

County of Santa Clara

Department of Planning and Development
Planning Office

County Government Center, East Wing, 7th Floor
70 West Hedding Street
San Jose, California 95110-1705
(408) 299-5770 FAX (408) 288-9198
www.sccplanning.org



STAFF REPORT Zoning Administration October 8, 2020 **Item #4**

Staff Contact: Xue Ling, Associate Planner
(408) 299-5784, xue.ling@pln.sccgov.org

File: PLN19-0183

Design Review Approval (Tier 2) and Grading Approval for a New Single-Family Residence

Summary: Design Review Approval (Tier 2) and Grading Approval for a 12,170 square-foot single-family residence with attached garages, and associated site improvements, including a driveway and septic system. Ten (10) ordinance-protected trees are proposed to be removed. Grading consists of approximately 2,570 cubic yards of cut and 2,625 cubic yards of fill (total 5,195 cubic yards).

Owner: Vittorio and Stephanie Del Monaco

Applicant: Isabeau Guglielmo

Address: 2940 Paseo Robles, San Martin

APN: 825-29-016

Supervisory District: 1

Gen. Plan Designation: Hillsides

Zoning: HS-d1

Lot Size: 10 acres

Present Land Use: Single-family Residence

HCP: in HCP Area

RECOMMENDED ACTIONS

- A. Accept a Categorical Exemption, under Section 15303 (Class3)(a) of the CEQA Guidelines, Attachment A; and
- B. Grant Design Review Approval and Grading Approval, pursuant to Conditions of Approval outlined in Attachment B.

ATTACHMENTS INCLUDED

Attachment A – CEQA Determination
Attachment B – Preliminary Conditions of Approval
Attachment C – Plans and Vicinity Map
Attachment D – Color Samples
Attachment E – Tract Map No. 5964

PROJECT DESCRIPTION

The proposed project includes a request for Design Review Approval (Tier II) and Grading Approval for a concurrent land use entitlement to demolish an existing 900 square-foot home and construct a new 12,170 square-foot single-family residence with attached garage. All existing structures would be removed, including one single-family residence, one wood stable, two detached garages, and retaining walls, except for two existing driveways and septic system to be retained and upgraded. Associated site improvements include new fencing, retaining walls ranging from one (1) foot to five (5) feet tall at the front and rear of the residence, and a storm drainage bioswale adjacent to the driveway. Water is provided by Rancho Robles Mutual Water and Road Company. The proposed residence would utilize the building pads of two existing garages, located on a relatively flat portion of the lot. The maximum height of the proposed one (1) story residence is twenty-eight (28) feet tall, where 35 feet is allowed by Zoning Ordinance. Proposed grading quantities consist of 2,570 cubic yards of cut and 2,625 cubic yards of fill (total 5,195 cubic yards) for improving the existing building pad and driveways and creating modest landscape areas.

A total of eighteen (18) trees are proposed to be removed, with ten (10) ordinance-protected trees proposed for removal (trunk diameter of twelve (12) inches or greater measured four feet from grade). Replacement of twenty-five (25) 24-inch box California native trees are required based on the sizes of the removal trees per the County Tree Protection Guidelines. As shown on the submitted Overall Screening Plan (Sheet L6), thirty (30) replacement trees are proposed by the applicant to provide additional screening.

The site is located in the Santa Clara Valley Habitat Plan Area, Area 1-Private Development Covered. With more than 5,000 square-foot new impervious surface being proposed, the proposed development is a covered project. Prior to issuance of any development permits, a completed Habitat Application for Private Projects must be submitted with landcover fees (land cover loss due to permanent development) and temporary development fees (construction disturbance on land cover less than two (2) years). Detailed information is included as Conditions of Approval in Attachment B.

Setting/Location Information

The 10-acre parcel is currently developed with one single-family residence in a gated community named Rancho Robles in San Martin. The community is comprised of single-family residences on similar sized lots, where the subject property is located at the south edge, abutting Coyote Lake Harvey Bear Ranch Park. As legally created through a 37-lot Subdivision in 1976 (County file 22S76.22) (see Attachment E), the property is an approved building site. A 'Y' shaped fifteen (15)-foot-wide storm drain easement across the site is recorded on the Tract Map; however, no creeks exist on the property.

REASONS FOR RECOMMENDATIONS

A. Environmental Review and Determination (CEQA)

The proposed project's environmental impacts were analyzed, resulting in a Categorical Exemption (See Attachment A). The aesthetic impacts of the proposed project are addressed through the required design review process. Landscaping, and other design

measures including Light Reflectivity Value (LRV) contribute to avoiding aesthetic impacts. The project will not create any new environmental impacts and new development is occurring in the same footprint as two existing structures are located. Also, there are no special status species or habitat mapped on the site. As such, the project qualifies for a Class 3, Section 15303 (a) new single-family residence Exemption from CEQA.

B. Project/Proposal

1. **General Plan:** Hillsides
2. **Approved Building Site:** The site is an approved building site per a subdivision recorded in December 1976 by the County (File 22S76.22, Tract Map No. 5964, Lot 11) (see Attached E).
3. **Zoning Standards:** The Zoning Ordinance specifies the required development standards for HS-d1 Zoning District, as summarized below, followed by Table A, noting the project's conformance with Section 3.20.040 "-d1" Combining District:

Setbacks (HS):	30-feet from all property lines (front, side, and rear)
Height:	35-feet
Stories:	3-stories

Table A: Compliance with Development Standards for -d1 Combining District

STANDARDS & REQUIREMENTS	CODE SECTION	Assessed (Y)*
Siting	§ 3.20.040 (A)(2)(b)	Y
Story Poles	§ 3.20.040 (A)(2)(c)	Y
Color & LRV	§ 3.20.040 (B)	Y
Building Form & Massing	§ 3.20.040 (C)	Y
Retaining Walls	§ 3.20.040 (D)	Y
Ridgeline Development	§ 3.20.040 (E)	N/A
Design Review Guidelines	§ 3.20.040 (F)	Y

C. Design Review Findings

All Design Review applications are subject to the scope of review as listed in §5.50.040 of the County Zoning Ordinance. The overall purpose of design review is to encourage quality design and mitigate potential adverse visual impacts of development. In the following discussion, the scope of review criteria is in **bold**, and an explanation of how the project meets the required standard is in plain text below.

1. Mitigation of any adverse visual impacts from proposed structures, grading, vegetation removal and landscaping;

According to GIS visibility layers, the proposed building site is located within an area of low visibility, as seen from the valley floor, where the rear of the residence and the pool are exposed to. The proposed single-story residence will replace four existing structures, significantly reducing the overall building footprint on the lot. The proposed residence

utilizes the building pads of two existing garages and incorporates a tiered design approach with varied rooflines, consistent with the County *Design Review Guidelines*. Natural colors and materials with a Light Reflectivity Value (LRV) of 45 or less are proposed in order to blend with the surrounding landscape. Proposed grading includes 3:1 slopes that are adequately contour graded to blend with the surrounding terrain and minimize visibility.

The project proposes to remove a total of eighteen (18) trees on or adjacent to the proposed building pads and driveways. Among them, ten (10) ordinance-protected trees with trunk diameters of twelve (12) inches or greater require replacement of twenty-five (25) 24-inch box California native trees, based on the County *Guidelines for Tree Protection and Preservation for Land Use Applications*. The submitted Overall Screening Plan, prepared by Kikuchi + Kankel Design Group on July 28, 2020 (Sheet L6), proposes replacement trees to the north, south, and east side of the residence, together with a series of shrubs and tall grasses adjacent to all facades of the residence and retaining walls. The proposed landscape adequately decreases the house's visibility to the Coyote Lake County Park on the south and reduces the apparent height of the rear elevation to the valley floor. As in the Condition of Approval, staff also recommends a final landscape plan to be approved prior to the issuance of any grading or building permits that is consistent with and the landscape plan presented in this report.

For the reasons stated above, adequate mitigation of any potential adverse impacts related to vegetation removal, proposed landscaping and grading have been provided, and this finding can be made.

2. Compatibility with the natural environment;

The proposed development is located on a gentle slope of the site, utilizing the existing driveways and the building pads of two (2) to-be-removed structures. Another two existing structures, including a residence and a wood stable, as well as portions of the existing driveway leading to these structures, are proposed to be removed. The land beneath the residence, wood stable and associated driveways are to be converted back into its natural landscape. Proposed contours adjacent to the residence will be established at a 3:1 slope to minimize grading and blend with the surrounding terrain. The project includes 380-foot long tiered retaining walls at the front of the house to create a driveway extension to the garage. The retaining walls are hidden behind the steep slope from upper Paseo Robles Road and the building pad below, which is not visible from the valley floor or the road. The tiered design blends with the natural contours of the site and lowers the retaining wall height to be five (5) feet or under. In addition, screening landscaping is proposed at the above-mentioned retaining walls and another 135-foot long, 4.5-foot tall retaining wall to the rear of the residence to blend with the natural environment.

Currently, the majority of the site is covered by tall grasses and shrubs. A cluster of trees within the proposed residence footprint and adjacent to the existing driveways are proposed to be removed. As mentioned above, a Condition of Approval requires tree

replacement and additional screening landscape along the driveway and adjacent to the home to help blend the proposed structures into the natural environment. The required landscaping can be found on Sheet L6 of the project plans. Thus, the proposed residence is designed to be compatible with the natural environment, and this finding can be made.

3. Conformance with the “*Design Review Guidelines*,” adopted by the Board of Supervisors;

The site design preserves existing natural features by utilizing the existing building pads and driveway and maintaining the terrain surrounding the proposed construction. Despite the size of the existing circular driveway, its design follows the natural contours and improvement is proposed only when necessary, thereby the overall grading design minimizes grading. The geometrical building form follows the natural contours of the land by breaking down the massing into multiple sectors. A 28.3-foot tall core space connects two wings of living space and the attached garage and carport, creating undulating façades and varied roof heights. The proposed exterior facades utilize multiple materials, such as stone veneer and earth-toned colors. Exterior colors for the house façade, trim, and roof materials all have a Light Reflective Value (LRV) of 45 or less. In addition, details such as columns and rhythmic windows produce patterns of light and shadow.

Open fences of black vinyl wire attached to wood posts are proposed along all property lines. The fence along the south property line without any access from the property to Coyote Lake Park is requested by the Planning Division of County Parks. All proposed retaining walls are limited to a maximum height of five (5) feet tall, with ornamental trees and shrubs proposed in front of the retaining walls to reduce the apparent height and screen them from view. As discussed above, thirty (30) 24-inch box California native trees will be planted (as a Condition of Approval) adjacent to the building pad to provide additional screening, as well as provide biotic habitat replacement for ordinance-protected trees removed. Therefore, the project conforms with the County *Design Review Guidelines*, and this finding can be made.

4. Compatibility with the neighborhood and adjacent development;

The subject property is located in a gated community, which consists of single-family residences ranging in size between 3,000 to 6,000 square feet. There are several two (2)-story buildings within the immediate neighborhood. The homeowner association’s architectural committee reviews all new development within the community and has approved the proposed design. Although larger than the existing homes within the neighborhood, the 12,170 square-foot residence would be in keeping with the neighborhood characteristics in terms of architectural style, which are more modern and contemporary designs. Architectural features of tiered roofs, extended entry porch, and semi-enclosed rear yard create undulating walls for the residence to avoid expansive facades. Additionally, the design incorporates various materials (such as earth-toned colors and stone veneer) along the structure facades to help break up the structure’s appearance. As such, the project will not be obtrusive or stand out compared to other

developed parcels in the immediate vicinity and is compatible with the immediate neighborhood. For these reasons, this finding can be made.

5. Compliance with applicable zoning district regulations; and

Single-family residences are allowed uses within the Hillside (HS) zoning district. As proposed, the project complies with the HS zoning regulations, including required setbacks (30-feet from all property lines or easement) and height requirements. The proposed site and architectural design are also in keeping with the Santa Clara Design Review standards in that the building massing and exterior colors of less than 45 LRV will minimize visual impacts. The maximum height of the proposed one (1) story residence is twenty-eight (28) feet tall, where 35 feet is allowed by Zoning Ordinance. As noted previously, the residence is proposed at previously graded areas and utilizes the existing driveways. The proposed retaining walls to the front are designed to have a terraced look, blending in with the natural contours of the surrounding landscaping. A summary of conformance with the County's Design Review development standards can be found in Section B(2) of this Staff Report. As such, the project is in compliance with applicable zoning district regulations, and this finding can be made.

6. Conformance with the general plan, any applicable specific plan, or any other applicable guidelines.

The General Plan Growth and Development Chapter for Rural Unincorporated Areas contains specific policies under Strategy No. 3, to *Ensure Environmentally Safe and Aesthetic Hillside Development*. R-GD17 requires "*Design Review Zoning Districts, including Design Review Guidelines, shall apply to primary viewshed areas most immediately and directly visible from the valley floor, lands up to and including the first ridge, or those within approximately one to two miles distance from the edge of the valley floor.*" R-GD 25(a) recommends "*erosion control, landscaping or plantings, retaining wall design, and other design features may be imposed where necessary to ensure that completed work blends as harmoniously as possible with the natural environment and landscape.*" Design Review is required in this case since the project is located in the Design Review (-d1) zoning districts. As conditioned, a final landscape plan with replacement trees and shrubbery planting materials will provide additional screening of the proposed structure, as seen from the County Park and the valley floor. This plan will be required to be consistent with the landscape plan presented on Sheet L6 of the project plans that would be approved with this report. Natural colors and materials with an LRV below 45 are shown on plans to blend the residence with the surrounding environment. As conditioned, the project will be in conformance with the General Plan and this finding can be made.

D. Grading Findings:

Pursuant to Section C12-433, all Grading Approvals are subject to specific findings. In the following discussion, the scope of review findings are listed in **bold**, and an explanation of how the project meets the required standard is in plain text below.

1. The amount, design, location, and the nature of any proposed grading is necessary to establish or maintain a use presently permitted by law on the property.

The proposed grading quantities for the project include 2,570 cubic yards of cut and 2,625 cubic yards of fill (total 5,195 cubic yards). The single-story, 12,170 square-foot residence would utilize the existing driveway and existing building pads that previously have been graded. As identified on three site sections (Sheet L2), the building pad and finish floor elevation is situated in a location requiring the minimal grading and vertical fill for the proposed development. A total of 1,260 cubic yards of cut is to extend the driveway to the garages and improve the existing driveway and fire truck turnaround in accordance with current engineering standards. Grading is also proposed to establish modest landscape areas adjacent to the residence and the tiered landscaped retaining walls, as well as to blend the rear retaining wall with natural contours to lower the visibility of the residence from the valley floor and the County Park. The grading design balances the total cut and fill volume and is necessary and appropriate to establish single-family residential uses, permissible in the HS zoning district. For these reasons, this finding can be made.

2. The grading will not endanger public and/or private property, endanger public health and safety, will not result in excessive deposition of debris or soil sediments on any public right-of-way, or impair any spring or existing watercourse.

The proposed project will not create any export to public or private property. Standard Conditions of Approval and requirements of final grading plans will ensure that grading around the building pad will not result in slope instability or erosion. No watercourses are located on the subject site. However, a 'Y' shaped fifteen (15)-foot wide storm drain easement is recorded on Subdivision Map No.5964, where portions of the existing structures, driveways, and retaining walls are located. The applicant proposes to remove an existing residence, a wood stable, portions of the existing driveways leading to these structures, and site retaining walls in order to maintain the easement. Although another circular driveway to be retained is also located within the easement, new trench drains and a four (4)-foot wide gravel swale are proposed to provide continuous flow at the driveway to maintain drainage in place. The proposal has been approved by the County Land Development Engineering Division. Therefore, the grading will not endanger the public and/or private property, public health and safety, nor result in excessive deposition of debris or soil sediments on any public right-of-way, or impair any spring or existing watercourse, and this finding can be made.

3. Grading will minimize impacts to the natural landscape, scenic, biological and aquatic resources, and minimize erosion impacts.

The proposed grading has been designed to contour and blend with the natural topography to the maximum extent possible. The proposed building pad is situated on the most suitable and flattest portion of the lot, where previously has been graded and used as existing building pads. A large area previously developed for another two structures and driveways are proposed to be converted back to its natural state.

The grading will not impose any significant impacts on the natural landscape, biological, or aquatic resources. There are no creeks or other watercourses on the property. The majority of the onsite landscape will be preserved except eighteen (18) trees on or adjacent to the building pad or driveways. Thirty (30) California native trees are proposed for the replacement of eighteen (18) trees to be removed. In addition, a water-efficient landscape is proposed adjacent to blend the development with the natural landscape, as illustrated on the submitted Overall Screening Plan (Sheet L6). There are no special status species or habitat mapped on the site. The subject property is located within Santa Clara County Habitat Plan Land Cover Fee Zone B (Agricultural and Valley Floor Lands). Land Cover Impact Fees would be required prior to issuance of any permits, as included a Condition of Approval. Therefore, the proposed grading will minimize impacts to the natural landscape and resources, and minimize erosion impacts, and this finding can be made.

4. For grading associated with a new building or development site, the subject site shall be one that minimizes grading in comparison with other available development sites, taking into consideration other development constraints and regulations applicable to the project.

The proposed grading is related to serving the new residence and driveway and designed to follow the natural contours of the property to the maximum extent possible. The single-story, 12,170 square-foot residence utilizes the existing driveways and building pads that previously have been graded. As mentioned above, the building pad and finish floor elevation is situated in a location that requires the minimal grading and vertical fill for the proposed development. Furthermore, the proposed building pad is in an area of low visibility, while other alternative locations on the site are in areas of high to medium high visibility to the valley floor. The storm drain easement also limits the developable areas on the lot. Given the constraints mentioned above, the subject site shall be one that minimizes grading in comparison with other available development sites, and this finding can be made.

5. Grading and associated improvements will conform with the natural terrain and existing topography of the site as much as possible, and should not create a significant visual scar.

The proposed grading is designed to conform with the natural terrain and existing topography and will not create a significant visual scar, as mitigated and conditioned. The residence and the portions of the new driveway are designed and situated parallel to the existing contours. The proposed replacement trees and shrubs immediately surround the footprint of the home and the retaining walls, which will decrease visibility of the proposed graded area. Furthermore, all graded contours will be established with a 3:1 slope, thereby blending with the existing natural contours that will be maintained on the majority of the lot. As such, the proposed grading meets this finding.

6. Grading conforms with any applicable general plan or specific plan policies; and

The proposed grading is in conformance with specific findings and policies identified in the County General Plan. The proposed project utilizes existing building pads and driveways and is situated in an area that requires minimal necessary grading. Such design minimizes grading and reduces visual impacts from hillside development in keeping with General Plan policies R-GD 25 and 26, which requires ‘*Grading associated with roads, bridges, retaining walls, or similar improvements related to access requirements should not create a significant visual scar or impact to the environment,*’ and discourages ‘*excessive, non-essential grading.*’ No specific plan applies to the project. For these reasons, this finding can be made.

7. Grading substantially conforms with the adopted "*Guidelines for Grading and Hillside Development*" and other applicable guidelines adopted by the County.

The proposed grading is in conformance with the adopted “*Guidelines for Grading and Hillside Development,*” in particular, the specific guidelines for siting, road design, building form, and design. The residence utilizes the existing building pads and driveways in keeping with “*proposed development in areas with level lands or gentler slopes, adjacent to existing infrastructure, minimizing the need for grading and longer driveways into hillside areas,*” and “*where feasible, use existing access roads and driveways, instead of creating new and multiple driveways.*” In addition, all retaining walls do not exceed five (5) feet in height and follow the existing hillside contours, which will minimize visual impacts to the County Park and the valley floor.

Furthermore, replacement trees are required, per the County *Guidelines for Tree Protection and Preservation for Land Use Applications*, which will decrease the potential visual impacts of the proposed development. Therefore, the proposed grading is designed to follow the natural terrain, minimize grading, and reduce visual impacts of the hillside development and is in keeping with General Plan Policies.

BACKGROUND

On August 21, 2019, the property owner submitted the Design Review Approval (Tier 2) and Grading Approval applications for a concurrent land use entitlement. The original application included a new residence and pool and retained the existing wood stable and driveways. The initial incomplete letter was issued on September 19, 2019, outlining issues with the proposed site location, grading, driveway improvement, easement retention, and septic system concerns.

The applicant resubmitted on several occasions, shifting the proposed building pad to reduce the maximum vertical fill from ten (10) feet to 7.6 feet, and removing the existing wood stable and portions of the existing driveway leading to the structure. The applicant made the final resubmittal submitted on August 4, 2020. The project was subsequently deemed complete for processing on September 1, 2020. A public notice was mailed to all property owners within a 300 radius on September 28, 2020 and was also published in the Post Records on September 28, 2020.

STAFF REPORT REVIEW

Prepared by: Xue Ling, Associate Planner



Reviewed by: Leza Mikhail, Principal Planner & Zoning Administrator

DocuSigned by:

4272684C30A646B...


Attachment A

Statement Of Exemption from the California Environmental Quality Act (CEQA)

Attachment A

STATEMENT OF EXEMPTION

from the California Environmental Quality Act (CEQA)

FILE NUMBER	APN(S)	
PLN19-0183	825-29-016	9/30/2020
PROJECT NAME	APPLICATION TYPE	
Single-Family Residence; 2940 Paseo Robles, San Martin, CA, 93446	Design Review Approval (Tier 2) and Grading Approval	
OWNER	APPLICANT	
Vittorio Del Monaco and Stephanie Del Monaco	Isabeau Guglielmo	
PROJECT LOCATION		
2940 Paseo Robles, San Martin, CA, 93446		
PROJECT DESCRIPTION		
<p>Design Review Approval (Tier 2) and Grading Approval for the demolition of an existing residence and ancillary structures, and the construction of a new a 12,170 square-foot single-family residence with attached garages, and associated site improvements, including driveway and septic system. Ten (10) ordinance-protected trees are proposed to be removed. Grading consists of approximately 2,570 cubic yards of cut and 2,625 cubic yards of fill (total 5,195 cubic yards).</p> <p>All discretionary development permits processed by the County Planning Office must be evaluated for compliance with the California Environmental Quality Act (CEQA) of 1970 (as amended). Projects which meet criteria listed under CEQA may be deemed exempt from environmental review. The project described above has been evaluated by Planning Staff under the provisions of CEQA and has been deemed to be exempt from further environmental review per the provision(s) listed below.</p>		
CEQA (GUIDELINES) EXEMPTION SECTION		
Section 15303(a) - Class 3(a): One single-family residence in a residential zone.		
COMMENTS		
<p>The subject property is located in a rural area of similar sized lots and developed with single family residences of similar size. The new residence will utilize existing driveways and building pads. Ten (10) trees with a diameter of twelve (12)-inch or greater will be removed. Tree replacement is provided per the County Guidelines for Tree Protection and Preservation for Land Use Applications. No special status species or habitat exists on the site, and the project will not create any impacts to a watercourse, or sensitive or protected wildlife or plant species.</p>		
APPROVED BY:		
Xue Ling, Associate Planner	 _____ Signature	10/08/2020 _____ Date

Attachment B

Preliminary Design Review (Tier II) And Grading Approval Conditions Of Approval

ATTACHMENT B PRELIMINARY DESIGN REVIEW (TIER II) AND GRADING APPROVAL CONDITIONS OF APPROVAL

Date: October 8, 2020

Owner/Applicant: Vittorio and Stephanie Del Monaco

Location: 2940 Paseo Robles, San Martin, CA (APN: 825-29-016)

File Number: PLN19-0183

CEQA: Categorically Exempt – Section 15303, Class 3(a)

Project Description: Concurrent Land Use Entitlement for a Design Review Approval (Tier 2) and Grading Approval for a 12,170 square-foot single-family residence with attached garages. Associated site improvements include an improved driveway and septic system. Ten (10) ordinance-protected trees are proposed to be removed. Grading consists of approximately 2,570 cubic yards of cut and 2,625 cubic yards of fill (total 5,195 cubic yards). Approval is based on plans submitted on August 4, 2020.

The site is an approved building site, pursuant to Tract Map No. 5964. The project is a covered project by the Santa Clara Valley Habitat Plan.

If you have any question regarding the following final conditions of approval, call the person whose name is listed below as the contact for that agency. She/he represents a specialty and can provide details about the conditions of approval.

Agency	Name	Phone	E-mail
Planning	Xue Ling	(408) 299- 5784	xue.ling@pln.sccgov.org
Environmental Health	Darrin Lee	(408) 299 – 5748	darrin.lee@cep.sccgov.org
Fire Marshal	Alex Goff	(408) 299 – 5763	alex.goff@sccfd.org
Land Development Engineering	Darrell Wong	(408) 299 - 5735	darrell.wong@pln.sccgov.org
Geology	Jim Baker	(408) 299 - 5774	jim.baker@pln.sccgov.org
County Park	Jeremy Farr	(408) 355 - 2360	jeremy.farr@prk.sccgov.org
Building Inspection		(408) 299 - 5700	

STANDARD CONDITIONS OF APPROVAL

Building Inspection

1. For detailed information about the requirements for a building permit, obtain a Building Permit Application Instruction handout from the Building Inspection Office or visit the website at www.sccbuilding.org.

Planning

2. Development must take place in substantial conformance with the approved plans, submitted

on August 4, 2020 and the Conditions of Approval. Any changes to the proposed project, or any increase in grading quantities, or modification to the grading or design may require a Design Review or Grading Approval modification and associated fees, as may result in additional environmental review, pursuant to the California Environmental Quality Act.

3. This approval does not otherwise approve any unpermitted structures located on the property. All structures and grading located within Santa Clara County jurisdiction that require a permit are subject to compliance with and issuance of County permits.
4. Building and grading permits shall be submitted to the Building Inspection Office concurrently.
5. Existing zoning is HS-d1 (Hillsides - Combined Design Review District). Maintain the following minimum dwelling setbacks (Zoning Ordinance Sections 2.20.030 and 3.20.040):

Front: 30 feet	Sides: 30 feet	Rear: 30 feet
----------------	----------------	---------------

 The maximum height of dwellings is 35 feet and shall not exceed three (3) stories.
6. Two (2) off-street parking spaces are required, one (1) of which must be covered.
7. With the exception of trim and minor details, the exterior surfaces of the house shall be painted muted colors with a light reflectivity value (LRV) of 45 or lower and shall be consistent with the color samples provided with this approval.

Archaeological Resources

8. In the event that human skeletal remains are encountered, the applicant is required by County Ordinance No. B6-18 to immediately notify the County Coroner. Upon determination by the County Coroner that the remains are Native American, the coroner shall contact the California Native American Heritage Commission, pursuant to subdivision (c) of section 7050.5 of the Health and Safety Code and the County Coordinator of Indian affairs. No further disturbance of the site may be made except as authorized by the County Coordinator of Indian Affairs in accordance with the provisions of state law and this chapter. If artifacts are found on the site a qualified archaeologist shall be contacted along with the County Planning Office. No further disturbance of the artifacts may be made except as authorized by the County Planning Office.

9.

Land Development Engineering

10. Property owner is responsible for the adequacy of any drainage facilities and for the continued maintenance thereof in a manner that will preclude any hazard to life, health or damage to adjoining property.

Environmental Health

11. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m. on weekdays and Saturdays, or at any time on Sundays for the duration of construction.

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO FINAL GRADING AND BUILDING PERMIT ISSUANCE

Planning

12. **Prior to issuance of any permits**, the applicant shall pay all reasonable costs associated with the work by the Department of Planning and Development.
13. **Prior to issuance of a building permit**, and pursuant to Zoning Ordinance Section 5.20.125 record a Notice of Permit and Conditions with the County Office of Clerk-Recorder to ensure that successor property owners are aware that certain conditions of approval shall have enduring obligation. Evidence of such recordation shall be provided **prior to building permit issuance**.
14. **Prior to issuance of a building permit**, apply for and obtain demolition permits for the buildings to be demolished.
15. **Prior to issuance of a building permit**, submit final color samples for the house facade, trim and roof indicating the Light Reflectivity Value (LRV) is less than or equal to 45 LRV, pursuant to Zoning Ordinance Section 3.20.040B, consistent with the project, color samples and plans approved at the October 8, 2020 Zoning Administration Hearing.

Tree Protection

16. **Grading and building plans** shall clearly identify the size and species of all trees proposed for removal. For each tree Twelve (12)-inches (diameter) or greater designated for removal, replacement shall occur per the County of Santa Clara *Guidelines for Tree Protection and Preservation for Land Use Applications*. The following tree replacement ratios apply:

- For the removal of one small tree (5- 18 inches):
(3) 15 gallon trees, or (2) 24-inch box trees.
- For the removal of one medium tree (18 – 24 inches):
(4) 15 gallon trees or (3) 24-inch box trees.
- For the removal of a tree larger than 24 inches
(5) 15 gallon trees or (4) 24-inch box trees.

The project proposes to remove ten (10) trees with trunk diameters of 12 inches or greater per Tree Removal Plan submitted on August 04, 2020. Based on the size of the trees to be removed, replacement of twenty-five (25) 24-inch box California native trees are required per the abovementioned guidelines. The replacement trees shall be planted adjacent to the proposed development to provide visual screening.

17. Per County Municipal Code Division C16-3(e), any tree that was required to be planted or retained by these Conditions of Approval of any land use entitlement are protected trees, regardless the size. The project trees are subject to tree removal and replacement trees. Irrigation system is highly recommended to increase the tree's survival.
18. For all trees to be retained with a canopy in the development area, or that interfaces with the limits of grading for any proposed development on-site, the trees shall be protected by the placement of five (5)-foot tall rigid tree protective fencing, as shown on final grading and final building plans and must include the following:

- a. Fencing should be placed along the outside edge of the dripline of the tree or grove of trees.
- b. The fencing should be maintained throughout the site during the entire construction period and should be inspected periodically for damage and proper functions.
- c. Fencing should be repaired as necessary to provide a physical barrier from construction activities.
- d. The following sign shall be placed on all tree protection fencing and must remain until final occupancy. The sign must read: "Warning. This fencing shall not be removed without permission from the Santa Clara County Planning Office. County of Santa Clara tree protection measures may be found at: <http://www.sccplanning.gov>, or call 408-299-5770 for additional details."
- e. Protection measures must be in place **prior to construction activity** commencing.
- f. Evidence of tree protective fencing can be provided by taking photos and emailing to the project planner.

Landscape Permit

19. **Prior to issuance of any permits**, provide a landscaping plan utilizing replacement trees, vines, shrubbery or planters to reduce the apparent height of the rear (westerly) retaining wall to ensure that they blend with the natural surroundings. The landscaping plan shall also be used to blend the structure with the surrounding landscape and soften the impact of development. The landscape plan shall be consistent with Sheet L6 of the approved plans by the Hearing Officer at Zoning Administration Hearing on October 8, 2020.
20. The requirements of Division B33 of the County Ordinance Code (Sustainable Landscape Ordinance) shall apply. Calculate square footage of new landscaped area and if it equals or exceeds 500 sq. feet, then a landscaping permit is required. The landscape ordinance and supporting information can be found on the following web page:
<https://www.sccgov.org/sites/dpd/PlansOrdinances/Landscape/Pages/welo-apply.aspx>

Habitat Plan

Application for Private Projects

21. **Prior to issuance of any building and/or grading permit**, submit a completed Habitat Plan Application for Private Projects ("Application") with all required submittal materials (as described in the Application for Private Projects), Land Cover Verification Report, and required staff review fee to the Planning Office for review and verification.
22. The required site plan shall show the project development, including a delineation of the temporary development buffer area.
 - a. *Temporary development area* is defined as land that will be temporarily affected during development (construction laydown areas, subsurface utilities/trenching, etc.) that will be *restored within one year of completing construction*, plus a 10-foot buffer surrounding these areas.
 - b. *Permanent development area* is defined as all land that will have permanent improvements (portion of access driveway proposed to remain), plus a 50-foot buffer surrounding this area.

Fees

23. **Prior to issuance of any grading/drainage permit**, all Santa Clara Valley Habitat Agency (SCVHA) fees must be paid. Land cover fees are paid based on the land cover verified by a qualified biologist, and development area associated with the project. *Temporary development fees* are based on the amount of time the land is disturbed during construction, plus one year after completing construction, and cannot exceed a combined total of 2 years. ***All temporary development that exceeds 2 years from the onset of construction will be subject to permanent impact fees.***
- a. Land Cover Fee Zone B – Agricultural and Valley Floor Lands.

Habitat Plan Conditions of Approval

24. **Prior to issuance of grading/drainage permit**, all future development is subject to the following Conditions of Approval and described in more detail within Chapter 6 of the Santa Clara Valley Habitat Plan.
- a. Condition 1: Avoid Direct Impacts on Legally Protected Plant and Wildlife Species.
 - b. Condition 3: Maintain Hydrologic Conditions and Protect Water Quality.
 - c. Condition 7: Rural Development.

25. **Prior to issuance of grading/drainage permit**, incorporate the *Habitat Plan Conditions of Approval* into the improvement/grading plans (see the end of this document).

Land Development Engineering

26. Obtain a Grading Permit from Land Development Engineering (LDE) **prior to beginning any construction activities**. Issuance of the grading permit is required **prior to LDE clearance of the building permit** (building and grading permits may be applied for concurrently). The process for obtaining a grading permit and the forms that are required can be found at the following web page:

www.sccplanning.org > I Want to.. > Apply for a Permit > Grading Permit

If the County Roads and Airports Department provides a condition of approval to obtain an encroachment permit, for your convenience, the grading and encroachment permits will be processed concurrently under one set of improvement (grading) plans. Please contact LDE at (408) 299-5734 for additional information and timelines.

27. Final plans shall include a single sheet which contains the County standard notes and certificates, as shown on County Standard Cover Sheet. Plans shall be neatly and accurately drawn, at an appropriate scale that will enable ready identification and recognition of submitted information.
28. Final improvement plans shall be prepared by a licensed civil engineer for review and approval by LDE and the scope of work shall be in substantial conformance with the conditionally approved preliminary plans on file with the Planning Office. Include plan, profile, typical sections, contour grading for all street, road, driveway, structures and other improvements as appropriate for construction. The final design shall be in conformance with all currently adopted standards and ordinances. The following standards are available on-line: § Standard Details Manual, September 1997, County of Santa Clara, Roads and Airports Department available at:

www.sccgov.org/sites/rda > Published Standards, Specifications, Documents and Forms
 § March 1981 Standards and Policies Manual, Volume 1 (Land Development)
www.sccplanning.org > Plans & Ordinances > Land Development Standards and Policies
 § 2007 Santa Clara County Drainage Manual
www.sccplanning.org > Plans & Ordinances > Grading and Drainage Ordinance

29. Survey monuments shall be shown on the improvement plan to provide sufficient information to locate the proposed improvements and the property lines. Existing monuments must be exposed, verified and noted on the grading plans. Where existing monuments are below grade, they shall be field verified by the surveyor and the grade shall be restored and a temporary stake shall be placed identifying the location of the found monument. If existing survey monuments are not found, temporary staking delineating the property line may be placed prior to construction and new monuments shall be set prior to final acceptance of the improvements. The permanent survey monuments shall be set pursuant to the State Land Surveyor's Act. The Land Surveyor / Engineer in charge of the boundary survey shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.
30. The improvement plans shall include an Erosion and Sediment Control Plan that outlines seasonally appropriate erosion and sediment controls during the construction period). Include the County's Standard Best Management Practice Plan Sheets BMP-1 and BMP-2 with the Plan Set.
31. All applicable easements affecting the parcel(s) with benefactors and recording information shall be shown on the improvement plans.

Drainage

32. Provide a drainage analysis prepared by a licensed civil engineer in accordance with criteria as designated in the 2007 County Drainage Manual (see Section 6.3.3 and Appendix L for design requirements). The on-site drainage will be controlled in such a manner as to not increase the downstream peak flow for the 10-year and 100-year storm event or cause a hazard or public nuisance. The mean annual precipitation is available on the on-line property profile.

Utilities

33. All new on-site utilities, mains and services shall be placed underground and extended to serve the proposed development. All extensions shall be included in the improvement plans. Off-site work should be coordinated with any other undergrounding to serve other properties in the immediate area.

Stormwater Treatment – Central Coast

34. Fill out and submit the forms in the Post Construction Requirements (PCR) Applicant's Packet.
35. Include one of the following site design measures in the project design: (a) direct hardscape and/or roof runoff onto vegetated areas, (b) collect roof runoff in cisterns or rain barrels for

reuse, or (c) construct hardscape (driveway, walkways, patios, etc.) with permeable surfaces. Though only one site design measure is required, it is encouraged to include multiple site design measures in the project design.

36. Provide a Storm Water Control Plan prepared by a licensed civil engineer. Include storm water quality treatment measures and Drainage Management Areas and runoff retention measures sized per the County's Guidance Manual for Low Impact Development and Post Construction Requirements.
37. Provide peak flow management analysis for the project prepared by a licensed civil engineer. The analysis shall show the post –development peak flow discharge from the site doesn't exceed the pre-project peak flows for the 2- through 10-year storm events

Soils and Geology

38. Submit one copy of the signed and stamped of the geotechnical report for the project.
39. Submit a plan review letter by the Project Geotechnical Engineer certifying that the geotechnical recommendation in the above geotechnical report have been incorporated into the improvement plan.

Notice of Intent

40. Indicate on the improvement plans the land area that will be disturbed. If one acre or more of land area will be disturbed, file a Notice of Intent (NOI) with the State Water Resources Control Board (SWRCB) for coverage under the State General Construction Permit. The SWRCB will issue a Waste Discharge Identification number (WDID). The WDID number shall be shown on the on the final improvement plans. The SWRCB web site is at: www.waterboards.ca.gov > Water Issues > Programs > Stormwater

Agreements:

41. Enter into an Operations and Maintenance Agreement for Stormwater Quality Improvements with the County per Section C11.5-23 of the County Ordinance Code.

