

NEW RESIDENCE FOR THE
YUE & LOWE FAMILY AT
1554 PLATEAU AVENUE, LOS ALTOS, CA

OFFICIAL USE ONLY

DATE	REVISION



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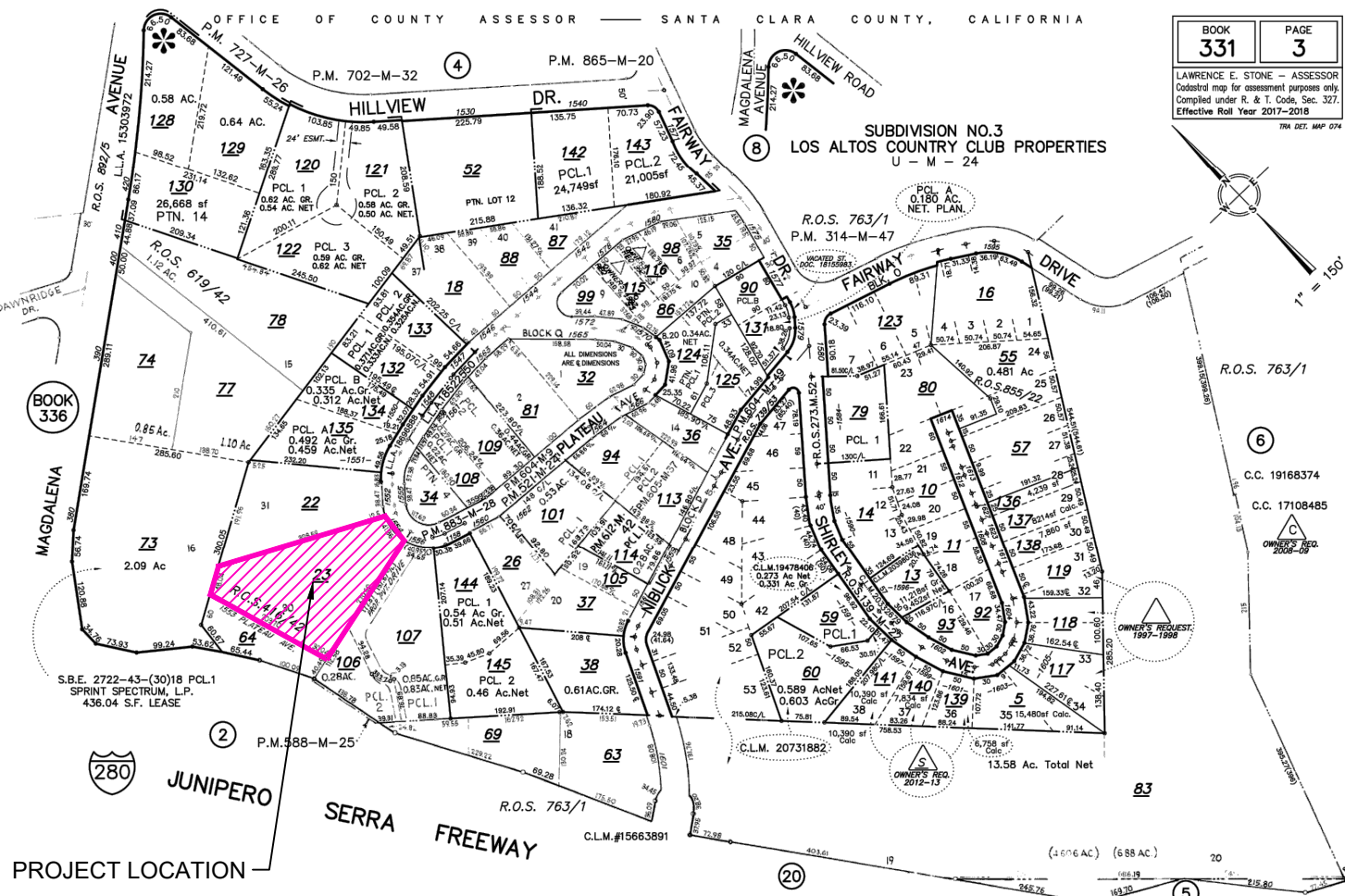
NEW RESIDENCE FOR
THE YUE-LOWE FAMILY AT
1554 PLATEAU AVE.,
LOS ALTOS, CA 94024

PLANNING PACKAGE
TITLE SHEET

5/14/2019
T0.1

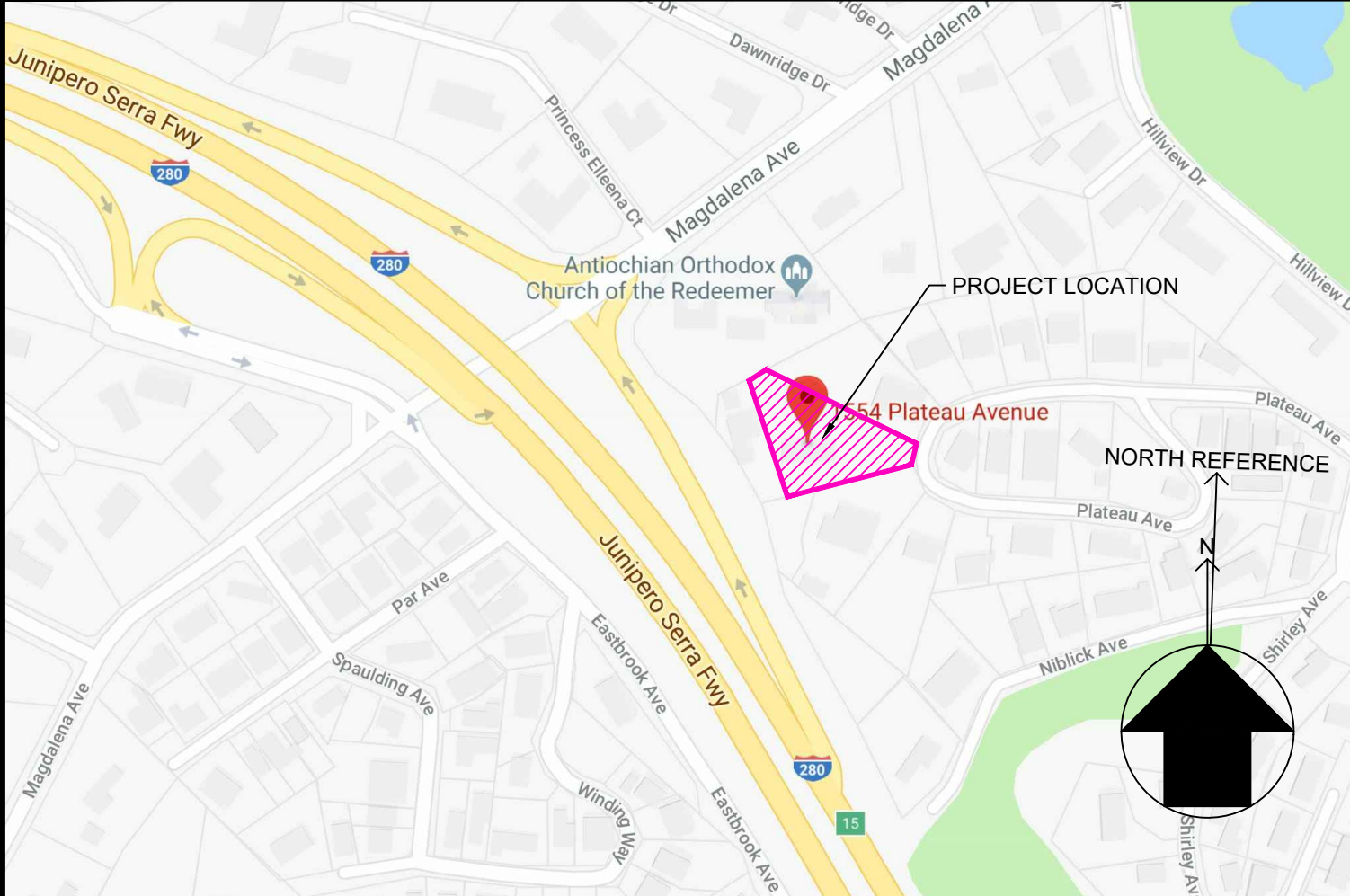
PARCEL MAP

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VICINITY MAP

NOT TO SCALE



DRAWING INDEX

ARCHITECTURAL: T0.1 TITLE SHEET T0.2 ABBRV., GRAPHIC SYMBOLS, & MATERIAL INDICATIONS T0.3 BEST MANAGEMENT PRACTICES T0.4 GENERAL NOTES CG1 CALGREEN CHECKLIST T24 TITLE 24 T24-M RESIDENTIAL MANDATORY MEASURES SUMMARY T1.1 FLOOR AREA RATIO CALCULATIONS A1.1 SITE PLAN A2.1 FIRST FLOOR PLAN A2.2 SECOND FLOOR PLAN A3.1 FIRST FLOOR REFLECTED CEILING PLAN A3.2 SECOND FLOOR REFLECTED CEILING PLAN A4.1 ROOF PLAN A5.1 BUILDING SECTIONS A6.1 NORTH & EAST ELEVATIONS A6.2 SOUTH & WEST ELEVATIONS A7.1 ARCHITECTURAL DETAILS A7.2 ARCHITECTURAL DETAILS A7.3 ARCHITECTURAL DETAILS A7.4 ARCHITECTURAL DETAILS A7.5 ARCHITECTURAL DETAILS A8.1 DOOR SCHEDULE A8.2 WINDOW SCHEDULE A9.1 EXPLODED STAIRWAY PLAN A10.1 SPECIFICATION SHEET MEP2.0 MEP NOTES	MEP2.1 FIRST FLOOR MEP PLAN MEP2.2 SECOND FLOOR MEP PLAN CIVIL: C1 COVER SHEET C2 TOPOGRAPHIC SURVEY C3 GRADING & DRAINAGE PLAN C4 SECTION C5 EROSION CONTROL PLAN BMP-1 BEST MANAGEMENT PRACTICES AND EROSION CONTROL DETAILS SHEET 1 BMP-2 BEST MANAGEMENT PRACTICES AND EROSION CONTROL DETAILS SHEET 2 LANDSCAPE: L0.1 LANDSCAPE PLAN STRUCTURAL: S1.0 GENERAL STRUCTURAL NOTES S1.1 GENERAL STRUCTURAL NOTES S2.0A-B FOUNDATION PLAN S2.1A-B FIRST FLOOR FRAMING PLAN S2.2A-B SECOND FLOOR FRAMING PLAN S2.3A-B ROOF FRAMING PLAN S5.1-5.5 CONCRETE DETAILS S7.1-7.4 STEEL DETAILS S8.1-S8.7 WOOD DETAILS
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GENERAL NOTES

1. THE GEOTECHNICAL ASPECTS OF THE CONSTRUCTION, INCLUDING SITE GRADING, BASEMENT EXCAVATION, PIER DRILLING, FOOTING EXCAVATIONS, PREPARATION OF SUBGRADE AND PLACEMENT OF NON-EXPANSIVE FILL BENEATH THE BASEMENT SLAB AND SLABS-ON-GRADE, PAVEMENTS, RETAINING WALL BACKFILL, AND INSTALLATION OF SURFACE AND SUBSURFACE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY EARTH WORK, EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND TEST, AS NECESSARY, THE EARTHWORK, FOUNDATION, AND DRAINAGE INSTALLATION PHASES OF THE PROJECT.
2. THE CONTRACTOR(S) SHALL THOROUGHLY EXAMINE AND SATISFY THEMSELVES AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR(S) SHALL VERIFY AT THE SITE ALL MEASUREMENTS AND CONDITIONS AFFECTING THEIR WORK, AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME.
3. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND CONDITION OF PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
4. CONTRACTOR SHALL REIMBURSE OWNER(S) FOR REPAIR AND REPLACEMENT, TOGETHER WITH ANY DESIGN TEAM FEES, FOR ANY DAMAGE CAUSED TO STRUCTURES OR EXISTING SYSTEMS TO REMAIN, AS THE RESULT OF HIS/HER CONSTRUCTION OPERATIONS.
5. THE CONTRACTOR(S) SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS BY TAKING FIELD MEASUREMENTS, IF NECESSARY. PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED BEFORE COMMENCING WORK. CHECK ALL LINES AND LEVELS INDICATED ON PLANS AND OTHER WORKS TO VERIFY WORK HAS BEEN PROPERLY COMPLETED. SHOULD THERE BE ANY DISCREPANCIES, THIS OFFICE SHALL BE NOTIFIED FOR CORRECTIONS AND/OR RESOLUTIONS PRIOR TO COMMENCEMENT OF ANY WORK.
6. ALL INFORMATION RELATING TO EXISTING CONSTRUCTION IS GIVEN AS BEING THE BEST INFORMATION AVAILABLE, BUT WITHOUT GUARANTEE OF ACCURACY. THE CONTRACTOR(S) SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND BUILDING DATA AT THE JOB SITE. ANY DISCREPANCIES REQUIRING MODIFICATION TO THE CONSTRUCTION SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. NO MODIFICATIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER(S).
7. COORDINATE WITH OWNER'S REPRESENTATIVE THE LOCATION OF CONTRACTOR'S BUILDING ENTRANCE AND LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE AREA.
8. BEFORE SHUTTING DOWN OR TYING INTO ANY UTILITIES, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S & CITY REPRESENTATIVES.
9. CONTRACTOR(S) SHALL COORDINATE THEIR CONSTRUCTION OPERATIONS WITH THE OWNER'S REPRESENTATIVE PRIOR TO SCHEDULING AND START OF THE WORK. CONTRACTOR(S) SHALL PROVIDE PROTECTION TO ALL EXISTING SYSTEMS WHICH ARE NOT PART OF THE SCOPE OF WORK.
10. AN EXAMINATION IS REQUIRED FOR SITE PLUMBING AND ELECTRICAL SERVICES BY CONTRACTOR(S) PRIOR TO CONNECTING OR TYING INTO EXISTING UTILITIES. IN ANY CASE WHERE A NEW LINE TIES INTO OR EXTENDS AN EXISTING LINE WITHIN THE LIMITS OF WORK, THE CONTRACTOR(S) SHALL EXAM THE ENTRY LINE OR ARRANGE FOR THE PROPER AGENCIES TO DO SO. NOTIFY OWNER OF ANY DEFECTS PRIOR TO TYING INTO EXISTING LINES.
11. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE STATE OF CALIFORNIA ENERGY COMMISSION (TITLE24) ENERGY EFFICIENCY STANDARDS FOR NEW RESIDENTIAL BUILDINGS AND MANDATORY MEASURES AS REFERRED TO IN THE ENERGY CALCULATIONS OR AS NOTED ON DRAWINGS.
12. ALL GLASS SHALL CONFORM WITH HUMAN IMPACT AND SAFETY REQUIREMENTS AS PER CRC UNLESS OTHERWISE NOTED.
13. ALL NAILING SHALL BE PER CRC.
14. CONTRACTOR(S) SHALL PROVIDE SECURITY DEVICES AS REQUIRED BY THE CITY, TOWN OR COUNTY, AS WELL AS SECURITY DEVICES SPECIFICALLY REQUESTED BY OWNER.
15. CONTRACTOR(S) SHALL INSTALL INSTALLATION AS REQUIRED BY TITLE 24. ALL INSULATION SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
16. CONTRACTOR(S) SHALL COMPLETE INSULATION INSTALLATION CERTIFICATE AND PROVIDE OWNER WITH ALL MANUFACTURER'S MANUALS FOR EQUIPMENT SPECIFICALLY DETAILING EFFICIENT OPERATION AND MAINTENANCE REQUIREMENT

CODE SUMMARY

CODE COMPLIANCE:	NOTHING ON THE DRAWING SHALL BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LISTED CODES AND REGULATIONS.
2016 CALIFORNIA BUILDING CODE	
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE	
2016 CALIFORNIA ELECTRICAL CODE	
2016 CALIFORNIA MECHANICAL CODE	
2016 CALIFORNIA PLUMBING CODE	
2016 CALIFORNIA FIRE CODE	
2016 CALIFORNIA ENERGY CODE	
2016 CALIFORNIA RESIDENTIAL CODE	
SANTA CLARA COUNTY MUNICIPAL CODE	
OCCUPANCY:	
ZONING:	R1-20-N1
OCCUPANCY GROUPS:	R3/U
CONSTRUCTION TYPE:	V-B-FULLY SPRINKLED
STORIES:	2 STORY

PROJECT DATA & DESCRIPTION

PROJECT DATA	
APN:	331-03-023
ZONING DISTRICT:	R1-20-N1
LOT SIZE:	44280.50 SF
MAX. FAR:	5700.00 SF
DEFERRED SUBMITTALS	
FIRE SPRINKLER SYSTEM WILL BE PROVIDED AND INSTALLED PER NFP A 13D 2016 EDITION STANDARD	
NEW RESIDENCE CONSISTS OF:	
FIRST FLOOR:	
• BEDROOM	
• 1 1/2 BATH	
• LIBRARY	
• ENTRY	
• MUDROOM	
• PANTRY	
• KITCHEN	
• LIVING ROOM	
SECOND FLOOR:	
• 4 BEDROOMS	
• 4 BATHROOMS	
• LAUNDRY	
• 1 WALK-IN-CLOSETS	

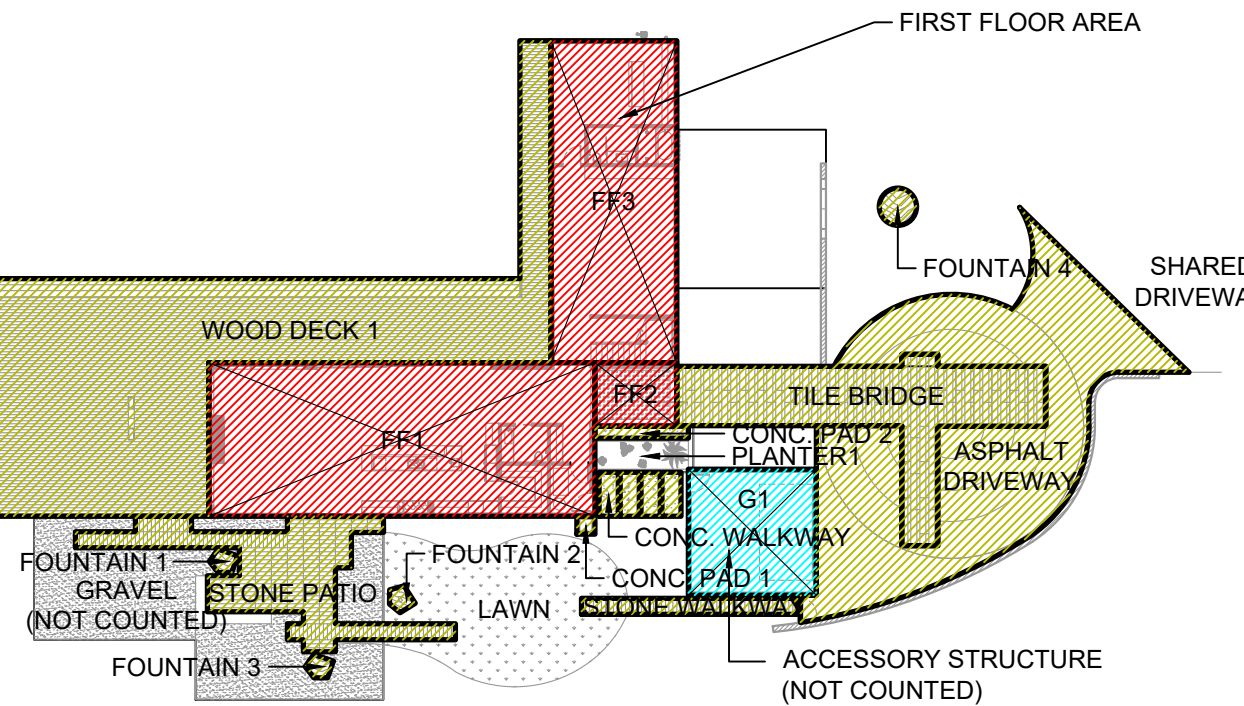
PROJECT SUMMARY TABLE

GENERAL INFORMATION			
	EXISTING	PROPOSED	ALLOWED
NET LOT AREA	0.00 SF	44208.50 SF	-
FAR	3310.54 SF	5413.49 SF	5700.00 SF
TOTAL AREA	3310.54 SF	5861.49 SF	N/A
ZONING COMPLIANCE			
	EXISTING	PROPOSED	ALLOWED
FAR			
GARAGE	466.48 SF	0.00 SF	-
FIRST FLOOR	2844.06 SF	2917.50 SF	-
SECOND FLOOR	0.00 SF	2495.99 SF	-
TOTAL	3310.54 SF	5413.49 SF	5700.00 SF
SQUARE FOOTAGE BREAKDOWN			
	EXISTING	PROPOSED	ALLOWED
HABITABLE			
FIRST FLOOR	2844.44 SF	2917.50 SF	-
SECOND FLOOR	0.00 SF	2495.99 SF	-
TOTAL	2844.44 SF	5413.49 SF	5700.00 SF
NON-HABITABLE			
FIRST FLOOR	0.00 SF	0.00 SF	-
SECOND FLOOR	0.00 SF	0.00 SF	-
ACCESSORY STRUCTURE	0.00 SF	448.00 SF	-
TOTAL	0.00 SF	448.00 SF	5700.00 SF
SETBACKS			
	EXISTING	PROPOSED	ALLOWED
MAIN HOUSE			
FRONT	143'-4"	114'-10"	30'-0"
REAR	136'-1"	153'-10"	25'-0"
LEFT	14'-4"	39'-9"	15'-0"
RIGHT	75'-8"	15'-0"	15'-0"
ACCESSORY STRUCTURE			
FRONT	0'-0"	116'-2"	30'-0"
REAR	0'-0"	221'-11"	25'-0"
LEFT	0'-0"	17'-5"	15'-0"
RIGHT	0'-0"	93'-7"	15'-0"
HEIGHT			
	EXISTING	PROPOSED	ALLOWED
REFERENCES			
MAIN HOUSE	-	26'-5"	27'-0"

