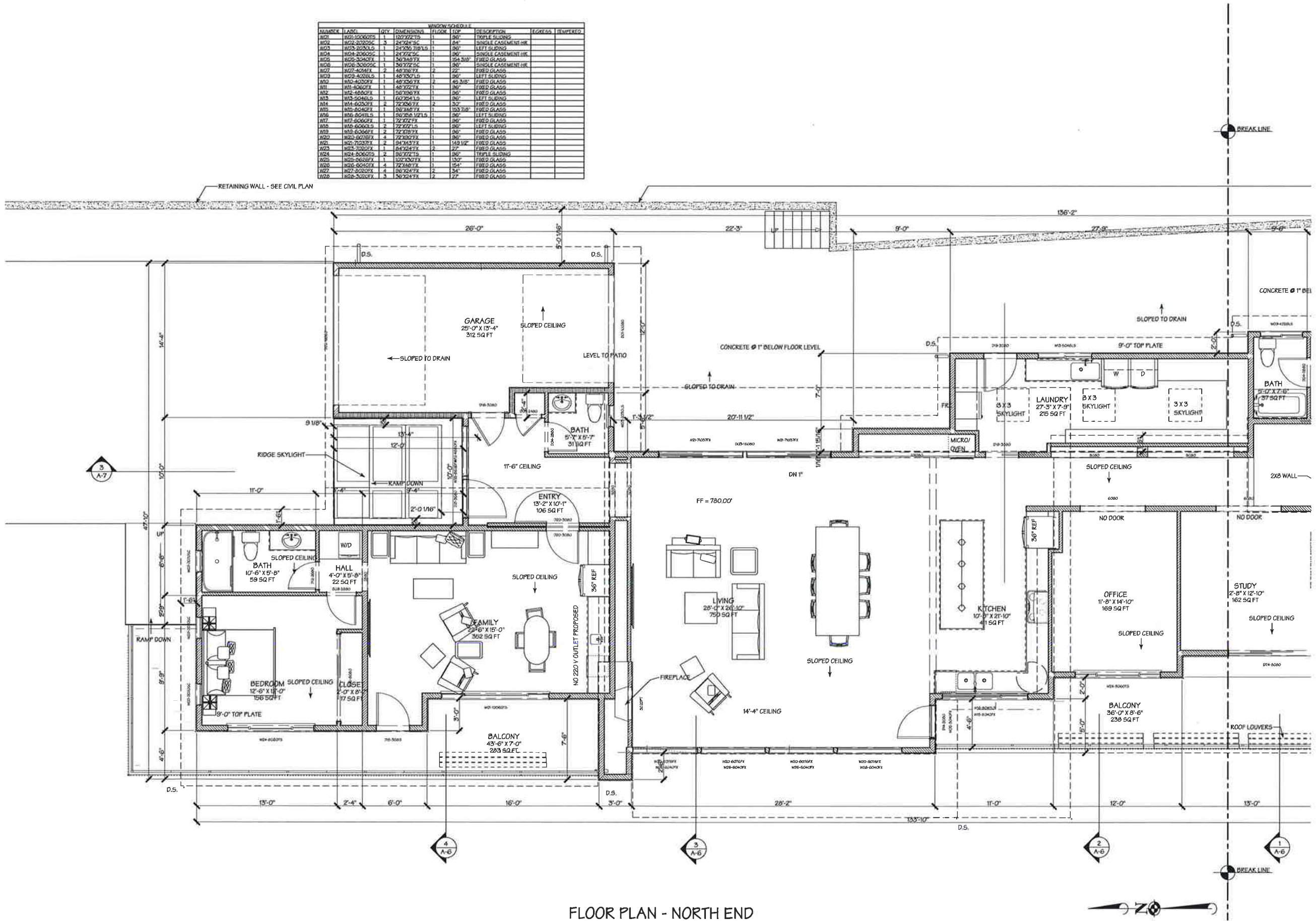
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A-1.4

of

Sheets

WINDOW SCHEDULE									
MARK	QTY	DESCRIPTION	FINISH	TYPE	REMARKS	GLASS	TEMPERED		
W01	1	10'-0" X 10'-0"	1	10'	TRIPLE SLIDING				
W02	1	24'-0" X 10'-0"	1	24'	SINGLE CASEMENT-HR				
W03	1	24'-0" X 10'-0"	1	24'	LEFT SLIDING				
W04	1	24'-0" X 10'-0"	1	24'	SINGLE CASEMENT-HR				
W05	1	24'-0" X 10'-0"	1	24'	RIGHT SLIDING				
W06	1	24'-0" X 10'-0"	1	24'	SINGLE CASEMENT-HR				
W07	1	24'-0" X 10'-0"	1	24'	LEFT SLIDING				
W08	1	24'-0" X 10'-0"	1	24'	SINGLE CASEMENT-HR				
W09	1	24'-0" X 10'-0"	1	24'	RIGHT SLIDING				
W10	1	24'-0" X 10'-0"	1	24'	SINGLE CASEMENT-HR				
W11	1	24'-0" X 10'-0"	1	24'	LEFT SLIDING				
W12	1	24'-0" X 10'-0"	1	24'	SINGLE CASEMENT-HR				
W13	1	24'-0" X 10'-0"	1	24'	RIGHT SLIDING				
W14	1	24'-0" X 10'-0"	1	24'	SINGLE CASEMENT-HR				
W15	1	24'-0" X 10'-0"	1	24'	LEFT SLIDING				
W16	1	24'-0" X 10'-0"	1	24'	SINGLE CASEMENT-HR				
W17	1	24'-0" X 10'-0"	1	24'	RIGHT SLIDING				
W18	1	24'-0" X 10'-0"	1	24'	SINGLE CASEMENT-HR				
W19	1	24'-0" X 10'-0"	1	24'	LEFT SLIDING				
W20	1	24'-0" X 10'-0"	1	24'	SINGLE CASEMENT-HR				
W21	1	24'-0" X 10'-0"	1	24'	RIGHT SLIDING				
W22	1	24'-0" X 10'-0"	1	24'	SINGLE CASEMENT-HR				
W23	1	24'-0" X 10'-0"	1	24'	LEFT SLIDING				
W24	1	24'-0" X 10'-0"	1	24'	SINGLE CASEMENT-HR				
W25	1	24'-0" X 10'-0"	1	24'	RIGHT SLIDING				
W26	1	24'-0" X 10'-0"	1	24'	SINGLE CASEMENT-HR				
W27	1	24'-0" X 10'-0"	1	24'	LEFT SLIDING				
W28	1	24'-0" X 10'-0"	1	24'	SINGLE CASEMENT-HR				



FLOOR PLAN - NORTH END

REVISIONS

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5-16-17

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HOMETEC

ARCHITECTURE, INC.

619 NORTH FIRST STREET, SAN JOSE, CA 95112

RICHARD A. HARTMAN

AIA

408-995-4099

rhartman@hometec.com

NEW HOME FOR:

KEVIN AITKEN & JUDY HART

612 - 67 - 003 (MOUNT HAMILTON ROAD)

65 PEDRO VIEW ROAD, SAN JOSE, CA. 95140

Date

2-14-17

Scale

1/4" = 1'-0"

Drawn

RAH

Job

16-021

Sheet

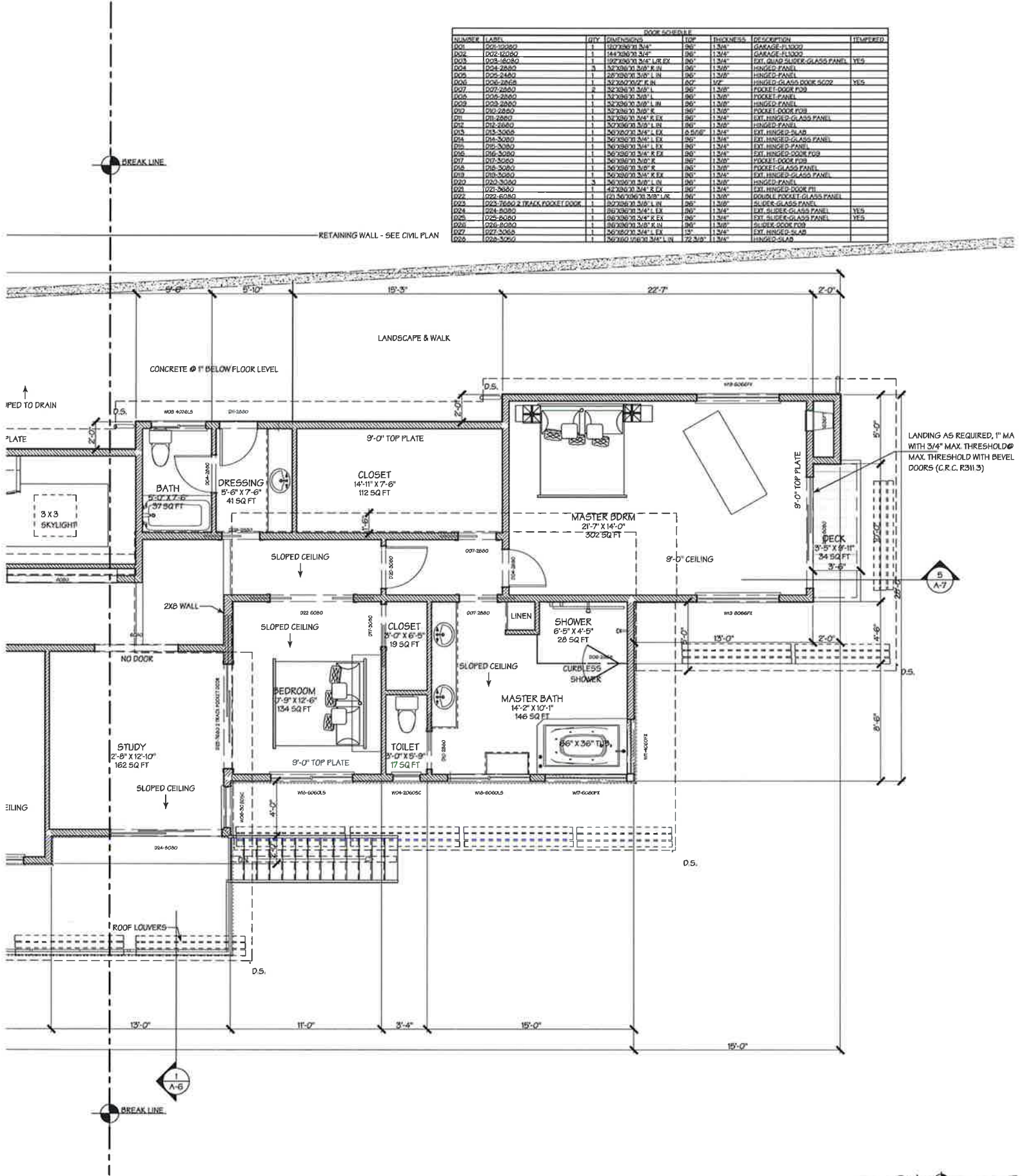
A-2

of

Sheets

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE
2. ADJUST DIMENSIONS TO ALIGN WITH EXISTING CONDITIONS IN THE FIELD, WHERE APPLICABLE
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT IMMEDIATELY.
4. ALL PRODUCTS SHALL BE INSTALLED PER MANUFACTURERS' INSTRUCTIONS. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE POSTED AND PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION
5. SLOPE FINISH GRADE AT 5% MIN. FOR 10' AWAY FROM HOUSE, 2% MIN. SLOPE ON HARDSCAPE, & 2% MIN. TO AN APPROVED FACILITY
6. PROVIDE NON-REMOVABLE BACK FLOW PROTECTION AT ALL EXTERIOR HOSE BIBBS
7. PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS, MIN. WINDOW OPENINGS OF 24" MIN. CLEAR HEIGHT, 20" MIN. CLEAR WIDTH, 5.7 SQ. FT. MIN. AREA, WITH 44" MAXIMUM TO BOTTOM OF THE OPERABLE AREA.
8. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS (I.E., DRYERS, BATH & UTILITY FANS, ETC.) SHALL BE A MINIMUM OF 3 FEET AWAY FROM ANY OPENINGS INTO THE BUILDING (DOORS, WINDOWS, OPENING SKYLIGHTS, OR ATTIC VENTS)
9. ALL AIR DUCTS PENETRATING A SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA SHALL BE 26 GA. MINIMUM
10. ALL EXHAUST FANS SHALL BE "ENERGY STAR" AND SEPARATELY SWITCHED WITH TIMER OR HUMIDISTAT SWITCHES AND CAPABLE OF 5 AIR CHANGES PER HOUR (MIN. 50 CFM) AT BATHS, TOILETS, AND LAUNDRY
11. ALL WATER CLOSETS SHALL BE MAXIMUM 125 GALLONS PER FLUSH
12. PROVIDE A SMOOTH, HARD, NONABSORBENT SURFACE OVER FIBER BOARD TO A MINIMUM HEIGHT OF 72" ABOVE THE DRAIN INLET AT SHOWERS & TUBS/SHOWERS (NO GREEN BOARD). INSTALL PER MANUFACTURER'S INSTRUCTIONS.
13. SHOWER AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH PRESSURE BALANCE ANTI-SCALD VALVES TO 120F MAX. PER CPC 408.3
14. SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, HAVING A MINIMUM INTERIOR FLOOR AREA OF 1,024 SQUARE INCHES, SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30-INCH CIRCLE, AND OUTWARD SWING 22" MIN. DOOR
15. ALL UNDER FLOOR PLUMBING CLEANOUTS SHALL BE WITHIN 2' OF THE UNDER FLOOR ACCESS, OR EXTENDED TO THE EXTERIOR
16. KITCHEN SHALL HAVE SEPARATE CIRCUITS FOR DISPOSAL, DISHWASHER, & TWO (2) 20 AMP CIRCUITS LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS.
17. ELECTRIC DRYERS AND COOK TOPS SHALL HAVE A DEDICATED 30 AMP CIRCUIT. PROVIDE WIRES WITH INSULATED NEUTRAL.
18. LAUNDRY ROOM AND BATHROOM COUNTERTOP OUTLETS SHALL BE EACH SUPPLIED WITH A DEDICATED 20 AMP CIRCUIT
19. ALL ELECTRIC SWITCHES SHALL BE OF THE SCREW TYPE GROUND.
20. ALL BRANCH CIRCUITS IN ALL ROOMS OTHER THAN BATHS SHALL BE PROTECTED BY COMBINATION ARC-FAULT CIRCUIT INTERRUPTERS INSTALLED IN A READILY ACCESSIBLE LOCATION (C.E.C. 210.12 B)
21. LIGHT FIXTURES LOCATED OVER OR WITHIN 3' OF TUBS OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS"
22. A PERMANENT LABEL SHALL IDENTIFY EACH PANE OF SAFETY GLAZING
23. T-24 INSTALLATION CERTIFICATE (CF-2R-LTG-01-E) SHALL BE SUBMITTED TO THE FIELD INSPECTOR AT TIME OF FINAL INSPECTION.
24. RECESSED LUMINAIRES IN INSULATED CEILINGS SHALL BE A.T. & I.C. RATED, ELECTRONIC BALLAST AND CAULKED AIR-TIGHT
25. DRYER EXHAUST VENTS SHALL BE PER MANUFACTURER REQUIREMENTS OR MAX. 14" IN LENGTH, TERMINATING 3' CLEAR OF ANY OPENING
26. JOINTS AND SEAMS OF DUCT SYSTEMS SHALL BE SEALED WITH UL LISTED DUCT TAPE, AND INSULATED WITH R-6 MIN.
27. ALL PENETRATIONS INTO UNCONDITIONED SPACE (ATTICS, UNDER FLOORS, ETC.) SHALL BE CAULKED, GASKETED, WEATHERSTRIP, OR SEALED TO LIMIT INFILTRATION AND EXFILTRATION.
28. ALL PENETRATIONS IN TOP PLATES, FLOORS, ETC. SHALL BE CAULKED WITH A RESIDENTIAL FIRE RATED CAULK WITH AN ASTM E136 OR EPM RATING
29. EGRESS WINDOWS WITH MULTIPLE LATCHES SHALL HAVE THEM INTERCONNECTED AND OPERABLE FROM THE LOWEST LATCH.
30. SHOWER ENCLOSURE DOORS SHALL OPEN OUT WITH A CLEAR OPENING OF 22" MIN. IN THE OPEN POSITION
31. OMIT
32. ALL 15-AMP AND 20-AMP DWELLING UNIT RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES (CEC 406.12)
33. MAIN ENTRY DOOR SHALL BE OPERABLE FROM THE INSIDE OF THE DWELLING WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT.
35. VENTILATION HEATING AND AIR CONDITIONING SYSTEMS SHALL HAVE A MERV-6 FILTER OR BETTER.
36. PROVIDE STATE ARCHITECT CERTIFIED EARTHQUAKE-ACTUATED GAS SHUT OFF VALVES AT ALL NEW, RELOCATED, AND REPLACED GAS UTILITY METERS.
37. PROVIDE A DEDICATED 20 AMP CIRCUIT FOR EACH FAN MOTOR (F.A.U., EXHAUST, ETC.)
38. PROVIDE LISTED 110V INTERCONNECTED WITH BATTERY BACKUP SMOKE/ CARBON MONOXIDE DETECTORS AS SHOWN (CFC 314.3, 314.5)
39. A GAS PIPING LAYOUT PLAN SHALL BE PROVIDED TO THE FIELD INSPECTOR BY THE CONTRACTOR AT TIME OF INSPECTION.
40. FOR ANY L.E.D. LIGHTS TO QUALIFY AS HIGH EFFICACY LIGHTING, THEY MUST BE CERTIFIED BY THE ENERGY COMMISSION AND LISTED ON THEIR DATABASE AT <http://www.appliances.energy.ca.gov/>. PROVIDE TO THE FIELD INSPECTOR EVIDENCE OF CERTIFICATION FOR ALL HIGH EFFICACY L.E.D. LIGHTS AS SELECTED BY THE OWNER.
41. ALL PLASTIC PIPE AND FITTINGS SHALL MEET THE 'NATIONAL SANITATION FOUNDATION' AND STANDARDS REFERENCED IN TABLE 1701.1 OF THE 2016 CPC (CGBSC 4.303.2)
43. ALL PIPE, TUBE, SOLVENT, CEMENT, THREAD SEALANT, SOLDER AND/ OR FLUX AND FITTINGS FOR POTABLE WATER SYSTEMS SHALL MEET THE 'NATIONAL SANITATION FOUNDATION' STANDARDS AND OF THE 2016 CPC 604.1
44. ALL GAS LINE PRESSURE TESTING SHALL BE AT 10 PSI FOR 15 MINUTES AND WELDED PIPING IS 60 PSI FOR 30 MINUTES. CPC 1213.3



FLOOR PLAN - SOUTH END

REVISIONS

BY

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5-16-17

PLANNING

5-31-18

RICHARD A. HARTMAN

A.L.A.

