

County of Santa Clara

Department of Planning and Development
Planning Office

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STAFF REPORT Zoning Administration July 1, 2021 **Item No. 3**

Staff Contact: Xue Ling, Associate Planner
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File: PLN20-141 Building Site Approval and Design Review (-sr) for a New Single-Family Residence

Summary: Concurrent land use application for a Building Site Approval and Design Review (-sr) for the construction of a new 741 square foot single-family residence, with an attached garage on a vacant lot. Ancillary site improvements include construction of a new driveway and septic system. The proposed building site is located within 100 feet of a County-designate scenic road. Grading consists of 13 cubic yards of cut and 11 cubic yards of fill (total 24 cubic yards). A total of seven (7) trees are proposed to be removed for the subject project.

Owner: Rodney and Jenale Nielson
Applicant: Amanda Musy-Verdel
Address: 0 Metcalf Road, San Jose
APN: 627-12-018
Supervisory District: 1

Gen. Plan Designation: Ranchlands
Zoning: AR-sr
Lot Size: 12,764 sq.ft
Present Land Use: Vacant
HCP: in HCP Area

RECOMMENDED ACTIONS

- A. Accept a Categorical Exemption, under Section 15303 (Class3)(a) of the CEQA Guidelines, outlined in Attachment A; and
- B. Grant a concurrent land use application for a Building Site Approval and Design Review, pursuant to Conditions of Approval.

ATTACHMENTS INCLUDED

Attachment A – CEQA Determination
Attachment B – Preliminary Conditions of Approval
Attachment C – Plans and Vicinity Map
Attachment D – Color Samples
Attachment E – Arborist Report

PROJECT DESCRIPTION

The project includes a concurrent land use application for a Building Site Approval and Design Review (-sr) to construct a new 741 square-foot single-family residence with an attached garage on a vacant lot. The lot is 0.3-acres in area, which is considered a severely substandard lot size within the County's Agricultural Randlands (AR) Zoning District. The narrow portion at the rear of the lot has Shingle Creek running through it, which requires 35-foot riparian setback for a structure. The proposed building site is located 30 feet, measured from the future right-of-way (FWL) of Metcalf Road, within 100 feet of this County designated scenic road (-sr). The modest-sized house would be located at the only feasible location on site, confined by the development setbacks, prescribed by the Zoning Ordinance, and riparian setbacks from Shingle Creek.

The maximum height of the proposed two (2)-story residence is 22'-6" tall, whereby the Zoning Ordinance allows a maximum height of thirty-five (35) feet. Given the site's constraints, the County Department of Environmental Health and Valley Water approved a reduction of the required one hundred (100)-foot setback for the septic system to seventy (70) feet, measured from Single Creek top-of-the-bank to the proposed septic system. A private well and water line are proposed on the neighboring parcel (APN:627-12-013) under common ownership. Condition of Approval requires the necessary utility easement to be recorded on the neighboring parcel prior to change of ownership (Attachment B).

The site is located in the Santa Clara Valley Habitat Plan Area of Area 1- Private Development Covered. The submitted biological report identifies on-site habitats of Oak Woodland and Category 2 Stream. Therefore, the project is a Habitat Plan covered project. Prior to issuance of any development permits, a completed Habitat Application for Private Projects must be submitted with landcover fees (land cover loss due to permanent development) and temporary development fees (construction disturbance on land cover less than two (2) years). Detailed information is included as Conditions of Approval in Attachment B.

Setting/Location Information

The 0.3-acre parcel is currently vacant and located off Metcalf Road, a County designated scenic road, within unincorporated San Jose. Shingle Creek runs through the narrow portion of the 'funnel' shaped lot in the rear and flows to the north of the subject parcel, leaving a small, flat area close to Metcalf Road for development. Other than a few substandard lots of similar sizes located adjacent to Metcalf Road, the majority of the lots in the proximity are large parcels with steep topography, ranging in sizes from 30 to 400 acres. The parcels range from private lands to the United Technology Corporation, to habitat lands owned by the Santa Clara Valley Habitat Agency.

REASONS FOR RECOMMENDATIONS

A. Environmental Review and Determination (CEQA)

The proposed project's environmental impacts were analyzed, resulting in a Categorical Exemption (See Attachment A). As the proposed building site is located within 100 feet of the County-designate scenic road, the required Design Review process addresses the aesthetic impacts on scenic resources. Given the small-scale residence and other proposed design measures, such as Light Reflectivity Value (LRV), the development would not

create adverse visual impacts. Although the subject property is within the State-designated Oak Woodland (FRAP), Staff verified that the oak canopy to be removed is 1,200 square feet, based on the information in the submitted arborist report. Therefore, the proposed oak tree removal is not considered a significant impact, as the oak canopy to be removed less than half an acre. As such, the project qualifies for a Class 3, Section 15303 (a) new single-family residence Exemption from CEQA.

B. Project/Proposal

1. General Plan: Ranchlands

2. Building Site Approval: Per County Ordinance Code Section C12-300, Building Site Approval is required for new single-family dwellings, *'except in that portion of the "AR" Agricultural Ranchland zoning district located east of Highway 101 where a building clearance may be obtained. Building site approval shall be required, however, for development within the "AR" Agricultural Ranchland zoning district located within the Anderson/Coyote Watershed, as depicted on that certain map entitled Anderson/Coyote Watershed Parcel Map.'* The subject property is located within Anderson/Coyote Watershed area in an AR zoning district. Therefore, a Building Site Approval is required.

3. Zoning Standards: The proposed project satisfies the standard front and rear setback and height limit in AR-sr Zoning District, and qualifies for the reduced side setbacks pursuant to Zoning Ordinance Section 4.20.110(C), given the net lot size is less than 10,000 square feet*:

Front and Rear Setbacks (AR):	30-feet
Side Setbacks:	10-feet
Height:	35-feet
Stories:	2-stories

*The net lot size is 9,044 square feet, resulting from the gross lot size minus the 30-foot Metcalf Road half street dedication.

C. Design Review Findings

All Design Review applications are subject to the scope of review (Findings) as listed in §5.50.040 of the County Zoning Ordinance. The overall purpose of design review is to encourage quality design and mitigate potential adverse visual impacts of development. Additionally, for development within 100 feet of a Scenic Road, Design Review is required to ensure development is compatible with the scenic road pursuant to §3.30. In the following discussion, the scope of review criteria is in **bold**, and an explanation of how the project meets the required standard is in plain text below.

1. Mitigation of any adverse visual impacts from proposed structures, grading, vegetation removal and landscaping;

The 0.3-acre substandard lot can only accommodate a 428 square-foot building footprint at the location as currently proposed to meet the riparian setback, measured from Shingle Creek, and reduced setbacks allowed by the Zoning Ordinance. Therefore, only the essential elements of a dwelling are proposed, including one living room and kitchen, one bedroom, two bathrooms, and an attached one-car garage. The maximum height of the proposed two (2)-story residence is 22'-6" tall, whereby the Zoning Ordinance allows a maximum height of thirty-five (35) feet. Grading consists of 13 cubic yards of cut and 11 cubic yards of fill (total 24 cubic yards). Given the extremely small massing, minimal and necessary grading, and the exterior façade color with low Light Reflective Value (LRV), the proposed project would not create any adverse visual impacts to the scenic road.

Should the property size increase as a result of a future Lot Line Adjustment, any future additions to the residence will not be exempt from Design Review Modification and a public hearing, given the current size of the lot, structure size and location within the scenic road setback (refer to Condition of Approval No. 2, Attachment B). Therefore, future additions are subject to additional review to ensure sufficient mitigation of any adverse visual impacts. For the reasons stated above, the currently proposed residence and grading have no adverse visual impacts on the scenic road. Therefore, this finding can be made.

2. Compatibility with the natural environment;

The majority of the site is covered by mixed oak forest and is located within the State-designate Oak Woodland (FRAP) according to the County GIS system. The submitted arborist report surveyed 29 trees with a dripline within the subject property and proposed to remove seven (7) trees, six (6) of which were coastal live oaks. The oak trees to be removed range in trunk size from eight (8) inches to twenty-two (22) inches. Based on the information in the submitted arborist report, staff verified that the oak canopy to be removed is 1,200 square feet, less than half an acre. Therefore, the proposed project is not considered to bring a significant impact upon Oak Woodlands. No tree replacement requirement is included in the conditions, given the minimal and necessary oak trees to be removed and a lack of space on the property for replacement trees. A Condition of Approval in Attachment B requires tree protection measures during construction for trees to retain and an arborist review letter prior to final occupancy.

The proposed development is located 35 feet away from Shingle Creek, on a flat area in the front portion of the lot. The site design preserves the existing natural features by minimizing the building footprint and the massing of the dwelling. As discussed earlier, the County Department of Environmental Health and Valley Water approved a reduction of the required one hundred (100)-foot setback to seventy (70) feet measured from Single Creek top of the bank to the proposed septic system. Thus, with the required

condition of approval, the proposed residence is designed to be compatible with the natural environment, and this finding can be made.

3. Conformance with the “*Design Review Guidelines*,” adopted by the Board of Supervisors;

The proposed building design is consistent with the County *Design Review Guideline* by setting back the second story from the first floor, creating undulating façades and varied roof heights. Extended living room and entry porches enrich the design details and produce patterns of light and shadow. In addition, the proposed exterior facades utilize multiple materials, all of which have a Light Reflective Value (LRV) of 45 or less (see Attachment D). No fences, gates, or retaining walls are proposed for this project. Should the property size increase as a result of a future Lot Line Adjustment, any future additions to the residence will require Design Review Modification and a public hearing, to ensure sufficient mitigation of any adverse visual impacts (refer to Condition of Approval No. 2, Attachment B). Therefore, the project conforms with the County *Design Review Guidelines*, and this finding can be made.

4. Compatibility with the neighborhood and adjacent development;

The area where the subject property is located is comprised of substandard lots adjacent to Metcalf Road in similar sizes of half an acre and large parcels with steep topography, ranging in sizes from 30 to 400 acres. Most of the homes in the area are single-story, with a floor area between 800 to 2,000 square feet. The proposed dwelling is the smallest home in proximity, with a craftsman architectural style found in the neighborhood. Additionally, as described in Finding No. 3 above, the design incorporates undulating facades and various rooflines and materials to help break up the structure’s appearance. Should the property size increase as a result of a future Lot Line Adjustment, any future additions to the residence will require Design Review Modification and a public hearing, to ensure sufficient mitigation of any adverse visual impacts (refer to Condition of Approval No. 2, Attachment B). As such, the project will not be intrusive or stand out compared to other developed parcels in the immediate vicinity and is compatible with the immediate neighborhood. For these reasons, this finding can be made.

5. Compliance with applicable zoning district regulations; and

Single-family residences are allowed uses within the Ranchlands (AR) zoning district. As proposed, the project complies with the AR zoning regulations, including required standard front and rear setbacks (thirty (30)-feet from the future right-of-way and rear property line) and reduced side yard setbacks of ten (10) feet per Zoning Ordinance 4.20.110(C)(1). The maximum height of the proposed two (2)-story residence is 22’-6”, whereby the Zoning Ordinance allows a maximum height of thirty-five (35) feet. As such, the project complies with applicable zoning district regulations, and this finding can be made.

6. Conformance with the general plan, any applicable specific plan, or any other applicable guidelines.

The General Plan *Resource Conservation Chapter* for *Scenic Resources* contains specific policies under Strategy No. 2, to *Limit Development Impacts on Highly Significant Scenic Resources*. R-RC 98 requires “*Hillsides, ridgelines, scenic transportation corridors, major county entryways, stream environments, and other areas designated as being of special scenic significance should receive utmost consideration and protection due to their prominence, visibility, and overall contribution to the quality of life in Santa Clara County.*” The proposed project is reviewed in terms of its visual impacts on Metcalf Road, as Design Review (-sr) is required for a new dwelling located within 100 feet from the scenic road. As discussed earlier, the proposed residence is consistent with the County *Design Review Guidelines* through the small-scale massing, undulating facades and rooflines, and exterior materials with low LRVs. Thus, the project will be in conformance with the General Plan, and this finding can be made.

BACKGROUND

On July 9, 2019, the property owner submitted the Building Site Approval and Design Review Approval (-sr) applications for a concurrent land use entitlement. The initial incomplete letter was issued on August 8, 2019, outlining issues with the completeness of the site plan, tree preservation, and concerns with the proposed development in relation to Single Creek location, and a complaint of potential unpermitted grading and zoning violation.

The County inspectors and Code Enforcement Division conducted site visits to the subject parcel and verified the absence of grading violation. After abating the zoning violation, the applicant worked closely with the Department of Environmental Health, and Valley Water to obtain a reduced septic system setback from Single Creek. On May 27, 2021, the project was deemed complete for processing on the third and final resubmittal received on April 28, 2021.

On June 21, 2021, a public notice was mailed to all property owners within a 300 radius and was also published in the Post Records on June 21, 2021.

STAFF REPORT REVIEW

Prepared by: Xue Ling, Associate Planner



Reviewed by: Leza Mikhail, Principal Planner & Zoning Administrator



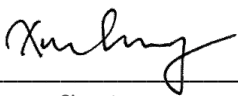
Attachment A

Statement of Exemption from the California Environmental Quality Act (CEQA)

Attachment A

STATEMENT OF EXEMPTION

from the California Environmental Quality Act (CEQA)

FILE NUMBER PLN19-0141	APN(S) 627-12-018	6/22/2021
PROJECT NAME Single-Family Residence; 0 Metcalf Road, San Jose, CA, 95135	APPLICATION TYPE Building Site Approval and Design Review (-sr)	
OWNER Rodney and Jenale Nielson	APPLICANT Amanda Musy-Verdel	
PROJECT LOCATION 0 Metcalf Road, San Jose, CA, 95135		
PROJECT DESCRIPTION <p>The project is a concurrent land use application for a Building Site Approval and Design Review (-sr) for the construction of a new 741 square foot single-family residence, with an attached garage on a vacant lot. Ancillary site improvements include construction of a new driveway and septic system. The proposed building site is located within 100 feet of a County-designate scenic road. Grading consists of 13 cubic yards of cut and 11 cubic yards of fill (total 24 cubic yards). A total of seven (7) trees are proposed to be removed for the subject project.</p> <p>All discretionary development permits processed by the County Planning Office must be evaluated for compliance with the California Environmental Quality Act (CEQA) of 1970 (as amended). Projects which meet the criteria listed under CEQA may be deemed exempt from environmental review. The project described above has been evaluated by Planning Staff under the provisions of CEQA and has been deemed to be exempt from further environmental review per the provision(s) listed below.</p>		
CEQA (GUIDELINES) EXEMPTION SECTION Section 15303(a) - Class 3(a): One single-family residence, or a second dwelling unit in a residential zone.		
COMMENTS <p>The subject property is located in a rural area that comprises substandard lots of similar sizes and large parcels ranging in sizes from 30 to 400 acres. Although the proposed building site is located within 100 feet of a County-designate scenic road, the residence is proposed with a 428 square-foot building footprint and an extremely small massing, thereby not creating adverse visual impact to the scenic resource. The subject property is located within the State-designate Oak Woodland (FRAP) according to the County GIS system. The proposed development would require six (6) oak trees to be removed, with approximately 1,200 square feet in the oak canopy. The proposed tree removal is not considered a significant impact on oak woodland, as the total canopy to be removed less than half an acre. As proposed, the new development would be located outside the 35-foot riparian setback measured from Shingle Creek top of the bank. This project is a Habitat Plan Covered project.</p>		
APPROVED BY: Xue Ling, Associate Planner  Signature		
06/22/2021 Date		

Attachment B

Preliminary Building Site Approval and Design Review (-sr) Conditions of Approval

ATTACHMENT B
PRELIMINARY BUILDING SITE APPROVAL AND DESIGN REVIEW (-SR)
CONDITIONS OF APPROVAL

Date: July 1, 2021

Owner/Applicant: Rodney and Jenale Nielson

Location: 0 Metcalf Road, San Jose, CA, (APN: 627-12-018)

File Number: PLN19-0141

CEQA: Categorically Exempt – Section 15303, Class 3(a)

Project Description: Concurrent land use application for a Building Site Approval and Design Review (-sr) for the construction of a new 741 square foot single-family residence, with an attached garage on a vacant lot. Ancillary site improvements include construction of a new driveway and septic system. The proposed building site is located within 100 feet of a County-designate scenic road. Grading consists of 13 cubic yards of cut and 11 cubic yards of fill (total 24 cubic yards). A total of seven (7) trees are proposed to be removed for the subject project. The project is a covered project by the Santa Clara Valley Habitat Plan.

If you have any question regarding the following final conditions of approval, call the person whose name is listed below as the contact for that agency. She/he represents a specialty and can provide details about the conditions of approval.

Agency	Name	Phone	E-mail
Planning	Xue Ling	(408) 299- 5784	xue.ling@pln.sccgov.org
Environmental Health	Darrin Lee	(408) 299 – 5748	darrin.lee@cep.sccgov.org
Land Development Engineering	Ed Duazo	(408) 299 - 5735	ed.duazo@pln.sccgov.org
Fire Marshal	Alex Goff	(408) 299-5763	Alex.goff@sccfd.org
Roads and Airports	Christine Hii	(408)-573-2417	christine.hii@rda.sccgov.org
Building Inspection		(408) 299 - 5700	

STANDARD CONDITIONS OF APPROVAL

Building Inspection

1. For detailed information about the requirements for a building permit, obtain a Building Permit Application Instruction handout from the Building Inspection Office or visit the website at www.sccbuilding.org.

Planning

1. Development must take place in substantial conformance with the approved plans, submitted on April 28, 2021 and the Conditions of Approval. Any changes to the proposed project may result in additional environmental review, pursuant to the California Environmental Quality Act. Should the property size increase as a result of a future Lot Line Adjustment, any future

additions to the residence will require Design Review Modification and a public hearing, given the current size of the lot, structure size and location within the scenic road setback.

2. Building and grading permits shall be submitted concurrently.
3. Existing zoning is AR-sr (Ranchlands - Combined Scenic Road District). Maintain the following reduced minimum dwelling setbacks (Zoning Ordinance Section 4.20.110(C)):
Front: 30 feet Sides: 10 feet Rear: 30 feet
The reduced setbacks are subject to changes if the property size increases as a result of future Lot Line Adjustment. The maximum height of dwellings is 35 feet and shall not exceed two (2) stories.
4. Two (2) off-street parking spaces are required, one (1) of which must be covered.
5. With the exception of trim and minor details, the exterior surfaces of the house shall be painted muted colors with a light reflectivity value (LRV) of 45. The exterior materials shall be consistent with the submitted color samples (Attachment D).

Archaeological Resources

6. In the event that human skeletal remains are encountered, the applicant is required by County Ordinance No. B6-18 to immediately notify the County Coroner. Upon determination by the County Coroner that the remains are Native American, the coroner shall contact the California Native American Heritage Commission, pursuant to subdivision (c) of section 7050.5 of the Health and Safety Code and the County Coordinator of Indian affairs. No further disturbance of the site may be made except as authorized by the County Coordinator of Indian Affairs in accordance with the provisions of state law and this chapter. If artifacts are found on the site a qualified archaeologist shall be contacted along with the County Planning Office. No further disturbance of the artifacts may be made except as authorized by the County Planning Office.

Land Development Engineering

7. Property owner is responsible for the adequacy of any drainage facilities and for the continued maintenance thereof in a manner that will preclude any hazard to life, health or damage to adjoining property.
8. Preliminary plans propose water service via a private well and water line on the neighboring parcel (APN 627-12-013). The neighboring parcel and the parcel to be developed (APN: 627-12-018) are currently under common ownership and easements for the water service do not currently exist. Prior to a change in ownership of either lot resulting in both lots no longer being under common ownership, arrangements shall be made to create and record the necessary utility easements (well site and water line) over APN 627-12-013 in coordination with the transfer of ownership. Details regarding the limits and location of the utility easement shall be documented in the building plans for APN 627-12-018 associated with land use file PLN19-0141.
9. All utility crossings through creeks, channels, or swales shall conform to the requirements

and recommendations of the Santa Clara Valley Water Resources Protection Collaborative Guidelines & Standards for Land Use Near Streams.

10. Construction staking is required and shall be the responsibility of the developer.

Environmental Health

11. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m. on weekdays and Saturdays, or at any time on Sundays for the duration of construction.

Roads and Airports

12. A Tree Removal Approval is required prior to any tree removal, replacement, or relocation within the ROW. A tree within the ROW requiring removal approval is any tree at least 20 feet in height or at least 12 inches in diameter measured 4.5 feet above grade. The process for obtaining approval for a tree removal and the forms that are required can be found at: www.countyroads.org > Services > Apply for Permits > Tree Removal from County Right-of-Way.

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO FINAL GRADING AND BUILDING PERMIT ISSUANCE

Planning

13. **Prior to issuance of any permits**, the applicant shall pay all reasonable costs associated with the work by the Department of Planning and Development.
14. **Prior to issuance of a building permit**, and pursuant to Zoning Ordinance Section 5.20.125 record a Notice of Permit and Conditions with the County Office of Clerk-Recorder to ensure that successor property owners are aware that certain conditions of approval shall have enduring obligation.
15. **Prior to issuance of a building permit**, submit final color samples for the house facade, trim and roof indicating the Light Reflectivity Value (LRV) is less than or equal to 45 LRV, pursuant to Zoning Ordinance Section 3.20.040B. The exterior materials shall be consistent with the project color samples and plans approved at the July 1, 2021 Zoning Administration Hearing (Attachment D).

Tree Protection

16. Per County Municipal Code Division C16-3(e), any tree that was required to be planted or retained by these Conditions of Approval of any land use entitlement are protected trees, regardless the size. The removal of protected trees is subject to tree removal and replacement trees.
17. For all trees to be retained with a canopy in the development area, or that interfaces with the limits of grading for any proposed development on-site, the trees shall be protected by the placement of five (5)-foot tall rigid tree protective fencing, as shown on final grading and final building plans and must include the following:

- a. Fencing should be placed along the outside edge of the dripline of the tree or grove of trees.
- b. The fencing should be maintained throughout the site during the entire construction period and should be inspected periodically for damage and proper functions.
- c. Fencing should be repaired as necessary to provide a physical barrier from construction activities.
- d. The following sign shall be placed on all tree protection fencing and must remain until final occupancy. The sign must read: "Warning. This fencing shall not be removed without permission from the Santa Clara County Planning Office. County of Santa Clara tree protection measures may be found at: <http://www.sccplanning.gov>, or call 408-299-5770 for additional details."
- e. Protection measures must be in place **prior to construction activity** commencing.
- f. Evidence of tree protective fencing can be provided by taking photos and emailing to the project planner.

Landscape Plan/Permit

18. The requirements of Division B33 of the County Ordinance Code (Sustainable Landscape Ordinance) shall apply. Calculate square footage of proposed new landscaped area and if it equals or exceeds 500 square feet, then a landscaping permit is required. The landscape ordinance and supporting information can be found on the following web page: <https://www.sccgov.org/sites/dpd/PlansOrdinances/Landscape/Pages/welo-apply.aspx>

Habitat Plan

Application for Private Projects

19. **Prior to issuance of any building permit**, submit a completed Habitat Plan Application for Private Projects ("Application") with all required submittal materials (as described in the Application for Private Projects), Land Cover Verification Report, and required staff review fee to the Planning Office for review and verification.