Environmental Health

42. **Prior to issuance of the Grading Permit**, a septic system conforming to the prevailing Onsite Wastewater Treatment System (OWTS) Ordinance shall be designed based upon percolation test rates and the dispersal field shall be located within the percolation and soil profile testing areas.
The subject project approval based upon a percolation test rate = 60.5 MPI (minutes/inch).
Note: Percolation depths may dictate the type of OWTS designed and permitted for use. Changes to the proposed scope of work or OWTS design may require additional onsite soil testing.
43. **Prior to the issuance of a building permit**, submit a complete set of floor plans to the Department of Environmental Health (Jeff Camp) for review prior to septic system sign-off.
44. **At the time of application for a building permit**, submit four (4) revised plot plans to scale

(1" = 20') on a grading and drainage plan showing the house, driveway, accessory structures, septic tank and required drainlines to contour, in order to obtain a septic system permit. Maintain all setbacks as outlined within County of Santa Clara Onsite Manual. The original plans must be submitted to the Department of Environmental Health prior to the issuance of the septic system permit and submitted as the final grading plan to Land Development Engineering when a grading permit is required. Contact Jeff Camp at 408-918-3473 for septic system sign-off.

45. **Prior to the issuance of a building permit**, provide a water will serve letter from Rancho Robles Mutual Water Company stating its intent and ability to provide domestic water to the proposed dwelling.

Fire Marshal

Fire Protection Water

46. A standard fire hydrant is to be located on the plans within 600 ft. path of travel to fire sprinkled structures and 400 ft. of non-sprinkled structures.
47. Fire hydrant flow data will be required at Building Permit submittal. Flow data is to be recorded within 1 year and show 1,000 gpm is available at 20 psi (gpm may be reduced to 500 gpm at 20 psi for fire sprinklers).

Fire Department Access

48. General Requirements:

- a. These are minimum Fire Marshal standards. Should these standards conflict with any other local, state or federal requirement, the most restrictive shall apply.
- b. Construction of access roads and driveways shall use good engineering practice.
- c. All required access roads, driveways, turnarounds, and turnouts shall be installed, and serviceable prior to approval of the foundation, and shall be maintained throughout construction. A stop work order may be placed on the project if required driving surfaces are not installed, accessible, and/or maintained at all times.

49. Driveways (serving 2 or less parcels) shall comply with the following when the distance between the centerline of the access road and any portion of the structure exceeds 150 ft. (measured along the path of travel).

- a. Width: Clear width of drivable surface of 12 ft. plus 14 ft of unobstructed horizontal width.
- b. Vertical Clearance: Minimum vertical clearance of 15 ft. shall be maintained between the access road and the building site (trim or remove, tree limbs, electrical wires, structures, and similar improvements).
- c. Surface: All driving surfaces shall be all-weather and capable of sustaining 75,000 pound gross vehicle weight.
- d. Turnarounds: Turnaround shall be provided for driveways in excess of 150 ft. as measured along the path of travel from the centerline of the access road to the structure. Provide 28 feet turning radius for the proposed 40 ft by 48 ft turnaround.
- e. Turnouts: Turnouts are required at the midway section when a driveway is over 150 ft. in length but under 800 ft.

- f. Gates: Gates shall not obstruct the required width or vertical clearance of the driveway and may require a Fire Department Lock Box/Gate Switch to allow for fire department access. Installation shall comply with CFMO-A3.

Miscellaneous:

50. Property is located within the South Santa Clara County District Fire response area.

51. This property is located in the Wildland/Urban Interface Fire Area. All of the following conditions shall apply:

- a. A Class "A" roof assembly is required. Detail shall be included in plans submitted for building permit.
- b. Provide a 1/2 inch spark arrester for the chimney.
- c. Remove significant combustible vegetation within 30 feet of the structure to minimize risk of wildfire casualty. Maintain appropriate separation of vegetative fuels in areas between 30 and 100 feet from the structure.

Geology

52. Romig's letter (dated 12-23-2019) is approved. **Prior to issuance of any permits.** an Acknowledgment Statement of Potential Geologic Hazards (to be prepared by the County Geologist) must be signed and recorded by the owner(s).

County Park

53. Private gates or entrances into the adjacent County parklands are not permitted. Access into County parklands is only allowed through designated entrances. **Prior to issuance of any permits**, a final landscape shall be approved, identifying all existing gates into County parklands will be removed and replaced with continuous fencing.

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO OCCUPANCY OR ONE YEAR FROM THE DATE OF THE LAND DEVELOPMENT AGREEMENT, WHICHEVER COMES FIRST.

Planning

54. **Prior to final inspection**, contact Xue Ling, Associate Planner, **at least two weeks in advance** to schedule a site visit to verify the approved exterior colors and landscaping have been installed, as approved.

Land Development Engineering

55. Existing and set permanent survey monuments shall be verified by inspectors **prior to final acceptance of the improvements** by the County. Any permanent survey monuments damaged or missing shall be reset by a licensed land surveyor or registered civil engineer authorized to practice land surveying and they shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.

56. Construct all of the aforementioned improvements. Construction staking is required and shall be the responsibility of the developer.

Environmental Health

57. **Prior to building final**, provide proof of garbage service at the time of final occupancy sign-off. Garbage service in the unincorporated areas of Santa Clara County is mandatory.

Fire Marshal

58. Fire Sprinkler System: An approved residential fire sprinkler system complying with CFMO-SP6 shall be installed throughout the structure.

Note: The fire sprinkler system shall be installed and finalized by this office **prior to occupancy**. A separate permit shall be obtained from this office by a state licensed C-16 contractor prior to installation. Please allow for a minimum of 30 days for plan review of fire sprinkler plans by this office.

County Park

59. All fencing adjacent to the County parklands shall be maintained compatible with the County's cattle grazing operation on parklands. Fencing will be durable enough to prevent cattle escapes and will not harm cattle that come into contact.

Santa Clara Valley Habitat Plan
Conditions of Approval

File #PLN19-0183
APN: 825-29-016
Design Review and Grading Approval
Property Owner: Vic Del Monaco
Lara Tran, Planning Office
September 21, 2020

Santa Clara Valley Habitat Plan Conditions of Approval

Incorporate the following Habitat Plan Conditions of Approval into the grading/drainage plans.
These Conditions are described in more detail within Chapter 6 of the Santa Clara Valley Habitat Plan.

Condition 1: Avoid Direct Impacts on Legally Protected Plant and Wildlife Species
Conditions Applied During Project Construction

1. Large Trees (migratory birds or raptors) - If construction will require the removal of large trees during the bird nesting season, conduct pre-construction surveys by a qualified biologist to determine if active nests are present within trees. Private applicants should follow procedures currently used (including definition of nesting season and timing of pre-construction surveys) to comply with Migratory Bird Treaty Act (MBTA) and California state regulation requirements in addressing this condition.

Condition 3: Maintain Hydrologic Conditions and Protect Water Quality

2. Incorporate Table 1: *Hydrology Condition 3* into the grading/drainage plans.

Condition 7: Rural Development

Conditions Applied During Project Construction

3. Minimize ground disturbance to the smallest area feasible.
4. Use existing roads for access and disturbed areas for staging, as site constraints allow. Off-road travel will avoid sensitive communities such as wetlands and known occurrences of covered plants.
5. Avoid and minimize impacts associated with altering natural drainages and contours on the project site. If the site is graded, blend grading into the existing landform as much as possible.
6. Maintain as much natural vegetation as possible, consistent with fuel management standards, on the project site.
7. Maintain County-mandated fuel buffer (variable width by slope conditions).
8. At project sites that are adjacent to any drainage, natural or manmade, exposed soils must be stabilized or otherwise contained on site to prevent excessive sediment from entering a waterway.

9. Minimize to the maximum extent possible the amount of ground disturbance when constructing roads.
10. Ground-disturbing activities associated with road construction should be timed to occur during dry weather months to reduce the possibility of landslides or other sediment being transported to local streams during wet weather.
11. If construction extends into wet weather, the roadbed will be surfaced with appropriate surfacing material to prevent erosion of the exposed roadbed.
12. If construction on steep slopes is required, construction will be timed for dry weather months to reduce the potential for landslides.
13. Adhere to the avoidance and minimization measures for dirt road construction in Condition 6 under Avoidance and Minimization Measures for Transportation Projects (see first three bullets under heading).
14. All temporarily disturbed soils will be revegetated with native plants and/or grasses or sterile nonnative species suitable for the altered soil conditions upon completion of construction. Local watershed native plants will be used if available. If sterile nonnative species are used for temporary erosion control, native seed mixtures must be used in subsequent treatments to provide long-term erosion control and slow colonization by invasive nonnatives. All disturbed areas that have been compacted shall be de-compacted prior to planting or seeding.
15. All temporarily disturbed areas, such as staging areas, will be returned to pre- project or ecologically improved conditions within 1 year of completing construction or the impact will be considered permanent.
16. No plants identified by the California Invasive Plant Council as Invasive will be planted on the project site. Planting with watershed local native and/or drought-resistant plants is highly encouraged. This reduces the need for watering as well as the need for fertilizers and pesticides.
17. Outdoor lighting will be of low intensity and will utilize full cutoff fixtures to reduce light pollution of the surrounding natural areas.

Post-construction

18. All temporarily disturbed soils will be revegetated with native plants and/or grasses or sterile, nonnative species suitable for the altered soil conditions upon completion of construction. Local watershed native plants will be used if available. If sterile, nonnative species are used for temporary erosion control, native seed mixtures must be used in subsequent treatments to provide long-term erosion control and slow colonization by invasive nonnatives. All disturbed areas that have been compacted shall be de-compacted prior to planting or seeding.
19. All temporarily disturbed areas, such as staging areas, will be returned to pre-project or ecologically improved conditions within 1 year of completing construction or the impact will be considered permanent.

Attachment C

Plans and Vicinity Map

COUNTY OF SANTA CLARA

General Construction
Specifications

GENERAL CONDITIONS

- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY GEOFORENSICS, INC., DATED MAY 2019. THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.
- DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
- DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
- DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
- DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA.
- THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
- DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
- ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
- UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION 86-18).
- THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
- ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

CONSTRUCTION STAKING

- THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.
- ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
- PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO RE-ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.
- PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

CONSTRUCTION INSPECTION

- CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
- INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
- THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR TO COMMENCEMENT OF THE BUILDING FOUNDATION.

SITE PREPARATION (CLEARING AND GRUBBING)

- EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
 - TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
 - FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

UTILITY LOCATION, TRENCHING & BACKFILL

- CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
- ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
- ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE. UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.
- TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
- TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
- BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

RETAINING WALLS

- REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.
- SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

GRADING

- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IT SHALL BE STRIPPED OF ALL VEGETATION TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL. THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEYED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPOSED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
- EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE.
- SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
- NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS.
- THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
- MAXIMUM ALLOWABLE CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

LOCATION	CUT (C.Y.)	FILL (C.Y.)	VERT. DEPTH
RESIDENCE	70	595	5.5' FILL
ACCESSORY STRUCTURE	5	0	1.0' CUT
POOL/HARDSCAPE	185	370	7.4' FILL
LANDSCAPE	1,050	1,290	7.6' CUT
DRIVEWAY	1,260	370	7.6' CUT
OFF SITE IMPROVEMENTS	0	0	-
TOTAL	2,570	2,625	

- EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.
- NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
- ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
- THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%.
- ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
- THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.
- THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.
- GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.
- TOTAL DISTURBED AREA FOR THE PROJECT: 27,000 SF.
- NO WQID NUMBER DUE TO BEING UNDER 1 ACRE THRESHOLD.
- THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

TREE PROTECTION

- FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF THE DEVELOPMENT, THE FOLLOWING SHALL BE DEVELOPMENT ON SITE. THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
 - FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIPLINE OF THE TREE OR GROVE OF TREES.
 - THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.
 - FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
 - SIGNAGE STATING "WARNING- THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANITARY SEWER DIVISION PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT <http://www.sccplanning.gov>." SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY.
- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACE AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
- SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

ACCESS ROADS AND DRIVEWAYS

- DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
- ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
- THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
- ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
- WORK IN THE COUNTY ROAD RIGHT-OF-WAY NOT ONLY REQUIRES AN ENCROACHMENT PERMIT FROM THE COUNTY ROADS AND AIRPORTS DEPARTMENT, EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC..

STREET LIGHTING

- PACIFIC GAS & ELECTRIC ELECTROLUER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

SANITARY SEWER

- THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
- ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION IN WHICH INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

PORTLAND CEMENT CONCRETE

- CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED IN DRIVEWAYS SHALL BE CLASS "A" WITH A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

- WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
- COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
- PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
- SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
- SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
- ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
- ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.
- ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
- POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
 - 15 MILES PER HOUR (MPH) SPEED LIMIT
 - 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
 - TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAINT HOTLINE IS 1-800-334-6367
- ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
- ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
- ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDB.
- ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. EROSION DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
- PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
- PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
- THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.
- THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPs SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS.
 - PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
 - PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
- THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.
- EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLIOT DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY TO MAINTAIN THE STABILITY AND SITUATION OF THE APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

STORM DRAINAGE AND STORMWATER MANAGEMENT

- DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAS612008 / ORDER NO. R2-2009-0047 AND NPDES PERMIT CAS000044 / ORDER NO. 2013-0001-DW0.
- DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
- WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR STORMWATER STORAGE.
- UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
- THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

AS-BUILT PLANS STATEMENT

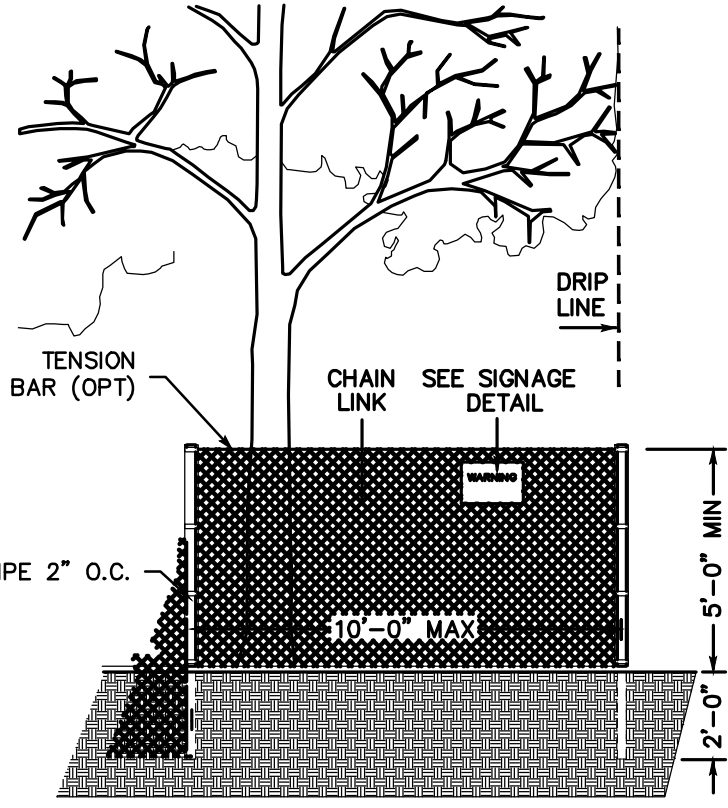
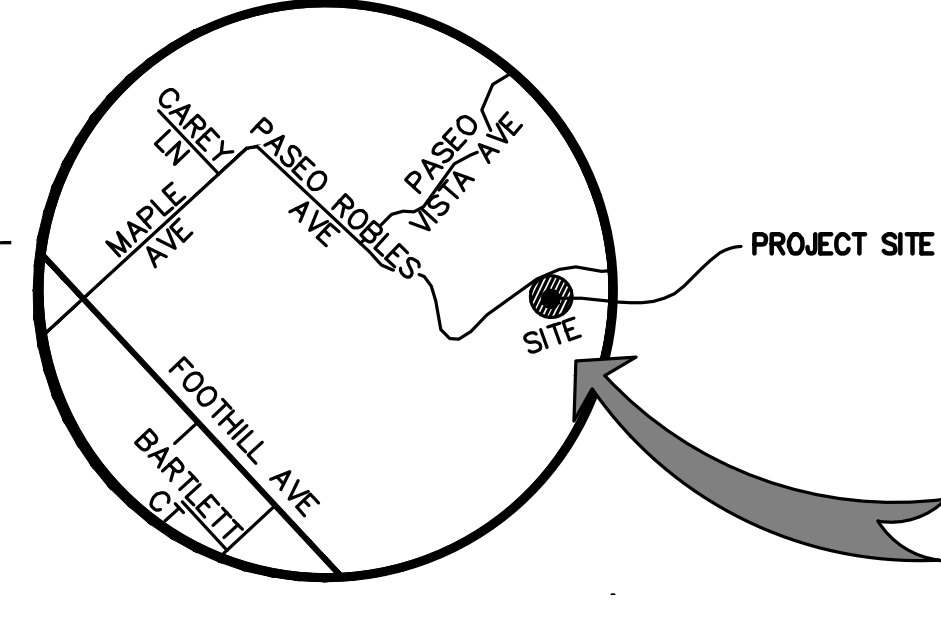
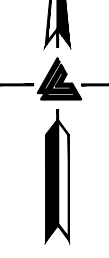
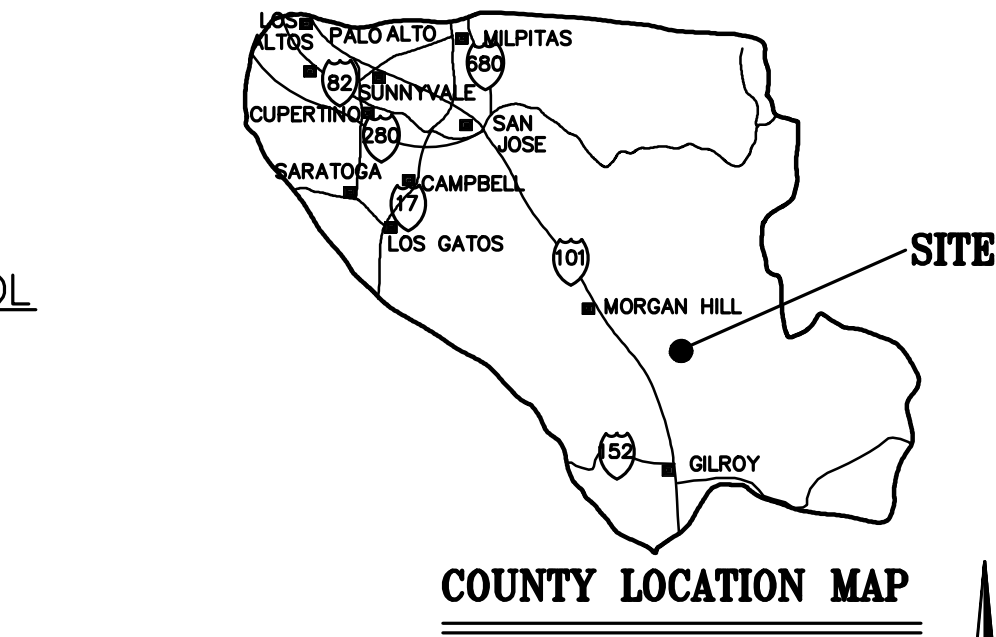
THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (___) WERE (___) WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL ("). THERE (___) WERE (___) WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL Δ.

DATE: _____ SIGNATURE: _____

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

GEOTECHNICAL ENGINEER OBSERVATION

- A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.



EXISTING TREE PROTECTION DETAILS

- PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
- FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
- FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
- TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION. REPAIRS AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
- A SIGN THAT INCLUDES THE WORDS "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE." SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

SHEET INDEX

C-1.0	TITLE SHEET
C-1.1	TITLE SHEET
C-1.2	OVERALL SITE PLAN
C-2.0	GRADING & DRAINAGE PLAN
C-2.1	GRADING & DRAINAGE PLAN
C-2.2	GRADING & DRAINAGE PLAN
C-2.3	DRIVEWAY PLAN & PROFILE
C-2.4	DRIVEWAY PLAN & PROFILE
C-2.5	DRIVEWAY PLAN & PROFILE
C-3.1	DETAILS
ERO-1	EROSION CONTROL PLAN
BMP-1	EROSION CONTROL DETAILS
BMP-2	EROSION CONTROL DETAILS

OWNERS' INFORMATION:	STEPHANIE & VIC DEL MONACO
SITE INFORMATION:	2940 PASEO ROBLES AVENUE SAN MARTIN, CA 93446 APN: 825-29-016

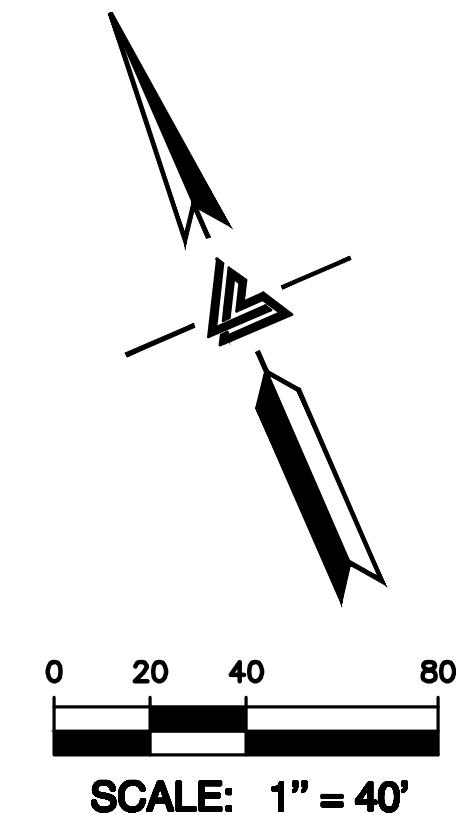
LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS

BAY AREA REGION
2495 INDUSTRIAL PKWY WEST
HAYWARD, CALIFORNIA 94545
(P) (510) 887-4086
(F) (510) 887-3019

SACRAMENTO REGION
3017 DOUGLAS BLVD, # 300
ROSEVILLE, CA 95661
(P) (916)966-1338
(F) (916)797-7363

WWW.LEABRAZE.COM

JOB NO.	2190325	CI	DATE:	06-28-19
Revision 1	Date	12-20-2019	APN	825-29-016
PLAN CHECK	Date	02-27-2020	Co. File	PLN19-0183
Revision 3	Date	07-29-2020		
PLAN CHECK				
				Sheet 01 of 13



NOTE:
TREE SIZES FROM TOPOGRAPHIC
SURVEY AND TREE SPECIES FROM
ARBORIST REPORT

LOCATION	CUT (C.Y.)	FILL (C.Y.)	VERT. DEPTH
RESIDENCE	70	595	5.5' FILL
ACCESSORY STRUCTURE	5	0	1.0' CUT
POOL/HARDSCAPE	185	370	7.4' FILL
LANDSCAPE	1,050	1,290	7.6' CUT
DRIVEWAY	1,260	370	7.6' CUT
OFF SITE IMPROVEMENTS	0	0	—
TOTAL	2,570	2,625	

NOTE:
SOME ITEMS FROM
TOPOGRAPHIC SURVEY
FROZEN FOR CLARITY



LEA & BRAZE ENGINEERING, INC.

CIVIL ENGINEERS • LAND SURVEYORS

BAY AREA REGION
2495 INDUSTRIAL PKWY. WEST
HAYWARD, CALIFORNIA 94545
(P) (510) 887-4086
(F) (510) 887-3019

SACRAMENTO REGION
3017 DOUGLAS BLVD., # 300
ROSEVILLE, CA 95661
(P) (916) 966-1338
(F) (916) 797-7363

WWW.LEABRAZE.COM

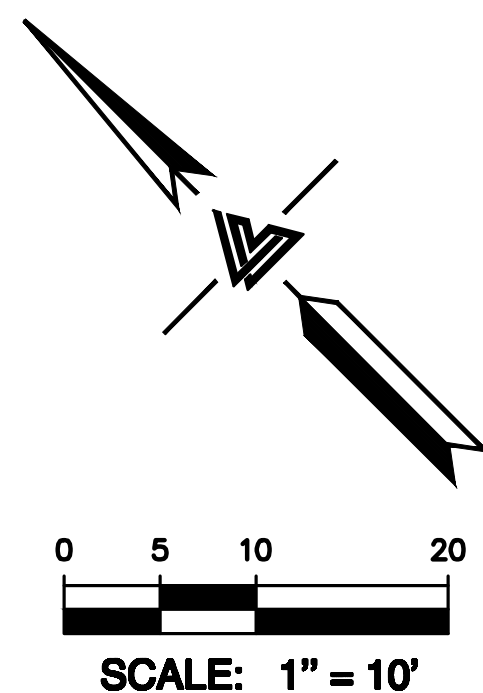
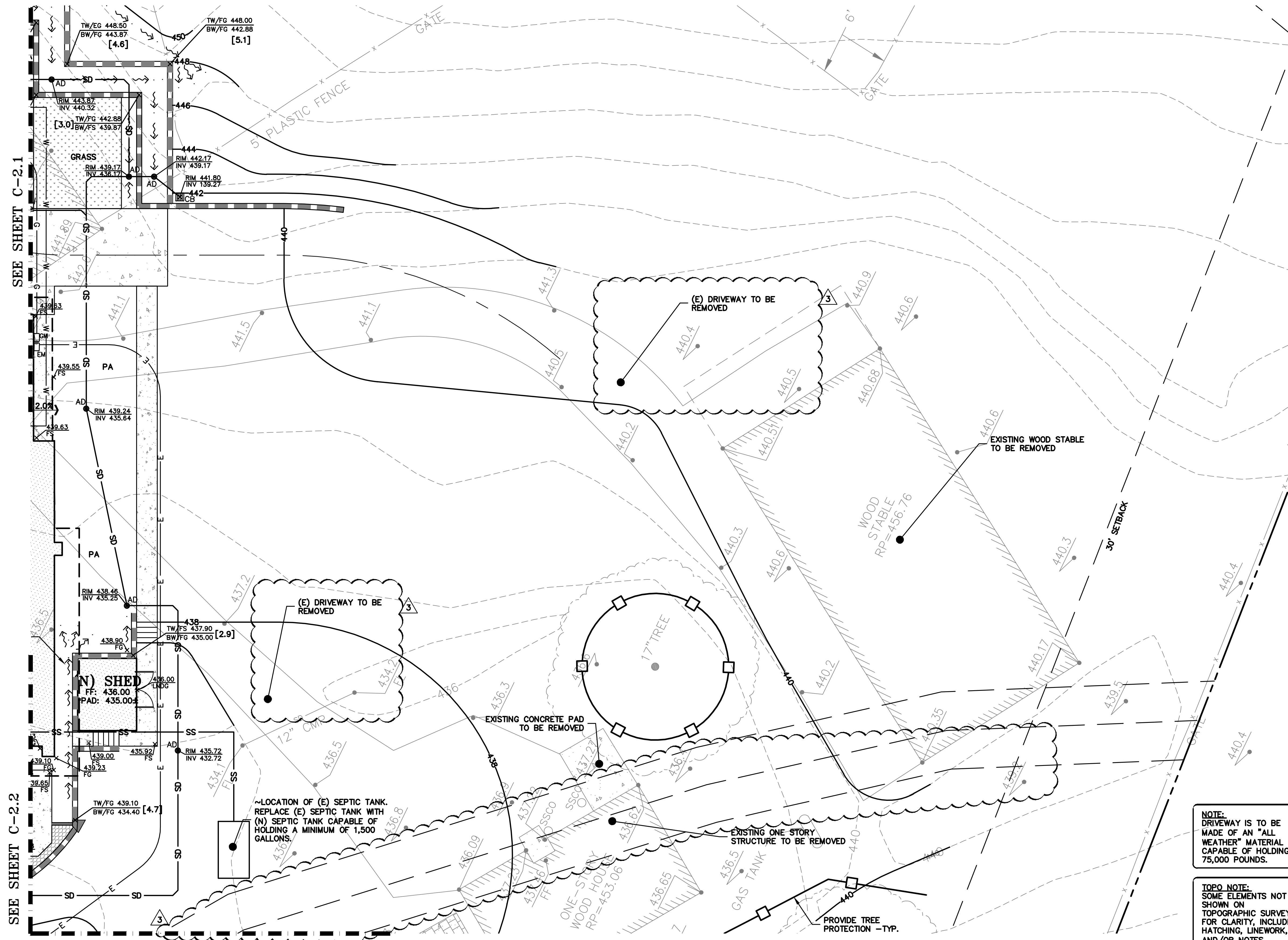
DEL MONACO RESIDENCE
2940 PASEO ROBLES
SAN MARTIN,
CALIFORNIA
SANTA CLARA COUNTY
APN: 825-29-0000

OVERALL SITE PLAN

—	—
—	—
3 PLAN CHECK 07-29-2020	MM/CA
2 PLAN CHECK 02-27-2020	MM
1 PLAN CHECK 12-20-2019	MM
REVISIONS	BY

JOB NO:	2190325
DATE:	06-28-19
SCALE:	1" = 40'
DESIGN BY:	MM
CHECKED BY:	CA
SHEET NO:	

C-1.2
03 OF 13 SHEETS



FLATWORK KEYNOTES 1 TO 8
FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 5% FOR THE FIRST 10' AWAY FROM THE BUILDING PER CBC 1804.4 OR TO AN APPROVED DRAINAGE SWALE OR STRUCTURE. GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE AND A POSITIVE OUTFALL. MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MUD SILL AT ALL TIMES PER CBC 2304.12.1.2 UNLESS STRUCTURAL DETAILING ALLOWS LESS. REFER TO STRUCTURAL PLANS FOR FOUNDATION DESIGN AND DETAILS.

SLOPE GARAGE SLAB 1% MINIMUM (1/8" PER FOOT) FROM BACK TO FRONT TO ALLOW FOR ADEQUATE DRAINAGE. MAINTAIN 1/2" TO 1" LIP BETWEEN GARAGE SLAB AND DRIVEWAY. SEE PLANS FOR SPECIFIC DROP

PROVIDE 2% SLOPE ACROSS FLAT WORK AND/OR PAVING PER CBC 1804.4. SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.

AC DRIVEWAY. SEE SANTA CLARA STANDARD DETAIL SD5.

GRIND AC TO TIE (N) AC INTO (E) AC PAVING.

CONCRETE DRIVEWAY.

GRAVEL DRIVEWAY.

(N) CONCRETE PATIOS/WALKWAYS.

STORM DRAIN KEYNOTES 11 TO 16
INSTALL (N) ON-SITE STORM DRAIN SYSTEM. USE MINIMUM 6" PVC (SDR 35) OR HDPE (ADS N-12 W/ SMOOTH INTERIOR WALLS). MAINTAIN 24" MINIMUM COVER AND SLOPED AT 1% MINIMUM AT ALL TIMES UNLESS OTHERWISE NOTED. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS.

INSTALL (N) SUBDRAIN. USE PERFORATED 4" PVC (SDR-35) WITH HOLES DOWN AND SLOPED AT 1% MINIMUM SURROUND WITH 3/4" DRAIN ROCK WRAPPED IN FILTER FABRIC (MIRAFI 140N). MIRADRAIN OR OTHER LEA & BRAZE PREAPPROVED DRAINAGE SYSTEM MAY ALSO BE USED. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION AND AT 100' MAXIMUM INTERVALS. SUBDRAIN SHALL REMAIN A DEDICATED SEPARATE SYSTEM UNTIL IT CONNECTS TO STORM DRAIN SYSTEM OR OUTFALL AS SHOWN.

CONSTRUCT (N) EARTHEN SWALE SLOPED AT 1% MINIMUM TOWARDS POSITIVE OUTFALL.

CONNECT RAIN WATER DOWNSPOUTS TO 4" PVC (SDR-35) TIGHTLINE. SLOPED AT 1% MINIMUM. DIRECT TO NEAREST STORM DRAIN LINE AS SHOWN ON PLANS. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS. TIGHTLINE MAY BE PLACED IN COMMON TRENCH WITH SUBDRAIN LINES, HOWEVER, DO NOT CONNECT TO SUBDRAIN LINES.

INSTALL (N) 4" DIAMETER HEAVY DUTY PLASTIC BLACK GRATE IN LANDSCAPE OR PLANTER AREAS (NDS PART 78 OR 90 FOR 6" DIAMETER HEAVY DUTY PLASTIC BLACK GRATE).

TRENCH DRAINS SHALL BE 6" NDS "DURA-SLOPE" PRESLOPED TRENCH DRAINS W/ LOAD CLASS D GRATE OR APPROVED EQUAL. CONNECT TO NEAREST STORM DRAIN LINE VIA 6" PVC TIGHTLINE.

INSTALL (N) 24" HDPE CULVERT PIPE. PIPE SHALL HAVE A MINIMUM 12 INCHES OF COVER AT ALL TIMES.

INSTALL (N) 24" ADS FLARED END SECTION HEADWALL. CONTACT LOCAL ADS REPRESENTATIVE OR VISIT WWW.ADS-PIPE.COM FOR INFORMATION.

INSTALL (N) 36" CATCH BASIN.

UTILITIES KEYNOTES 31 TO 36
(N) SEWER LATERAL, SEPTIC TANK, AND LEACH FIELD (BY SEPARATE DESIGN). LATERAL SHALL BE 4" PVC (SDR-26 OR BETTER) SLOPED AT 2%.

RECONNECT (E) WATER SERVICE TO COMMUNITY WELL. UPGRADE (E) WATER METER PER WATER DISTRICT STANDARDS AS APPLICABLE. INSTALL (N) 2" MINIMUM SERVICE LINE TO (N) RESIDENCE OR AS DIRECTED BY FIRE SPRINKLER DESIGNER.

INSTALL (N) JOINT TRENCH FOR SERVICES INCLUDING GAS, CATV & ELECTRIC FROM NEAREST POINT OF CONNECTION. DESIGN BY OTHERS.

INSTALL (N) GAS METER. LOCATION SHOWN IS APPROXIMATE AND FOR REFERENCE ONLY. CONTRACTOR TO VERIFY WITH ARCHITECT.

INSTALL (N) ELECTRICAL METER. LOCATION SHOWN IS APPROXIMATE AND FOR REFERENCE ONLY. CONTRACTOR TO VERIFY WITH ARCHITECT.

INSTALL (N) WATER METER. LOCATION SHOWN IS APPROXIMATE AND FOR REFERENCE ONLY. CONTRACTOR TO VERIFY WITH ARCHITECT.

DEMOLITION KEYNOTES 41 TO 43
DEMOLISH (E) IMPROVEMENTS AS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.

REMOVE (E) TREE. CONTRACTOR SHALL OBTAIN THE PROPER TREE REMOVAL PERMITS AS REQUIRED.

PROVIDE TREE PROTECTION AROUND TREES TO REMAIN PER SANTA CLARA COUNTY STANDARDS.

NOTE:
DRIVEWAY IS TO BE MADE OF AN "ALL WEATHER" MATERIAL CAPABLE OF HOLDING 75,000 POUNDS.

TOPO NOTE:
SOME ELEMENTS NOT SHOWN ON TOPOGRAPHIC SURVEY FOR CLARITY, INCLUDING HATCHING, LINEWORK, AND/OR NOTES.