408-995-5494

rhartman@hometec.com

HOMETEC

ARCHITECTURE, INC.

619 NORTH FIRST STREET, SAN JOSE, CA 95112

NEW HOME FOR:

KEVIN AITKEN & JUDY HART

612 - 67 - 003 (MOUNT HAMILTON ROAD)

65 PEDRO VIEW ROAD, SAN JOSE, CA. 95140

Date

2-14-17

Scale

1/4" = 1'-0"

Drawn

RAH

Job

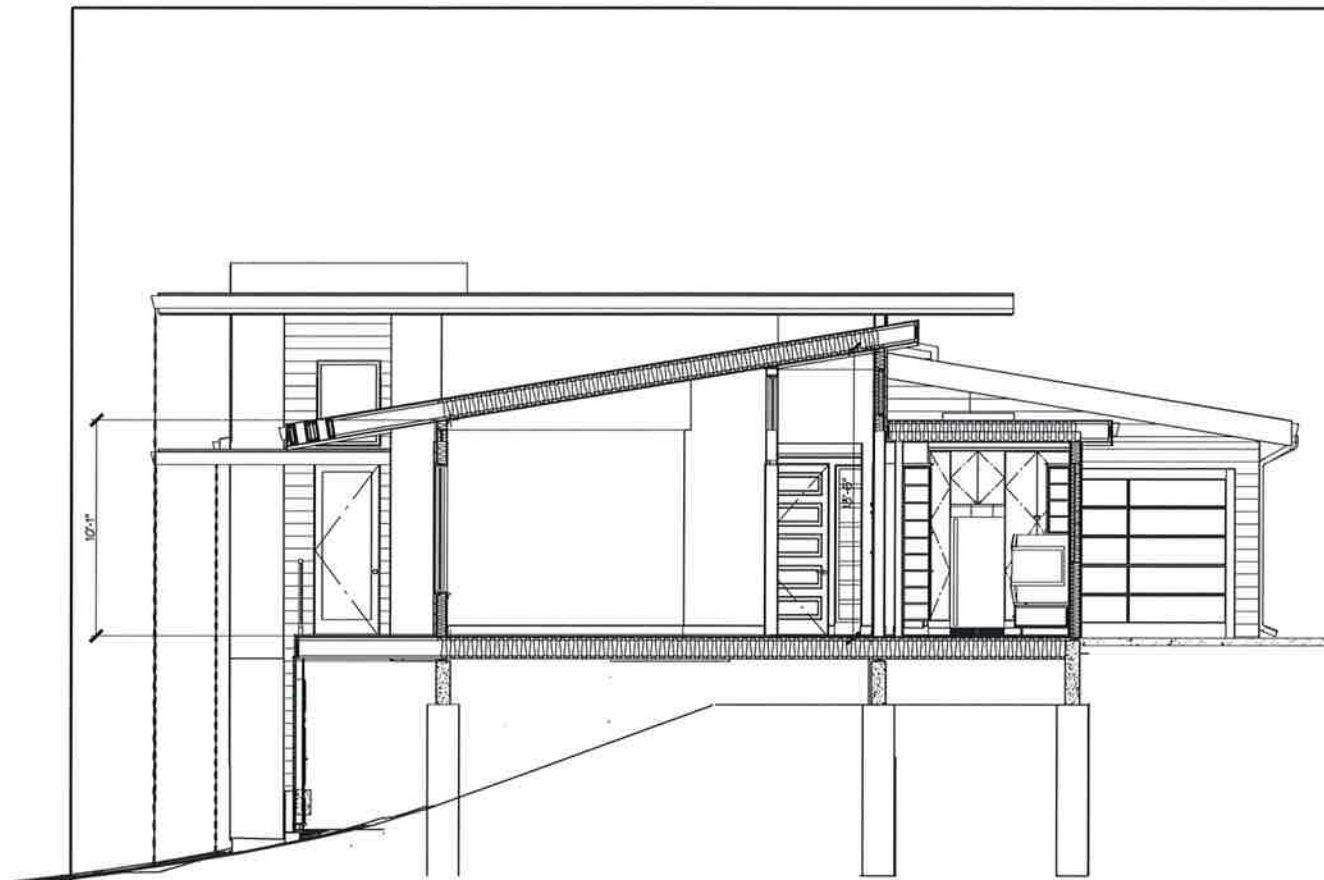
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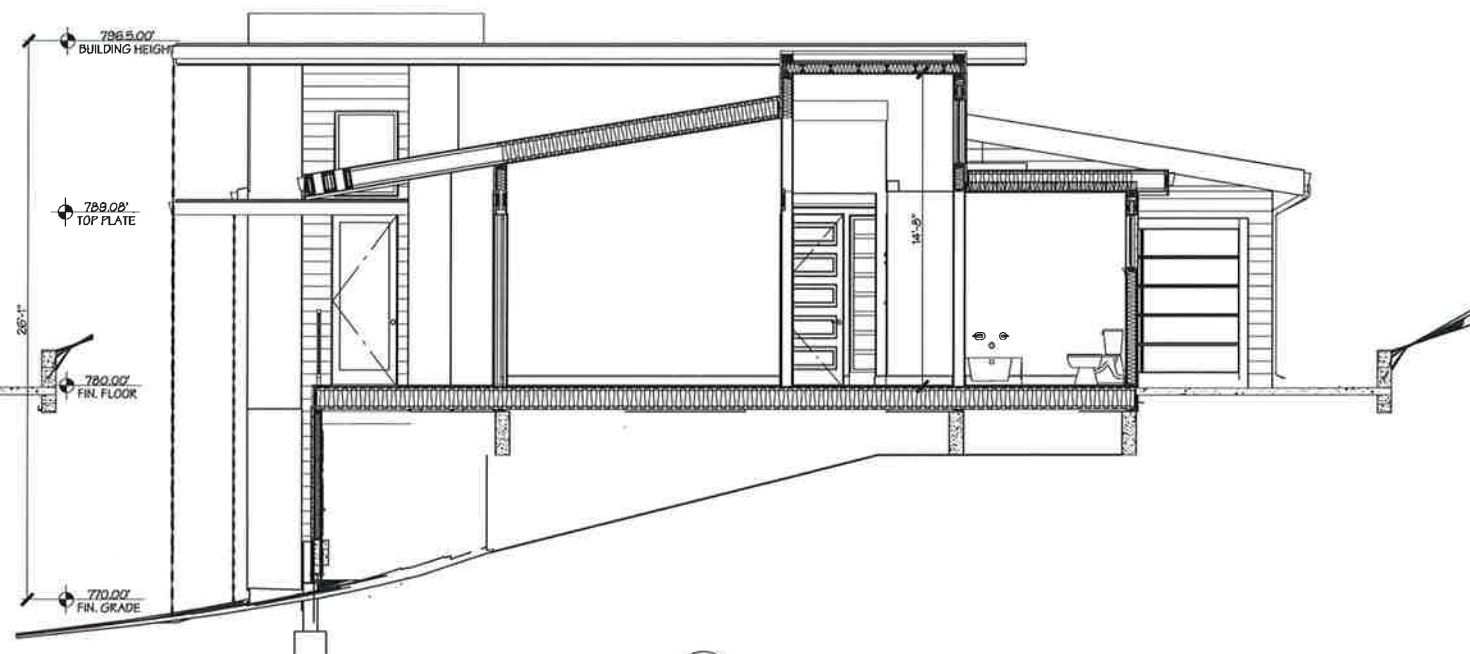
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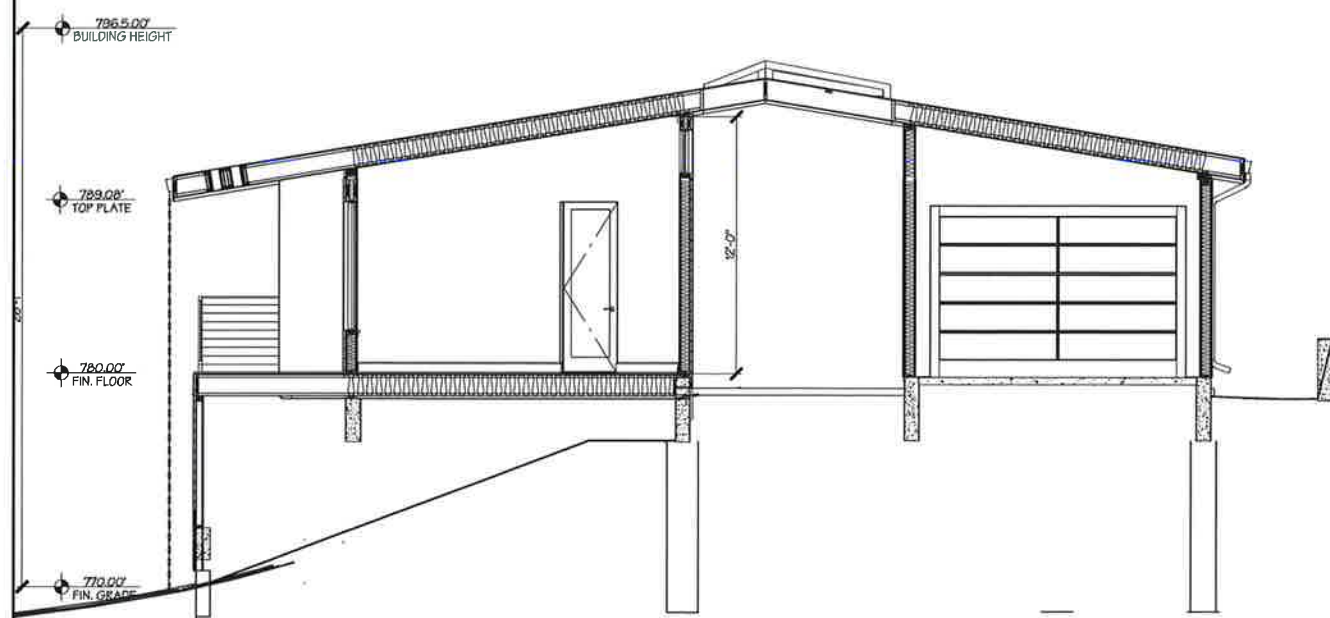
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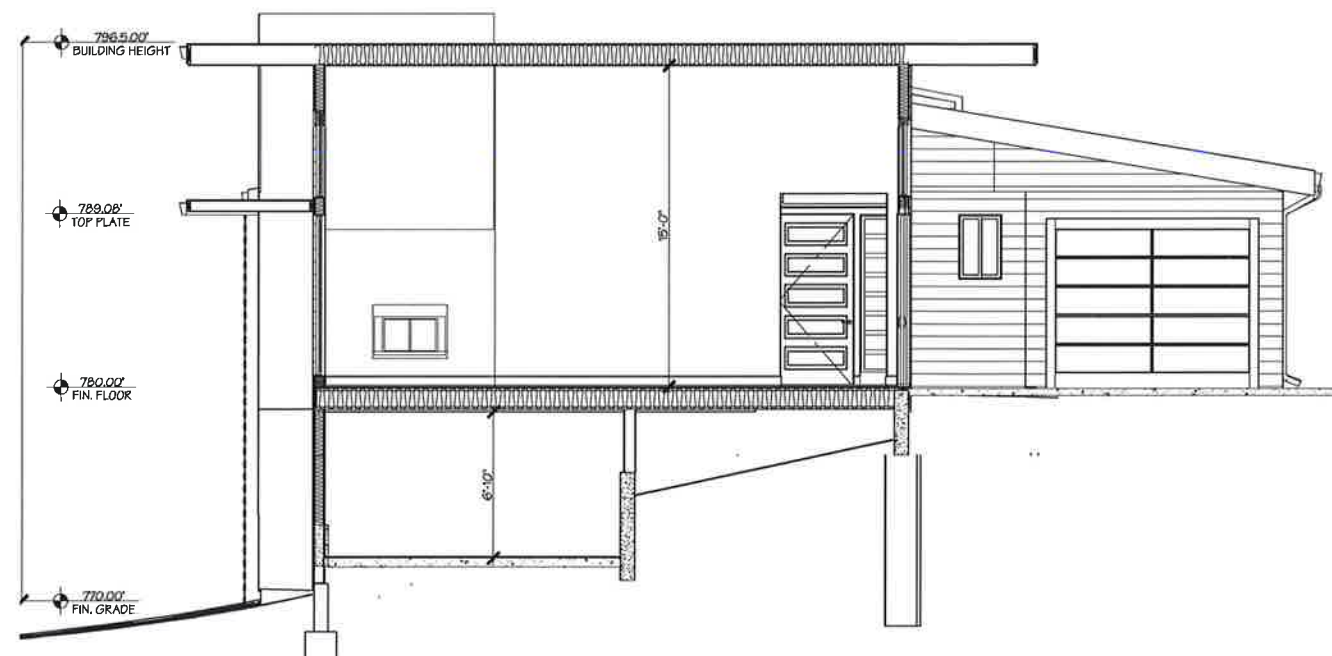
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2 SECTION



4 SECTION



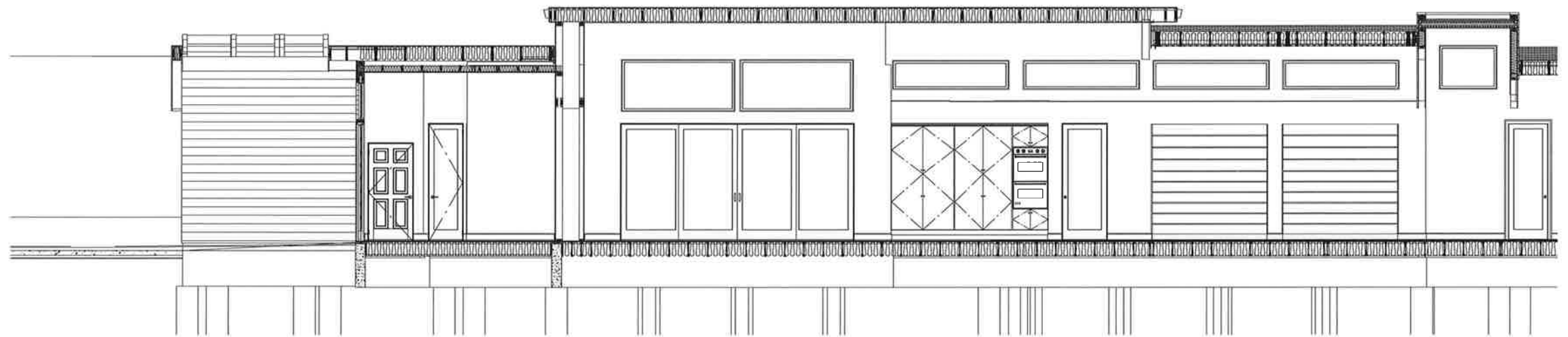
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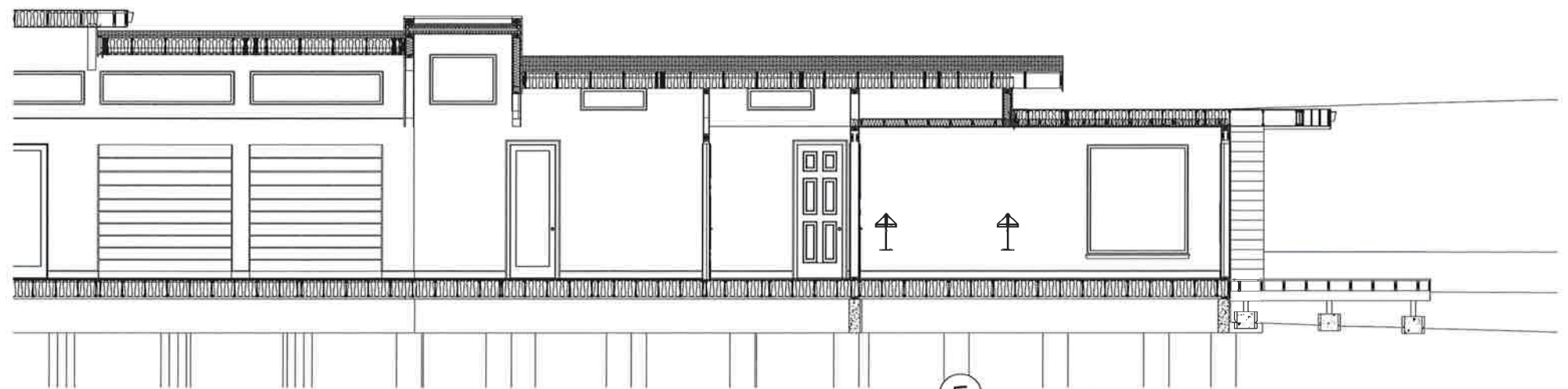
HOMETEC
ARCHITECTURE, INC.
619 NORTH FIRST STREET, SAN JOSE, CA 95112
RICHARD A. HARTMAN
A.I.A.
408.992.4496
Hartman@hometec.com