Site Plan

20. The required site plan shall show the project development, including a delineation of the temporary development buffer area.
 - a. *Temporary development area* is defined as land that will be temporarily affected during development (construction laydown areas, subsurface utilities/trenching, etc.) that will be *restored within one year of completing construction*, plus a 10-foot buffer surrounding these areas.
 - b. *Permanent development area* is defined as all land that will have permanent improvements (portion of access driveway proposed to remain), plus a 50-foot buffer surrounding this area.

Land Cover Verification

21. Provide a field verified land cover verification report and land cover mapping by a qualified biologist, that includes the following:
 - a. Land cover mapping that clearly delineates the verified land cover, proposed development (footprint of improvements, driveways, impervious surfaces, bridge, off-site

road improvements), Conservation Easement area, and area of temporary and permanent impacts (with applicable buffers)

- b. Area calculations of land cover permanently and temporarily impacted by the project, consistent with Table 1 in the Application for Private Projects.

Fees

22. **Prior to issuance of a building permit**, all Santa Clara Valley Habitat Agency (SCVHA) fees must be paid. Land cover fees are paid based on the land cover verified by a qualified biologist, and development area associated with the project. *Temporary development fees* are based on the amount of time the land is disturbed during construction, plus one year after completing construction, and cannot exceed a combined total of 2 years. ***All temporary development that exceeds 2 years from the onset of construction will be subject to permanent impact fees.***

- a. Land Cover Fee Zone A – Ranch Lands and Natural Lands.
 - *Permanent fees* shall apply the total length of stream impacted, less the total length of stream relocated/restored on-site and set aside for conservation.
 - Temporary fees shall apply to the total length of stream that is relocated and restored on-site, as identified in the recorded Conservation Easement.

Habitat Plan Conditions of Approval

23. **Prior to issuance of building/drainage permit**, all future development is subject to the following Conditions of Approval and described in more detail within Chapter 6 of the Santa Clara Valley Habitat Plan.

1. Condition 1: Avoid Direct Impacts on Legally Protected Plant and Wildlife Species.
2. Condition 3: Maintain Hydrologic Conditions and Protect Water Quality.
3. Condition 7: Rural Development
4. Condition 11: Stream and Riparian Setbacks

24. **Prior to issuance of building/drainage permit**, incorporate the Habitat Plan *Conditions of Approval (Exhibit A)* and *Table 1: Hydrology Condition 3* into the improvement/drainage plans.

Land Development Engineering

25. Survey monuments shall be shown on the building plans to provide sufficient information to locate the proposed improvements and the property lines. Existing monuments must be exposed, verified, and noted on the plans. Where existing monuments are below grade, they shall be field verified by the surveyor and the grade shall be restored and a temporary stake shall be placed identifying the location of the found monument. If existing survey monuments are not found, temporary staking delineating the property line may be placed **prior to construction** and new monuments shall be set **prior to final acceptance of the improvements**. The permanent survey monuments shall be set pursuant to the State Land Surveyor's Act. The Land Surveyor / Engineer in charge of the boundary survey shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.

26. The well, tanks, and water lines located on the neighboring parcel (APN: 627-12-013) shall be contained within a future utility easement shown in the building plans. The future utility easement shall be clearly labeled with metes and bounds defining the future easement location.
27. The building plans shall include an Erosion and Sediment Control Plan that outlines seasonally appropriate erosion and sediment controls during the construction period). Include the County's Standard Best Management Practice Plan Sheets BMP-1 and BMP-2 with the Plan Set.
28. All applicable easements affecting the parcel(s) with benefactors and recording information shall be shown on the improvement plans.
29. All new on-site utilities, mains and services shall be placed underground and extended to serve the proposed development. All extensions shall be included in the building plans. Off-site work should be coordinated with any other undergrounding to serve other properties in the immediate area.
30. In support of low impact development, the applicant/developer is strongly encouraged to include one or more of the following site design measures in the project design: (a) direct hardscape and/or roof runoff onto vegetated areas, (b) collect roof runoff in cisterns or rain barrels for reuse, or (c) construct hardscape (driveway, walkways, patios, etc.) with permeable surfaces. For additional information, please refer to the C.3 Stormwater Handbook (June 2016) available on-line at:
http://scvurppp.org/pdfs/1516/c3_handbook_2016/SCVURPPP_C.3_Technical_Guidance_Handbook_2016_Chapters.pdf

Dedication of Easement

31. Offer to dedicate an easement to the public and the County for storm-drainage purposes for the portion of the Shingle Creek tributary that passes through the parcel. The easement shall include all portions of the parcel that fall within a 25-foot wide easement centered on the creek. The required dedication is generally shown in the conditionally approved plans on file with the County Planning Office. The easement dedication shall include a legal description, plat, and corresponding documents to be reviewed and approved by the County Surveyor's Office. The owner/applicant will be required to record the document with the County Recorder's Office after review and approval by the County Surveyor's Office.

Notice of Permit

32. Record a Notice of Permit and Conditions with the County Office of Clerk-Recorder, to ensure that successor property owners are made aware that certain conditions of approval shall have enduring obligation. Evidence of such recordation shall be provided pursuant to §5.20.125.

Environmental Health

33. **Prior to issuance of a building permit**, a septic system design shall conform with the prevailing Onsite Wastewater Treatment System (OWTS) Ordinance. The OWTS design

shall be based upon percolation test rates and the dispersal field shall be located within the percolation and soil profile testing areas.

34. Based upon a percolation rate of 6.7 minutes per inch/ MPI, sewage disposal conditions have been determined for an alternative onsite waste water treatment system (OWTS), utilizing a dual drip dispersal field equivalent to 125 square feet plus 125 square feet, or a total of 250 square feet. Due to the limited area for development, this alternative OWTS is sufficiently size to serve a 1-bedroom single family dwelling (150 gallons per day).
35. **At the time of application for a building permit**, submit four (4) revised plot plans to scale (1" = 20') on a grading and drainage plan showing the house, driveway, accessory structures, septic tank and required drip fields, in order to obtain a septic system permit. Maintain all setbacks as outlined within County of Santa Clara Onsite Manual. The original plans must be submitted to the Department of Environmental Health **prior to the issuance of the septic system permit** and submitted as the final grading plan to Land Development Engineering **when a grading permit is required**. Contact Peter Estes at 408-918-3441 for septic system sign-off.
36. Domestic water shall be supplied by an approved individual water system installed to Environmental Health standards. The water system application must be approved **prior to obtaining a septic system or building permit**. A well log must be submitted which shows a 50-foot sanitary seal, and pump tests, bacterial and chemical testing must be completed. Contact Nicole Jorgensen at the Department of Environmental Health at 408-918-3492 or Jeff Camp at 408-918-3473 for detailed information. More information can be found by consulting the DEH website at www.ehinfo.org and viewing the drinking water section.

Fire Marshal

Fire Protection Water

37. Important: Fire protection water system shall be installed, functioning and inspected **prior to approval of the foundation**. System shall be maintained in good working order and accessible throughout construction. A stop work order may be placed on the project if the required hydrant systems are not installed, accessible, and/or functioning.
38. ON-SITE WATER STORAGE: Where on-site storage tanks are required, details for fire protection water supply shall be included with the building permit set of drawings. Submittal shall include, but not be limited to, location of water supply, (e.g. onsite well, shared well; tank location and capacity, pipe size, wharf hydrant orifice size and location, domestic and fire protection water tanks and piping configuration).
 - a. All installations shall include a primary aboveground storage tank with a capacity of not less than 3,000 gallons dedicated to domestic and fire sprinkler system demand. Storage capacity may be increased due to sprinkler design demand or additional domestic (including landscaping) required by the Environmental Health Department.
 - b. Provide a 5,000-gallon secondary aboveground storage tank dedicated to the wharf hydrant. OR
 - c. Aboveground storage tanks shall be provided with automatic refill. Manual refilling of tanks is not acceptable.

- d. Installation of aboveground storage tanks less than 20 feet to a structure requires tanks to be of noncombustible construction. This is to be shown on the plans.
 - e. Installation of the tank system shall comply with Fire Marshal Standard CFMO-W5.
 - f. Underground storage tanks and swimming pools shall not be accepted in place of aboveground storage tanks.
 - g. A copy of the Shared Well agreement shall be provided at the time of plan submittal for building permit.
39. WHARF HYDRANT: One on-site wharf hydrant with 2-1/2-inch orifice is required to be installed when fire protection water is supplied by on-site aboveground storage tank(s). Installation of hydrants shall be in accordance with Fire Marshal Standard Detail CFMO-W4.
- a. Minimum distance to structure shall not be less than 55 ft. from the closest portion of the structure and shall not exceed 150 ft. from the furthest portion of the structure (measured along path of travel).
 - b. Hydrant shall be installed within 8 ft. of driving surface in a location acceptable to the Fire Marshal's Office.
 - c. Installation of a hydrant adjacent to a driveway (12 ft. wide) requires a turnout complying with SD-16 to allow additional emergency vehicles to pass.
 - d. Hydrant shall have a positive flow by means of gravity feed or where that is not possible, from a reliable, listed automatic pump approved by the Fire Marshal. Elevation of hydrants and tanks in relation to each other shall be a major consideration. NOTE: tank and hydrant elevations shall be noted on the site plan submitted for building permit.
40. A separate permit from the Fire Marshal's Office is required for residential fire protection water systems (tanks and wharf hydrants) for building permit submittals made after July 1, 2010.
41. Fire protection water shall be made available to the fire department.

Fire Department Access

42. General Requirements:

- a. These are minimum Fire Marshal standards. Should these standards conflict with any other local, state or federal requirement, the most restrictive shall apply.
 - b. Construction of access roads and driveways shall use good engineering practice.
 - c. All required access roads, driveways, turnarounds, and turnouts shall be installed, and serviceable **prior to approval of the foundation**, and shall be maintained throughout construction. A stop work order may be placed on the project if required driving surfaces are not installed, accessible, and/or maintained at all times.
43. Driveways (roads serving only one lot) shall comply with the following when the distance between the centerline of the access road and any portion of the structure exceeds 150 feet. (measured along the path of travel).
- a. Width: Clear width of drivable surface of 12 feet.
 - b. Vertical Clearance: Minimum vertical clearance of 13'-6" shall be maintained between the access road and the building site (trim or remove, tree limbs, electrical wires,

- structures, and similar improvements).
- c. Curve Radius: Inside turn radius for curves shall be a minimum of 50 ft.
- d. Grade: Maximum grade shall not exceed 16%. Grades exceeding 15% shall be paved in compliance with County Standard SD5.
- e. Surface: All driving surfaces shall be all-weather and capable of sustaining 75,000-pound gross vehicle weight.
- f. Gates: Gates shall not obstruct the required width or vertical clearance of the driveway and may require a Fire Department Lock Box/Gate Switch to allow for fire department access. Installation shall comply with CFMO-A3.

Miscellaneous:

- 44. Property is located within the State Response Area (served by Cal Fire).
- 45. This property is located in the Wildland/Urban Interface Fire Area. All of the following conditions shall apply:
 - a. A Class "A" roof assembly is required. Detail shall be included in plans submitted for building permit.
 - b. Provide a 1/2-inch spark arrester for the chimney.
 - c. Remove significant combustible vegetation within 30 feet of the structure to minimize risk of wildfire casualty. Maintain appropriate separation of vegetative fuels in areas between 30 and 100 feet from the structure.
- 46. MAINTENANCE: Fire protection water systems and equipment shall be accessible and maintained in operable condition at all times and shall be replaced or repaired where defective. Fire protection water shall be made available to the fire department. Fire department access roads, driveways, turnouts, and turnarounds shall be maintained free and clear and accessible at all times for fire department use. Gates shall be maintained in good working order and shall remain in compliance with Fire Marshal Standard CFMO-A3 at all times.

Roads and Airports

- 47. Dedicate the following curvilinear rights-of-ways: 30-foot half street for Metcalf Road. All dedications shall include legal descriptions, plats, and corresponding documents to be reviewed and approved by the County.
- 48. Obtain a Santa Clara County Roads and Airports Department (RAD) Encroachment Permit for the following required improvements:
 - A. Installation of the driveway approach to County Standard B/4.
 - B. Removal of any vegetation or other obstructions necessary to provide adequate line-of-sight at the driveway approach location.
 The process for obtaining an Encroachment Permit and the forms that are required can be found at: www.countyroads.org > Services > Apply for Permits > Encroachment Permit.
- 49. Demonstrate that the post-development maximum flow rate into the County Road right-of-way is equal-to or less-than the pre-development corresponding storm event flow rate per the County Drainage Manual. Provide engineered plans and drainage calculations for any

detention or retention system necessary to satisfy this requirement.

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO OCCUPANCY OR ONE YEAR FROM THE DATE OF THE LAND DEVELOPMENT AGREEMENT, WHICHEVER COMES FIRST.

Planning

50. **Prior to final inspection**, contact Xue Ling, Associate Planner, at **least two weeks in advance** to schedule a site visit to verify the approved exterior colors and landscaping have been installed, as approved.

51. **Prior to final inspection**, submit an arborist review letter to verify the

Land Development Engineering

52. Existing and set permanent survey monuments shall be verified by inspectors **prior to final acceptance of the improvements** by the County. Any permanent survey monuments damaged or missing shall be reset by a licensed land surveyor or registered civil engineer authorized to practice land surveying and they shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.

Environmental Health

53. Provide proof of garbage service at the time of final occupancy sign-off. Garbage service in the unincorporated areas of Santa Clara County is mandatory.

Fire Marshal

54. FIRE SPRINKLER SYSTEM: An approved residential fire sprinkler system complying with CFMO-SP6 shall be installed throughout the structure (including existing residences when square footage is added).

Note: The fire sprinkler system shall be installed and finalized by this office **prior to occupancy**. A separate permit shall be obtained from this office by a state licensed C-16 contractor **prior to installation**. Please allow for a minimum of 30 days for plan review of fire sprinkler plans by this office.

Roads and Airports

55. Construct all the improvements approved under the Encroachment Permit.

Attachment C

Plans and Vicinity Map

General Construction Specifications

1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY EARTH SYSTEMS, _____ AND DATED _____. THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS. 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS, IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY. DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
2. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
3. DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
4. DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA.
5. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
6. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
7. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
8. UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION _____).
9. THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
10. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2.0 FEET FROM BUILT OR EXISTING GRADE.
2. ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
3. PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.
4. PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.
5. IN ACCORDANCE WITH THE CALIFORNIA PROFESSIONAL LAND SURVEYORS' ACT (BUSINESS AND PROFESSIONS CODE) CHAPTER 15 SECTIONS 8771 AND 8725.1, CALIFORNIA PENAL CODE 605, AND CALIFORNIA GOVERNMENT CODE 27581, ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING ROADWAY/STREET MONUMENT, PROPERTY CORNER, OR ANY OTHER PERMANENT SURVEYED MONUMENT AND/OR AS SHOWN ON THIS TENTATIVE MAP SHALL ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY IS FILED WITH THE COUNTY ENGINEER'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS. ALL DISTURBED OR DESTROYED MONUMENTS SHALL BE RESET AND FILED IN COMPLIANCE WITH SECTION 8771.

1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
2. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
3. INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTACT FOR SCHEDULING WITH THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 295-8668 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
4. DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
5. THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR COMMENCEMENT OF THE BUILDING FOUNDATION.

1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:

- A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
- B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.

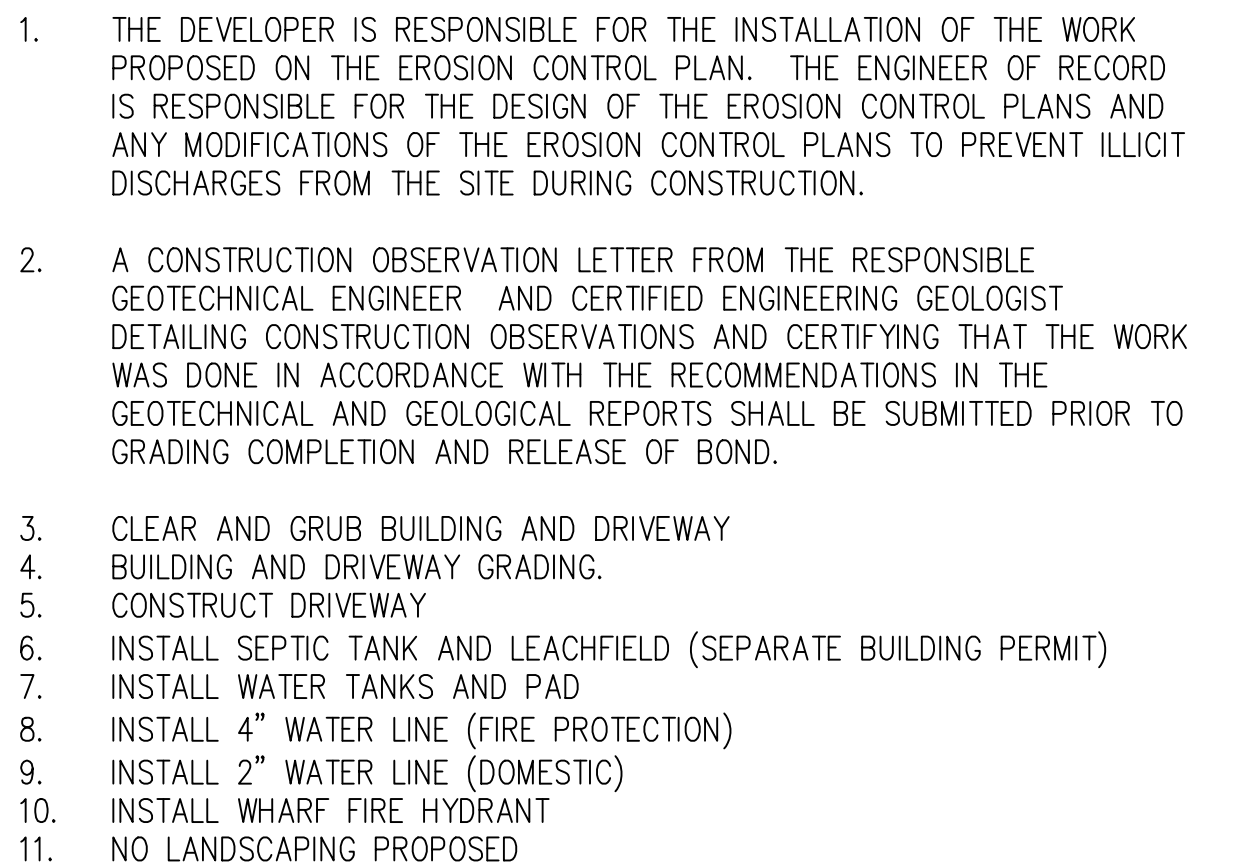
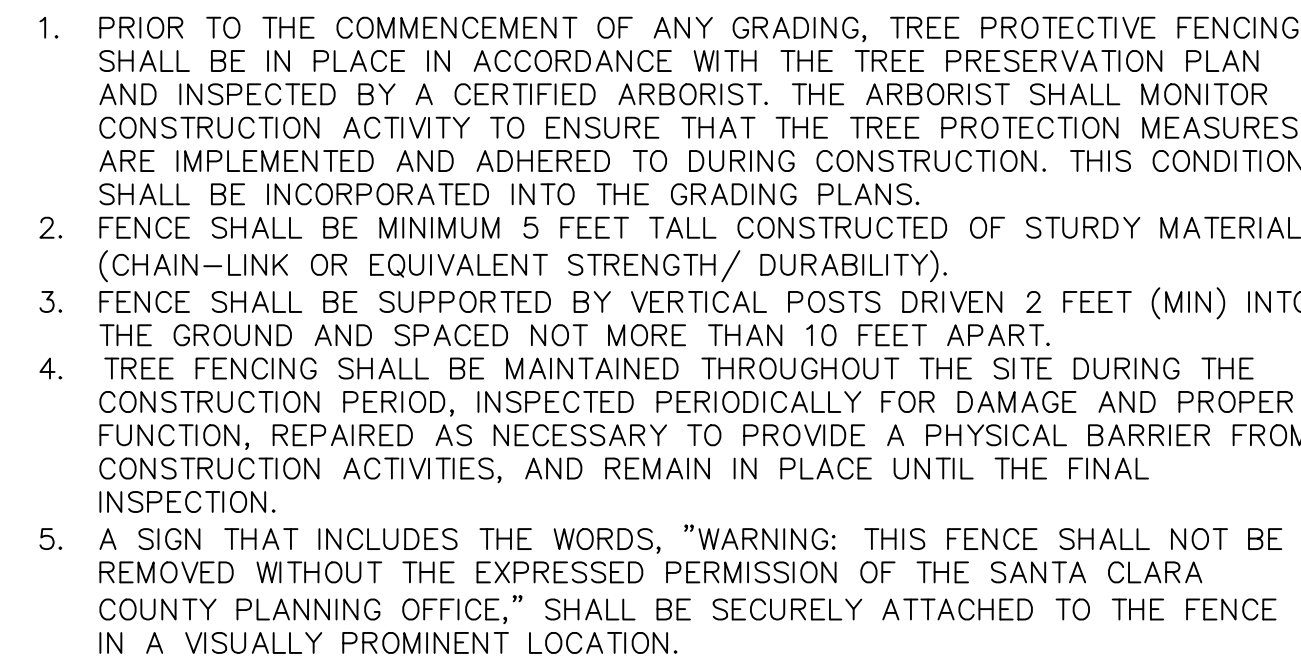
1. CONTRACTOR SHALL NOTIFY UTILITY (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
2. ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
3. ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE, UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY. GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.
4. TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURE SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPLIED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
5. TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90% THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE. THE TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
6. BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
 - A. FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIPLINE OF THE TREE OR GROVE OF TREES.
 - B. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.
 - C. FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
 - D. SIGNAGE STATING, "WARNING- THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT <http://www.sccplanning.gov>." SHALL BE PLACED ON THE TREE PROTECTIVE FENCING AT THE FINAL CORNER OF THE TREE PROTECTION ZONE.
2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACED AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

17. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPs SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN AND STAGING AREAS.
 - B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
 - C. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.
19. EROSION CONTROL PLANS AND GUIDES SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE SPECIFIC AND SITUATIONALLY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.



JOB NO. 18043

PLAN # _____ OF _____ SHEET _____

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS IN THE ENGINEER WITHOUT PREJUDICE.

APN 627-11-010

FIELDS

CENTERLINE CATEGORY II SWALE

PROPOSED PRIVATE WELL SITE
EASEMENT FOR INSTALLATION
AND MAINTENANCE;
BY SEPARATE INSTRUMENT

APN 627-12-019
KRICKEBERG / VIEIRA

NOTE:

BORE & JACK WATER PIPE IN AREAS OF CREEKS
AND RUN UNDER THE CREEK.

CENTERLINE CATEGORY II STREAM

PROPOSED CENTERLINE OF
15 FOOT WIDE WATER LINE EASEMENT
FOR INSTALLATION AND MAINTENANCE
BY SEPARATE INSTRUMENT

PROPOSED WATER JOINT TRENCH
(1) 2 INCH PVC (DOMESTIC)
(1) 4" INCH PVC C900 (FIRE)

SHINGLE CREEK

TRIBUTARY

CENTERLINE CATEGORY II STREAM

APN 627-11-006
CLEARVILLE LAND & TIMBER LLC

SIGHT DISTANCE ANALYSIS

SPEED 35 MPH @ 165 FEET
SCALE: 1"=40'

EX TREE TO BE REMOVED

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

APN 627-11-007
KIDDER

APN 627-12-016
KURY

APN 627-13-002

UNITED AIRCRAFT CORPORATION

METCALF ROAD
(40 FOOT WIDE)
COUNTY MAINTAINED ROAD

GRAPHIC SCALE



(IN FEET)
1 inch = 150 ft.