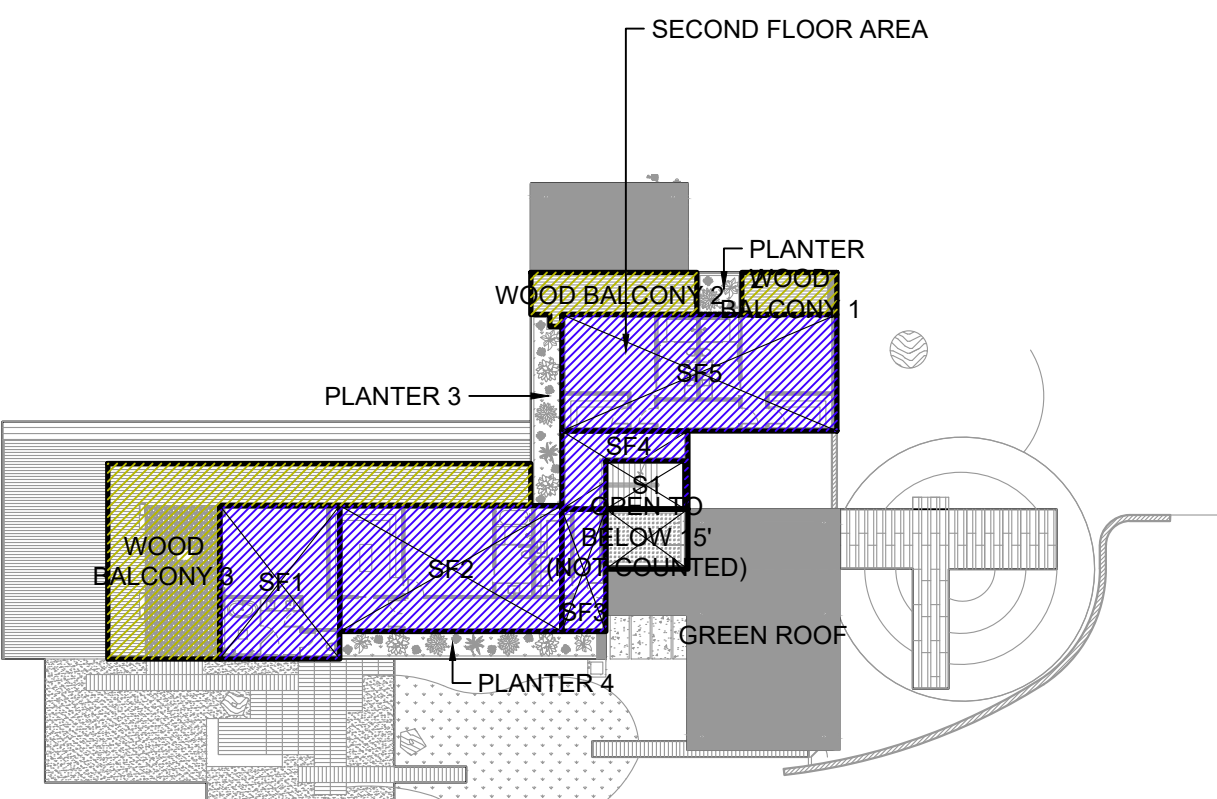
PROJECT TEAM

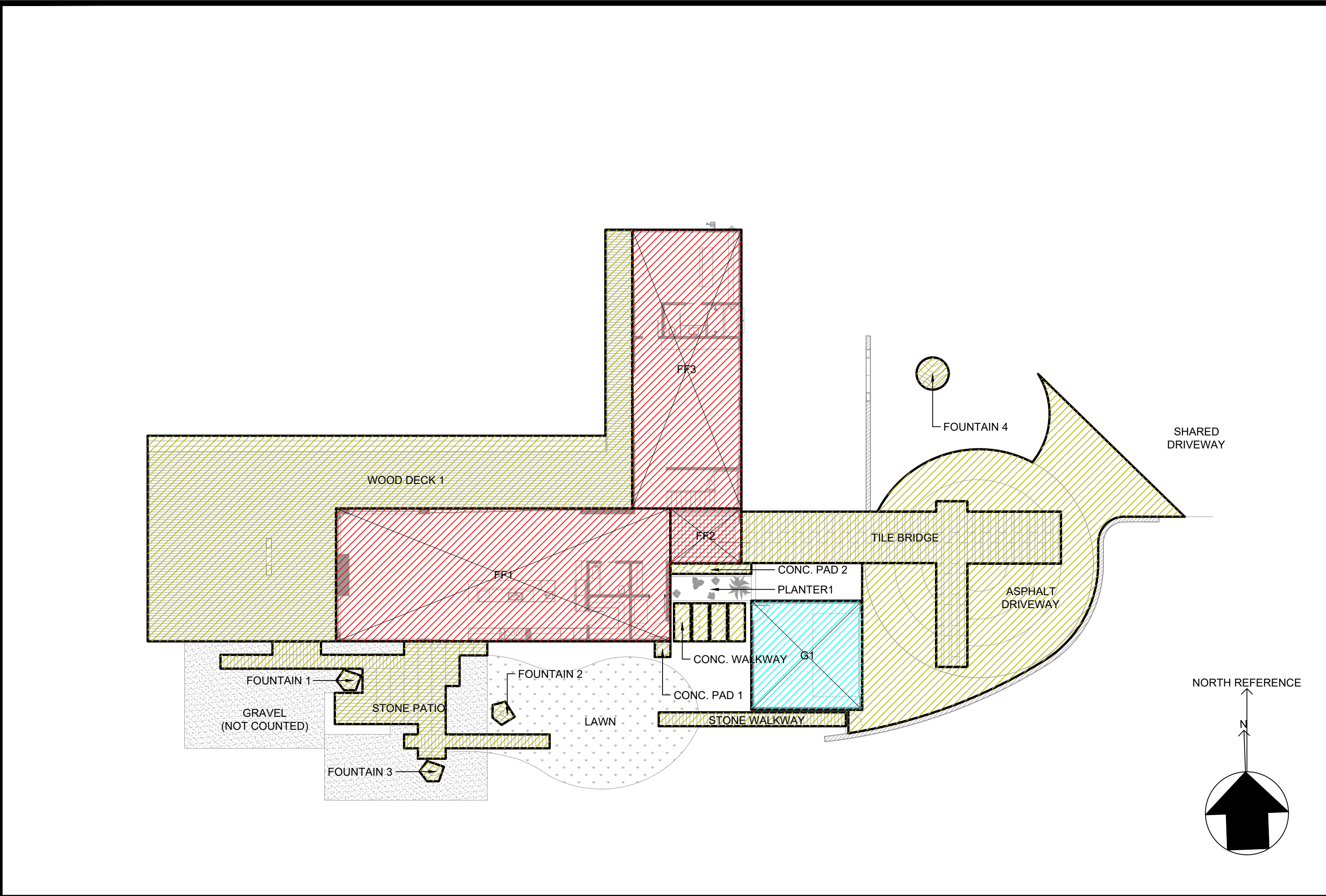
OWNERS: KEITH YUE & DONNA LOWE 270 LIVE OAK LANE LOS ALTOS, CA 94022 PHONE: (650) 796-3550 EMAIL: keithyue@yahoo.com	GEOTECHNICAL MURRAY ENGINEERS INC. 935 FREMONT AVENUE, LOS ALTOS, CA 94024 CONTACT: DEREK YEE PHONE: (650) 559-9980 EMAIL: derek@murrayengineers.com
ARCHITECT: M DESIGNS ARCHITECTS 4548 EL CAMINO REAL STE. 223 LOS ALTOS, CA 94022 CONTACT: MALIKA JUNAID PHONE: (650) 565-9036 EMAIL: malikajunaid@mdesignsarchitects.com	STRUCTURAL: HOHBACH-LEWIS, INC 280 SHERIDAN AVE, STE 130 PALO ALTO, CA 94306 CONTACT: KONKRITO GUNAWAN PHONE: (650) 617-5930 EMAIL: kgunawan@hohbach-lewin.com
CIVIL & SURVEYOR: GIULIANI & KULL, INC. 4880 STEVENS CREEK BLVD., SUITE 205 SAN JOSE, CA 95129 CONTACT: MARK A. HELTON, PE,PLS CONTACT: (408) 615-4000 X206 FAX: (408) 615-4004 EMAIL: mhelton@gkengineers.com	CONTRACTOR: MB CONSTRUCTION 1494 MACATERA AVE. HAYWARD, CA 94544 CONTACT: BEN MACIAS PHONE: (510) 760-2553 EMAIL: ben_mbconstruction@yahoo.com
ENERGY CONSULTANT: ENERGY CONSULT LLC CONTACT: IGOR PICHKO, CEA PHONE: (424) 247-7658 EMAIL: plans@title24ez.com	

FAR KEY FIRST FLOOR (SEE T1.1)



FAR KEY SECOND FLOOR (SEE T1.1)



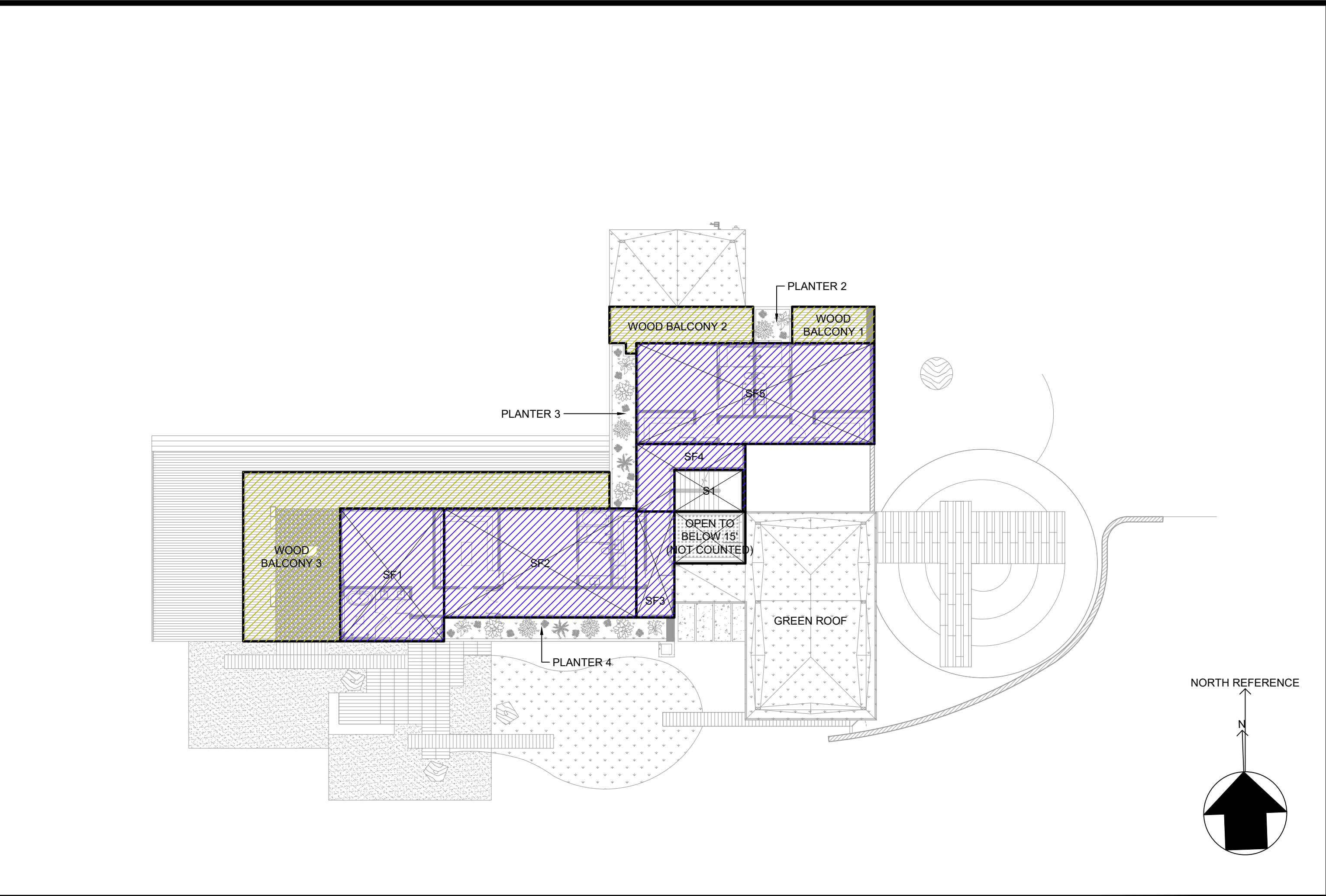


FIRST FLOOR AREA DIAGRAM



SCALE: 1/16" = 1'-0"

1



SECOND FLOOR AREA DIAGRAM



SCALE: 1/16" = 1'-0"

1

FAR		
FIRST FLOOR		
FF1	25'-7" X 64'-4"	1645.86 SF
FF2	13'-8" X 10'-7"	144.64 SF
FF3	21'-0" X 53'-8"	1127.00 SF
ΣFF	TOTAL	2917.50 SF
ACCESSORY STRUCTURE (NOT COUNTED)		
G1	21'-4" X 21'-0"	448.00 SF
ΣG	TOTAL	448.00 SF
SECOND FLOOR		
SF1	20'-0" X 25'-7"	511.67 SF
SF2	37'-0" X 21'-0"	777.00 SF
SF3	7'-4" X 20'-5"	149.72 SF
SF4	21'-0" X 13'-0"	273.00 SF
S1	13'-2" X 8'-0"	-105.33 SF
SF5	45'-10" X 19'-5"	889.93 SF
ΣSF	TOTAL	2495.99 SF
ΣFFSF	PROPOSED FAR	5413.49 SF
	ALLOWED FAR	5700.00 SF
ΣFFSF	TOTAL HABITABLE AREA	5413.49 SF
ΣG	TOTAL NON-HABITABLE	448.00 SF
ΣFFSFG	TOTAL AREA	5861.49 SF

HARDSCAPE	
LABEL	AREA
ASPHALT DRIVEWAY	1676.68 SF
CONCRETE PAD 1	9.00 SF
CONCRETE PAD 2	31.17 SF
CONCRETE PATIO	817.61 SF
CONCRETE WALKWAY	96.00 SF
FOUNTAIN 1	12.35 SF
FOUNTAIN 2	12.35 SF
FOUNTAIN 3	12.35 SF
FOUNTAIN 4	30.17 SF
TILE BRIDGE	742.15 SF
STONE PATIO	496.21 SF
STONE WALKWAY	96.00 SF
WOOD DECK 1	2437.81 SF
WOOD BALCONY 1	110.83 SF
WOOD BALCONY 2	197.67 SF
WOOD BALCONY 3	971.06 SF
TOTAL	7749.41 SF
TOTAL DECKS & BALCONIES	3717.37 SF

LEGEND			
	FIRST FLOOR		CONCRETE
	SECOND FLOOR		GRAVEL
	ACCESSORY STRUCTURE (DETACHED GARAGE)		STONE
	HARDSCAPE		TILE
			WATER
			WOOD
			LAWN, PLANTER OR GREEN ROOF

PROJECT INFORMATION

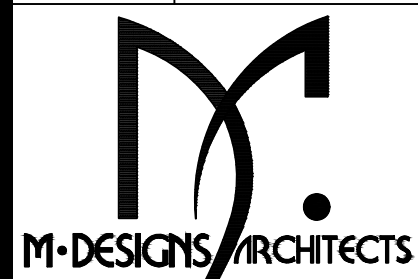
PROJECT ADDRESS: 1554 PLATEAU AVENUE, LOS ALTOS, CA
APN: 331-03-023
ZONING DISTRICT: R1-20-N1
LOT AREA: 44,280.50 SF
FAR: 3,500 + [(LOT AREA - 10,000)/10]
FAR: 5,700.00 SF

FIRST FLOOR: 2938.17 SF
SECOND FLOOR: 2516.66 SF
PROPOSED FAR: 5454.83 SF
ALLOWED: 5700.00 SF

ACCESSORY STRUCTURE (DETACHED GARAGE): 448.00 SF
TOTAL NOT COUNTED: 448.00 SF

CALCULATIONS, PROJECT INFO., AND HATCH & MATERIAL LEGEND

DATE	REVISION
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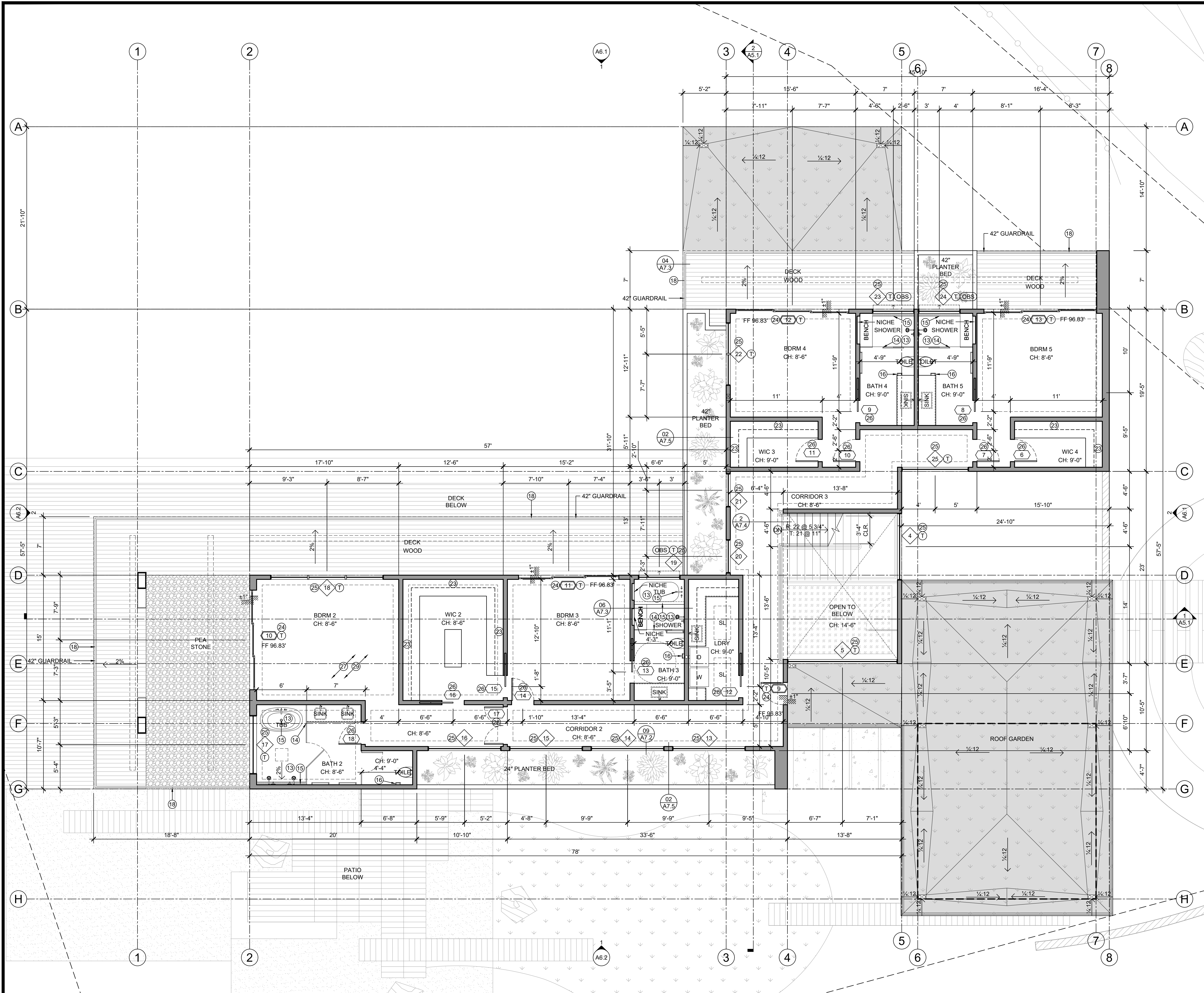
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PLANNING PACKAGE
FLOOR AREA RATIO
CALCULATIONS