NEW HOME FOR:
KEVIN AITKEN & JUDY HART
612 - 67 - 003 (MOUNT HAMILTON ROAD)
65 PEDRO VIEW ROAD, SAN JOSE, CA. 95140

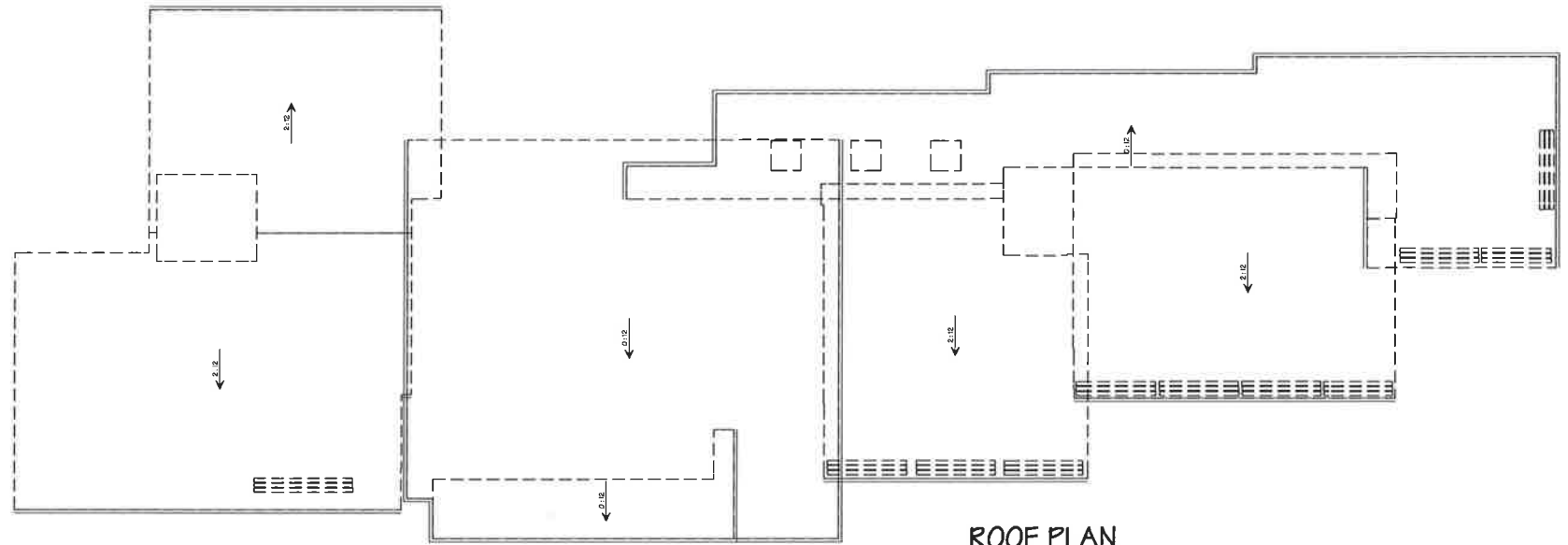
Date 2-14-17
Scale 1/4" = 1'-0"
Drawn RAH
Job 16-021
Sheet
A-6
of Sheets



5 SECTION



5 SECTION



ROOF PLAN

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HOMETEC
ARCHITECTURE, INC.
619 NORTH FIRST STREET, SAN JOSE, CA 95112
RICHARD A. HARTMAN
A.I.A.
602.951.4419
HartmanArchitect.com

NEW HOME FOR:
KEVIN AITKEN & JUDY HART
612 - 67 - 003 (MOUNT HAMILTON ROAD)
65 PEDRO VIEW ROAD, SAN JOSE, CA. 95140

Date 2-14-17
Scale 1/4" = 1'-0"
Drawn RAH
Job 16-021
Sheet **A-7**
of Sheets

VINYL WINDOWS BY "MILGARD" COLOR: BROWNSTONE



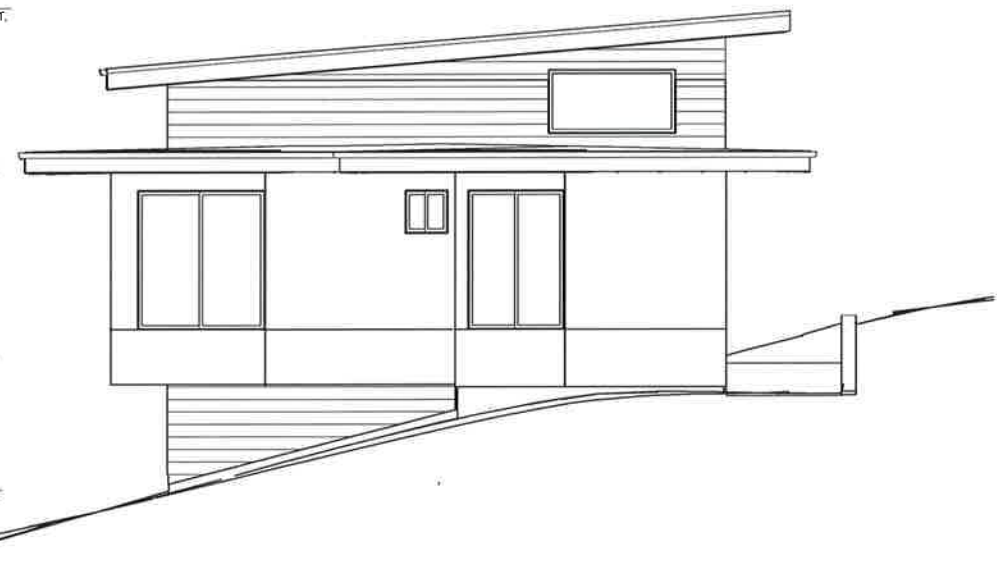
WEST ELEVATION

8" V-RUSTIC "HARDIE PLANK" SIDING OVER (1) LAYER OF TYPE I NO. 15 ASPHALT SATURATED FELT COMPLYING TO ASTM D 226.

7/8" (3) COAT STUCCO OVER METAL LATH OVER (2) LAYERS GRADE "D" BUILDING PAPER (PER C.R.C. 703.6)

26 GA. GALV. WEEP SCREED, 4" MIN. ABOVE GRADE, 2" MIN ABOVE CONCRETE (TYP.) PER C.R.C. R703.6.2.1

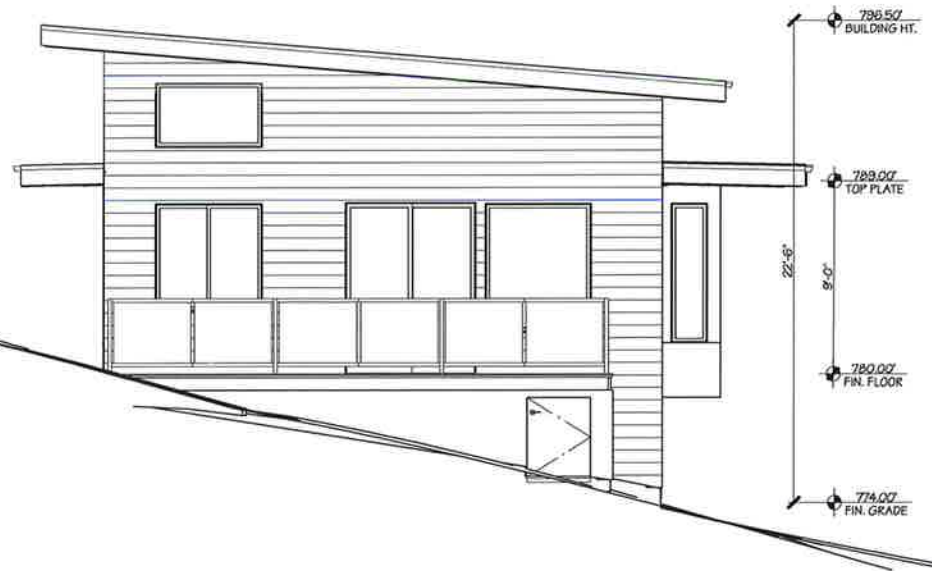
796.50' BUILDING HT.
789.00' TOP PLATE
8'-0"
780.00' FIN. FLOOR
22'-6"
774.00' FIN. GRADE



SOUTH ELEVATION



EAST ELEVATION



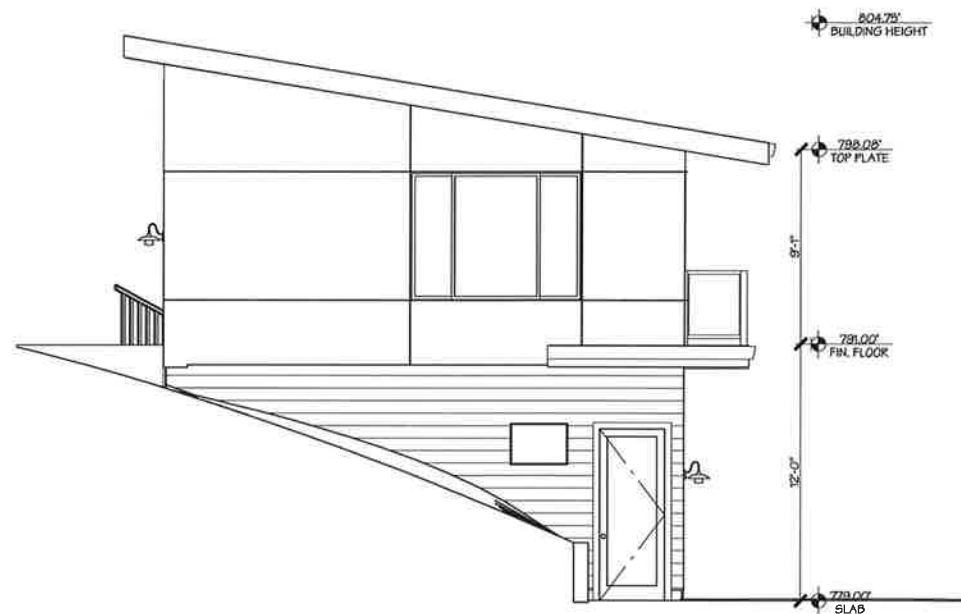
NORTH ELEVATION

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PLANNING	5-31-18	2

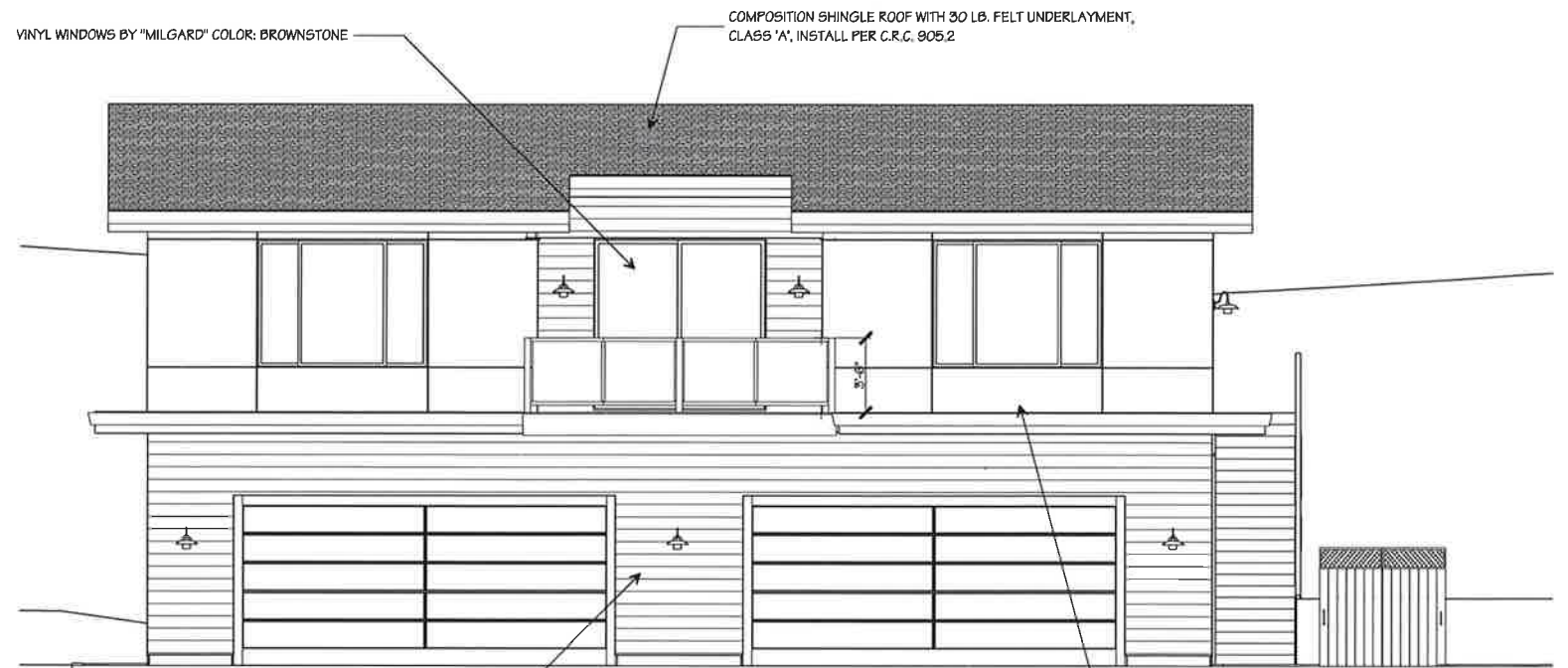
HOMETEC ARCHITECTURE, INC.	RICHARD A. HARTMAN
	A.J.A.
	408.955.4046 HometecArch@aol.com
619 NORTH FIRST STREET, SAN JOSE, CA 95112	

NEW HOME FOR:
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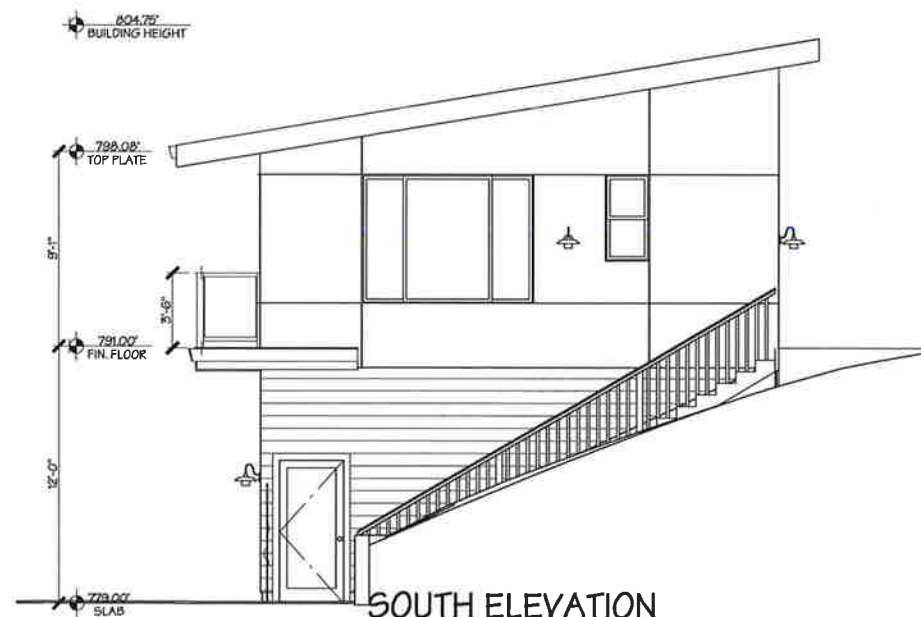
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Job	16-021
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of	Sheets



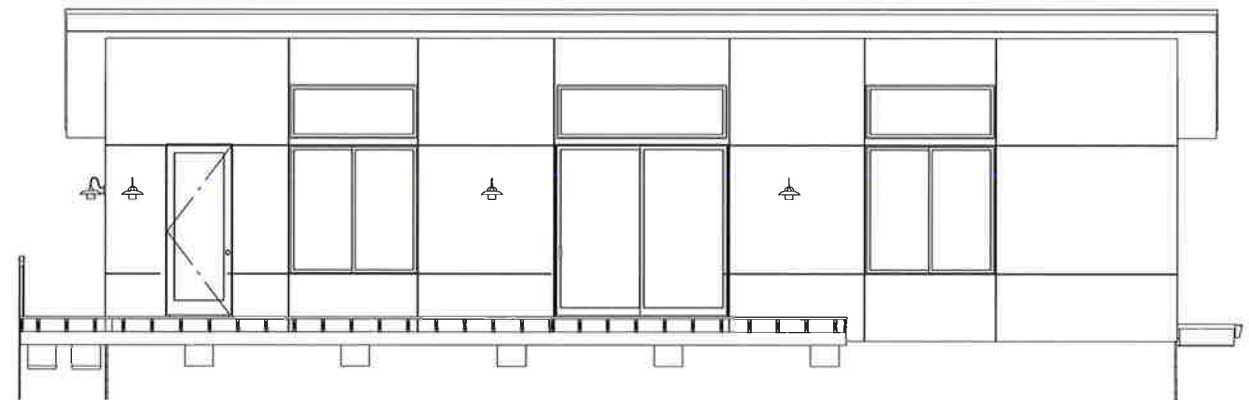
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

REVISIONS	BY
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5-16-17	1
PLANNING	
5-21-18	2

HOMETEC
ARCHITECTURE, INC.
619 NORTH FIRST STREET, SAN JOSE, CA 95112
RICHARD A. HARTMAN
AIA
008095406
Hometec/Arch@Gmail.com

NEW HOME FOR:
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612 - 67 - 003 (MOUNT HAMILTON ROAD)
65 PEDRO VIEW ROAD, SAN JOSE, CA. 95140

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Scale	1/4" = 1'-0"
Drawn	RAH
Job	16-021
Sheet	A-11
of	Sheets

GENERAL CONDITIONS

- ## CONSTRUCTION STAKING

- ## CONSTRUCTION INSPECTION

- ### SITE PREPARATION (CLEARING AND GRUBBING)

AS FOLLOWS:

- A. TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
- B. FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.

2. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

RETAINING WALLS

- PORTLAND CEMENT CONCRETE

- ### GRADING

- | EXPORT/IMPORT SUMMARY - CARGO TONS (G.T.) | | | | |
|---|------------|-------------|-----------------------|-------------|
| LOCATION | OUT (G.T.) | FILL (G.T.) | NET OUT | VERT. DEPTH |
| REFERENCE | 558 | 558 | 0 | 0'-0" MAX |
| ACCESSORY UNIT | 52 | 0 | 52 | 0'-0" MAX |
| DETACHED GARAGE | 449 | 0 | 449 | 0'-0" MAX |
| HARDSCAPE | 558 | 0 | 558 | 0'-0" MAX |
| LANDSCAPE | 0 | 0 | 0 | N/A |
| ON SITE DRIVEWAY | 558 | 709 | -551 | 7'-6" MAX |
| OFF SITE DRIVEWAY | 449 | 74 | 371 | 0'-6" MAX |
| TOTAL | 1782 | 566 | 914 CY NET OUT EXPORT | |

NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE.
EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY
APPROVED DUMP SITE.