REVISIONS:		
DATE	DESCRIPTION	BY:

HANNA-BRUNETTI
EST. 1992
CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 EIGLEBERRY STREET • GILROY • 95020 • CALIFORNIA
OFFICE (408) 842-2173 • FAX (408) 842-3682
EMAIL: ENGINEERING@HANNABRUNETTI.COM

DATE: APRIL 2021

HORIZ. SCALE: 1"=150'

VERT. SCALE: NONE

DESIGNED BY: AM

CHECKED BY:

DRAWN BY: TM

date: _____ 21
Hanna - Brunetti

Amanda Joy Musy-Verdel

R.C.E. # 69278

expires: 6/30/



REFERENCES

UNINCORPORATED
APRIL 2021

Site Plan & Sight Distance Analysis

Lands of Nielsen - Metcalf Road - apn 627-12-018

SANTA CLARA COUNTY
CALIFORNIA

SHEET

2

OF 6

JOB NO. 18043

APPLICANT: NIELSEN

ROAD: METCALF ROAD

COUNTY FILE NO.: PLN19-0141

JOB NO. 18043

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS IN THE ENGINEER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

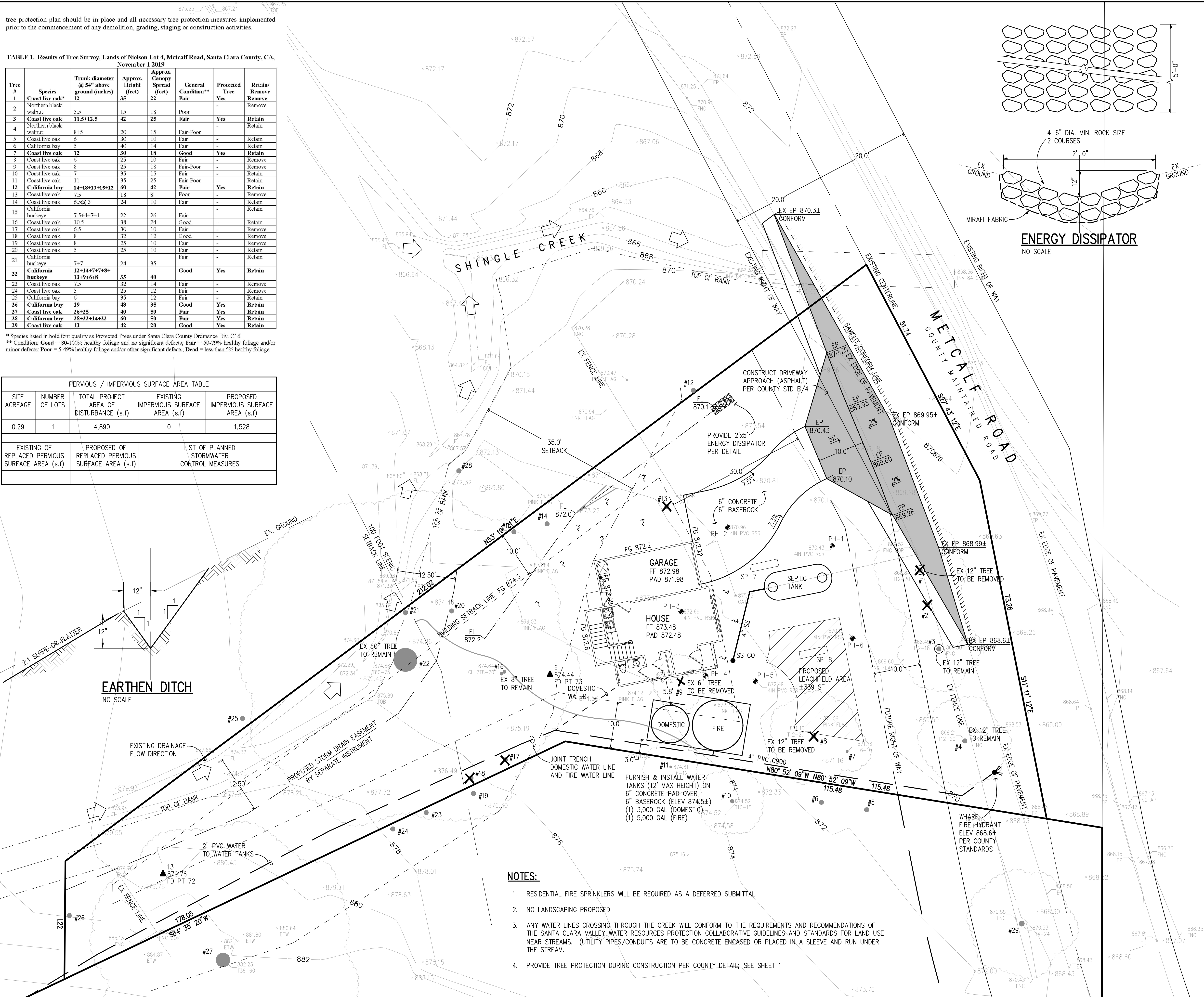
tree protection plan should be in place and all necessary tree protection measures implemented prior to the commencement of any demolition, grading, staging or construction activities.

TABLE 1. Results of Tree Survey, Lands of Nielsen Lot 4, Metcalf Road, Santa Clara County, CA, November 1 2019

Tree #	Species	Trunk diameter @ 54" above ground (inches)	Approx. Height (feet)	Approx. Canopy Spread (feet)	General Condition**	Protected Tree	Retain/Remove
1	Coast live oak*	12	35	22	Fair	Yes	Remove
2	Northern black walnut	5.5	15	18	Poor	-	Remove
3	Coast live oak	11.5+12.5	42	25	Fair	Yes	Retain
4	Northern black walnut	8+5	20	15	Fair-Poor	-	Retain
5	Coast live oak	6	30	10	Fair	-	Retain
6	California bay	5	40	14	Fair	-	Retain
7	Coast live oak	12	30	18	Good	Yes	Retain
8	Coast live oak	6	25	10	Fair	-	Remove
9	Coast live oak	8	25	18	Fair-Poor	-	Remove
10	Coast live oak	7	35	15	Fair	-	Retain
11	Coast live oak	11	35	25	Fair-Poor	-	Retain
12	California bay	14+18+13+15+12	60	42	Fair	Yes	Retain
13	Coast live oak	7.5	18	8	Poor	-	Remove
14	Coast live oak	6.5@ 3"	24	10	Fair	-	Retain
15	California buckeye	7.5+4+7+4	22	26	Fair	-	Retain
16	Coast live oak	10.5	38	24	Good	-	Retain
17	Coast live oak	6.5	30	10	Fair	-	Remove
18	Coast live oak	8	32	12	Good	-	Remove
19	Coast live oak	8	25	10	Fair	-	Remove
20	Coast live oak	5	25	10	Fair	-	Retain
21	California buckeye	7+7	24	35	Fair	-	Retain
22	California buckeye	12+14+7+7+8+13+9+6+8	35	40	Good	Yes	Retain
23	Coast live oak	7.5	32	14	Fair	-	Remove
24	Coast live oak	5	25	12	Fair	-	Remove
25	California bay	6	35	12	Fair	-	Retain
26	California bay	19	48	36	Good	Yes	Retain
27	Coast live oak	26+25	40	50	Fair	Yes	Retain
28	California bay	28+22+14+22	60	50	Fair	Yes	Retain
29	Coast live oak	13	42	20	Good	Yes	Retain

* Species listed in bold font qualify as Protected Trees under Santa Clara County Ordinance Div. C16
** Condition: **Good** = 80-100% healthy foliage and no significant defects; **Fair** = 50-79% healthy foliage and/or minor defects; **Poor** = 5-49% healthy foliage and/or other significant defects; **Dead** = less than 5% healthy foliage

PERVIOUS / IMPERVIOUS SURFACE AREA TABLE				
SITE ACREAGE	NUMBER OF LOTS	TOTAL PROJECT AREA OF DISTURBANCE (s.f.)	EXISTING IMPERVIOUS SURFACE AREA (s.f.)	PROPOSED IMPERVIOUS SURFACE AREA (s.f.)
0.29	1	4,890	0	1,528
EXISTING OF REPLACED PERVIOUS SURFACE AREA (s.f.)		PROPOSED OF REPLACED PERVIOUS SURFACE AREA (s.f.)	LIST OF PLANNED STORMWATER CONTROL MEASURES	
-		-	-	



Bushman

BUSHMAN PART NUMBER
CWTX5-132

TOP VIEW

VENTED MANWAY
Material: HDPE
Color: Black
Dimension: 22" Diameter

SIDE VIEW

TANK
Material: Polyethylene
Ribs: 4
FITTINGS
Type: 2" Bulkhead
Height: 91"/35"
4.5"/35"

FEATURES

www.bushmanusa.com

LEGEND

EXISTING

PROPOSED

CONTOUR ELEVATION

WATER MAIN

STORM DRAIN

SANITARY SEWER

ELECTROLIER

FLOW DIRECTION

DROP INLET

MANHOLE

CURB INLET

WATER METER SERVICE

FIRE HYDRANT

WATER VALVE

SIDEWALK

VERTICAL CURB

CURB & GUTTER

JOINT TRENCH

RETAINING WALL

DRAINAGE SWALE

SEWER LATERAL

TREE TO BE REMOVED

MONUMENT

ROCK RIP-RAP

GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS

REVISIONS:

DATE	DESCRIPTION	BY:

HANNA-BRUNETTI
EST. 1982
CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 EIGLEBERRY STREET • GILROY • 95020 • CALIFORNIA
OFFICE (408) 842-2173 • FAX (408) 842-3682
EMAIL: ENGINEERING@HANNABRUNETTI.COM

DATE: APRIL 2021
HORIZ. SCALE: 1"=10'
VERT. SCALE: NONE
DESIGNED BY: AM
CHECKED BY: T.M.
DRAWN BY: T.M.

date: 4/21/21
Hanna - Brunetti
Amanda Joy Musy-Verdel
R.C.E. # 69278
expires: 6/30/21

REFERENCES

UNINCORPORATED
APRIL 2021

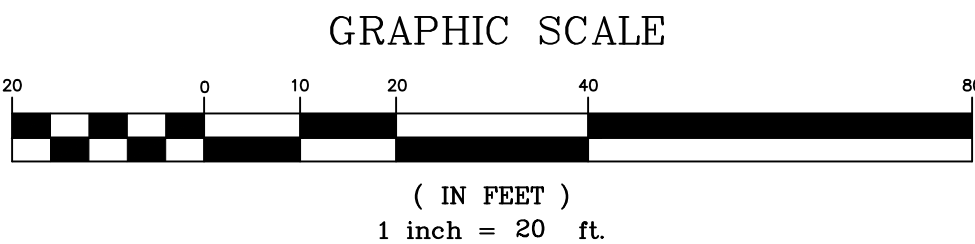
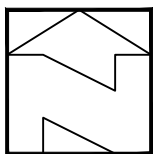
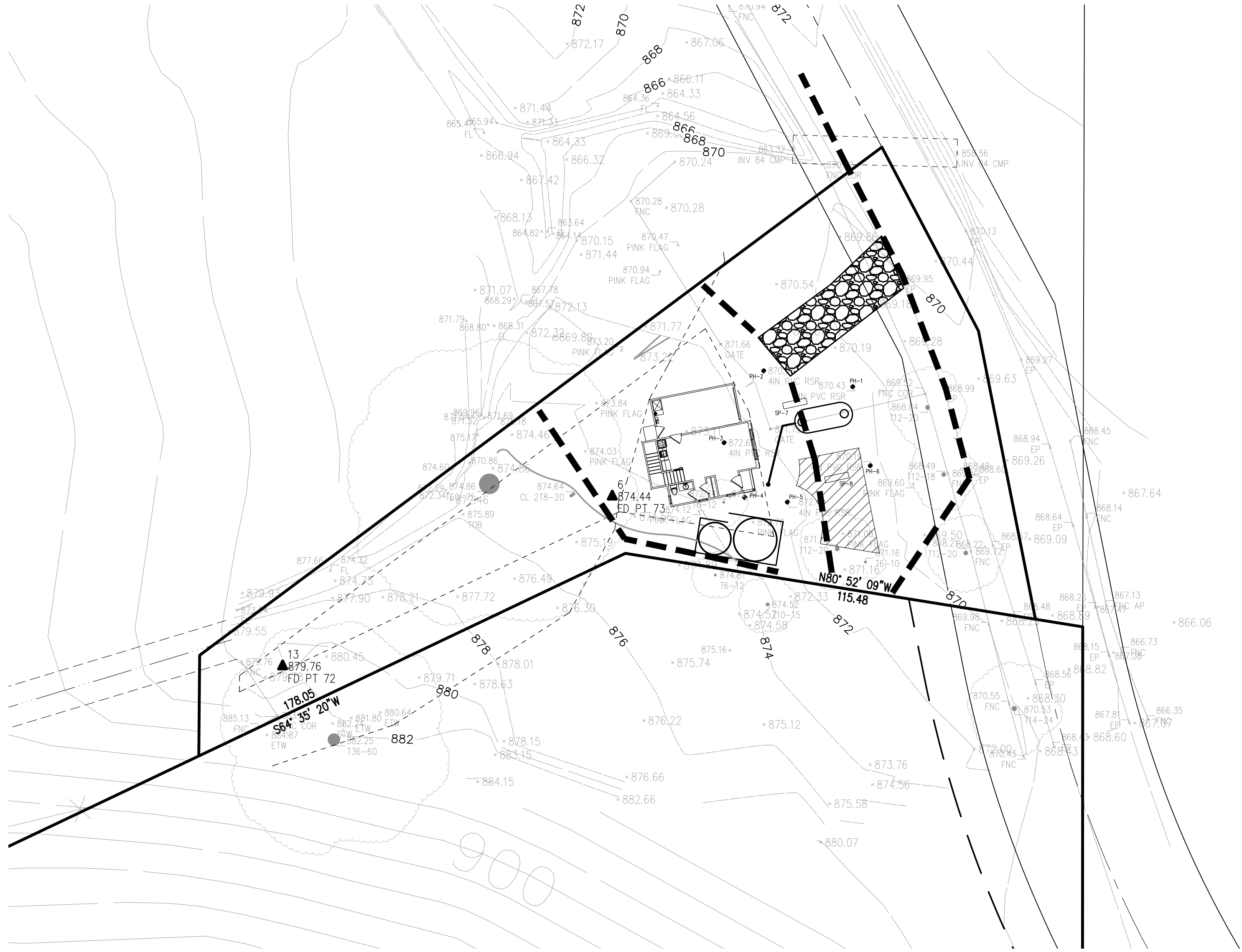
Grading & Drainage Plan
Lands of Nielsen - Metcalf Road - apn 627-12-018
COUNTY FILE NO.: PLN19-0141

SHEET
3
OF 6
JOB NO.
18043

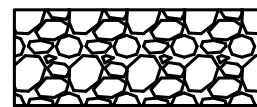
SANTA CLARA COUNTY
CALIFORNIA

APPLICANT: NIELSEN ROAD: METCALF ROAD COUNTY FILE NO.: PLN19-0141 JOB NO. 18043

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR PART, IS PROHIBITED. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THESE RESTRICTIONS.



LEGEND



CONSTRUCTION ENTRANCE/EXIT PER DETAIL TC-1



FIBER ROLL PER DETAIL SE-5

EROSION CONTROL NOTES

1. EROSION CONTROL MEASURES SHALL BE EFFECTIVE FOR CONSTRUCTION DURING THE RAINY SEASON; OCTOBER 15 THROUGH APRIL 15.
2. NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN INTO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM SYSTEM UNTIL SUITABLE EROSION CONTROL MEASURES ARE FULLY IMPLEMENTED. NO STORM WATER RUNOFF SHALL BE ALLOWED TO ENTER THE STORM DRAIN SYSTEM THAT IS NOT CLEAR, AND FREE OF SILTS.
3. A FIBER ROLL BARRIER PER "DETAIL SE-5" SHALL BE INSTALL ALONG THE PERIMETER OF THE PROJECT SITE. THE LOCATION OF THE FIBER ROLL ALONG THE PERIMETER SHALL BE ADJUSTED TO ELIMINATE SEDIMENT LADEN RUNOFF FROM LEAVING THE SITE. A FIBER ROLL SHALL ALSO BE REQUIRED AROUND THE PERIMETER OF ANY STOCKPILE OR OTHER SITE OF BARE, LOOSE EARTH.
4. ALL STORM DRAIN MANHOLES, CATCH BASINS, AND/OR DROP INLETS THAT ARE TO ACCEPT STORM WATER SHALL HAVE INLET PROTECTION MEASURES PER DETAIL SE-10. STORM WATER RUNOFF SHALL BE DIRECTED TO THESE INLETS ONLY. STORM DRAIN CATCH BASINS THAT ARE NOT COMPLETE, SHALL BE BLOCKED OFF COMPLETELY.
5. THE NAME, ADDRESS, AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR THE IMPLEMENTATION OF THE EROSION CONTROL PLAN SHALL BE PROVIDED TO THE COUNTY.
6. PRIOR TO GRADING, AN ENTRANCE SHALL BE CONSTRUCTED, CONSISTING OF A MINIMUM OF 50 LF OF DRAIN ROCK, 3" IN DIAMETER, PLACED OVER MIRAFI 500X (OR EQUAL) PER DETAIL TC-1. THE ENTRANCE SHALL CONFORM TO "CONSTRUCTION ENTRANCE DETAIL TC-1", THERE SHALL BE ONLY ONE ENTRANCE/EXIT POINT TO THE SITE DURING THE RAINY SEASON. THE LOCATION SHALL BE AS SHOWN ON THESE PLANS, OR AT A LOCATION APPROVED BY THE COUNTY.
7. ALL AREAS OF BARE, TURNED OR DISTURBED EARTH SHALL BE STABILIZED BY USE OF HYDROSEED PER THE TABLE BELOW. ALL STOCKPILES, AND/OR BORROW AREAS SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES SUCH AS A PERIMETER SILT FENCE, AND OTHER METHODS TO PREVENT ANY EROSION OR SILTS MIGRATION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THE EROSION CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS, BUT ONLY WITH THE APPROVAL OF, OR AT THE DIRECTION OF THE COUNTY INSPECTOR. THE STORM DRAIN SYSTEM SHALL MAINTAIN A FORM OF DRAIN INLET PROTECTION UNTIL COUNTY ACCEPTS THE FINAL STREET IMPROVEMENTS. THE DRAIN INLET PROTECTION SHALL BE MAINTAINED, EFFECTIVE AND SUBJECT TO COUNTY INSPECTOR'S APPROVAL.
8. ALL PAVED STREET, AND AREAS ADJACENT TO THE SITE SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO ELIMINATE SEDIMENT LADEN RUNOFF FROM ENTERING THE STORM DRAIN SYSTEM.
9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND REPAIR ALL EROSION CONTROL FACILITIES AT THE END OF EACH DAY DURING THE RAINY SEASON. ANY DAMAGED STRUCTURAL MEASURES ARE TO BE REPAIRED BY END OF THE DAY. TRAPPED SEDIMENT IN "SD INLETS" (AND OTHER EROSION CONTROL MEASURES) SHALL BE REMOVED TO MAINTAIN TRAP EFFICIENCY. REMOVED SEDIMENT SHALL BE DISPOSED BY SPREADING ON SITE, WHERE IT WILL NOT MIGRATE.
10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREVENT THE FORMATION OF AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM A FAILURE TO DO SO.
11. ALL DRAIN SWALES SHALL BE PER DETAIL EC-9.
12. INCOMPLETE GRADING SHALL NOT BE ALLOWED. CONTRATOR SHALL MAINATIN A DRAIN PATH AS SHOWN ON THIS PLAN. SAID DRAIN PATH SHALL BE MAINTAINED LINED DRAIN SWALES, AND INLET PROTECTION AT A MINIMUM. IF PONDING DOES OCCUR ON THE SITE AFTER GRADING, THE WATER MUST BE FREE AND CLEAR OF SEDIMENT PRIOR TO DISCHARGE TO THE STORM DRAIN SYSTEM. THIS REQUIREMENT MAY NECESSITATE THE USE OF NATURAL AND/OR MECHANICAL DESILTING METHODS, SUBJECT TO APPROVAL BY THE COUNTY INSPECTOR.
13. F THESE EROSION CONTROL MEASURE PROVE INADEQUATE, STRAW MULCH, TACKIFIER, AND ADDITIONAL HYDROSEEDING MAY BE REQUIRED.

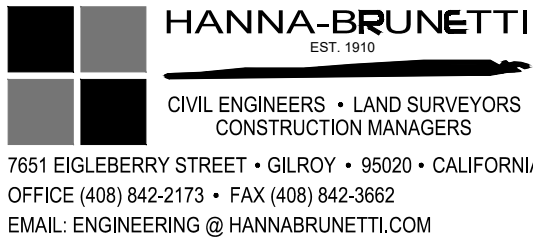
HYDROSEED TABLE	
ITEM	LBS/ACRE
COMMON BARLEY	45
ANNUAL RYEGRASS	45
CRIMSON CLOVER	10
FERTILIZER 7-2-3	400
FIBER MULCH	2000
TACKIFIER	100

14. ALL GRADING WORK BETWEEN OCTOBER 15th AND APRIL 15th IS AT THE DISCRETION OF THE SANTA CLARA COUNTY BUILDING OFFICIAL.
15. PROVIDE SHRUBS AND/OR TREES REQUIRED ON SLOPES GREATER THAN 15 FEET IN VERTICAL HEIGHT.
16. THE OWNER/OWNER'S CONTRACTOR, AGENT, AND/OR ENGINEER SHALL INSTALL AND MAINTAIN THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL WITHIN THE SANTA CLARA COUNTY MAINTAINED ROAD RIGHT OF WAY AND ANY PORTION OF THE SITE WHERE STORM WATER RUN-OFF IS DIRECTLY FLOWING INTO THE SANTA CLARA COUNTY MAINTAINED ROAD RIGHT OF WAY BEST MANAGEMENT PRACTICES (BMP'S) TO PREVENT CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, WASTE MATERIALS, AND SEDIMENT CAUSED BY EROSION FROM CONSTRUCTION ACTIVITIES ENTERING THE STORM DRAIN SYSTEM, WATERWAYS, AND ROADWAY INFRASTRUCTURE. BMP'S SHALL INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING PRACTICES APPLICABLE TO THE PUBLIC ROAD AND EXPRESSWAY FACILITIES:
 - A) REDUCTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN/STAGING AREAS.
 - B) PREVENTION OF TRACKING OF MUD, DIRT AND CONSTRUCTION MATERIALS ONTO PUBLIC ROAD RIGHT OF WAY.
 - C) PREVENTION OF DISCHARGE OF WATER RUNOFF DURING DRY AND WET WEATHER CONDITIONS ONTO PUBLIC ROAD RIGHT OF WAY
17. THE OWNER/OWNER'S CONTRACTOR, AGENT, AND/OR ENGINEER SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY MAINTAINED ROAD RIGHT OF WAY AND ANY PORTION OF THE SITE WHERE STORM WATER RUN-OFF IS DIRECTLY FLOWING INTO THE SANTA CLARA COUNTY MAINTAINED ROAD RIGHT OF WAY SHALL HAVE SEASONALLY APPROPRIATE BMP'S INSTALLED AND MAINTAINED AT ALL TIMES.

