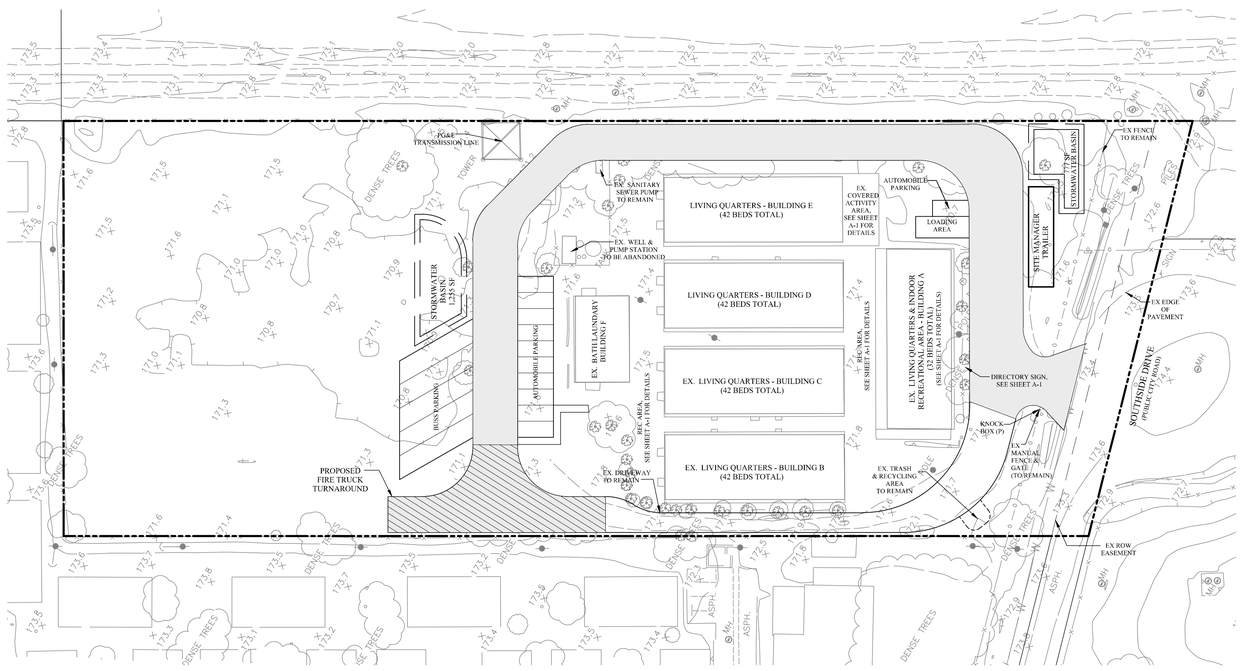
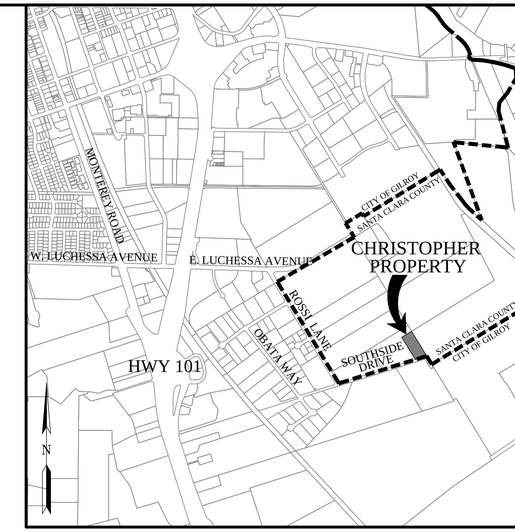
USE PERMIT & ARCHITECTURAL AND SITE APPROVAL

935 SOUTHSIDE DRIVE

SANTA CLARA COUNTY, CALIFORNIA





VICINITY MAP

PROJECT INFORMATION

1. ASSESSOR'S PARCEL NUMBER: 841-15-005
2. ADDRESS: 935 SOUTHSIDE DRIVE GILROY, CA 95020
3. EXISTING GENERAL PLAN AGRICULTURE LARGE SCALE
4. EXISTING ZONING DISTRICT A-40 AC
5. SITE AREA: 3.21 ± AC
6. UTILITIES
   - WATER: CITY OF GILROY
   - GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
   - SANITARY SEWER: CITY OF GILROY
   - STORM DRAIN: CITY OF GILROY
   - TELEPHONE: VERIZON
   - CABLE: CHARTER COMMUNICATIONS