NOTE:
FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabrazeng.com

*** BUILDING PAD NOTE:**
ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.



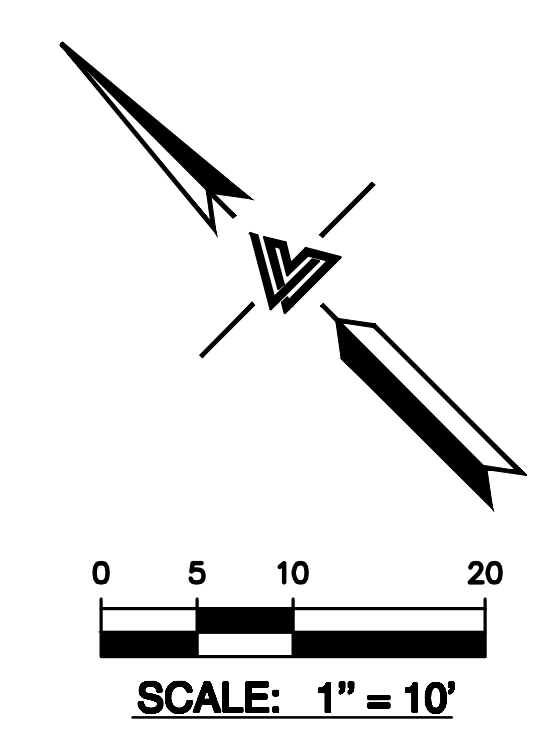
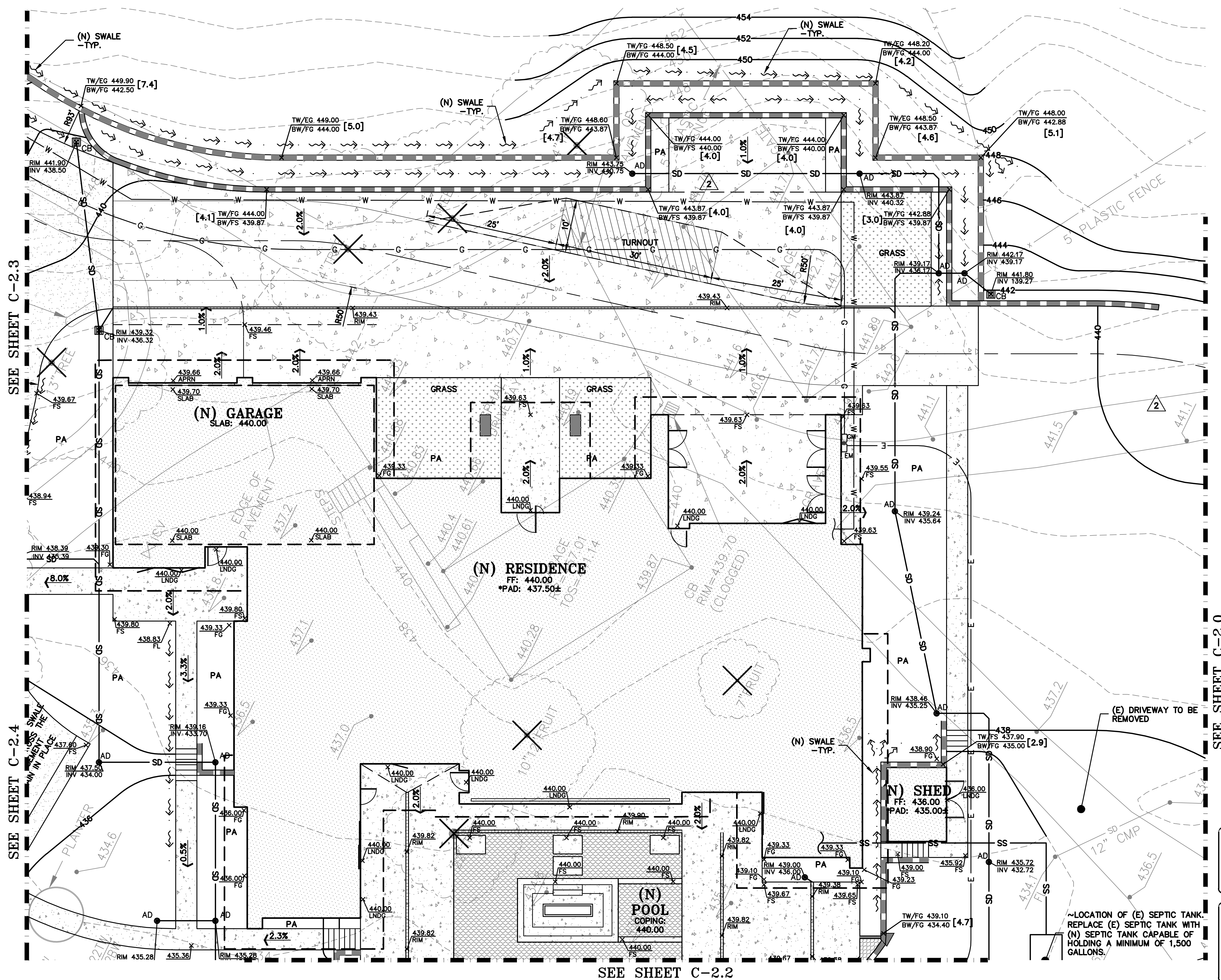
LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
SACRAMENTO REGION
1000 J STREET, SUITE 100
ROSEVILLE, CA 95678
(P) (916) 966-1338
(F) (916) 797-7563
WWW.LEABRAZE.COM

DEL MONACO RESIDENCE
2940 PASEO ROBLES
SAN MARTIN,
CALIFORNIA
SANTA CLARA COUNTY
APN: 825-29-016

GRADING & DRAINAGE PLAN

3	PLAN CHECK	MM/CA
2	PLAN CHECK	MM
1	PLAN CHECK	MM
REVISIONS		BY
JOB NO:		2190325
DATE:		06-28-19
SCALE:		1" = 10'
DESIGN BY:		MM
CHECKED BY:		CA
SHEET NO:		

C-2.0
04 OF 13 SHEETS



FLATWORK KEYNOTES 1 TO 8
FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 5% FOR THE FIRST 10' AWAY FROM THE BUILDING PER CBC 1804.4 OR TO AN APPROVED DRAINAGE SWALE OR STRUCTURE. GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE AND A POSITIVE OUTFALL. MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MUD SILL AT ALL TIMES PER CBC 2304.12.1.2 UNLESS STRUCTURAL DETAILING ALLOWS LESS. REFER TO STRUCTURAL PLANS FOR FOUNDATION DESIGN AND DETAILS.

SLOPE GARAGE SLAB 1% MINIMUM (1/8" PER FOOT) FROM BACK TO FRONT TO ALLOW FOR ADEQUATE DRAINAGE. MAINTAIN 1/2" TO 1" LIP BETWEEN GARAGE SLAB AND DRIVEWAY. SEE PLANS FOR SPECIFIC DROP

PROVIDE 2% SLOPE ACROSS FLAT WORK AND/OR PAVING PER CBC 1804.4. SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.

AC DRIVEWAY. SEE SANTA CLARA STANDARD DETAIL SDS.

GRIND AC TO TIE (N) AC INTO (E) AC PAVING.

CONCRETE DRIVEWAY.

GRAVEL DRIVEWAY.

(N) CONCRETE PATIOS/WALKWAYS.

STORM DRAIN KEYNOTES 11 TO 16
INSTALL (N) ON-SITE STORM DRAIN SYSTEM. USE MINIMUM 6" PVC (SDR 35) OR HDPE (ADS N-12 W/ SMOOTH INTERIOR WALLS). MAINTAIN 24" MINIMUM COVER AND SLOPED AT 1% MINIMUM AT ALL TIMES UNLESS OTHERWISE NOTED. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS.

INSTALL (N) SUBDRAIN. USE PERFORATED 4" PVC (SDR-35) WITH HOLES DOWN AND SLOPED AT 1% MINIMUM SURROUND WITH 3/4" DRAIN ROCK WRAPPED IN FILTER FABRIC (MIRAFI 140N). MIRADRAIN OR OTHER LEA & BRAZE PREAPPROVED DRAINAGE SYSTEM MAY ALSO BE USED. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION AND AT 100' MAXIMUM INTERVALS. SUBDRAIN SHALL REMAIN A DEDICATED SEPARATE SYSTEM UNTIL IT CONNECTS TO STORM DRAIN SYSTEM OR OUTFALL AS SHOWN.

CONSTRUCT (N) EARTHEN SWALE SLOPED AT 1% MINIMUM TOWARDS POSITIVE OUTFALL.

CONNECT RAIN WATER DOWNSPOUTS TO 4" PVC (SDR-35) TIGHTLINE. SLOPED AT 1% MINIMUM. DIRECT TO NEAREST STORM DRAIN LINE AS SHOWN ON PLANS. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS. TIGHTLINE MAY BE PLACED IN COMMON TRENCH WITH SUBDRAIN LINES, HOWEVER, DO NOT CONNECT TO SUBDRAIN LINES.

INSTALL (N) 4" DIAMETER HEAVY DUTY PLASTIC BLACK GRATE IN LANDSCAPE OR PLANTER AREAS (NDS PART 78 OR 90 FOR 6" DIAMETER HEAVY DUTY PLASTIC BLACK GRATE).

TRENCH DRAINS SHALL BE 6" NDS "DURA-SLOPE" PRESLOPED TRENCH DRAINS W/ LOAD CLASS D GRATE OR APPROVED EQUAL. CONNECT TO NEAREST STORM DRAIN LINE VIA 6" PVC TIGHTLINE.

INSTALL (N) 24" HDPE CULVERT PIPE. PIPE SHALL HAVE A MINIMUM 12 INCHES OF COVER AT ALL TIMES.

INSTALL (N) 24" ADS FLARED END SECTION HEADWALL. CONTACT LOCAL ADS REPRESENTATIVE OR VISIT WWW.ADS-PIPE.COM FOR INFORMATION.

INSTALL (N) 36" CATCH BASIN.

UTILITIES KEYNOTES 31 TO 36
(N) SEWER LATERAL, SEPTIC TANK, AND LEACH FIELD (BY SEPARATE DESIGN). LATERAL SHALL BE 4" PVC (SDR-26 OR BETTER) SLOPED AT 2%.

RECONNECT (E) WATER SERVICE TO COMMUNITY WELL. UPGRADE (E) WATER METER PER WATER DISTRICT STANDARDS AS APPLICABLE. INSTALL (N) 2" MINIMUM SERVICE LINE TO (N) RESIDENCE OR AS DIRECTED BY FIRE SPRINKLER DESIGNER.

INSTALL (N) JOINT TRENCH FOR SERVICES INCLUDING GAS, CATV & ELECTRIC FROM NEAREST POINT OF CONNECTION. DESIGN BY OTHERS.

INSTALL (N) GAS METER. LOCATION SHOWN IS APPROXIMATE AND FOR REFERENCE ONLY. CONTRACTOR TO VERIFY WITH ARCHITECT.

INSTALL (N) ELECTRICAL METER. LOCATION SHOWN IS APPROXIMATE AND FOR REFERENCE ONLY. CONTRACTOR TO VERIFY WITH ARCHITECT.

INSTALL (N) WATER METER. LOCATION SHOWN IS APPROXIMATE AND FOR REFERENCE ONLY. CONTRACTOR TO VERIFY WITH ARCHITECT.

DEMOLITION KEYNOTES 41 TO 43
DEMOLISH (E) IMPROVEMENTS AS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.

REMOVE (E) TREE. CONTRACTOR SHALL OBTAIN THE PROPER TREE REMOVAL PERMITS AS REQUIRED.

PROVIDE TREE PROTECTION AROUND TREES TO REMAIN PER SANTA CLARA COUNTY STANDARDS.

NOTE:
FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabrazeng.com

*** BUILDING PAD NOTE:**
ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

NOTE:
DRIVEWAY IS TO BE MADE OF AN "ALL WEATHER" MATERIAL CAPABLE OF HOLDING 75,000 POUNDS.

TOPO NOTE:
SOME ELEMENTS NOT SHOWN ON TOPOGRAPHIC SURVEY FOR CLARITY, INCLUDING HATCHING, LINEWORK, AND/OR NOTES.

~LOCATION OF (E) SEPTIC TANK. REPLACE (E) SEPTIC TANK WITH (N) SEPTIC TANK CAPABLE OF HOLDING A MINIMUM OF 1,500 GALLONS.



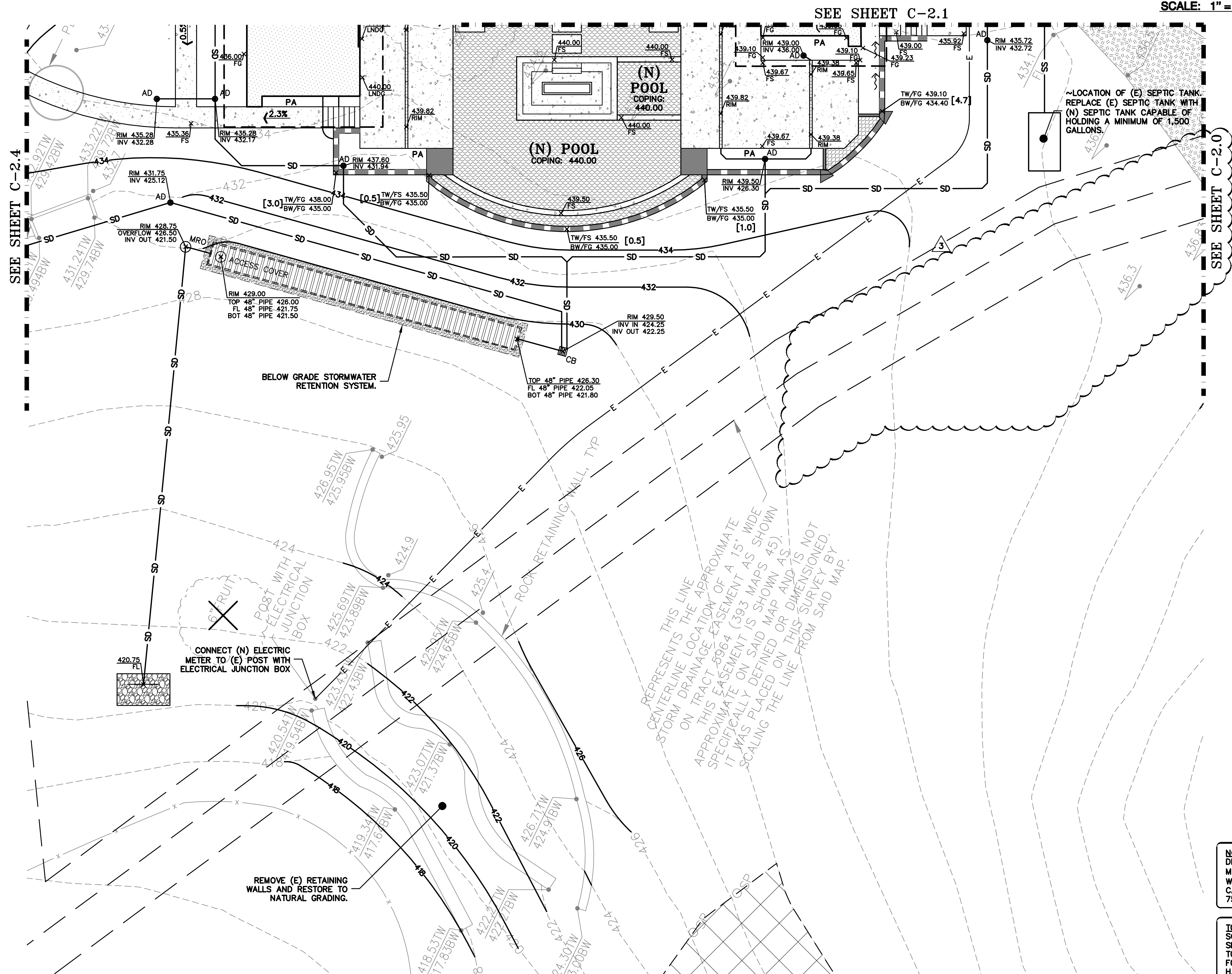
LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
SACRAMENTO REGION
BAY AREA REGION
SANTA CLARA COUNTY
ROSELAND, CA 94568
(P) (916)966-1338
(F) (916)797-7563
WWW.LEABRAZE.COM



DEL MONACO RESIDENCE
2940 PASEO ROBLES
SAN MARTIN,
CALIFORNIA
SANTA CLARA COUNTY
APN: 825-29-016

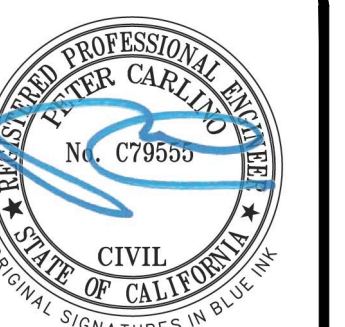
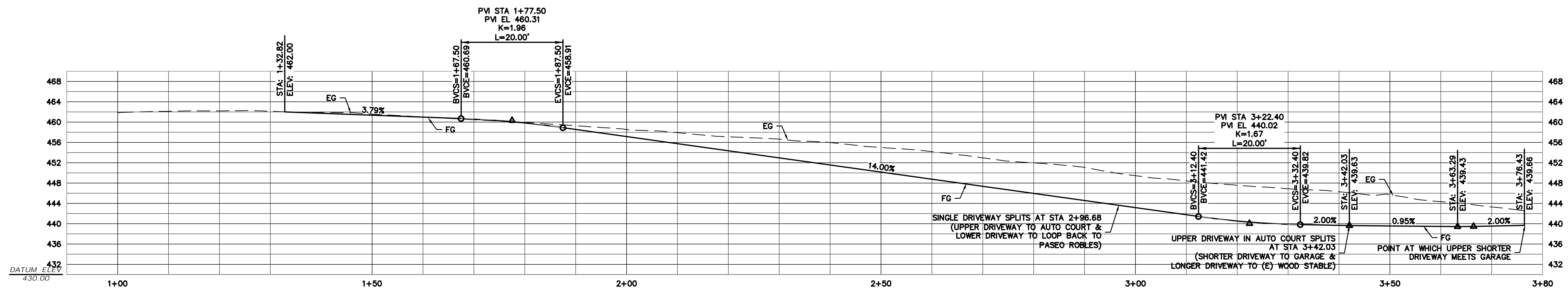
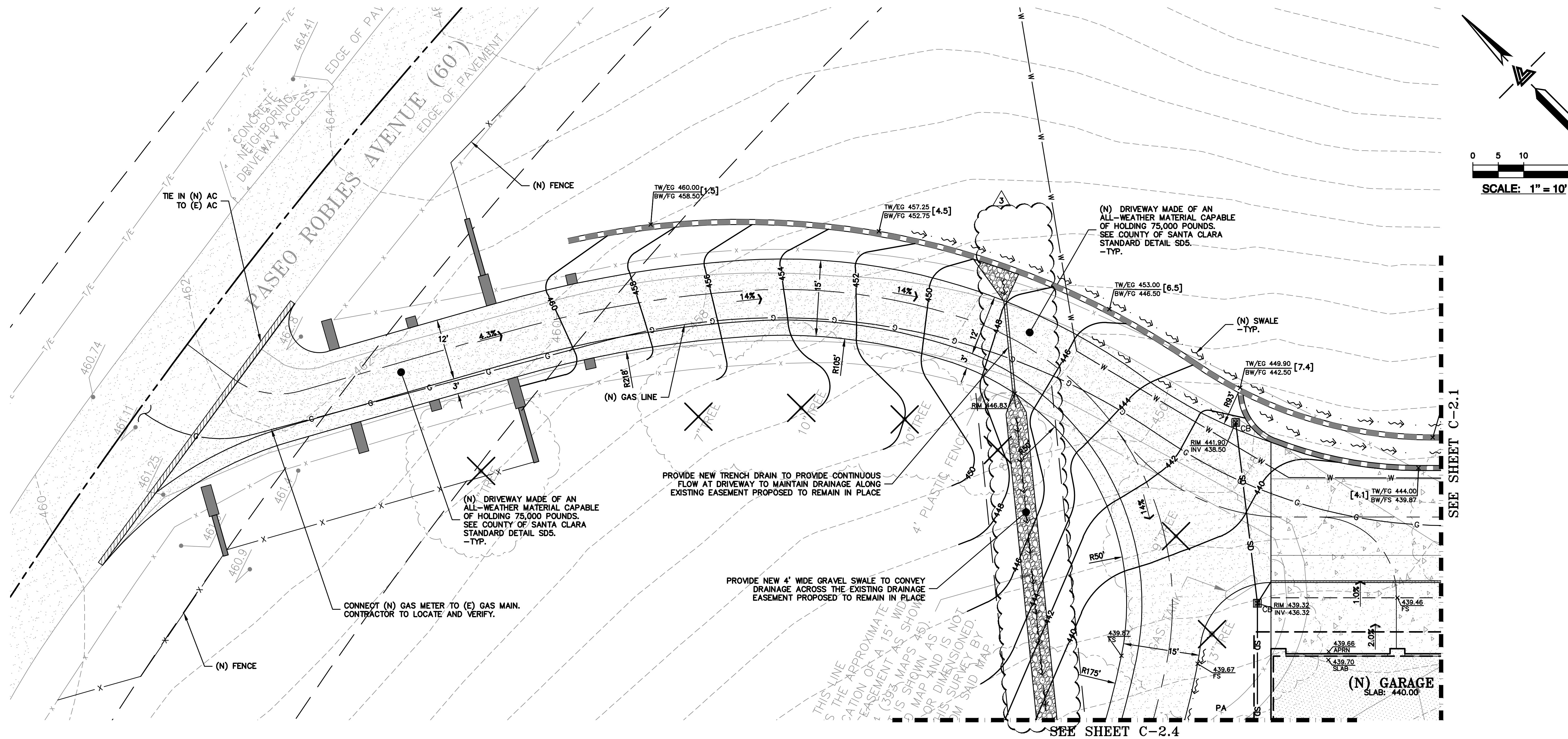
GRADING & DRAINAGE PLAN

NO.	REVISIONS	BY
3	PLAN CHECK 07-29-2020	MM/CA
2	PLAN CHECK 02-27-2020	MM
1	PLAN CHECK 12-20-2019	MM
REVISIONS		
BY		
JOB NO: 2190325		
DATE: 06-28-19		
SCALE: 1" = 10'		
DESIGN BY: MM		
CHECKED BY: CA		
SHEET NO:		
C-2.1		
05 OF 13 SHEETS		



FLATWORK KEYNOTES 1 TO 8

FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 5% FOR THE FIRST 10' AWAY FROM THE BUILDING PER CBC 1804.4 OR TO AN APPROVED DRAINAGE SWALE OR STRUCTURE. GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE AND A POSITIVE OUTFALL. MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND EXISTING CURB AT ALL TIMES PER CBC 2304.12.1.2 UNLESS STRUCTURAL DETAILING ALLOWS LESS. REFER TO STRUCTURAL PLANS FOR FOUNDATION DESIGN AND DETAILS.



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
BAY AREA REGION
1000 S. F STREET, SUITE 100
SACRAMENTO, CA 95811
HAYWARD, CALIFORNIA 94545
(P) (510) 887-4086 (F) (510) 887-7563
WWW.LEABRAZE.COM

DEL MONACO RESIDENCE
2940 PASEO ROBLES
SAN MARTIN,
CALIFORNIA

DRIVEWAY PLAN
& PROFILE

SEE SHEET C-2.1

SEE SHEET C-2.4

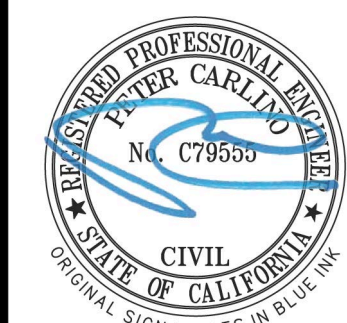
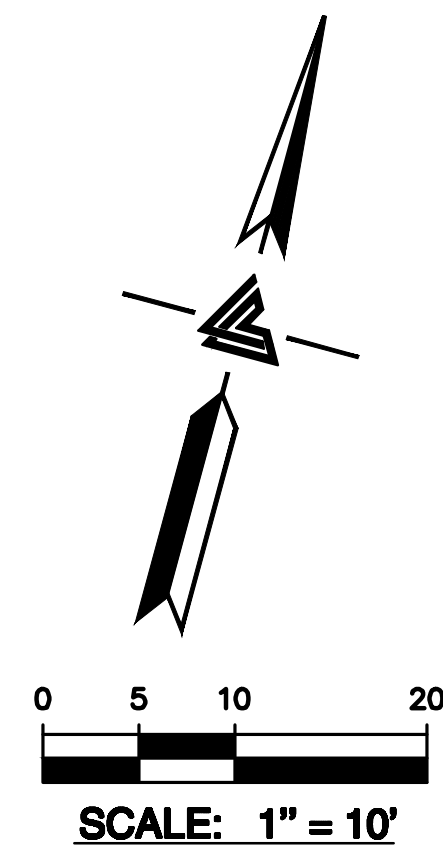
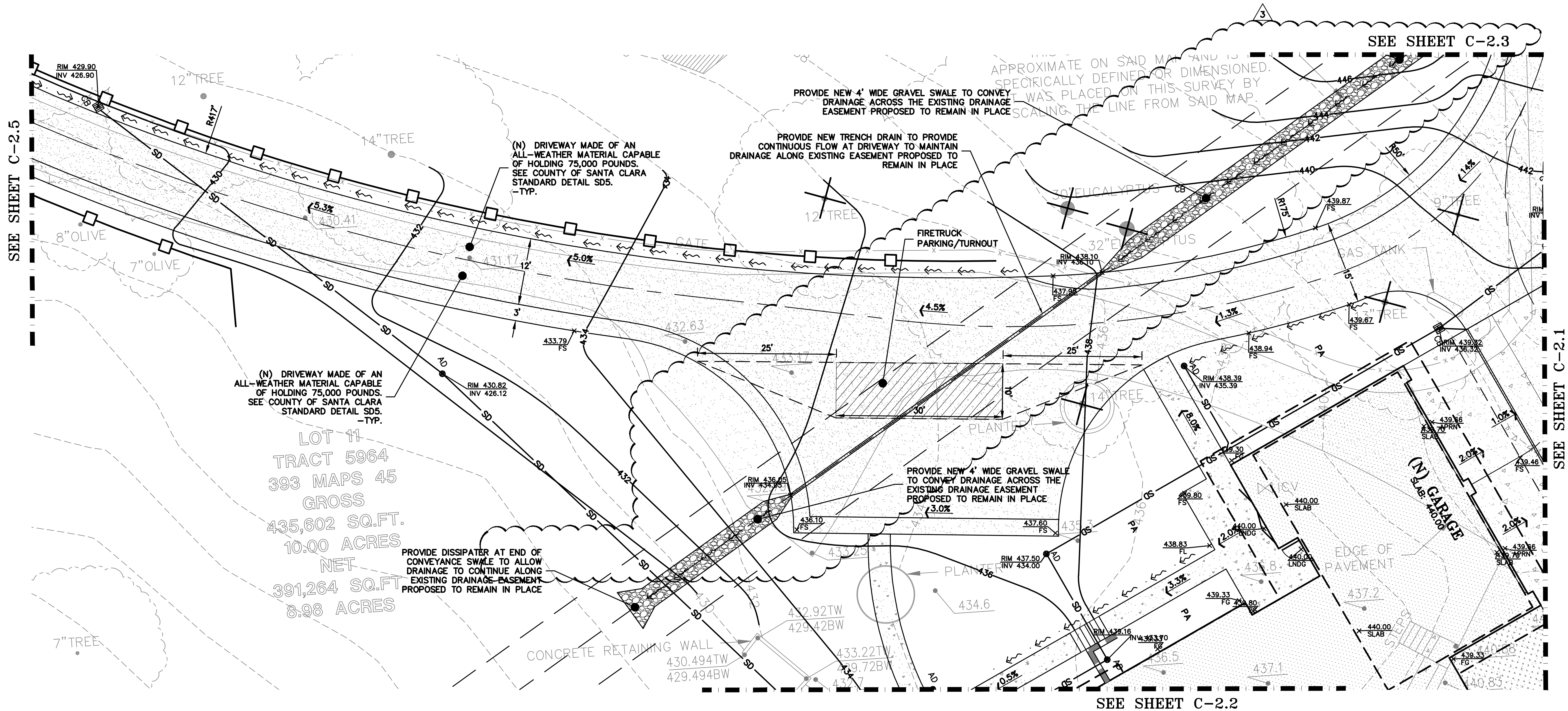
DEL MONACO RESIDENCE
2940 PASEO ROBLES
SAN MARTIN,
CALIFORNIA

DRIVEWAY PLAN
& PROFILE

SEE SHEET C-2.1

SEE SHEET C-2.4

NO.	REVISIONS	BY
3	PLAN CHECK 07-29-2020	MM/CA
2	PLAN CHECK 02-27-2020	MM
1	PLAN CHECK 12-20-2019	MM
REVISIONS		
BY		
JOB NO: 2190325		
DATE: 06-28-19		
SCALE: 1" = 10'		
DESIGN BY: MM		
CHECKED BY: CA		
SHEET NO:		
C-2.3		
07 OF 13 SHEETS		



LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 SACRAMENTO REGION
 1000 S. WILSON AVENUE, SUITE 100
 SACRAMENTO, CALIFORNIA 95811
 (P) (916) 887-4086 (F) (916) 887-7353
 WWW.LEABRAZE.COM

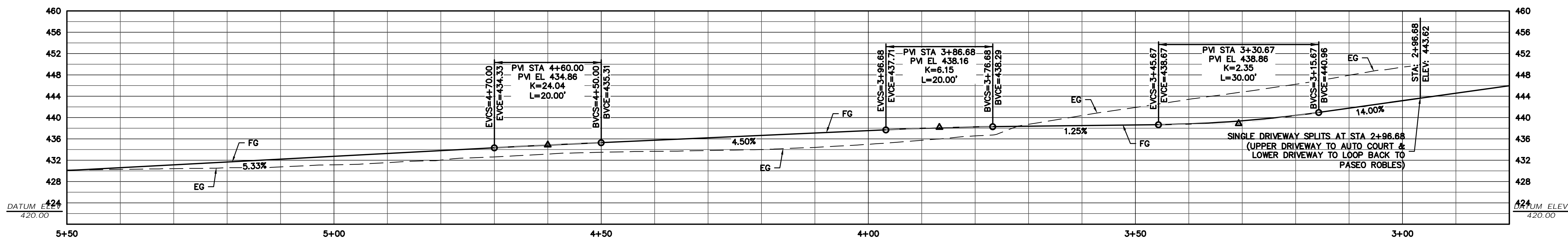
DEL MONACO RESIDENCE
2940 PASEO ROBLES
SAN MARTIN,
CALIFORNIA
 SANTA CLARA COUNTY APN: 825-29-016

**DRIVEWAY PLAN
& PROFILE**

NO.	REVISIONS	BY
3	PLAN CHECK 07-29-2020	MM/CA
2	PLAN CHECK 02-27-2020	MM
1	PLAN CHECK 12-20-2019	MM

JOB NO: 2190325
 DATE: 06-28-19
 SCALE: AS NOTED
 DESIGN BY: MM
 CHECKED BY: CA
 SHEET NO:

C-2.4
 08 OF 13 SHEETS



DRIVEWAY LOOP SPLIT STA281 TO STA550 PROFILE
 SCALE: 1" = 10' HORIZ & VERT

NOTE:
 DRIVEWAY IS TO BE MADE OF AN "ALL WEATHER" MATERIAL CAPABLE OF HOLDING 75,000 POUNDS.

TOPO NOTE:
 SOME ELEMENTS NOT SHOWN ON TOPOGRAPHIC SURVEY FOR CLARITY, INCLUDING HATCHING, LINEWORK, AND/OR NOTES.

NOTE:
 FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510) 887-4086 EXT 116. aabaya@leabraz.com

*** BUILDING PAD NOTE:**
 ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
SACRAMENTO REGION
BAY AREA REGION
SANTA CLARA COUNTY
HAYWARD, CALIFORNIA 94545
(P) (510) 887-4086 (F) (510) 887-3019
WWW.LEABRAZE.COM

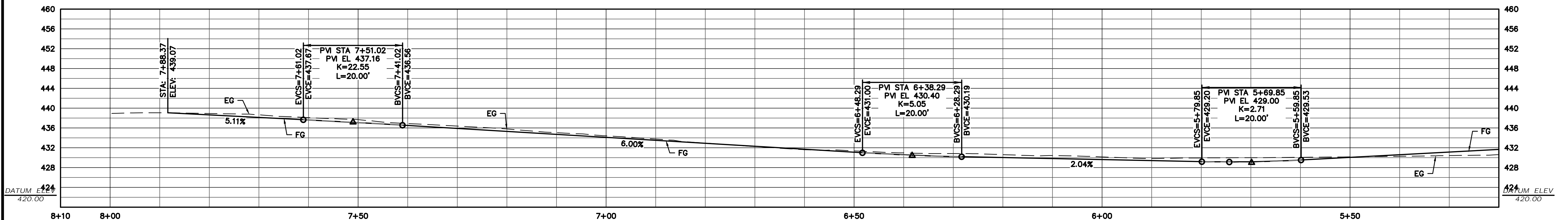
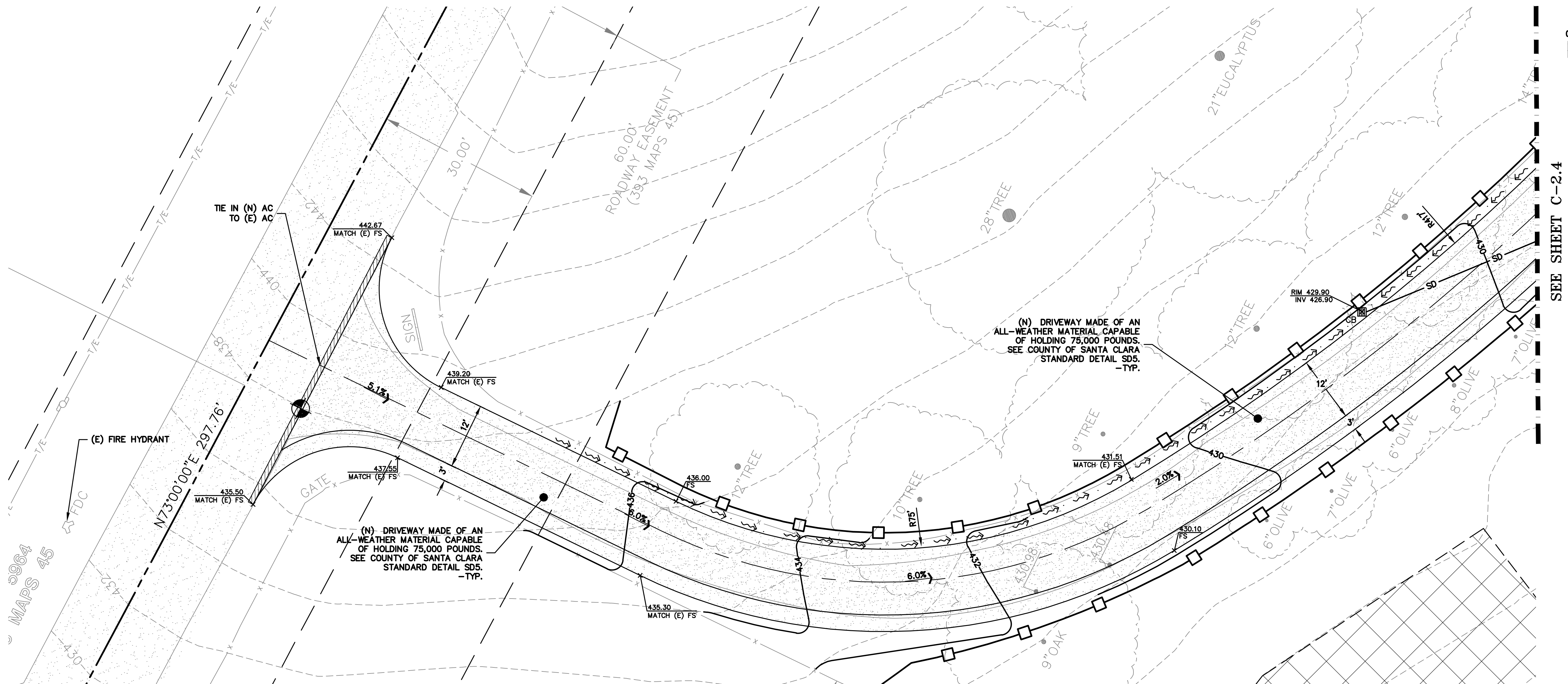
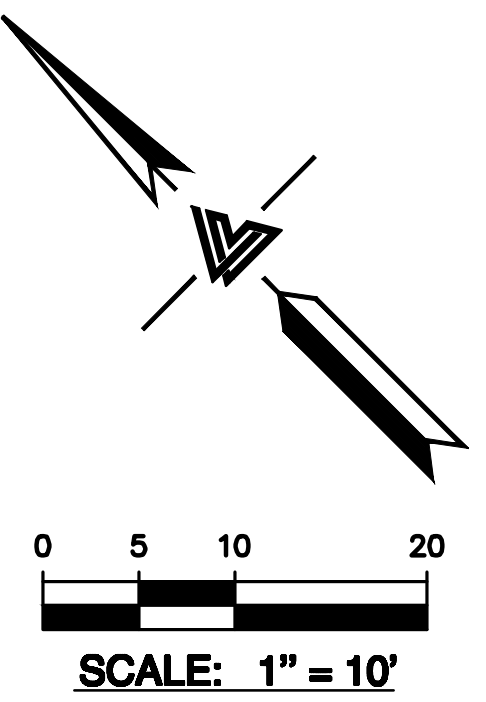
DEL MONACO RESIDENCE
2940 PASEO ROBLES
SAN MARTIN,
CALIFORNIA
SANTA CLARA COUNTY
APN: 825-29-016

DRIVEWAY PLAN
& PROFILE

NO.	REVISIONS	BY
3	PLAN CHECK 07-29-2020	MM/CA
2	PLAN CHECK 02-27-2020	MM
1	PLAN CHECK 12-20-2019	MM

JOB NO: 2190325
DATE: 06-28-19
SCALE: 1" = 10'
DESIGN BY: MM
CHECKED BY: CA
SHEET NO:

C-2.5
09 OF 13 SHEETS



DRIVEWAY LOOP SPLIT STA520 TO STA810 PROFILE

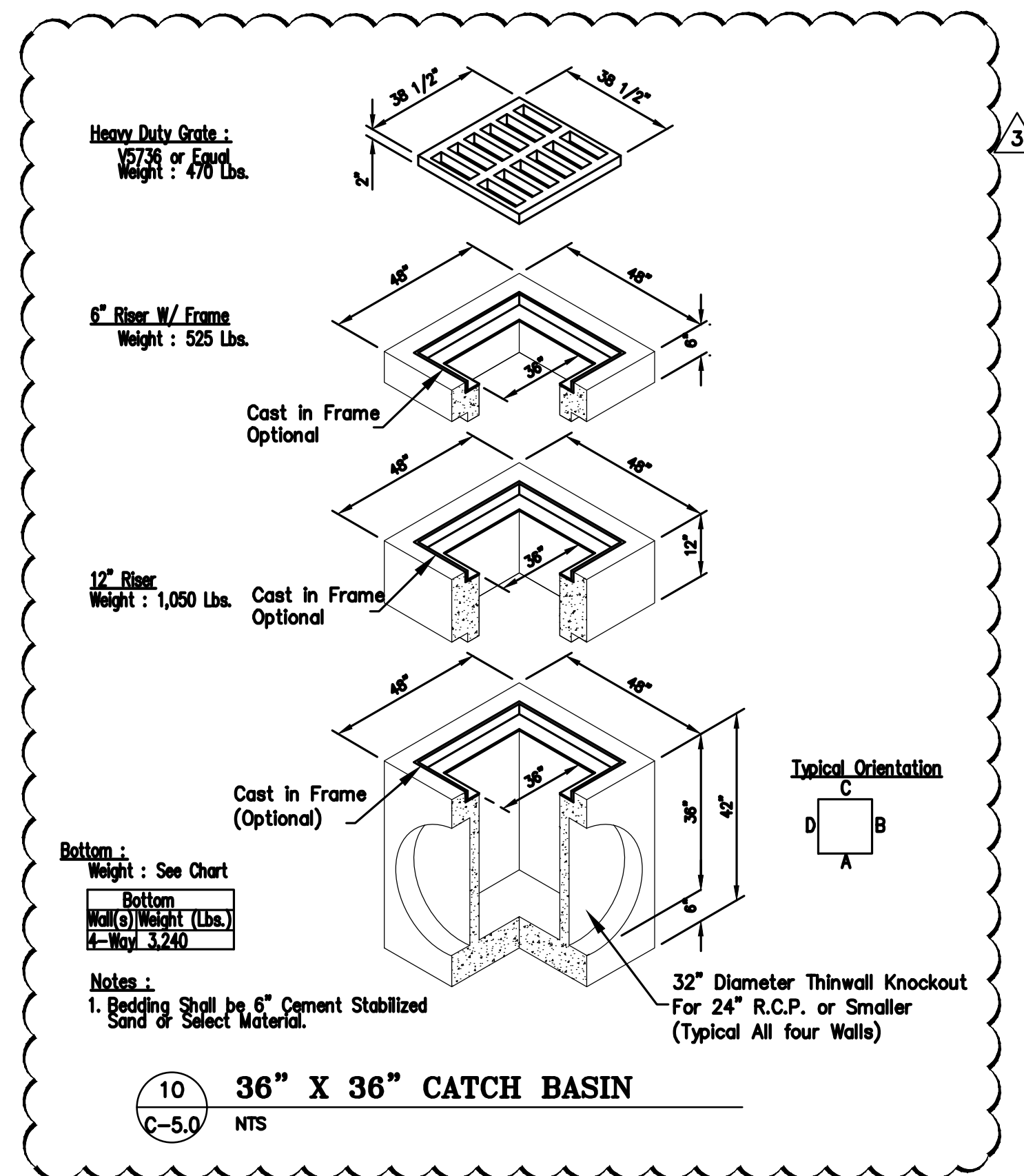
SCALE: 1" = 10' HORIZ & VERT

NOTE:
DRIVEWAY IS TO BE
MADE OF AN "ALL
WEATHER" MATERIAL
CAPABLE OF HOLDING
75,000 POUNDS.