5/14/2019

T1.1





PLAN NOTES

- APPLIANCES INSTALLED IN GARAGES OR OTHER AREAS SUBJECT TO MECHANICAL DAMAGE SHALL BE INSTALLED BEHIND PROTECTIVE BARRIERS OR ELEVATED OR OUT OF THE NORMAL PATH OF VEHICLES. INSTALL A 4" DIAMETER BOLLARD (FILLED W/ CONCRETE) EMBEDDED 36" INTO A 12" DIAMETER FOOTING IN FRONT OF APPLIANCE OR PROVIDE A DETAIL AND OR CALCULATION FROM AN ENGINEER FOR REVIEW.
- 5/8" THK., TYPE "X" SHEETROCK FROM SILL TO ROOF DECK & CEILING. THE GARAGE SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. PLEASE SEE GREEN LINE.
- GARAGE DOORS, SEE DOOR SCHEDULE
- DOOR BETWEEN GARAGE AND RESIDENCE: 1-3/8" MINIMUM THICKNESS SOLID CORE OR HONEY-COMB STEEL OR 20-MINUTE FIRE-RATED DOOR WITH SELF-CLOSING AND SELF-LATCHING DEVICES AND WEATHER STRIP FOR SMOKE SHIELDING. CRC R302.5.1
- MINI SPLIT LOCATION
- BOILER LOCATION FOR RADIANT FLOOR HEATING
- WATER HEATER LOCATION
- 24" PASSAGEWAY TO EQUIPMENT
- A WATERTIGHT PAN OF CORROSION-RESISTANT METAL SHALL BE INSTALLED BENEATH THE COOLING COIL OR UNIT TOP TO CATCH THE OVERFLOW CONDENSATE DUE TO A CLOGGED PRIMARY CONDENSATE DRAIN. OR ONE PAN WITH A STANDING OVERFLOW AND A SEPARATE SECONDARY DRAIN MAY BE PROVIDED IN LIEU OF THE SECONDARY DRAIN PAN PER CMC 309.2
- INSTALL A PERMANENT 120-VOLT RECEPTACLE & LIGHTING FIXTURE NEAR APPLIANCE
- PROVIDE WATER HAMMER ARRESTER NEAR DISHWASHER, PER CPC SEC 609.10
- FLARE FF-70 FRONT MODERN FIREPLACE OR APPROVED EQUAL. SEE ITEM #6-7 ON SHEET A10.1 FOR SPECIFICATIONS. CSA 263124 THE FIREPLACE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTION AND LISTING.
- SHOWER & TUB/SHOWER SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE (I.E. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT MATERIAL TO A MINIMUM HEIGHT OF 72" ABOVE DRAIN INLET. GLAZING LESS THAN 60" ABOVE A STANDING SURFACE SHALL BE FULLY TEMPERED
- GLAZING IN SHOWERS OR BATHTUBS ADJACENT TO WALL OPENINGS WHERE THE BOTTOM GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE SHALL BE FULLY TEMPERED
- FLOOR DRAIN
- TOILET PAPER HOLDER
- WOOD STAIR SYSTEM: HANDRAILS WILL HAVE A 2" GRIPPABLE CROSS SECTION. NO SHARP CORNERS, HEIGHT OF 36" ABOVE NOSING. RISERS SHALL BE NO MORE THAN 7 1/2" AS PER CRC R311.7 & TREADS SHALL BE NO LESS THAN 10" AS PER CRC R311.7
- TOP OF HANDRAIL SHALL BE 34"-38" ABOVE NOSING @ STAIRS. MAX THE GRIP SHALL BE 1 1/2" - Ø. IT WILL BE MANUFACTURED TO STAND 200 LB OF WEIGHT APPLIED PERPENDICULAR TO THE RAIL. GUARDRAIL SHALL BE 42" MIN. ALL BALUSTERS (IF APPLICABLE) SHALL BE 4" O.C.
- ALL WALLS & CEILING OF USABLE SPACES UNDER STAIRS TO BE PROTECTED W/ MIN 1/2" GYPSUM BOARD
- PAINT THE GYPSUM BD. WALL FINISH, TYP. - COLOR & TEXTURE TYP. OF ALL ROOMS THIS PLAN
- EGRESS WINDOWS SHALL COMPLY WITH C.R.C. SECTION 310 EGRESS WINDOW TYP W/ TEMPERED GLAZING 20" MIN CLEAR B/W WINDOW FRAMING & 44" MAX ABOVE FINISHED FLOOR
- HORIZONTAL SLIDING CLOSET DOORS, SEE DOOR SCHEDULE
- SHELF & ROD ASSEMBLY TYP. IN ALL CLOSETS
- EXTERIOR DOOR ASSEMBLY (TYP.), SEE DOOR SCHEDULE
- WINDOW ASSEMBLY (TYP.), SEE DOOR SCHEDULE
- INTERIOR DOOR ASSEMBLY (TYP.), SEE DOOR SCHEDULE
- HARDWOOD FLOOR THROUGHOUT THE HOUSE, EXCEPT WET AREAS, MUD ROOM, LAUNDRIES & PANTRIES, WHICH WILL BE TILE
- APPROVED ADDRESS NUMBERS SHALL BE PROVIDED FOR NEW BUILDINGS & ADDITION (AT THE FRONT OF THE HOUSE) IN SUCH A POSITION AS TO BE CLEARLY VISIBLE AND PLAINLY LEGIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY. LETTERS OR NUMBERS SHALL BE A MIN. 4" IN HT. HEIGHT & STROKE OF 1/2" OF A CONTRASTING COLOR TO THE BACKGROUND. ADDRESS IDENTIFICATION SHALL BE MAINTAINED.
- FIRE BLOCKING SHALL BE PROVIDED VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'

LEGEND

- # EXTERIOR DOOR LABEL
- # INTERIOR DOOR LABEL
- ◇ WINDOW LABEL
- Ⓣ TEMPERED LABEL
- ⓄBS OBSCURE LABEL
- # PLAN NOTE LABEL
- ▨ STEP LABEL
- ▬ STUD WALL
- ▬ 1-HOUR FIRE RATED WALL
- ▬ FURRED WALL
- ▬ CONCRETE WALL

NORTH REFERENCE

DATE REVISION

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LICENSED ARCHITECT
MALIKA JUNAID
C-63842
RENEWAL DATE

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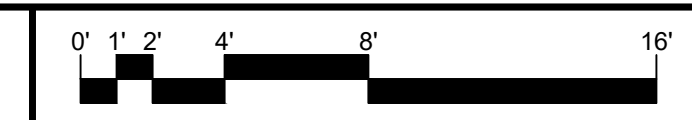
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PROPOSED SECOND FLOOR PLAN

5/14/2019

A2.2

PROPOSED SECOND FLOOR PLAN



THESE IMPROVEMENT PLANS HAVE BEEN PREPARED WITH THE INTENT THAT THE FIRM OF GIULIANI & KULL, INC. WILL BE PERFORMING THE CONSTRUCTION STAKING FOR THE COMPLETED PROJECT. IF, HOWEVER, ANOTHER ENGINEERING AND/OR SURVEYING FIRM SHOULD BE EMPLOYED TO USED THESE PLANS FOR THE PURPOSE OF CONSTRUCTION STAKING, NOTICE IS HEREBY GIVEN THAT THE FIRM OF GIULIANI & KULL, INC. WILL NOT ASSUME ANY RESPONSIBILITY FOR ERRORS OR OMISSIONS, IF ANY, WHICH MIGHT OCCUR AND WHICH COULD HAVE BEEN AVOIDED, CORRECTED OR MITIGATED IF GIULIANI & KULL, INC. HAD PERFORMED THE STAKING WORK.

COUNTY OF SANTA CLARA

General Construction Specifications

GENERAL CONDITIONS

- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY MURRAY ENGINEERS, INC. AND DATED DEC. 21, 2018. THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.
- DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
- DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT.
- DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
- DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA.
- THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
- DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
- ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
- UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING PERSON SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH THE PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION 86-18).
- THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
- ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

CONSTRUCTION STAKING

- THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB. ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
- PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR AND RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.
- PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

CONSTRUCTION INSPECTION

- CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
- INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-8868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
- THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR COMMENCEMENT OF THE BUILDING FOUNDATION.

SITE PREPARATION (CLEARING AND GRUBBING)

- EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
 - TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
 - FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

UTILITY LOCATION, TRENCHING & BACKFILL

- CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2603 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
- ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
- ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE. UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.
- TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
- TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
- BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

GRADING

- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IT SHALL BE STRIPPED OF ALL VEGETATION. TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEYED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.

GRADING (CONTINUED)

- SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
- NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS.
- THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
- MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL 2 HORIZONTAL TO 1 VERTICAL.
- ESTIMATED VOLUME OF CUT: 171 CUBIC YARDS
FILL: 179 CUBIC YARDS
MAXIMUM DEPTH OF CUT: 1.0 FEET
FILL: 2.5 FEET
HOUSE & GARAGE = 32 CY. CUT & 103 CY. FILL
YARD & DRIVEWAY = 139 CY. CUT & 39 CY. FILL
NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE.
- EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.
- NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
- ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
- THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%.
- ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
- THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.
- THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

- WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
- COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
- PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
- SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
- SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
- ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
- ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.
- ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
- POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS: OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
 - A 15 MILES PER HOUR (MPH) SPEED LIMIT
 - A 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
 - TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAINT HOTLINE IS: 1-800-334-6387
- ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
- ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
- ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDR.
- ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
- THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND WHICH ARE SHOWN TO BE REMOVED. ANY OTHER SUCH TREES ARE NOT TO BE REMOVED UNLESS AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
- PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
- PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
- THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.

ACCESS ROADS AND DRIVEWAYS

- DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 8 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
- ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15% LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
- ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.

RETAINING WALLS

- REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.
- SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

STREET LIGHTING

- PACIFIC GAS & ELECTRIC ELECTROLUER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

STORM DRAINAGE

- DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY.
- DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ALONG CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
- WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW.
- UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
- THE COUNTY ENGINEERING INSPECTOR SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS PRIOR TO BACKFILL.

SANITARY SEWER

- ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

PORTLAND CEMENT CONCRETE

- CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (____) WERE (____) WERE NOT MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (*). THERE (____) WERE (____) WERE NOT) FIELD CHANGES INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL ____.

DATE: _____ SIGNATURE: _____

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

- A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.

CONSTRUCTION / ENCROACHMENT / GRADING PERMIT

PERMIT(S) NO.: _____

FILE(S) NO.: _____

ISSUED BY: _____ DATE: _____
LAND DEVELOPMENT ENGINEERING & SURVEYING
DEVELOPMENT SERVICES OFFICE
COUNTY OF SANTA CLARA

PROJECT BENCHMARK

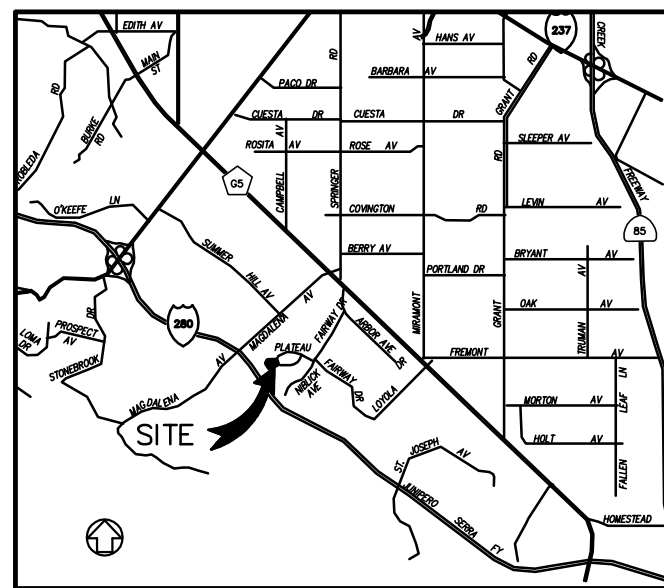
NOTE: AN ASSUMED BENCH MARK ELEVATION OF 100.00 WAS USED FOR THIS SURVEY, FOR THE FOUND 1" REBAR IN THE MONUMENT BOX AT THE INTERSECTION OF HILLVIEW ROAD AND FAIRWAY DRIVE.

BASIS OF BEARINGS

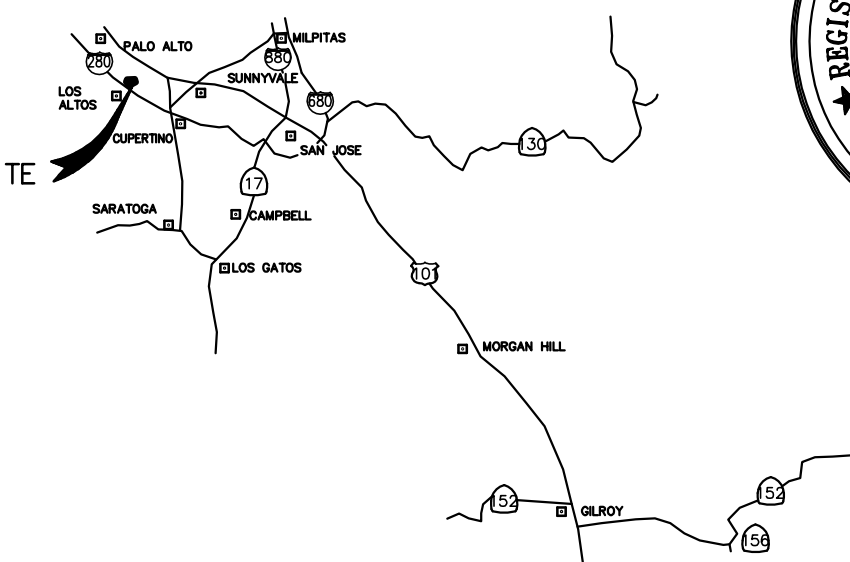
THE BEARING S 49°51'00" E, BEING THE CENTERLINE OF HILLVIEW ROAD, AS FOUND MONUMENTED IN THE FIELD AND AS SHOWN UPON THAT CERTAIN MAP ENTITLED "TRACT NO. 204, SUBDIVISION NO. 5, LOS ALTOS COUNTRY CLUB PROPERTIES", WHICH WAS FILED FOR RECORD IN BOOK 7 OF MAPS AT PAGES 39-41, IN SANTA CLARA COUNTY RECORDS.

SCOPE OF WORK

- | ITEM | DESCRIPTION |
|------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. | CLEARING AND GRUBBING |
| 2. | ROUGH GRADING, BUILDING PAD AND DRIVEWAY |
| 3. | 3" AC OVER 9" CL II AB DRIVEWAY (OR STONE DRIVEWAY SECTION) |
| 4. | INSTALL ONSITE STORM DRAIN SYSTEM. |
| 5. | CONSTRUCT PATIO AND WALKS (PER LANDSCAPE PLANS) |
| 6. | EROSION CONTROL IMPROVEMENTS AND DETENTION SYSTEM. |
| 7. | A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND CERTIFIED ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND. |
| 8. | THE ENCROACHMENT PERMIT INCLUDES ALL WORK IN THE COUNTY MAINTAINED RIGHT-OF-WAY TO PROVIDE CONNECTIONS OF UTILITY LATERALS (GAS, ELECTRICITY SEWER, AND WATER) AND DRIVEWAY APPROACHES FOR EACH HOUSE, AS WELL AS GRADING & VEGETATION REMOVAL, PLACEMENT OF EROSION AND SEDIMENT CONTROLS, LANDSCAPING, DRAINAGE IMPROVEMENTS AND RECONSTRUCTION, SAW CUTTING, ETC. CONNECTION OF TELEPHONE, CABLE TELEVISION, ETC. WILL BE COMPLETED UNDER SEPARATE ENCROACHMENT PERMITS. |



VICINITY MAP
N.T.S.



COUNTY LOCATION MAP



ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED FILE(S) NO. 9784-14-70-08S, DATED _____
DATE 5/20/19 Mark A. Helton 49168
SIGNATURE R.C.E. NO.
9-30-20
EXPIRATION DATE

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE: _____ CHRISTOPHER L. FREITAS

R.C.E. NO. 42107 EXPIRATION DATE: _____

1554 PLATEAU AVENUE
APN 331-03-037
LOS ALTOS, CALIFORNIA

* NOTE:
PLATEAU AVENUE IS COUNTY MAINTAINED ROADS AND ALL WORK IN THE RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT.

SCALE: 1"=30'

LEGEND

DESCRIPTION	TO BE CONST.	EXISTING
PUBLIC RIGHT-OF-WAY		
PROPERTY LINE		
LIMITS OF WORK OR BOUNDARY		
CURB AND GUTTER		
SIDEWALK		
CITY SURVEY MONUMENT		
SEPTIC TIGHT-LINE		
SEPTIC TANK		
STORM SEWER		
STORM DRAIN MANHOLE		
DRAINAGE INLET AT CURB		
ELECTROLUER		
EDGE OF PAVEMENT		
PACING CONFORM OR OVERLAY TO FORM SMOOTH AC TRANSITION		
BIOSWALE		

SHEET INDEX

C-1	COVER SHEET
C-2	TOPOGRAPHIC SURVEY
C-3	GRADING AND DRAINAGE PLAN
C-4	SECTIONS AND DETAILS
C-5	EROSION CONTROL PLAN & TREE PROTECTION PLAN
BMP-1	BEST MANAGEMENT PRACTICES
BMP-2	BEST MANAGEMENT PRACTICES
ENGINEER'S NAME: GIULIANI & KULL, INC.	
ADDRESS: 4880 STEVENS CREEK BLVD., STE. 100 SAN JOSE, CA 95129	
PHONE NO. (408) 615-4000	
FAX NO. (408) 615-4004	

COVER SHEET

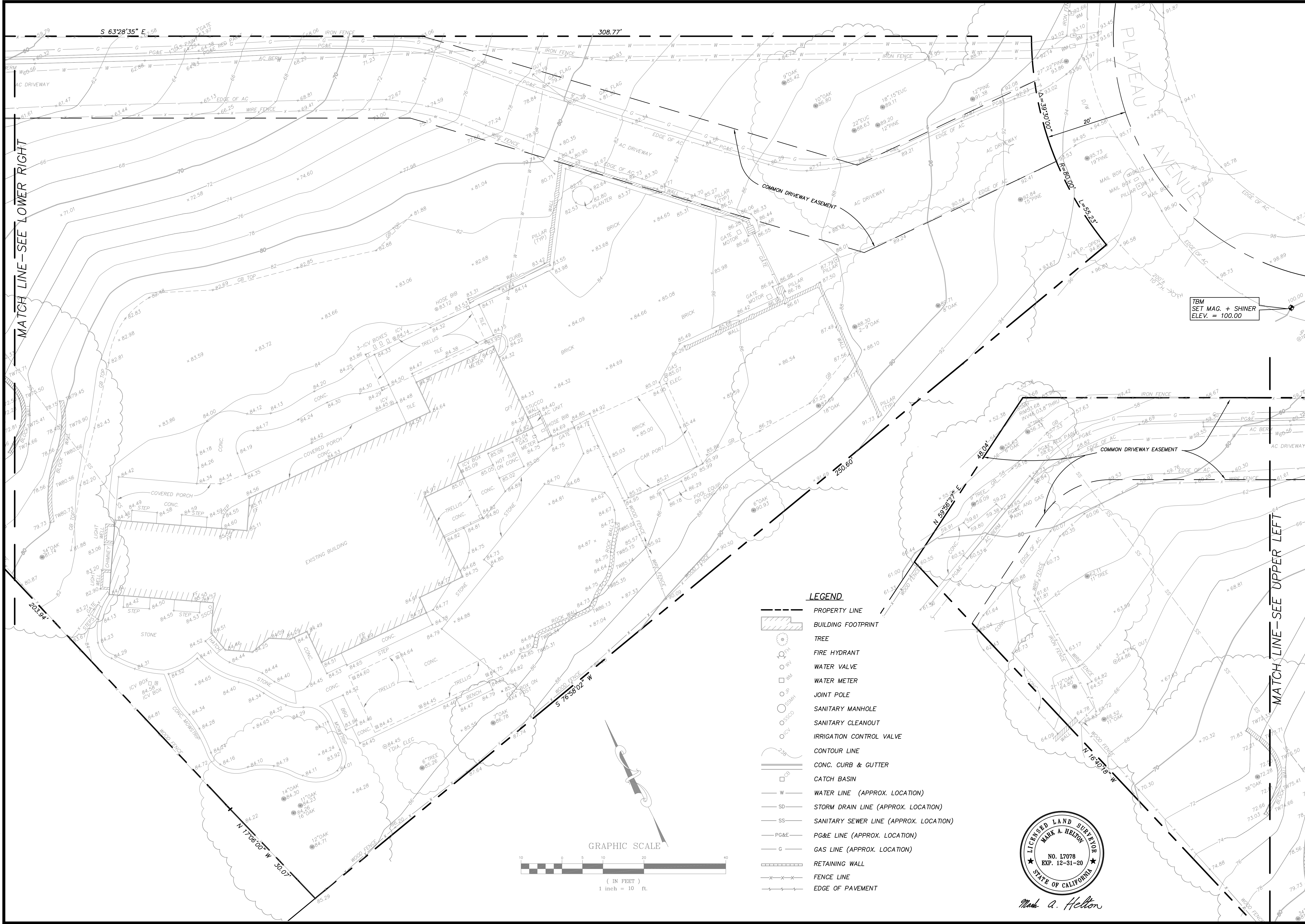
Revision 1	Date	APN	Sheet C-1 of 7
Revision 2	Date		
Revision 3	Date	Co. File	

APPLICANT:

ROAD: NIBLICK AVENUE

COUNTY FILE NO.:

THESE IMPROVEMENT PLANS HAVE BEEN PREPARED WITH THE INTENT THAT THE FIRM OF GIULIANI & KULL, INC. WILL BE PERFORMING THE CONSTRUCTION STAKING FOR THE COMPLETED PROJECT. IF, HOWEVER ANOTHER ENGINEERING AND/OR SURVEYING FIRM SHOULD BE EMPLOYED TO USED THESE PLANS FOR THE PURPOSE OF CONSTRUCTION STAKING, NOTICE IS HEREBY GIVEN THAT THE FIRM OF GIULIANI & KULL, INC. WILL NOT ASSUME ANY RESPONSIBILITY FOR ERRORS OR OMISSIONS, IF ANY, WHICH MIGHT OCCUR AND WHICH COULD HAVE BEEN AVOIDED, CORRECTED OR MITIGATED IF GIULIANI & KULL, INC. HAD PERFORMED THE STAKING WORK.



SCALE
1"=10'

REVISIONS

NO. DATE

ENGINEERS
Giuliani & Kull, Inc.
Engineers • Planners • Surveyors

DESIGNED BY
E. T.

CHECKED BY
M.H.