7. NOTIFY SOLS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
8. ALL EROSION CONTROL MEASURES MUST BE APPROVED BY THE SOLS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
9. THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95% ALL EXISTING BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
10. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.
11. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO CONSTRUCTION.
12. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.
13. THE PROJECT AREA OF THE PROJECT 80.017 SQ. (1.83 ACRES) SEE SHEET C1 FOR MORE DETAIL.
14. VOID NO. NOT RELEVANT
15. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTEREST (NOI) HAS BEEN ISSUED BY DATE OF THAT A CURRENT AND UP TO DATE STATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF TREE PROTECTIVE FENCING. TREE PROTECTIVE FENCING SHALL BE DESIGNED TO INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
 - A. FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRILLPIE FOR THE TREE OR THE TRUNK OF THE TREE.
 - B. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.
 - C. FENCING SHALL BE REMOVED WHEN NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
 - D. SIGNAGE STATING, "WARNING-- THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION" SHALL BE PLACED AT THE END OF THE FENCING LINE. SIGNAGE SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY.
2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACED AND INSPECTED BY THE LAND DEVELOPMENT ENGINEER.
3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FEET).
2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15% LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING, INSULATION, AND PRIME COAT APPLICATIONS.
3. DRIVEWAYS SHALL BE DESIGNED TO PROVIDE ACCESS TO THE PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
4. ROADWAYS MAINTAINED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS. DRIVEWAYS NOT MAINTAINED AS COUNTY MAINTAINED ROADS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.

1. PACIFIC GAS & ELECTRIC ELECTROJER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.

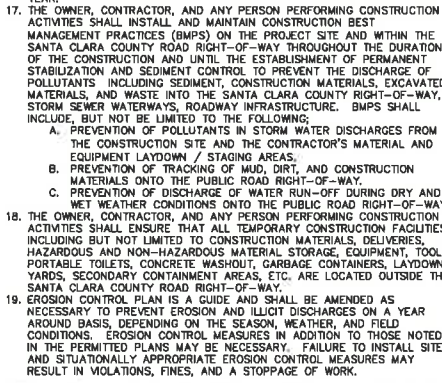
1. THE LANDOWNER, CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES.
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG OR OTHERWISE IDENTIFY WITH PAINT OR OTHER MARKINGS ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY.
3. THE LANDOWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING

CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL GEOTECHNICAL ENGINEER OBSERVATION

- ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY CLERK'S OFFICE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF ANY PERMANENT MONUMENT(S) IN THE SURFACE OF THE NEW CONSTRUCTION OR SET A WITNESS MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT COULD BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR OR ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY CLERK'S OFFICE PRIOR TO THE ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.

2. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
3. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FRESH GRAVEL.
4. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
5. PAVE (WITH WATER SWEEPERS) PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
6. WHEN SWEEPING IS REQUIRED, SWEEPING (IF) VISIBLE SOIL MATERIAL IS CARRIED ON ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
7. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL BE MAINTAINED AT A MINIMUM OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLE TIME UNLESS NECESSARY FOR OPERATIONS.
8. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.
9. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
10. ALL TRUCKS AND EQUIPMENT SHALL BE IDENTIFIED BY A LARGE LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMITS FROM THE ROAD DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.

4. 15 Miles per hour (MPH) SPEED LIMIT
5. 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
6. PHONE NUMBER TO CONTACT FOR BAY AREA AIR QUALITY
7. MANAGEMENT DISTRICT REGARDING SUDS COMPLAINTS, NOTE
8. PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION CONTROL DISTRICT (415) 667-1667
10. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
11. ALL DITCHES SHALL BE CONSTRUCTED TO A MINIMUM OF 18" WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUIV.) SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
12. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDB.
13. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE OR BENTONITE ENERGY DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT TO BE INSTALLED IN GREEK WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
14. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADING SHALL BE INSPECTED AND APPROVED BY THE COUNTY ENGINEER AND GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
15. A FINAL EROSION CONTROL PLAN SHALL BE SUBMITTED. EROSION CONTROL PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL RELEASE BY THE BUILDING DEPARTMENT.
16. THE OWNER SHALL PREPARE AND PRESENT A WATERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY



1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUING MAINTENANCE OF THE DRAINAGE FACILITIES. THE DRAINAGE FACILITIES SHALL BE DESIGNED TO PROTECT THE ADJACENT PROPERTIES FROM ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAG000021008 / ORDER NO. D-2-009-004 AND NPDES PERMIT CAG000004 / ORDER NO. 013-0001-RW.
2. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF THE DRAINAGE FACILITIES SHOWN AND NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS, WHERE STREET PROFILE AND DRAINAGE CONDITIONS REQUIRE. DRAINAGE INLETS SHALL BE SET AT 500' AROUND CURBS TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
3. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO A DRAINAGE CANAL.
4. UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
5. THE DEVELOPER SHALL PROVIDE FOR ALL NECESSARY IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILLING.

T1 COUNTY COVER SHEET, VICINITY MAP, PROJECT INFO

1 SURVEY

C1 OVERALL CIVIL KEY PLAN

C2 GRADING AND DRAINAGE PLAN (DRIVEWAY)

C3 GRADING AND DRAINAGE PLAN (BUILDING SITE)

C4 GRADING AND DRAINAGE PLAN (UPPER PROPERTY)

C5 GRADING AND DRAINAGE PLAN (LOWER PROPERTY)

C6 DRIVEWAY CENTERLINE PROFILE

C7 - C8 SITE SECTIONS

C9 CIVIL DETAILS

C10 DRIVEWAY SECTIONS

BMP1 COUNTY BMP AND EROSION CONTROL DETAILS

BMP2 COUNTY BMP AND EROSION CONTROL DETAILS

A1 - A13 ARCHITECTURAL SITE PLANS

A14 AREA CALCULATIONS

A2 - A5 HOUSE FLOOR PLAN

A4 - A5 HOUSE SECTIONS

A6 - A7 HOUSE SECTIONS

A8 GUEST HOUSE FLOOR PLAN AND SECTIONS

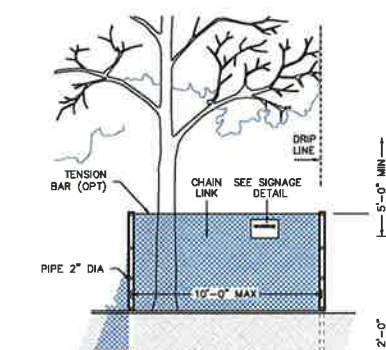
A9 GUEST HOUSE ELEVATIONS

A10 GARAGE / REC ROOM FLOOR PLAN AND SECTION

A11 GARAGE / REC ROOM ELEVATIONS

L1 - L2 LANDSCAPE PLANS

1 - 2 SEPTIC PLAN AND DETAILS



1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR THE FENCING AND ADVISE THE CONTRACTOR OF ANY DAMAGE TO THE FENCING. THE FENCING IS IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCE SHALL BE CONSTRUCTED OF 2" X 4" OR 2" X 6" OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
4. THE FENCE SHALL BE INSPECTED PERIODICALLY DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING DEPARTMENT" SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE EROSION CONTROL PROPOSED ON THE EROSION CONTROL PLAN. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE DESIGN OF THE EROSION CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSION CONTROL PLANS TO PREVENT ILLEGAL DISCHARGES FROM THE SITE DURING CONSTRUCTION.

1. CONSTRUCTION OF A NEW 15' WIDE DRIVEWAY AND RETAINING WALL IN PLACE OF AN EXISTING 10' WIDE DIRT DRIVEWAY MOUNT HAMILTON ROAD.
2. CONSTRUCTION OF A 4123 SQ FT MAIN RESIDENCE WITH ATTACHED 312 SQ FT GARAGE, A 1200 SQ FT DETACHED GARAGE WITH A 1091 SQ FT RECREATION ROOM ABOVE, AND A 1198 SQ FT GUEST HOUSE.
3. CONSTRUCTION OF A 10' WIDE LEACHFIELD.
4. NEW UTILITY CONNECTIONS FOR WATER, ELECTRICITY, AND INTERNET ALONG EXISTING DIRT ROAD.

HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS OF APPROVAL PERTAINING THERETO, DATED FILE(S) NO. 7921-17DR (R1) -17G (R1)

DATE _____ SIGNATURE _____

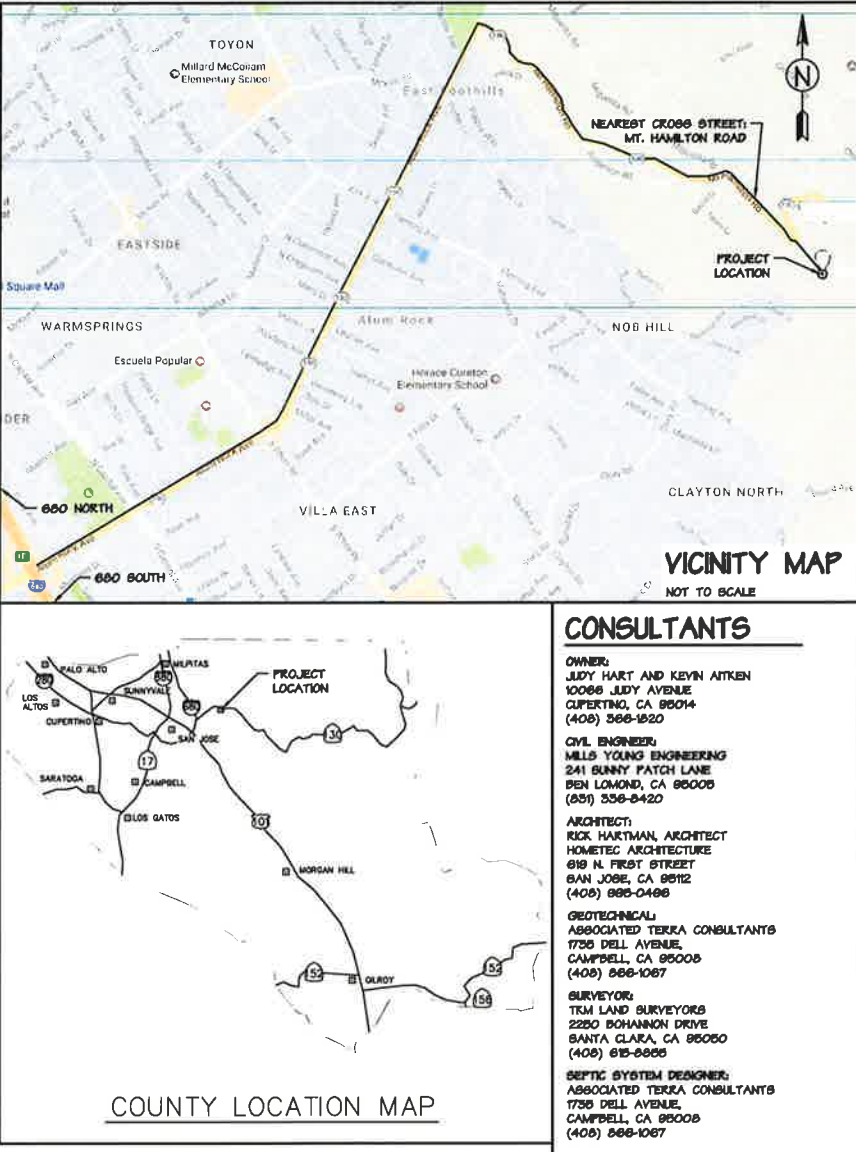


C72007
R.C.E. NO. _____
JUNE 30, 2018
EXPIRATION DATE _____

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OR ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE	CHRISTOPHER L. FREITAS	
	42107	3-31-2018
	R.C.E. NO.	EXPIRATION DATE



REVISION NUMBER	REVISION DATE
1	5-21-15

**MILLS YOUNG
ENGINEERING**
241 Sunny Patch Lane
Ben Lomond, CA 95005
(931) 336-8420 www.MillsYoung.com

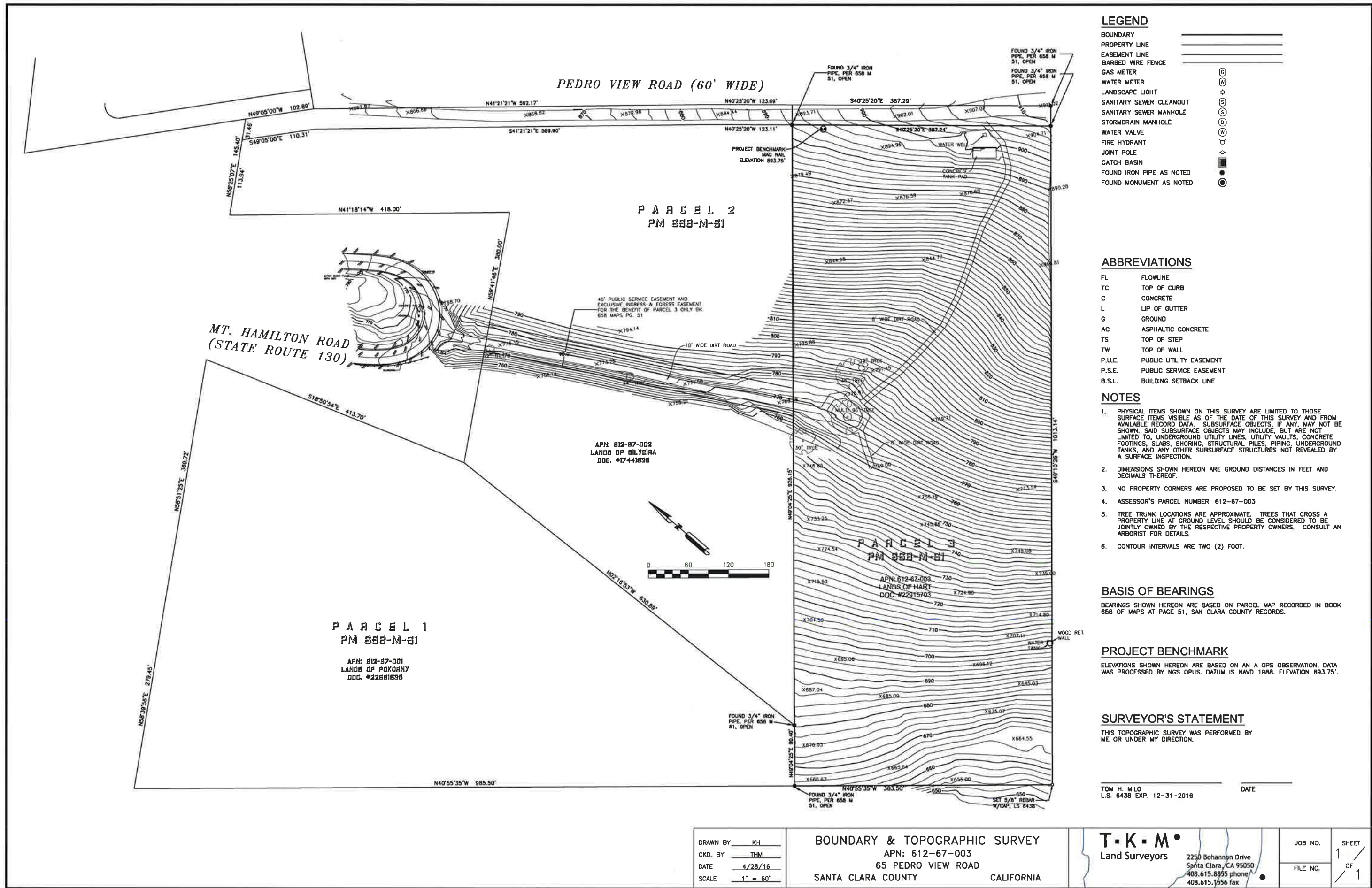
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PRELIMINARY. NOT
FOR CONSTRUCTION



COUNTY STANDARD
COVER SHEET, VICINITY
MAP, & PROJECT INFO

DATE:	12-11-17
SCALE:	NOT TO SCALE
DRAWN BY:	JAY
JOB #:	17011
SHEET:	T1
OF 32 SHEETS	



CIVIL NOTES AND SPECIFICATIONS

- A. GENERAL
1. THE CONTRACTOR SHALL EXAMINE CAREFULLY THE SITE OF WORK CONTEMPLATED, THE PLANS, AND SPECIFICATIONS; THEREFORE, THE SUBMISSION OF A BID SHALL BE CONCLUSIVE EVIDENCE THAT THE CONTRACTOR HAS INVESTIGATED AND IS SATISFIED AS TO THE CONDITIONS TO BE ENCOUNTERED, THE CHARACTER, QUALITY, AND SCOPE OF WORK TO BE PERFORMED, THE QUANTITIES OF MATERIALS TO BE FURNISHED, AND AS TO THE REQUIREMENTS OF THE PLANS AND SPECIFICATIONS.
2. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA BUILDING CODE STANDARDS, AND LOCALLY ENFORCED CODES AND AUTHORITIES. ALL ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE INSTALLED, APPLIED, AND CONNECTED AS DIRECTED BY THE MANUFACTURER'S LATEST WRITTEN SPECIFICATIONS EXCEPT WHERE NOTED OTHERWISE. MATERIAL NOTES ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE SPECIFICATIONS.
3. DIMENSIONS, DETAILS, NOTES, AND/OR SYMBOLS NOTED AS "TYPICAL" SHALL APPLY IN ALL LIKE CONDITIONS UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. WHERE FEATURES OF THE CONSTRUCTION ARE NOT FULLY SPECIFIED, THEIR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO SIMILAR FEATURES. CONTACT ENGINEER FOR CLARIFICATION AS NEEDED.
4. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER DIMENSIONS SCALED FROM THE PLANS. DO NOT SCALE DRAWINGS WITHOUT SPECIFIC AUTHORIZATION FROM THE ENGINEER. CONTACT ENGINEER FOR ANY DESIRED CLARIFICATION REGARDING DIMENSIONS.
5. STABILITY OF EXCAVATIONS, BRACING, AND FORMWORK SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR WHO SHALL DESIGN AND PROVIDE WHATEVER IS REQUIRED FOR THE PROTECTION OF LIFE, STRUCTURES, AND PROPERTY. ALL EXCAVATIONS AND SHORING SHALL MEET THE REQUIREMENTS OF CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH (CAL OSHA) STANDARDS, LATEST EDITION. NO UNSUPPORTED CUTS ARE TO BE MADE ADJACENT TO IMPROVEMENTS.
6. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, AND PROCEDURES EMPLOYED IN THE PERFORMANCE OF WORK IN, ON, OR ABOUT THE JOB SITE. THE CONTRACTOR SHALL COORDINATE AND VERIFY ALL WORK PERFORMED BY SUBCONTRACTORS. THE ENGINEER IS NOT RESPONSIBLE FOR ACTS OR OMISSIONS OF CONTRACTORS OR SUBCONTRACTORS OR FAILURE BY THEM TO CARRY OUT WORK IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS.
7. ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK ON, OR RELATED TO, THIS PROJECT SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED, AND SHALL COMPLY WITH THE STATE OF CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH (CAL OSHA) STANDARDS, LATEST EDITION, AND WITH ANY AND ALL OTHER APPLICABLE STATE AND/OR LOCAL SAFETY REGULATIONS. THE CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE SAFETY CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND TO DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
8. THE CONTRACTOR SHALL EXAMINE AND CHECK ALL EXISTING CONDITIONS, DIMENSIONS, LEVELS, AND MATERIALS AND NOTIFY THE OWNER, ARCHITECT, OR ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. SHOULD A DISCREPANCY FROM THE CONTRACT DOCUMENTS THAT AFFECTS THE WORK APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK DONE BY OTHERS, THE ARCHITECT OR ENGINEER SHALL BE NOTIFIED AT ONCE FOR INSTRUCTIONS ON HOW TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE AFFECTED WORK, WITHOUT INSTRUCTIONS FROM THE ARCHITECT OR ENGINEER, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE ARCHITECT OR ENGINEER. SHOULD A CONFLICT OCCUR IN, OR BETWEEN DRAWINGS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXTENSIVE MATERIALS AND CONSTRUCTION METHOD INVOLVED, UNLESS A WRITTEN DECISION OF THE ARCHITECT OR ENGINEER HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS.
9. ALL MATERIAL STORED ON SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETEIORATION UNTIL USE. FAILURE TO PROTECT MATERIAL MAY BE CAUSE FOR REJECTION OF WORK.
10. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY, AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, OR OTHERWISE ALTERING, THE TOTAL WORK OR ANY PART OF IT. CONTRACTOR SHALL EXERCISE CARE TO PROTECT ANY EXISTING CONSTRUCTION SO THAT INTEGRITY AND FINISH ARE NOT IMPAIRED. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF THE WORK, SHALL BE DONE WITH APPROPRIATE MATERIALS SO THAT THE SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
11. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PLUMBING FIXTURES, TOILET ROOM ACCESSORIES, HEATING EQUIPMENT, AND ALL OTHER ITEMS REQUIRING SUPPORT.