TOPO NOTE:
SOME ELEMENTS NOT
SHOWN ON
TOPOGRAPHIC SURVEY
FOR CLARITY, INCLUDING
HATCHING, LINEWORK,
AND/OR NOTES.

NOTE:
FOR CONSTRUCTION STAKING
SCHEDULING OR QUOTATIONS
PLEASE CONTACT ALEX ABAYA
AT LEA & BRAZE ENGINEERING
(510)887-4086 EXT 116.
aabaya@leabraz.com

*** BUILDING PAD NOTE:**
ADJUST PAD LEVEL AS
REQUIRED. REFER TO
STRUCTURAL PLANS
FOR SLAB SECTION OR
CRAWL SPACE DEPTH TO
ESTABLISH PAD
LEVEL.



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS

BAY AREA REGION
2495 INDUSTRIAL PKWY WEST
HAYWARD, CALIFORNIA 94545
(P) (510) 887-4086
(F) (510) 887-3019
www.LEABRAZE.COM

DEL MONACO RESIDENCE
2940 PASEO ROBLES
SAN MARTIN,
CALIFORNIA

DETAILS

		—
		—
3	PLAN CHECK 07-29-2020	MM/CA
2	PLAN CHECK 02-27-2020	MM
1	PLAN CHECK 12-20-2019	MM
REVISIONS		BY

JOB NO:	2190325
DATE:	06-28-19
SCALE:	NTS
DESIGN BY:	MM
CHECKED BY:	CA
SHEET NO:	

C-3.1

PURPOSE:

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION OF GRADED AREAS AND TO PREVENT SEDIMENTATION FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING SITES, NATURAL AREAS, PUBLIC FACILITIES OR ANY OTHER AREA THAT MIGHT BE AFFECTED BY SEDIMENTATION. ALL MEASURES SHOWN ON THIS PLAN SHOULD BE CONSIDERED THE MINIMUM REQUIREMENTS NECESSARY. SHOULD FIELD CONDITIONS DICTATE ADDITIONAL MEASURES, SUCH MEASURES SHALL BE PER CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL AND THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION. LEA & BRAZE ENGINEERING SHOULD BE NOTIFIED IMMEDIATELY SHOULD CONDITIONS CHANGE.

EROSION CONTROL NOTES:

- IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THIS EROSION CONTROL PLAN.
- THE INTENTION OF THIS PLAN IS FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. ALL EROSION CONTROL MEASURES SHALL CONFORM TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL, THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION, AND THE LOCAL GOVERNING AGENCY FOR THIS PROJECT.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING, AND AFTER STORM EVENTS. PERSON IN CHARGE OF MAINTAINING EROSION CONTROL MEASURES SHOULD WATCH LOCAL WEATHER REPORTS AND ACT APPROPRIATELY TO MAKE SURE ALL NECESSARY MEASURES ARE IN PLACE.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATERCOURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS CONCERNING POLLUTION SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15TH.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LONGER.
- IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVAL EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY LOCAL JURISDICTION'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
- MEASURES SHALL BE TAKEN TO COLLECT OR CLEAN ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEMS. THE REMOVAL OF AFORESAID SHALL BE DONE BY STREET SWEEPING OR HAND SWEEPING. WATER SHALL NOT BE USED TO WASH SEDIMENTS INTO PUBLIC OR PRIVATE DRAINAGE FACILITIES.
- EROSION CONTROL MEASURES SHALL BE ON-SITE FROM SEPTEMBER 15TH THRU APRIL 15TH.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER 1ST THROUGH APRIL 30TH, WHICHEVER IS GREATER.
- PLANS SHALL BE DESIGNED TO MEET C3 REQUIREMENTS OF THE MUNICIPAL STORMWATER REGIONAL PERMIT("MRP") NPDES PERMIT CAS 612008.
- THE CONTRACTOR TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OR COUNTY STORM DRAIN SYSTEMS.
- THE CONTRACTOR MUST INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE INCEPTION OF ANY WORK ONSITE AND MAINTAIN THE MEASURES UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE TOWN INSPECTOR. THE ADJACENT STREET SHALL AT ALL TIMES BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. THE CONTRACTOR BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THE BY THEIR CONSTRUCTION, METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE TOWN RIGHT-OF-WAY.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INSPECTION OF ANY WORK ONSITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO NOT INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH PERMS IN CONJUNCTION OF ALL LANDSCAPING.
- STOCKPILED MATERIALS SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT IS SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- EXCESS OR WASTE CONCRETE MUST NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND

EROSION CONTROL NOTES CONTINUED:

- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MUST NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- DUST CONTROL SHALL BE DONE BY WATERING AND AS OFTEN AS REQUIRED BY THE TOWN INSPECTOR.
- SILT FENCE(S) AND/OR FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15TH AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS, TO PUBLIC OWNED FACILITIES.

EROSION CONTROL MEASURES:

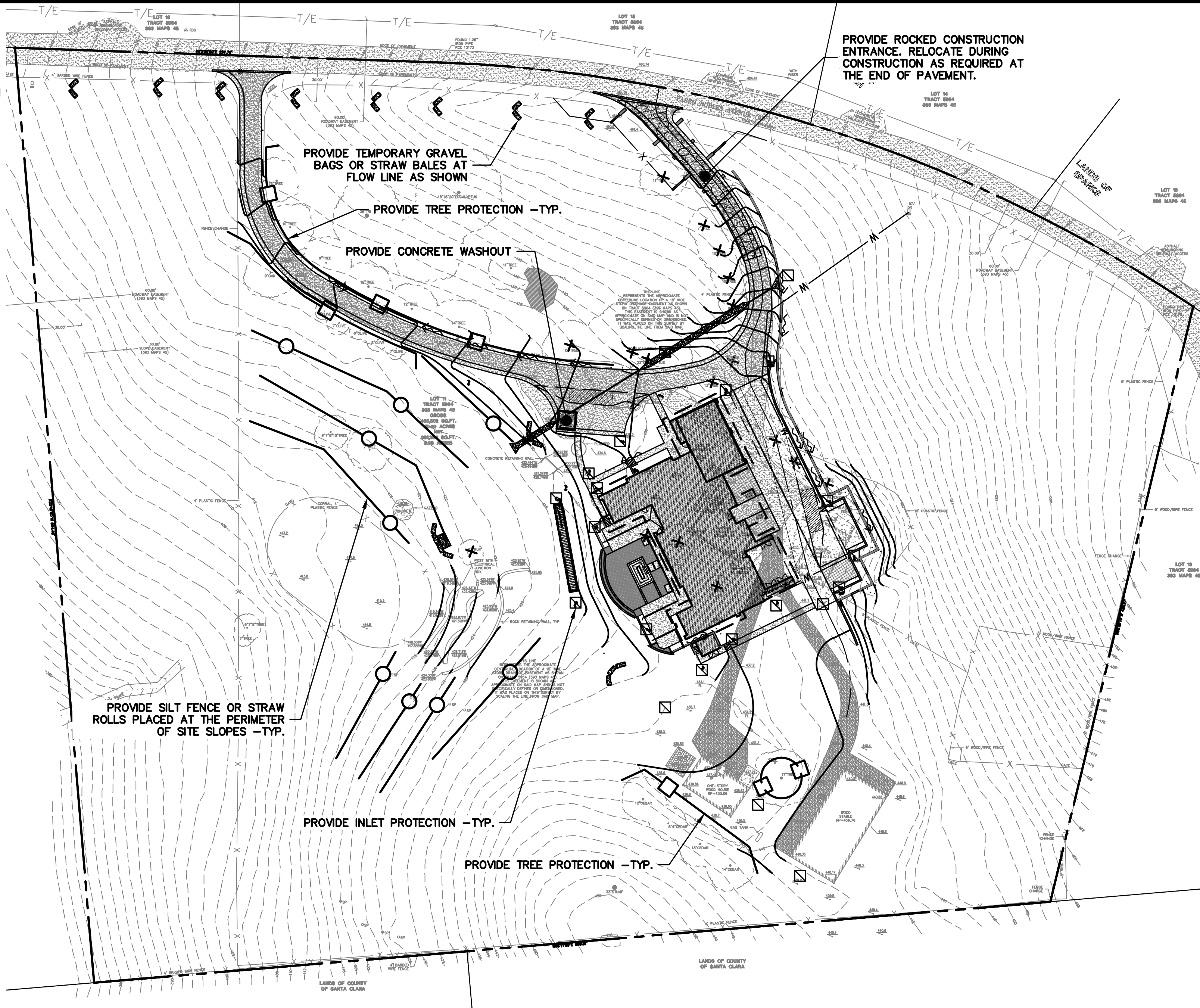
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15. EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO OCTOBER 15TH OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUEDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- SITE CONDITIONS AT TIME OF PLACEMENT OF EROSION CONTROL MEASURES WILL VARY. APPROPRIATE ACTION INCLUDING TEMPORARY SWALES, INLETS, HYDROSEEDING, STRAW BALES, ROCK SACKS, ETC. SHALL BE TAKEN TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING SITE. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS THE CONDITIONS CHANGE AND THE NEED OF CONSTRUCTION SHIFT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCES. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE GOVERNING AGENCY.
- ALL EXPOSED SLOPES THAT ARE NOT VEGETATED SHALL BE HYDROSEEDDED. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 15, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. HYDROSEEDING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 20" EROSION CONTROL AND HIGHWAY PLANTING" OF THE STANDARD SPECIFICATION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED. REFER TO THE EROSION CONTROL SECTION OF THE GRADING SPECIFICATIONS THAT ARE A PART OF THIS PLAN SET FOR FURTHER INFORMATION.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT. MINIMUM INLET PROTECTION SHALL CONSIST OF A ROCK SACKS OR AS SHOWN ON THIS PLAN
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. A REPRESENTATIVE OF LEA & BRAZE ENGINEERING SHALL PERFORM A FIELD REVIEW AND MAKE RECOMMENDATIONS AS NEEDED. CONTRACTOR IS RESPONSIBLE TO NOTIFY LEA & BRAZE ENGINEERING AND THE GOVERNING AGENCY OF ANY CHANGES.
- THE EROSION CONTROL MEASURES SHALL CONFORM TO THE LOCAL JURISDICTION'S STANDARDS AND THE APPROVAL OF THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
- STRAW ROLLS SHALL BE PLACED AT THE TOE OF SLOPES AND ALONG THE DOWN SLOPE PERIMETER OF THE PROJECT. THEY SHALL BE PLACED AT 25 FOOT INTERVALS ON GRADED SLOPES. PLACEMENT SHALL RUN WITH THE CONTOURS AND ROLLS SHALL BE TIGHTLY END BUTTED. CONTRACTOR SHALL REFER TO MANUFACTURES SPECIFICATIONS FOR PLACEMENT AND INSTALLATION INSTRUCTIONS.

REFERENCES:

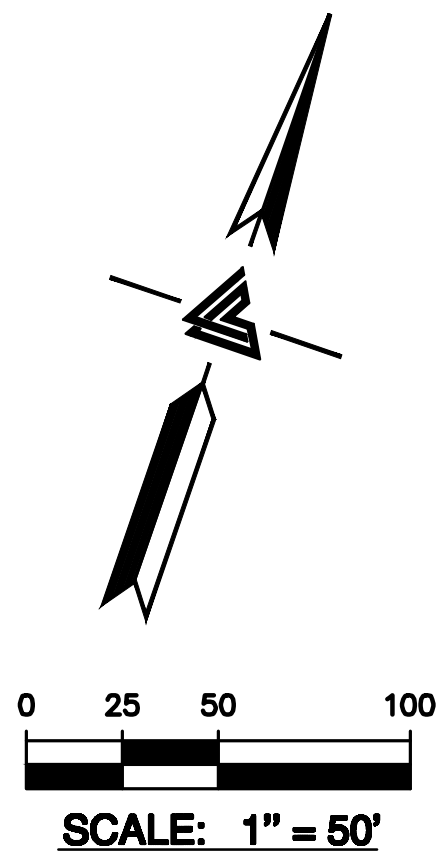
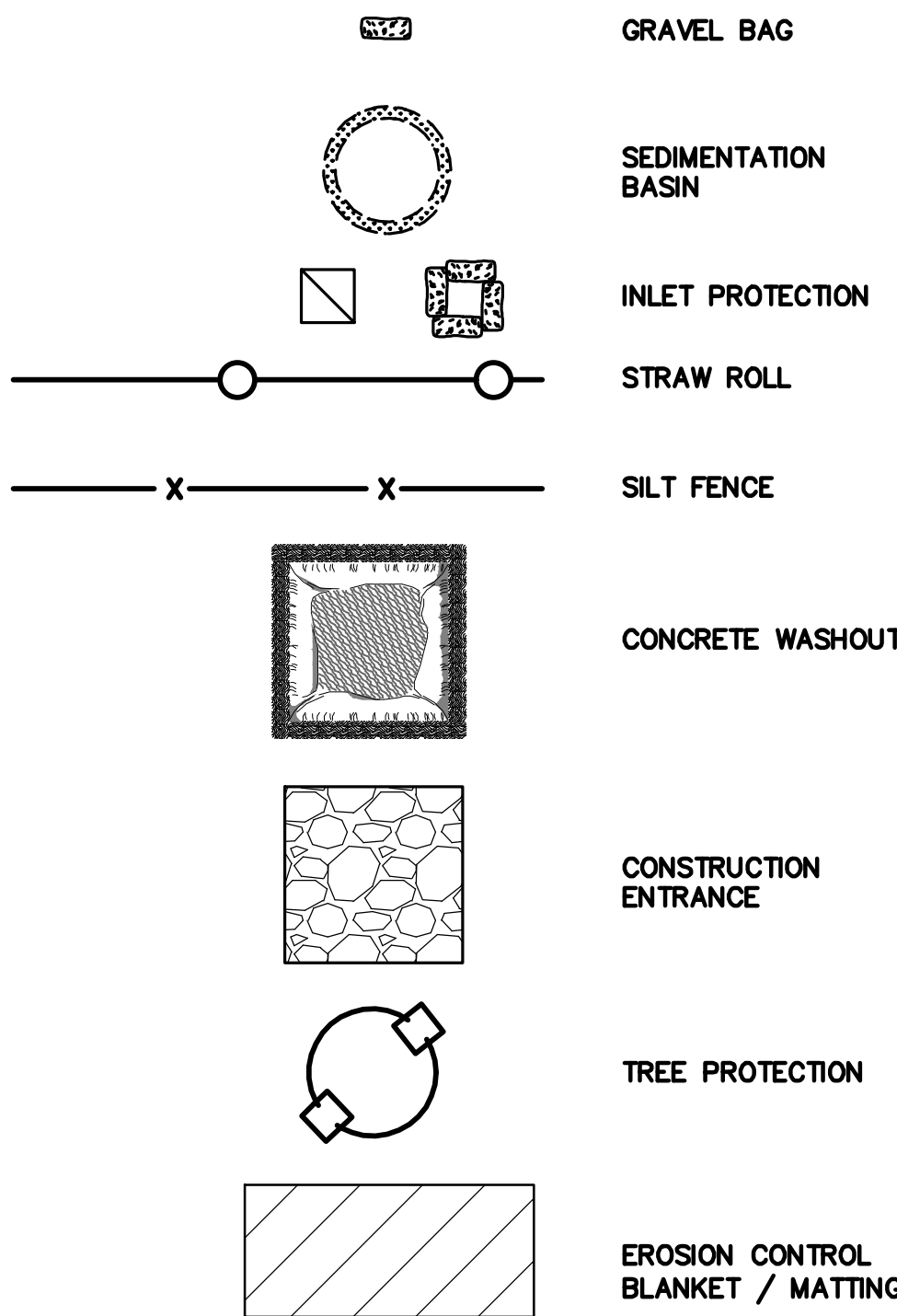
- CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL
- CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION

PERIODIC MAINTENANCE:

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1" FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.
- GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.
- STRAW ROLLS SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHED HALF THE HEIGHT OF THE ROLL.
- SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHES ONE FOOT IN HEIGHT.
- CONSTRUCTION ENTRANCE SHALL BE REGRAVELED AS NECESSARY FOLLOWING SILT/SOIL BUILDUP.
- ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION



EROSION CONTROL LEGEND



NOTE:
SEAL ALL OTHER INLETS NOT INTENDED TO ACCEPT STORM WATER AND DIRECT FLOWS TEMPORARILY TO FUNCTIONAL SEDIMENTATION BASIN INLETS. -TYP



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
SACRAMENTO REGION
BAY AREA REGION
SACRAMENTO, CALIFORNIA 95833
HAYWARD, CALIFORNIA 94545
(P) (510) 887-4086 (F) (510) 887-3019
WWW.LEABRAZE.COM

DEL MONACO RESIDENCE
2940 PASEO ROBLES
SAN MARTIN,
CALIFORNIA
SANTA CLARA COUNTY
APN: 825-29-016

EROSION CONTROL
PLAN

NO.	REVISIONS	BY
3	PLAN CHECK 07-29-2020	MM/CA
2	PLAN CHECK 02-27-2020	MM
1	PLAN CHECK 12-20-2019	MM

JOB NO: 2190325
DATE: 06-28-19
SCALE: 1"=50'
DESIGN BY: MM
CHECKED BY: CA
SHEET NO:

ER-1
11 OF 13 SHEETS

Name	Cut(adjusted)/...	Fill(adjusted)/...	Net(adjusted)/...	Net Graph
EG v FG driveway	1260.95	363.66	897.29<Cut>	
EG v FG ret wall regrade	7.04	47.89	40.85<Fill>	
EG v FG shed	2.20	0.00	2.20<Cut>	
EG v FG main residence	69.86	597.17	527.31<Fill>	
EG v FG site	1719.08	2322.55	603.47<Fill>	
eg vs fg pool	159.68	0.00	159.68<Cut>	
eg vs fg walkway E	7.48	5.13	2.35<Cut>	
eg vs fg walkway meter pad	2.84	0.41	2.43<Cut>	
eg vs fg walkway W	1.53	357.11	355.58<Fill>	
eg vs fg walkway N	8.97	0.00	8.97<Cut>	



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
BAY AREA REGION
1400 SUTCLIFF WAY, WEST
HAYWARD, CALIFORNIA 94545
(P) (510) 887-4086 (F) (510) 887-3019
WWW.LEABRAZE.COM

DEL MONACO RESIDENCE
2940 PASEO ROBLES
SAN MARTIN,
CALIFORNIA

APN: 825-29-016

EARTHWORKS
EXHIBIT

NO.	REVISIONS	BY
3	PLAN CHECK 07-29-2020	MM/CA
2	PLAN CHECK 02-27-2020	MM
1	PLAN CHECK 12-20-2019	MM

JOB NO: 2190325
DATE: 06-28-19
SCALE: 1" = 30'
DESIGN BY: MM
CHECKED BY: CA
SHEET NO:

EX-1

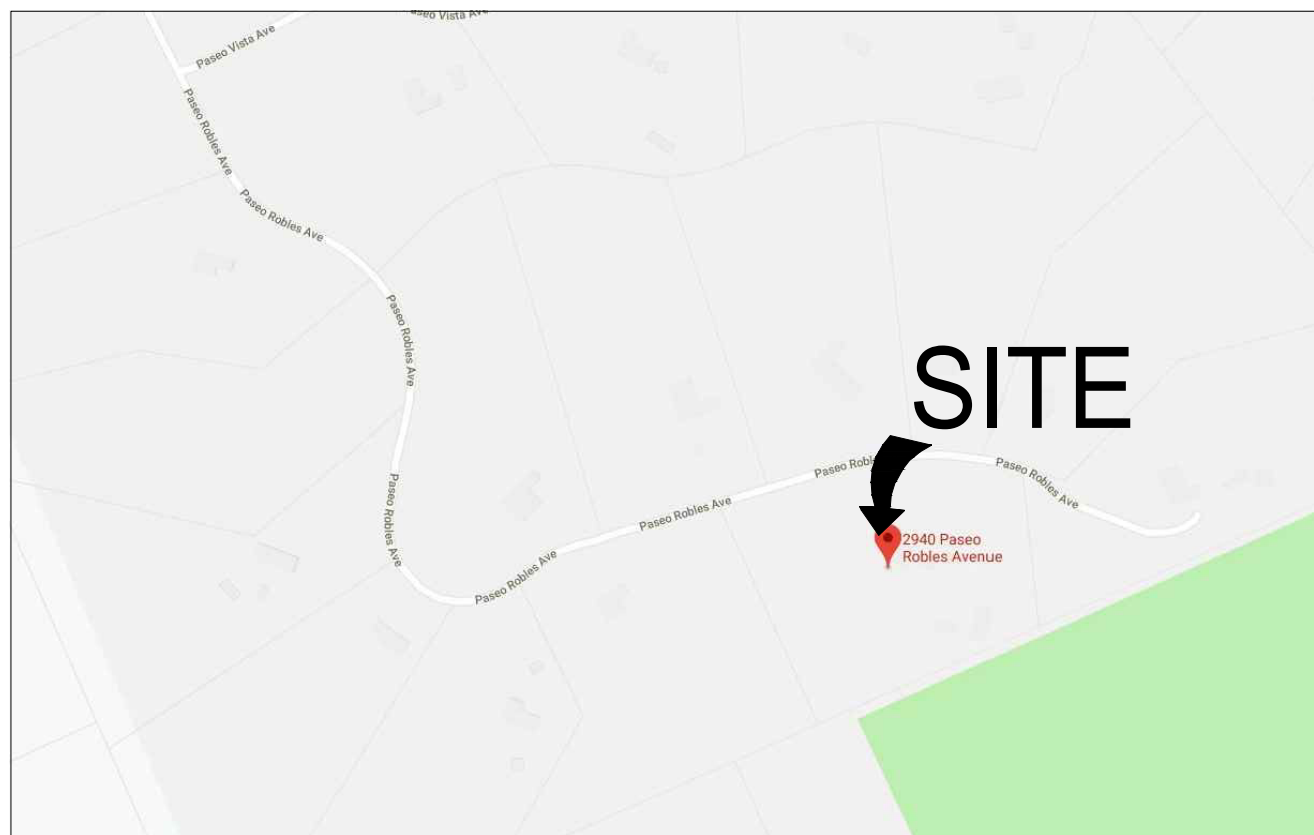
DEL MONACO RESIDENCE

NEW SINGLE-FAMILY RESIDENCE



2940 PASEO ROBLES AVE, SAN MARTIN (SANTA CLARA COUNTY)

LOCATION MAP



SCOPE OF WORK

DEMO OF EXISTING HOUSE ON DEVELOPED SITE. NEW CONSTRUCTION TO BE ONE STORY 4 BR 5.5 BA SINGLE FAMILY RESIDENCE TOTALING 8,102.1 S.F. LIVING AREA (6,226.4 S.F. FIRST FLOOR AREA AND 1,875.7 S.F. DOUBLE HEIGHT SPACE) AND 1,597.4 S.F. ATTACHED GARAGE AND 775.7 S.F. ATTACHED CARPORT WITH 1,694.6 S.F. COVERED AREAS MORE THAN 50% ENCLOSED, TOTALING 12,169.8 S.F. ON A 435,602 S.F. GROSS LOT (10.00 ACRES), 391,264 S.F. NET LOT (8.98 ACRES).

PROJECT SUMMARY

Assessor's Parcel No.	825-29-016
Zoning:	HS-d1 (Tier 2)
Jurisdiction:	Santa Clara County
Type of Construction:	TYPE V-B, SPRINKLERED
Building Occ. Groups:	R-3/U (SINGLE FAMILY RESIDENTIAL)
Required Property Setbacks (1st / 2nd):	
Front	30'-0"
Rear	90'-0"
Right Side	60'-0"
Left Side	30'-0"
Proposed Property Setbacks (1st / 2nd):	
Front	226'-7"
Rear	379'-0"
Right Side	202'-6"
Left Side	203'-11"
Max. Allowed Building Height:	35'-0"
Proposed Building Height	28'-3 1/2"
Gross Lot Area:	10.00 Acres Gross (8.98 Acres Net)
Total New Garage	1,597.4
Total New Attached Carport	775.7
Total New First Floor Living Area	6,226.4
Total New First Floor Living Area >15'	1,875.7
Total New Covered Areas Counted as FAR	1,694.6
Total New Residence	12,169.8
FAR Percentage	3.1%

DEFERRED SUBMITTALS

- FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS--NOTE THAT PER CRC 313.3.7, A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: "WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN"
- SOLAR PHOTOVOLTAIC SYSTEM TO BE UNDER A SEPARATE PERMIT
- ROOF TRUSSES--TRUSS DESIGN PACKAGE AND ENGINEER OF RECORD REVIEW LETTER TO BE SUBMITTED TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL

REQ'D CONTRACTOR SUBMITTALS TO ARCHITECT

THE FOLLOWING ARE REQUIRED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL/REVIEW:

- WINDOW/DOOR PACKAGE
- CABINET SHOP DRAWINGS AND FINISH SAMPLES
- MECHANICAL DUCTING PLAN
- MISC. STEEL SHOP DRAWINGS

NOTE: SEE STRUCTURAL PLANS FOR ADDITIONAL REQUIRED SUBMITTALS FOR SHOP DRAWINGS, ETC.

REQ'D CONTRACTOR SUBMITTALS TO BUILDING DEPT. PRIOR TO PERMIT ISSUANCE

- LICENSE NUMBER
- INSURANCE AND WORKER'S COMP POLICIES
- CONSTRUCTION STAGING PLAN
- CONSTRUCTION WASTE MANAGEMENT PLAN IN ACCORDANCE WITH CALGREEN 4.408.2

APPLICABLE CODES

APPLICABLE CODES (with SANTA CLARA COUNTY Amendments)

- 2016 CALIFORNIA ADMINISTRATIVE CODE, CAC
- 2016 CALIFORNIA BUILDING CODE, CBC
- 2016 CALIFORNIA RESIDENTIAL BUILDING CODE, CRC
- 2016 CALIFORNIA ELECTRICAL CODE, CEC
- 2016 CALIFORNIA MECHANICAL CODE, CMC
- 2016 CALIFORNIA PLUMBING CODE, CPC
- 2016 CALIFORNIA ENERGY CODE, CEnc
- 2016 CALIFORNIA HISTORICAL CODE, CHC
- 2016 CALIFORNIA FIRE CODE, CFC
- 2016 CALIFORNIA EXISTING BUILDING CODE
- 2016 CALIFORNIA GREEN BUILDING STANDARDS
- 2016 CALIFORNIA REFERENCED STANDARDS
- SANTA CLARA COUNTY STANDARD DETAIL AND SPECIFICATION SI-7 FOR CONSTRUCTION SITE SAFETY

SHEET INDEX

ARCHITECTURAL
A0.0 COVER SHEET
A0.2 FLOOR AREA CALCULATIONS
A1.0a SITE PLAN
A1.0b DEMOLITION SITE PLAN
A2.1a FLOOR PLAN
A2.1b CLERESTORY PLAN
A3.0 EXTERIOR ELEVATIONS
A3.1 EXTERIOR ELEVATIONS
A3.2 EXTERIOR PERSPECTIVES
A3.3 EXTERIOR PERSPECTIVES
A3.4 HEIGHT EXHIBIT
A5.0 SECTIONS

CIVIL
SU1 TOPO EXHIBIT
SU1 TOPO SURVEY
SU2 TOPO SURVEY
SU3 TOPO SURVEY
SU4 TOPO SURVEY
SU5 TOPO SURVEY
C-1.0 TITLE SHEET
C-1.1 TITLE SHEET
C-1.2 OVERALL SITE PLAN
C-2.0 GRADING & DRAINAGE PLAN
C-2.1 GRADING & DRAINAGE PLAN
C-2.2 GRADING & DRAINAGE PLAN
C-2.3 DRIVEWAY PLAN & PROFILE
C-2.4 DRIVEWAY PLAN & PROFILE
C-2.5 DRIVEWAY PLAN & PROFILE
C-3.1 DETAILS
ER-1 EROSION CONTROL PLAN
BMP-1 EROSION CONTROL DETAILS
BMP-2 EROSION CONTROL DETAILS
EX-1 EARTHWORKS EXHIBIT

LANDSCAPE
L.1 LANDSCAPE SITE PLAN
L.1.2 BUILDING + HARDSCAPE SECTIONS
L.2 OVERALL PAVING PLAN
L.3 PAVING PLAN - SOUTH
L.4 PAVING PLAN - NORTH
L.5 PAVING PLAN - SITE ENTRY
L.6 SCREENING PLAN

PROJECT TEAM

OWNER
Vic and Stephanie Del Monaco
2940 Paseo Robles Ave
San Martin, CA 95046
email: vic.delmonaco@outlook.com
stephanie.delmonaco@outlook.com

ARCHITECT/INTERIOR DESIGNER
Studio S Squared Architecture, Inc.
1000 S Winchester Blvd
San Jose, CA 95128
attn Isabeau Guglielmo
ph 408 998 0983 x10
email: isabeau@studioS2arch.com

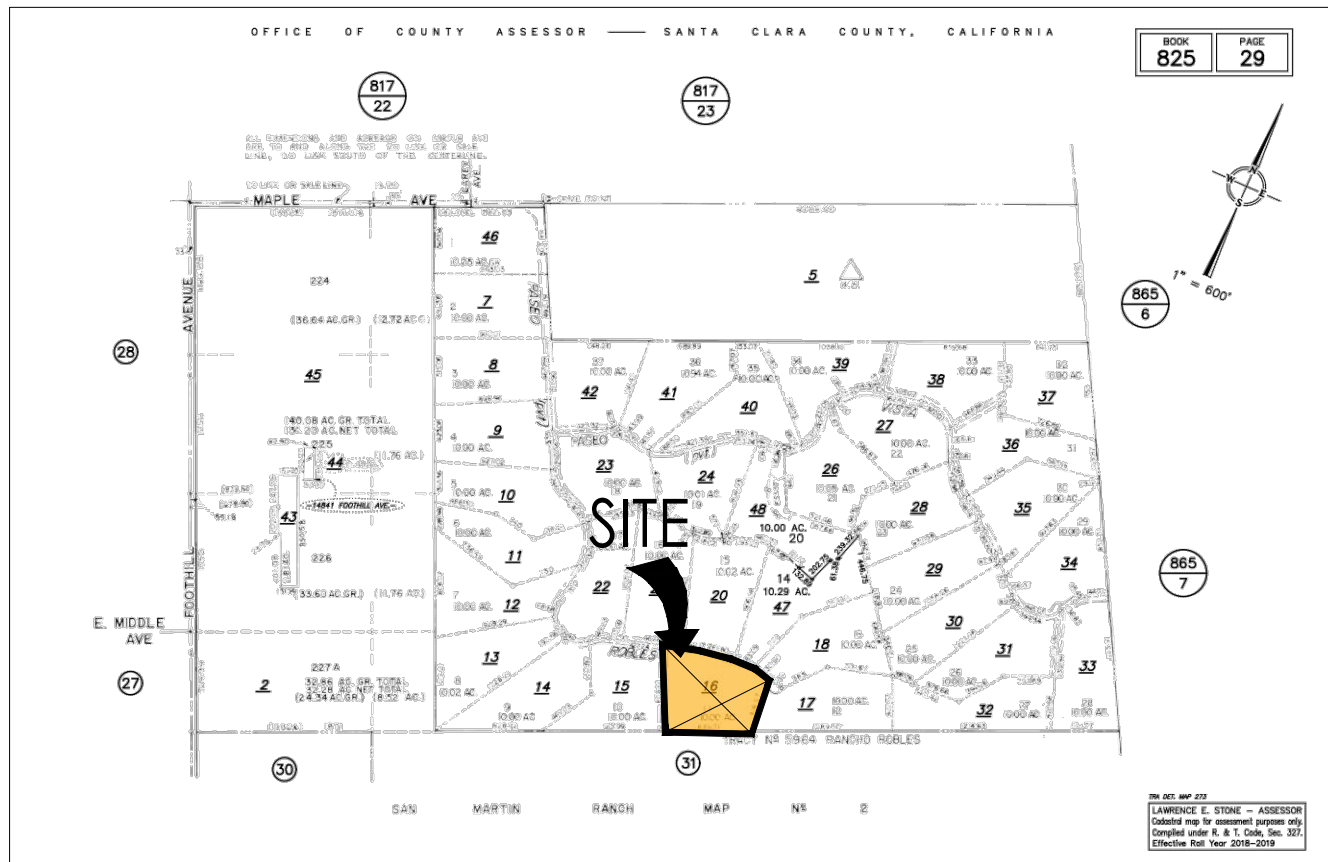
GEOTECHNICAL ENGINEER
Romig Engineers, Inc.
attn Lucas Offaboni
ph 650 591 5224
email lucas@romigengineers.com

CIVIL ENGINEER
Lea & Braze Engineering, Inc.
attn Kevin Zhang
email JHalboom@leabraze.com

LANDSCAPE ARCHITECT
Kikuchi + Kankel Design Group
attn Christopher Kankel
email ckankel@kkdesigngroup.com

ARBORIST
Kevin Kiely Arborist
attn Kevin Kiely
email kkarbor0476@yahoo.com

ASSESSOR'S PARCEL MAP



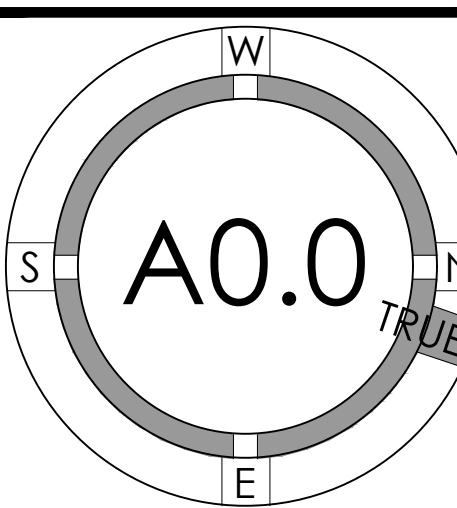
1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

DEL MONACO RESIDENCE
NEW SINGLE FAMILY RESIDENCE
2940 PASEO ROBLES AVE, SAN MARTIN, CA
VIC & STEPHANIE DEL MONACO



PROJECT NO.	REVISION	DATE	DESCRIPTION	DRAWN BY	IG	IG	IG	IG
18-039		06.24.2019	DESIGN REVIEW PACKAGE					
		12.20.2019	DESIGN REVIEW RESUBMITTAL					
		02.24.2020	DESIGN REVIEW RESUBMITTAL					
		06.18.2020	DESIGN REVIEW RESUBMITTAL					