1554 PLATEAU AVENUE

LOS ALTOS, CALIFORNIA

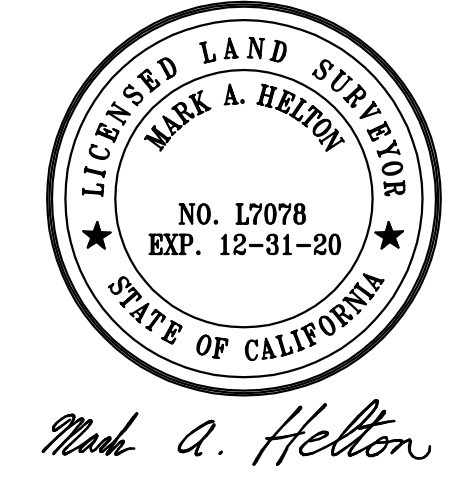
TOPOGRAPHIC
SURVEY

SHEET
C-2

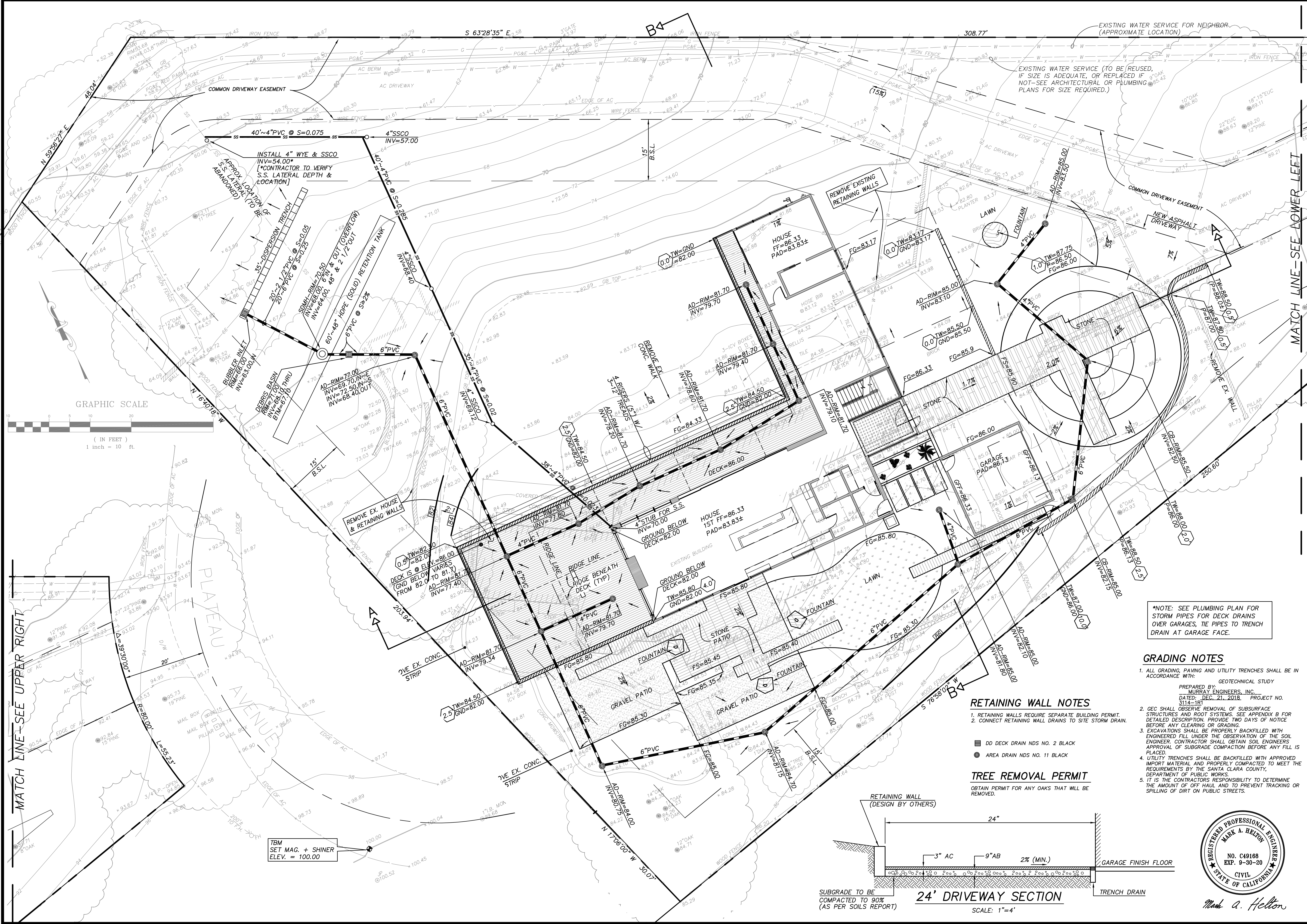
OF 7

DATE 5/20/19

JOB NO.
17221

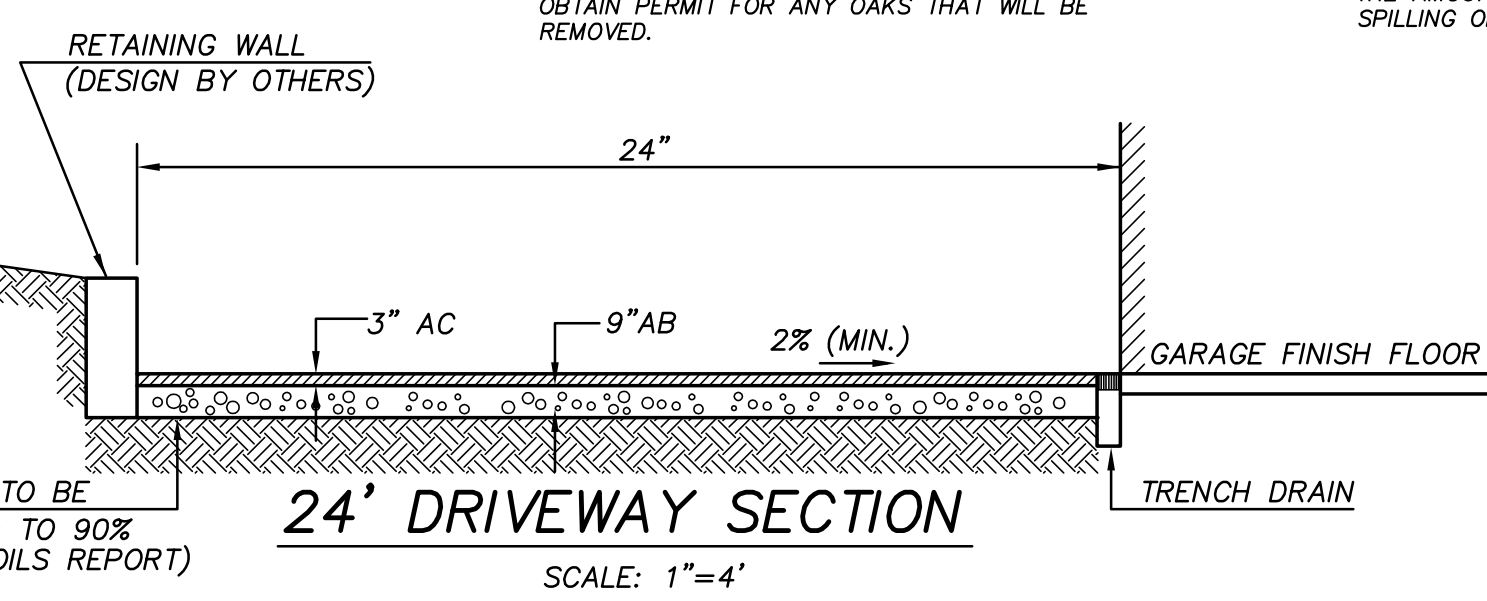


THESE IMPROVEMENT PLANS HAVE BEEN PREPARED WITH THE INTENT THAT THE FIRM OF GIULIANI & KULL, INC. WILL BE PERFORMING THE CONSTRUCTION STAKING FOR THE PURPOSE OF CONSTRUCTION STAKING. NOTICE IS HEREBY GIVEN THAT THE FIRM OF GIULIANI & KULL, INC. WILL NOT ASSUME ANY RESPONSIBILITY FOR ERRORS OR OMISSIONS, IF ANY, WHICH MIGHT OCCUR AND WHICH COULD HAVE BEEN AVOIDED, CORRECTED OR MITIGATED BY THE STAKING WORK.



*NOTE: SEE PLUMBING PLAN FOR STORM PIPES FOR DECK DRAINS OVER GARAGES, TIE PIPES TO TRENCH DRAIN AT GARAGE FACE.

- GRADING NOTES**
- ALL GRADING, PAVING AND UTILITY TRENCHES SHALL BE IN ACCORDANCE WITH:
 - GEOTECHNICAL STUDY PREPARED BY: MURRAY ENGINEERS, INC. DATE: DEC. 21, 2018. PROJECT NO. 3114-181
 - GEC SHALL OBSERVE REMOVAL OF SUBSURFACE STRUCTURES AND ROOT SYSTEMS. SEE APPENDIX B FOR DETAILED DESCRIPTION. PROVIDE TWO DAYS OF NOTICE BEFORE ANY CLEARING OR GRADING.
 - EXCAVATIONS SHALL BE PROPERLY BACKFILLED WITH ENGINEERED FILL UNDER THE OBSERVATION OF THE SOIL ENGINEER. CONTRACTOR SHALL OBTAIN SOIL ENGINEERS APPROVAL OF SUBGRADE COMPACTION BEFORE ANY FILL IS PLACED.
 - UTILITY TRENCHES SHALL BE BACKFILLED WITH APPROVED IMPORT MATERIAL AND PROPERLY COMPACTED TO MEET THE REQUIREMENTS BY THE SANTA CLARA COUNTY, DEPARTMENT OF PUBLIC WORKS.
 - IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE AMOUNT OF OFF HAUL AND TO PREVENT TRACKING OR SPILLING OF DIRT ON PUBLIC STREETS.
- RETAINING WALL NOTES**
- RETAINING WALLS REQUIRE SEPARATE BUILDING PERMIT.
 - CONNECT RETAINING WALL DRAINS TO SITE STORM DRAIN.
- DD DECK DRAIN NDS NO. 2 BLACK
● AREA DRAIN NDS NO. 11 BLACK
- TREE REMOVAL PERMIT**
- OBTAIN PERMIT FOR ANY OAKS THAT WILL BE REMOVED.



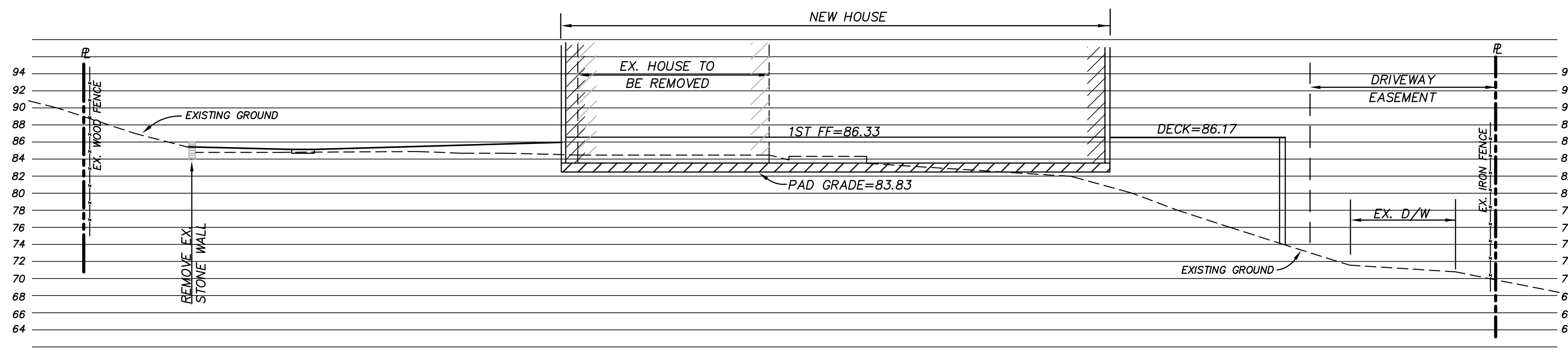
Mark A. Helton

DATE		5/20/19		JOB NO. 17221		OF 7		SHEET C-3		GRADING AND DRAINAGE PLAN		1554 PLATEAU AVENUE LOS ALTOS, CALIFORNIA		1554 PLATEAU AVENUE LOS ALTOS, CALIFORNIA		1554 PLATEAU AVENUE LOS ALTOS, CALIFORNIA		1554 PLATEAU AVENUE LOS ALTOS, CALIFORNIA		1554 PLATEAU AVENUE LOS ALTOS, CALIFORNIA		1554 PLATEAU AVENUE LOS ALTOS, CALIFORNIA		1554 PLATEAU AVENUE LOS ALTOS, CALIFORNIA		1554 PLATEAU AVENUE LOS ALTOS, CALIFORNIA		1554 PLATEAU AVENUE LOS ALTOS, CALIFORNIA		1554 PLATEAU AVENUE LOS ALTOS, CALIFORNIA		1554 PLATEAU AVENUE LOS ALTOS, CALIFORNIA		1554 PLATEAU AVENUE LOS ALTOS, CALIFORNIA		1554 PLATEAU AVENUE LOS ALTOS, CALIFORNIA		1554 PLATEAU AVENUE LOS ALTOS, CALIFORNIA		1554 PLATEAU AVENUE LOS ALTOS, CALIFORNIA		1554 PLATEAU AVENUE LOS ALTOS, CALIFORNIA		1554 PLATEAU AVENUE LOS ALTOS, CALIFORNIA		1554 PLATEAU AVENUE LOS ALTOS, CALIFORNIA		1554 PLATEAU AVENUE LOS ALTOS, CALIFORNIA		1554 PLATEAU AVENUE LOS ALTOS, CALIFORNIA		1554 PLATEAU AVENUE LOS ALTOS, CALIFORNIA		1554 PLATEAU AVENUE LOS 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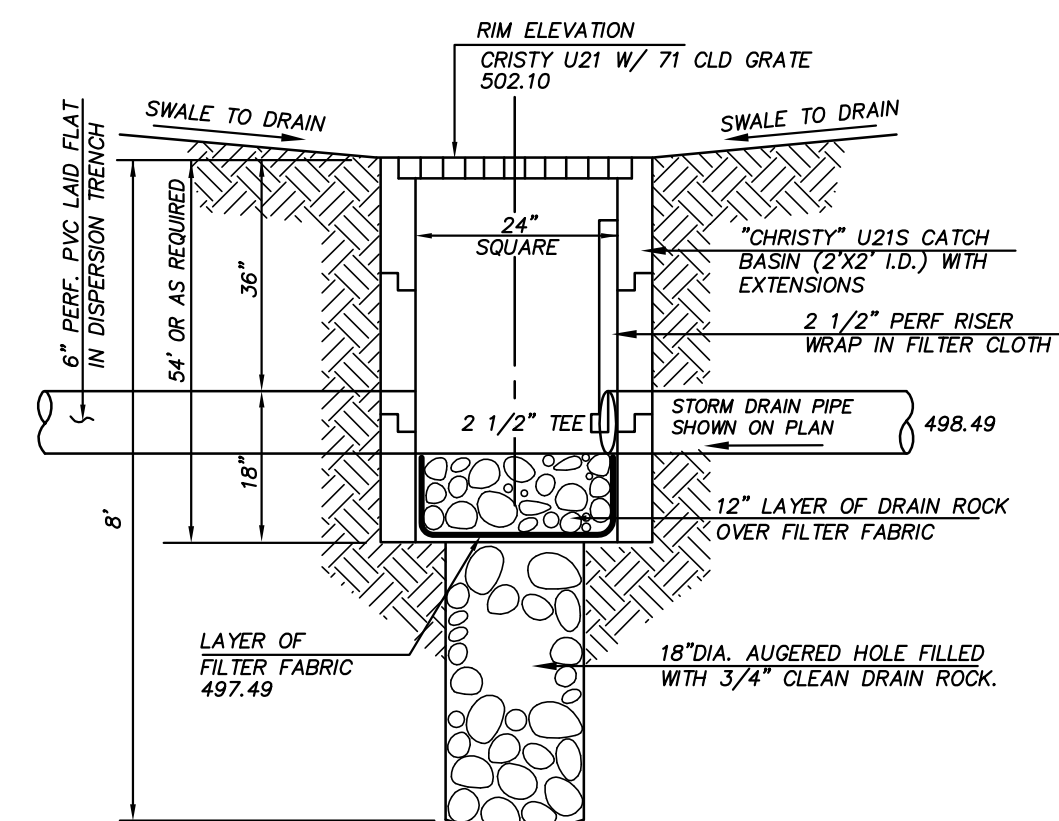
The site plan illustrates the proposed construction and existing site conditions. Key features include:

- NEW HOUSE:** The footprint of the new house, located between the existing house and the driveway courtyard.
- REMOVE EXISTING HOUSE:** The area of the existing house to be demolished.
- EXISTING GROUND:** The current ground surface, shown as a dashed line.
- DECK ELEV.=86.00:** The elevation of the deck area.
- FINISH GRADE=82.00:** The proposed finished ground surface.
- PAD GRADE=83.83:** The proposed grade for the pad area.
- UPPER DRIVEWAY COURTYARD:** The area between the new house and the driveway.
- WOOD FENCE:** A fence line on the left side of the property.
- RETAINING WALL:** A wall structure on the right side of the property.

SCALE: 1"=10'

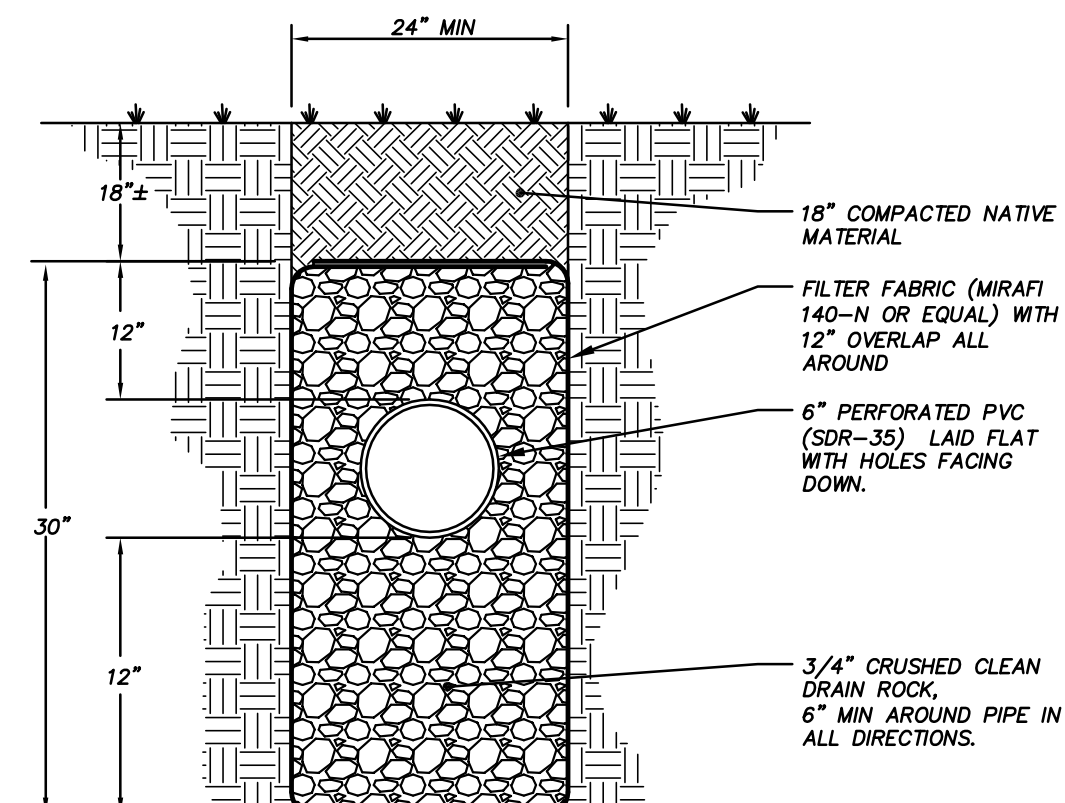
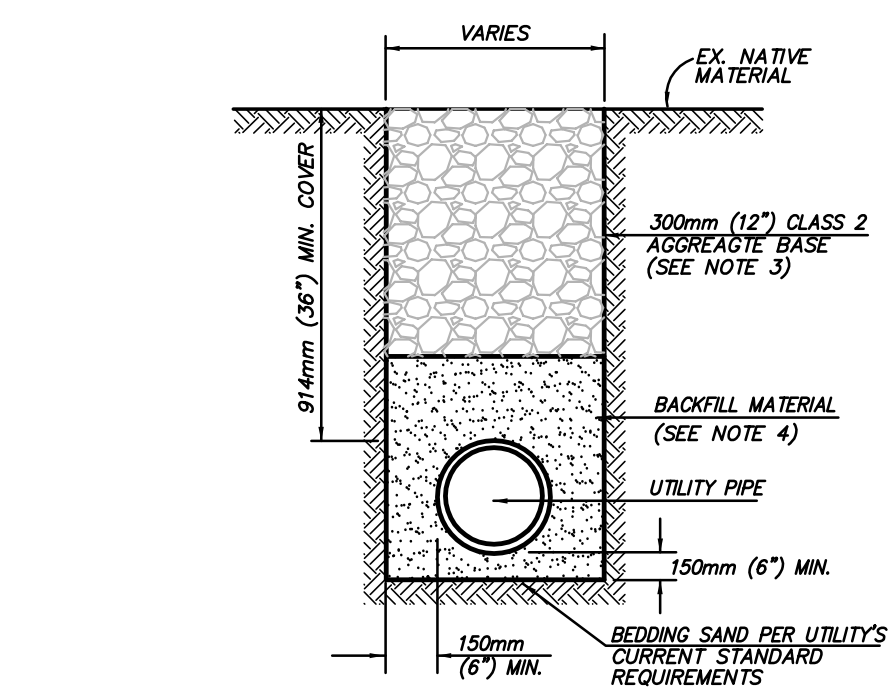


SCALE: 1"=10'