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS

REVISIONS:		
DATE	DESCRIPTION	BY:



DATE: APRIL 2021
HORIZ. SCALE: 1"=20'
VERT. SCALE: NONE
DESIGNED BY: AM
CHECKED BY: _____
DRAWN BY: TM

date: 21
Hanna - Brunetti

Amanda Joy Musy-Verdel

R.C.E. # 69278
expires: 6/30/



REFERENCES

UNINCORPORATED
APRIL 2021

Erosion Control Plan
Lands of Nielsen - Metcalf Road - apn 627-12-018

SANTA CLARA COUNTY
CALIFORNIA

SHEET

4

OF 6

JOB NO.

18043

APPLICANT: NIELSEN

ROAD: METCALF ROAD

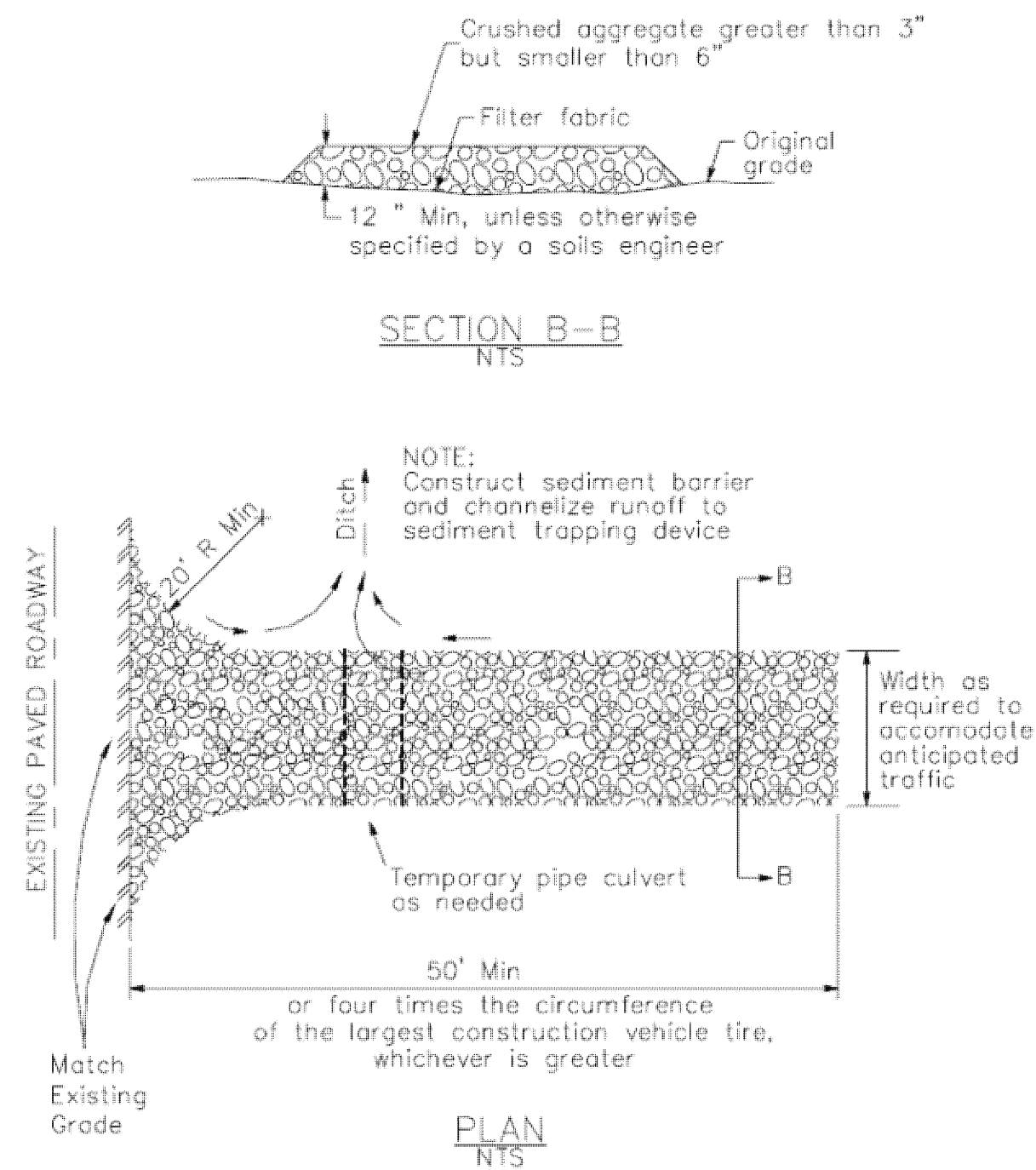
COUNTY FILE NO.: PLN19-0141

JOB NO. 18043

3

Stabilized Construction Entrance/Exit

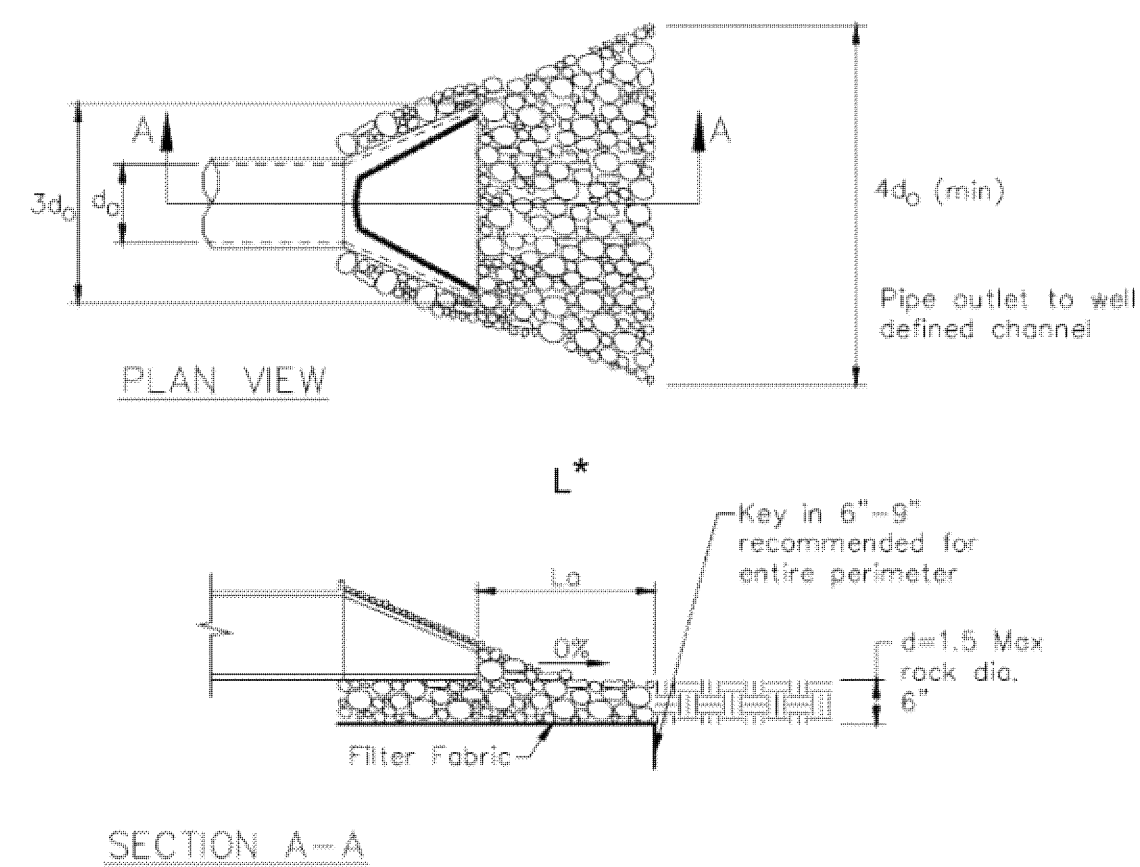
CASQA Detail TC-1



4

Velocity Dissipation Devices

CASQA Detail EC-10



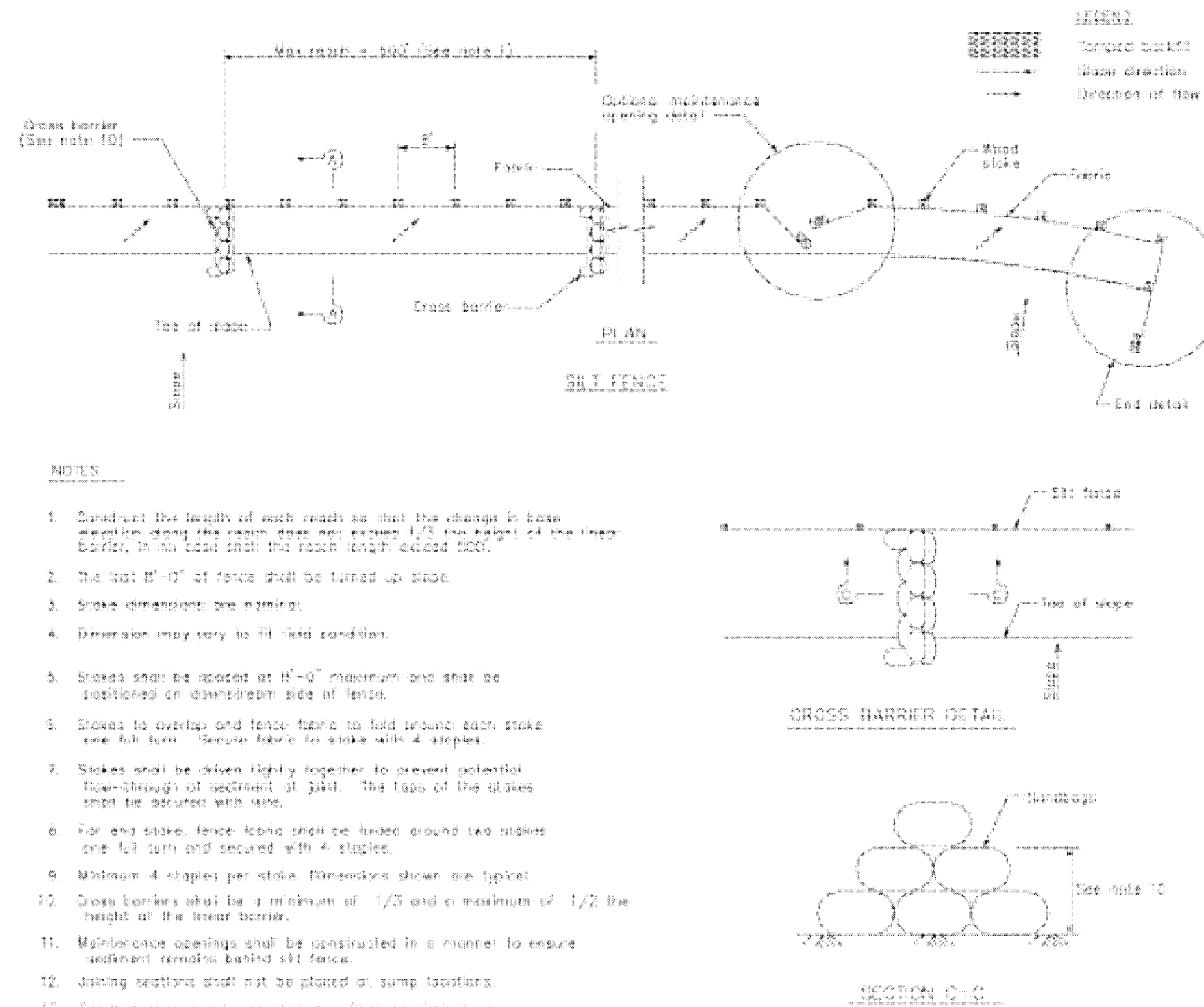
* Length per ABAG Design Standards

Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.
Available from www.cabmphandbooks.com.

1

Silt Fence

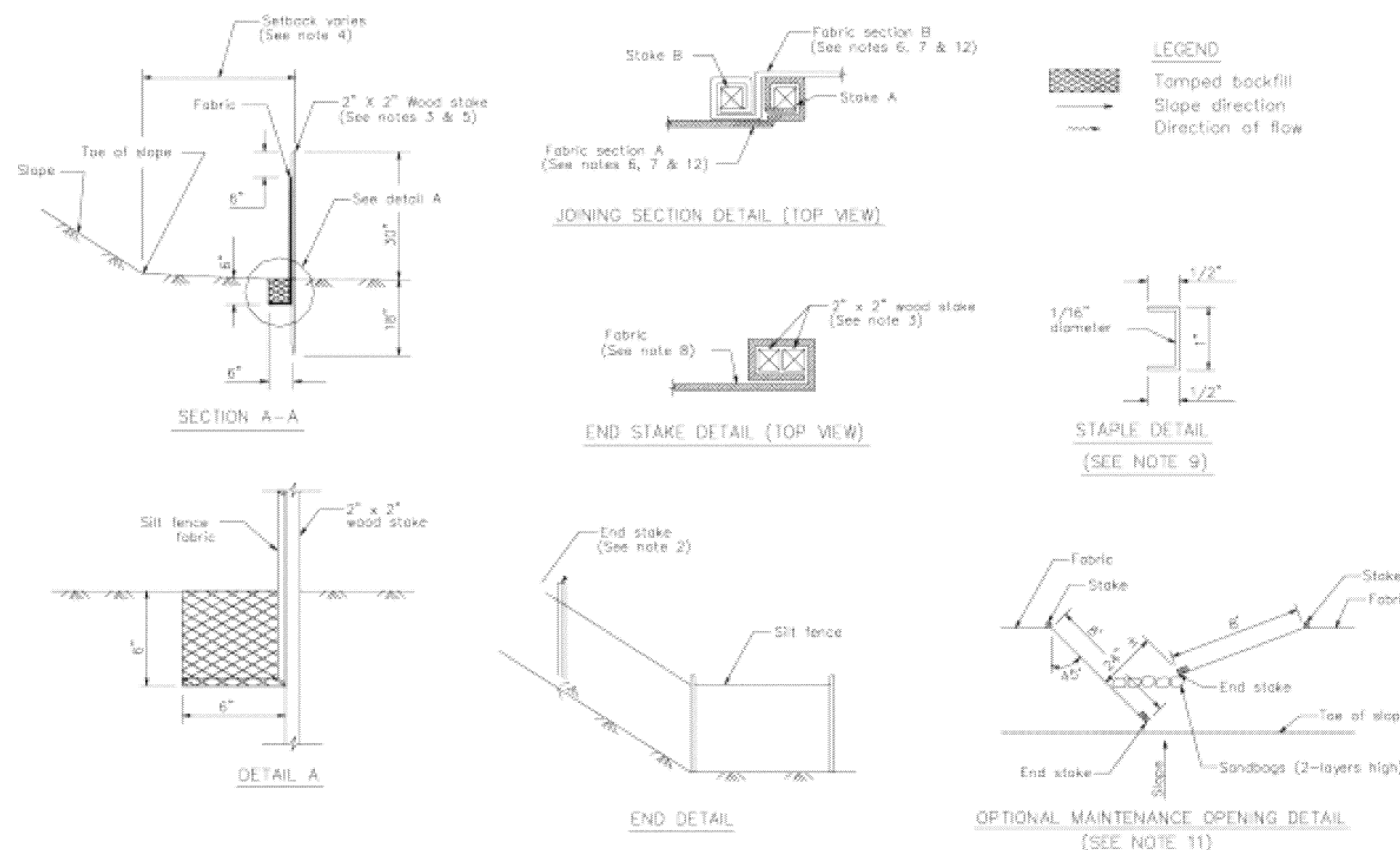
CASQA Detail SE-1



2

Silt Fence

CASQA Detail SE-1

**STANDARD BEST MANAGEMENT PRACTICE NOTES**

- Solid and Demolition Waste Management:** Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or latest.
- Hazardous Waste Management:** Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- Spill Prevention and Control:** Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
- Vehicle and Construction Equipment Service and Storage:** An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
- Material Delivery, Handling and Storage:** In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- Handling and Disposal of Concrete and Cement:** When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
- Pavement Construction Management:** Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- Contaminated Soil and Water Management:** Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
- Sanitary/Septic Water Management:** Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
- Inspection & Maintenance:** Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

STANDARD EROSION CONTROL NOTES

- Sediment Control Management:**

Tracking Prevention & Clean Up: Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.

Storm Drain Inlet and Catch Basin Inlet Protection: All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber roles or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.

Storm Water Runoff: No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.

Dust Control: The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.

Stockpiling: Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures (tarps, straw bales, silt fences, etc.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.
- Erosion Control:** During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
- Inspection & Maintenance:** Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- Project Completion:** Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

IMPROVEMENT PLANS

FOR THE
DRIVEWAY GRADING AND DRAINAGE
ON THE LANDS OF NIELSEN
METCALF ROAD, SAN JOSE

AS SHOWN UPON THAT CERTAIN MAP ENTITLED
MAP OF THE PARTITION OF THE MRS. S.F. MCUGH TRACT IN
HUENOS RANCHO, FILED IN THE COUNTY OF SANTA CLARA
RECORDED IN BOOK 104, PAGE 109 ON FEBRUARY 23, 1985
SANTA CLARA COUNTY, CALIFORNIA

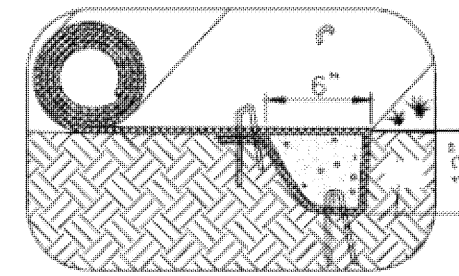
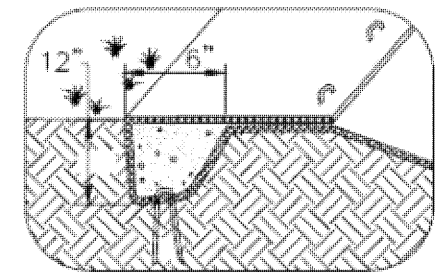
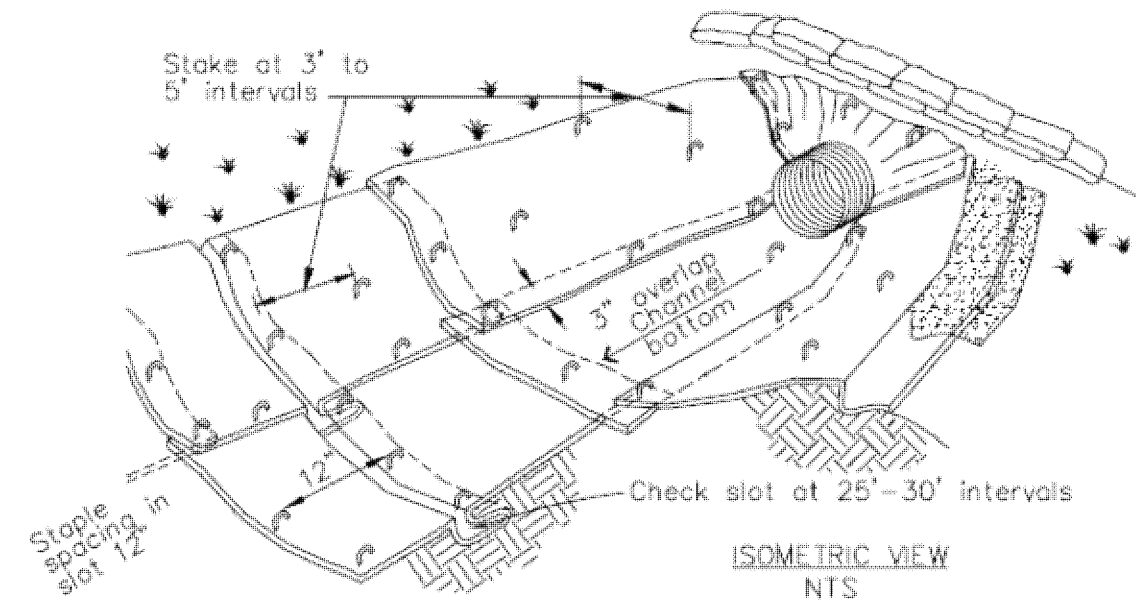
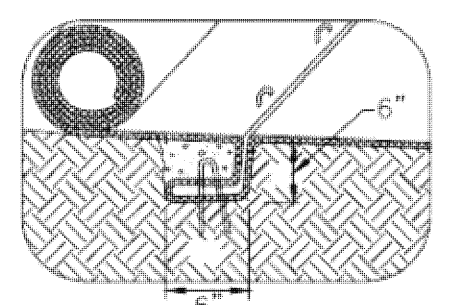
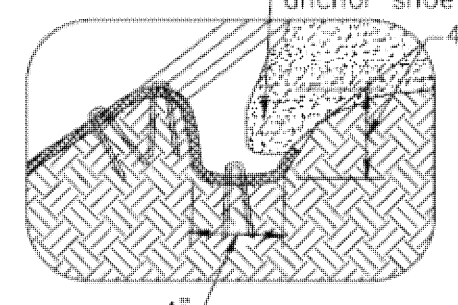
Project Information



7

Geotextiles and Mats

CASQA Detail EC-7

INITIAL CHANNEL ANCHOR TRENCH
NTSTERMINAL SLOPE AND CHANNEL
ANCHOR TRENCH
NTSISOMETRIC VIEW
NTSINTERMITTENT CHECK SLOT
NTSLONGITUDINAL ANCHOR TRENCH
NTS

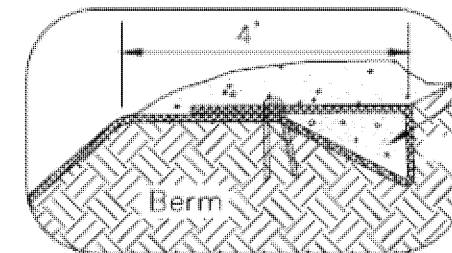
- NOTES:
1. Check slots to be constructed per manufacturers specifications.
 2. Staking or stapling layout per manufacturers specifications.
 3. Install per manufacturer's recommendations