COVER SHEET

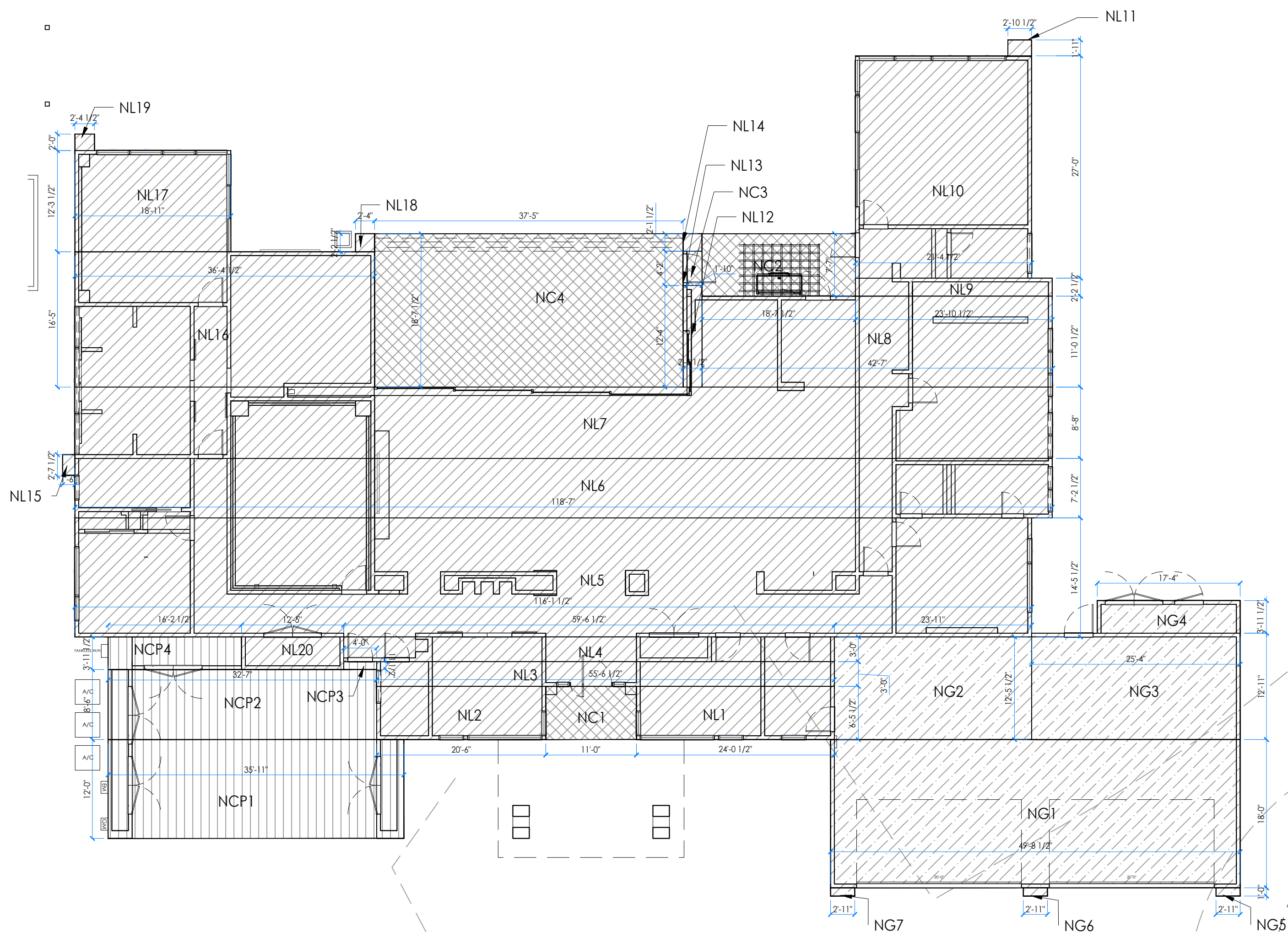


2 4 8 12 16 feet

FLOOR AREA CALCS -- CLERESTORY (SPACES > 15' TALL)

3/32"

2



2 4 8 12 16 feet

FLOOR AREA CALCS

3/32"

1

New First Floor Living Area		
Section		Area (#)
NL1	24'-0 1/2" X 6'-5 1/2"	155.1
NL2	20'-6" X 6'-5 1/2"	132.5
NL3	55'-6 1/2" X 3'-0"	166.6
NL4	59'-6 1/2" X 3'-0"	178.6
NL5	116'-1 1/2" X 14'-5 1/2"	1,678.7
NL6	118'-7" X 7'-2 1/2"	856.3
NL7	118'-7" X 8'-8"	1,026.5
NL8	42'-7" X 11'-0 1/2"	469.3
NL9	23'-10 1/2" X 2'-2 1/2"	52.3
NL10	21'-4 1/2" X 27'-0"	576.9
NL11	2'-10 1/2" X 1'-11"	5.5
NL12	2'-3 1/2" X 12'-4"	28.3
NL13	5 1/2" X 4'-2"	1.9
NL14	2'-3 1/2" X 2'-1 1/2"	4.9
NL15	1'-6" X 2'-7 1/2"	3.7
NL16	36'-4 1/2" X 16'-5"	597.7
NL17	18'-11" X 12'-3 1/2"	232.5
NL18	2'-4" X 2'-2 1/2"	5.1
NL19	2'-4 1/2" X 2'-0"	4.8
NL20	12'-5" X 3'-11 1/2"	49.1
NL Total		6,226.4

New Garage Area		
NG1	49'-8 1/2" X 18'-0"	894.8
NG2	23'-11" X 12'-5 1/2"	298.2
NG3	25'-4" X 12'-11"	327.0
NG4	17'-4" X 3'-11 1/2"	68.7
NG5	2'-11" X 1'-0"	2.9
NG6	2'-11" X 1'-0"	2.9
NG7	2'-11" X 1'-0"	2.9
NG Total		1,597.4

New Carport Area		
NCP1	35'-11" X 12'-0"	430.8
NCP2	32'-7" X 8'-6"	277.0
NCP3	4'-0" X 11 1/2"	3.8
NCP4	16'-2 1/2" X 3'-11 1/2"	64.1
NCP Total		775.7

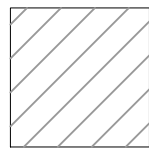
New Living Area > 15' Tall		
NLT1	8'-4" X 11'-2 1/2"	93.4
NLT2	2'-9 1/2" X 12'-2 1/2"	34.1
NLT3	2'-9 1/2" X 12'-2 1/2"	34.1
NLT4	59'-3 1/2" X 25'-1 1/2"	1,489.2
NLT5	20'-4 1/2" X 11'-0 1/2"	225.0
NLT Total		1,875.7

New Covered Area (attached and > 50% enclosed)		
NC1	11'-0" X 6'-5 1/2"	71.0
NC2	18'-7 1/2" X 7'-7"	141.3
NC3	1'-10" X 4'-2"	7.6
NC4	37'-5" X 18'-7 1/2"	697.3
NC Total		917.3

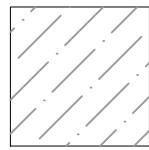
New Covered Area (attached and > 50% enclosed) > 15' tall		
NCT1	11'-0" X 5'-5 1/2"	60.0
NCT2	8'-4" X 1'-0"	8.3
NCT3	38'-11" X 11'-0 1/2"	429.5
NCT4	39'-3 1/2" X 5'-2 1/2"	205.0
NCT5	9'-10" X 7'-7"	74.5
NCT Total		777.3

GLA	Gross Lot Area:	435,602.0
NLA	Net Lot Area:	391,264.0
NG	Total New Garage	1,597.4
NCP	Total New Carport	775.7
TNL=NL+NLT	Total New Living Area	8,102.1
TNC=NC+NCT	Total New Covered Areas Counted as FAR	1,694.6
Zoning d1 Tier 2 Floor Area Max		12,500.0
TNR=TNL+NG+NCP+TNC	Total New Residence	12,169.8
TNR/NLA	FAR Percentage	3.1%

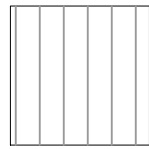
TOTAL FLOOR AREA ≤ 12,500 S.F., THEREFORE RESIDENCE IS d1 TIER 2



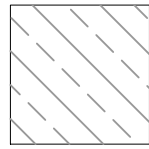
NL# = NEW LIVING AREA



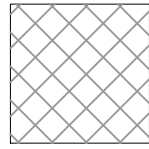
NG# = NEW GARAGE AREA



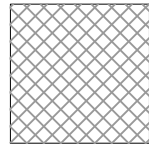
NCP# = NEW CARPORT AREA



NLT# = NEW LIVING AREA > 15' TALL COUNTED TWICE AS FAR



NC# = NEW COVERED AREA (ATTACHED AND > 50% ENCLOSED) COUNTED AS FAR



NCT# = NEW COVERED AREA (ATTACHED AND > 50% ENCLOSED) > 15' TALL COUNTED TWICE AS FAR

FLOOR AREA LEGEND

"FOR PLANNING APPROVAL ONLY--NOT FOR CONSTRUCTION"



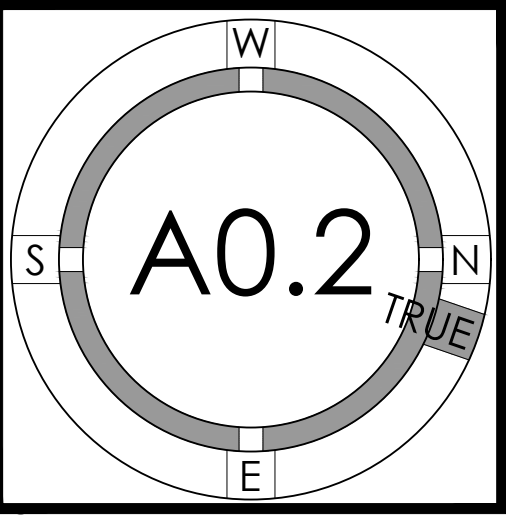
1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

DEL MONACO RESIDENCE
NEW SINGLE FAMILY RESIDENCE
2940 PASEO ROBLES AVE, SAN MARTIN, CA
VIC & STEPHANIE DEL MONACO

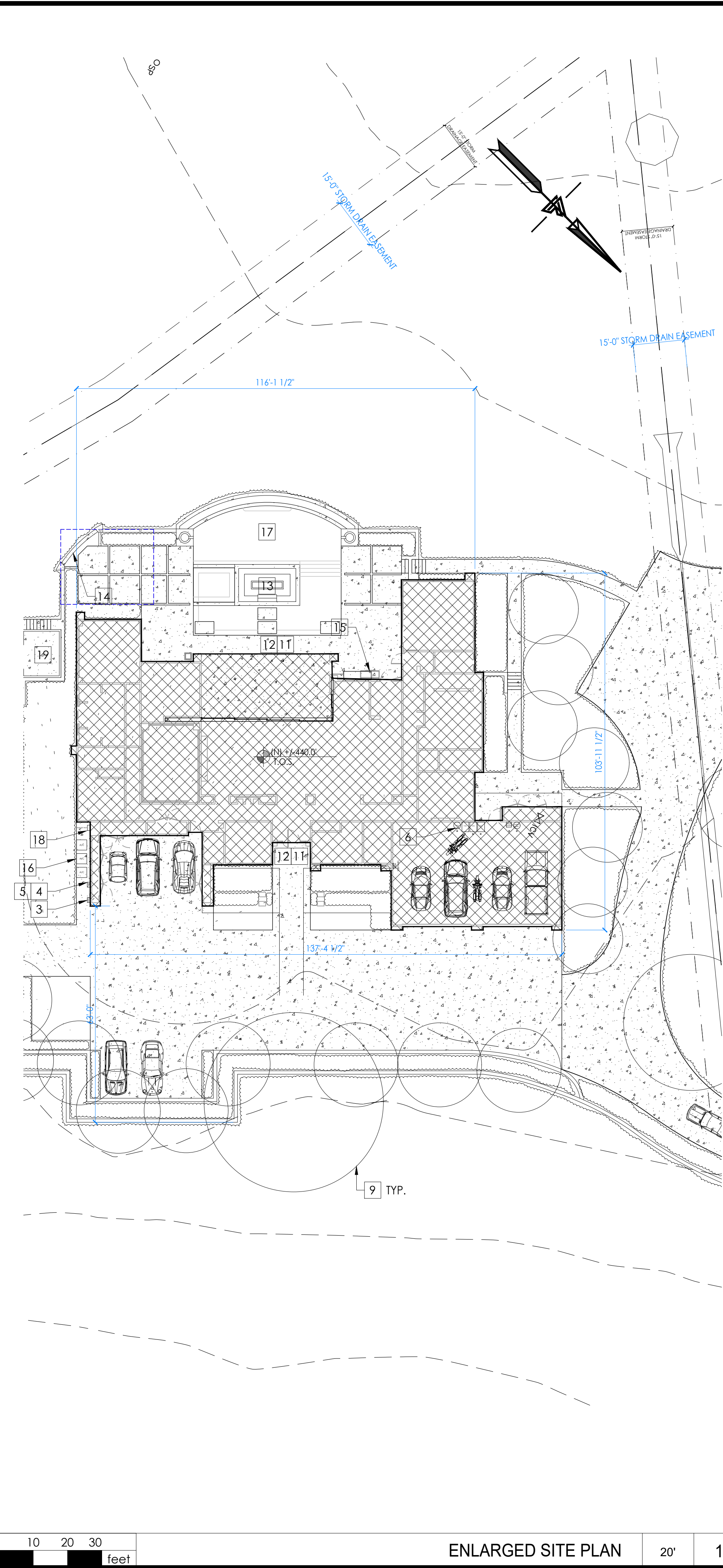
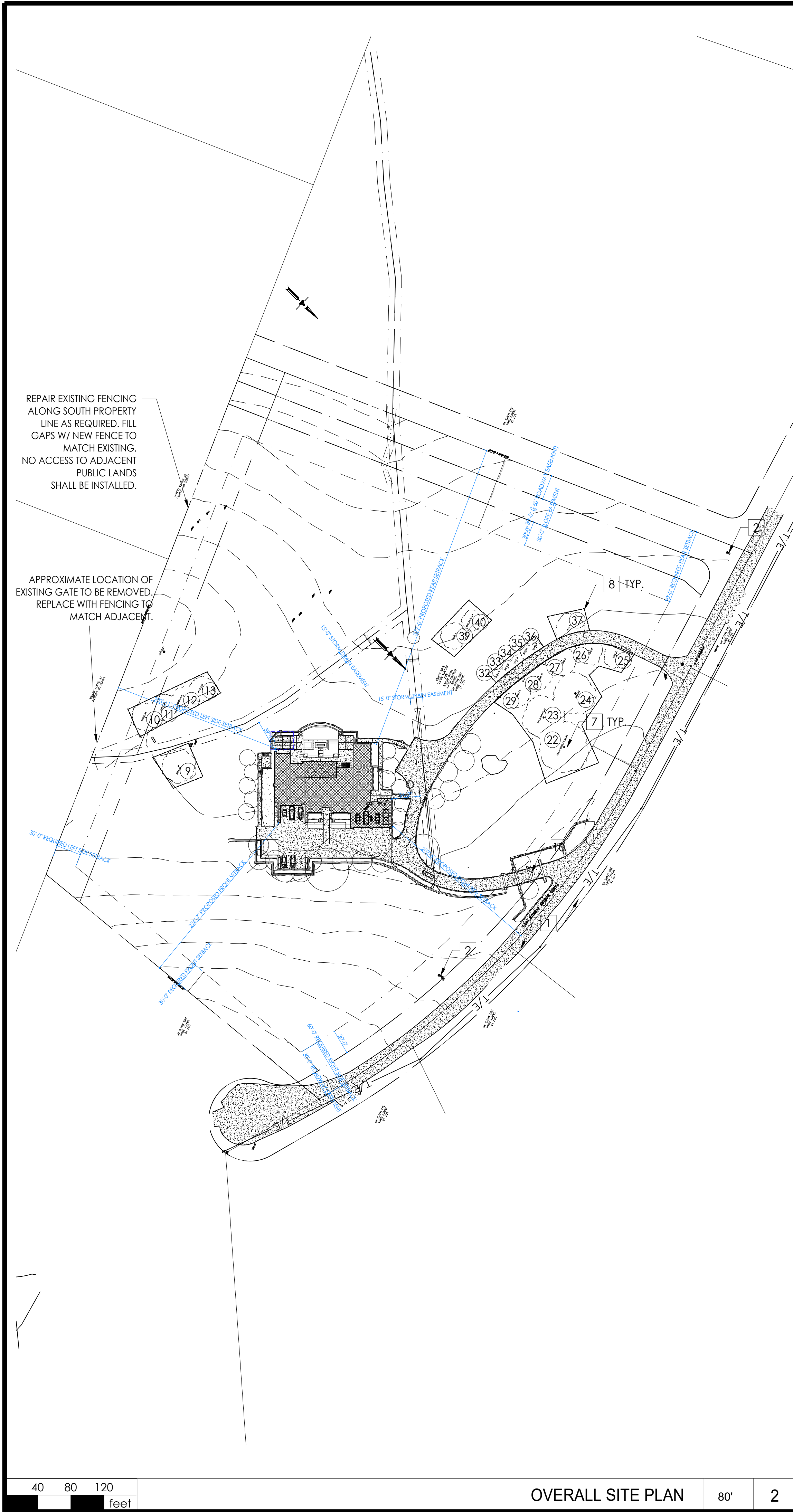


PROJECT NO.	DATE	DESCRIPTION	DESIGNED BY
18-039	06.24.2019	DESIGN REVIEW PACKAGE	IG
	12.20.2019	DESIGN REVIEW RESUBMITTAL	IG
	02.24.2020	DESIGN REVIEW RESUBMITTAL	IG
	06.18.2020	DESIGN REVIEW RESUBMITTAL	IG

FLOOR
AREA
CALCULATIONS



© STUDIO S SQUARED ARCHITECTURE, INC.



- # = NUMBER TO KEY NOTE BELOW
- EXISTING PUBLIC RIGHT OF WAY--ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED "PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET" PRIOR TO THE COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY
 - (E) WATER METER--CONTRACTOR TO COORDINATE (N) METER WITH LOCAL WATER COMPANY IF REQUIRED BY INCREASED FIXTURE LOAD
 - (N) GAS METER LOCATION--INSTALL TWO 2" DIAMETER x 30" TALL STEEL PIPE BOLLARDS EMBEDDED IN 2 FT DEEP CONCRETE FOOTINGS IF GAS METER IS WITHIN 3 FEET OF DRIVEWAY
 - (N) ELECTRICAL METER LOCATION--CONTRACTOR TO COORDINATE WITH LOCAL ELECTRICAL COMPANY FOR UPGRADE (200AMPS) TO (E) ELECTRICAL SERVICE--INSTALL UFER GROUND CONNECTION PER CEC 250-52
 - UFER GROUND CONNECTION PER CEC 250-52
 - (N) WATER HEATER
 - (E) TREE(S) TO REMAIN- PROTECT AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME. SEE ARBORIST REPORT (IF PROVIDED) FOR ADDITIONAL INFORMATION
 - TREE PROTECTION FENCING
 - (N) TREE LOCATION
 - (N) DRIVEWAY--SEE LANDSCAPE AND CIVIL PLANS FOR MORE INFO
 - (N) HARDSCAPE--SLOPE AWAY FROM HOUSE @ 2% MIN.
 - (N) 36" MIN. DEEP LEVEL LANDING PER CRC 311.3 W STEPS (MAX. 7.75" RISER)- PROVIDE EQUAL RISERS IF MORE THAN 1 STEP
 - (N) GAS FIRE PIT--COORDINATE WITH MFR. CUT SHEETS--SEE LANDSCAPE PLANS FOR MORE INFO
 - (N) WATER FEATURE --SEE LANDSCAPE PLANS FOR MORE INFO
 - (N) OUTDOOR KITCHEN
 - (N) A/C UNIT CONDENSER PAD(S)--PROVIDE ELECTRICAL TO THIS LOCATION AS REQUIRED, VERIFY SIZE AND QUANTITY WITH HVAC CONTRACTOR. A/C UNITS TO COMPLY WITH JURISDICTION'S NOISE ORDINANCE--SEE HVAC PLANS
 - (N) POOL--SEE LANDSCAPE PLANS FOR MORE INFO
 - (N) TANKLESS WATER HEATER
 - (N) POOL EQUIPMENT IN NOISE ATTENUATING STRUCTURE--SEE LANDSCAPE PLANS FOR MORE INFO

SITE PLAN KEYNOTES

-

PROPERTY LINE--SEE TOPO SURVEY FOR MORE INFO

REQUIRED YARD SETBACK/EASEMENT

TREE PROTECTION FENCING

NEW BUILDING AREA

NEW HARDSCAPE--SEE LANDSCAPE PLANS FOR MORE INFO

+/-XX.XX'

SPOT ELEVATION, SEE CIVIL DRAWINGS FOR MORE INFO

1

TREE NUMBER--REFER TO ARBORIST REPORT FOR SPECIES AND OTHER INFO

NOTES:

1. (E) WATER SUPPLY TO BE REPLACED FROM METER IN.

2. (E) SEWER LATERAL TO BE REPLACED FROM PROPERTY LINE IN.

SITE PLAN LEGEND

-



1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

DEL MONACO RESIDENCE
NEW SINGLE FAMILY RESIDENCE

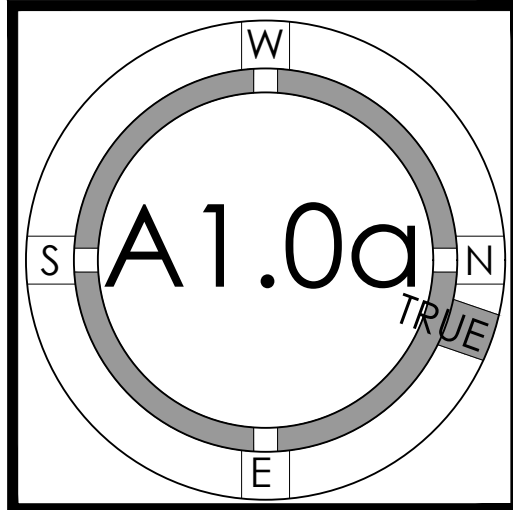
2940 PASEO ROBLES AVE, SAN MARTIN, CA

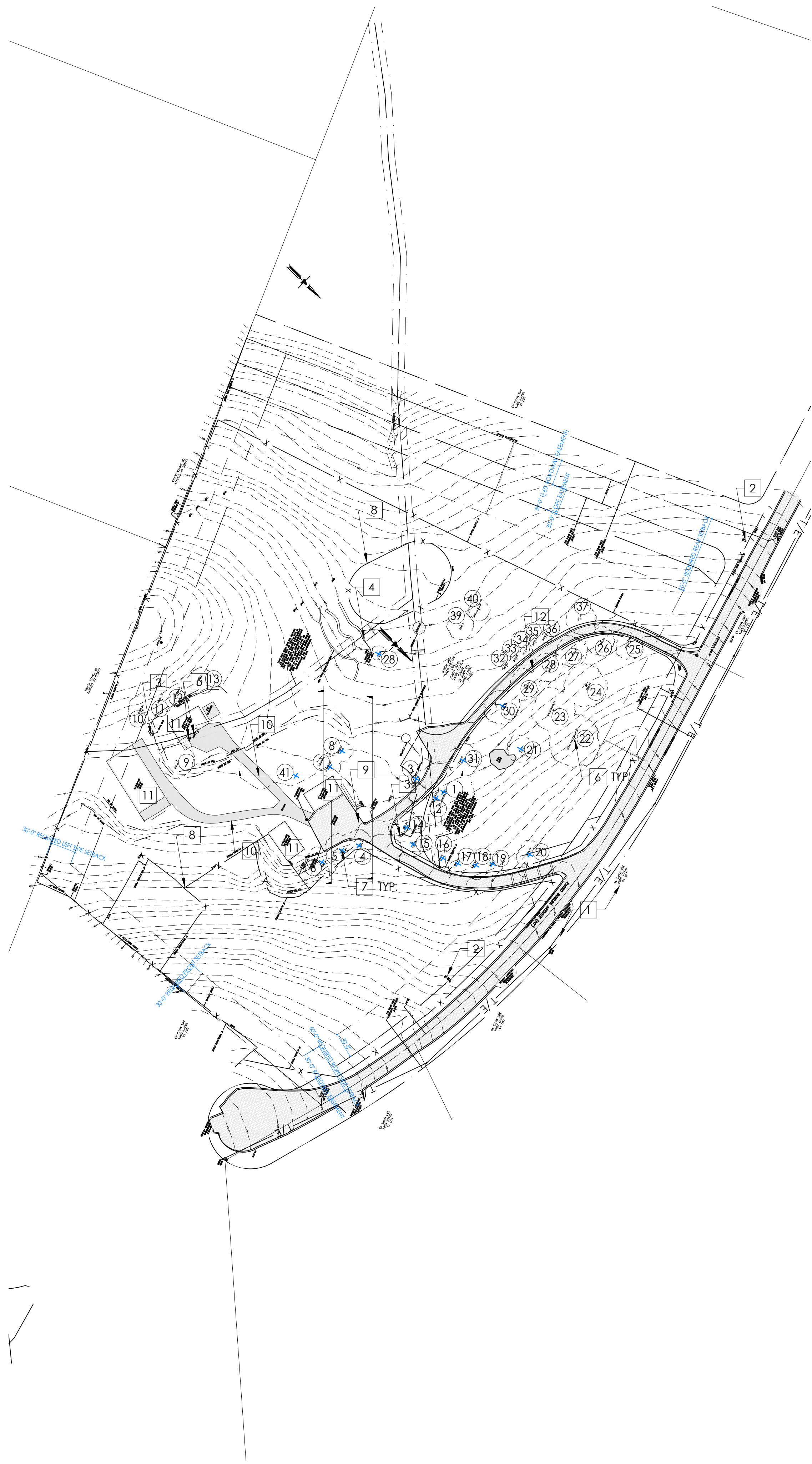
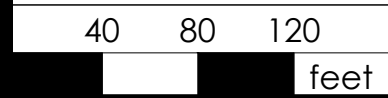
VIC & STEPHANIE DEL MONACO



PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
18-039	06.24.2019	DESIGN REVIEW PACKAGE	IG
	12.20.2019	DESIGN REVIEW RESUBMITTAL	IG
	02.24.2020	DESIGN REVIEW RESUBMITTAL	IG
	06.18.2020	DESIGN REVIEW RESUBMITTAL	IG

OVERALL &
ENLARGED
SITE PLANS





- # = NUMBER TO KEY NOTE BELOW
- EXISTING PUBLIC RIGHT OF WAY--ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED "PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET" PRIOR TO THE COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY
 - (E) WATER METER--CONTRACTOR TO COORDINATE (N) METER WITH LOCAL WATER COMPANY IF REQUIRED BY INCREASED FIXTURE LOAD
 - (E) GAS TANK TO BE REMOVED
 - (E) ELECTRICAL JUNCTION BOX TO BE REMOVED
 - (E) 4" SEWER LATERAL--CONTRACTOR TO VERIFY LOCATION IN FIELD--PROVIDE CLEANOUT AT THE POINT OF CONNECTION BETWEEN THE BUILDING SEWER AND THE MUNICIPAL LATERAL. USE AN APPROVED FITTING TO BRING THE CLEANOUT RISER TO GRADE. WHERE SEWER CLEANOUTS ARE TO BE CONNECTED TO EXISTING MUNICIPAL LATERALS, SUCH CONNECTIONS SHALL BE ACCOMPLISHED BY USE OF AN APPROVED FITTING
 - (E) TREE(S) TO REMAIN- PROTECT AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME. SEE ARBORIST REPORT (IF PROVIDED) FOR ADDITIONAL INFORMATION
 - (E) TREE(S) TO BE REMOVED
 - (E) FENCE AND GATES TO BE REMOVED, TYP.
 - (E) DRIVEWAY TO BE REMOVED
 - (E) HARDSCAPE TO BE REMOVED
 - (E) STRUCTURE TO BE REMOVED

SITE PLAN KEYNOTES		-
- - - - -		PROPERTY LINE--SEE TOPO SURVEY FOR MORE INFO
- - - - -		REQUIRED YARD SETBACK/EASEMENT
NOTES:		
1. (E) WATER SUPPLY TO BE REPLACED FROM METER IN.		
2. (E) SEWER LATERAL TO BE REPLACED FROM PROPERTY LINE IN.		
SITE PLAN LEGEND		-



1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

DEL MONACO RESIDENCE
NEW SINGLE FAMILY RESIDENCE

2940 PASEO ROBLES AVE, SAN MARTIN, CA

VIC & STEPHANIE DEL MONACO



PROJECT NO.			18-039
REVISION	DATE	DESCRIPTION	DRAWN BY
	06.24.2019	DESIGN REVIEW PACKAGE	IG
	12.20.2019	DESIGN REVIEW RESUBMITTAL	IG
	02.24.2020	DESIGN REVIEW RESUBMITTAL	IG
	06.18.2020	DESIGN REVIEW RESUBMITTAL	IG

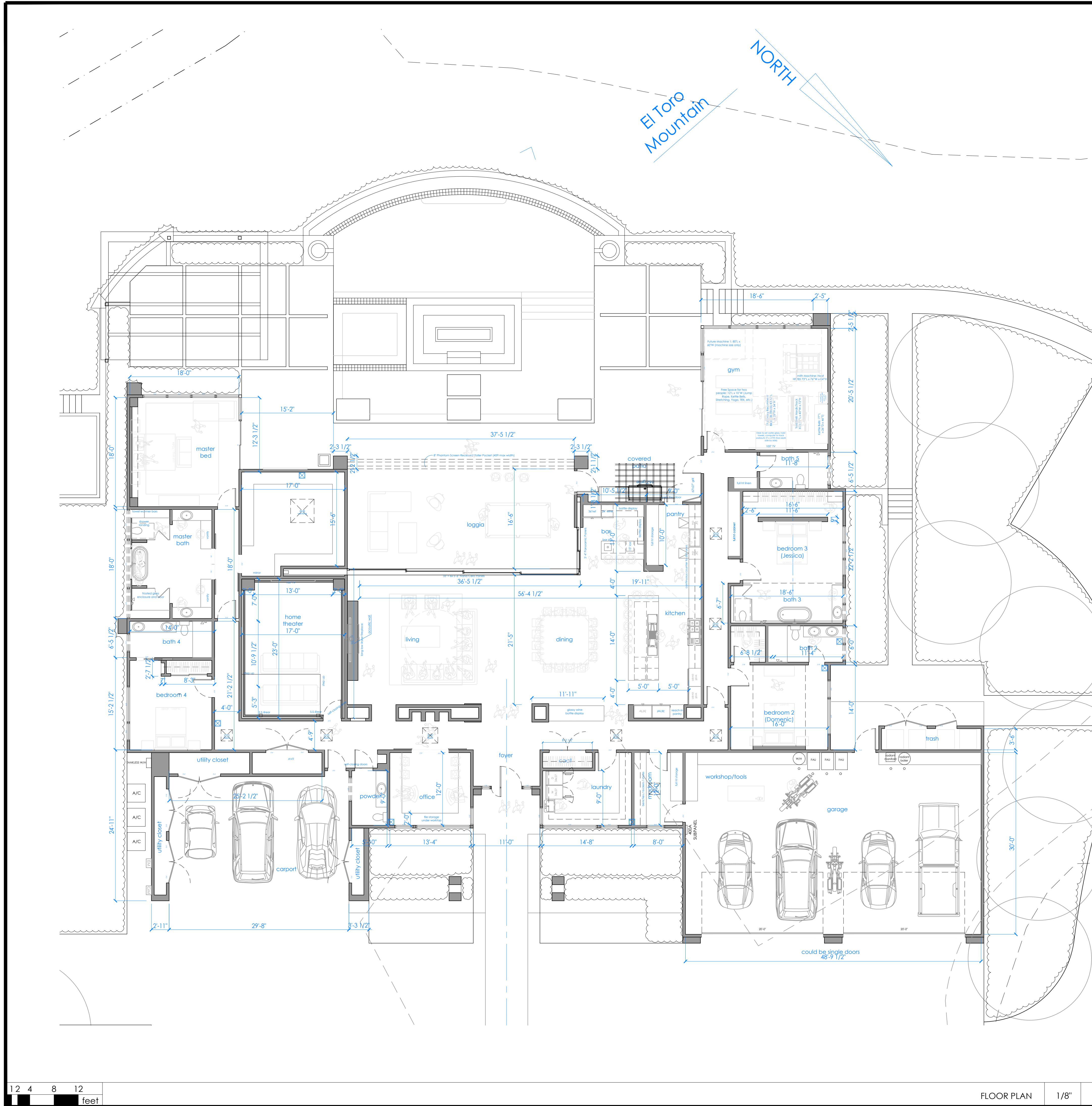
DEMO
SITE PLAN

A1.0b

TRUE

© STUDIO S SQUARED ARCHITECTURE, INC.

"FOR PLANNING APPROVAL ONLY--NOT FOR CONSTRUCTION"



#

FLOOR PLAN KEYNOTES

(N) WALL: EXTERIOR: 2x6 STUDS @16" O.C.; INTERIOR 2x6 STUDS @16" O.C.--SEE ELEVATIONS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 2 LAYERS OF BUILDING PAPER (FOR STUCCO ONLY)/1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2--INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD

FLOOR PLAN LEGEND

12 4 8 12 feet

FLOOR PLAN

1/8"

1



1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

DEL MONACO RESIDENCE
NEW SINGLE FAMILY RESIDENCE

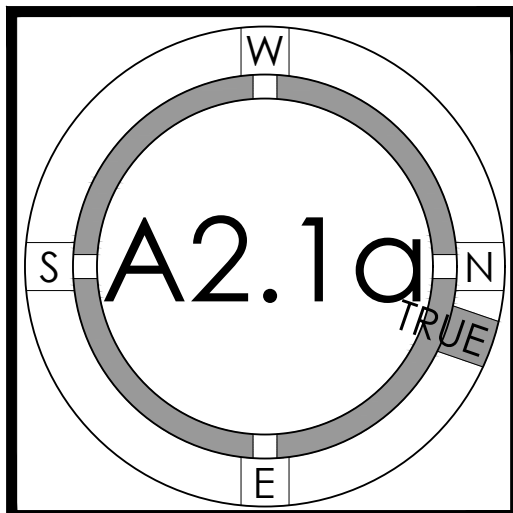
2940 PASEO ROBLES AVE, SAN MARTIN, CA

VIC & STEPHANIE DEL MONACO



PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
18-039	06.24.2019	DESIGN REVIEW PACKAGE	IG
	12.20.2019	DESIGN REVIEW RESUBMITAL	IG
	02.24.2020	DESIGN REVIEW RESUBMITAL	IG
	06.18.2020	DESIGN REVIEW RESUBMITAL	IG

FLOOR PLAN



© STUDIO S SQUARED ARCHITECTURE, INC.

STUDIO S SQUARED
ARCHITECTURE

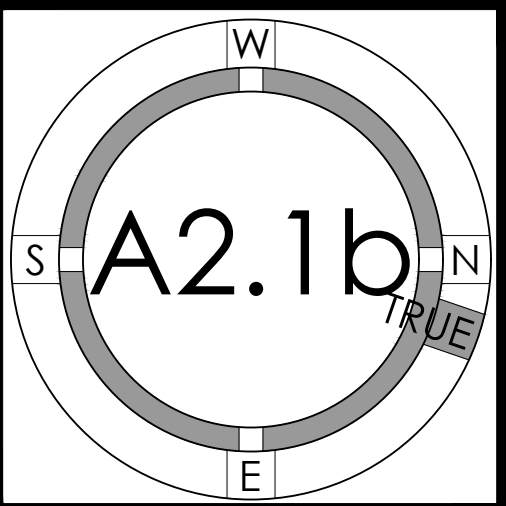
000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

NEW SINGLE FAMILY RESIDENCE

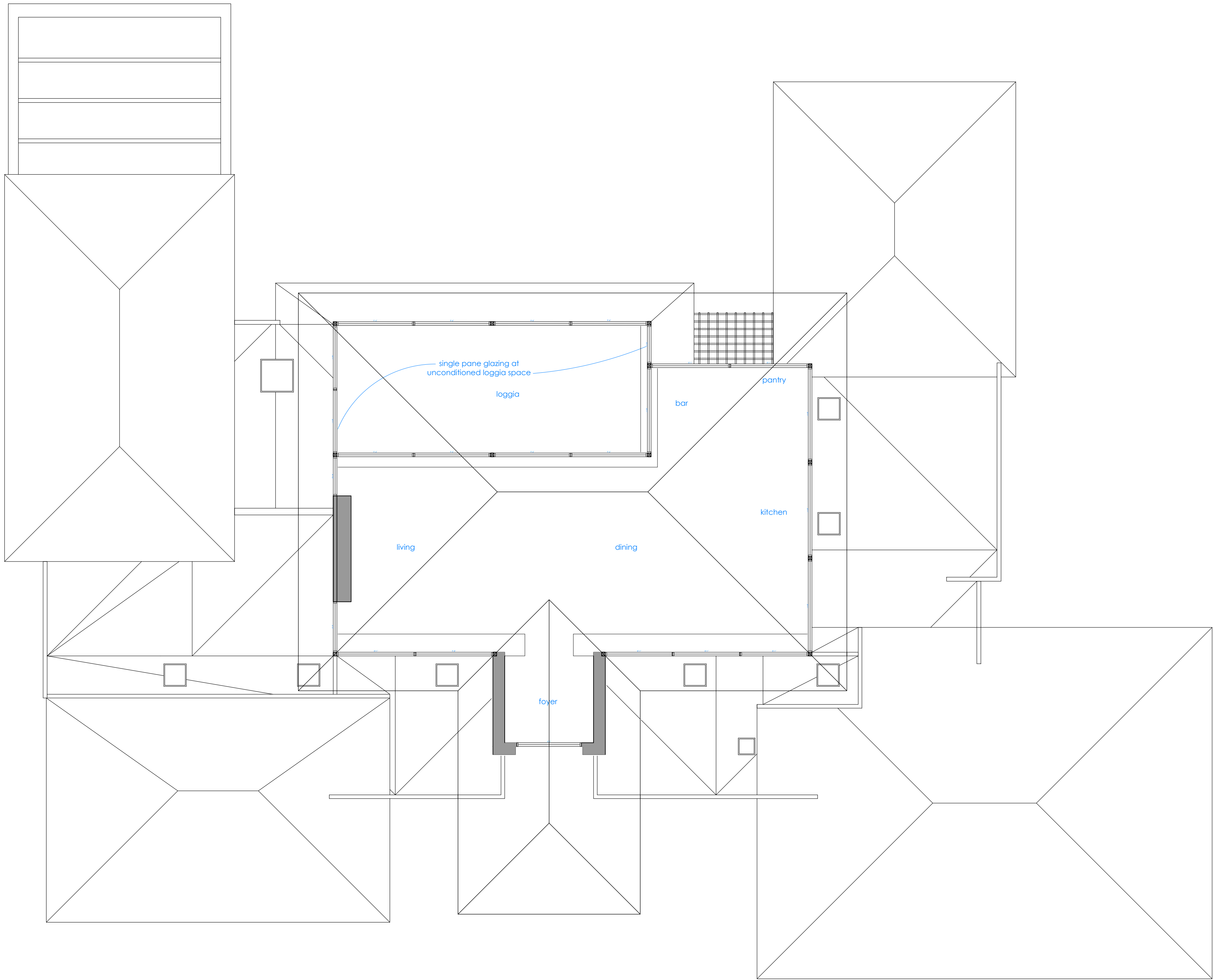
VIC & STEPHANIE DEL MONACO

[illegible]

CLERESTORY PLAN



© STUDIO S SQUARED ARCHITECTURE, INC.