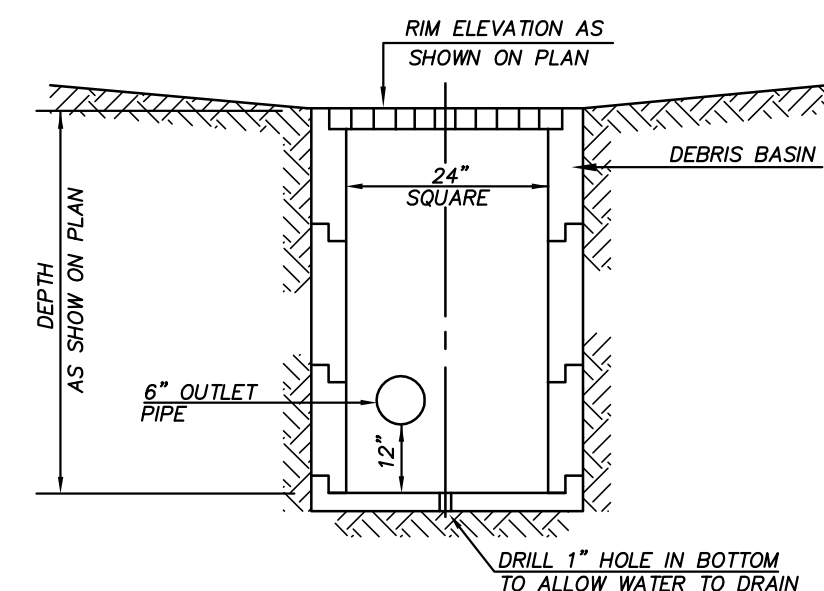


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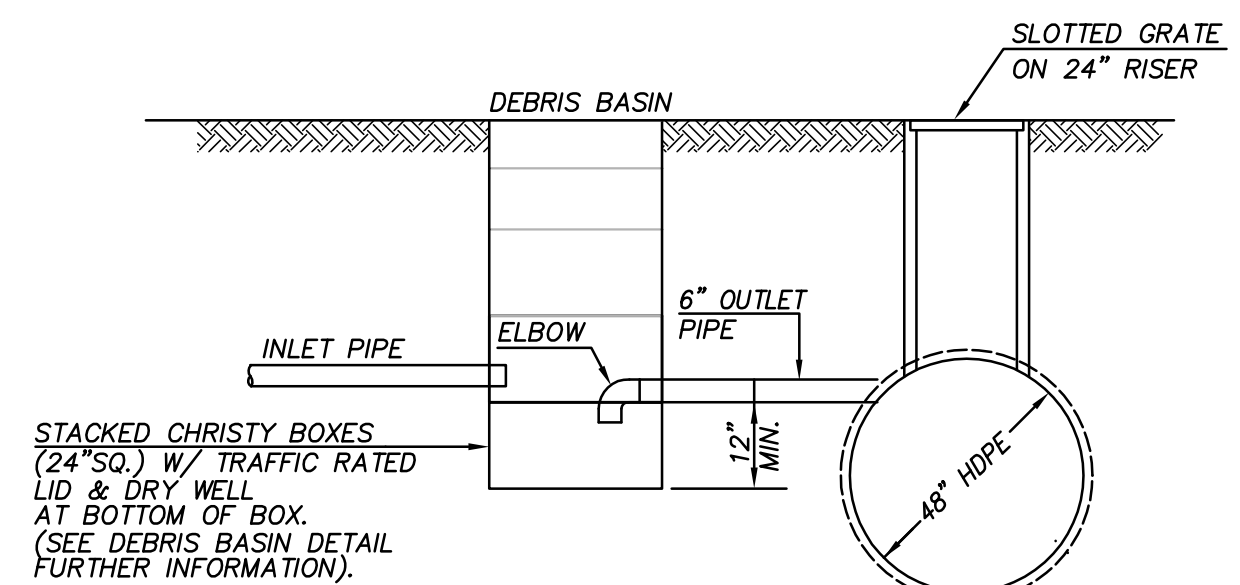
NOTE: CONTRACTOR TO TAKE EVERY PRECAUTION NECESSARY
SO DRAIN ROCK IS NOT CONTAMINATED WITH SOIL OR SILT
UNTIL FULLY OPERATIONAL AND LANDSCAPING IS COMPLETED.



N.T.S.



N.T.S.

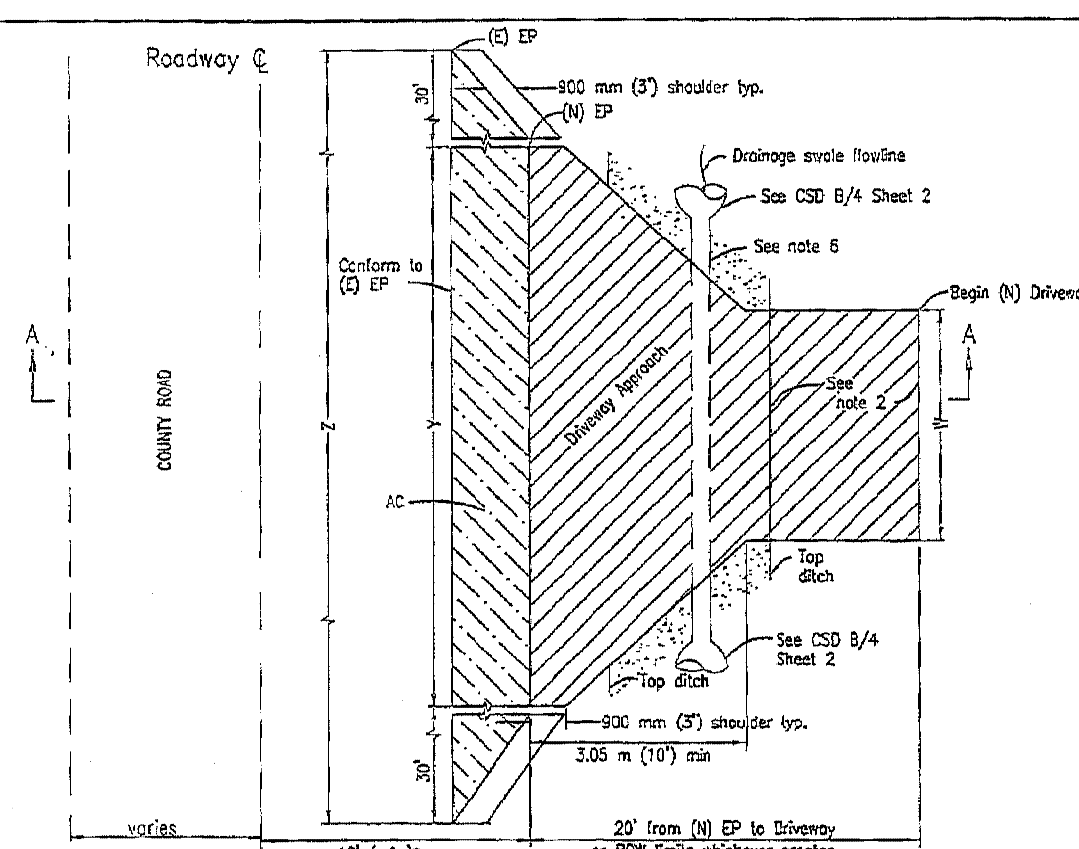
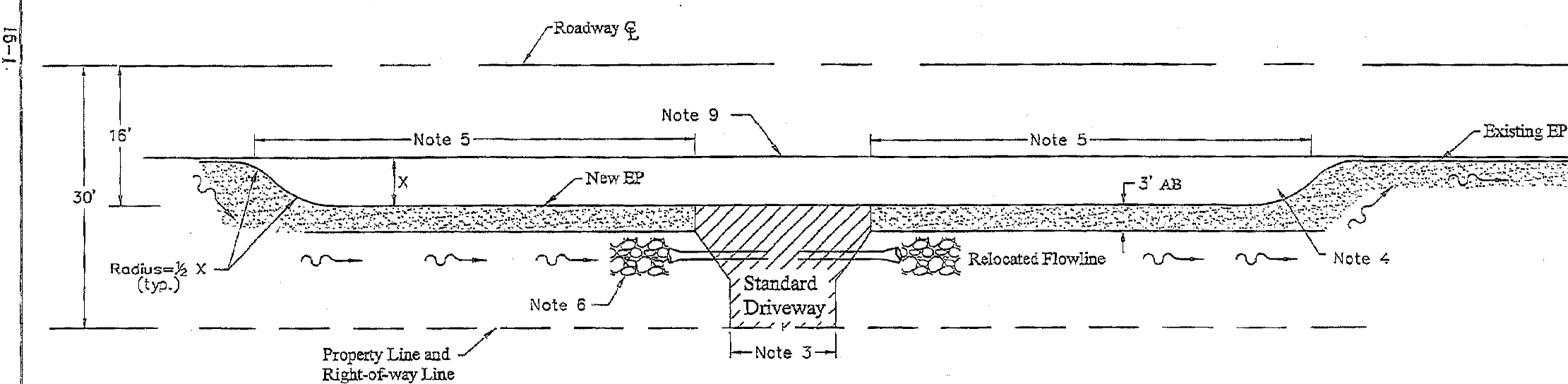


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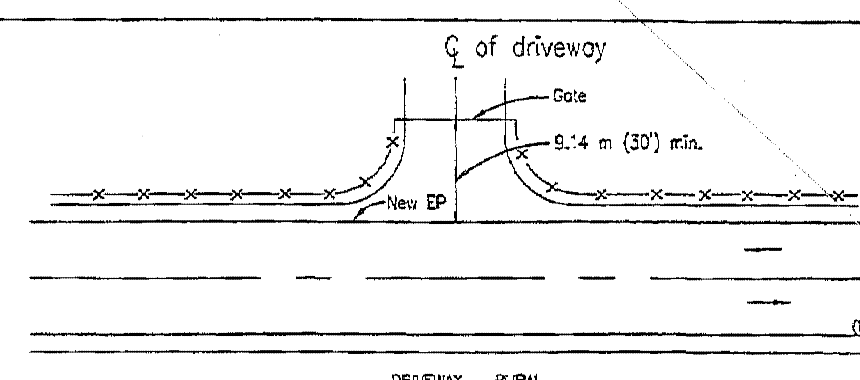


Mack A. Helton

- NOTES:**
1. Single residence (County Standard Detail B/4) and/or Multiple Residence (County Standard Detail B/5).
 2. New or existing retrofit driveway/driveway approach.
 3. Driveway approach pavement section and dimensions per County Standard Detail B/4 or B/5.
 4. Minimum roadway structural section per County Standard Details A/1 through A/9 or match in kind, the more restrictive shall apply.
 5. Minimum 50 linear feet or to property corner limits, whichever is greater shall apply.
 6. Refer to rock energy dissipaters, owner's engineer to determine/calculate site, type and dimensions in conjunction with most current County Drainage Manual, as appropriate.
 7. Provide positive drainage flow across structure.
 8. 3-ft aggregate base (AB) shoulder shall be compacted to 90%. Refer to County Standard Detail A/4 for minimum structural section.
 9. Replace existing shoulder stripe/fog line in kind [e.g., thermoplastic or white reflective paint (2 coats min) etc].



SECTION A-A WITH SLOTTED DRAIN
(ALTERNATE)



NOTES

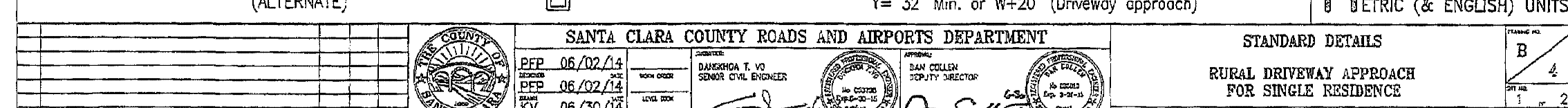
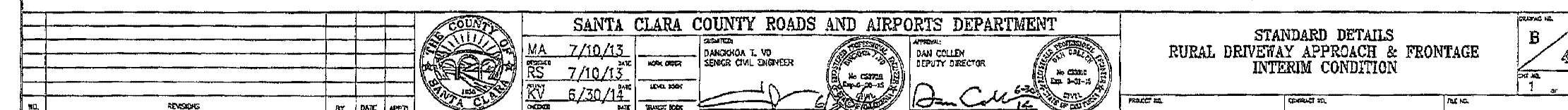
1. The driveway approach structural section shall be constructed of one of the following sections:
 - A. 2" Asphalt Concrete (AC) on 100 mm (4") class 1 Aggregate Sub-base (ASB).
 - B. 150 mm (6") deep strength AC.
 - C. 100mm (4") deep B concrete on 100mm (4") class 3 Aggregate Base (AB) + 100mm (4") class 1 Aggregate Sub-base (ASB).
2. A 100 mm (4") concrete joint or transition at location shown with 100 mm (4") class B concrete driveway approach section is installed.
3. The permittee shall provide erosion protection plantings and facilities when and as required by Road Construction.
4. The permittee shall retain necessary slope elements when required excavations and embankments extend beyond his property or easement.
5. All work shall be in accordance with the County's Standard Specifications.
6. Install 300 mm (18") min. dia. culvert or valley gutter as specified on the encroachment permit. Curb material shall be Corrugated Metal Plate (CMP), Reinforced Concrete Pipe (RCP) or double-walled High Density Polyethylene (HDPE), Schedule 80 Polyvinyl Chloride (PVC) or approved equivalent.
7. Sight panels shall be installed on both ends of culvert per County Standard Detail 8/16.

* Refer to County Standard Detail A/4 for actual width.
** Applicable only if tie-into existing concrete curb, gutter and/or sidewalk.

LEGEND

(E) Existing
EP Edge of pavement
(N) New
ROW Right of way
W= 12' Min. (Driveway width)
Z= 92' Min. or $Y+50'$
Y= 32' Min. or $W+20'$ (Driveway width)

METRIC (& ENGLISH) UNITS



NO.	DATE	REVISIONS	SCALE 1" = 10'
✓			
✓			
✓			DRAWN BY E. T.
✓			DESIGNED BY M.H.
✓			CHECKED BY M.H.

GK Giuliani & Kull, Inc.
Engineers • Planners • Surveyors

15554 PLATEAU AVENUE

LOS ALTOS, CALIFORNIA

SECTIONS AND DETAILS

SHEP

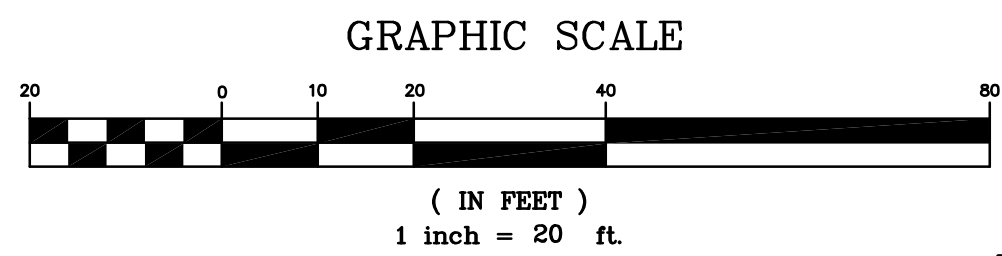
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OF 7

DATE 5/20/19

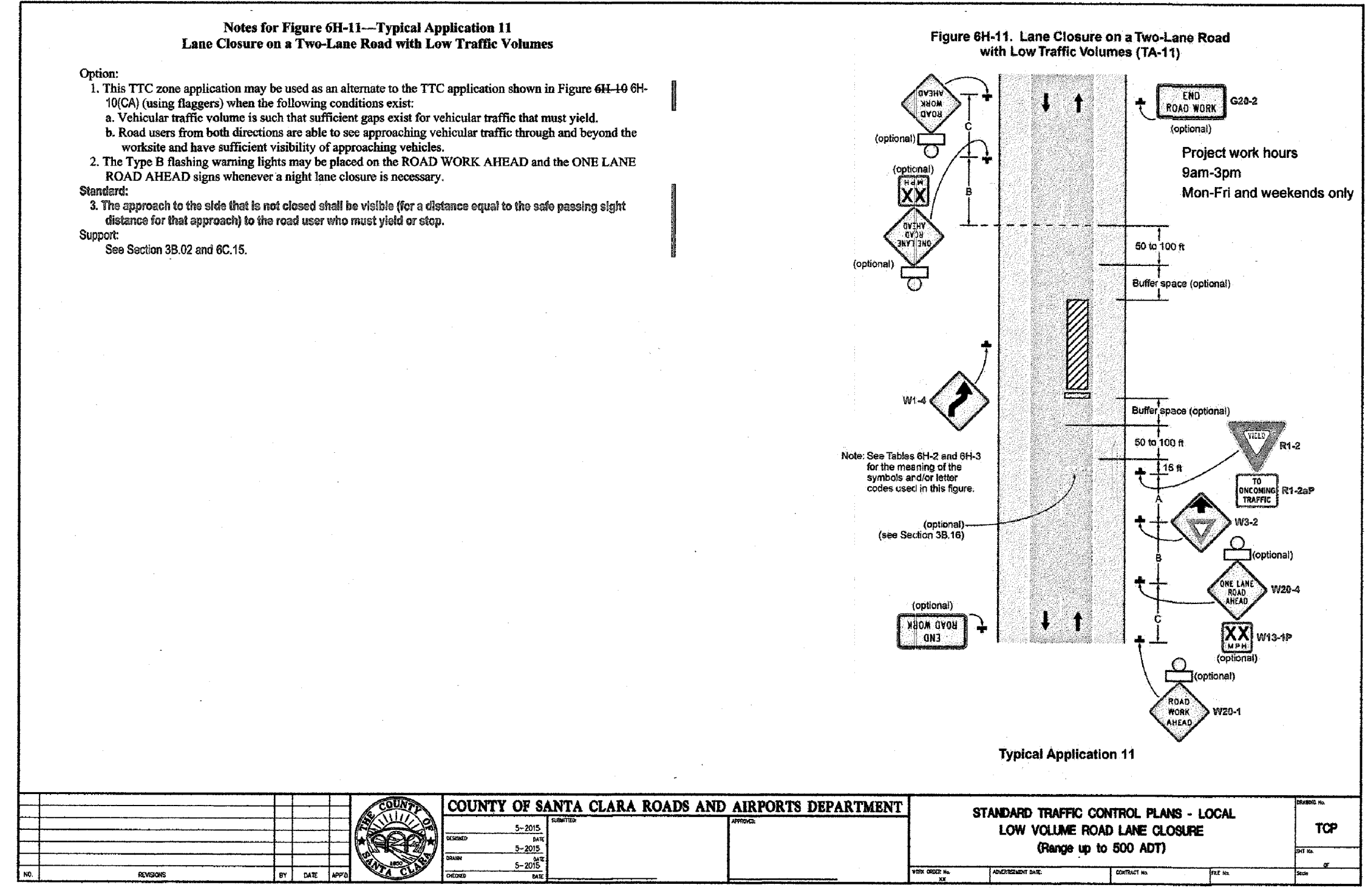
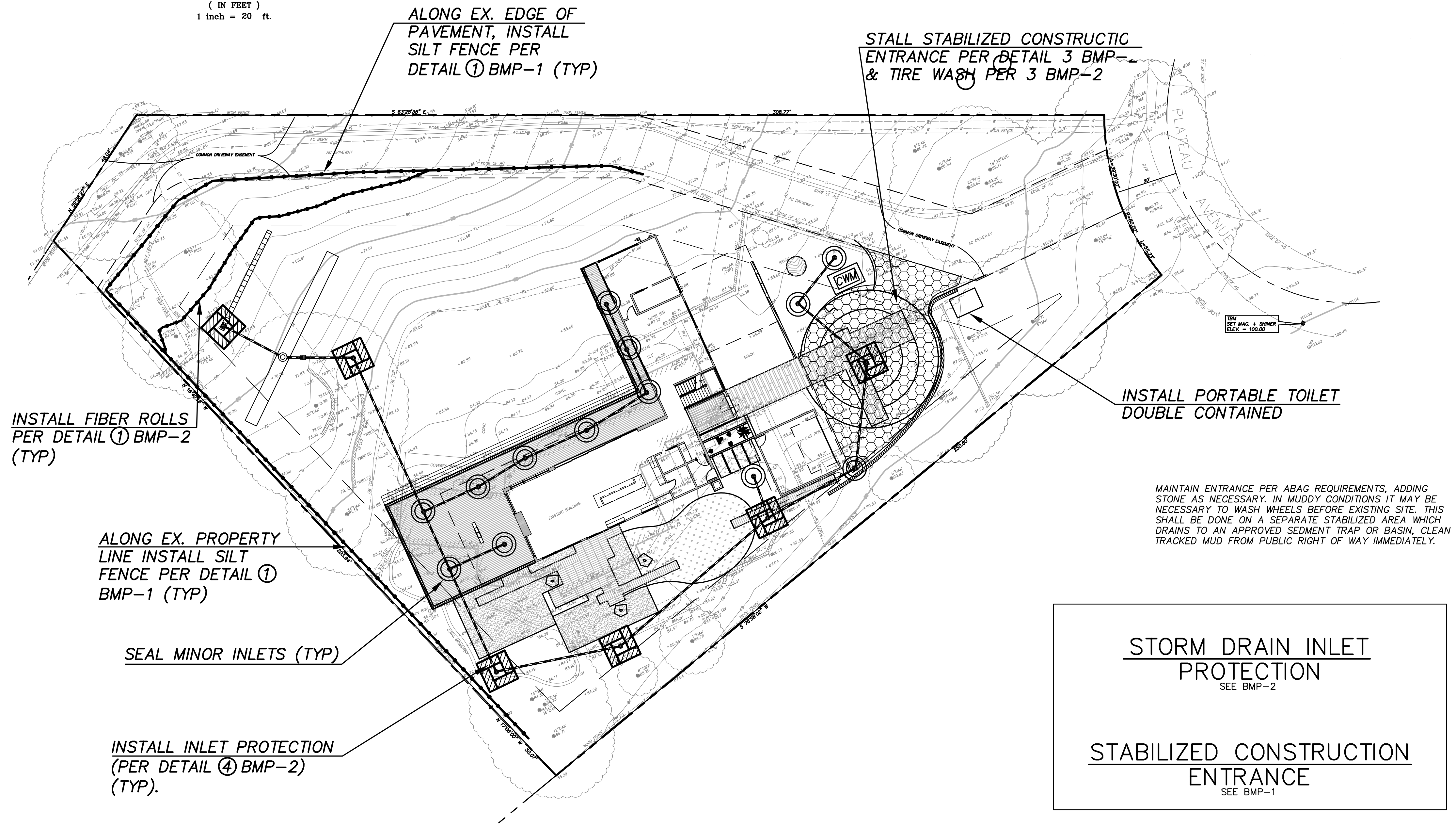
JOB NO.
17221

THESE IMPROVEMENT PLANS HAVE BEEN PREPARED WITH THE INTENT THAT THE FIRM OF GIULIANI & KULL, INC. WILL BE PERFORMING THE CONSTRUCTION STAKING FOR THE COMPLETED PROJECT. IF, HOWEVER ANOTHER ENGINEERING AND/OR SURVEYING FIRM SHOULD BE EMPLOYED TO USED THESE PLANS FOR THE PURPOSE OF CONSTRUCTION STAKING, NOTICE IS HEREBY GIVEN THAT THE FIRM OF GIULIANI & KULL, INC. WILL NOT ASSUME ANY RESPONSIBILITY FOR ERRORS OR OMISSIONS, IF ANY, WHICH MIGHT OCCUR AND WHICH COULD HAVE BEEN AVOIDED, CORRECTED OR MITIGATED BY THE STAKING WORK.