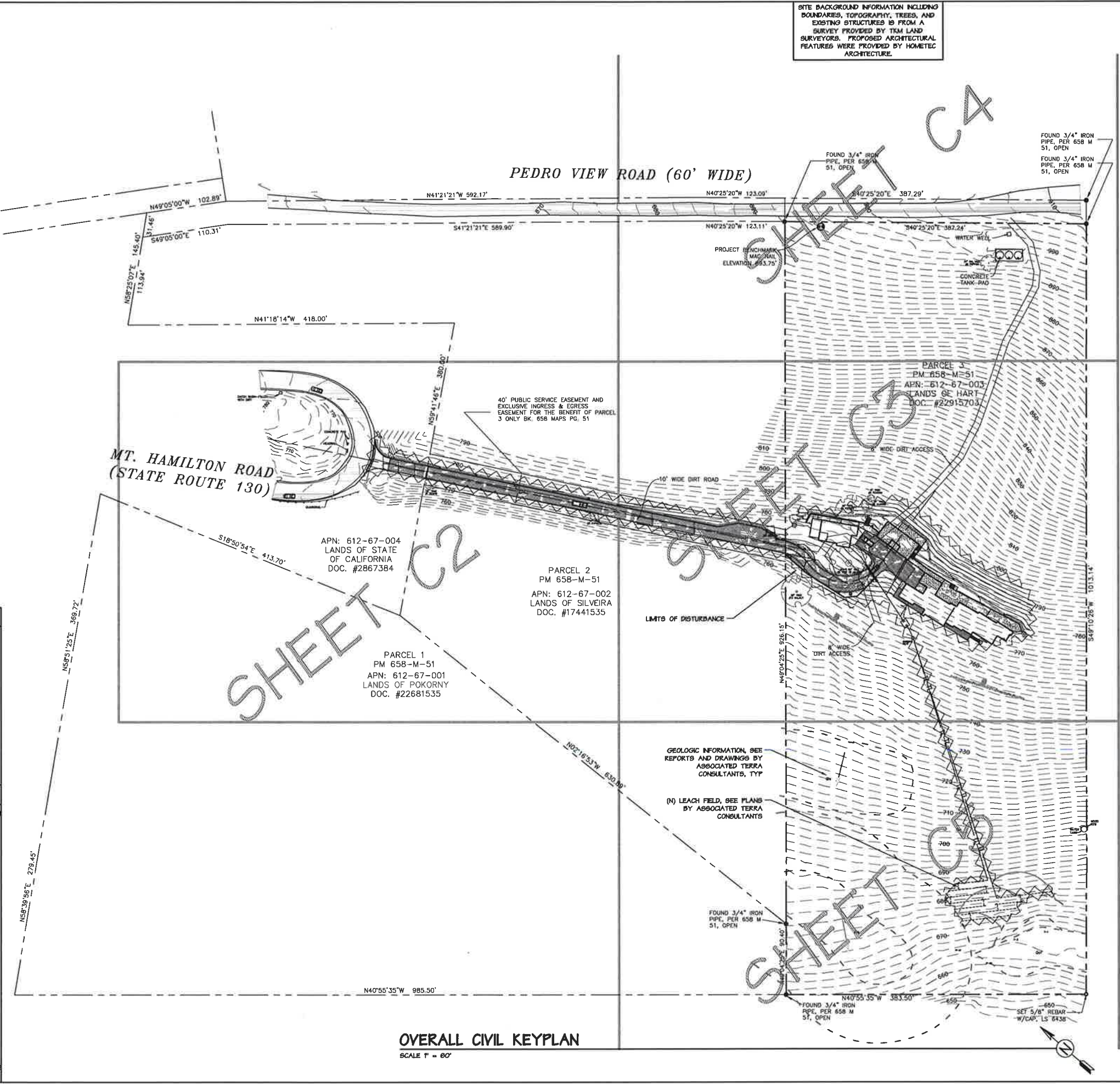
LINE/SYMBOL LEGEND

	SHUT OFF VALVE		CATCH BASIN
	SLOPE OF HARD SURFACE		GENERAL DRAINAGE FLOW
	SPOT ELEVATION		SWALE
	DOWNSPOUT LOCATION		VEGETATED SWALE
	SUBJECT PARCEL BOUNDARY		LANDSLIDE BOUNDARY
	ADJACENT PARCEL BOUNDARY		SEPTIC LEACH LINE
	DRAINAGE PIPE		RETAINING WALL BACKDRAIN
	NEW MAJOR CONTOUR		LIMITS OF DISTURBANCE
	NEW MINOR CONTOUR		FIRE HYDRANT WATER LINE
	EXISTING MAJOR CONTOUR		WATER PIPELINE
	EXISTING MINOR CONTOUR		PROPANE GAS PIPELINE
			ELECTRICAL
			CABLE TELEVISION
			TELEPHONE

ABBREVIATIONS (USED ON C SHEETS)

AB	ANCHOR BOLT	DWG	DRAWING	FSI	FOUNDS PER SQUARE INCH
ABV	ABOVE	(E)	EXISTING	FTDF	PRESERVATIVE TREATED
AC	ASPHALT CONCRETE	EN	EDGE NAILING	DFR	DOUGLAS FIR
ACI	AMERICAN CONCRETE INSTITUTE	ENGR	ENGINEER	QAF	QUATERNARY ARTIFICIAL FILL
ALT	ALTERNATE	EXT	EXTERIOR	QLS	QUATERNARY LANDSLIDE
AFA	AMERICAN PLYWOOD ASSOCIATION	FF	FINISH FLOOR	RDWD	REDWOOD
ARCH	ARCHITECT	FLR	FLOOR	REINF	REINFORCEMENT
ATR	ALL THREAD ROD	FND	FOUNDATION	REQD	REQUIRED
BLK(G)	BLOCK(ING)	FOC	FACE OF CONCRETE	ROW	RIGHT OF WAY
BN	BOUNDARY NAILING	FOB	FACE OF STUD	RTW	RETAINING WALL
BP	BASE PLATE	FRMG	FRAMING	S.A.D.	SEE ARCHITECTURAL DRAWINGS
BRG	BEARING	FT	FOOT OR FEET	SB	SOLID BLOCKING
BW	BOTTOM OF WALL	FTG	FOOTING	SCHD	SCHEDULE
CB	CATCH BASIN	GALV	GALVANIZED	SF	SQUARE FOOT
CBC	CALIFORNIA BUILDING CODE	GL	GLUED LAMINATED	SM	SIMILAR
CL	CENTER LINE	HD	HOLDOWN	SPEC	SPECIFICATIONS
CLG	CEILING	HDR	HEADER	SQ	SQUARE
CLR	CLEAR, CLEARANCE	HORIZ	HORIZONTAL	STD	STANDARD
CO	CLEANOUT	HT	HEIGHT	STL	STEEL
COL	COLUMN	INT	INTERIOR	SKYLT	SKYLIGHT
CONC	CONCRETE	JST(S)	JOIST(S)	T&B	TOP AND BOTTOM
CONN	CONNECTION	MB	MACHINE BOLT	T&G	TONGUE AND GROOVE
CONT	CONTINUOUS	M	MALLEABLE IRON	TOC	TOP OF CONCRETE
DBL	DOUBLE	MIN	MINIMUM	TW	TOP OF WALL
DF	DOUGLAS FIR	(N)	NEW	TYP	TYPICAL
DIA	DIAMETER	OC	ON CENTER	UBC	UNIFORM BUILDING CODE
DTL	DETAIL	PL	PLATE OR PROPERTY LINE	UNO	UNLESS NOTED OTHERWISE
		PLY	PLYWOOD	VERT	VERTICAL
		PBF	POUNDS PER SQUARE FOOT		

SITE BACKGROUND INFORMATION INCLUDING BOUNDARIES, TOPOGRAPHY, TREES, AND EXISTING STRUCTURES IS FROM A SURVEY PROVIDED BY T&M LAND SURVEYORS. PROPOSED ARCHITECTURAL FEATURES WERE PROVIDED BY HOMETEC ARCHITECTURE.



OVERALL CIVIL KEYPLAN
SCALE 1" = 60'

REVISION NUMBER
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REVISION DATE
5-21-18

Civil Engineering and Structural Design
Mills Young Engineering
241 Santa Lucia Lane
Ben Lomond, CA 95005
(408) 535-8420 www.millsyoung.com

HART - AITKEN RESIDENCE
65 PEDRO VIEW RD, SAN JOSE, CA 95140
OWNERS: JUDY HART AND KEVIN AITKEN
APN: 612-67-003

PRELIMINARY, NOT FOR CONSTRUCTION

OVERALL CIVIL KEYPLAN

DATE: 12-11-17
SCALE: 1" = 60'
DRAWN BY: MBM
JOB #: 17011
SHEET: 1
OF 32 SHEETS

SITE BACKGROUND INFORMATION INCLUDING BOUNDARIES, TOPOGRAPHY, TREES, AND EXISTING STRUCTURES IS FROM A SURVEY PROVIDED BY T&M LAND SURVEYORS. PROPOSED ARCHITECTURAL FEATURES WERE PROVIDED BY HOMETEC ARCHITECTURE.

AREAS OF DISTURBANCE

AREA DESCRIPTION	SQUARE FEET	ACRES
TOTAL DWY AREA (ON ADJ PARCELS)	17,786	0.408
EXISTING DWY (ON ADJ PARCELS)*	-5,748	-0.132
TOTAL AREA (ALL ON ADJACENT PARCELS)	12,038	0.277

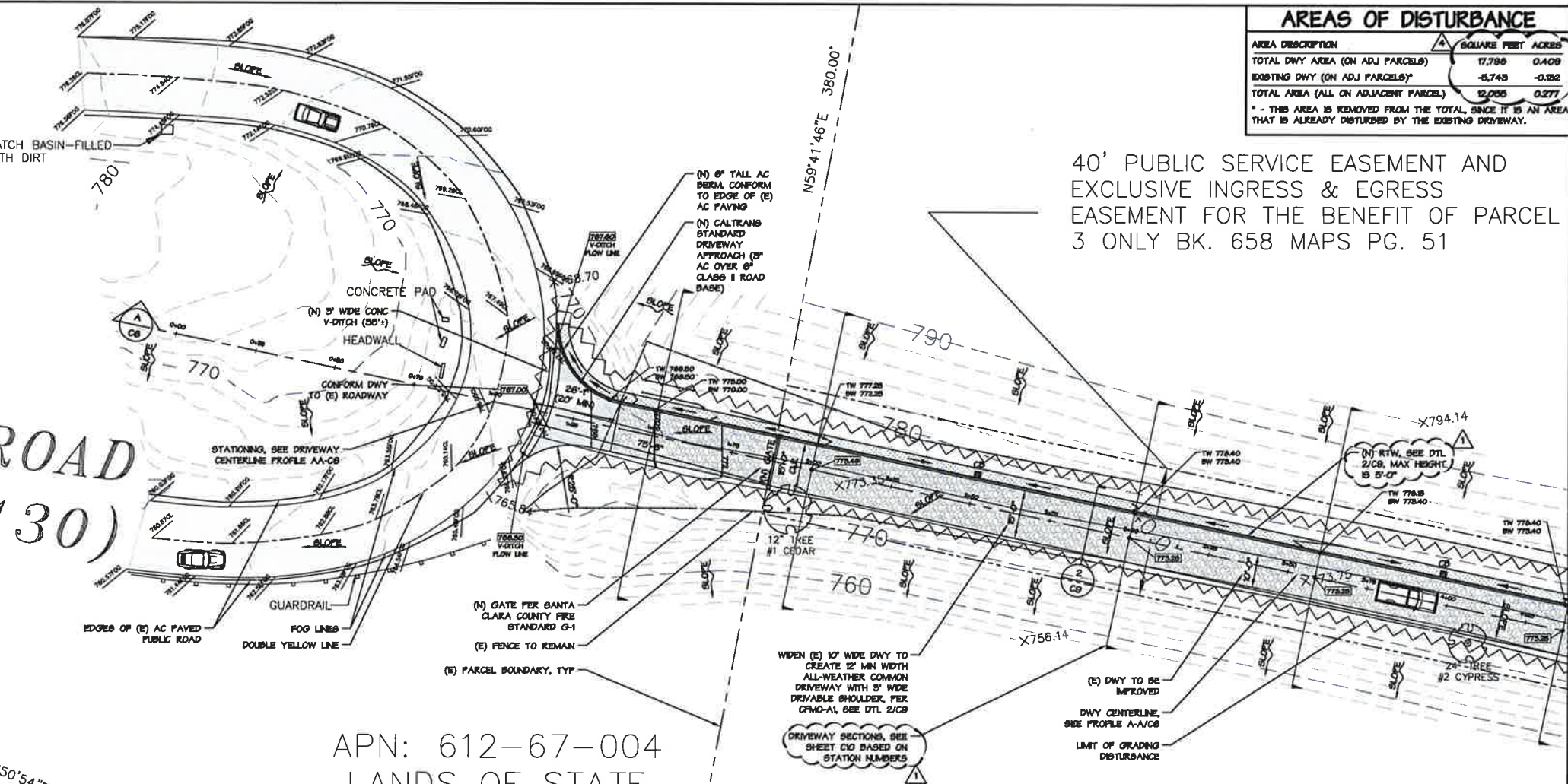
* - THIS AREA IS REMOVED FROM THE TOTAL, SINCE IT IS AN AREA THAT IS ALREADY DISTURBED BY THE EXISTING DRIVEWAY.