TYPICAL INSTALLATION DETAIL

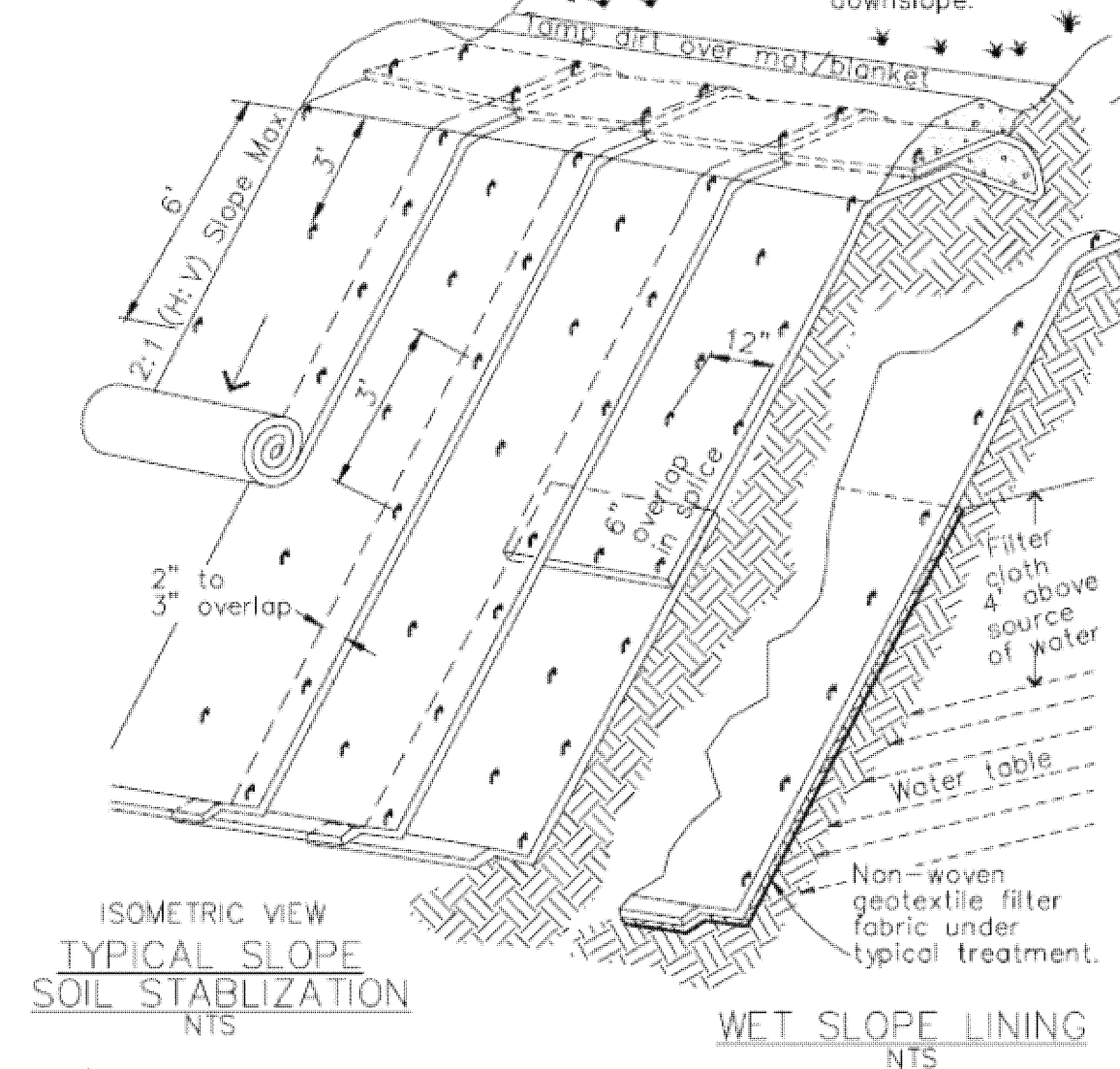
5

Geotextiles and Mats

CASQA Detail EC-7



6" X 6" anchor trench

ISOMETRIC VIEW
TYPICAL SLOPE
SOIL STABILIZATION
NTSWET SLOPE LINING
NTS

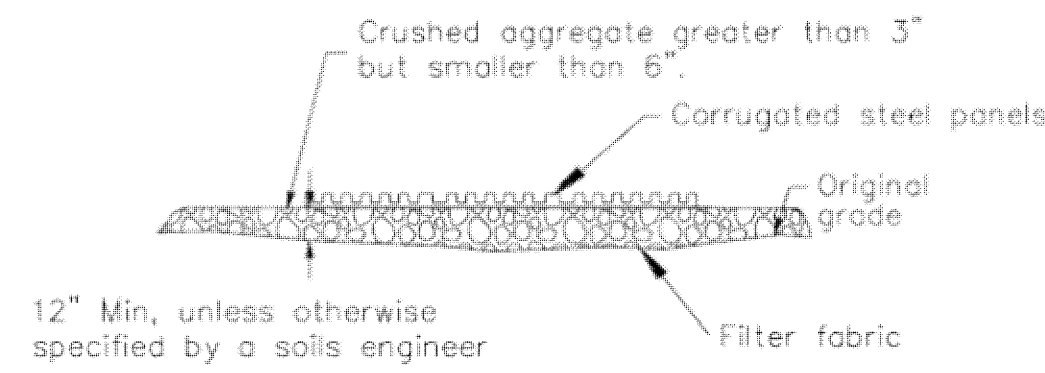
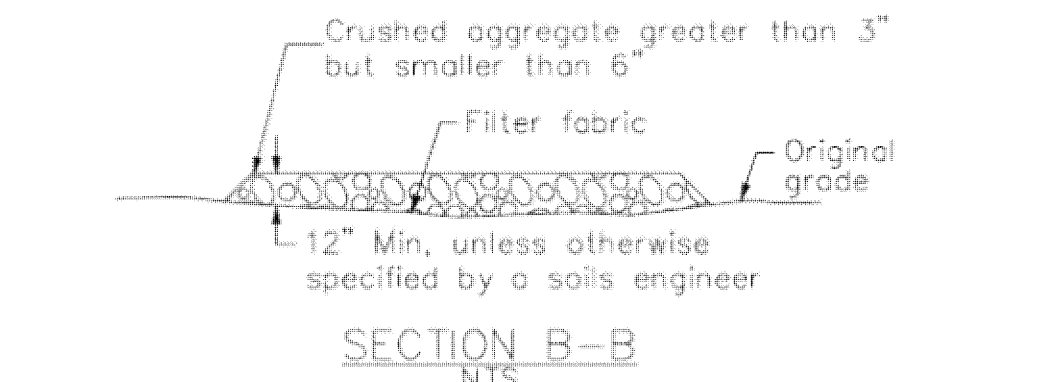
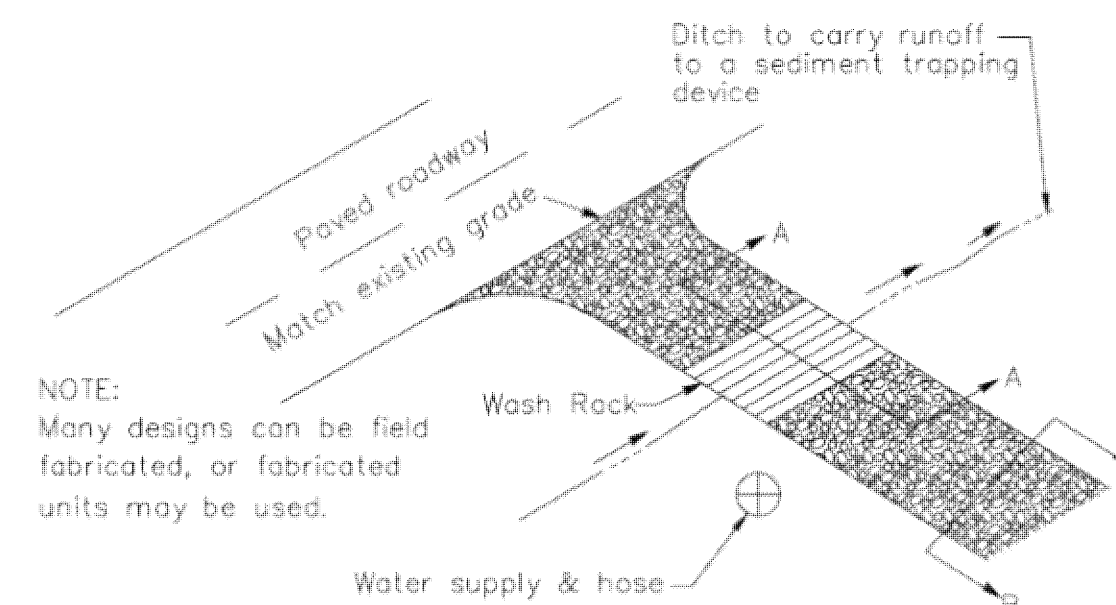
- NOTES:
1. Slope surface shall be free of rocks, clods, sticks and grass. Mats/blankets shall have good soil contact.
 2. Lay blankets loosely and stake or staple to maintain direct contact with the soil. Do not stretch.
 3. Install per manufacturer's recommendations

TYPICAL INSTALLATION DETAIL

3

Entrance/Outlet Tire Wash

CASQA Detail TC-3

SECTION A-A
NOT TO SCALESECTION B-B
NTS

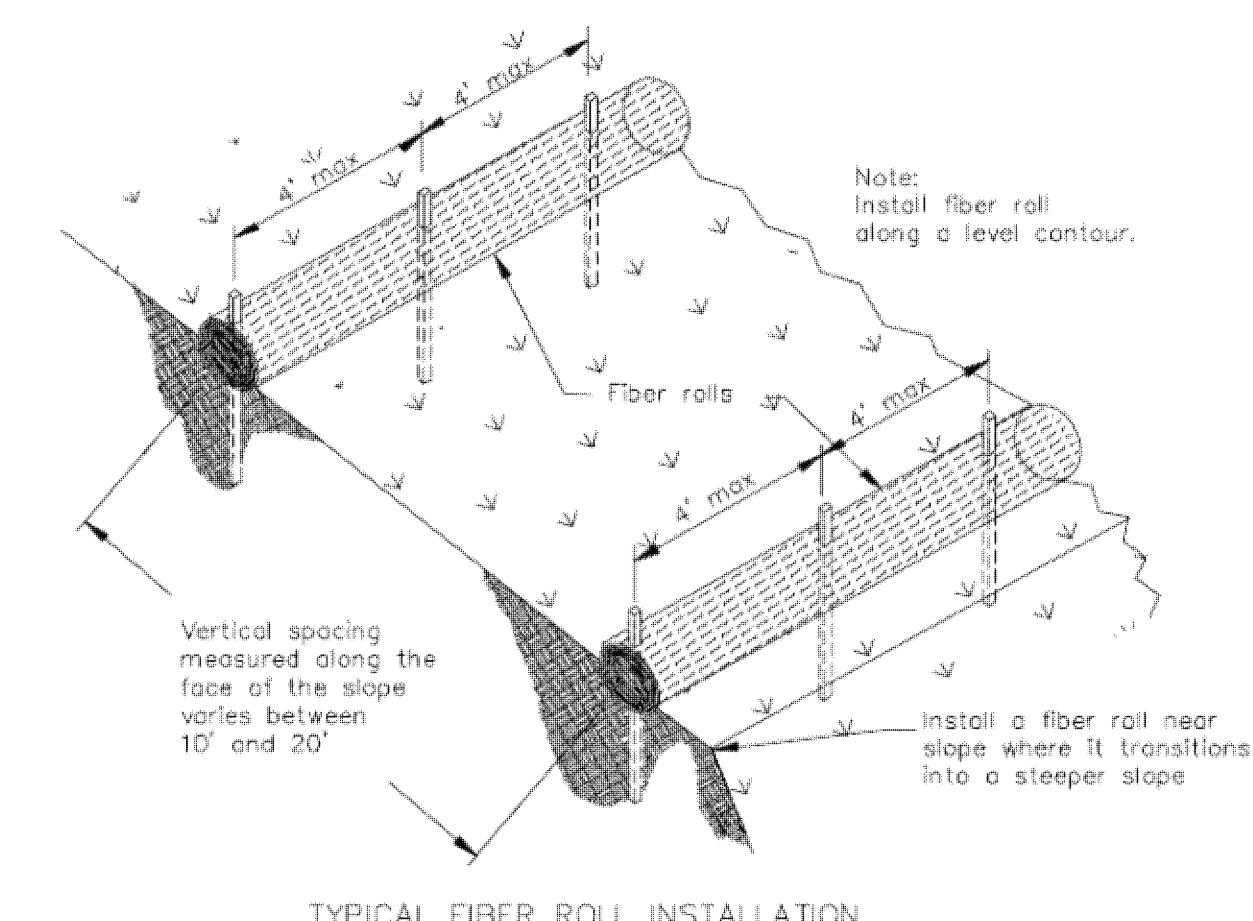
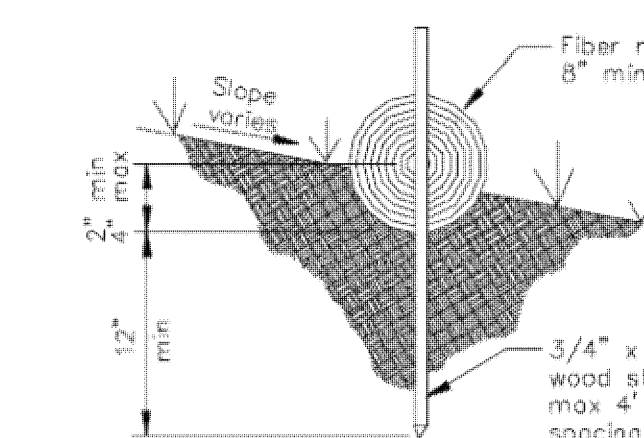
NOTE:
Many designs can be field fabricated, or fabricated units may be used.

TYPICAL TIRE WASH
NOT TO SCALE

1

Fiber Rolls

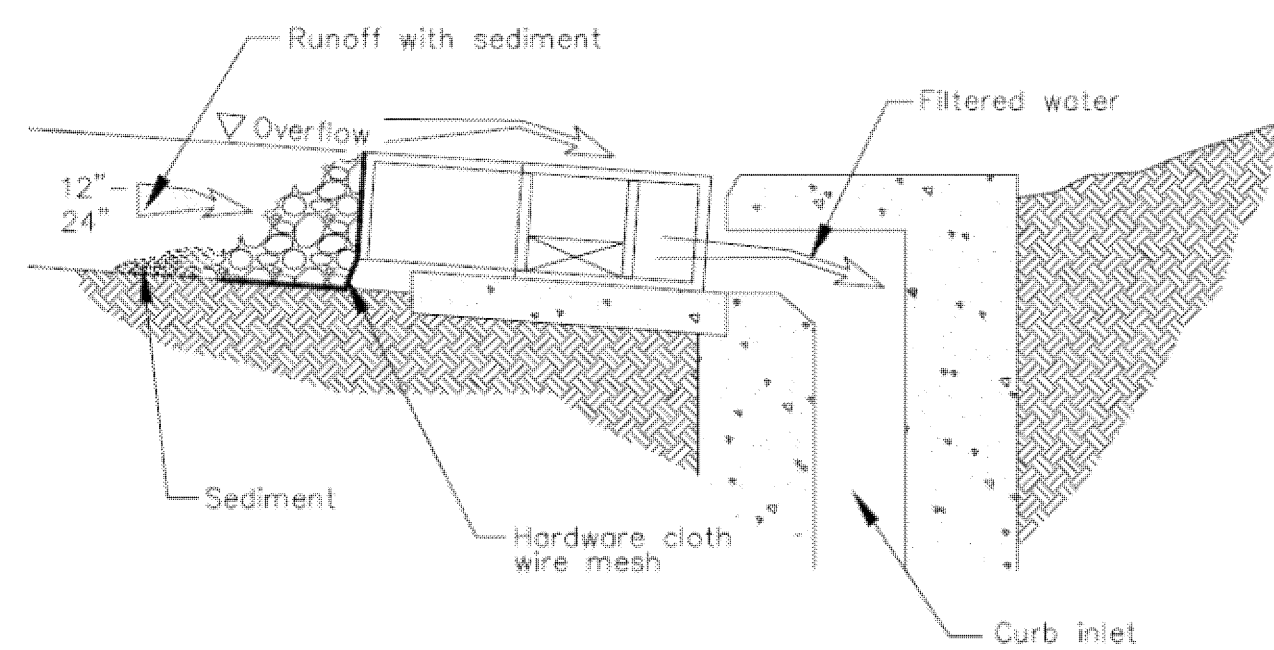
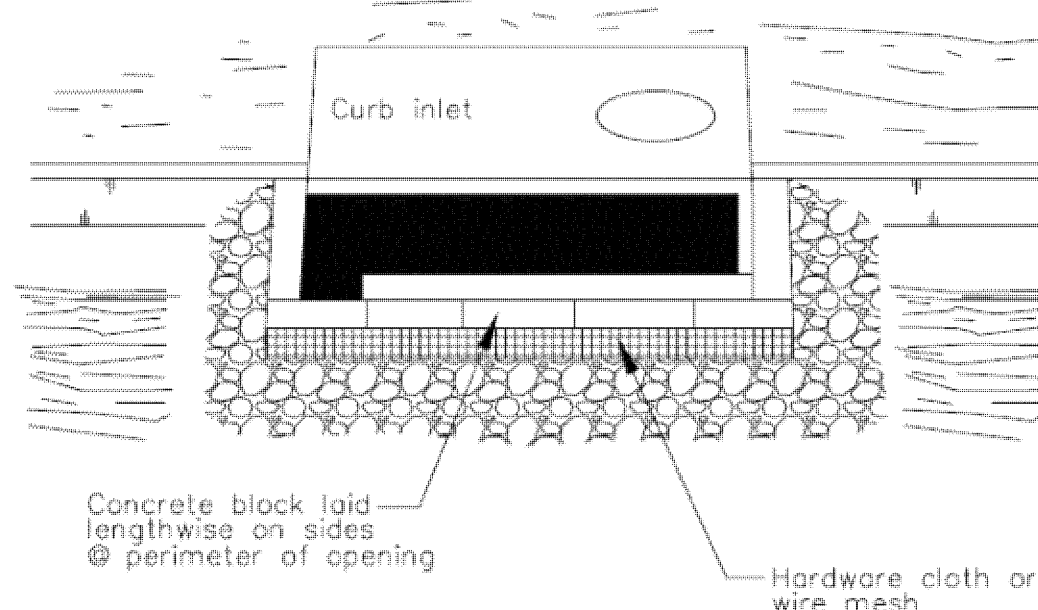
CASQA Detail SE-5

TYPICAL FIBER ROLL INSTALLATION
N.T.S.ENTRENCHMENT DETAIL
N.T.S.

8

Storm Drain Inlet Protection

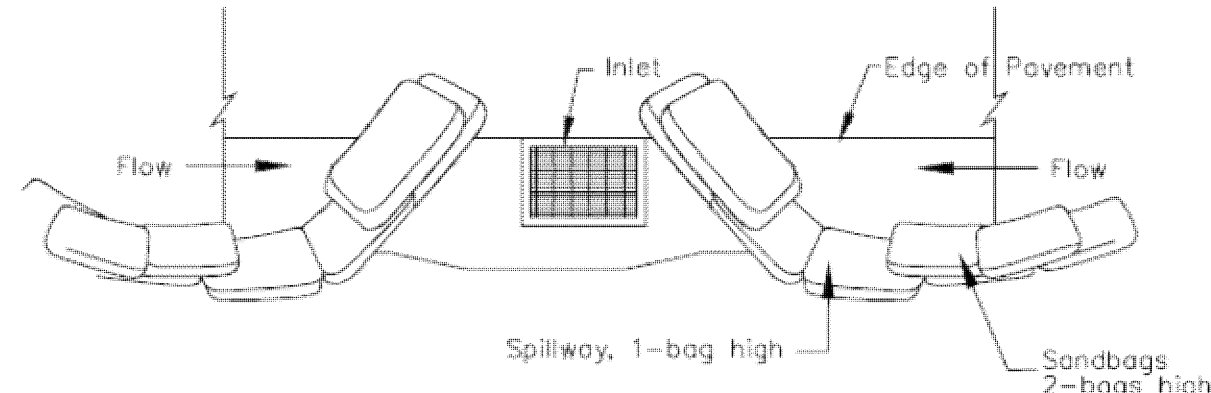
CASQA Detail SE-10

DI PROTECTION -- TYPE 4
NOT TO SCALE

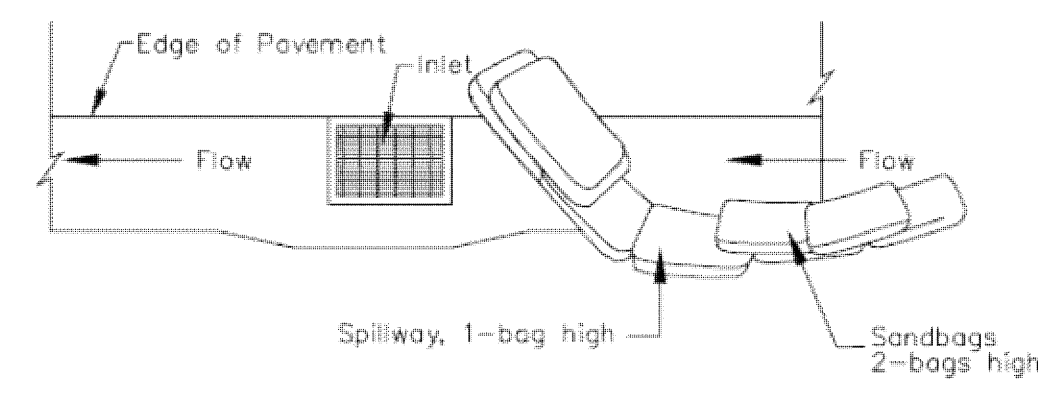
6

Storm Drain Inlet Protection

CASQA Detail SE-10



TYPICAL PROTECTION FOR INLET ON SUMP



TYPICAL PROTECTION FOR INLET ON GRADE

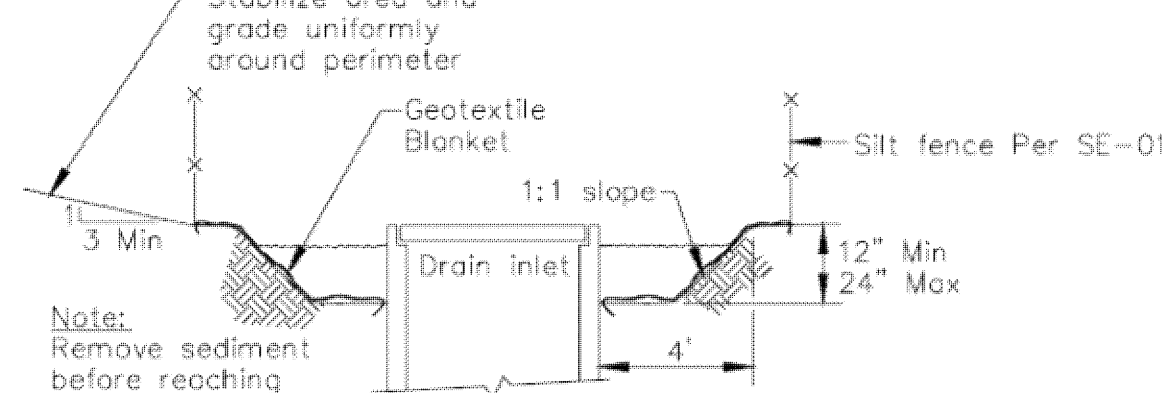
- NOTES:
1. Intended for short-term use.
 2. Use to inhibit non-storm water flow.
 3. Allow for proper maintenance and cleanup.
 4. Bags must be removed after adjacent operation is completed
 5. Not applicable in areas with high silts and clays without filter fabric.