EROSION CONTROL LEGEND

- DI PROTECTION TYPE 2 PER ④ BMP-2
- INSTALL FIBER ROLLS ALONG DOWNSTREAM LIMITS OF GRADING PER DETAIL ① BMP-2
- SILT FENCE PER DETAIL ① BMP-1
- AREA DRAIN TO BE TEMPORARILY SEALED WITH 8 MIL POLY TO PREVENT SEDIMENT FROM ENTERING STORM DRAIN UNTIL FINAL LANDSCAPE AND GRADING ARE COMPLETED
- STABILIZED CONSTRUCTION ENTRANCE PER 3 BMP-2 AND TIRE WASH PER ③ BMP-2
- CONCRETE WASTE MANAGEMENT PER ② BMP-2



- EROSION CONTROL NOTES
- EROSION CONTROL MEASURES SHALL CONFORM WITH THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK, REGIONAL WATER QUALITY CONTROL BOARD EROSION AND SEDIMENT CONTROL FIELD MANUAL AND THE COUNTY OF SANTA CLARA REQUIREMENTS INCLUDING:
 - STABILIZE ALL DENUEED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 15th AND APRIL 15th. STABILIZATION SHALL INCLUDE THE PLACEMENT OF JUTE MESH FABRIC ON EXPOSED SLOPES IN INSTALLED CONFORMANCE WITH DETAIL EC-7 OF THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK.
 - REMOVE SPOILS PROMPTLY AND AVOID STOCKPILING OF FILL MATERIALS WHEN RAIN IS FORECAST. IF RAIN THREATENS, STOCKPILES SOILS AND OTHER MATERIALS SHALL BE COVERED WITH A TARP OF OTHER WATERPROOF MATERIAL.
 - STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES IN A MANNER WHICH AVOIDS THEIR ENTRY INTO LOCAL STORM DRAIN SYSTEMS OR WATER BODIES.
 - AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE.
 - IMPLEMENT THE APPROVED STORMWATER MANAGEMENT PLAN PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
 - ALL MATERIALS FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15th.
 - EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 15th THROUGH APRIL 15th, WHICHEVER IS LONGER.
 - IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL MEASURES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
 - ANY AREAS OF DISTURBED SOIL SHALL BE SEEDED OR REPLANTED TO THE SATISFACTION OF THE COUNTY INSPECTOR PRIOR TO OCTOBER 15th, OR FINAL INSPECTION, WHICHEVER IS SOONER.
 - ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY THE COUNTY ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
 - PROJECT SHALL PREVENT THE DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL, OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEM. ANY ACCUMULATED MATERIALS SHALL BE REMOVED IMMEDIATELY BY MEANS OF DRY SHOVELING AND/OR SWEEPING.
 - TREE PROTECTION SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF THE GRADING PERMIT.

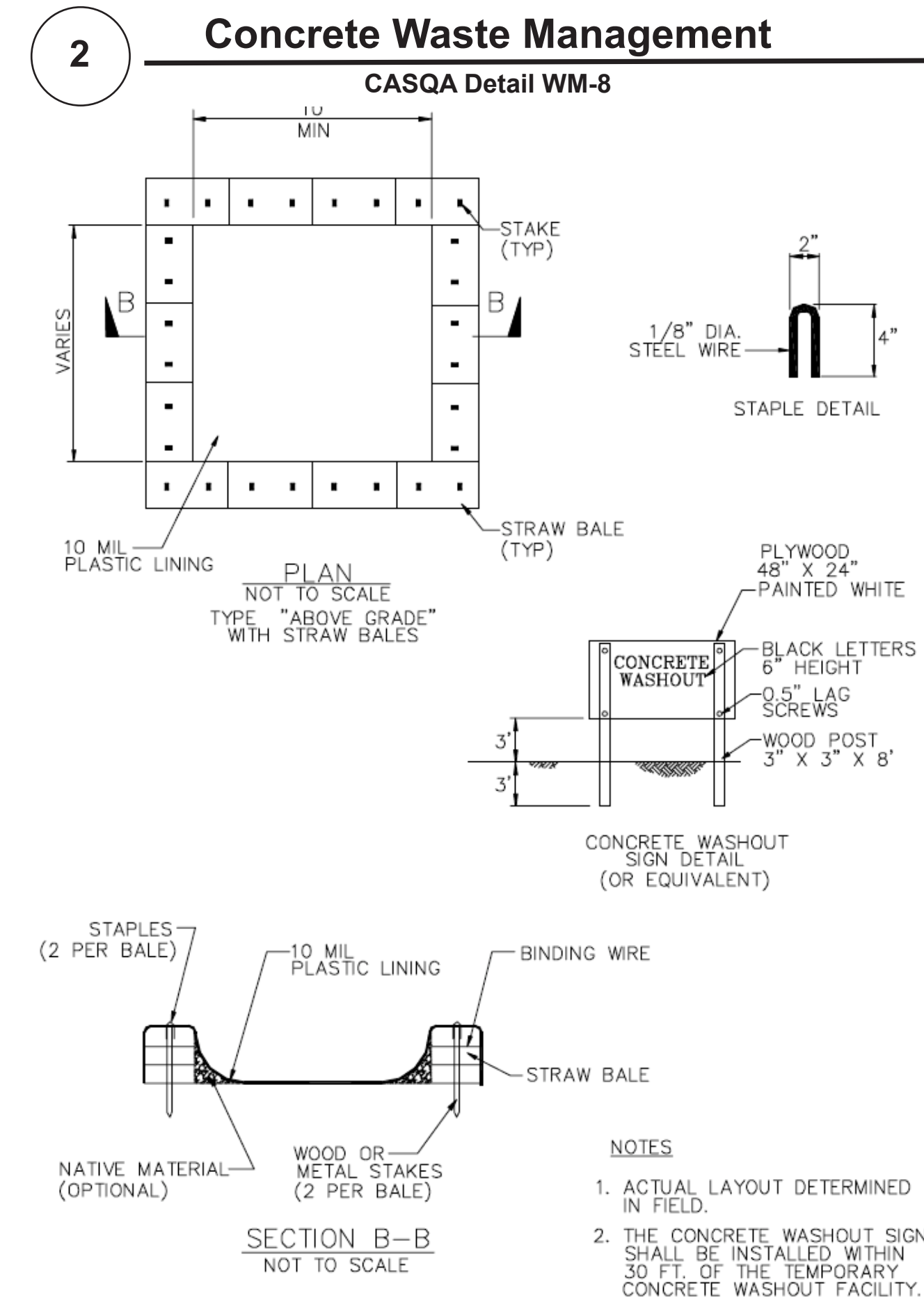
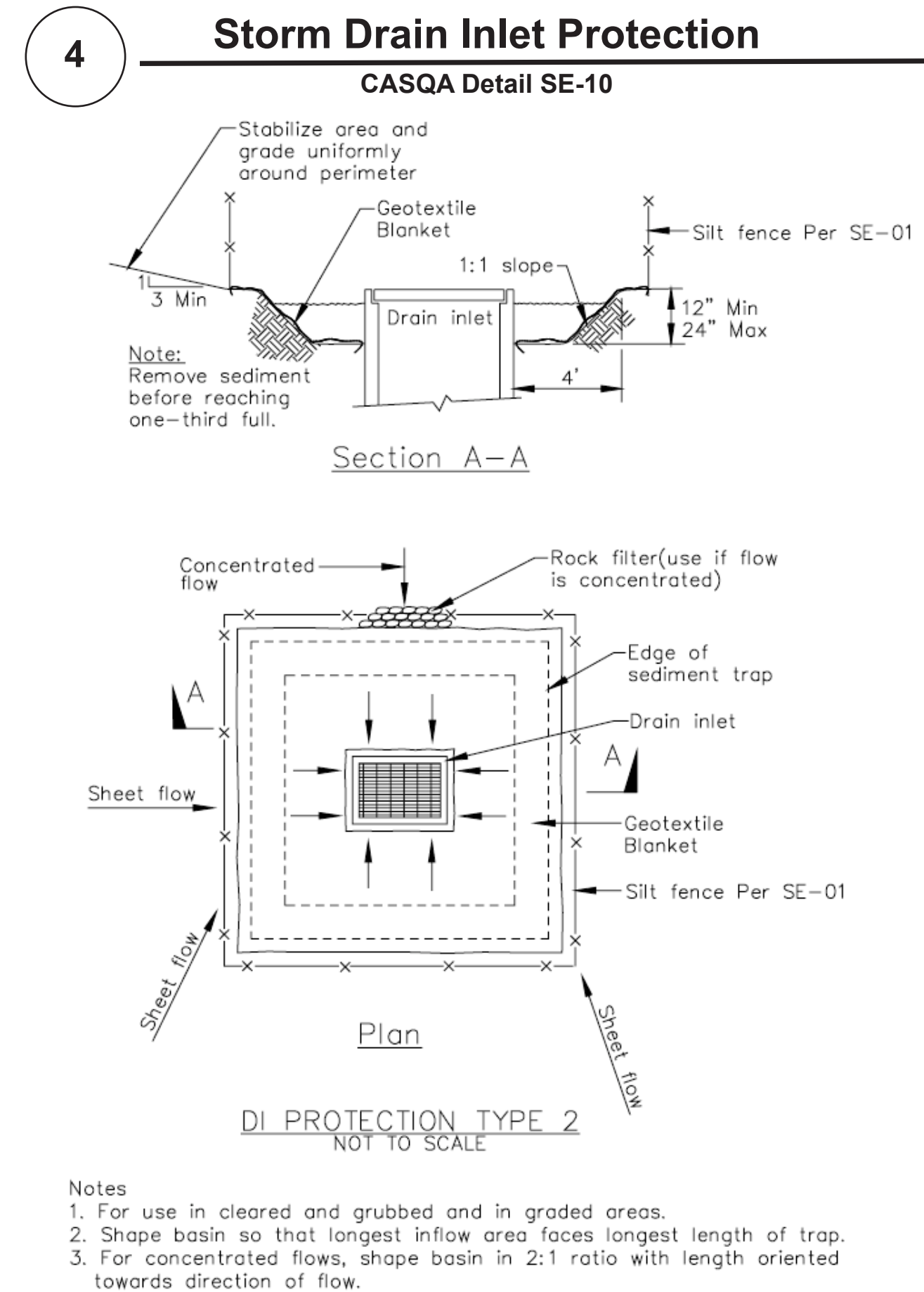
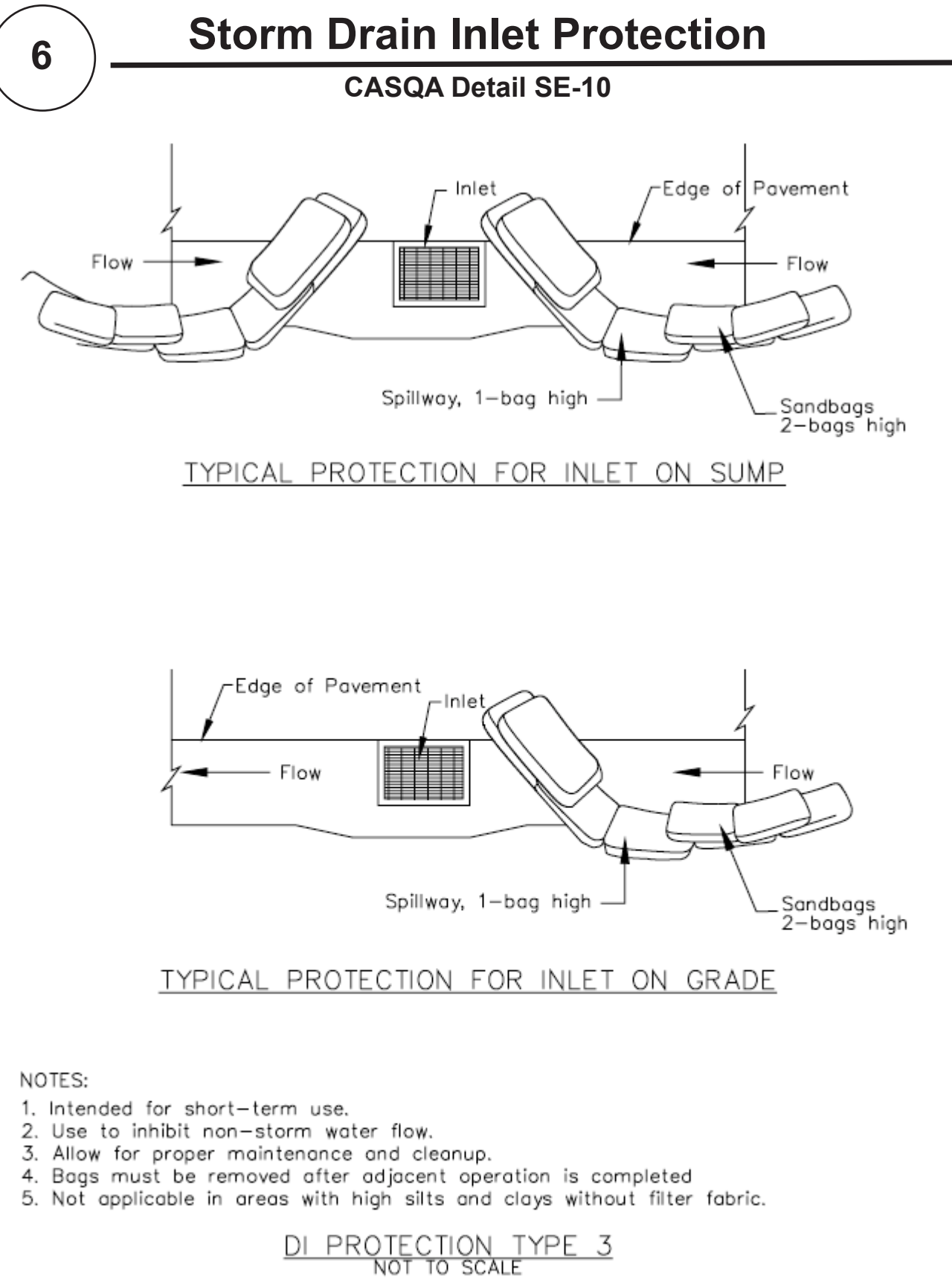
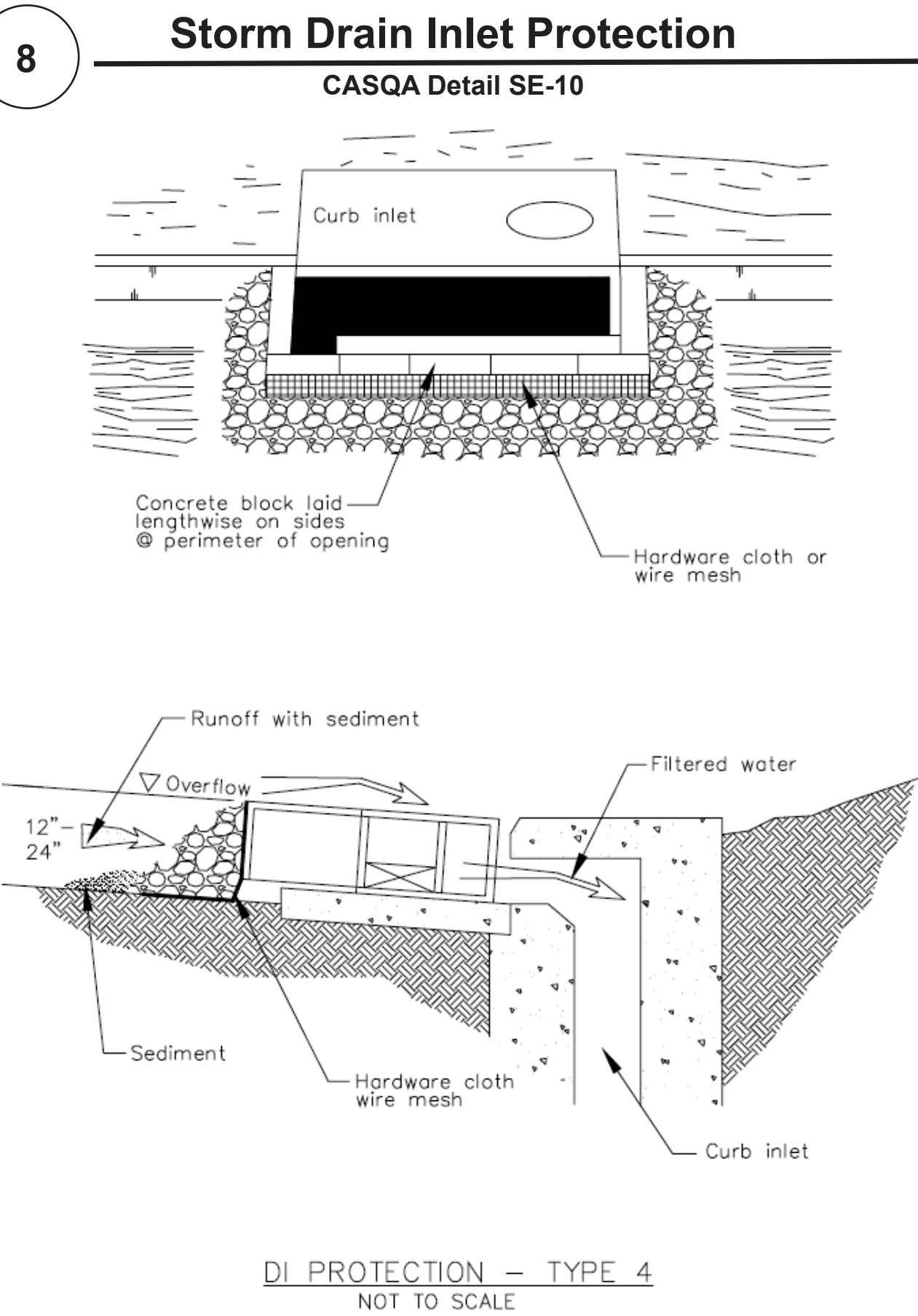
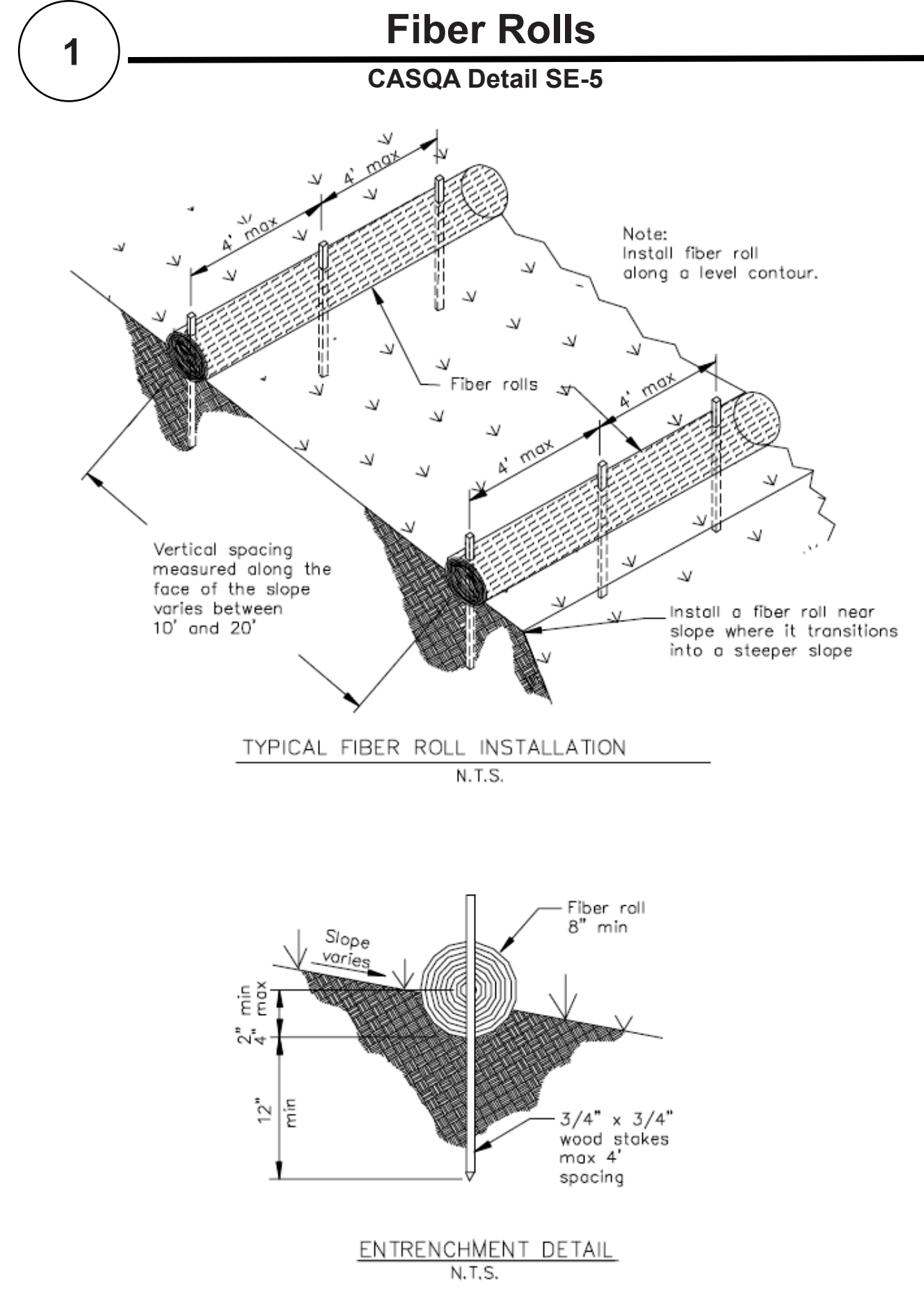
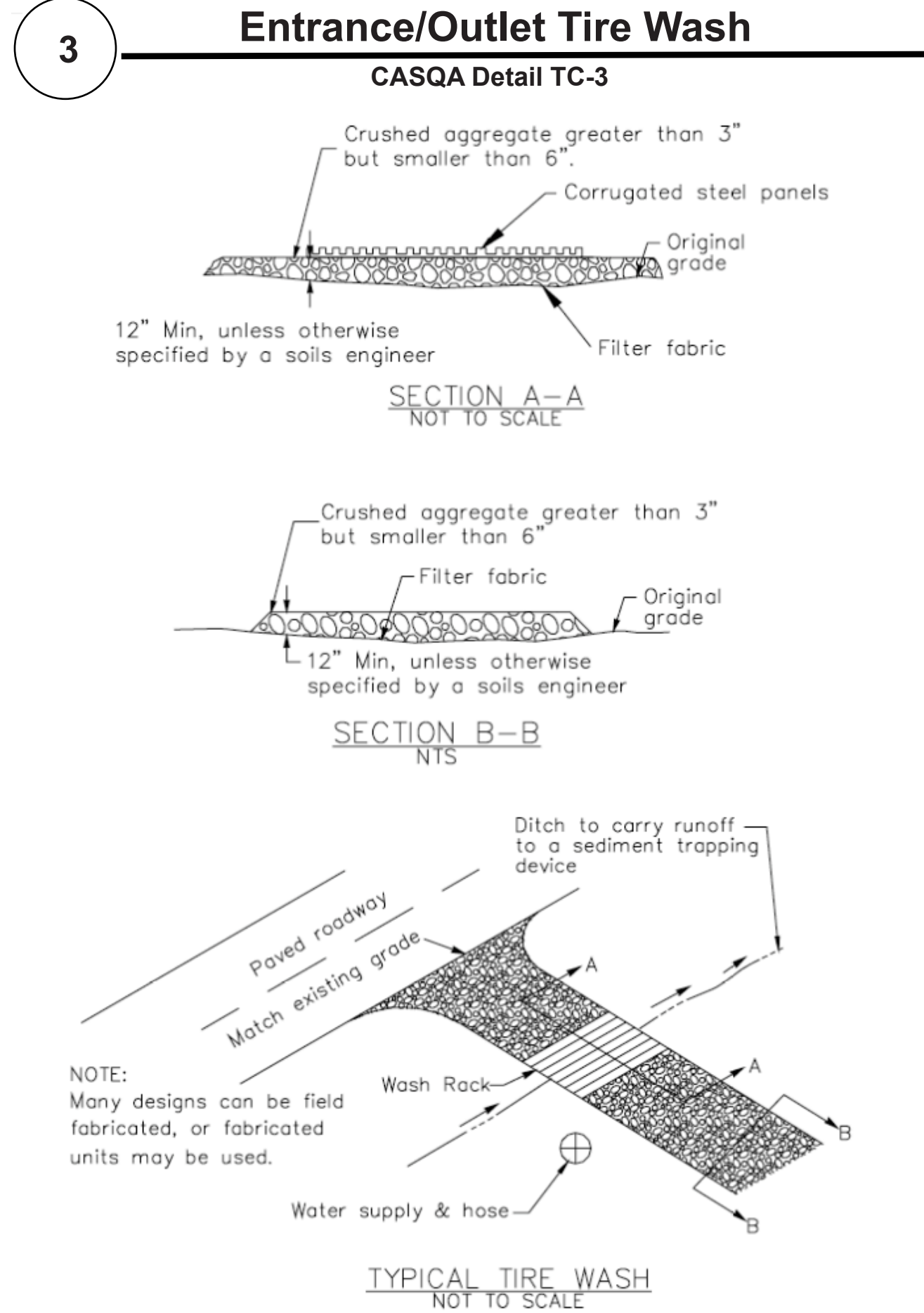
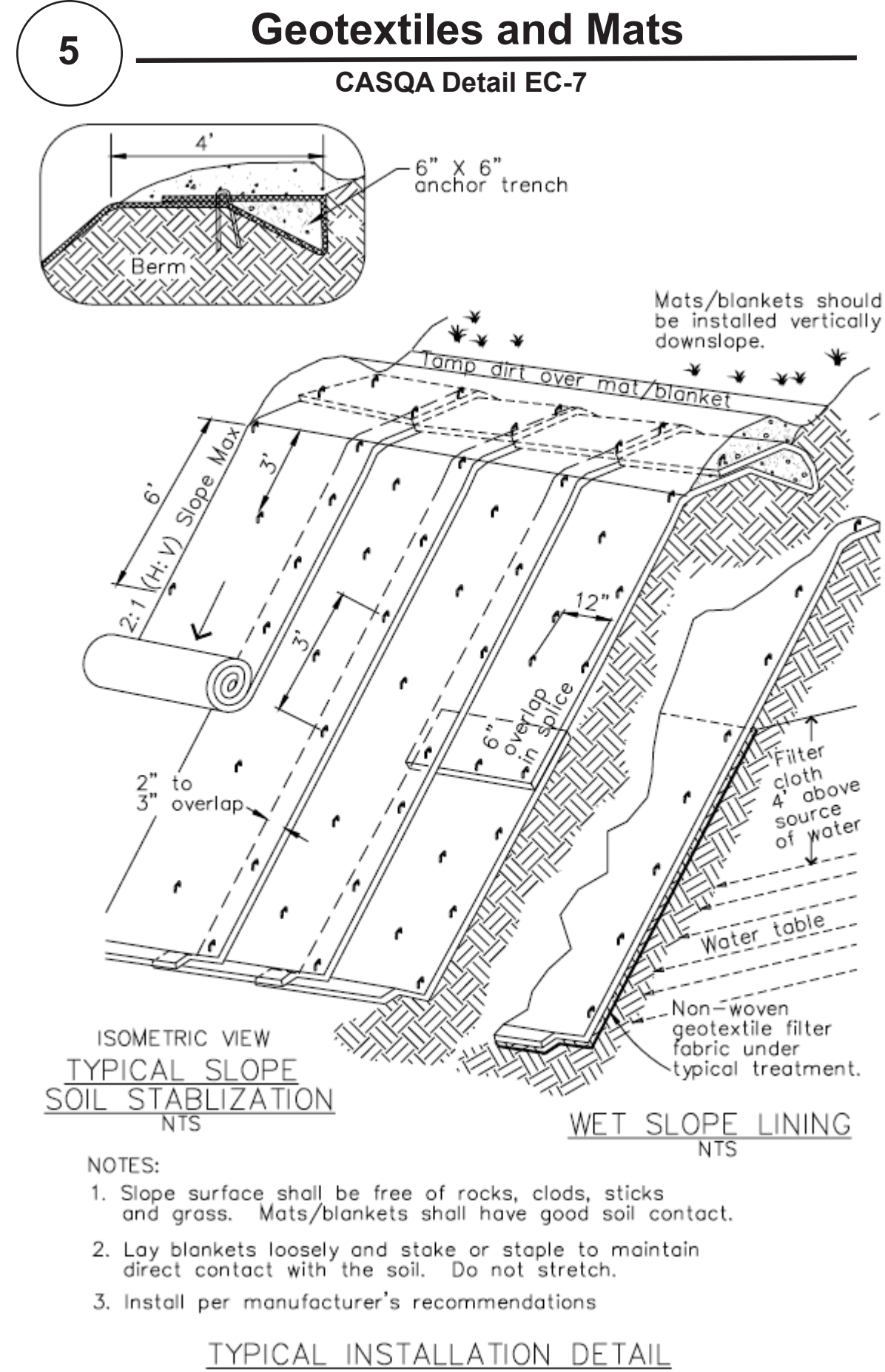
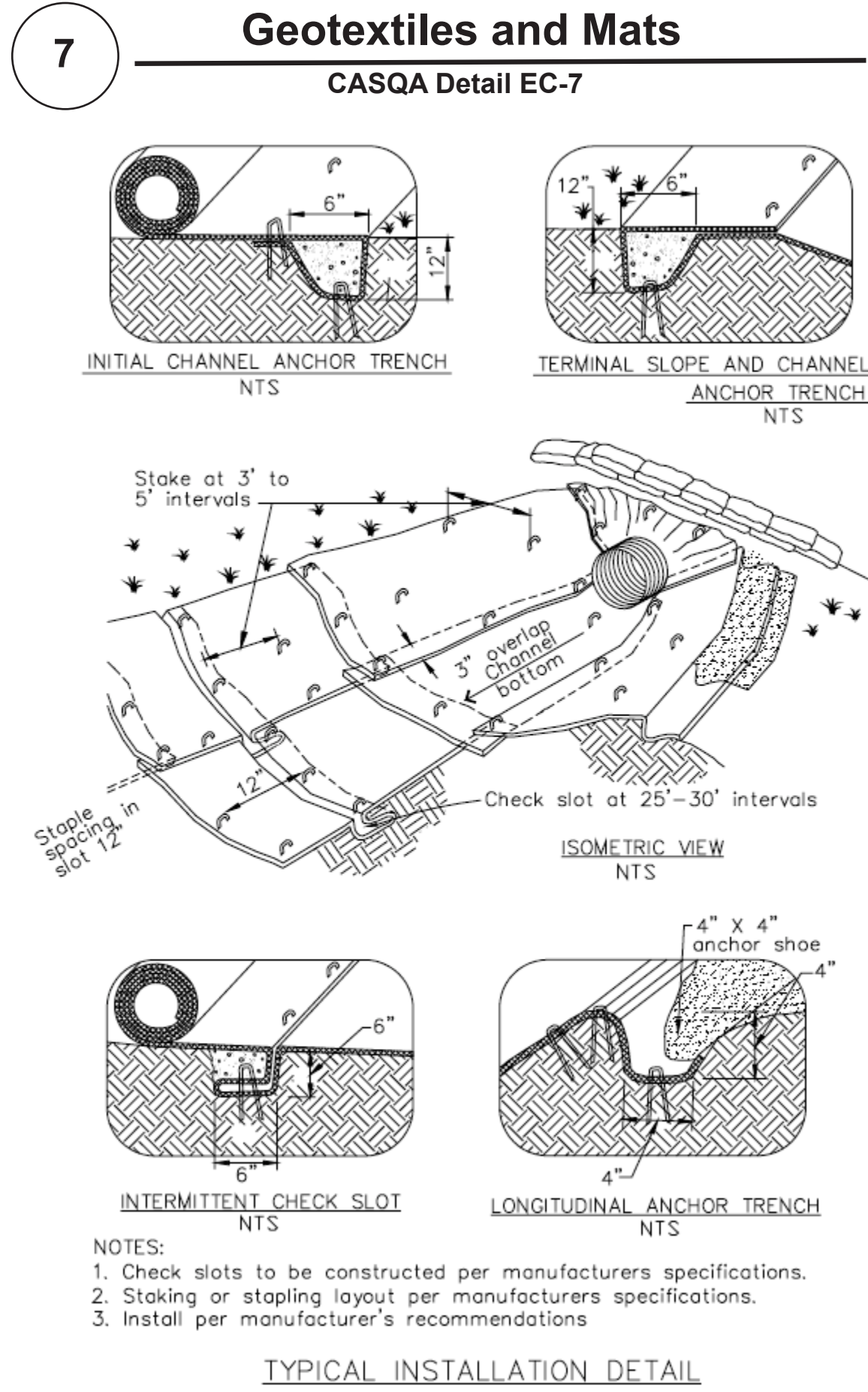
STORM DRAIN INLET PROTECTION
SEE BMP-2