40' PUBLIC SERVICE EASEMENT AND EXCLUSIVE INGRESS & EGRESS EASEMENT FOR THE BENEFIT OF PARCEL 3 ONLY BK. 658 MAPS PG. 51

MT. HAMILTON ROAD
STATE ROUTE 130)

CIVIL NOTES AND SPECIFICATIONS

- A. GENERAL GRADING AND DRAINAGE NOTES
1. ALL GRADING SHALL BE DONE IN CONFORMANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT DATED MARCH 10, 2001, PREPARED BY ASSOCIATED TERRA CONSULTANTS. ALL GRADING AND EXCAVATION OPERATIONS SHALL BE OBSERVED BY THE PROJECT GEOTECHNICAL ENGINEER PER THEIR RECOMMENDATIONS AND THE REQUIREMENTS OF SANTA CLARA COUNTY.
 2. ANY IMPORTED SOIL OR FILL MATERIALS USED ON THE SITE SHALL BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
 3. ALL FILL PLACED ON THE PROJECT SITE SHALL BE ENGINEERED FILL, COMPACTED TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION.
 4. ALL EXCAVATED MATERIAL NOT REUSED ON THE PROJECT SITE SHALL BE HAULED TO A COUNTY APPROVED DISPOSAL SITE.
 5. CONTRACTOR SHALL CAREFULLY EXCAVATE ALL MATERIALS NECESSARY OF WHATEVER NATURE, FOR CONSTRUCTION OF THE WORK. ANY MATERIAL OF AN UNSUITABLE OR DELETERIOUS NATURE DISCOVERED BELOW THE BOTTOMS OF THE FOUNDATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE GEOTECHNICAL ENGINEER BEFORE PROCEEDING WITH THE WORK.
 6. BACKGROUND EXISTING SITE SURVEY AND EXISTING TOPOGRAPHY USED IN THESE DRAWINGS WAS PREPARED BY T&M LAND SURVEYING.
 7. THE FINISH GRADE SURFACE SHALL HAVE A SLOPE AWAY FROM THE BUILDING FOUNDATION OF AT LEAST 5 PERCENT FOR A MINIMUM DISTANCE OF AT LEAST 10 FEET, WHERE OBSTRUCTIONS OR LOT LINES PREVENT THIS, SLOPE 5 PERCENT FOR 5 FEET TO A SWALE OR TRENCH DRAIN.
 8. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED AT LEAST 2 PERCENT AWAY FROM THE BUILDING.
 9. NEW DRIVEWAY SHALL CONNECT SMOOTHLY TO EXISTING PAVED ROADWAY.
 10. RAIN GUTTERS SHALL BE INSTALLED AROUND ALL ROOF EAVES AND DRAIN THROUGH DOWNSPOUTS TO ENERGY DISSIPATORS AS LOCATED ON SHEET C3. WHERE POSSIBLE, DOWNSPOUTS SHALL NOT DISCHARGE TO UNPAVED SURFACES BENEATH THE CANOPIES OF TREES.
 11. DRAIN PIPES SHALL BE PROVIDED BEHIND ALL NEW RETAINING WALLS, UNLESS NOTED OTHERWISE, AND SHALL BE DIRECTED TO A POINT OF SAFE RELEASE.
 12. RUNOFF FROM IMPERVIOUS AND SEMI-IMPERVIOUS AREAS SHALL SHEET FLOW OVER VEGETATED SURFACES OR BE DISCHARGED TO ENERGY DISSIPATORS AS SHOWN ON THE DRAINAGE PLAN.
 13. NO IMPROVEMENTS SHALL OBSTRUCT OR DIVERT RUNOFF TO THE DETRIMENT OF AN ADJACENT, DOWNSTREAM, OR DOWN SLOPE PROPERTY.
 14. CONTRACTOR SHALL VERIFY GRADES AROUND EXISTING AND PROPOSED STRUCTURES FOR CONFORMANCE WITH ARCHITECTURAL AND STRUCTURAL PLANS.
 15. TOPSOIL THAT IS SCRAPED FOR SITE GRADING SHALL BE STOCKPILED AND SAVED FOR REUSE. SEE EROSION CONTROL PLAN.
- B. ASPHALT CONCRETE (AC) PAVING
1. ASPHALT CONCRETE SHALL BE TYPE "B" HOT-MIX.
 2. ASPHALT CONCRETE SHALL BE PRODUCED AT A CENTRAL MIXING PLANT FROM COMMERCIAL QUALITY ASPHALT AND AGGREGATES.
 3. AGGREGATE SHALL HAVE A MAXIMUM SIZE OF 1" AND BE MEDIUM GRADED.
 4. ASPHALT SANDER TO BE MIXED WITH THE AGGREGATE SHALL BE BETWEEN 4 AND 7 PERCENT BY WEIGHT OF THE DRY AGGREGATE.
 5. SPREADING AND COMPACTING SHALL BE PERFORMED BY METHODS THAT WILL PRODUCE A SURFACE WITH UNIFORM SMOOTHNESS, TEXTURE, AND DENSITY.
 6. EXISTING PAVEMENT SHALL BE COATED WITH ASPHALTIC EMULSION AT ALL LOCATIONS WHERE THE NEW PAVEMENT JOINS THE EXISTING.
 7. ASPHALT CONCRETE SHALL ONLY BE PLACED DURING FAIR WEATHER AND WHEN TEMPERATURES ARE WITHIN THE PRESCRIBED LIMITS.



APN: 612-67-004
LANDS OF STATE
OF CALIFORNIA
DOC. #2867384

PARCEL 2
PM 658-M-51

APN: 612-67-002
LANDS OF SILVEIRA
DOC. #17441535

PARCEL 1
PM 658-M-51

APN: 612-67-001
LANDS OF POKORNY
DOC. #22681535

PRELIMINARY GRADING AND DRAINAGE PLAN (DRIVEWAY)

SCALE 1" = 20' WHEN PRINTED FULL SIZE ON 24" x 36" PAPER

APPLICANT: HART & AITKEN

ROAD: PEDRO VIEW ROAD

COUNTY FILE NO.: 7921-17DR-17G

REVISION NUMBER	REVISION DATE
1	8-2-10
2	10-28-10
3	1-10-10
4	2-7-10

Civil Engineering and Structural Design
MILLS YOUNG ENGINEERING
10000 Santa Monica Blvd., Suite 100
Santa Monica, CA 90405
(818) 556-8420 www.MillsYoung.com

HART - AITKEN RESIDENCE

65 PEDRO VIEW RD, SAN JOSE, CA 95140
OWNERS: JUDY HART AND KEVIN AITKEN
APN: 612-67-003
PRELIMINARY - NOT FOR CONSTRUCTION

PRELIMINARY GRADING
AND DRAINAGE PLAN
(DRIVEWAY)

DATE:	12-11-17
SCALE:	1" = 20'
DRAWN BY:	MEM
JOB #:	1701
SHEET:	C2
OF 80 SHEETS	

C:\Mills Young Engineering\Jobs Files\001\1701 Hart-Aitken\17011 Hart-Aitken\170111 C2.dwg, 17/12/2018 5:17:35 PM, USE OR REPRODUCTION WITHOUT PERMISSION PROHIBITED

SITE BACKGROUND INFORMATION INCLUDING BOUNDARIES, TOPOGRAPHY, TREES, AND EXISTING STRUCTURES IS FROM A SURVEY PROVIDED BY TKM LAND SURVEYORS. PROPOSED ARCHITECTURAL FEATURES WERE PROVIDED BY HOMETEC ARCHITECTURE.

AREAS OF DISTURBANCE

AREA DESCRIPTION	SQUARE FEET	ACRES
FOR STRUCTURES, DRIVEWAYS, PATIOS, ETC.	24,153	0.784
FOR SEPTIC SYSTEM	8,528	0.196
TOTAL (ALL WITHIN SUBJECT PARCEL)	42,681	0.980

SEE SHEET C4

PARCEL 3
PM 658 M 51
APN: 612-67-003
LANDS OF HART
DOC. #22915703

"SOIL GLACIER" SEE REPORTS AND DRAWINGS BY ASSOCIATED TERRA CONSULTANTS, TYP

SOIL SUB-DRAIN, SEE DTL 5/C9, TYP

D C9

8' WIDE DIRT ACCESS

"SOIL GLACIER" SEE REPORTS AND DRAWINGS BY ASSOCIATED TERRA CONSULTANTS, TYP

(E) PARCEL BOUNDARY, TYP

ENERGY DISSIPATER, SEE DTL 4/BMP-1, TYP
PIPE DOWNPOUTS TO CATCH BASINS, TYP

VEGETATED SWALE, SLOPE 5% MIN, SEE DTL V/C9

(N) TURNOUT PER COUNTY STANDARD DTL 5D-16

10' WIDE DIRT ROAD

SEE SHEET C2

(E) DWY TO BE IMPROVED

(N) RTWS, SEE DTL 4/C9, MAX HEIGHT IS 5'-0"

(N) RTWS, MAX HEIGHT IS 5'-0"

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(N) RTWS, MAX HEIGHT IS 5'-0"

IMPERVIOUS AREAS

IMPERVIOUS AREA DESCRIPTION	EXISTING	PROPOSED
DRIVEWAY (ASPHALT)	0 SQUARE FT	828 SQUARE FT
HOUSE	0 SQUARE FT	4,841 SQUARE FT
2ND UNIT	0 SQUARE FT	1,488 SQUARE FT
DETACHED GARAGE	0 SQUARE FT	1,200 SQUARE FT
SITE PATIOS, WALKWAYS, ETC.	0 SQUARE FT	3,276 SQUARE FT
TOTAL IMPERVIOUS AREA	0 SQUARE FT	11,330 SQUARE FT
SEMI-PERVIOUS GRAVEL PARKING, TURNAROUND	0,198 SQUARE FT	13,960 SQUARE FT

INCLUDES OFF-SITE DRIVEWAY

APPROXIMATE GRADING QUANTITIES

SEE TABLE ON SHEET T1

NOTES:

GRADING QUANTITY ESTIMATES DO NOT INCLUDE STRIPPING OF SURFACE MATERIALS, MATERIAL REMOVED FOR FOUNDATION PIER, OR UTILITY TRENCHES, WHICH MAY BE REQUIRED.

THIS ESTIMATE INCLUDES A 10% COMPACTION FACTOR ON FILL AND 0% EXPANSION FACTOR ON CUT SOIL.

THESE QUANTITIES ARE ESTIMATES GENERATED FOR PLANNING PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE VOLUMES ANTICIPATED FOR THE PREPARATION OF THEIR CONSTRUCTION COSTS.

SEE SHEET C5

PRELIMINARY GRADING AND DRAINAGE PLAN (BUILDING SITE)

SCALE 1" = 20'

S49°10'26"W 1013.14'

HART - AITKEN RESIDENCE

65 PEDRO VIEW RD, SAN JOSE, CA 95140

OWNERS: JUDY HART AND KEVIN AITKEN

APN: 612-67-003

PRELIMINARY, NOT FOR CONSTRUCTION

PRELIMINARY GRADING AND DRAINAGE PLAN (BUILDING SITE)

DATE:	12-11-17
SCALE:	1" = 20'
DRAWN BY:	MMB
JOB #:	17011
SHEET:	C3
OF 53 SHEETS	

APPLICANT: HART & AITKEN

ROAD: PEDRO VIEW ROAD

COUNTY FILE NO.: 7921-17DR-17G

MILLS YOUNG ENGINEERING
Civil Engineering and Structural Design
241 Sunnyvale Road
San Jose, CA 95135
(408) 551-8420 www.millsyoung.com

SITE BACKGROUND INFORMATION INCLUDING BOUNDARIES, TOPOGRAPHY, TREES, AND EXISTING STRUCTURES IS FROM A SURVEY PROVIDED BY TKM LAND SURVEYORS. PROPOSED ARCHITECTURAL FEATURES WERE PROVIDED BY HOMETEC ARCHITECTURE.

REVISION NUMBER	REVISION DATE
1	8-2-15
2	10-28-15

Civil Engineering and Structural Design

MILLS YOUNG ENGINEERING

411 Santa Monica Blvd.
Brentwood, CA 91505
(818) 356-8420 www.MillsYoung.com

HART - AITKEN RESIDENCE

65 PEDRO VIEW RD, SAN JOSE, CA 95140

PRELIMINARY, NOT FOR CONSTRUCTION

OWNERS: JUDY HART AND KEVIN AITKEN

APN: 612-67-003

PROFESSIONAL ENGINEER & SURVEYOR

STATE OF CALIFORNIA

NO. 07007

DATE

CIVIL

PRELIMINARY GRADING AND DRAINAGE PLAN (UPPER PROPERTY)

DATE: 12-11-17

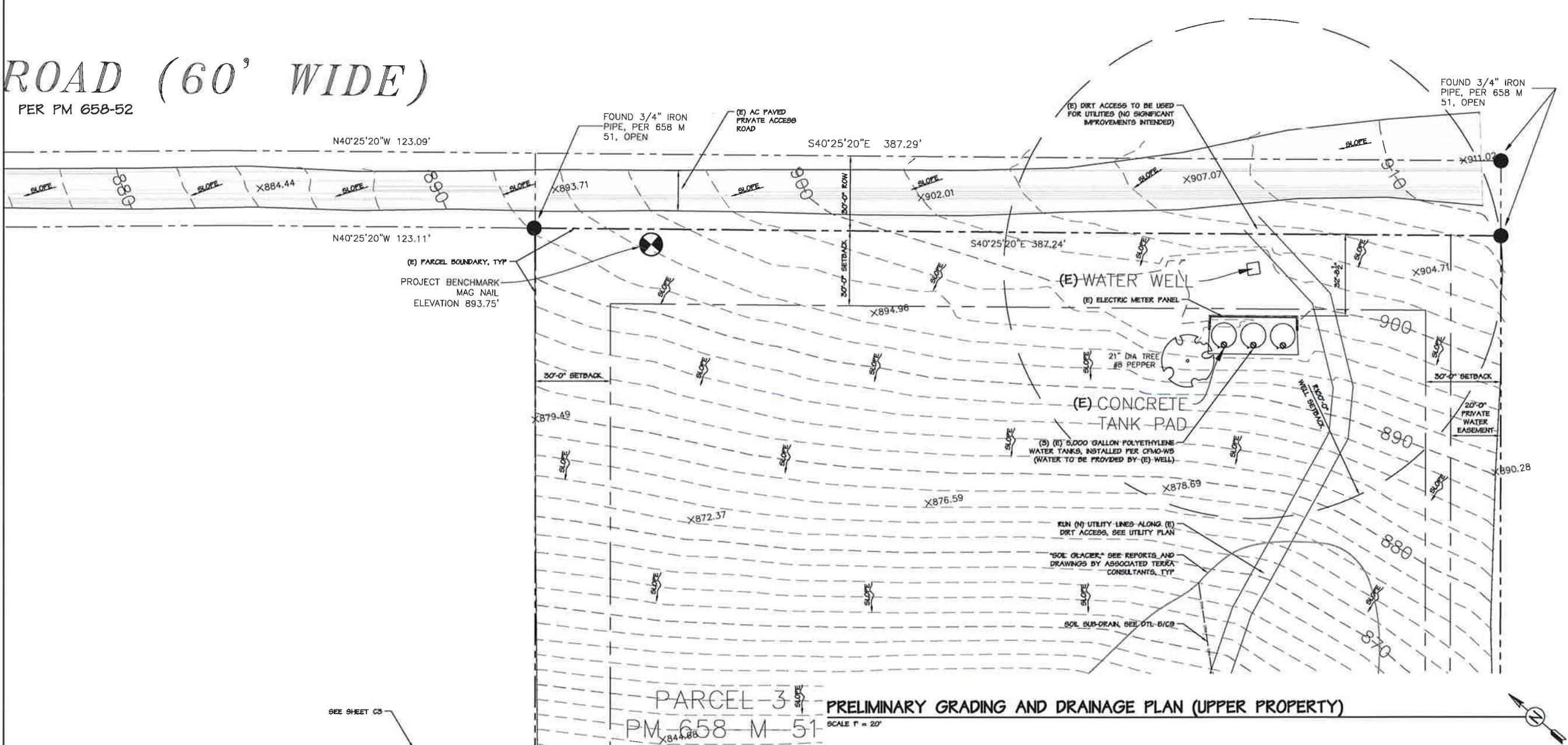
SCALE: 1" = 20'

DRAWN BY: MEM

JOB #: 17011

SHEET: **C4**

OF 35 SHEETS



SITE BACKGROUND INFORMATION INCLUDING BOUNDARIES, TOPOGRAPHY, TREES, AND EXISTING STRUCTURES IS FROM A SURVEY PROVIDED BY T&M LAND SURVEYORS. PROPOSED ARCHITECTURAL FEATURES WERE PROVIDED BY HOMETEC ARCHITECTURE.

SEE SHEET C3

(E) PARCEL BOUNDARY, TYP

FOUND 3/4" IRON PIPE, PER 658 M 51, OPEN

FOUND 3/4" IRON PIPE, PER 658 M 51, OPEN

PRELIMINARY GRADING AND DRAINAGE PLAN (LOWER PROPERTY)

SCALE 1" = 20'

SET 5/8" REBAR W/CAP, LS 6438

APPLICANT: HART & AITKEN

ROAD: PEDRO VIEW ROAD

COUNTY FILE NO.: 7921-17DR-17G

REVISION NUMBER	REVISION DATE
1	5-21-15

Civil Engineering and Structural Design

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441 Santa Monica Lane
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(951) 546-8420 www.MillsYoung.com

HART - AITKEN RESIDENCE

65 PEDRO VIEW RD, SAN JOSE, CA 95140

OWNERS: JUDY HART AND KEVIN AITKEN

APN: 612-67-003

PRELIMINARY, NOT FOR CONSTRUCTION

REGISTERED PROFESSIONAL ENGINEER

STATE OF CALIFORNIA

NO. 67207

DATE 07/2007

EXPIRATION 07/2012

PRELIMINARY GRADING AND DRAINAGE PLAN (LOWER PROPERTY)

DATE: 12-11-17

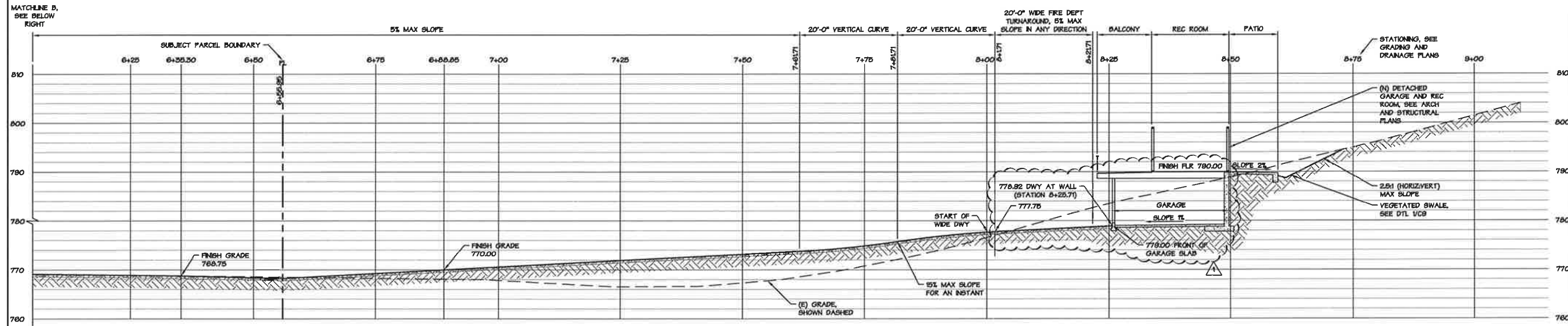
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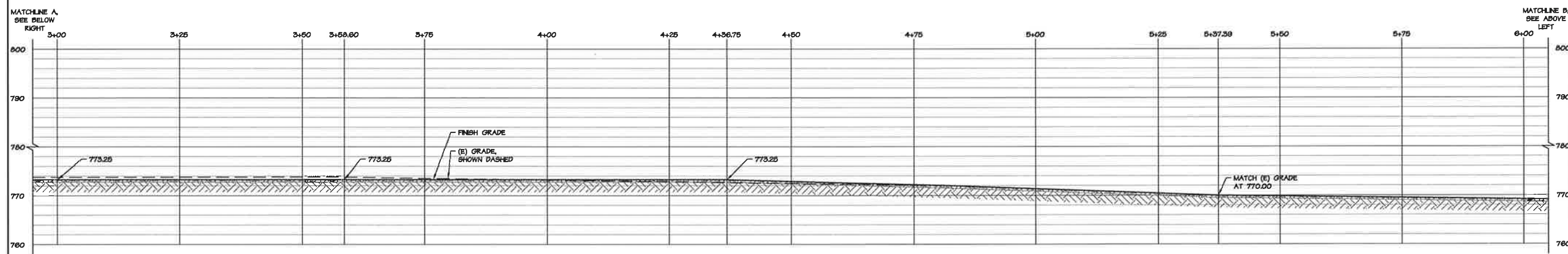
JOB #: 17011