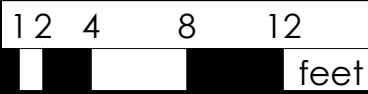
#

FLOOR PLAN KEYNOTES

(N) WALL: EXTERIOR: 2x6 STUDS @ 16" O.C.; INTERIOR 2x6 STUDS @ 16" O.C.-SEE ELEVATIONS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 2 LAYERS OF BUILDING PAPER (FOR STUCCO ONLY)/1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2-INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUBS/SHOWERS TO BE M.R. BOARD

FLOOR PLAN LEGEND

—



CLERESTORY PLAN

1/8"

FLOOR PLAN LEGEND

—



EAST ELEVATION (FRONT) 1/8" 1



SOUTH ELEVATION (LEFT) 1/8" 2

- # = NUMBER OF KEYNOTE BELOW
- 1 STANDING SEAM METAL ROOFING
 - 2 FLEETWOOD 4070-T POCKET DOORS
 - 3 PAINTED STEEL TROWELED IGNITION RESISTANT CEMENT PLASTER SYSTEM (SMOOTH FINISH) - 7/8" PLASTER O/ METAL LATH O/ 2 LAYERS GRADE 'D' OR BETTER BUILDING PAPER, 3 COAT SYSTEM WITH 26 ga. WEEP SCREED AT WALL BASE AT LEAST 4" ABOVE GRADE OR 2" ABOVE HARDSCAPE--DO NOT USE "DOUBLE-ROLL" INSTALLATION FOR BUILDING PAPER
 - 4 PAINTED CEMENT FIBER TRIM
 - 5 PAINTED STUCCO FASCIA
 - 6 FACTORY-FINISHED ALUMINUM GARAGE DOOR WITH TEMPERED GLAZING PICTURE WINDOWS
 - 7 WINDOW/DOOR OPENING --DOORS AND WINDOWS TO HAVE 2" PAINTED FIBER CEMENT TRIM TYPICAL, U.N.O.
 - 8 HIDDEN DOOR
 - 9 MODERN STEEL PIVOT DOOR WITH TEMPERED GLAZING
 - 10 EXTERIOR LIGHT, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: HINKLEY LIGHTING; MODEL: ATLANTIS-1640TT
 - 11 OUTDOOR KITCHEN
 - 12 HARDSCAPE--SEE SITE PLAN FOR MORE INFO
 - 13 POOL--SEE LANDSCAPE PLAN FOR MORE INFO
 - 14 LIMESTONE TILE: PLAZA BUFF SPLIT-FACED. MANUF: PENINSULA BUILDING MATERIALS.
 - 15 LIMESTONE TILE: PLAZA BUFF HONED. MANUF: PENINSULA BUILDING MATERIALS.

ELEVATION GRID LINE KEY
A 1ST FLOOR TOP OF STRUCTURE = +/- 440.00'
B PROPOSED BUILDING HEIGHT = 28'-3 1/2" +/- 466.5'
MAX BUILDING HEIGHT ALLOWED = 35'-0" +/- 473.2'
GRADE FOR MEASURING HEIGHT (SLOPING SITE): 438.2'

KEYNOTES - -

ELEVATION GRID LINE KEY - -



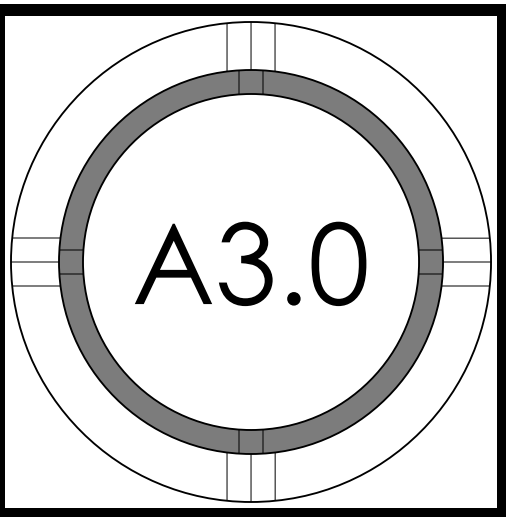
1000 S. Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

DEL MONACO RESIDENCE
NEW SINGLE FAMILY RESIDENCE
2940 PASEO ROBLES AVE, SAN MARTIN, CA
VIC & STEPHANIE DEL MONACO



PROJECT NO.	REVISION	DATE	DESCRIPTION	DRAWN BY
18-039		06.24.2019	DESIGN REVIEW PACKAGE	IG
		12.20.2019	DESIGN REVIEW RESUBMITTAL	IG
		02.24.2020	DESIGN REVIEW RESUBMITTAL	IG
		06.18.2020	DESIGN REVIEW RESUBMITTAL	IG

EXTERIOR
ELEVATIONS





WEST ELEVATION (REAR) 1/8" 1

2 4 6 8 12 feet



NORTH ELEVATION (RIGHT) 1/8" 2

2 4 6 8 12 feet

- # = NUMBER OF KEYNOTE BELOW
- 1 STANDING SEAM METAL ROOFING
 - 2 FLEETWOOD 4070-T POCKET DOORS
 - 3 PAINTED STEEL TROWELED IGNITION RESISTANT CEMENT PLASTER SYSTEM (SMOOTH FINISH) - 7/8" PLASTER O/ METAL LATH O/ 2 LAYERS GRADE 'D' OR BETTER BUILDING PAPER, 3 COAT SYSTEM WITH 26 ga. WEEP SCREED AT WALL BASE AT LEAST 4" ABOVE GRADE OR 2" ABOVE HARDSCAPE--DO NOT USE "DOUBLE-ROLL" INSTALLATION FOR BUILDING PAPER
 - 4 PAINTED CEMENT FIBER TRIM
 - 5 PAINTED STUCCO FASCIA
 - 6 FACTORY-FINISHED ALUMINUM GARAGE DOOR WITH TEMPERED GLAZING PICTURE WINDOWS
 - 7 WINDOW/DOOR OPENING --DOORS AND WINDOWS TO HAVE 2" PAINTED FIBER CEMENT TRIM TYPICAL, U.N.O.
 - 8 HIDDEN DOOR
 - 9 MODERN STEEL PIVOT DOOR WITH TEMPERED GLAZING
 - 10 EXTERIOR LIGHT, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: HINKLEY LIGHTING; MODEL: ATLANTIS-1640TT
 - 11 OUTDOOR KITCHEN
 - 12 HARDSCAPE--SEE SITE PLAN FOR MORE INFO
 - 13 POOL--SEE LANDSCAPE PLAN FOR MORE INFO
 - 14 LIMESTONE TILE: PLAZA BUFF SPLIT-FACED. MANUF: PENINSULA BUILDING MATERIALS.
 - 15 LIMESTONE TILE: PLAZA BUFF HONED. MANUF: PENINSULA BUILDING MATERIALS.

ELEVATION GRID LINE KEY
A 1ST FLOOR TOP OF STRUCTURE = +/- 440.00'
B PROPOSED BUILDING HEIGHT = 28'-3 1/2" +/- 466.5'
MAX BUILDING HEIGHT ALLOWED = 35'-0" +/- 473.2'
GRADE FOR MEASURING HEIGHT (SLOPING SITE): 438.2'

KEYNOTES - -

ELEVATION GRID LINE KEY - -



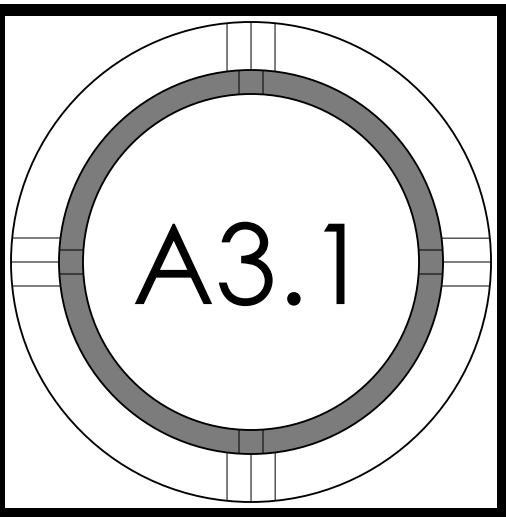
1000 S. Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

DEL MONACO RESIDENCE
NEW SINGLE FAMILY RESIDENCE
2940 PASEO ROBLES AVE, SAN MARTIN, CA
VIC & STEPHANIE DEL MONACO



PROJECT NO.	REVISION	DATE	DESCRIPTION	DESIGNER	DATE	REVISION
18-039			DESIGN REVIEW PACKAGE	IG		
		06.24.2019	DESIGN REVIEW RESUBMITTAL	IG		
		12.20.2019	DESIGN REVIEW RESUBMITTAL	IG		
		02.24.2020	DESIGN REVIEW RESUBMITTAL	IG		
		06.18.2020	DESIGN REVIEW RESUBMITTAL	IG		

EXTERIOR
ELEVATIONS

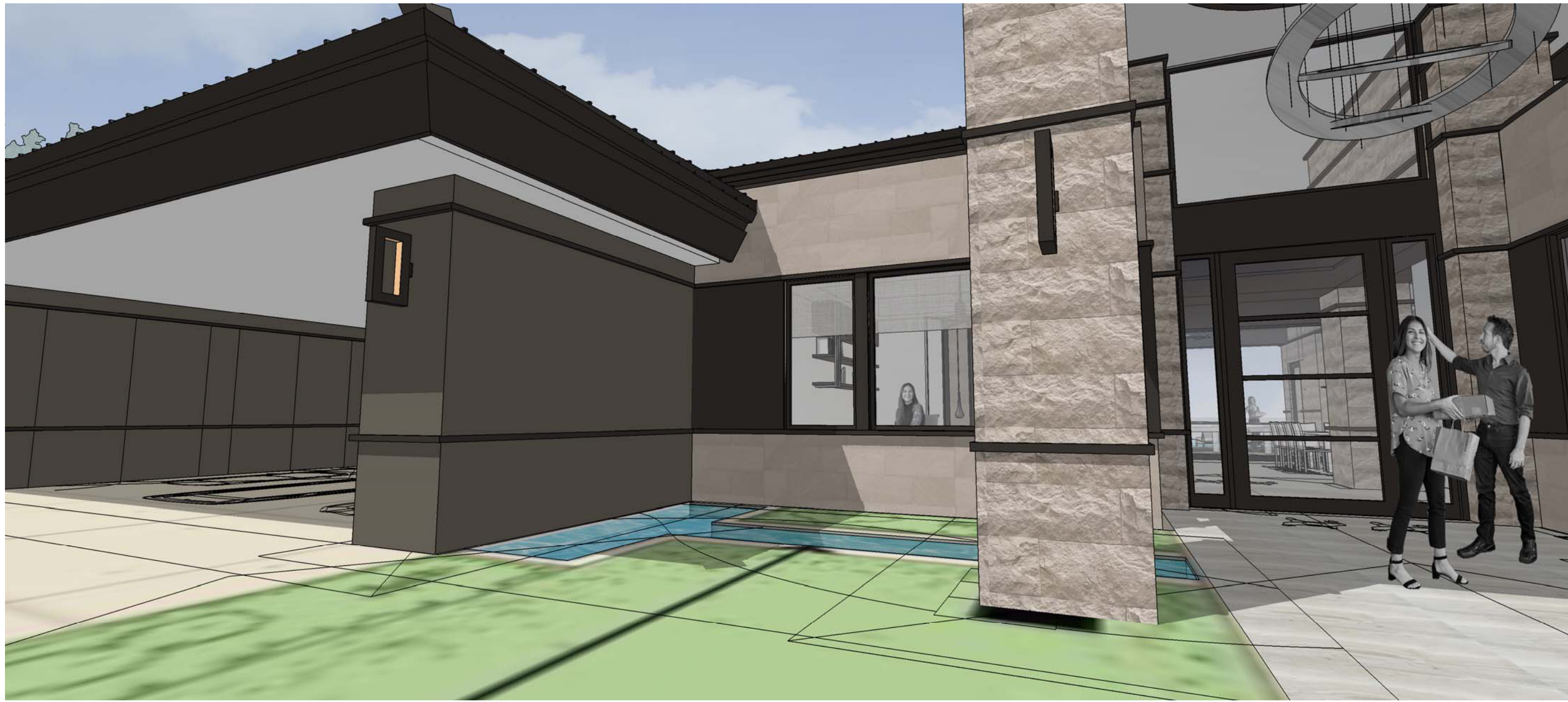




PERSPECTIVE EXTERIOR REFLECTING POOL - 4



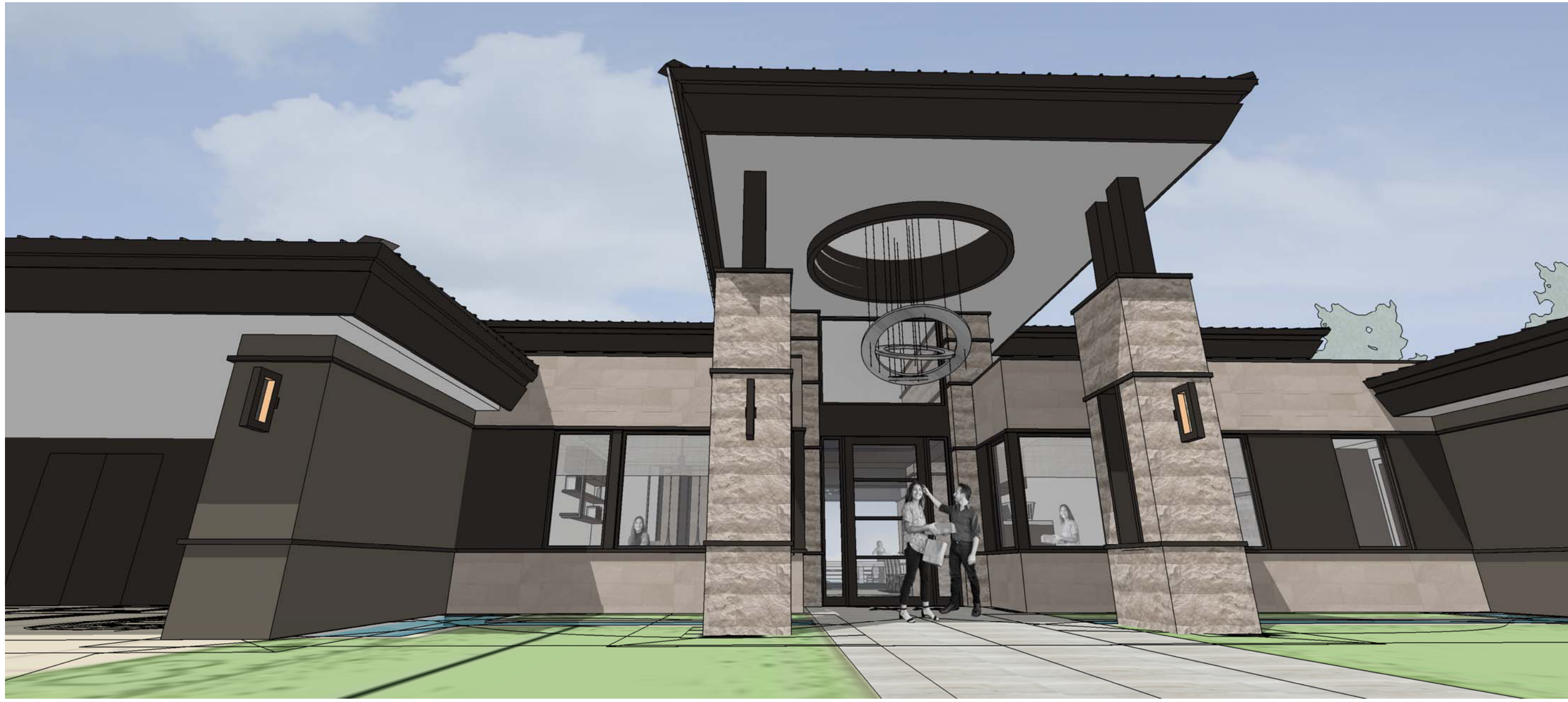
PERSPECTIVE EXTERIOR FRONT OVERHEAD - 1



PERSPECTIVE EXTERIOR FRONT - 5



PERSPECTIVE EXTERIOR FRONT ENTRY - 2



PERSPECTIVE EXTERIOR ENTRY - 6



PERSPECTIVE EXTERIOR FRONT LEFT - 3



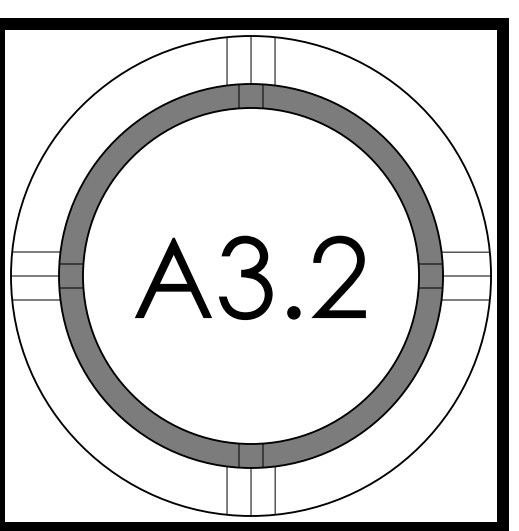
1000 S. Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

DEL MONACO RESIDENCE
NEW SINGLE FAMILY RESIDENCE
2940 PASEO ROBLES AVE, SAN MARTIN, CA
VIC & STEPHANIE DEL MONACO



PROJECT NO.	REVISION	DATE	DESCRIPTION	DRAWN BY
		06.24.2019	DESIGN REVIEW PACKAGE	IG
		12.20.2019	DESIGN REVIEW RESUBMITTAL	IG
		02.24.2020	DESIGN REVIEW RESUBMITTAL	IG
		06.18.2020	DESIGN REVIEW RESUBMITTAL	IG

EXTERIOR
PERSPECTIVES

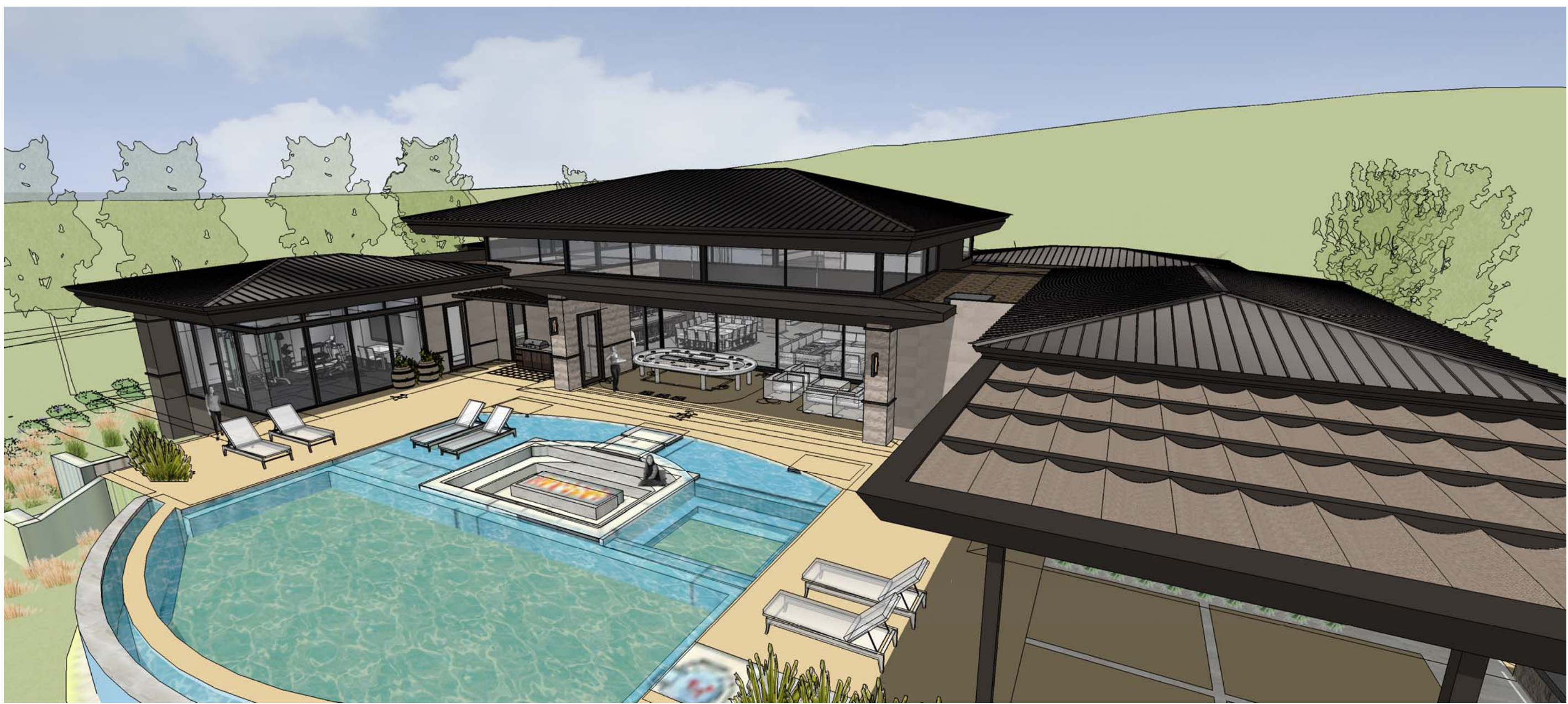


© STUDIO S SQUARED ARCHITECTURE, INC.

"FOR PLANNING APPROVAL ONLY--NOT FOR CONSTRUCTION"



PERSPECTIVE EXTERIOR REAR - 4



PERSPECTIVE EXTERIOR REAR - 1



PERSPECTIVE EXTERIOR MASTER PATIO - 5



PERSPECTIVE INTERIOR GREAT ROOM - 2



PERSPECTIVE EXTERIOR REAR GYM - 6



PERSPECTIVE EXTERIOR LOGGIA - 3



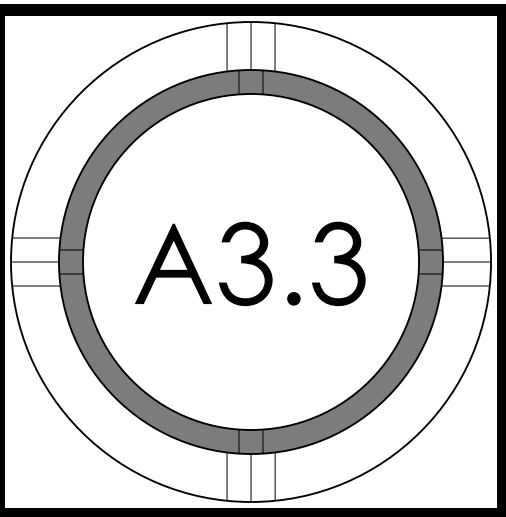
1000 S. Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

DEL MONACO RESIDENCE
NEW SINGLE FAMILY RESIDENCE
2940 PASEO ROBLES AVE, SAN MARTIN, CA
VIC & STEPHANIE DEL MONACO



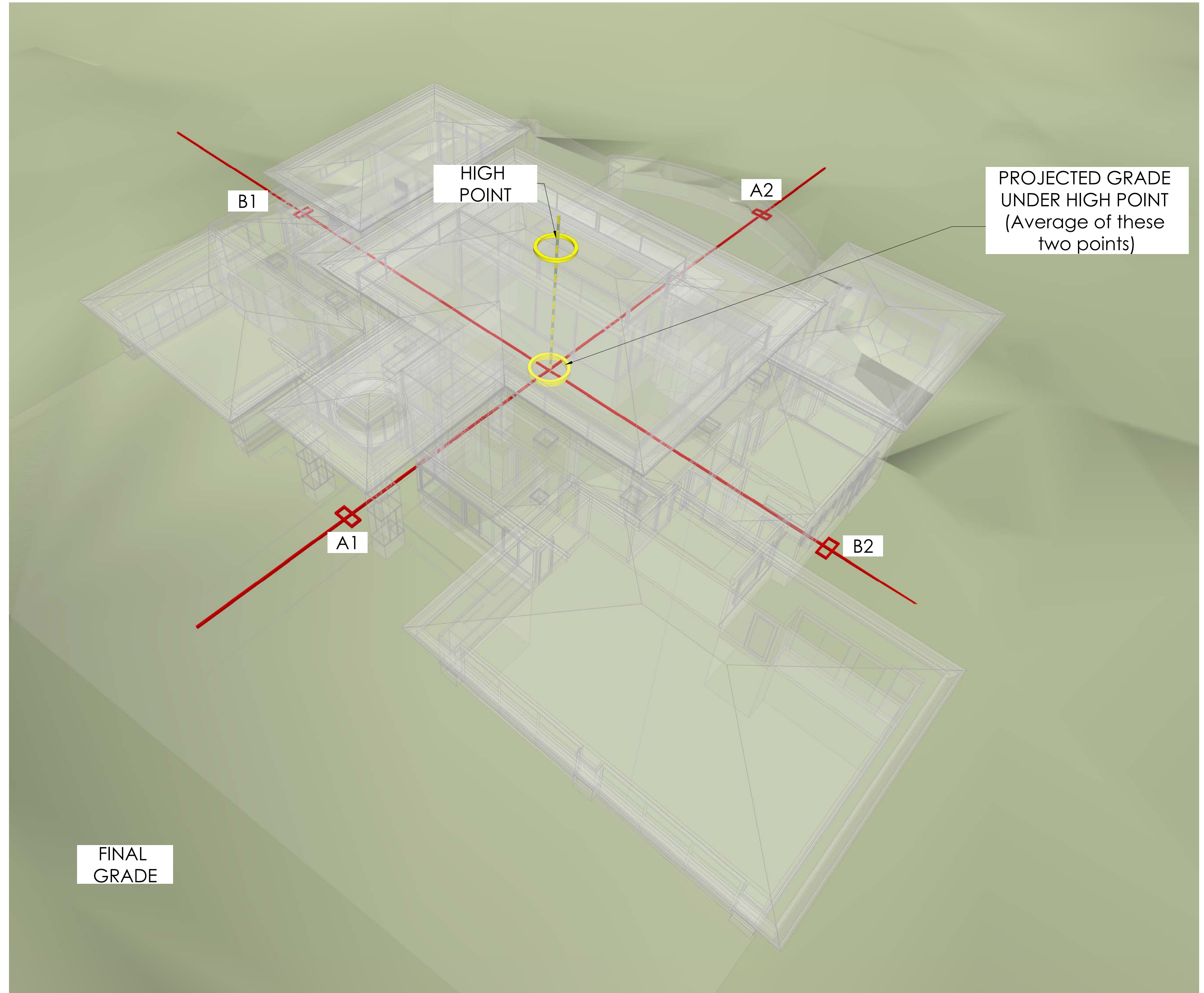
PROJECT NO.	REVISION	DATE	DESCRIPTION	DRAWN BY
		06.24.2019	DESIGN REVIEW PACKAGE	IG
		12.20.2019	DESIGN REVIEW RESUBMITTAL	IG
		02.24.2020	DESIGN REVIEW RESUBMITTAL	IG
		06.18.2020	DESIGN REVIEW RESUBMITTAL	IG

EXTERIOR
PERSPECTIVES



© STUDIO S SQUARED ARCHITECTURE, INC.

"FOR PLANNING APPROVAL ONLY--NOT FOR CONSTRUCTION"



439.6'	A1
435.0'	A2
437.3'	PROJECTED GRADE (A)
439.0'	B1
439.0'	B2
439.0'	PROJECTED GRADE (B)
$(437.3' + 439.0') / 2 = 438.2'$	PROJECTED GRADE UNDER HIGH POINT (AVERAGE OF A AND B)
466.5'	HIGH POINT
$466.5' - 438.2' = 28.3'$	HEIGHT



1000 S. Winchester Blvd
 San Jose, CA 95128
 P : (408) 998 - 0983

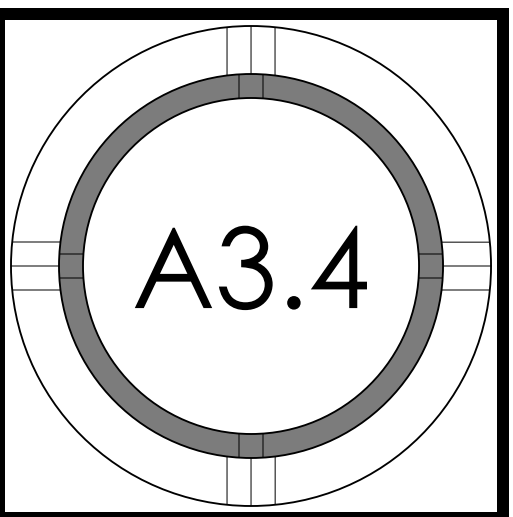
DEL MONACO RESIDENCE
 NEW SINGLE FAMILY RESIDENCE

2940 PASEO ROBLES AVE, SAN MARTIN, CA
 VIC & STEPHANIE DEL MONACO



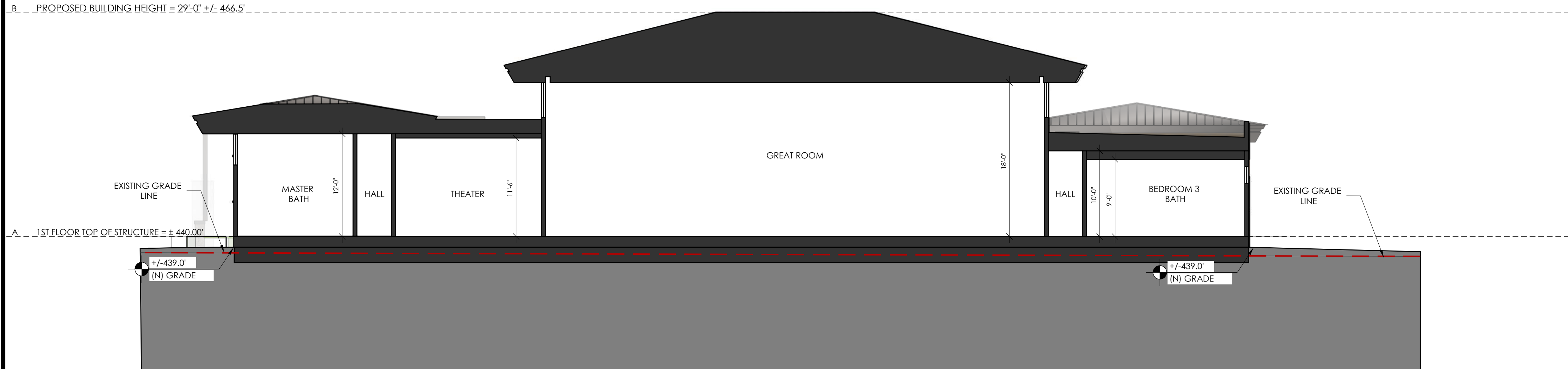
PROJECT NO.	REVISION	DATE	DESCRIPTION	DESIGNER
18-039		06.24.2019	DESIGN REVIEW PACKAGE	IG
		12.20.2019	DESIGN REVIEW RESUBMITTAL	IG
		02.24.2020	DESIGN REVIEW RESUBMITTAL	IG
		06.18.2020	DESIGN REVIEW RESUBMITTAL	IG

HEIGHT EXHIBIT





SECTION 1 1/4" 1



SECTION 2 1/4" 2

RED DASHED LINE DENOTES
EXISTING GRADING

SOLID FILL DENOTES PROPOSED
GRADING

ELEVATION GRID LINE KEY
A 1ST FLOOR TOP OF STRUCTURE = +/- 440.00'
B PROPOSED BUILDING HEIGHT = 28'-3 1/2" +/- 466.5'

MAX BUILDING HEIGHT ALLOWED = 35'-0" +/- 473.2'

GRADE FOR MEASURING HEIGHT (SLOPING SITE): 438.2'

KEYNOTES

-

-

ELEVATION GRID LINE KEY

-

-



1000 S. Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

DEL MONACO RESIDENCE

NEW SINGLE FAMILY RESIDENCE

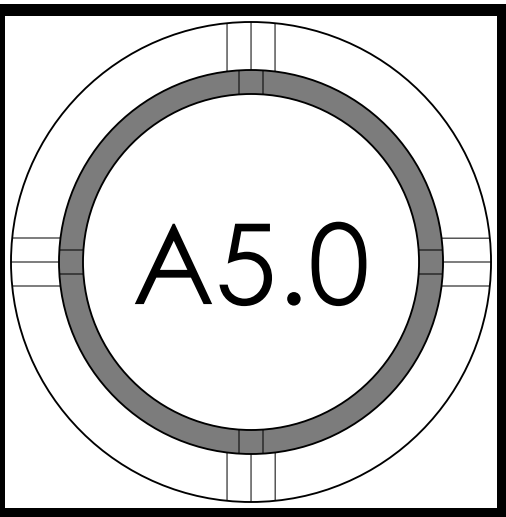
2940 PASEO ROBLES AVE, SAN MARTIN, CA

VIC & STEPHANIE DEL MONACO



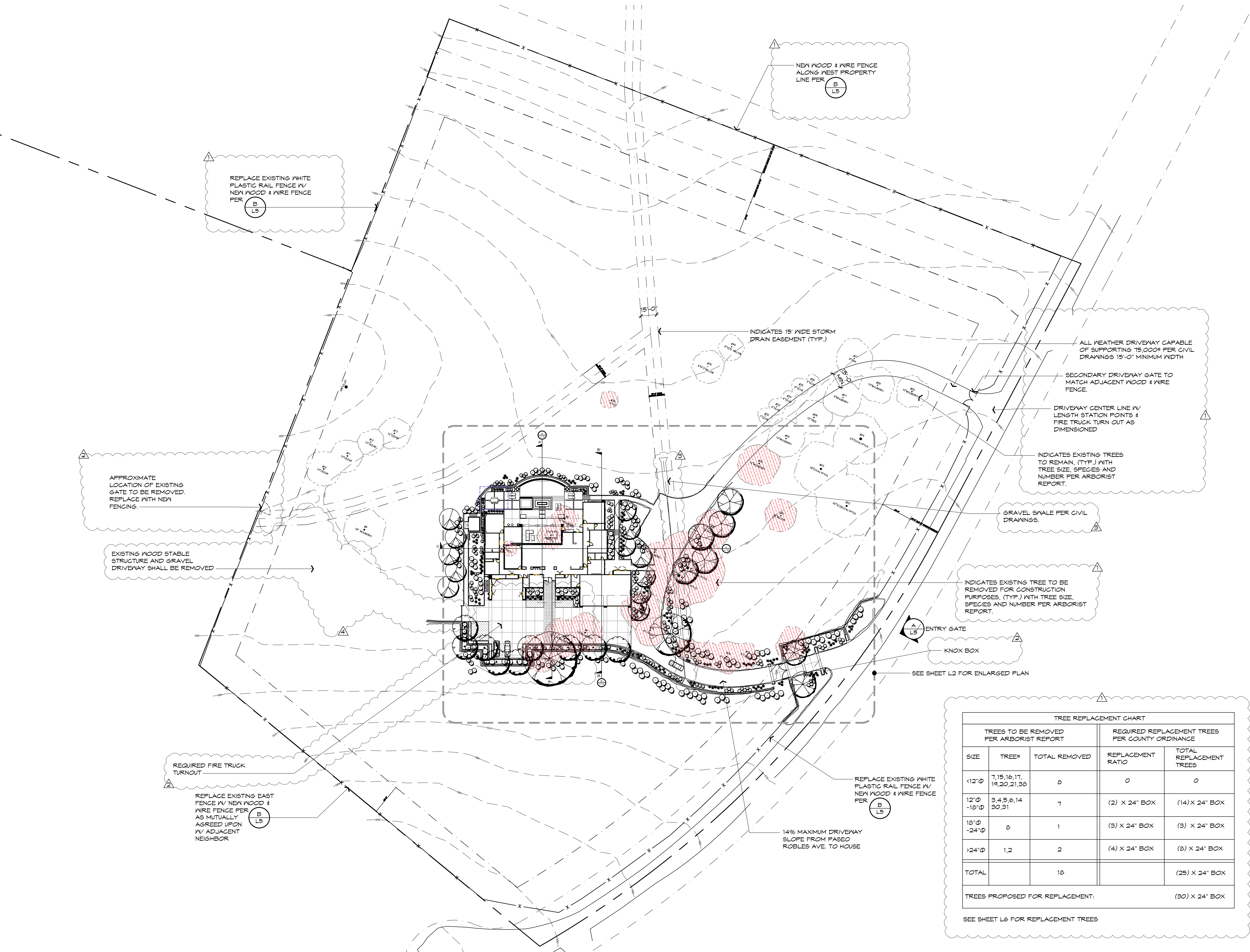
PROJECT NO.	REVISION	DATE	DESCRIPTION	DRAWN BY
18-039		06.24.2019	DESIGN REVIEW PACKAGE	IG
		12.20.2019	DESIGN REVIEW RESUBMITTAL	IG
		02.24.2020	DESIGN REVIEW RESUBMITTAL	IG
		06.18.2020	DESIGN REVIEW RESUBMITTAL	IG

SECTIONS



© STUDIO S SQUARED ARCHITECTURE, INC.