GENERAL NOTES

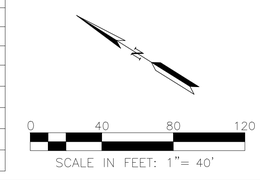
1. THE ORTHO-PHOTO AND DESIGN LEVEL TOPOGRAPHY SHOWN IS BASED ON PHOTOGRAPHY COMPLIED BY RADMAN AERIAL SURVEYS, INC. FLOWN ON APRIL 4, 2019.
2. VERTICAL DATUM = NAVD88
3. THE FEDERAL INSURANCE ADMINISTRATION'S FLOOD HAZARD MAP FOR THE SANTA CLARA COUNTY, CALIFORNIA AND INCORPORATED AREAS, MAP NUMBER 06085C0756H, EFFECTIVE MAY 18, 2009, INDICATES THAT THE SUBJECT PROPERTY LIES WITHIN ZONE "AE" AS SHOWN ON PANEL 756 OF 830 OF SAID MAP. ZONE "AE" IS DEFINED UNDER "SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD WITH BASE FLOOD ELEVATIONS DETERMINED."

SHEET INDEX

SHEET NUMBER	SHEET TITLE
C-1	TITLE SHEET
C-2	EXISTING CONDITIONS
C-3	SITE PLAN
C-4	PRELIMINARY GRADING AND UTILITY PLAN
C-5	PRELIMINARY SWCP
L-1	PRELIMINARY LANDSCAPE PLAN
L-2	PRELIMINARY IRRIGATION PLAN
A-1	SITE PLAN
A-2	PROPOSED FLOOR PLAN LIVING QTRS - A
A-2.1	PROPOSED EXTERIOR ELEVATIONS LIVING QRTS - A
A-3	PROPOSED FLOOR PLAN LIVING QRTS - B
A-3.1	PROPOSED EXTERIOR ELEVATIONS LIVING QRTS - B
A-4	PROPOSED FLOOR PLAN LIVING QTRS - C
A-4.1	PROPOSED EXTERIOR ELEVATIONS LIVING QRTS - C
A-5	PROPOSED FLOOR PLAN LIVING QTRS - D
A-5.1	PROPOSED EXTERIOR ELEVATIONS LIVING QRTS - D
A-6	PROPOSED FLOOR PLAN LIVING QTRS - E
A-6.1	PROPOSED EXTERIOR ELEVATIONS LIVING QRTS - E
A-7	RESTROOMS PLAN, DOOR SIGNAGE AND MOUNTING HEIGHTS
A-7.1	RESTROOM EXTERIOR ELEVATION
E1.0	PROJECT INFORMATION
E2.0	SINGLE LINE DIAGRAM
E2.1	PANEL SCHEDULES AND LOAD SUMMARY
E3.0	SITE PLAN - POWER
E3.1	SITE PLAN - LIGHTING
E3.2	SITE PLAN - PHOTOMETRICS
E4.0	LIVING QUARTERS POWER/LIGHTING
E4.1	LIVING QUARTERS POWER/LIGHTING
E4.2	LIVING QUARTERS POWER/LIGHTING
E5.0	TITLE 24 DOCUMENTATION

EARTHWORK SUMMARY

CUT:	790± CY
FILL:	790± CY
NET:	0± CY (EXPORT)



OWNER:

CHRISTOPHER RANCH, LLC.
305 BLOOMFIELD AVENUE
GILROY, CA 95020
CONTACT: WILLIAM CHRISTOPHER
(408) 847-1100
BILL@CHRISTOPHERRANCH.COM

APPLICANT:

GIACALONE MANAGEMENT, INC.
PO BOX 2062
GILROY, CA 95020
CONTACT: JOE GIACALONE INC.
(408) 846-661
JPG98@EARTHLINK.NET

GIACALONE MANAGEMENT, INC.