SHEET: **C5**

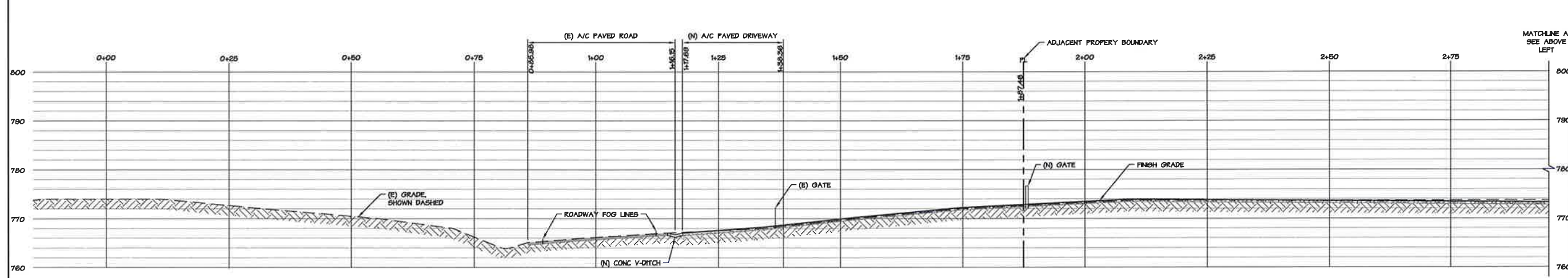
OF 32 SHEETS



DRIVEWAY CENTERLINE PROFILE (SECTION A-A)
SCALE 1"=10'



DRIVEWAY CENTERLINE PROFILE (SECTION A-A)
SCALE 1"=10'



DRIVEWAY CENTERLINE PROFILE (SECTION A-A)
SCALE 1"=10'

REVISION NUMBER	REVISION DATE
1	5-21-10

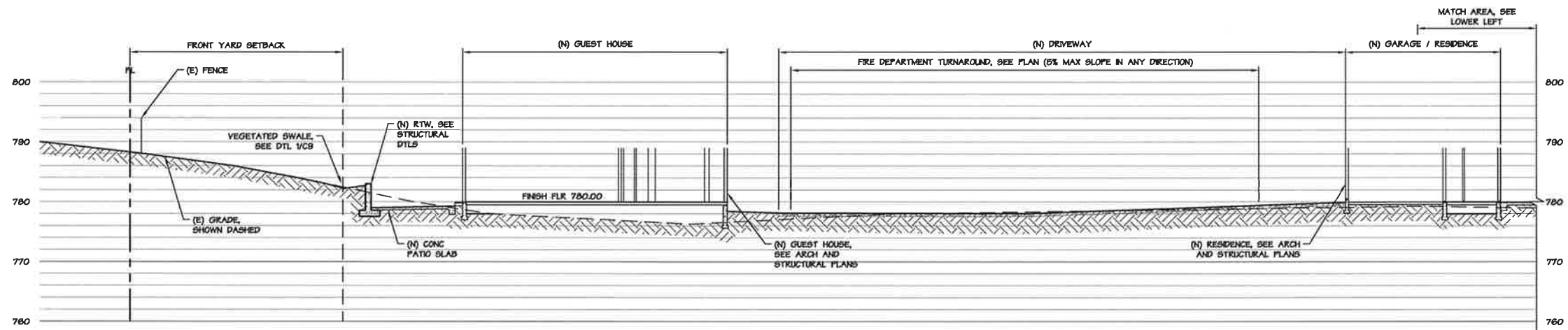
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241 S. Main St., Suite 100
San Jose, CA 95128
(408) 281-8120 www.millsyoung.com

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65 PEDRO VIEW RD, SAN JOSE, CA 95140
OWNERS: JUDY HART AND KEVIN AITKEN
APN: 612-67-003

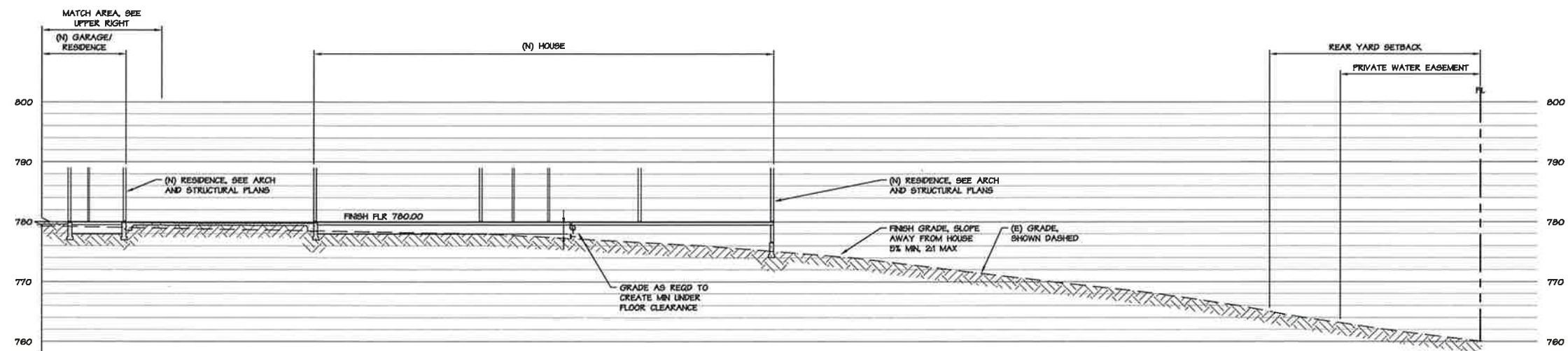
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DRIVEWAY CENTERLINE PROFILE

DATE: 12-11-17
SCALE: 1" = 10'
DRAWN BY: JAY
JOB #: 1701
SHEET: C6
OF 32 SHEETS



SITE SECTION B-B
SCALE 1"=10'



SITE SECTION B-B
SCALE 1"=10'

REVISION NUMBER	REVISION DATE
1	8-21-18

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2250 University Avenue
Berkeley, CA 94705
(833) 546-8420 www.MillsYoung.com

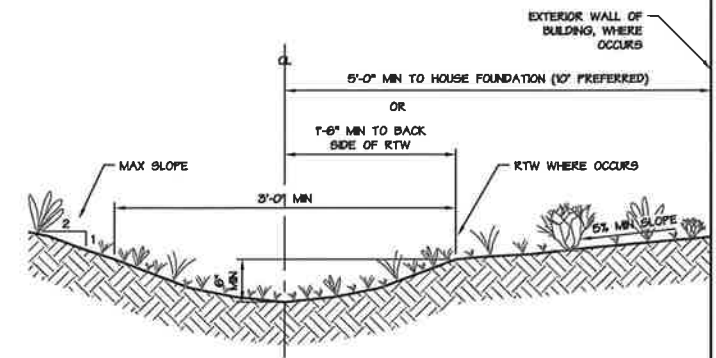
HART - AITKEN RESIDENCE
65 PEDRO VIEW RD, SAN JOSE, CA 95140
OWNERS: JUDY HART AND KEVIN AITKEN
APN: 612-67-003

PRELIMINARY, NOT FOR CONSTRUCTION



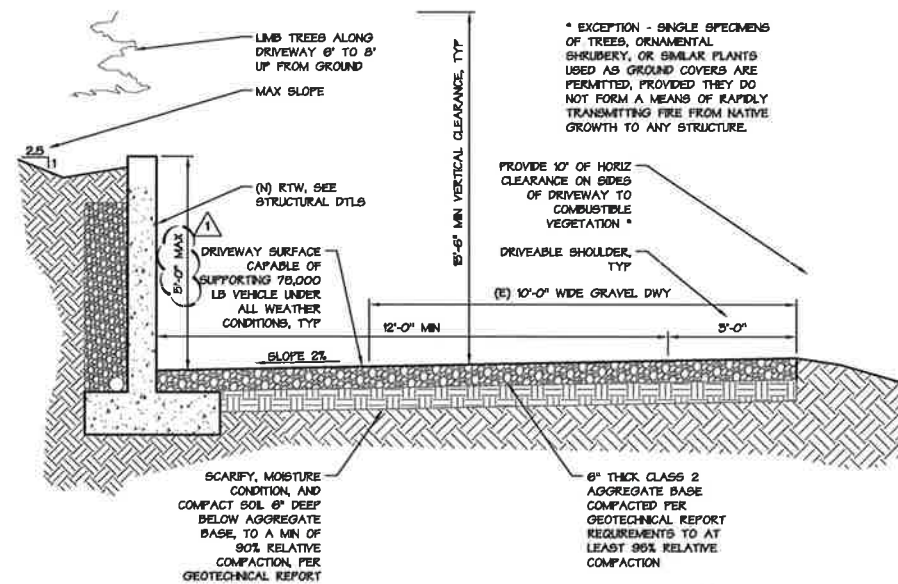
SITE SECTIONS

DATE:	12-11-17
SCALE:	1" = 10'
DRAWN BY:	JAY
JOB #:	17011
SHEET:	C7
OF 32 SHEETS	



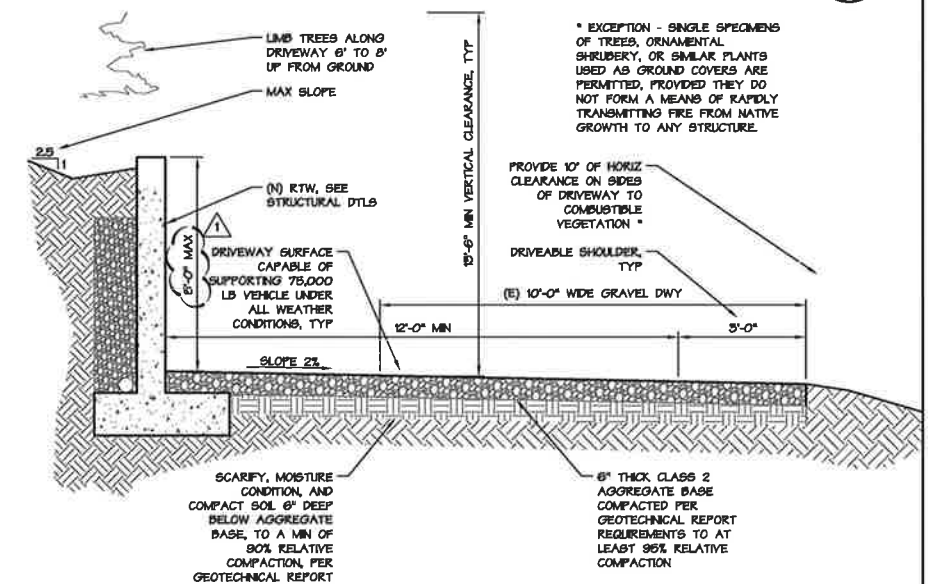
- NOTES:**
1. SWALE SHALL BE LOCATED AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
 2. SWALE SHALL SLOPE ALONG ITS LENGTH TO CONVEY RUNOFF TO ENERGY DISSIPATOR OR OTHER POINT OF ENERGY RELEASE.
 3. LONGITUDINAL SLOPE OF SWALE SHALL BE AT LEAST 5%, EXCEPT AT TWO SWALES NEAR CONTOUR 755, WHERE THE GOAL IS TO HAVE RUNOFF PERMEATE INTO SURFACE SOILS.
 4. DO NOT PASS OR OTHERWISE LINE SWALE. SURFACE SHOULD BE NATIVE EARTH.
 5. SWALE SHALL BE PLANTED WITH DURABLE GRASSES OR OTHER PLANTS THAT DO NOT BLOCK RUNOFF FLOW. PLANTS ARE INTENDED TO HELP PREVENT EROSION.
 6. SEE EROSION CONTROL NOTES FOR ADDITIONAL REQUIREMENTS.

TYPICAL VEGETATED SWALE

1
CE

TYPICAL DRIVEWAY SECTION W/ RTW
INBOARD SLOPE

4
C9

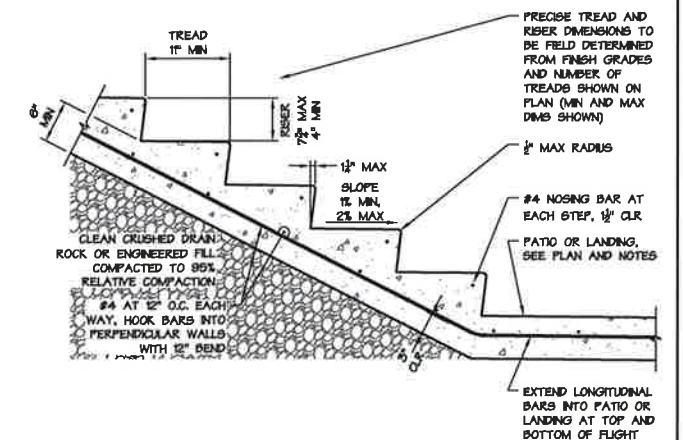


TYPICAL DRIVEWAY SECTION W/ RTW
OUTBOARD SLOPE

2
C9

STAIR NOTES

1. SEE STRUCTURAL NOTES SHEET 81.
2. STAIR CONSTRUCTION SHALL CONFORM WITH CBC SECTION 1009.
3. MINIMUM CLEAR WIDTH OF STAIRWAY SHALL BE 3'-0" (FOR OCCUPANT LOADS LESS THAN 50).
4. MINIMUM HEADROOM CLEARANCE SHALL BE 6'-8".
5. MAXIMUM STAIR RISER HEIGHT SHALL BE 7 $\frac{1}{2}$ " (GROUP R-3 OCCUPANCY).
6. MINIMUM STAIR RISER HEIGHT SHALL BE 4".
7. MINIMUM TREAD DEPTH SHALL BE 10" OR 6" AT NARROW SIDE OF WINDER TREAD (GROUP R-3 OCC).
8. A NOBING NOT LESS THAN 3" BUT NOT MORE THAN 1 $\frac{1}{2}$ " SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS WHERE THE TREAD DEPTH IS LESS THAN 11".
9. STAIR TREADS AND RISERS SHALL BE OF UNIFORM SIZE AND SHAPE. TOLERANCE BETWEEN LARGEST AND SMALLEST TREADS OR RISERS IN ANY FLIGHT OF STAIRS SHALL BE $\frac{1}{8}$ ".
10. RISERS SHALL BE SOLID AND VERTICAL OR SLOPED UNDER THE TREAD ABOVE FROM THE UNDERSIDE OF THE NOBING ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES FROM VERTICAL.
11. LEADING EDGE (NOBING) OF TREADS SHALL PROJECT NOT MORE THAN 1 $\frac{1}{2}$ " BEYOND THE TREAD BELOW AND ALL PROJECTIONS OF THE LEADING EDGES SHALL BE OF UNIFORM SIZE, INCLUDING THE LEADING EDGE OF THE FLOOR AT THE TOP OF A FLIGHT.
12. THE WIDTH AND DEPTH OF LANDINGS SHALL NOT BE LESS THAN THE WIDTH OF STAIRWAYS THEY SERVE. THE DEPTH OF LANDINGS IN THE DIRECTION OF TRAVEL NEED NOT EXCEED 4'-0" WHERE THE STAIRWAY HAS A STRAIGHT RUN.
13. THE WALKING SURFACE OF THE STAIRWAY SHALL HAVE A SLIP RESISTANT FINISH AND SHALL BE SLOPED AS SHOWN TO PREVENT WATER FROM ACCUMULATING ON THEM.
14. A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE GREATER THAN 12'-0" BETWEEN FLOOR LEVELS OR LANDINGS.
15. STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE AND SHALL COMPLY WITH CBC SECTION 1012, UNLESS EXCEPTED IN CBC SECTION 1009.12.