DI PROTECTION TYPE 3
NOT TO SCALE

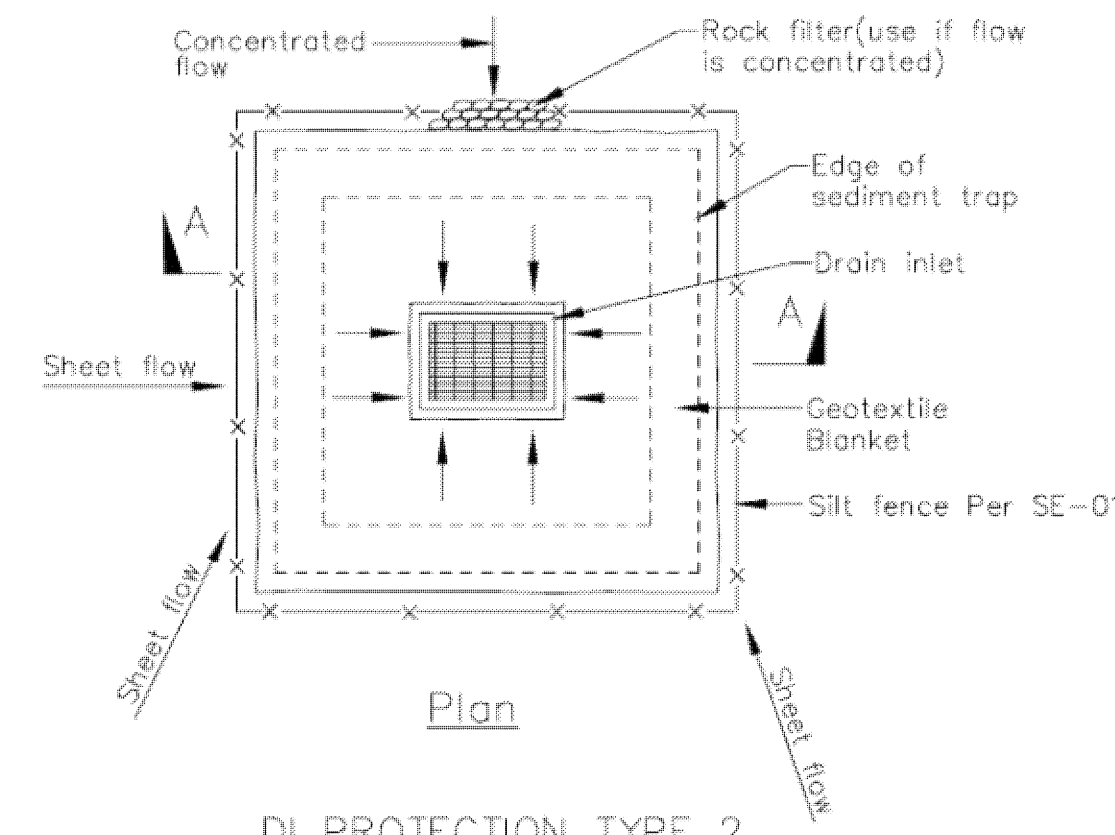
4

Storm Drain Inlet Protection

CASQA Detail SE-10



Section A-A

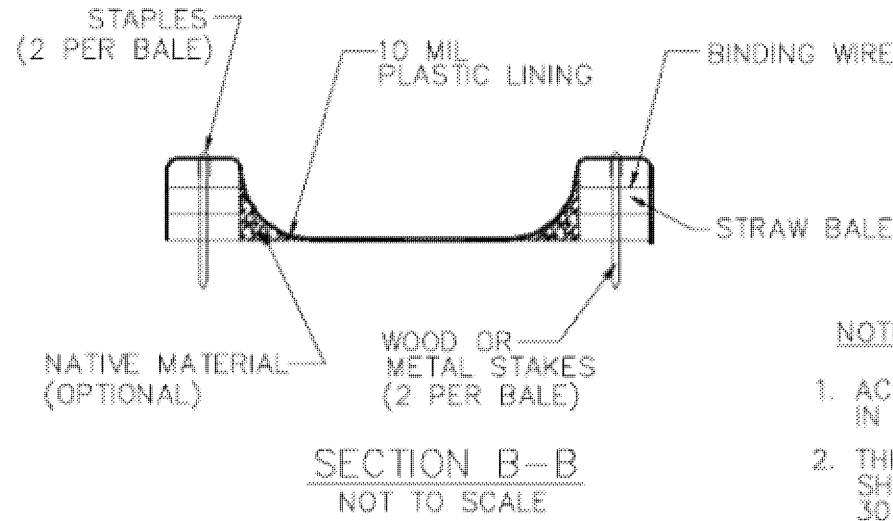
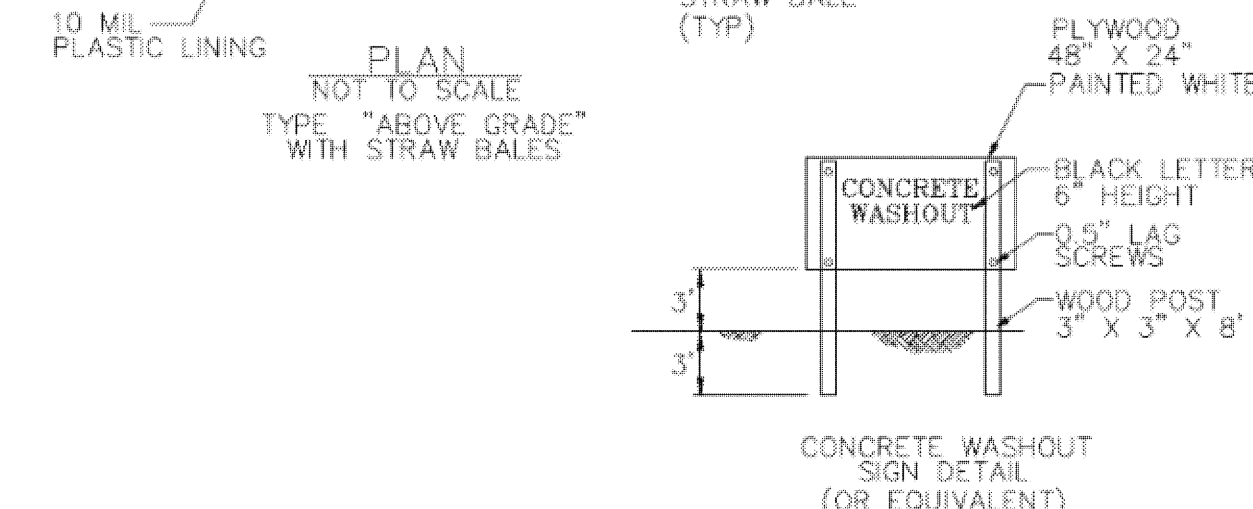
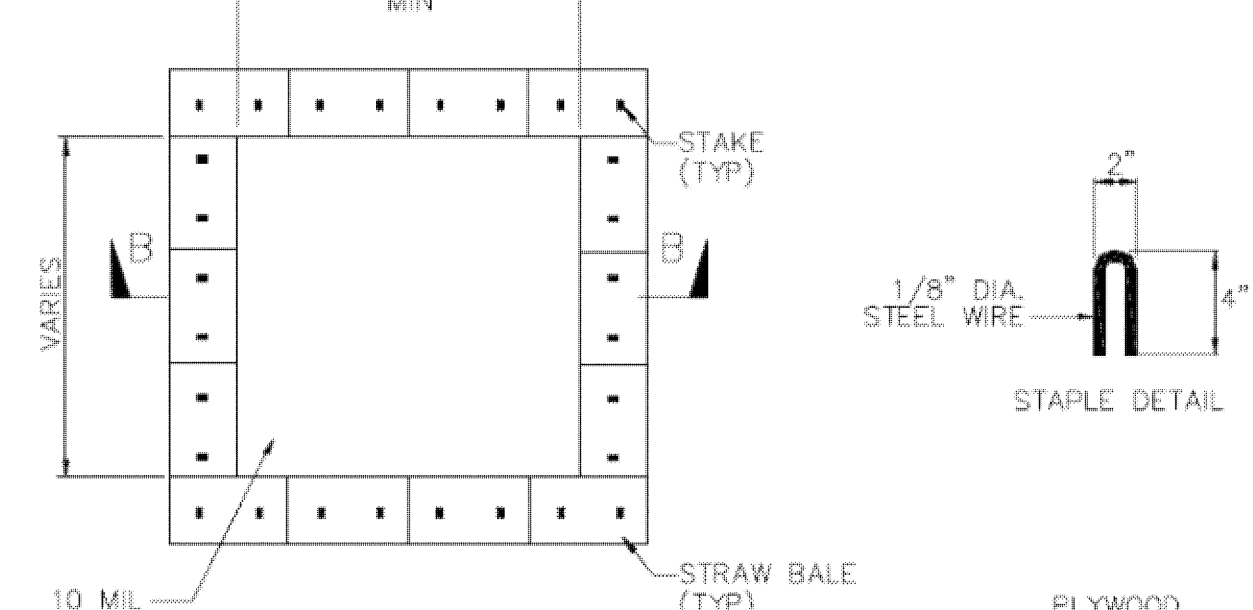
DI PROTECTION TYPE 2
NOT TO SCALE

- Notes
1. For use in cleared and grubbed end in graded areas.
 2. Shape basin so that longest inflow area faces longest length of trap.
 3. For concentrated flows, shape basin in 2:1 ratio with length oriented towards direction of flow.

2

Concrete Waste Management

CASQA Detail WM-8



- NOTES
1. ACTUAL LAYOUT DETERMINED IN FIELD.
 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

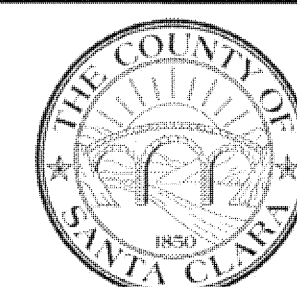
IMPROVEMENT PLANS

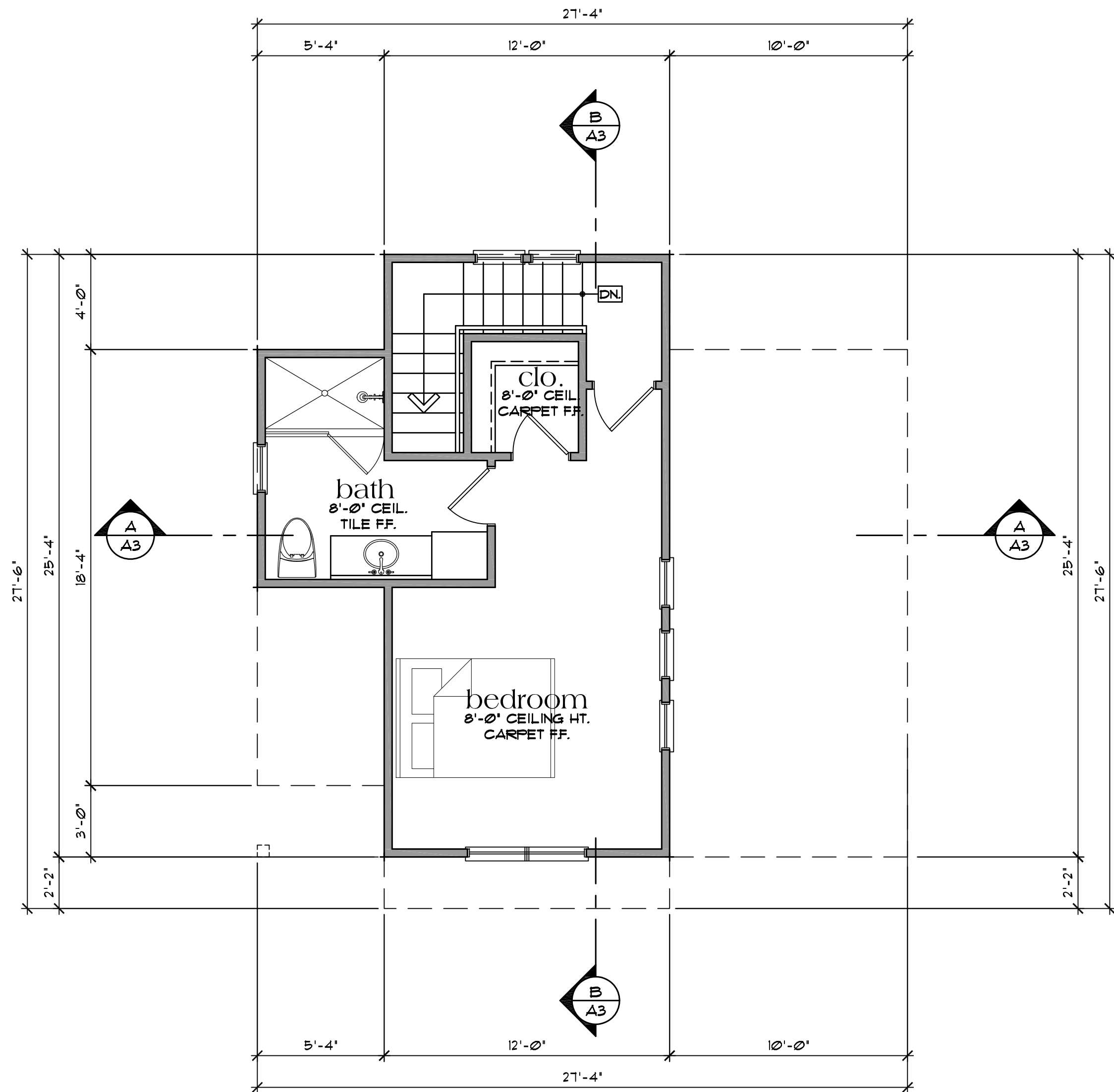
FOR THE
DRIVEWAY GRADING AND DRAINAGE
ON THE LANDS OF NIELSEN
METCALF ROAD, SAN JOSE

A PORTION OF LOT 4
MAP OF THE PARTITION OF THE MRS. S.F. McHUGH TRACT IN
HUECOS RANCHO, FILED IN THE COUNTY OF SANTA CLARA
RECORDED IN BOOK 10 OF MAPS, PAGE 109 ON FEBRUARY 23, 1985
SANTA CLARA COUNTY, CALIFORNIA

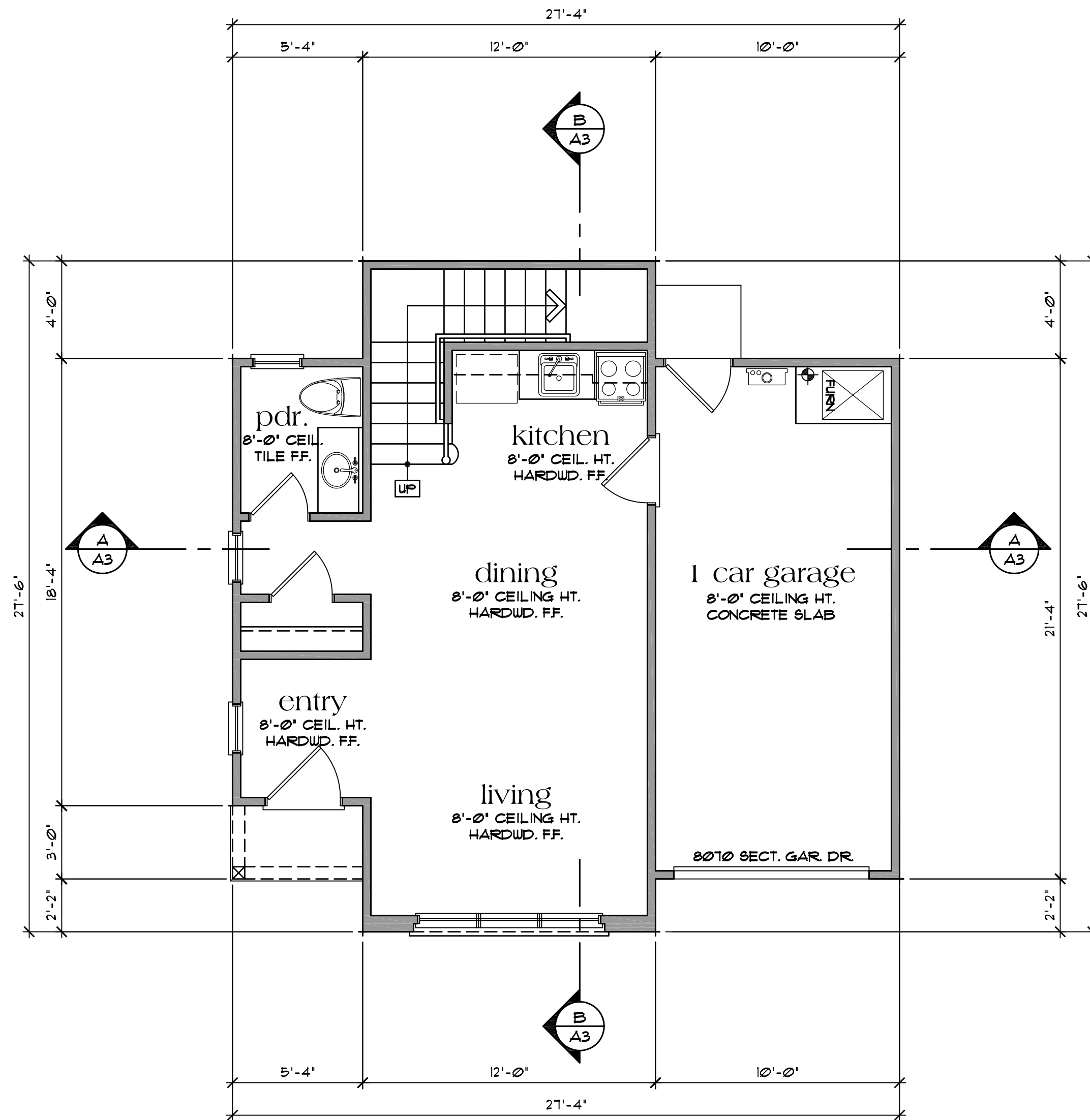
Project Information

Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.
Available from www.cabmphandbooks.com.





Upper Level Floor Plan
313 sq. ft. Upper Level scale: 1/4"=1'-0"



Main Level Floor Plan
428 sq. ft. Main Level
313 sq. ft. Upper Level
741 sq. ft. Total Living Area
213 sq. ft. Garage scale: 1/4"=1'-0"

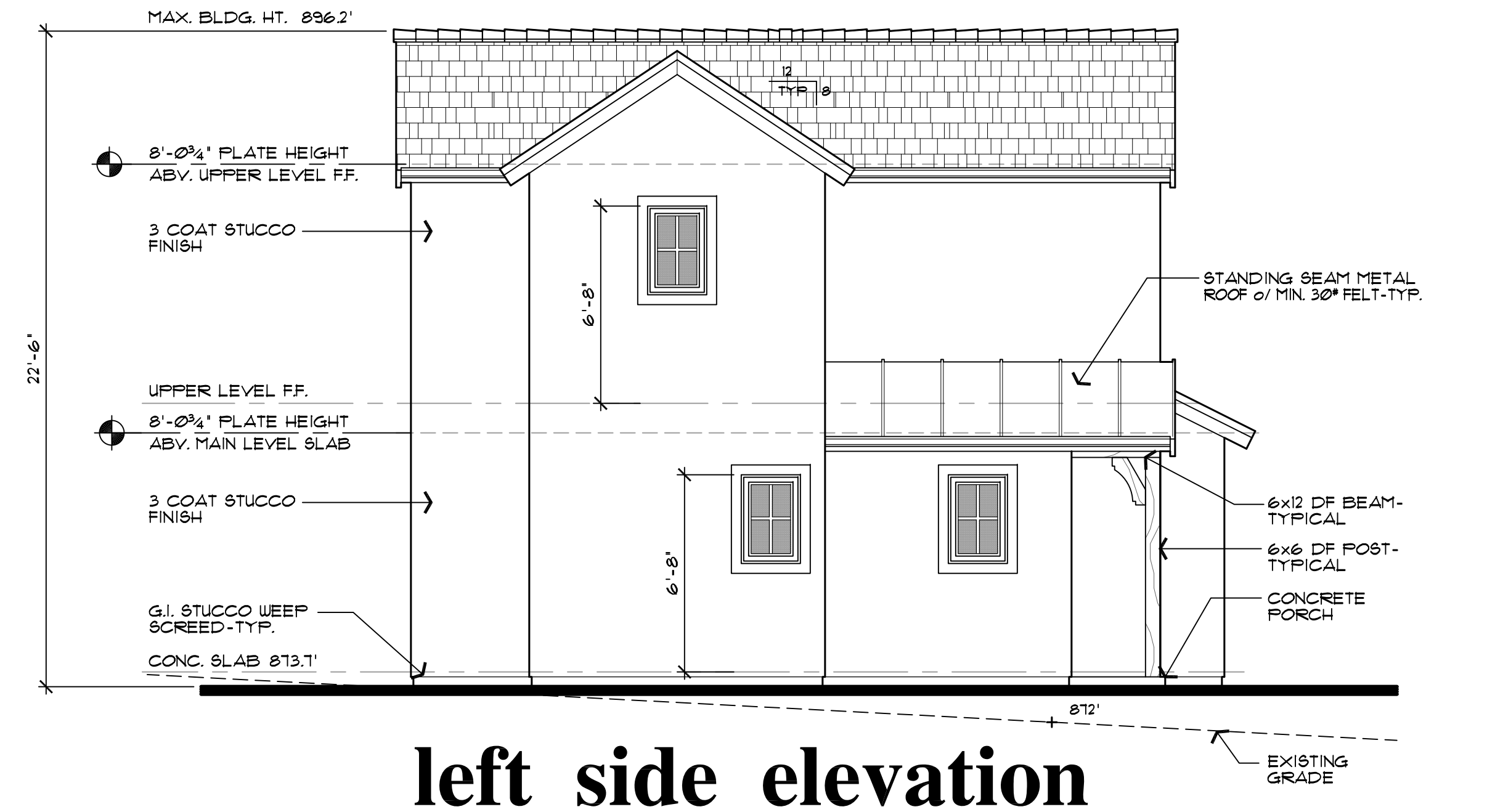
NO.	DATE	REVISION

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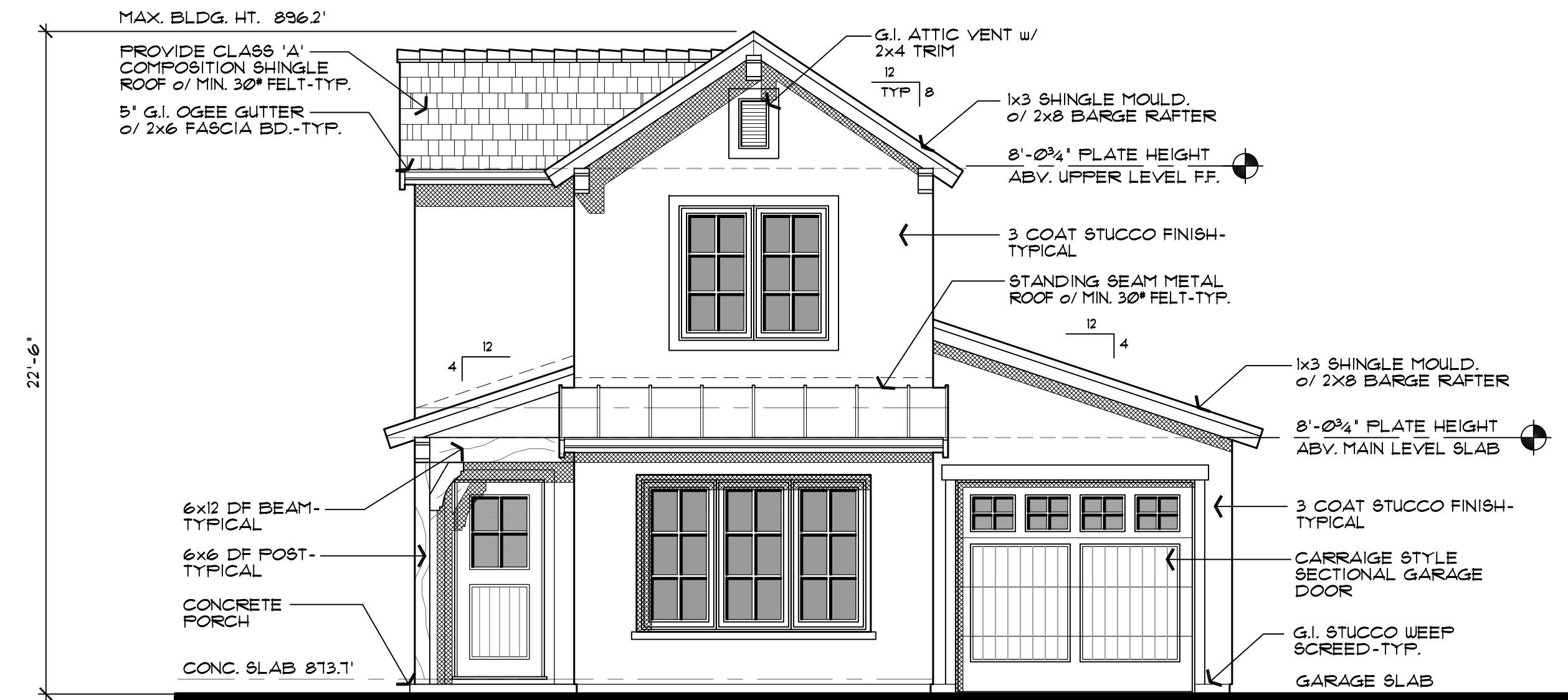
DAZ Design Associates, Inc.
A California Corporation
17705 Hale Avenue, Suite H4
Morgan Hill, California 95037
Phone: (408) 778-7005 Fax: (408) 778-7004
email: dazdesign@gaic.com