STABILIZED CONSTRUCTION ENTRANCE
SEE BMP-1



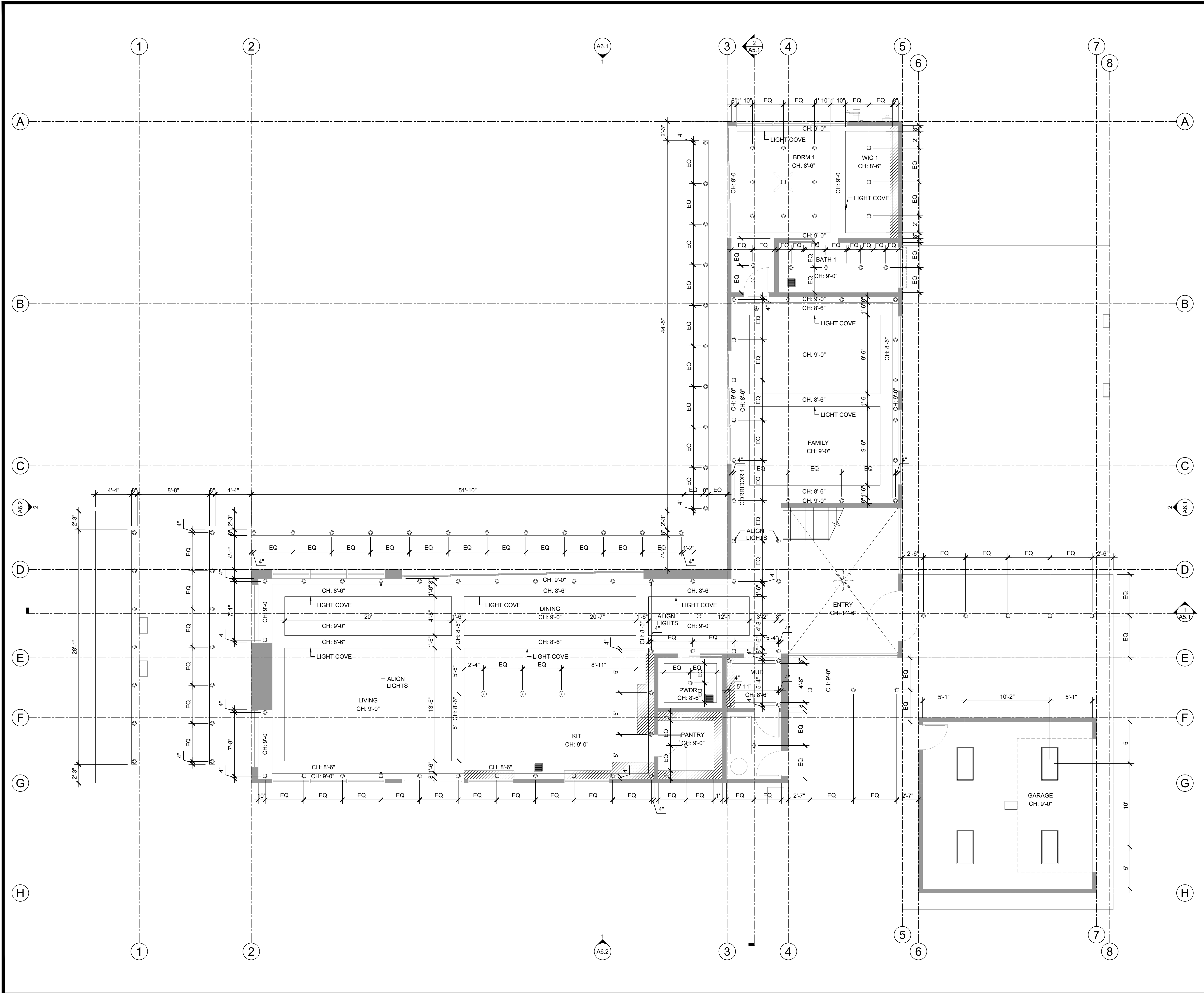
Mark A. Helton

SCALE 1"=20'	REVISIONS	DATE	NO.	GIULIANI & KULL, INC. Engineers • Planners • Surveyors 4880 Stevens Creek Blvd. Suite 205 San Jose, CA 95129 (408) 615-4000 Fax (408) 615-4004 Auburn • San Jose • Oakdale	1554 PLATEAU AVENUE LOS ALTOS, CALIFORNIA	EROSION CONTROL PLAN	SHEET C-5	OF 7	DATE 5/20/19	JOB NO. 17221
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Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.
Available from www.cabmphandbooks.com.





LEGEND

WALL CABINETS

SMOKE DETECTOR

RECESSED CAN

PENDANT

CHANDELIER

CEILING MOUNT FLUORESCENT

EXHAUST VENT

FAN

DATE

REVISION

DATE

REVISION

DATE

REVISION

DATE

REVISION

DATE

REVISION

DATE

REVISION

M-DESIGNS ARCHITECTS

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4131 WEST EL CAMINO REAL,

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phone: 650-565-9036

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LICENSED ARCHITECT

MALIKA JUNAID

C-63242

11.18.21

RENEWAL

DATE

STATE OF CALIFORNIA

NEW RESIDENCE FOR

THE YUE-LOWE FAMILY AT

1554 PLATEAU AVE,

LOS ALTOS, CA 94024

PLANNING PACKAGE

PROPOSED FIRST FLOOR

REFLECTED CEILING PLAN

5/14/2019

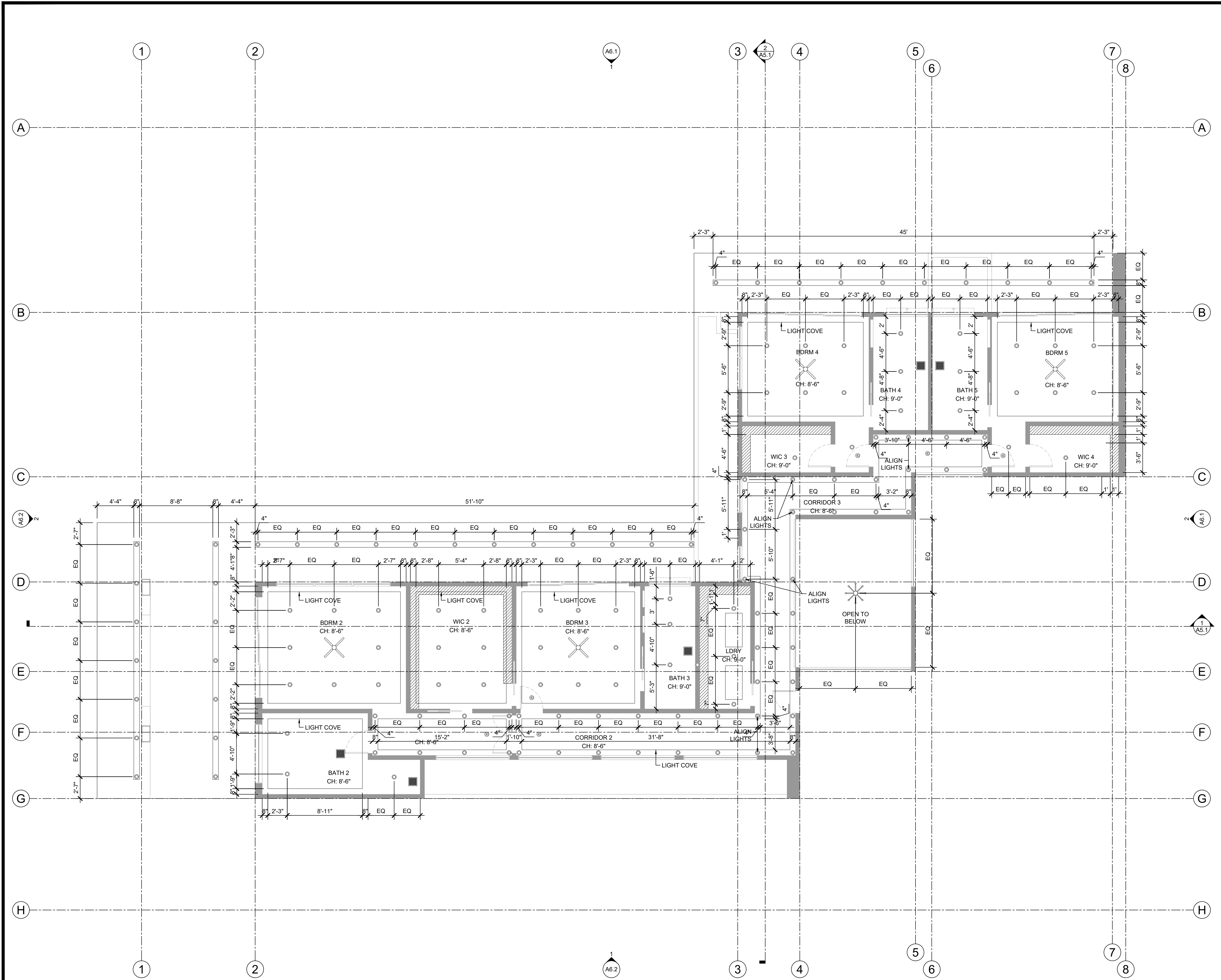
A3.1

0' 1' 2' 4' 8' 16'

SCALE: 3/16" = 1'-0"