EXTERIOR CONCRETE STAIRS

3
C9

REVISION NUMBER	REVISION DATE
1	5-21-19

**MILLS YOUNG
ENGINEERING**
241 Sunny Patch Lane
Ben Lomond, CA 95003
(831) 356-8420 www.MillsYoung.com

HART - AITKEN RESIDENCE

665 PEDRO VIEW RD, SAN JOSE, CA 95140
OWNERS: JUDY HART AND KEVIN AITKEN

APN: 612-67-003

PRELIMINARY, NOT
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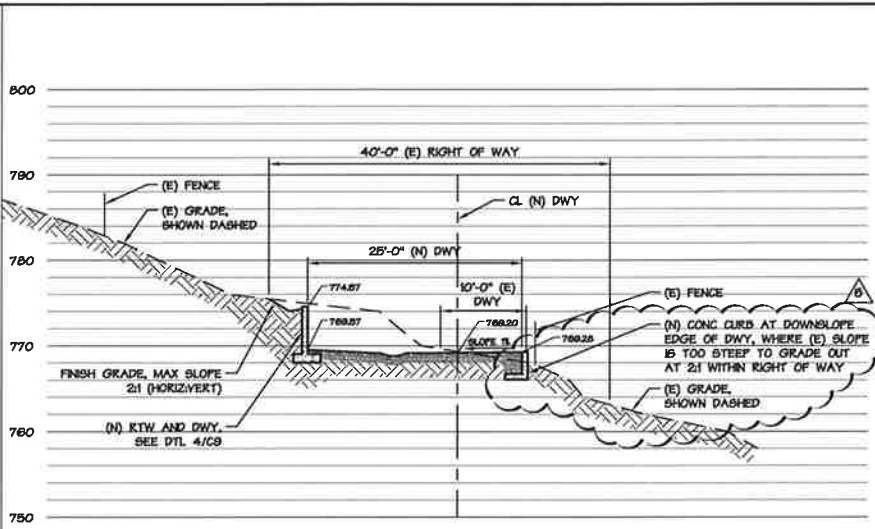


CIVIL DETAILS

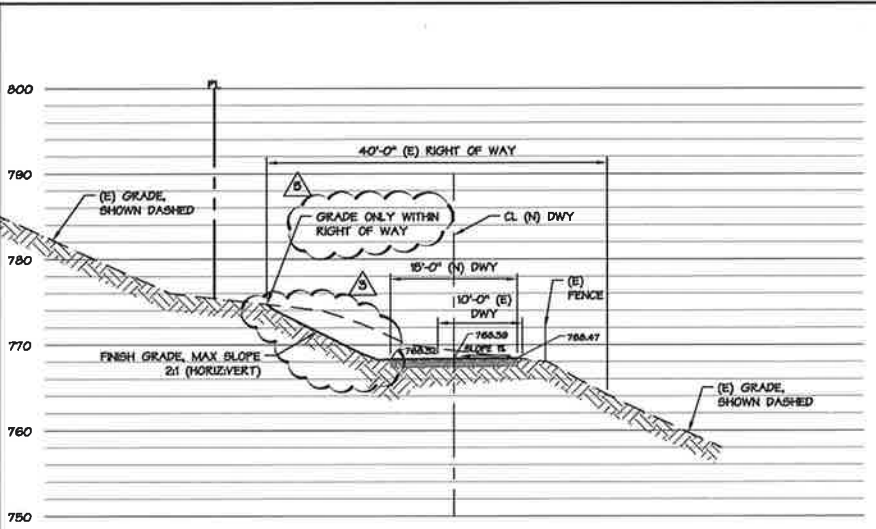
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SCALE:	VARIABLE
DRAWN BY:	MEM
JOB #:	17011
SHEET:	C9
OF 32 SHEETS	



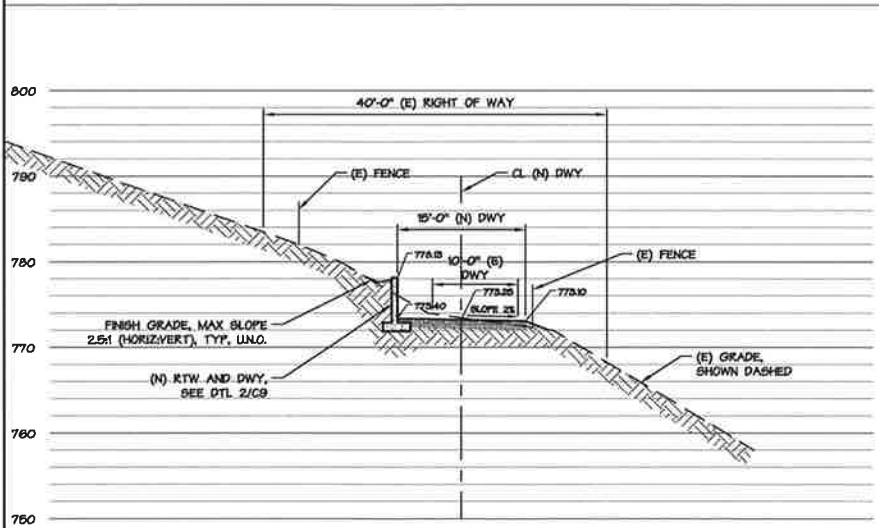
DRIVEWAY SECTION AT STATION 1+50



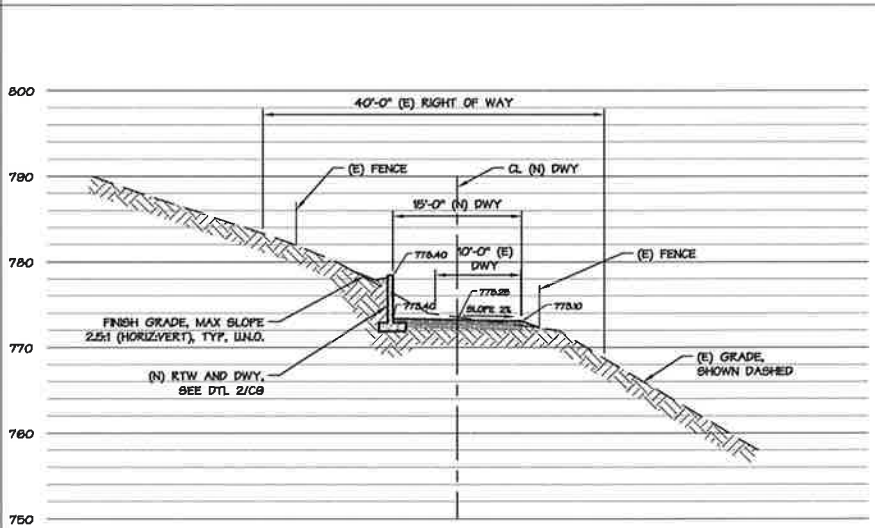
DRIVEWAY SECTION AT STATION 2+00



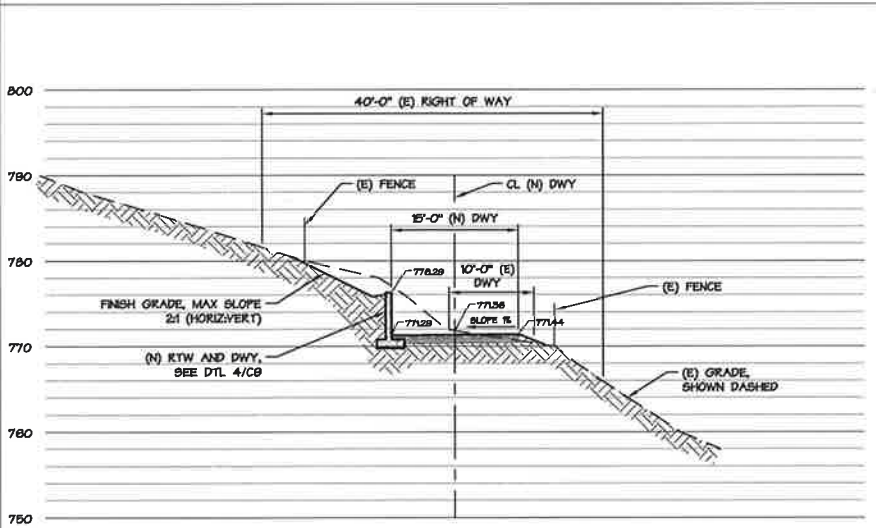
DRIVEWAY SECTION AT STATION 3+00



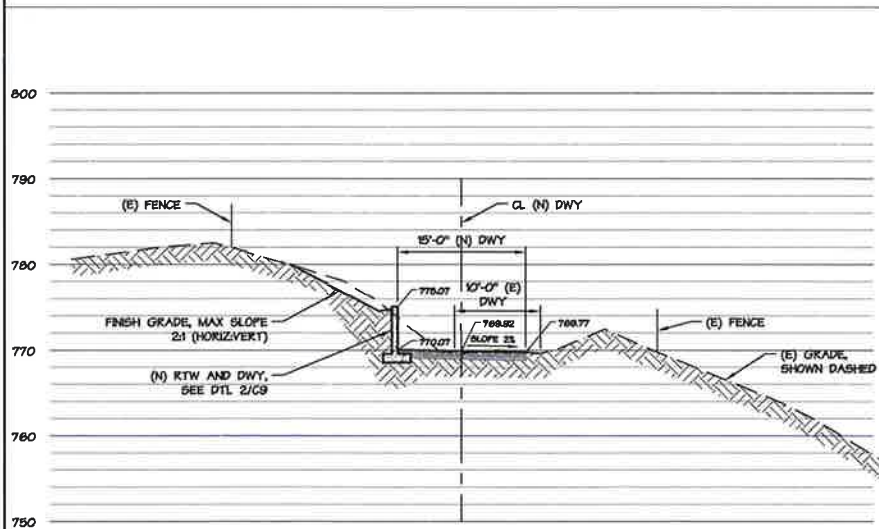
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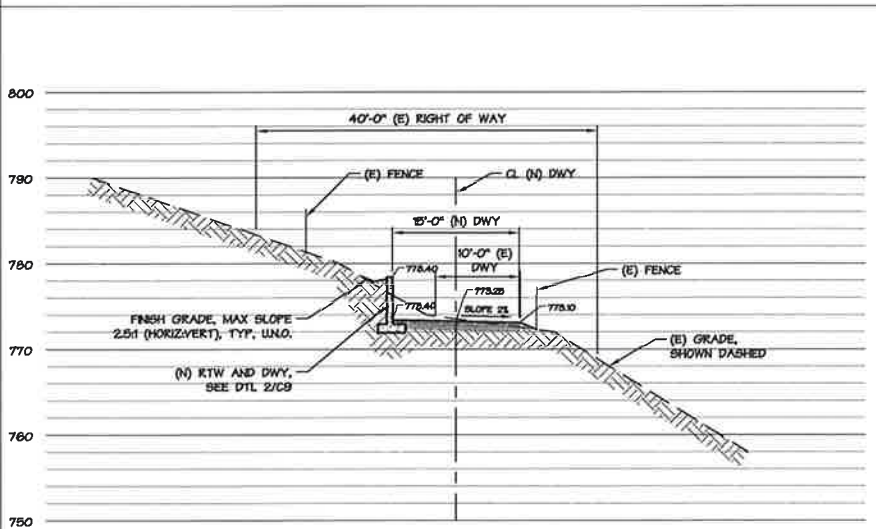
DRIVEWAY SECTION AT STATION 4+36.7503



DRIVEWAY SECTION AT STATION 5+00



DRIVEWAY SECTION AT STATION 6+00



DRIVEWAY SECTION AT STATION 6+50

REVISION NUMBER	REVISION DATE
1	8-2-18
2	10-26-18
3	1-16-19
4	2-7-19
5	6-1-19

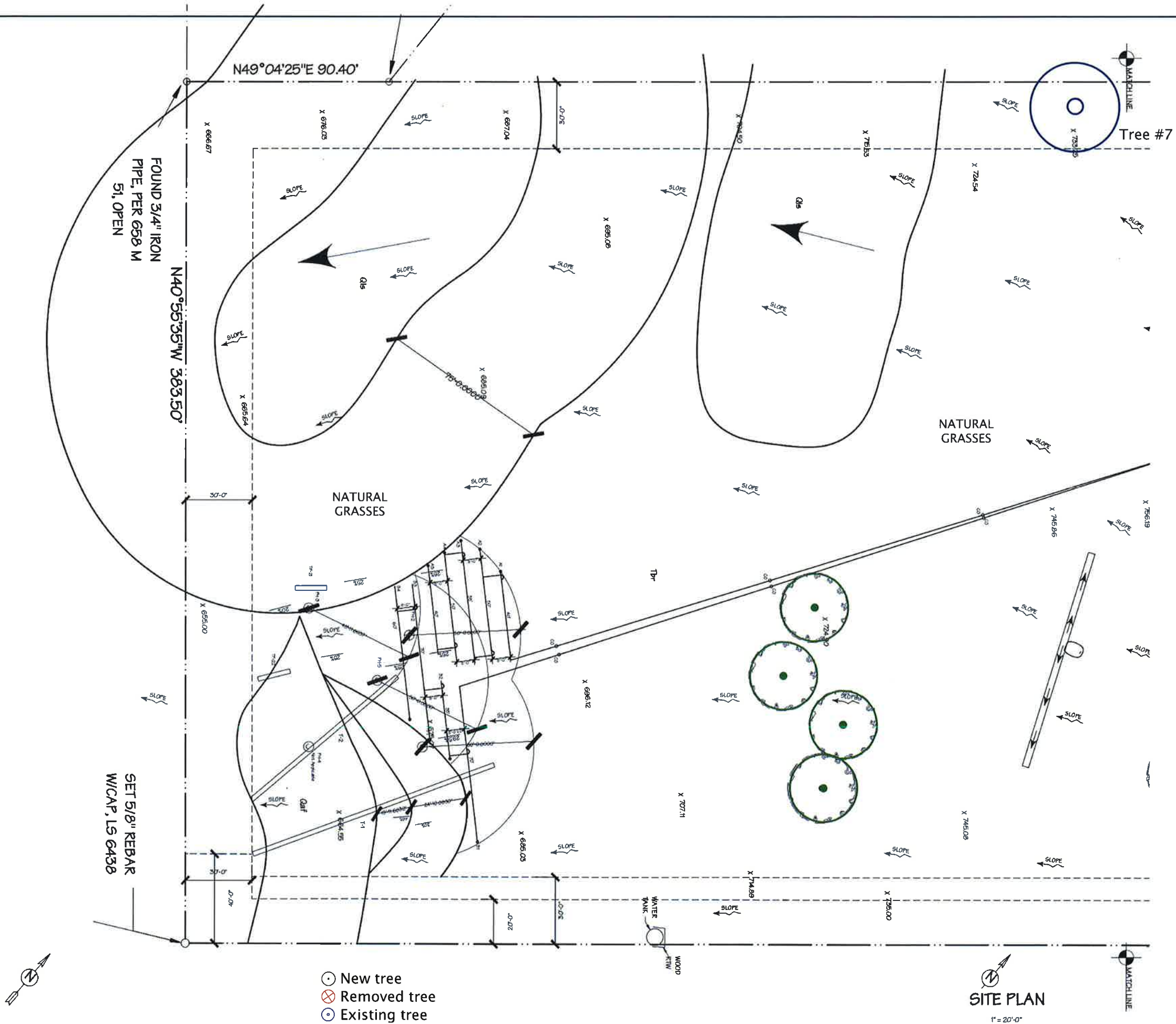
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ENGINEERING
Civil Engineering and Structural Design
241 Sunny Patch Lane
Ben Lomond, CA 95005
(833) 346-8425 www.MillsYoung.com

HART - AITKEN RESIDENCE
65 PEDRO VIEW RD, SAN JOSE, CA 95140
OWNERS: JUDY HART AND KEVIN AITKEN
APN: 612-67-003
PRELIMINARY, NOT FOR CONSTRUCTION

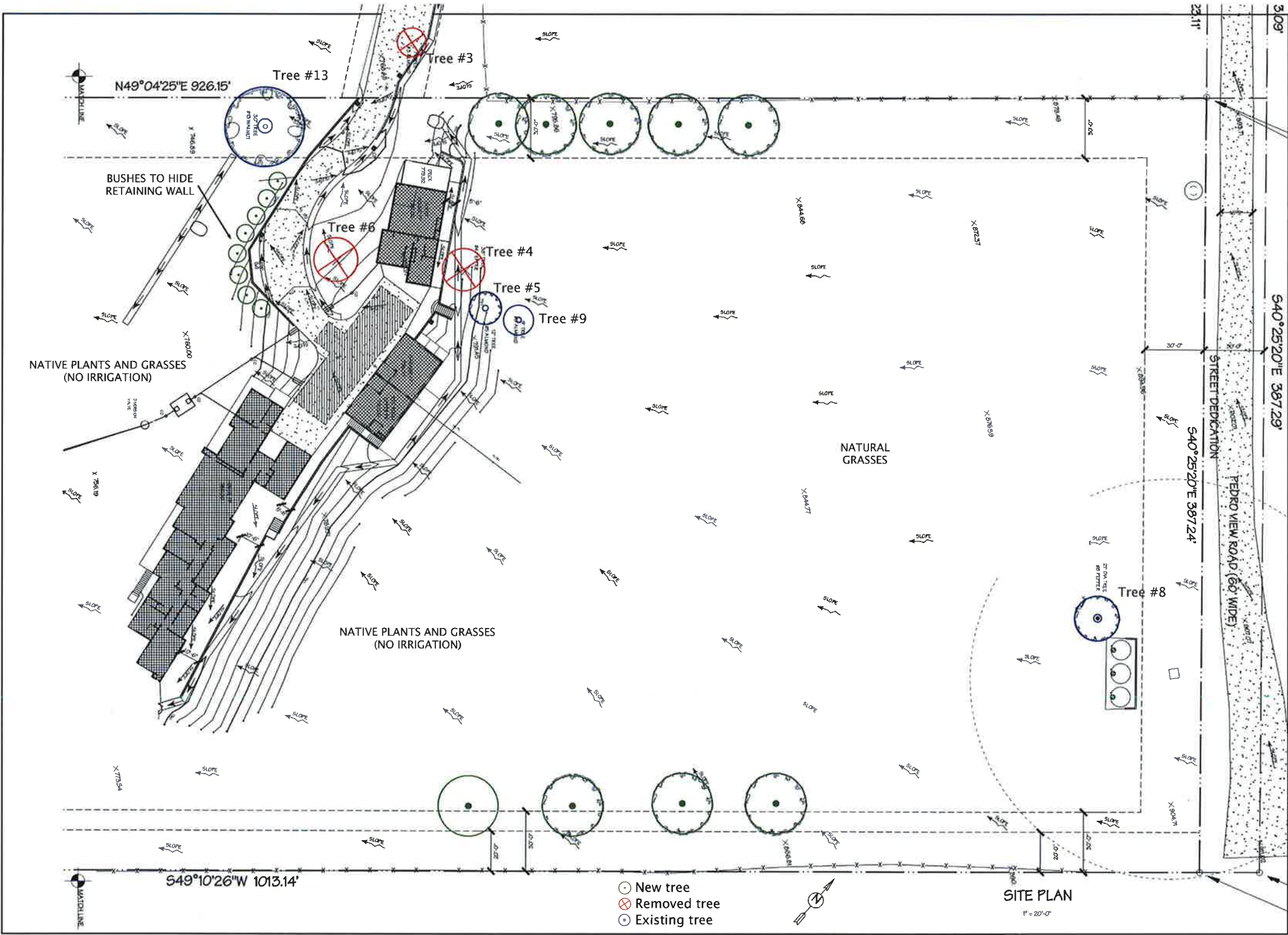
DRIVEWAY SECTIONS

DATE: 5-21-18
SCALE: 1" = 10'
DRAWN BY: MBW/JAY
JOB #: 17011
SHEET: C10
OF 35 SHEETS

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REVISIONS		BY
PLANNING	5-16-17	1
PLANNING	12-12-17	2
NEW HOME FOR:		
KEVIN AITKEN & JUDY HART		
612 - 67 - 003 (MOUNT HAMILTON ROAD)		
65 PEDRO VIEW ROAD, SAN JOSE, CA. 95140		
Date	5-28-18	
Scale	1" = 20'-0"	
Drawn	RAH	
Job	16-021	
Sheet	L-1	
of	Sheets	



REVISIONS		BY
PLANNING	8-15-17	RAH
PLANNING	12-12-17	RAH
NEW HOME FOR: KEVIN AITKEN & JUDY HART 612 - 67 - 008 (MOUNT HAMILTON ROAD) 65 PEDRO VIEW ROAD, SAN JOSE, CA 95140		
Date	8-26-2018	
Scale	1" = 20'-0"	
Drawn	RAH	
Job	161-021	
Sheet	L-2	
of	2	