DRAWING TITLE	Floor Plans
JOB TITLE	Nielsen Residence
JOB ADDRESS	Lot 4, Metcalf Road San Jose, California

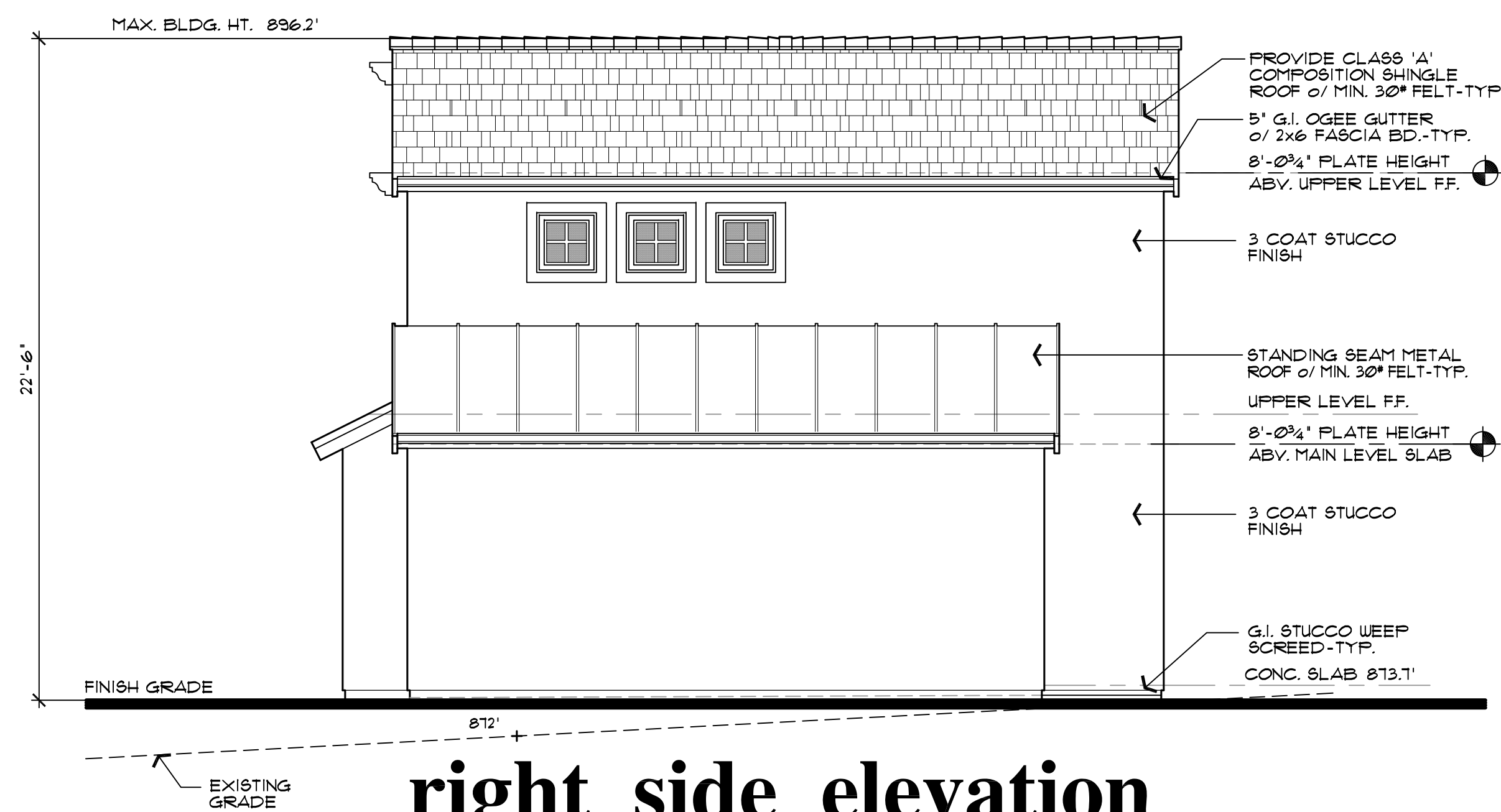
DATE	DEC. 4, 2009
SCALE	1/4" = 1'-0"
PROJECT MANAGER	MICHAEL DAVIS
DRAWN	GZ
JOB NO.	DZ2008
SHEET	



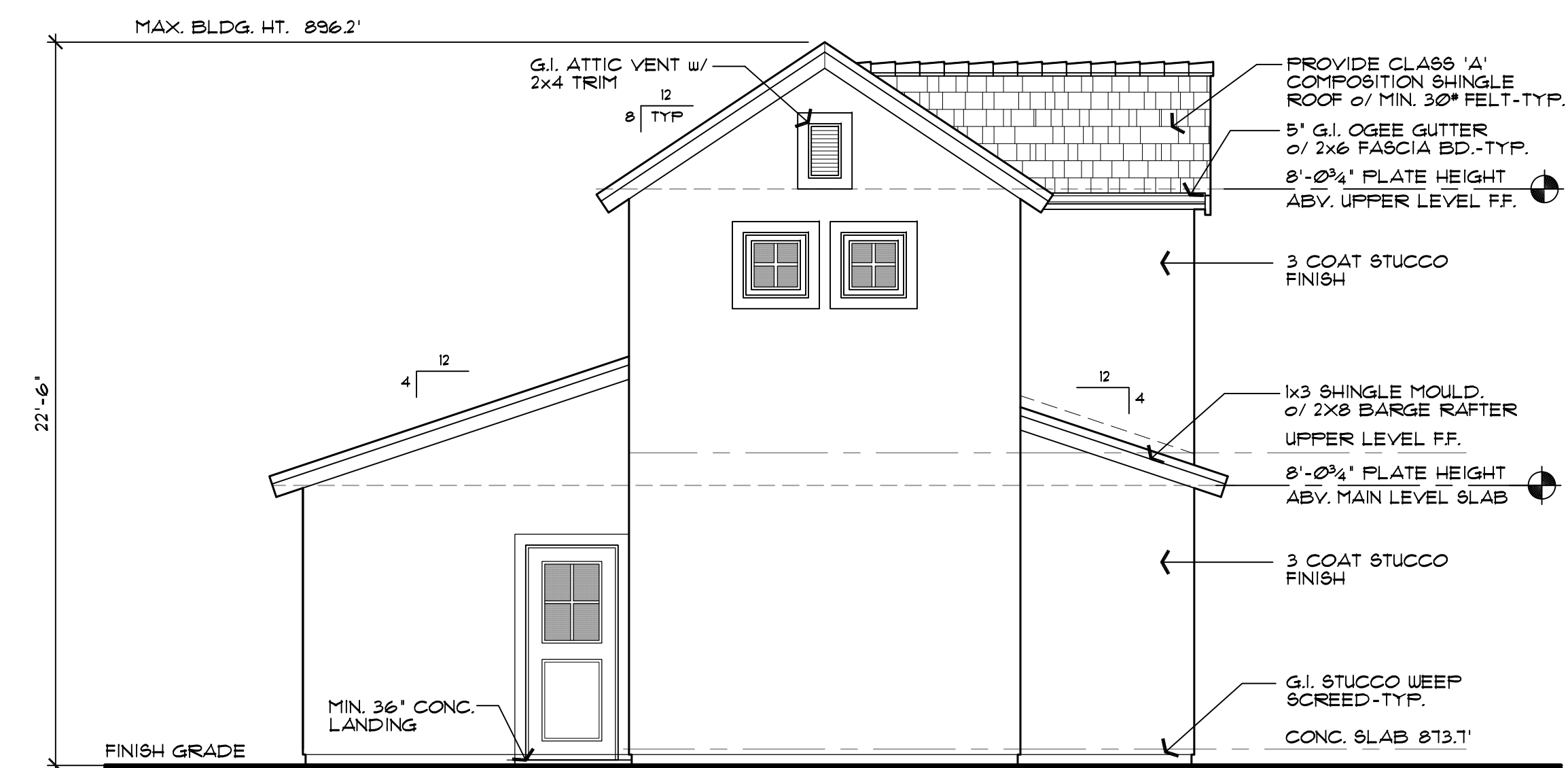
left side elevation



front elevation



right side elevation



rear elevation

NO. / DATE / REVISION

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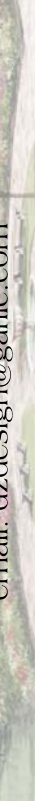
DAZ Design Associates, Inc.
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Morgan Hill, California 95037
Phone: (408) 778-7005 Fax: (408) 778-7004
Email: daz@daazinc.com

Exterior Elevations
Nielsen Residence
Lot 4, Metcalf Road
San Jose, California

DRAWING TITLE
JOB TITLE
JOB ADDRESS

DATE
SCALE
PROJECT MANAGER
DRAWN
JOB NO.
SHEET

A3



Design Associates, Inc.
 A California Corporation
 18640 Sutter Blvd., Suite 500
 Morgan Hill, California 95037
 Phone: (408) 778-7005 Fax: (408) 778-7004
 e-mail: info@design-garitas.com

DRAWING TITLE

JOB TITLE**JOB ADDRESS**

JOB NO.	DZ2018
SHEET	

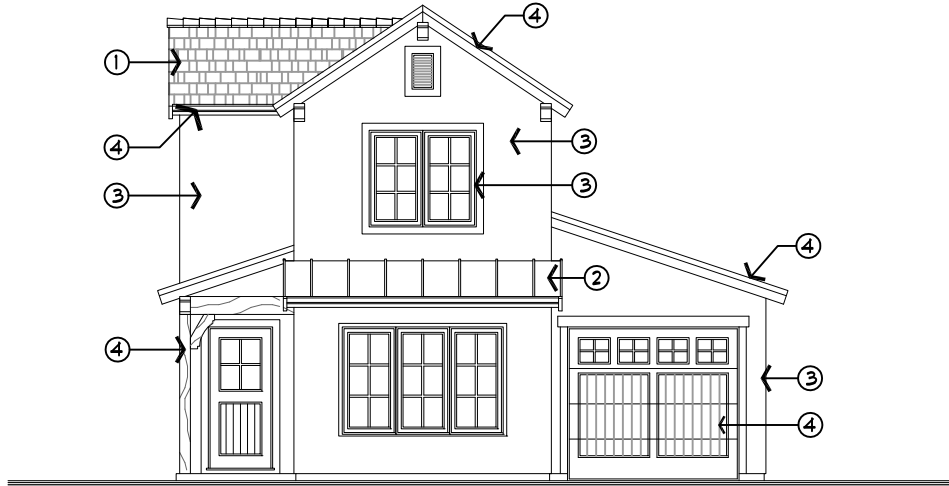


PROVIDE 5' GALVANIZED OGEE GUTTER w/ 3' DIA. ROUND DOWNSPOUTS. ALL DOWNSPOUTS SHALL DIRECT RAIN WATER MIN. 5 FEET AWAY FROM FOUNDATIONS AND SHALL DISCHARGE ONTO VEGETATED AREAS.

Attachment D

Color Samples

Materials and Colors:

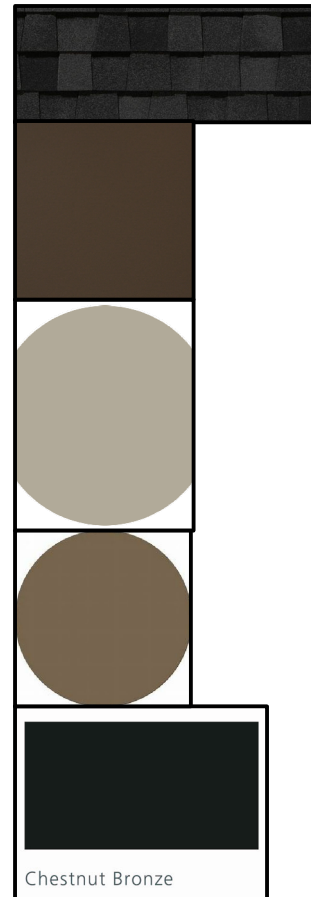


Nielsen Residence

**Lot 4, Metcalf Road
San Jose, California**

1. ROOF MATERIAL:
CERTAINEED - COMPOSITION SHINGLE
"MOIRE BLACK"
LRV 10
2. ROOF MATERIAL:
METAL STANDING SEAM
"WEATHERED COPPER"
LRV 16
3. BASE COLOR:
KELLY-MOORE - "GREIGE"
KM5767-2
LRV 41
4. FASCIA & TRIM COLOR:
KELLY-MOORE - "RUSKIN BRONZE"
HL642221
LRV 9
5. WINDOW FRAMES:
JELD-WEN- CLAD WINDOW FRAMES
"CHESTNUT BRONZE"
LRV 18

PROJECT AVERAGE LRV 20.8



Dz Design Associates

18640 Sutter Blvd., Suite 500
Morgan Hill, California 95037

Phone: (408) 778-7005 voice
email: dzdesign@att.net

Attachment E

Arborist Report



LIVE OAK ASSOCIATES, INC.

an Ecological Consulting Firm

May 12, 2020

Mr. Rodney Nielsen
2715 S. White Rd
San Jose, CA 95148

Subject: Tree Survey and Arborist Report for Lands of Nielsen Lot 4, Metcalf Road, Santa Clara County, CA (LOA PN 2330-01)

Dear Mr. Nielsen,

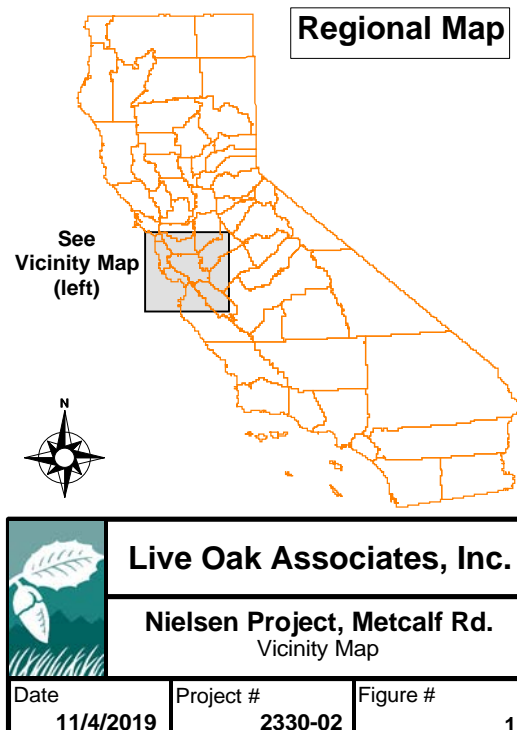
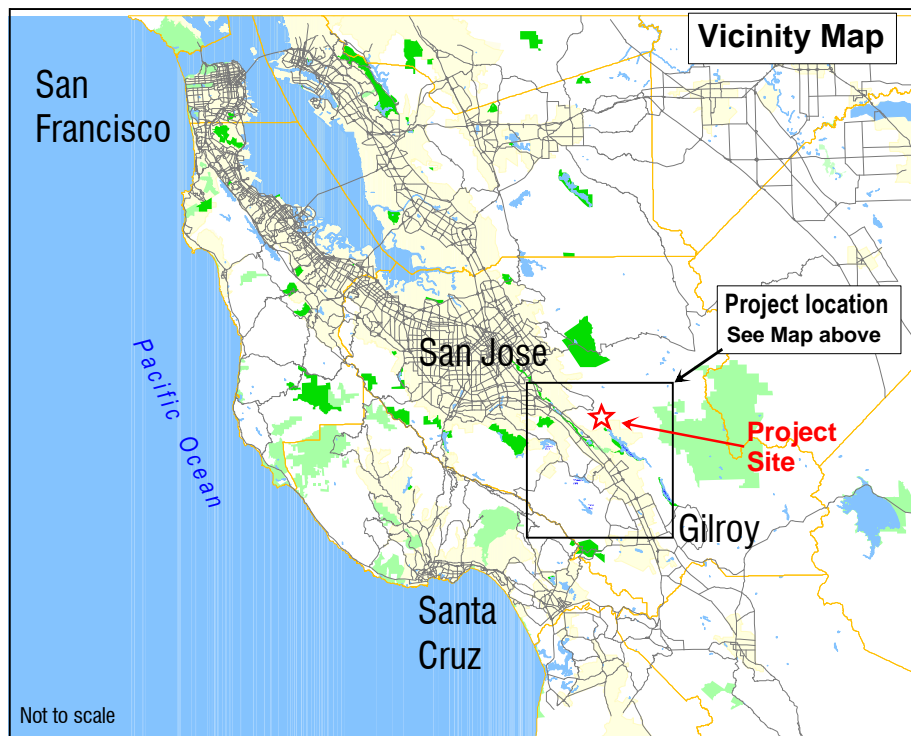
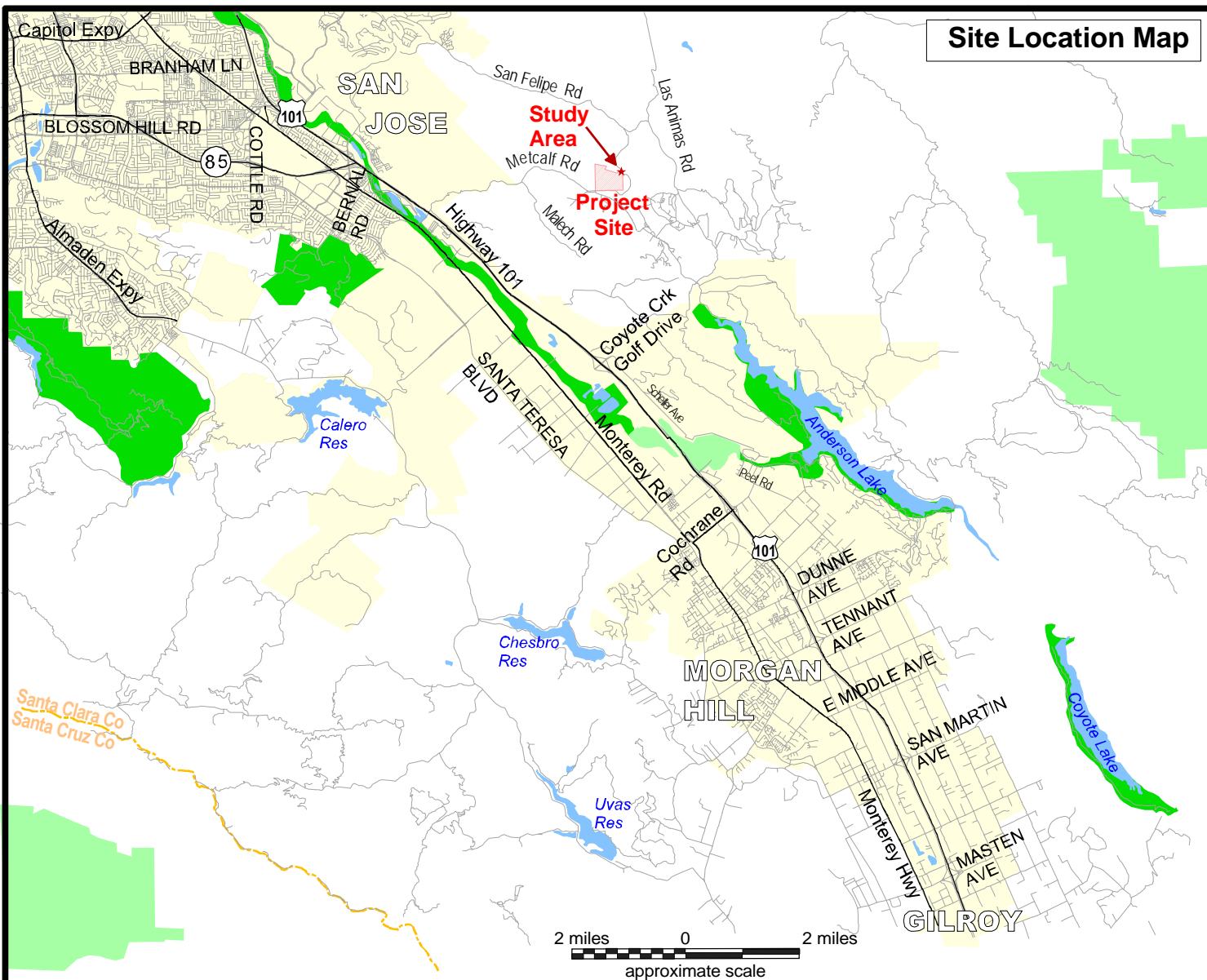
Per request, Live Oak Associates (LOA) certified arborist Neal Kramer has visited the Lands of Nielson project site (APN 627-12-018) located on Metcalf Road in Santa Clara County, California (figure 1) to conduct a tree survey in preparation for this arborist report. The approximately .33 acre project site is currently occupied by a graded access road running through coast live oak woodland. A residence and associated infrastructure is proposed for the site.

COUNTY OF SANTA CLARA TREE ORDINANCES

Santa Clara County recognizes the substantial economic, environmental and aesthetic values of trees on both public and private lands and finds that preservation of all trees is necessary for the best interests of the County and its citizens. As such, certain trees are protected under County Ordinance Div. C16 Tree Preservation and Removal, and require an approved Administrative Permit before a protected tree can be removed. The County defines as “Any tree having a main trunk or stem measuring 37.7 inches or greater in circumference (12 inches or more in diameter) at a height of 4 1/2 feet above ground level, or in the case of multi-trunk trees a total of 75.4 inches in circumference (24 inches or more of the diameter) of all trunks”. Specific tree protection and preservation requirements for Santa Clara County are provided in *Santa Clara County Guidelines for tree Protection and Preservation for Land Use Applications*, which is included as an attachment with this report.

METHODS

The tree survey for this report was conducted on November 1, 2019. Flagged survey stakes, along with existing fencing and in some areas pin flags placed in the ground were used to identify the survey area. All trees with a trunk diameter of 5 inches or greater at 54 inches above the ground on the project site or immediately adjacent with any portion of their canopy overhanging the project site were included in the November 2019 survey. In addition to trunk diameter, the survey included a record of the tree species, approximate tree height and tree canopy spread, and an assessment of general tree health and structure.



A limited visual assessment of tree health and structure was used to assign a general condition rating for each tree according to the following scale:

Good = 80-100% healthy foliage and no significant defects;

Fair = 50-79% healthy foliage and/or minor defects;

Poor = 5-49% healthy foliage and/or other significant defects; and

Dead = less than 5% healthy foliage.