1

PROPOSED FIRST FLOOR REFLECTED CEILING PLAN



LEGEND

WALL CABINETS

●

SMOKE DETECTOR

○

RECESSED CAN

○

PENDANT

CHANDELIER

CEILING MOUNT FLUORESCENT

■

EXHAUST VENT

FAN

DATE	REVISION

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LICENSED ARCHITECT

MALIKA JUNAID

C-63242

11.12.21

RENEWAL DATE

STATE OF CALIFORNIA

NEW RESIDENCE FOR

THE YUE-LOWE FAMILY AT

1554 PLATEAU AVE,

LOS ALTOS, CA 94024

PLANNING PACKAGE

PROPOSED SECOND FLOOR

REFLECTED CEILING PLAN

5/14/2019

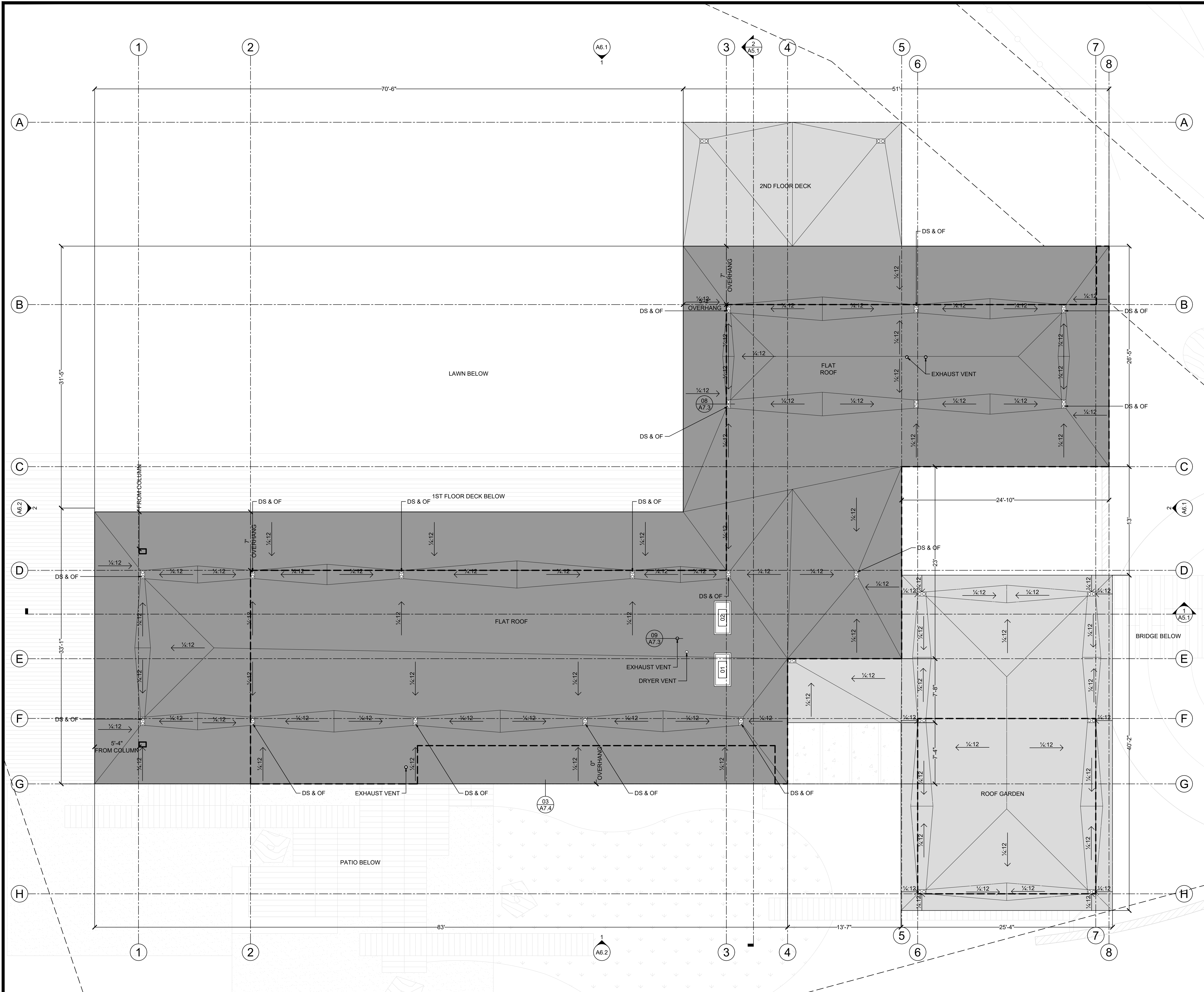
A3.2

NORTH REFERENCE

0' 1' 2' 4' 8' 16'

SCALE: 3/16" = 1'-0"

1



CONSTRUCTION ASSEMBLY:

ROOFING:
GAF EVERGUARD TPO 80 MIL MEMBRANE OR APPROVED EQUAL
COLOR: GRAY
REFLECTIVITY INITIAL/AGED: 0.40/0.42 - 48.8 REFLECTANCE
EMISSIVITY INITIAL/AGED: 0.89/0.86

LEGEND

SKYLIGHT LABEL

% ROOF SLOPE

UPPER ROOF

LOWER ROOF

DATE REVISION

DATE	REVISION
DATE	REVISION
DATE	REVISION
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DATE	REVISION
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DATE	REVISION

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LICENSED ARCHITECT
MALIKA JUNAID
C-83842
11.12.21
RENEWAL DATE

STATE OF CALIFORNIA

NEW RESIDENCE FOR
THE YUE-LOWE FAMILY AT
1554 PLATEAU AVE,
LOS ALTOS, CA 94024

PLANNING PACKAGE

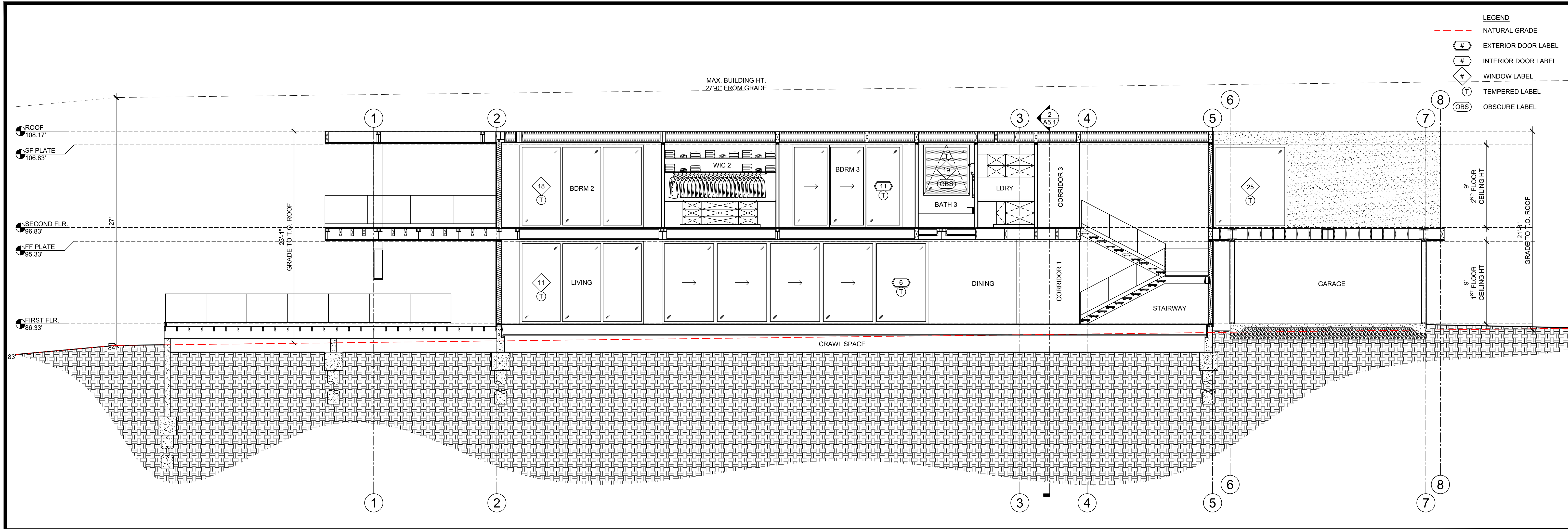
PROPOSED ROOF PLAN

5/14/2019

A4.1

PROPOSED ROOF PLAN

SCALE: 3/16" = 1'-0"

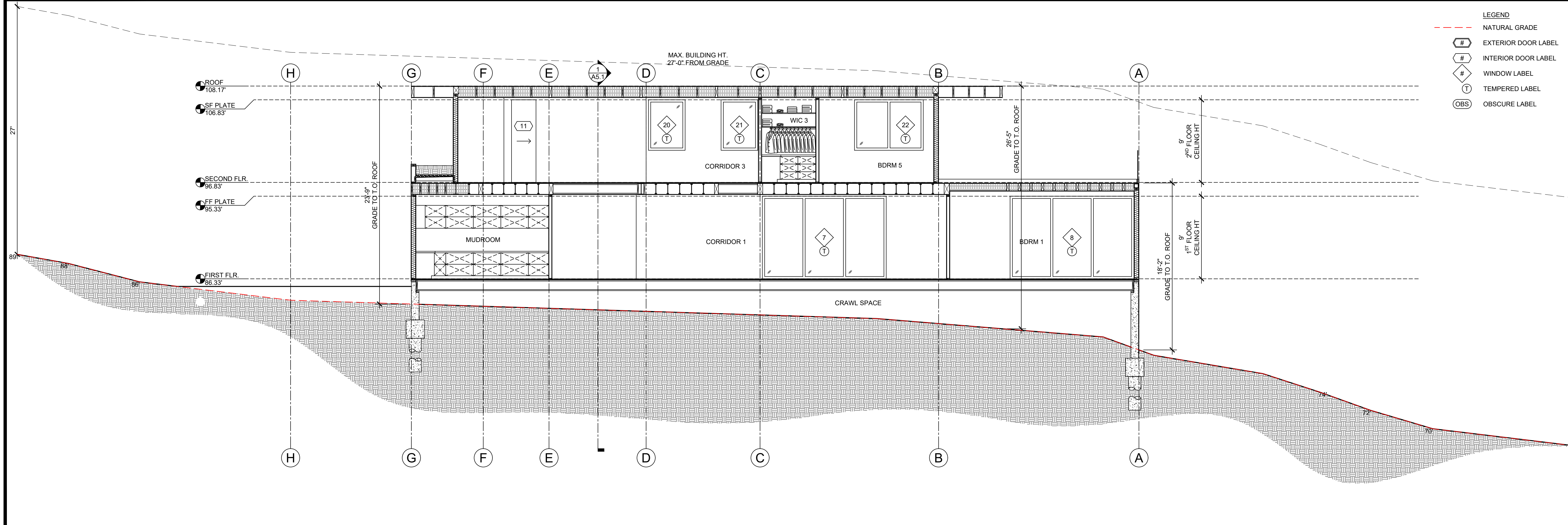


PROPOSED SECTION A-A

0' 1' 2' 4' 8' 16'

SCALE: 3/16" = 1'-0"

1



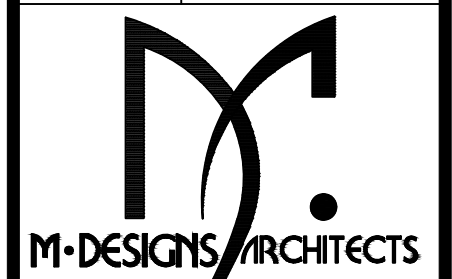
PROPOSED SECTION B-B

0' 1' 2' 4' 8' 16'

SCALE: 3/16" = 1'-0"

2

DATE	REVISION
DATE	REVISION
DATE	REVISION
DATE	REVISION
DATE	REVISION
DATE	REVISION
DATE	REVISION



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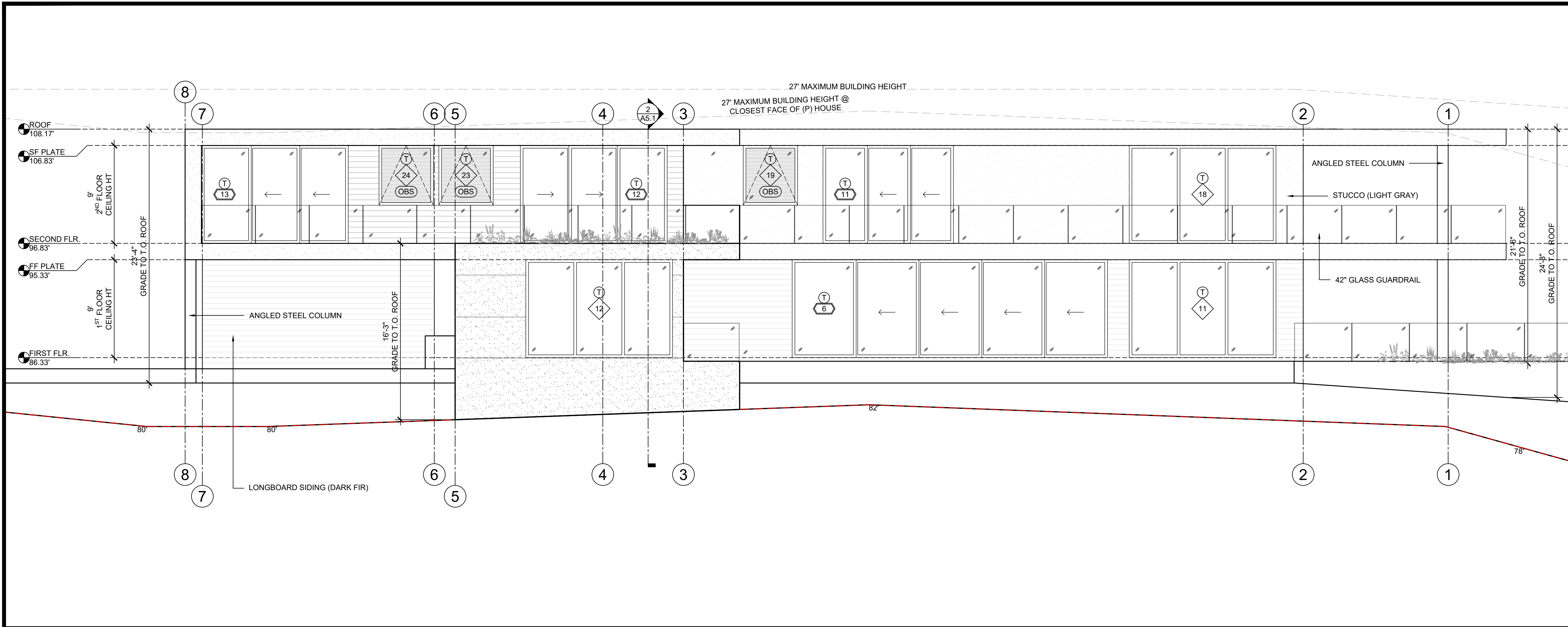
NEW RESIDENCE FOR
THE YUE-LOWE FAMILY AT
1554 PLATEAU AVE.,
LOS ALTOS, CA 94024

PLANNING PACKAGE

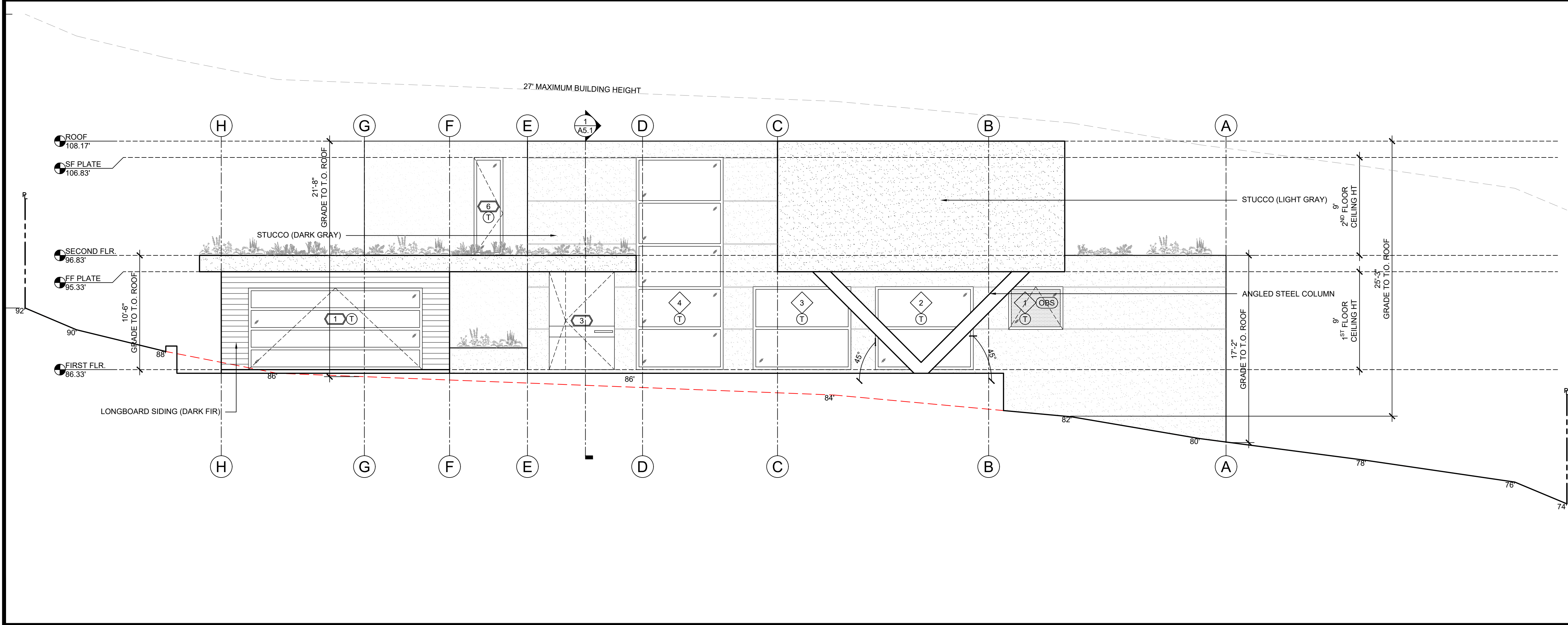
PROPOSED SECTIONS

5/14/2019

A5.1



PROPOSED NORTH ELEVATION



PROPOSED EAST ELEVATION

LEGEND

- NATURAL GRADE
- NATURAL GRADE AT FACE OF HOUSE
- EXTERIOR DOOR LABEL
- WINDOW LABEL
- TEMPERED LABEL
- OBSCURE LABEL
- STUCCO
- LONGBOARD SIDING

DATE

REVISION

DATE	REVISION
DATE	REVISION
DATE	REVISION
DATE	REVISION
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DATE	REVISION
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LICENSED ARCHITECT
MALIKA JUNAID
C-83842
11.18.21
RENEWAL
DATE

STATE OF CALIFORNIA

NEW RESIDENCE FOR
THE YUE-LOWE FAMILY AT
1554 PLATEAU AVE.,
LOS ALTOS, CA 94024

PLANNING PACKAGE

PROPOSED NORTH & EAST
ELEVATIONS

5/14/2019

A6.1

LEGEND

- NATURAL GRADE

CONSTRUCTION ASSEMBLY:

ROOFING:
GAF EVERGUARD TPO 80 MIL MEMBRANE OR APPROVED EQUAL
COLOR: GRAY
REFLECTIVITY INITIAL/AGED: 0.40/0.42 - 48.8 REFLECTANCE
EMISSIVITY INITIAL/AGED: 0.89/0.86

PARAPET:
26GA GALVANIZED SHEET METAL PAINTED
COLOR: TO MATCH STUCCO
PROVIDE FLASHING AND COUNTER FLASHING
VERIFY FLASHING AND CANT STRIP W/ GAF EVERGUARD TPO

STUCCO EXTERIOR WALL:
7/8" THK. (3) COAT MIN. SMOOTH SANDED STUCCO
METAL LATH
(2) LAYERS OF GRADE D BUILDING PAPER
SHEATHING PER STRUCTURAL PLANS
2X6 WALLS W/ INSULATION PER TITLE 24
5/8" THK. TYPE V SMOOTH FINISH GYPSUM WALLBOARD
COLOR 1: MARCH WIND
LRV 1: 49
COLOR 2: SOFTWARE
LRV: 23

LONGBOARD EXTERIOR WALL:
6" V GROOVE SIDING
FURRING STRIPS @ 32 IN. O.C. FASTENED TO STUD OR SHEATHING
(2) LAYERS OF GRADE D BUILDING PAPER
SHEATHING PER STRUCTURAL PLANS
2X6 WALLS W/ INSULATION PER TITLE 24
5/8" THK. TYPE V SMOOTH FINISH GYPSUM WALLBOARD
COLOR: DARK FIR

INTERIOR WALL & SOFFIT:
5/8" THK. TYPE V SMOOTH FINISH GYPSUM WALLBOARD
2X FRAMING @ 16" O.C. W/ FIRE BLOCKING @ MIDPOINT
INSULATION PER TITLE 24
5/8" THK. TYPE X SMOOTH FINISH GYPSUM WALLBOARD

1-HOUR FIRE-RATED WALL:
5/8" THK. TYPE X SMOOTH FINISH GYPSUM WALLBOARD
2X FRAMING @ 16" O.C. W/ FIRE BLOCKING @ MIDPOINT
INSULATION PER TITLE 24
5/8" THK. TYPE X SMOOTH FINISH GYPSUM WALLBOARD

FLOOR/CEILING ASSEMBLY:
PREFINISHED ENGINEERED HARDWOOD
VAPOR BARRIER
SUBFLOOR PER STRUCTURAL PLANS
FLOOR JOIST PER STRUCTURAL PLANS
INSULATION PER TITLE 24
RESILIENT CHANNEL
5/8" THK. TYPE V OR X SMOOTH FINISH GYPSUM WALLBOARD

0' 1' 2' 4' 8' 16'

SCALE: 3/16" = 1'-0"

1

0' 1' 2' 4' 8' 16'

SCALE: 3/16" = 1'-0"

2