CIVIL ENGINEER/PLANNER:

RUGGERI-JENSEN-AZAR
8055 CAMINO ARROYO
GILROY, CA 95020
CONTACT ENGINEER: JIM SCHUL, P.E., RCE #49688
(408) 848-0300, JSCHUL@RJA-GPS.COM
CONTACT PLANNER: ROB ONETO
(408) 848-0300, RONETO@RJA-GPS.COM

RJA RUGGERI-JENSEN-AZAR

ARCHITECT:

RICHARD PEDLEY ARCHITECT
547 MIDDLECREST ROAD
LAKE OSWEGO, OREGON
CONTACT: RICK PEDLEY, CA LIC. NO. C-14419
(408) 438-1966
RICK@RICHARDPEDLEY.COM

RJA
RUGGERI-JENSEN-AZAR
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8055 CAMINO ARROYO GILROY, CA 95020
PHONE: (408) 848-0300 FAX: (408) 848-0302

USE PERMIT & ARCHITECTURAL AND APPROVAL

TITLE SHEET

935 SOUTHSIDE DRIVE
SANTA CLARA COUNTY, CALIFORNIA
FOR: CHRISTOPHER RANCH, LLC.

SCALE: AS SHOWN

DATE: JANUARY 08, 2020

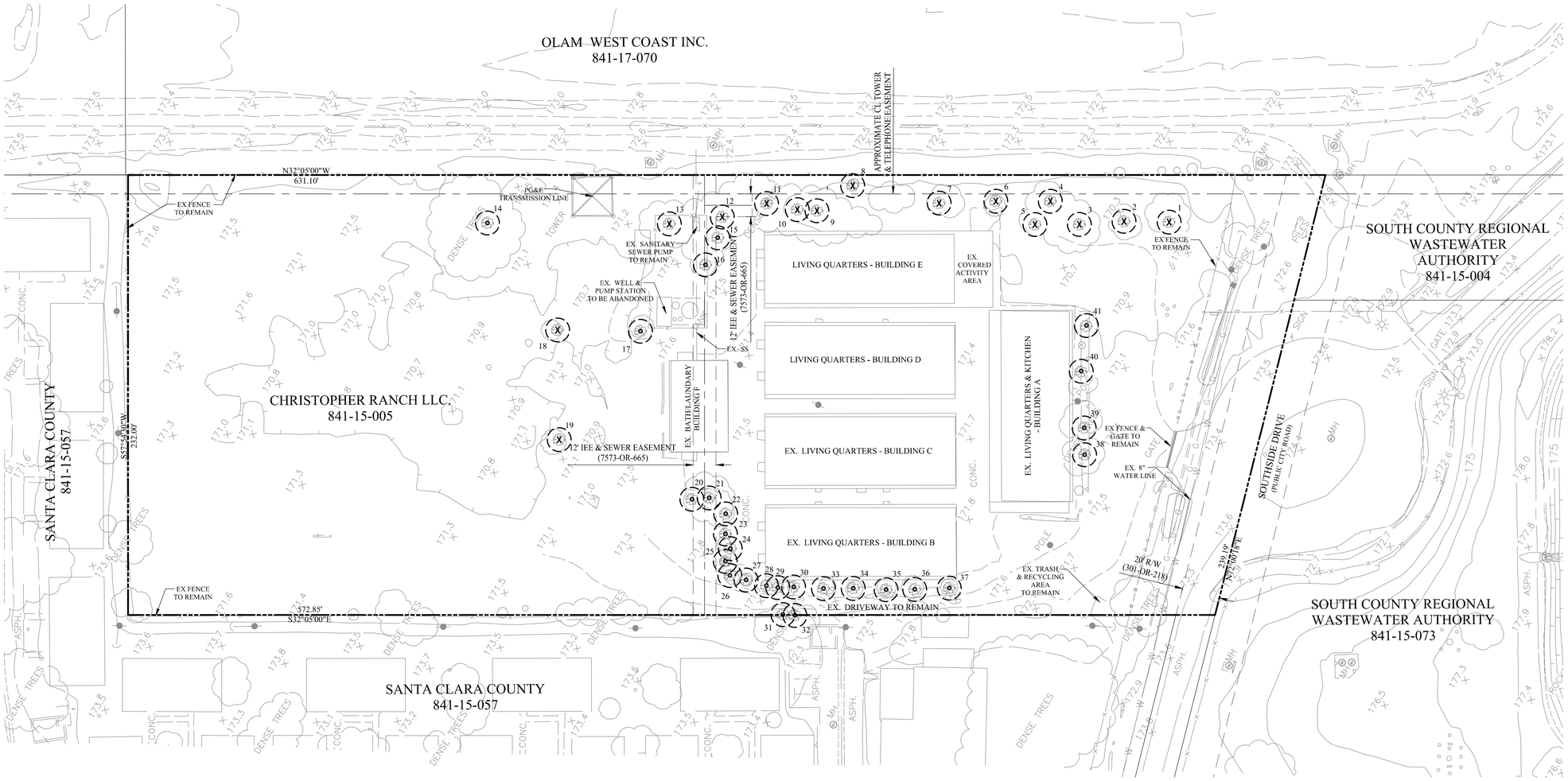
SHEET REVISIONS

DATE	
11/19/2019	PER COUNTY INCOMPLETE LETTER DATED 11/18/2019.
01/02/2020	PER COUNTY EMAIL COMMENTS DATED 12/31/2019.

SHEET C-1 OF 30 SHEETS

JOB NO. 192012

PLOT DATE: January 8, 2020
FILE PATH: W:\Jobs 19\192012 - southside drive\Drawings\Prelim\application\use permit & arch and site approval\1 TITLE SHEET.dwg



LEGEND

EXISTING	DESCRIPTION
	BOUNDARY
	EDGE OF PAVEMENT
	EX FENCE
	EX GAS
	EX WATER
	EX SANITARY SEWER
	EX MANHOLE
	EX ELECTROLIER
	EX STORM DRAIN INLET
	EX TREE TO BE REMOVED
	EX TREE TO REMAIN
	EX EASEMENT

Tree Table

Tree No.	Tree Common Name	Trunk Diameter	Status
1	Walnut	26"	Remove
2	Walnut	26"	Remove