RE-USE REPRODUCTION OR PUBLICATION OF THESE PLANS IS PROHIBITED WITHOUT WRITTEN CONSENT OF KIKUCHI + KANKEL DESIGN GROUP.



TREE REPLACEMENT CHART				
TREES TO BE REMOVED PER ARBORIST REPORT			REQUIRED REPLACEMENT TREES PER COUNTY ORDINANCE	
SIZE	TREE#	TOTAL REMOVED	REPLACEMENT RATIO	TOTAL REPLACEMENT TREES
<12"Ø	7,15,16,17, 19,20,21,30	8	0	0
12"Ø -18"Ø	3,4,5,6,14 30,31	7	(2) X 24" BOX	(14) X 24" BOX
18"Ø -24"Ø	8	1	(3) X 24" BOX	(3) X 24" BOX
>24"Ø	1,2	2	(4) X 24" BOX	(8) X 24" BOX
TOTAL		18		(25) X 24" BOX
TREES PROPOSED FOR REPLACEMENT:			(30) X 24" BOX	

SEE SHEET L6 FOR REPLACEMENT TREES

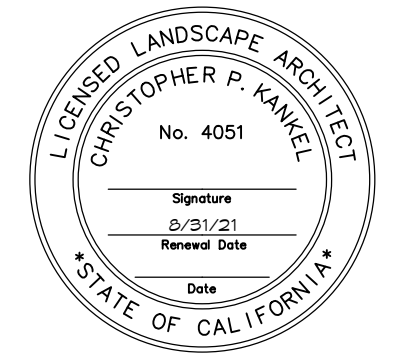


Kikuchi + Kankel
Design Group

Landscape Architecture
Environmental Design
Site Planning

61 East Main Street, Suite C
Los Gatos, CA 95030
(408) 356-5980

www.kkdesigngroup.com



LANDSCAPE
IMPROVEMENTS

DEL MONACO RESIDENCE

2940 PASEO ROBLES AVENUE
SAN MARTIN, CA

APN: 825-29-016

Revisions:	1/28/2020
Date:	7/12/19
Scale:	1" = 40'-0"
Drawn By:	

LANDSCAPE SITE
PLAN

Sheer No.
L1

REUSE, REPRODUCTION OR PUBLICATION OF THESE PLANS IS PROHIBITED WITHOUT WRITTEN CONSENT OF KIKUCHI + KANKEL DESIGN GROUP.

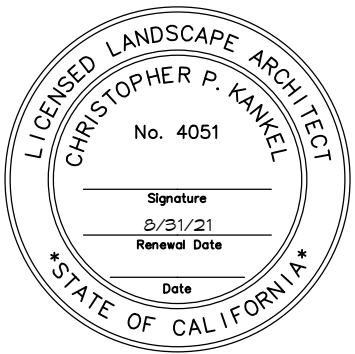


Kikuchi + Kankel
Design Group

Landscape Architecture
Environmental Design
Site Planning

61 East Main Street, Suite C
Los Gatos, CA 95030
(408) 356-5980

www.kkdesigngroup.com



LANDSCAPE
IMPROVEMENTS

DEL
MONACO
RESIDENCE

2940 PASEO ROBLES AVENUE
SAN MARTIN, CA

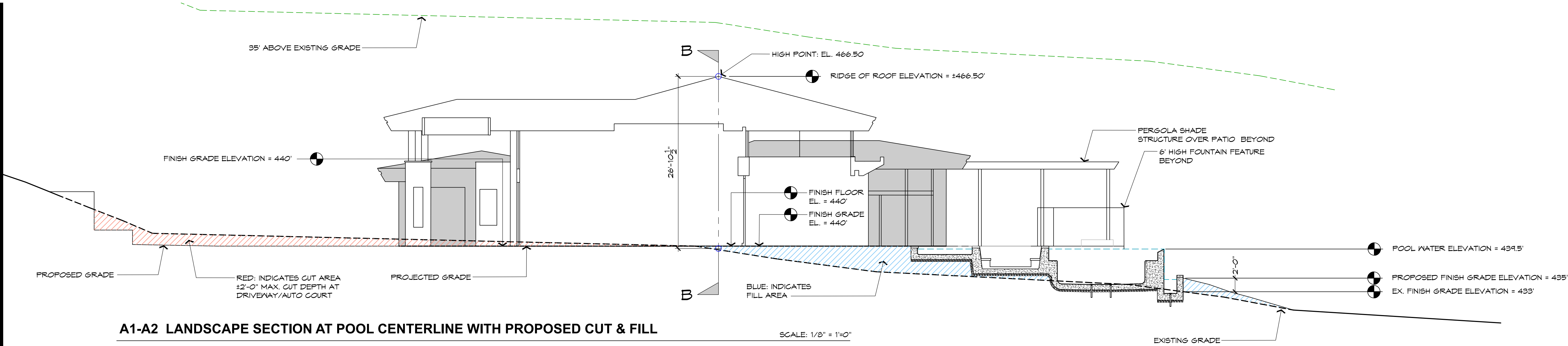
APN: 825-29-016

1/28/2020
5/28/2020
2/24/2020
Revisions: 12/20/2019

Date:	
Scale:	AS NOTED
Drawn By:	WB

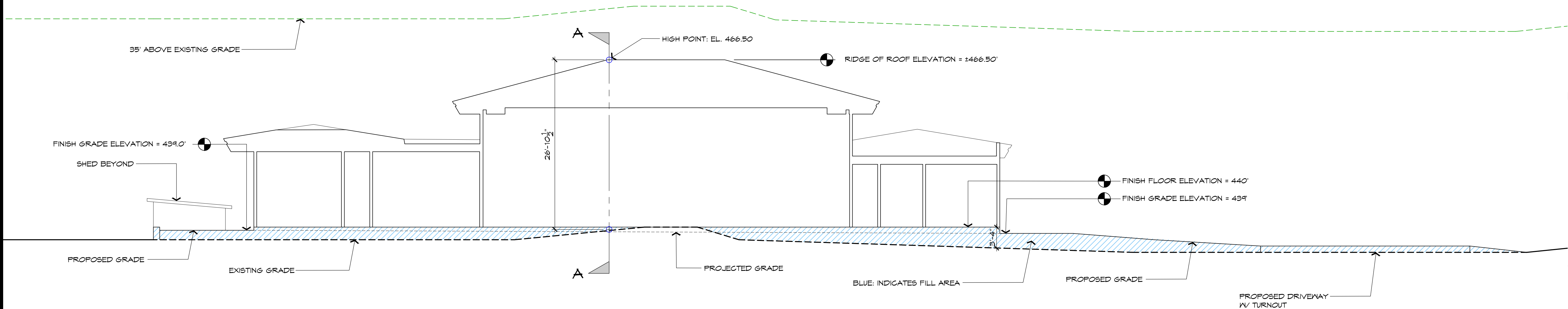
BUILDING +
HARDSCAPE
SECTIONS

Sheet No.
L1.2
NEW SHEET



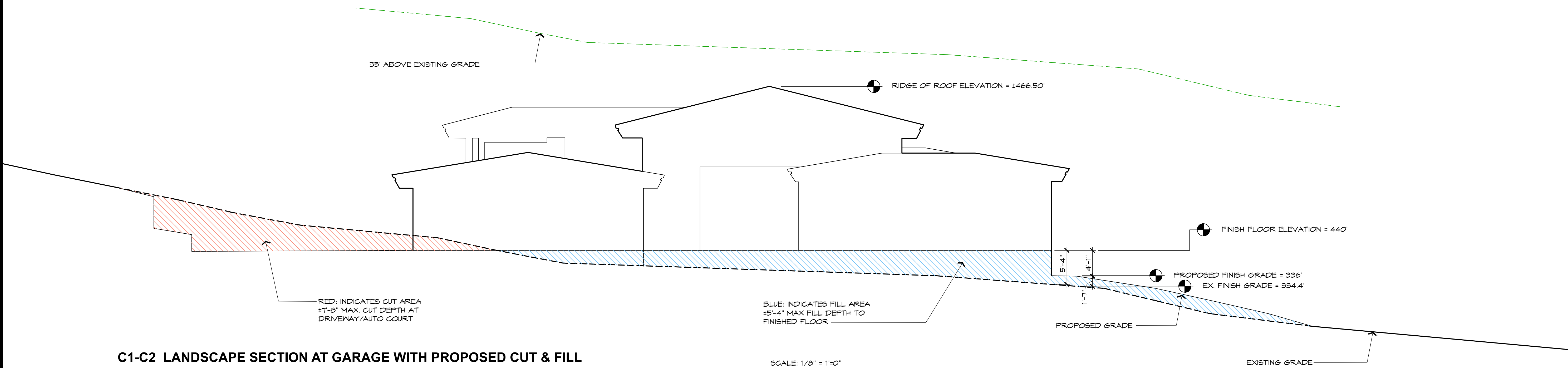
A1-A2 LANDSCAPE SECTION AT POOL CENTERLINE WITH PROPOSED CUT & FILL

SCALE: 1/8" = 1'-0"



B1-B2 LANDSCAPE SECTION AT HOUSE CENTER WITH PROPOSED CUT & FILL

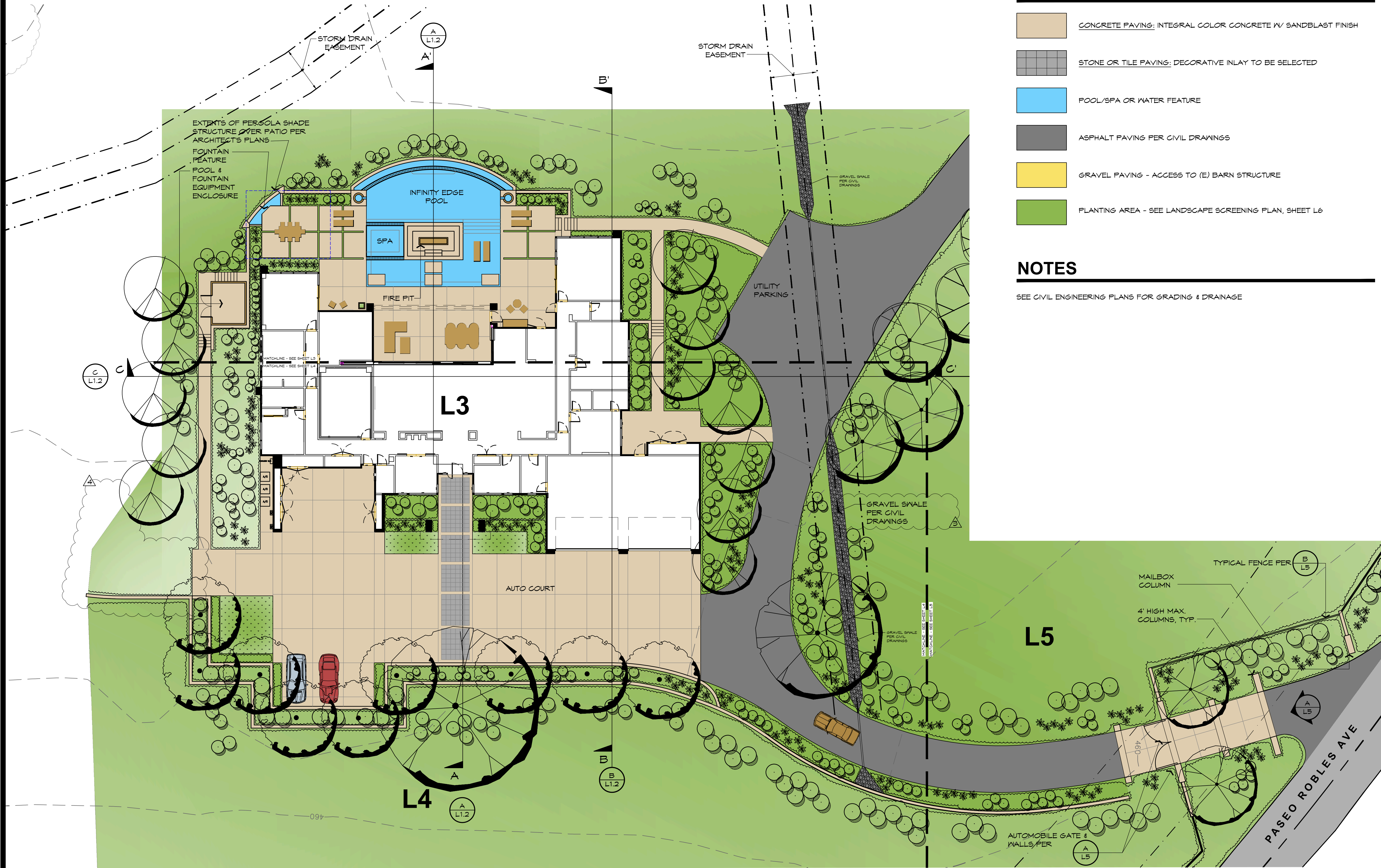
SCALE: 1/8" = 1'-0"



C1-C2 LANDSCAPE SECTION AT GARAGE WITH PROPOSED CUT & FILL

SCALE: 1/8" = 1'-0"

RE-USE, REPRODUCTION OR PUBLICATION OF THESE PLANS IS PROHIBITED WITHOUT WRITTEN CONSENT OF KIKUCHI + KANKEL DESIGN GROUP.

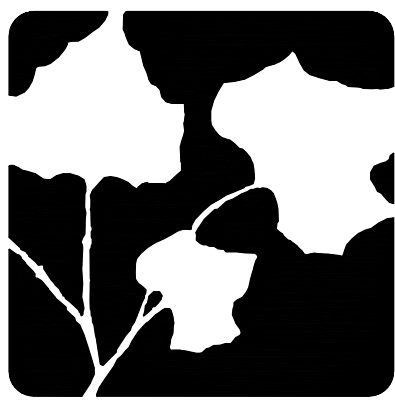


LEGEND

- CONCRETE PAVING: INTEGRAL COLOR CONCRETE W/ SANDBLAST FINISH
- STONE OR TILE PAVING: DECORATIVE INLAY TO BE SELECTED
- POOL/SPA OR WATER FEATURE
- ASPHALT PAVING PER CIVIL DRAWINGS
- GRAVEL PAVING - ACCESS TO (E) BARN STRUCTURE
- PLANTING AREA - SEE LANDSCAPE SCREENING PLAN, SHEET L6

NOTES

SEE CIVIL ENGINEERING PLANS FOR GRADING & DRAINAGE

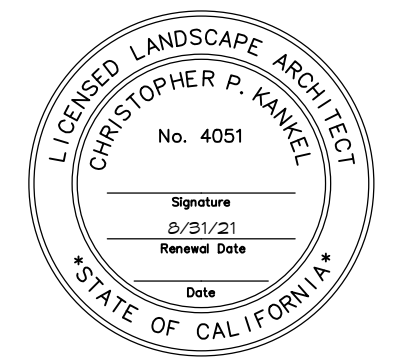


Kikuchi + Kankel Design Group

Landscape Architecture
Environmental Design
Site Planning

61 East Main Street, Suite C
Los Garos, CA 95030
(408) 356-5980

www.kkdesigngroup.com



LANDSCAPE IMPROVEMENTS

DEL MONACO RESIDENCE

2940 PASEO ROBLES AVENUE
SAN MARTIN, CA

APN: 825-29-016

Revisions:	1/28/2020
	5/28/2020
	2/24/2020
Revisions:	12/20/2019
Date:	7/12/19
Scale:	1/16" = 1'-0"
Drawn By:	

OVERALL PAVING PLAN

Sheet No.

L2

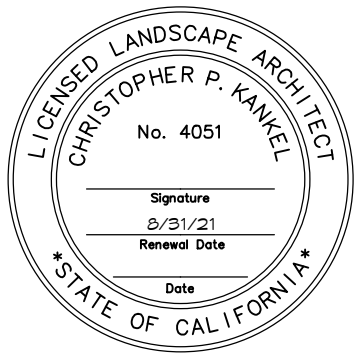


Kikuchi + Kankel
Design Group

Landscape Architecture
Environmental Design
Site Planning

61 East Main Street, Suite C
Los Garos, CA 95030
(408) 356-5980

www.kkdesigngroup.com



LANDSCAPE
IMPROVEMENTS

DEL
MONACO
RESIDENCE

2940 PASEO ROBLES AVENUE
SAN MARTIN, CA

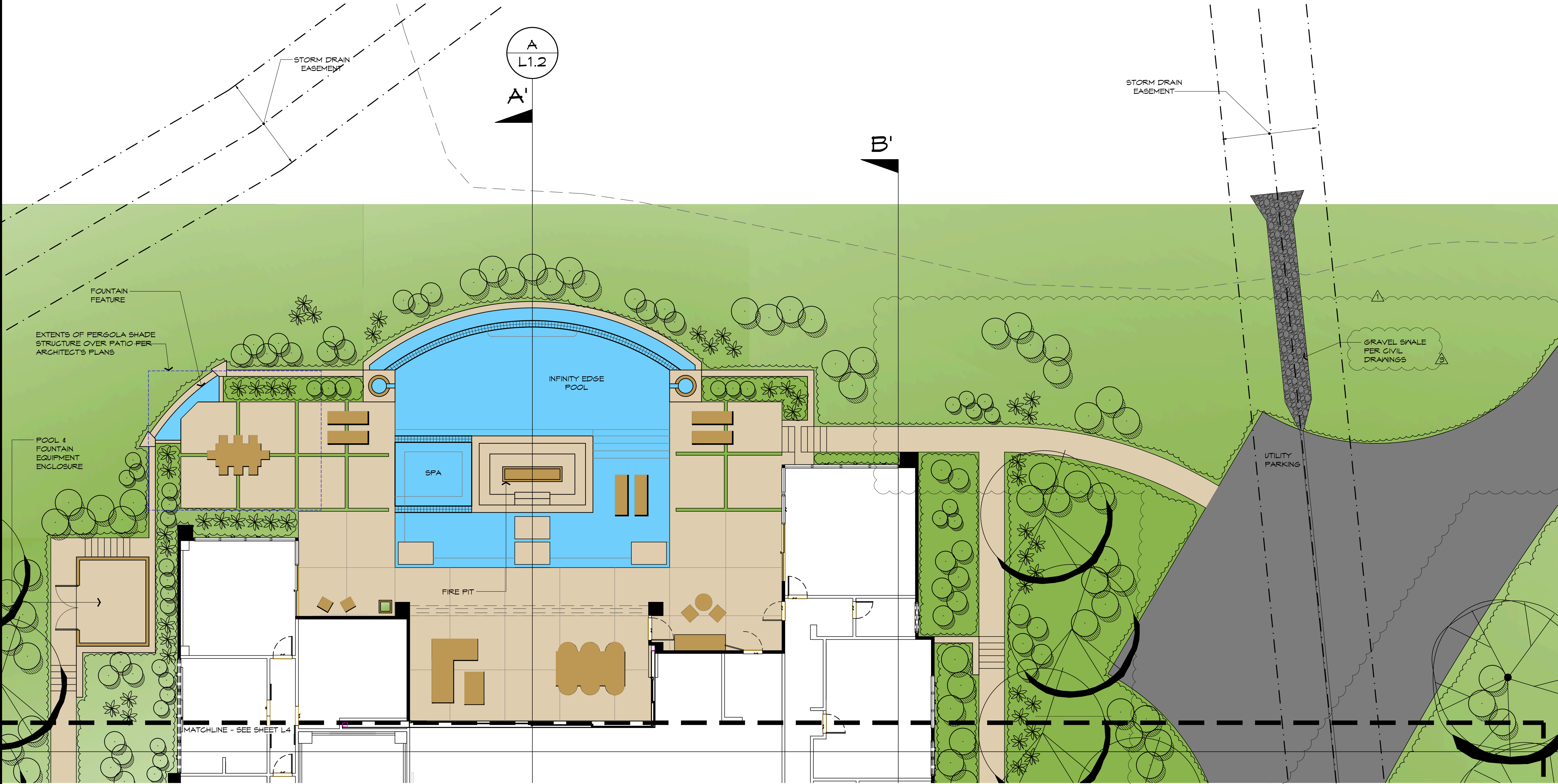
APN: 825-29-016

Revisions:	1/28/2020
	5/28/2020
	2/24/2020
	12/20/2019
Date:	7/12/19
Scale:	1/8" = 1'-0"
Drawn By:	

PAVING PLAN -
SOUTH

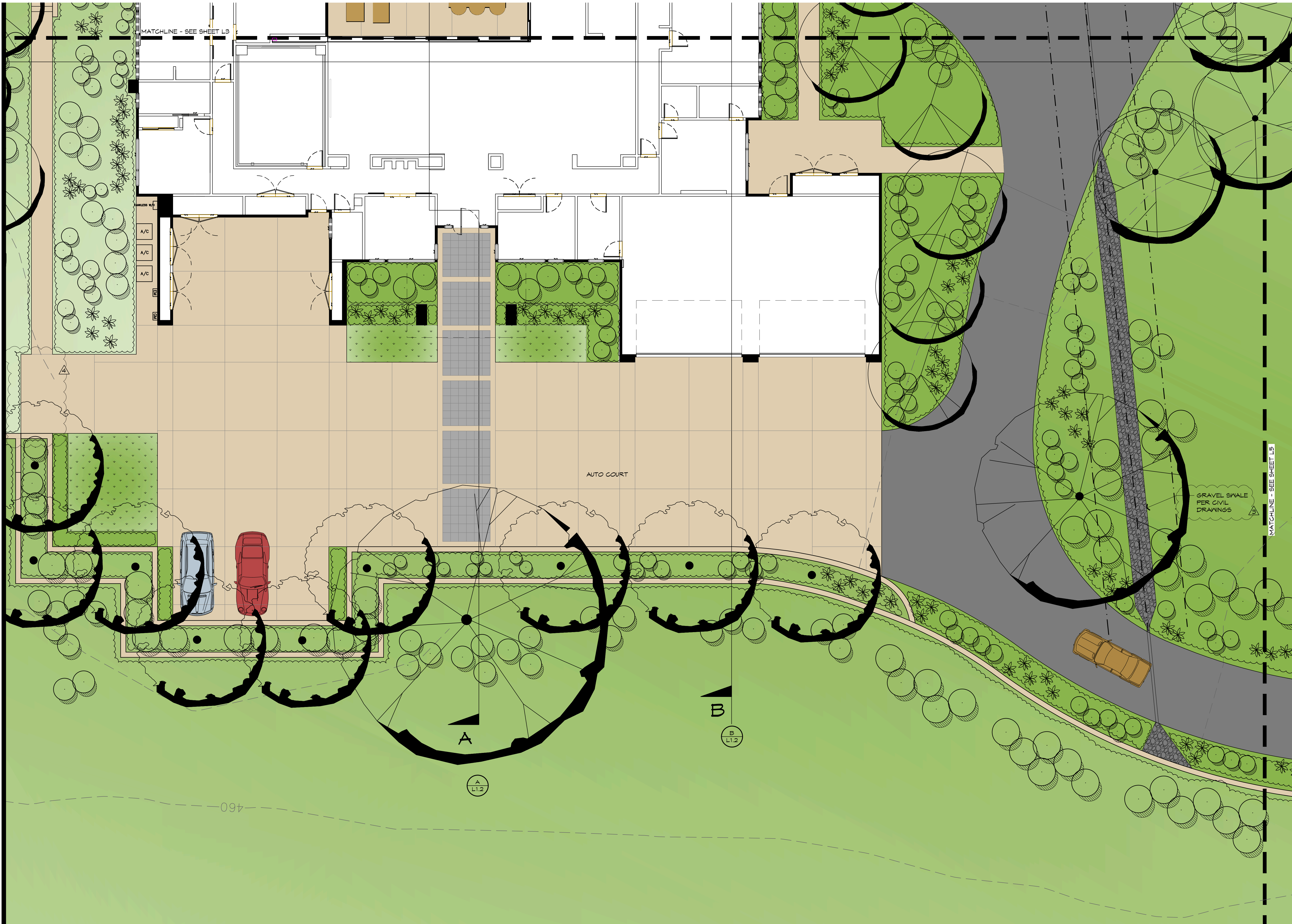
Sheet No.

L3



RE-USE, REPRODUCTION OR PUBLICATION OF THESE PLANS IS PROHIBITED WITHOUT WRITTEN CONSENT OF KIKUCHI + KANKEL DESIGN GROUP.

RE-USE, REPRODUCTION OR PUBLICATION OF THESE PLANS IS PROHIBITED WITHOUT WRITTEN CONSENT OF KIKUCHI + KANKEL DESIGN GROUP.



NOTE: SEE SHEET L2 FOR LEGEND AND NOTES

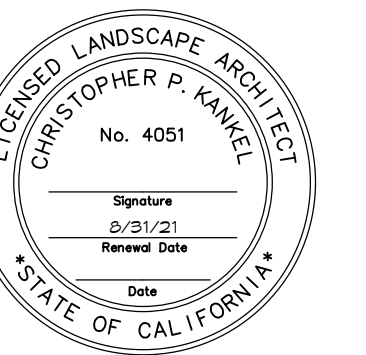


Kikuchi + Kankel
Design Group

Landscape Architecture
Environmental Design
Site Planning

61 East Main Street, Suite C
Los Garos, CA 95030
(408) 356-5980

www.kkdesigngroup.com



LANDSCAPE
IMPROVEMENTS

DEL MONACO RESIDENCE

2940 PASEO ROBLES AVENUE
SAN MARTIN, CA

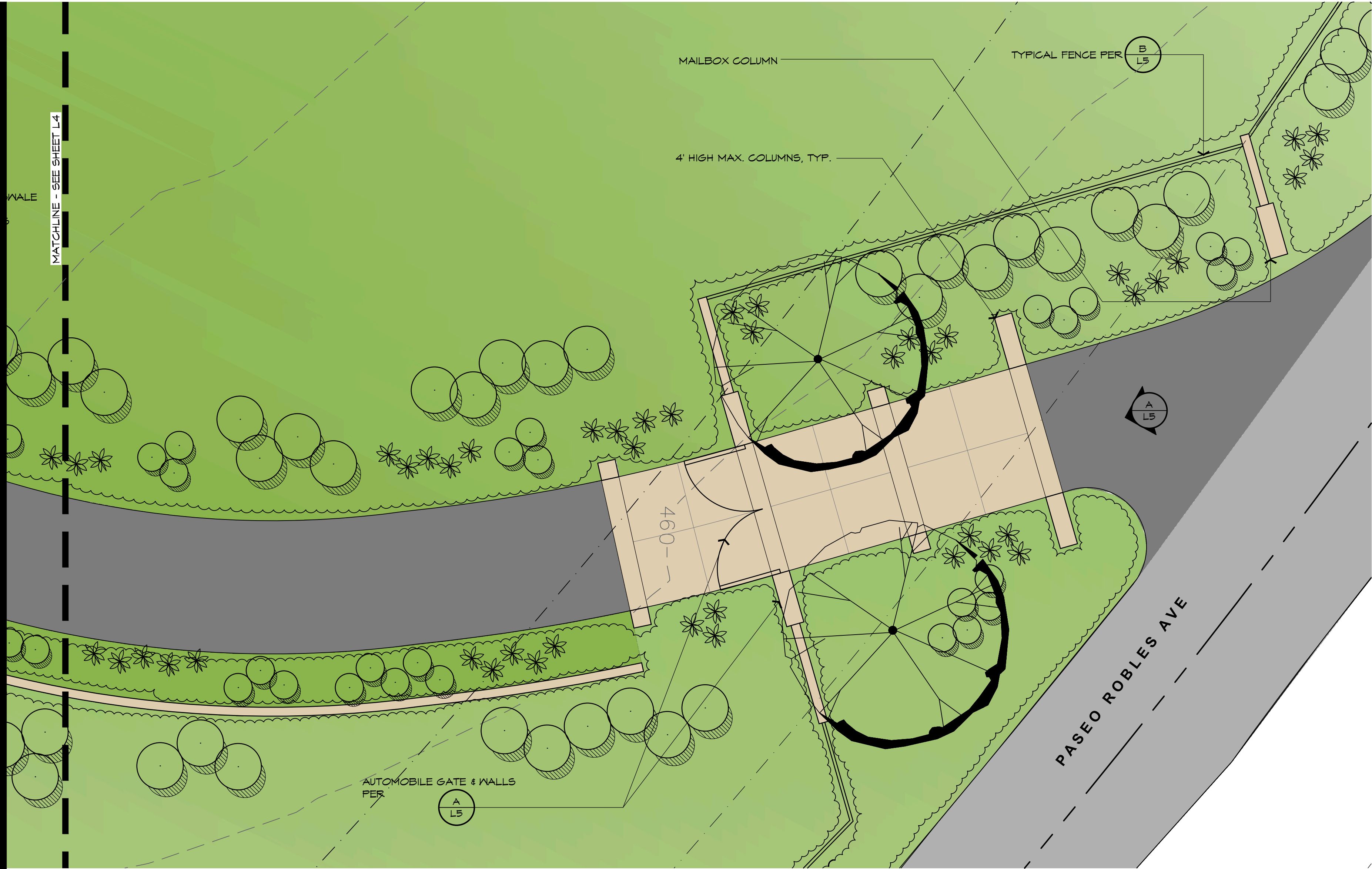
APN: 825-29-016

1/28/2020	
5/28/2020	
2/24/2020	
Revisions: 12/20/2019	
Date: 7/12/19	
Scale: 1/8" = 1'-0"	
Drawn By:	

PAVING PLAN -
NORTH

Sheet No.

L4



NOTE: SEE SHEET L2 FOR LEGEND AND NOTES

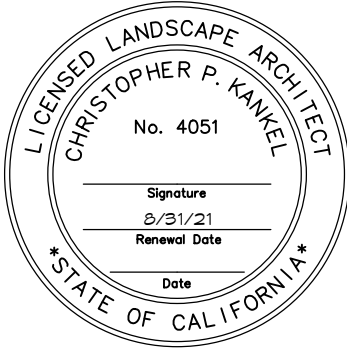


Kikuchi + Kankel
Design Group

Landscape Architecture
Environmental Design
Site Planning

61 East Main Street, Suite C
Los Garos, CA 95030
(408) 356-5980

www.kkdesigngroup.com

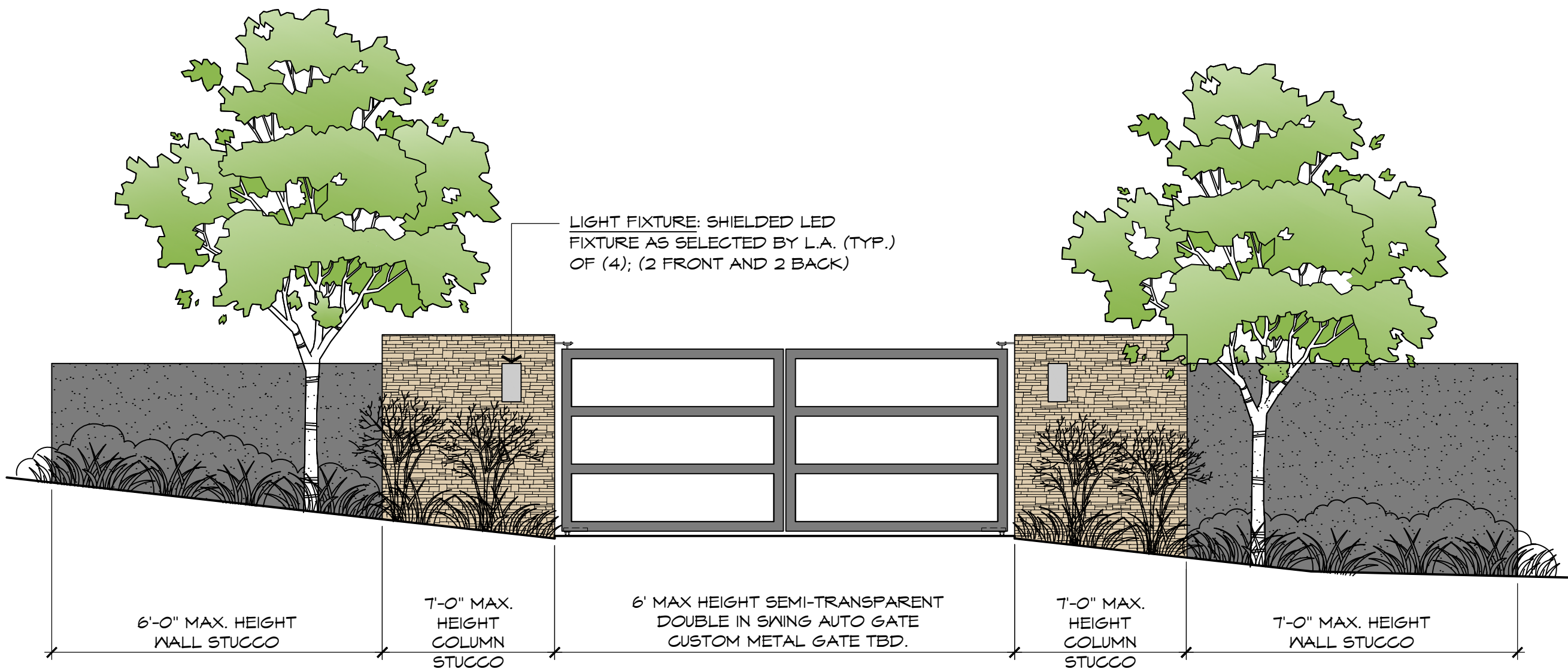


LANDSCAPE
IMPROVEMENTS

DEL
MONACO
RESIDENCE

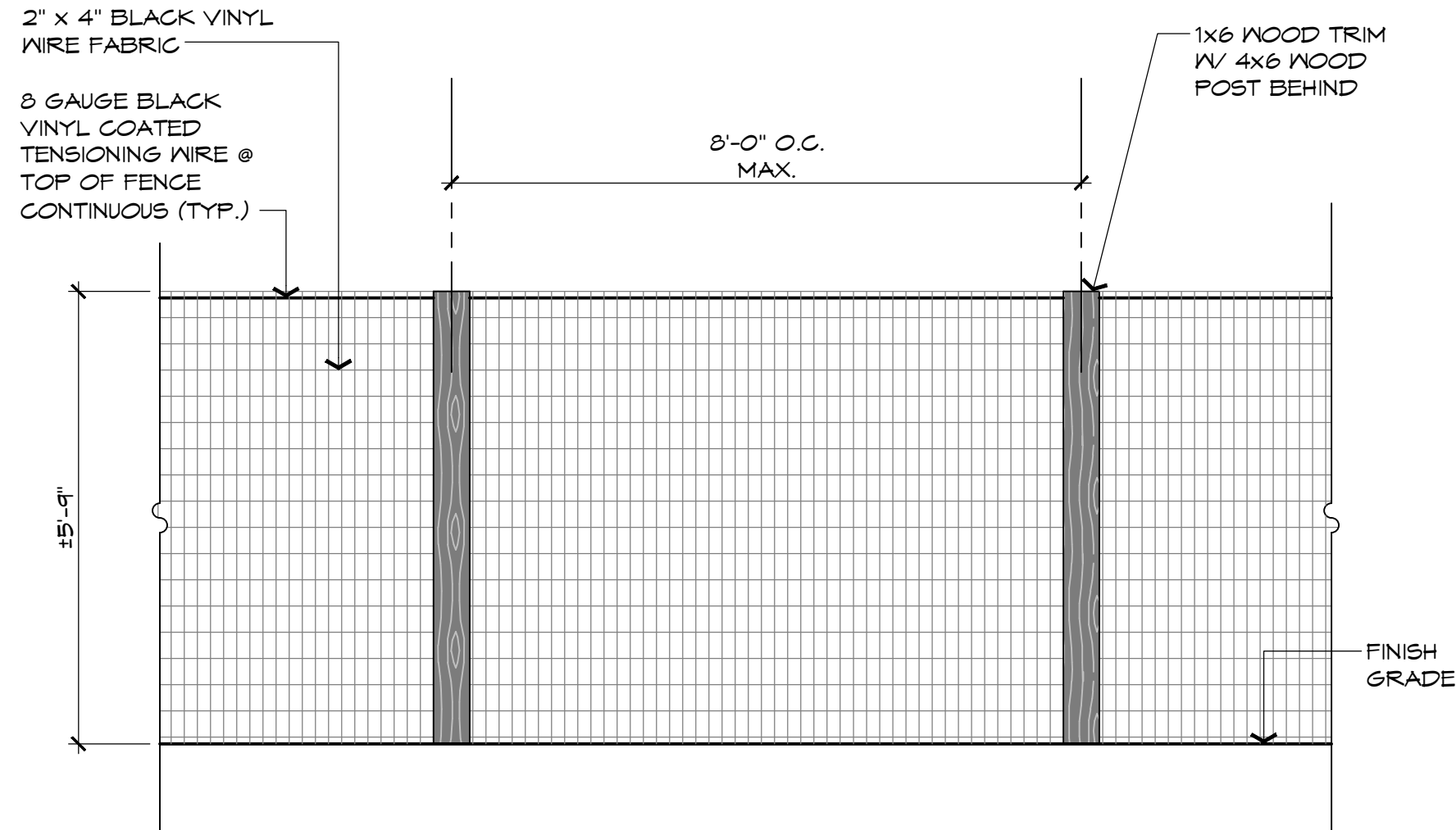
2940 PASEO ROBLES AVENUE
SAN MARTIN, CA

APN: 825-29-016



A GATE ELEVATION

SCALE: 1/4" = 1'-0"



NOTES: ALL WOOD SHALL BE STAINED W/ 1 COAT SOLID STAIN, COLOR 'CHARCOAL GRAY'. ALL HARDWARE AND FASTENERS SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.