Each tree surveyed was marked with a numbered aluminum tag, and approximate location of each tree was noted on an aerial field map during the site visit.

SURVEY RESULTS AND DISCUSSION

A total of 29 trees were documented during the November 1, 2019 tree survey. Trees surveyed include 19 coast live oaks (*Quercus agrifolia*), 4 California bays (*Umbellularia californica*), 3 California buckeyes (*Aesculus californica*) and 2 Northern California black walnuts (*Juglans hindsii*). A summary of information collected for each tree is provided in Table 1, and approximate locations for all trees surveyed are shown on Figure 2 below.

Nine of the 29 trees surveyed for this report qualify as protected trees under Santa Clara County Ordinance C16-2. These include five coast live oaks (Trees 1, 3, 7, 27 and 29), three California bays (Trees 12, 26 and 28) and one California buckeye (Tree 22), and. Protected Trees 1, 2, 7, 22 and 26 are rooted within project boundaries. Protected Trees 12, 27, 28 and 29 are rooted outside the project boundary, but are adjacent with canopies overhanging the project area and could be impacted by project development. Protected trees are identified in bold print and are listed under the Protected Tree column on Table 1.

No Heritage trees were identified on the project site.

Development Impacts

The assessment of development impacts to trees on the project site provided here is based on a site plan by Hanna-Brunetti dated October 2019. It is projected that 7 trees will be removed for project development. Trees projected for removal include one protected tree (tree #1), a coast live oak with a 12 inch diameter trunk currently in fair condition. The remaining 22 trees inventoried will not need to be removed, but could potentially be impacted by development activities and may require specific tree protection measures to insure long term health and survival. The Retain/Remove column on Table 1 indicates the projected impact status for each tree inventoried.

The list of trees to be removed in this report is preliminary. Once final site and grading plans are in place and project boundaries are clearly marked, plan should be reviewed again by a Certified Arborist to make a final determination regarding which trees will need to be removed and which can be retained. The Arborist should then develop a Tree Protection Plan to protect all retained trees from potential development impacts. At minimum, the Tree Protection Plan shall include protection elements outlined in the *Santa Clara County Guidelines for tree Protection and Preservation for Land Use Applications* document attached with this report. The Tree Protection Plan should be in place and all necessary tree protection measures implemented prior to the commencement of any demolition, grading, staging or construction activities.

TABLE 1. Results of Tree Survey, Lands of Nielson Lot 4, Metcalf Road, Santa Clara County, CA, November 1 2019

Tree #	Species	Trunk diameter @ 54" above ground (inches)	Approx. Height (feet)	Approx. Canopy Spread (feet)	General Condition**	Protected Tree	Retain/Remove
1	Coast live oak*	12	35	22	Fair	Yes	Remove
2	Northern black walnut	5.5	15	18	Poor	-	Remove
3	Coast live oak	11.5+12.5	42	25	Fair	Yes	Retain
4	Northern black walnut	8+5	20	15	Fair-Poor	-	Retain
5	Coast live oak	6	30	10	Fair	-	Retain
6	California bay	5	40	14	Fair	-	Retain
7	Coast live oak	12	30	18	Good	Yes	Retain
8	Coast live oak	6	25	10	Fair	-	Remove
9	Coast live oak	8	25	18	Fair-Poor	-	Remove
10	Coast live oak	7	35	15	Fair	-	Retain
11	Coast live oak	11	35	25	Fair-Poor	-	Retain
12	California bay	14+18+13+15+12	60	42	Fair	Yes	Retain
13	Coast live oak	7.5	18	8	Poor	-	Remove
14	Coast live oak	6.5@ 3'	24	10	Fair	-	Retain
15	California buckeye	7.5+4+7+4	22	26	Fair	-	Retain
16	Coast live oak	10.5	38	24	Good	-	Retain
17	Coast live oak	6.5	30	10	Fair	-	Remove
18	Coast live oak	8	32	12	Good	-	Remove
19	Coast live oak	8	25	10	Fair	-	Retain
20	Coast live oak	5	25	10	Fair	-	Retain
21	California buckeye	7+7	24	35	Fair	-	Retain
22	California buckeye	12+14+7+7+8+13+9+6+8	35	40	Good	Yes	Retain
23	Coast live oak	7.5	32	14	Fair	-	Retain
24	Coast live oak	5	25	12	Fair	-	Retain
25	California bay	6	35	12	Fair	-	Retain
26	California bay	19	48	35	Good	Yes	Retain
27	Coast live oak	26+25	40	50	Fair	Yes	Retain
28	California bay	28+22+14+22	60	50	Fair	Yes	Retain
29	Coast live oak	13	42	20	Good	Yes	Retain

* Species listed in bold font qualify as Protected Trees under Santa Clara County Ordinance Div. C16

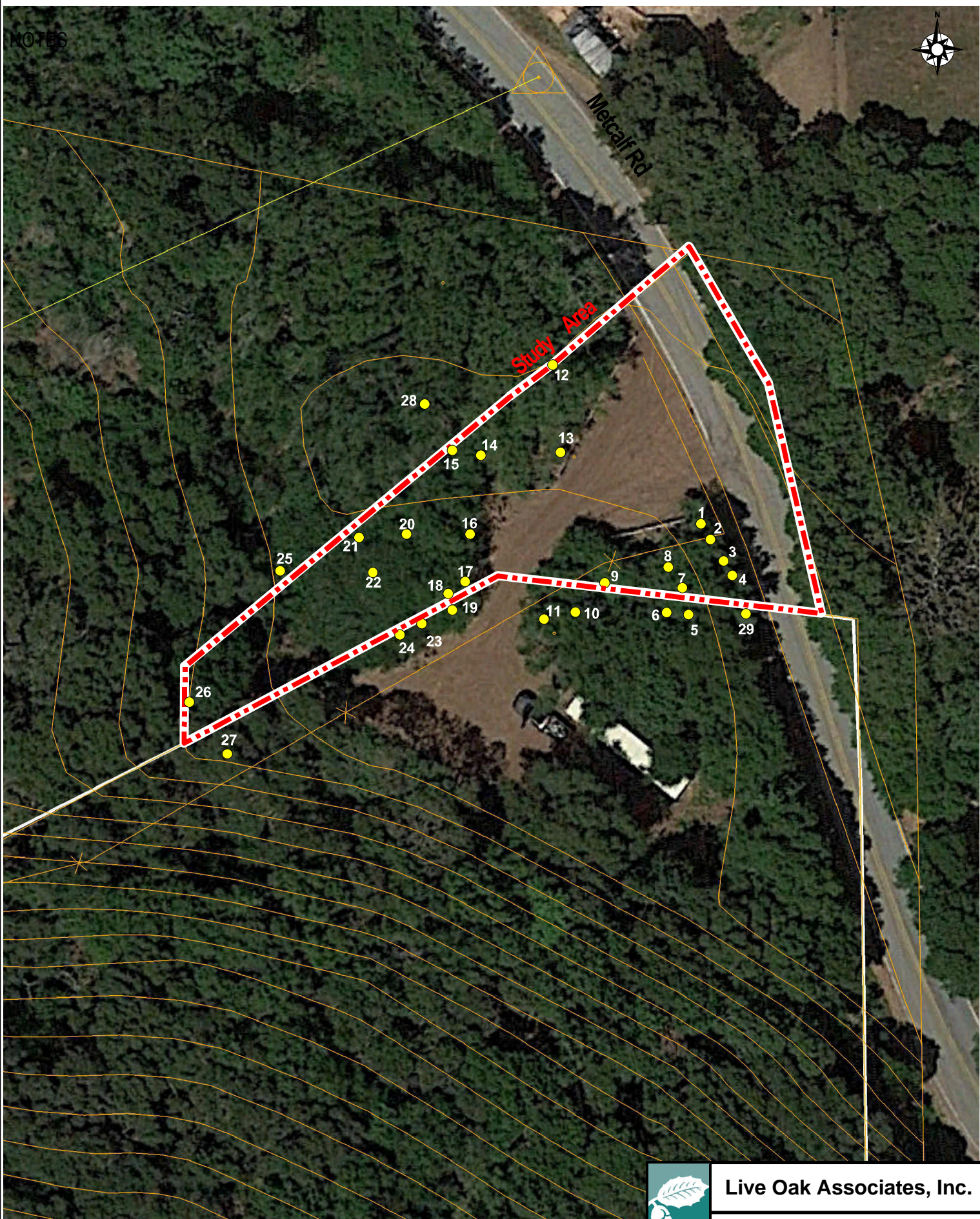
** Condition: **Good** = 80-100% healthy foliage and no significant defects; **Fair** = 50-79% healthy foliage and/or minor defects; **Poor** = 5-49% healthy foliage and/or other significant defects; **Dead** = less than 5% healthy foliage

NOTES



Metcalf Rd

Study Area



approximate scale

Base Map Provided by Hanna-Brunetti Engineers
Aerial Photo Courtesy of Google Earth 5/9/2018

Tree Location & Number



Live Oak Associates, Inc.

Nielsen Project, Metcalf Rd.
Tree Survey

Date	Project #	Figure #
11/4/2019	2330-02	2

Recommendation

Tree 22: This large “protected” California buckeye with multiple trunks totaling 73 inches of diameter and a canopy spread of approximately 40 feet is currently in good condition. As proposed, water tanks and associated grading and infrastructure are placed within the canopy dripline of this tree. To minimize impacts that could adversely affect long term health of the tree, it is recommended that the water tank location be moved to the southwest or other suitable location where all grading, trenching and infrastructure would be positioned outside the canopy dripline of this tree.

Tree replacement

Santa Clara County requires that all healthy native trees with a trunk diameter of 12 inches or more at 4.5 feet above the ground that are removed be replaced. Tree replacement ratios are outlined in the document *Santa Clara County Guidelines for tree Protection and Preservation for Land Use Applications* included as an attachment with this report.

Unless expressed otherwise, the evaluation of trees discussed in this report is limited to a visual examination of accessible parts without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the trees in question may not arise in the future.

If you have any questions regarding findings or other elements of this report, please feel free to contact me at (650) 563-9943 or (650) 208-0061.

Sincerely,



Neal Kramer
Certified Arborist #WE-7833A

Attachments:

Santa Clara County Guidelines for tree Protection and Preservation for Land Use Applications



SANTA CLARA COUNTY GUIDELINES FOR TREE PROTECTION AND PRESERVATION FOR LAND USE APPLICATIONS

PREAMBLE

These Guidelines for Tree Protection and Preservation are used by the Planning Office to evaluate how trees are protected, preserved, removed and replaced, as part of Planning review for Land Use approvals. In accordance with the County General Plan, County Tree Preservation and Protection Ordinance and other State statutes (California Environmental Quality Act (CEQA) and California Public Resources Code §21083.4, for Oak Woodland), tree protection and preservation is desired for the following purposes:

- A.** Preserve and protect the habitat for Wildlife Species (birds and animals)
- B.** Climate Control including:
 - Mitigation against Global Warming.
 - Dissipation of heat through shading
 - Improving Air Quality by absorbing air pollutants
 - Wind breaks, and regulation of local wind circulation.
- C.** Erosion Control and Protection against the risks of landslides and flash floods.
- D.** Enhancement of aesthetic and scenic beauty of the neighborhood and the County.
- E.** Protection of Property Values.
- F.** Protection of Heritage Tree Resources.

REGULATIONS GOVERNING TREE PRESERVATION

Trees removal and preservation is enforced under the following types of regulatory action:

a) Tree Removal Permit

Division C16 of the County Ordinance Code requires an Administrative Permit (Tree Removal Permits) and mitigation measures for removal of any protected tree, on any private or public property in designated areas of the County, including but not limited to “Hillsides”(parcels three acres or less), –d (Design Review) combining district, and any tree within the “-h1” Historic Preservation zoning district for New Almaden.

b) California Environmental Quality Act (CEQA)

Land Development that requires discretionary approvals by the Planning Office and requires review through the California Environmental Quality Act (CEQA), requires tree preservation measures and/or replacement ratios, for trees either proposed for removal or impacted by the development.

c) Oak Woodlands

California Public Resources Code §21083.4, effective January 1, 2005, requires Counties to evaluate impacts to Oak Woodlands as part of the environmental analysis conducted in compliance with the California Environmental Quality Act (CEQA). *The Santa Clara County Planning Office Guide to Evaluating Oak Woodlands Impacts* provides more information on the guidelines and requirements for oak trees proposed for removal (See *attachment*).

SITE PLAN REQUIREMENTS

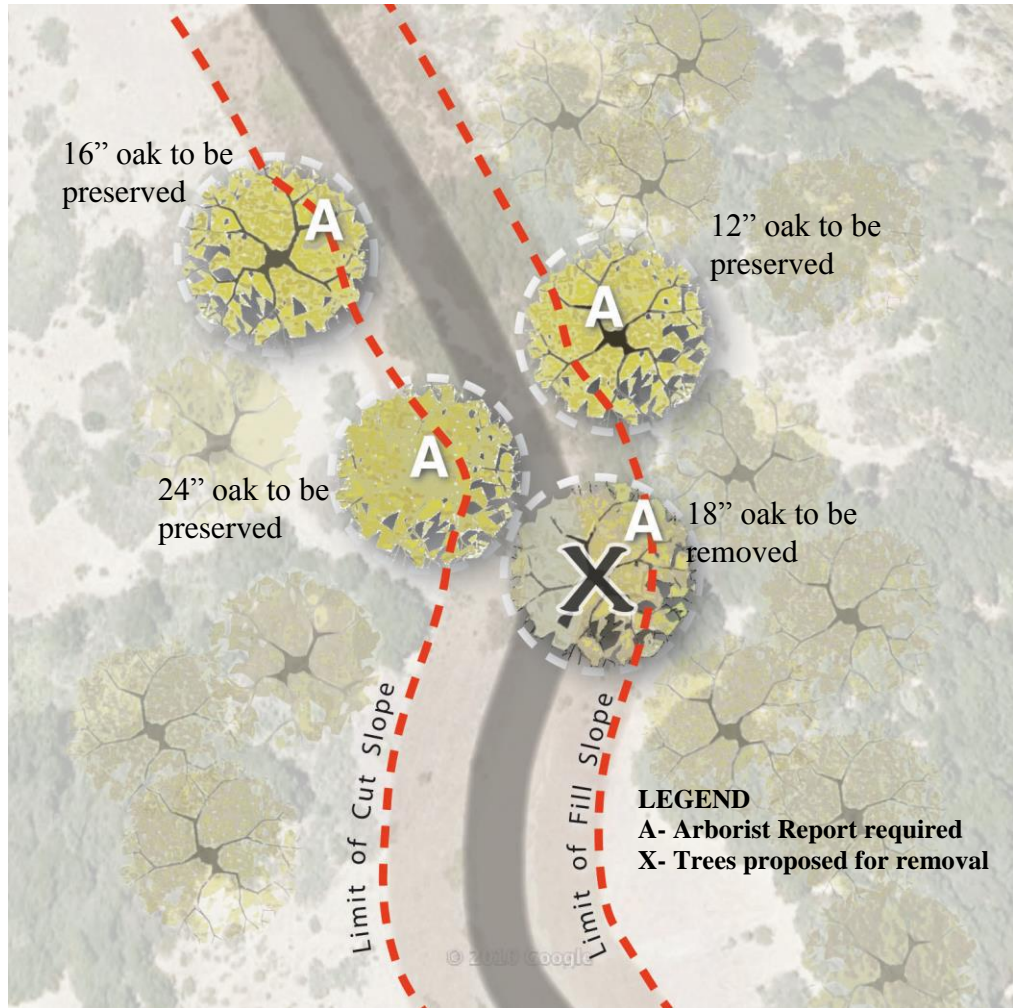
A land use approval that proposes removal of, or potential impact to existing tree(s) on site, shall provide the following information on the site plan.

- a) **Urban Districts** R1, R1E, R2, A1 (in Urban Service Area) R3, RHS, R1S (Stanford) and R1S (Multifamily):

Show on the site plan, and in a tabular format, the location, size and species of trees having a main trunk or stem measuring 37.7 inches or greater in circumference (12 inches or more in diameter) at a height of 4.5 feet above ground level, or in the case of multi-trunk trees a total of 75.4 inches in circumference (24 inches or more of the diameter) of all trunks to be removed or impacted by the development.

- b) **Rural Districts** A, A1, RR, AR, HS, RS, OS/F (Stanford):

Show on the site plan and in a tabular format, the location, size and species of all trees having a main trunk or stem measuring 15.7 inches or greater in circumference (5 inches or greater in diameter) that are at least 4.5 feet above ground, that are either proposed to be removed and/or with canopy within the development area that may be impacted by the project. (See *Graphic 1 below*).



Graphic 1: Trees that are impacted and need evaluation are those that are proposed for removal and/or where the canopy interfaces with proposed grading improvements.

NOTES:

1. Consistent with County Ordinance Code **Division C16 - Tree Preservation and Removal**, any Land Use application that proposes removal of trees as part of the scope of work shall provide a **justification statement** of the reasons for removal of the tree or trees.
2. If any trees are proposed for removal per the Wildland /Urban Interface (WUI) guidelines adopted by the Fire Marshal Office, then show the location and size of all trees impacted by the guidelines.

ARBORIST REPORT

An arborist report shall be required under the following circumstances:

- a) When a project is determined to have significant impact to either the health or maintenance of an identified tree (or trees), then an arborist report shall be required. (See *Graphic 1 above for a typical example*).
- b) When a parcel has oak woodland on the property, then an arborist report shall be required to determine if the proposed project will cause significant impact to the oak woodland. (See attachment '*The Santa Clara County Planning Office Guide to Evaluating Oak Woodlands*' for more information).

A typical arborist report shall be prepared by a I.S.A Certified Arborist ("Arborist") and must include the following specific information:

- location, type, species (shown in a tabular format and on the site plan) of all trees proposed for removal and trees with canopies within the development area.
- health, of the tree(s) impacted by the development.
- potential impacts of development, and
- recommended actions and mitigation measures regarding the tree or trees impacted by the development.

NOTE: An accurate representation of the canopy cover of trees greater than 15.7 inches in circumference (5 inches in diameter) must be represented in the site plans. Information presented in the arborist report shall match the nomenclature and notations in the site plans.

An arborist report should provide recommendations or mitigation measures for tree protection and preservation. In addition to adopting the recommendations of the arborist, the following measures should be adhered to.

PRESERVATION OF TREES/ MITIGATION MEASURES

In order to preserve and protect trees, where a proposed development includes grading and/or construction activities within the canopy of tree or trees, certain preservation and mitigation measures shall be required. These guidelines will address impacts and preservation measures from pre-construction and demolition, through post-construction.

I. Pre-Construction:

An Arborist shall review final grading / demolition / construction plans and make recommendations regarding preservation of all trees potentially

impacted by the proposed project, which are designated for preservation. If the Arborist concludes, with concurrence from the Planning Office, that the proposed improvements will result in damage and subsequent irreversible loss of additional trees on site, replacement mitigation shall be required.

Final grading / construction plans shall clearly identify the size and species of all trees proposed for removal, consistent with the arborist plan review report. For each tree designated for removal, replacement shall occur at the replacement ratios stated below.

II. Tree Protection

a) Fencing:

All trees to be retained shall be protected with chain link fencing or other rigid fence enclosure acceptable by the Planning Office.

Fenced enclosures for trees to be protected shall be erected at the dripline of trees or as established by the Arborist to establish the Tree Protective Zone (TPZ) in which no soil disturbance is permitted and activities are restricted.

All trees to be preserved shall be protected with minimum 5-foot high fences. Fences are to be mounted on 2-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2 feet, at no more than 10-foot spacing (See detail, available at www.sccplanning.org). This detail shall appear on grading, demolition and building permit plans.

Tree fencing shall be erected before any demolition, grading or construction begins and remain in place until the Final Inspection.

b) "Warning" Signs

A warning sign shall be prominently displayed on each tree protective fence per the requirements of development pursuant to the Santa Clara County Planning Office. (*See attached Example*). The signs are available at the Planning and Building Inspection Offices or at www.sccplanning.org.

c) Irrigation Program

Irrigate to wet the soil within the TPZ during the dry season as specified by the Project Arborist.

d) Dust Control Program

During periods of extended drought, or grading, spray trunk, limbs and foliage to remove accumulated construction dust.

e) *Soil Compaction Damage/ Mulching*

Compaction of the soil causes a significant impact to trees during construction. If compaction to the upper 12-inch soil within the TPZ has occurred or is proposed, then one or more of the following mitigation measures shall be implemented as recommended by the Arborist or the County Planning Office.

- A. Four-inches of chip bark mulching shall be placed on top of the TPZ and enclosed with the tree protective fencing as prescribed in the County protective fencing measures.
- B. If compaction of the root system, may result in possible suffocation of the root system, a soil aeration system shall be installed as designed and specified by an Arborist.
- C. Paving/Hardscape and other soil compacting material that encroaches within the TPZ, should include an aeration system designed by an Arborist.

III. During construction

All tree protection measures as recommended by a certified Arborist shall be shown on the final grading/ construction or landscape plans and adhered to during construction. The Arborist shall monitor construction activity to ensure that the tree protection measures are implemented, and submit a Construction Observation Letter to the Planning Office for approval, prior to final inspection, summarizing the results of the monitoring activity and resulting health of trees designated for preservation onsite.

IV. Post-Construction Monitoring

The following may be required based on project specific circumstances:

An Arborist shall submit to the Planning Office two (2) copies of a monitoring report annually from the date of final inspection. The report shall show compliance with the tree protection conditions of approval and verification that all trees are in good health.

REPLACEMENT OF TREES

The following guidelines shall be imposed as conditions when a proposed development entails removal of trees or may significantly impact the health and vigor of trees within the development area of the proposed project.

All healthy native trees 12 inches in diameter or more (at 4.5 feet above the ground) proposed for removal shall be replaced.

- Replacement trees should be native, and like for like. (See *Appendix D Santa Clara County native/ naturalized trees list attached*).
- Oak trees shall be replaced with oak trees (no exceptions taken).
- No tree removal shall be permitted until such grading or building permit has been issued by the County as indicated on approved plans. The number of trees cut may not exceed the minimum number necessary to carry out the permitted action.

Additional conditions may need to be established for scheduled arborist reports, and stipulations on replanting replacement trees in the case that the original replacement trees die.

Tree Replanting Ratios

Generally, the following are the replacement ratios:

For the removal of one small tree (5- 18 inches):

(3) 15 gallon trees, or (2) 24-inch box trees.

For the removal of one medium tree (18 – 24 inches):

(4) 15 gallon trees or (3) 24-inch box trees.

For the removal of a tree larger than 24 inches

(5) 15 gallon trees or (4) 24-inch box trees.

NOTE: Based on the following variability of factors, tree replacement ratios may vary for each project. Tree replacement can be dependant upon the size of the canopy of removed trees, number of trees, size of trees, type of trees, and steepness of slope of trees to be removed; or amount of room available on a parcel in which trees can be planted. On properties where there is limited room to plant replacement trees, fewer replacement trees may be authorized.

NOTE: If the project has the potential to cause significant impact to Oak Woodland as stated in *The Santa Clara County Planning Office Guide to Evaluating Oak Woodlands Impacts*, then additional mitigation measures will be required. (See *attachment for more information*).

This document is intended to provide guidance in applying certain Land Use Code regulations and is for informational use only. It cannot be used as a substitute for the Land Use Code or for other codes, such as the Construction Codes. Additional information is available from the Planning and