B WOOD & WIRE FENCE FRONT ELEVATION

SCALE: 1/2" = 1'-0"

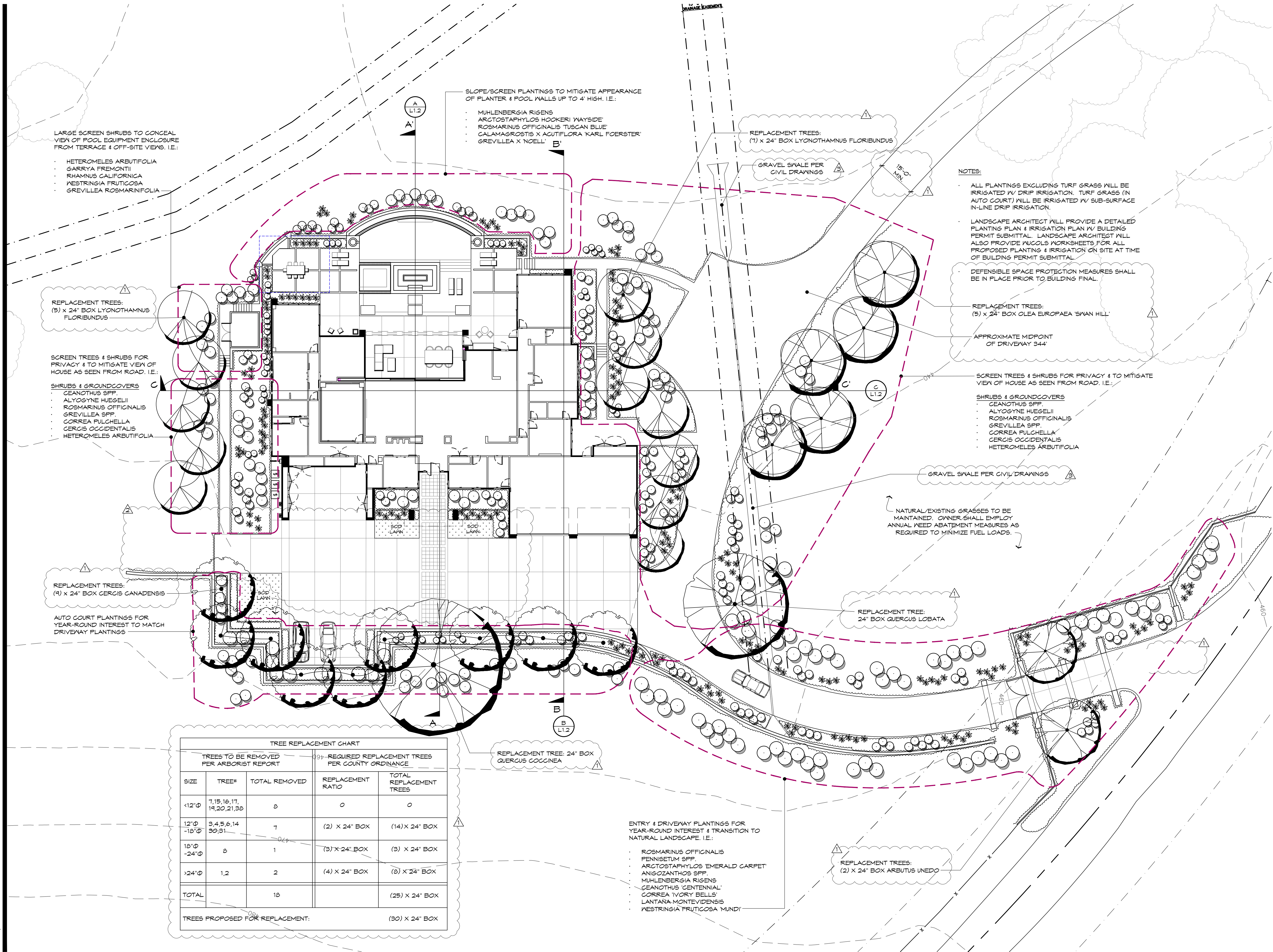
1/20/2020
5/20/2020
2/24/2020
Revisions: 12/20/2019
Date: 7/12/19
Scale: 1/8" = 1'-0"
Drawn By:

PAVING PLAN - SITE
ENTRY & FENCE
DETAILS

Sheet No.

L5

RE-USE, REPRODUCTION OR PUBLICATION OF THESE PLANS IS PROHIBITED WITHOUT WRITTEN CONSENT OF KIKUCHI + KANKEL DESIGN GROUP.

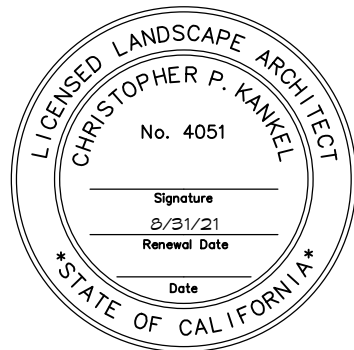


Kikuchi + Kankel
Design Group

Landscape Architecture
Environmental Design
Site Planning

61 East Main Street, Suite C
Los Garos, CA 95030
(408) 356-5980

www.kkdesigngroup.com



LANDSCAPE
IMPROVEMENTS

DEL
MONACO
RESIDENCE

2940 PASEO ROBLES AVENUE
SAN MARTIN, CA

APN: 825-29-016

1/28/2020
5/28/2020
2/24/2020
Revisions: 12/20/2019
Date: 1/12/19
Scale: 1/16" = 1'-0"
Drawn By: W.B. CK

OVERALL
SCREENING PLAN

Sheet No.

L6

Attachment D

Color Samples



STANDING SEAM METAL ROOF
AEP SPAN
DESIGN SPAN
OLD TOWN GRAY
LRV: 27
www.aepspan.com



EXTERIOR LIGHT
HINKLEY
ATLANTIS 1640SK-LED
SATIN BLACK
www.hinkleylighting.com

SW 9111
Antler Velvet
Interior / Exterior
Locator Number: 205-C3

PAINTED STUCCO
SHERWIN-WILLIAMS
SW 9111 ANTLER VELVET
LRV: 43
www.sherwin-williams.com



WINDOWS
JELD-WEN
PREMIUM ALUMINUM WINDOW
BRONZE
www.jeld-wen.com

SW 7650
Ellie Gray
Interior / Exterior
Locator Number: 239-C6

PAINTED STUCCO
SHERWIN-WILLIAMS
SW 7650 ELLIE GRAY
LRV: 40
www.sherwin-williams.com

SW 7505
Manor House
Interior / Exterior
Locator Number: 240-C7

PAINTED STUCCO
SHERWIN-WILLIAMS
SW 7505 MANOR HOUSE
LRV: 11
www.sherwin-williams.com

SW 6006
Black Bean
Interior / Exterior
Locator Number: 252-C2

PAINTED STUCCO
SHERWIN-WILLIAMS
SW 6006 BLACK BEAN
LRV: 4
www.sherwin-williams.com

DEL MONACO RESIDENCE 2940 PASEO ROBLES AVE, SAN MARTIN



MATERIAL BOARD



STUDIO 2 SQUARED
ARCHITECTURE

1000 S. Winchester Blvd
San Jose, CA 95128
ph: (408) 998 0983
www.studios2arch.com
houzz.com

Attachment E

Tract Map No. 5964

OWNER'S CERTIFICATE

WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF, OR HAVE SOME RIGHT, TITLE OR INTEREST IN AND TO THE REAL PROPERTY INCLUDED WITHIN THE SUBDIVISION SHOWN UPON THE HEREIN MAP; THAT WE ARE THE ONLY PERSONS WHOSE CONSENTS ARE NECESSARY TO PASS A CLEAR TITLE TO SAID REAL PROPERTY; THAT WE HEREBY CONSENT TO THE PREPARATION AND RECORDATION OF SAID MAP AND SUBDIVISION AS SHOWN WITHIN THE DISTINCTIVE BORDER LINE.

WE HEREBY OFFER TO DEDICATE TO PUBLIC USE AND THE COUNTY OF SANTA CLARA ALL STREETS AND PORTIONS OF STREETS NOT HERETOFORE EXISTING AND DESIGNATED AS MAPLE AVENUE, PASEO ROBLES, PASEO VISTA, EXIT "A" AND EXIT "B" AS SHOWN UPON THIS MAP, AND WE ALSO OFFER TO DEDICATE TO PUBLIC USE AND THE COUNTY OF SANTA CLARA EASEMENTS FOR ANY AND ALL PUBLIC USES UNDER, UPON AND OVER SAID STREETS AND PORTIONS THEREOF.

WE HEREBY OFFER TO DEDICATE TO PUBLIC USE AND THE COUNTY OF SANTA CLARA FOR ROAD RIGHT OF WAY PURPOSES THOSE STRIPS OF LAND DESIGNATED "TEMPORARY RIGHT OF WAY", SAID STRIPS TO BE OF A TEMPORARY NATURE AND WILL TERMINATE AND REVERT TO THE OWNERS OF THE RESPECTIVE PARCELS ENCUMBERED BY THE TEMPORARY RIGHT OF WAY UPON DEDICATION OF WHATEVER ADDITIONAL RIGHT OF WAY IS NECESSARY TO COMPLY WITH COUNTY ROADWAY STANDARDS IN THE AREA. BUILDING SETBACKS WILL BE MEASURED FROM THE PERMANENT RIGHT OF WAY LINE.

WE HEREBY OFFER TO DEDICATE TO PUBLIC USE EASEMENTS FOR ANY AND ALL PUBLIC SERVICE FACILITIES INCLUDING BUT NOT LIMITED TO POLES, WIRES, CONDUITS, STORM SEWERS, SANITARY SEWERS, GAS, WATER AND ALL APPURTENANCES THERETO UNDER, UPON OR OVER THE LAND DESIGNATED AS "P.S.E." (PUBLIC SERVICE EASEMENT).

WE HEREBY OFFER TO DEDICATE TO PUBLIC USE AND THE COUNTY OF SANTA CLARA A STORM DRAINAGE EASEMENT IN, UNDER, OVER, UPON AND ACROSS THOSE CERTAIN STRIPS OF LAND DELINEATED AND DESIGNATED AS "S.D.E." (STORM DRAINAGE EASEMENT).

WE HEREBY OFFER TO DEDICATE TO PUBLIC USE AND TO THE COUNTY OF SANTA CLARA SLOPE EASEMENTS FOR THE PURPOSE OF EXTENDING ANY CUT OR FILL OR OTHER STRUCTURES NECESSARY TO CONSTRUCT AND MAINTAIN THE STREETS ADJACENT THERETO AND DESIGNATED AS "SLOPE EASEMENT". SAID SLOPE EASEMENTS TO BE KEPT OPEN AND FREE FROM BUILDINGS AND STRUCTURES OF ANY KIND.

WE HEREBY DESIGNATE FOR THE EXCLUSIVE USE FOR THE OWNERS OF LOT 27 AND LOT 32, THE RIGHT OF INGRESS AND EGRESS, FOR PUBLIC UTILITIES AND EMERGENCY ACCESS OVER, ACROSS, UPON AND THROUGH THOSE CERTAIN STRIPS OF LAND DESIGNATED AS "INGRESS AND EGRESS EASEMENT". SAID INGRESS AND EGRESS EASEMENTS TO BE KEPT OPEN AND FREE FROM STRUCTURES OF ANY KIND EXCEPT AS HEREIN PROVIDED AND TO BE MAINTAINED BY THE OWNERS OF THE HEREINBEFORE MENTIONED LOTS.

WE HEREBY OFFER TO DEDICATE TO THE COUNTY OF SANTA CLARA THE RESERVATION OF A STRIP OR STRIPS OF LAND, ONE FOOT IN WIDTH, CONTROLLING THE ACCESS TO PUBLIC WAYS AND DESIGNATED AS "ONE FOOT RESERVATION". SUCH RESERVED STRIP TO CONTINUE IN FULL FORCE AND EFFECT UNTIL SUCH TIME AS AN EXTENSION OF THE ROAD ON WHICH THE RESERVATION IS PLACED IS DEDICATED TO PUBLIC USE AND SAID DEDICATION IS RECORDED BY THE PUBLIC AGENCY HAVING JURISDICTION, AT WHICH TIME SAID RESERVATION SHALL TERMINATE AND BE OF NO FURTHER FORCE AND EFFECT.

THE ABOVE-MENTIONED PUBLIC SERVICE AND STORM DRAINAGE EASEMENTS SHALL BE KEPT OPEN AND FREE FROM BUILDINGS AND STRUCTURES OF ANY KIND EXCEPT PUBLIC SERVICE STRUCTURES, IRRIGATION SYSTEMS AND APPURTENANCES THERETO AND LAWFUL FENCES.

THE ABOVE OFFERS OF DEDICATION TO BE ACCEPTED ONLY WHEN THE BOARD OF SUPERVISORS OR ITS SUCCESSOR AGENCIES ADOPT AND RECORD IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, A RESOLUTION ACCEPTING SAID STREETS AND EASEMENTS, UNTIL SAID RESOLUTION IS RECORDED, THE COUNTY OF SANTA CLARA SHALL NOT BE RESPONSIBLE FOR MAINTAINING AND SHALL INCUR NO LIABILITY WITH RESPECT TO SUCH OFFERED STREETS AND EASEMENTS OR ANY IMPROVEMENT THEREON.

IF ANY CHANGE IN ALIGNMENT, LENGTH OR WIDTH OF STREETS APPROVED BY THE COUNTY OF SANTA CLARA OR ITS SUCCESSOR AGENCIES RESULTS IN VACATION OF ANY PART OF THE REAL PROPERTY DEDICATED HEREIN, SUCH VACATION SHALL TERMINATE THE DEDICATION AS TO THE PART VACATED.

OWNER:

LOMA ROBLES DEVELOPMENT COMPANY INC.,
A CALIFORNIA CORPORATION

BY *J.E. Bogue* BY *Wm. C. Housley, Sr.*
Secretary

TRUSTEE:

TITLE INSURANCE AND TRUST COMPANY,
A CALIFORNIA CORPORATION

BY *Edward K. Maruyama* *Claudia Nichols*
vice president *assistant secretary*

TRUSTEE:

CONTINENTAL AUXILIARY COMPANY,
A CALIFORNIA CORPORATION

BY *J. Mulberg*

SOILS REPORT

A SOILS REPORT TITLED, "GEOLOGIC/GEOTECHNICAL INVESTIGATION, RANCHO DE LOS ROBLES, MORGAN HILL", DATED JULY 28, 1976, HAS BEEN PREPARED BY TERRATECH, AND SIGNED BY DENNIS E. ECCLES, R.C.E. NO. 26181.

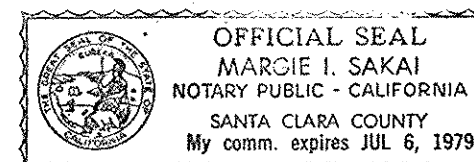
ACKNOWLEDGEMENTS

STATE OF CALIFORNIA } ss
COUNTY OF SANTA CLARA }

ON THIS 7th DAY OF April, 1977, BEFORE ME, Margie I. Sakai,
A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED
J.F. Rodola KNOWN TO ME TO BE THE Manager AND
KNOWN TO ME TO BE THE
OF THE CORPORATION THAT EXECUTED THE WITHIN INSTRUMENT AND ALSO
KNOWN TO ME TO BE THE PERSONS WHO EXECUTED THE WITHIN INSTRUMENT
ON BEHALF OF THE CORPORATION THEREIN NAMED, AND ACKNOWLEDGED TO
ME THAT SUCH CORPORATION EXECUTED THE SAME, PURSUANT TO ITS BY-LAWS
OR A RESOLUTION OF ITS BOARD OF DIRECTORS, AS TRUSTEE.

IN WITNESS WHEREOF I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL
SEAL IN THE COUNTY OF SANTA CLARA THE DAY AND YEAR IN THIS CERTIFICATE
FIRST ABOVE WRITTEN.

Margie I. Sakai
NOTARY PUBLIC

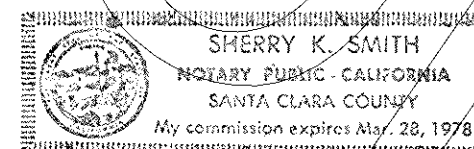


STATE OF CALIFORNIA } ss
COUNTY OF SANTA CLARA }

ON THIS 7th DAY OF April, 1977, BEFORE ME, Sherry K. Smith,
A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED Edward K. Maruyama
Maruyama KNOWN TO ME TO BE THE vice president AND
Claudia Nichols KNOWN TO ME TO BE THE assistant secretary
OF THE CORPORATION THAT EXECUTED THE WITHIN INSTRUMENT AND ALSO
KNOWN TO ME TO BE THE PERSONS WHO EXECUTED THE WITHIN INSTRUMENT
ON BEHALF OF THE CORPORATION THEREIN NAMED, AND ACKNOWLEDGED TO
ME THAT SUCH CORPORATION EXECUTED THE SAME, PURSUANT TO ITS BY-LAWS
OR A RESOLUTION OF ITS BOARD OF DIRECTORS, AS TRUSTEE.

IN WITNESS WHEREOF I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL
SEAL IN THE COUNTY OF SANTA CLARA THE DAY AND YEAR IN THIS CERTIFICATE
FIRST ABOVE WRITTEN.

Sherry K. Smith
NOTARY PUBLIC

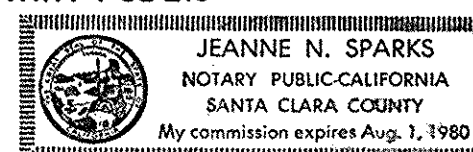


STATE OF CALIFORNIA } ss
COUNTY OF SANTA CLARA }

ON THIS 7th DAY OF APRIL, 1977, BEFORE ME, Jeanne N. Sparks,
A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED
J.E. Bogue KNOWN TO ME TO BE THE PRESIDENT
AND Wm. C. Housley, Sr. KNOWN TO ME TO BE THE
SECRETARY OF LOMA ROBLES DEVELOPMENT COMPANY INC., THE CORPORATION THAT
EXECUTED THE WITHIN INSTRUMENT AND KNOWN TO ME TO BE THE PERSONS WHO
EXECUTED THE WITHIN INSTRUMENT ON BEHALF OF THE CORPORATION HEREIN NAMED
AND ACKNOWLEDGED TO ME THAT SUCH CORPORATION EXECUTED THE SAME.

IN WITNESS WHEREOF I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL
IN THE COUNTY OF SANTA CLARA THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE
WRITTEN.

Jeanne N. Sparks
NOTARY PUBLIC

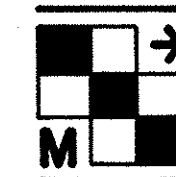
**TRACT no. 5964**
RANCHO ROBLES

CONSISTING OF 4 SHEETS

BEING ALL OF LOTS 244, 245, 246 AND PORTIONS
OF LOTS 234, 235, 236 AND 237-A, SAN MARTIN RANCH MAP NO. 2,
RECORDED IN BOOK G OF MAPS AT PAGES 38 & 39, LYING WITHIN

Santa Clara County, California

SCALE: 1" = 200' DECEMBER 1976



HANS R. MULBERG, INC.
Civil Engineering - Engineering Planning
1676 O OAK VIEW CIRCLE MORGAN HILL, CALIFORNIA

ENGINEER'S CERTIFICATE

I, HANS R. MULBERG, A REGISTERED CIVIL ENGINEER OF THE STATE OF CALIFORNIA, HEREBY
CERTIFY THAT THIS MAP, CONSISTING OF 4 SHEETS, CORRECTLY REPRESENTS A SURVEY MADE UNDER
MY DIRECTION DURING THE MONTHS OF OCTOBER AND NOVEMBER, 1976; THAT THE
SURVEY IS TRUE AND COMPLETE AS SHOWN; THAT THE MONUMENTS ARE OF THE
CHARACTER AND OCCUPY THE POSITIONS INDICATED, OR WILL BE SET IN SUCH POSITIONS
ON OR BEFORE JULY, 1977, AND ARE, OR WILL BE, SUFFICIENT TO ENABLE THE SURVEY
TO BE RETRACED.

DATED: April 7, 1977.

Hans R. Mulberg
HANS R. MULBERG, R.C.E. NO. 13173
REGISTERED CIVIL ENGINEER, STATE OF CALIFORNIA

COUNTY SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I HAVE EXAMINED THE WITHIN FINAL MAP OF TRACT NO. 5964,
THAT THE SUBDIVISION SHOWN HEREON IS SUBSTANTIALLY THE SAME AS IT APPEARED
ON THE TENTATIVE MAP THEREOF AND ANY APPROVED ALTERATIONS; THAT ALL PROVISIONS
OF THE CALIFORNIA STATE SUBDIVISION MAP ACT AND ANY LOCAL ORDINANCES APPLICABLE
AT THE TIME OF THE APPROVAL OF THE TENTATIVE MAP HAVE BEEN COMPLIED WITH AND
I AM SATISFIED THAT SAID MAP IS TECHNICALLY CORRECT.

DATED: APRIL 18, 1977

Dean P. Larson
DEAN P. LARSON, COUNTY SURVEYOR
COUNTY OF SANTA CLARA, STATE OF CALIFORNIA

CLERK OF THE BOARD OF SUPERVISORS CERTIFICATE

I HEREBY CERTIFY THAT THE FOLLOWING ORDER WAS ADOPTED BY THE BOARD OF
SUPERVISORS OF THE COUNTY OF SANTA, STATE OF CALIFORNIA AT A MEETING OF
SAID BOARD HELD ON THE DAY OF APRIL 18, 1977. IT IS ORDERED THAT THE
MAP OF TRACT NO. 5964 BE AND THE SAME IS HEREBY APPROVED; THAT ALL
STREETS AND/OR ROADS AND EASEMENTS OFFERED FOR DEDICATION TO THE COUNTY
OF SANTA CLARA ARE HEREBY NOT ACCEPTED; THAT ALL OTHER EASEMENTS
ARE HEREBY ACCEPTED ON BEHALF OF THE PUBLIC FOR THE PURPOSES SET FORTH
IN THE OFFER OF DEDICATION.

COUNTY RECORDER'S CERTIFICATE

FILE NO. 5618996 FEE: \$11.00 PAID
ACCEPTED FOR RECORD AND FILED IN BOOK 393 OF MAPS
AT PAGES 45, 46, 47, 48, SANTA CLARA COUNTY
RECORDS, ON THE 22nd DAY OF APRIL, 1977,
AT 8:20 A.M.

GEORGE A. MANN
COUNTY RECORDER

BY *Laura M. Johnston*
DEPUTY

Donald M. Rains
DONALD M. RAINS, CLERK OF THE BOARD
OF SUPERVISORS OF THE COUNTY OF SANTA
CLARA, STATE OF CALIFORNIA

SHEET 1 OF 4 SHEETS

JOB NO. 76-2004

LEGEND

- MONUMENTS FOUND, AS NOTED HEREON
- INDICATES 3/4" IRON PIPE SET, UNLESS OTHERWISE NOTED HEREON
- *A INDICATES LOT LINE CURVE DATA ALONG CENTERLINE OF 60' ROADWAY EASEMENT
- ◎ INDICATES STD. STREET MONUMENTS SET
- DISTINCTIVE BORDER (SUBDIVISION BOUNDARY)
- S.D.E.- INDICATES APPROXIMATE CENTERLINE LOCATION OF 15' WIDE STORM DRAINAGE EASEMENT.

BASIS OF BEARINGS

THE BEARING, N 66° 21' 50" E, OF THE CENTERLINE OF MAPLE AVENUE, AS SHOWN UPON THAT CERTAIN MAP TITLED, "RECORD OF SURVEY, SAN MARTIN RANCH MAP NO. 2, SANTA CLARA COUNTY, CALIF.", FILED FOR RECORD MAY 23, 1969, AND RECORDED IN BOOK 254 OF MAPS AT PAGE 8, RECORDS OF SANTA CLARA COUNTY, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS MAP.

TRACT no. 5964 RANCHO ROBLES

CONSISTING OF 4 SHEETS

BEING ALL OF LOTS 244, 245, 246 AND PORTIONS OF LOTS 234, 235, 236 AND 237-A, SAN MARTIN RANCH MAP NO. 2, RECORDED IN BOOK G OF MAPS AT PAGES 38 & 39, LYING WITHIN

Santa Clara County, California

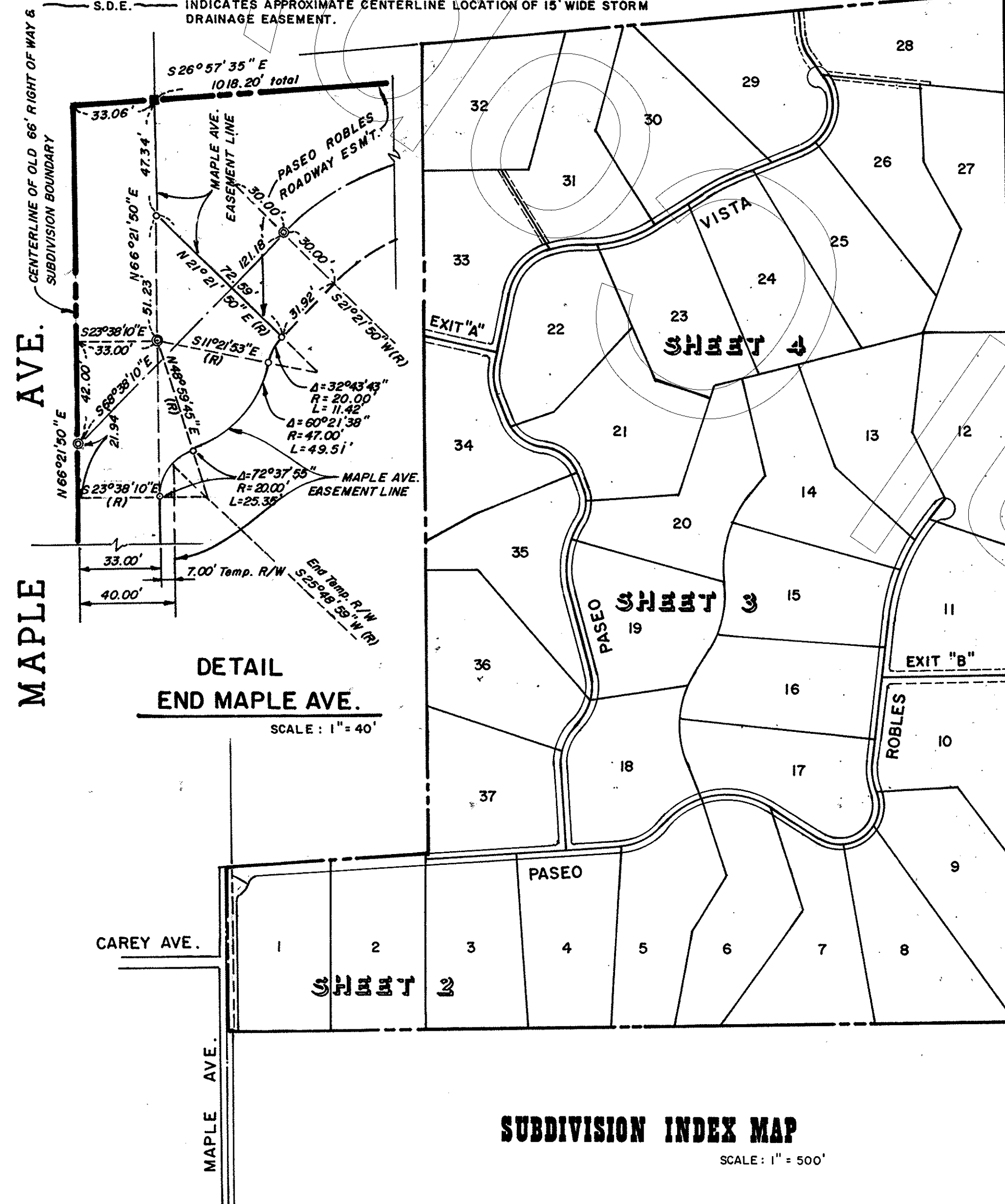
SCALE: 1" = 200' DECEMBER 1976



HANS R. MULBERG, INC.
Civil Engineering - Engineering Planning
16760 OAK VIEW CIRCLE MORGAN HILL, CALIFORNIA

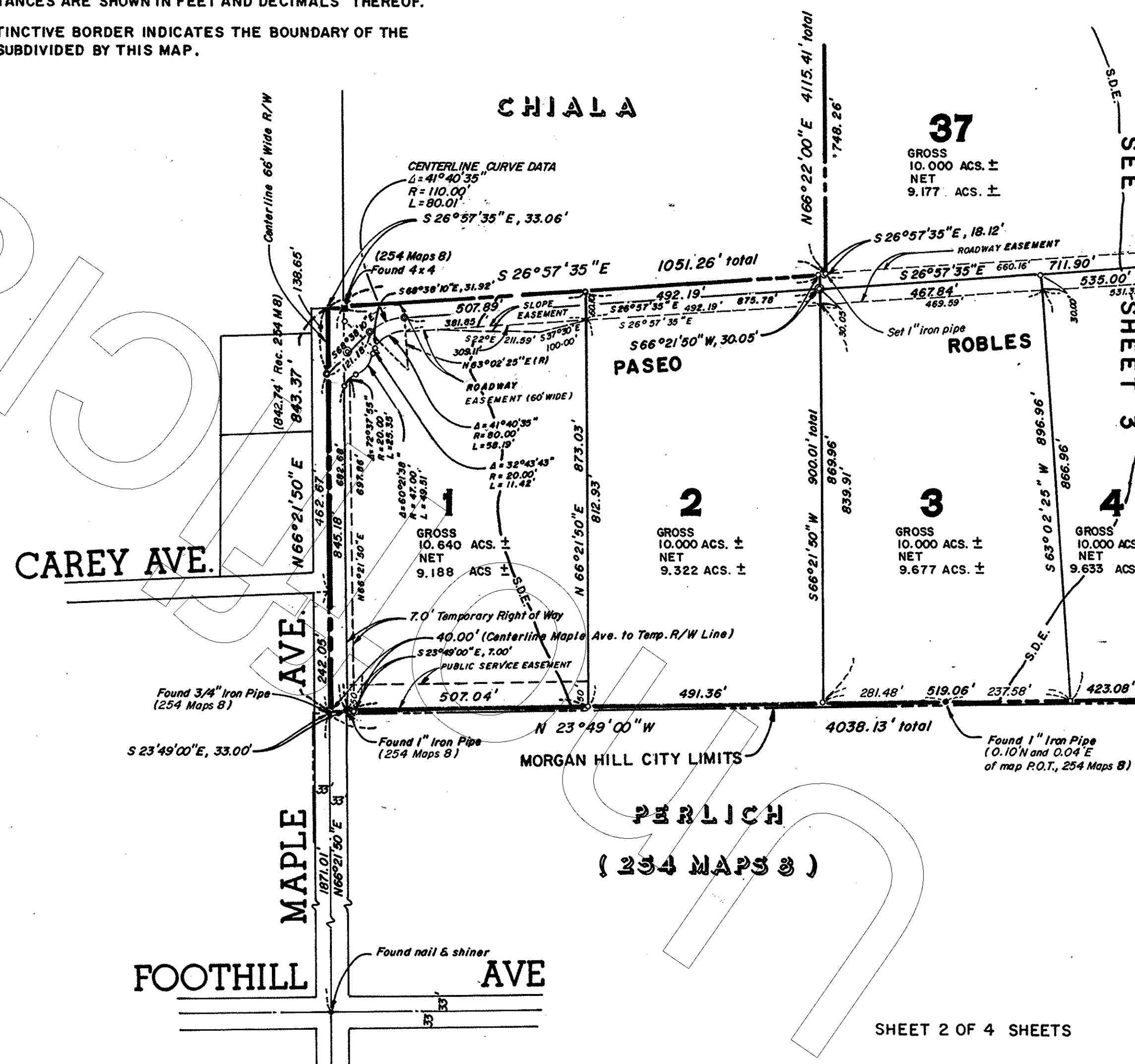
NOTES

1. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.
2. THE DISTINCTIVE BORDER INDICATES THE BOUNDARY OF THE LANDS SUBDIVIDED BY THIS MAP.



SUBDIVISION INDEX MAP

SCALE: 1" = 500'



SHEET 2 OF 4 SHEETS

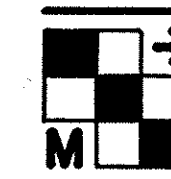
JOB NO. 76-2004

TRACT NO. 5964 RANCHO ROBLES

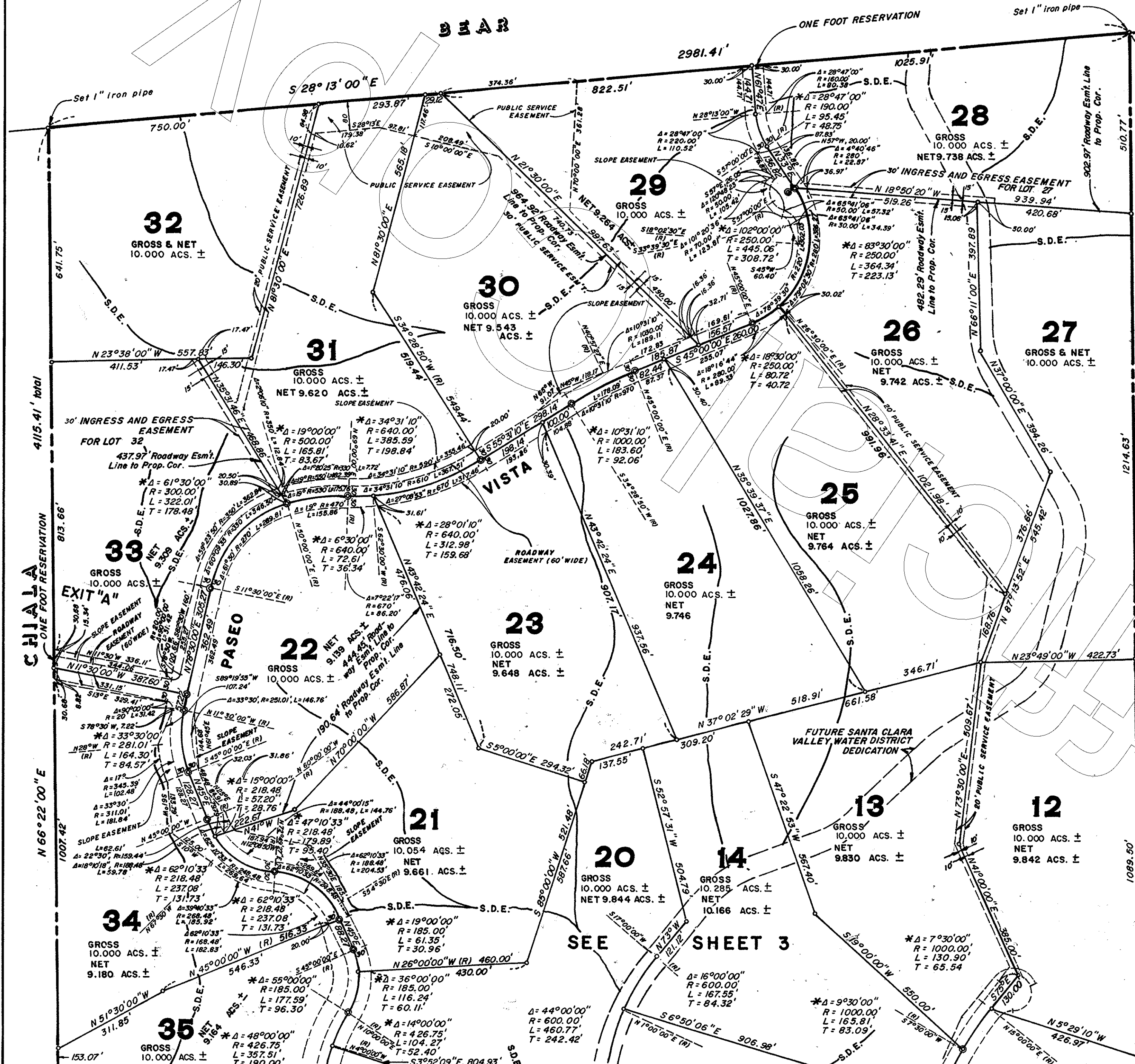
CONSISTING OF 4 SHEETS
BEING ALL OF LOTS 244, 245, 246 AND PORTIONS
OF LOTS 234, 235, 236 AND 237-A, SAN MARTIN RANCH MAP NO. 2,
RECORDED IN BOOK G OF MAPS AT PAGES 38 & 39, LYING WITHIN

Santa Clara County, California

SCALE: 1" = 200' DECEMBER 1976



HANS R. MULBERG, INC.
Civil Engineering - Engineering Planning
16760 OAK VIEW CIRCLE MORGAN HILL, CALIFORNIA



5245.12' total

1089.50'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'

567.40'