3	Walnut	30"	Remove
4	Loquat Multi-Leader (2)	6"	Remove
5	Walnut	34"	Remove
6	Japanese Maple	6"	Remove
7	African Sumac	10"	Remove
8	Persimmon	3"	Remove
9	Fig Multi-Leader (2)	12"	Remove
10	Citrus Multi-Leader (4)	6"	Remove
11	Glossy Privet Multi-Leader (2)	12"	Remove
12	Chitalpa	13"	Remove
13	Walnut	24"	Remove
14	Walnut	36"	Remain
15	Chitalpa	15"	Remain
16	Glossy Privet	12"	Remain
17	Chitalpa	12"	Remain
18	Chitalpa	12"	Remove
19	Chitalpa Multi-Leader (2)	8"	Remove
20	Chitalpa	10"	Remain
21	Chitalpa	14"	Remain
22	Chitalpa	15"	Remain
23	Chitalpa	10"	Remain
24	Chitalpa	12"	Remain
25	Chitalpa	10"	Remain
26	Chitalpa	12"	Remain
27	Chitalpa	12"	Remain
28	Chitalpa	12"	Remain
29	Chitalpa	12"	Remain
30	Chitalpa	11"	Remain
31	Walnut	10"	Remain
32	Glossy Privet	10"	Remain
33	Marina Madrone	4"	Remain
34	Marina Madrone	6"	Remain
35	Marina Madrone	6"	Remain
36	Marina Madrone	4"	Remain
37	Marina Madrone	8"	Remain
38	Pear	12"	Remain
39	Pear	12"	Remain
40	Loquat Multi-Leader (2)	7"	Remain
41	Loquat	7"	Remain

0 30 60 90
SCALE IN FEET: 1"= 30'

RUGGERI-JENSEN-AZAR
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PHONE: (408) 848-0300 FAX: (408) 848-0302

USE PERMIT & ARCHITECTURAL AND APPROVAL

EXISTING CONDITIONS

935 SOUTHSIDE DRIVE

SANTA CLARA COUNTY, CALIFORNIA
FOR: CHRISTOPHER RANCH, LLC.

SCALE
AS SHOWN

DATE
JANUARY 08, 2020

SHEET REVISIONS

DATE	
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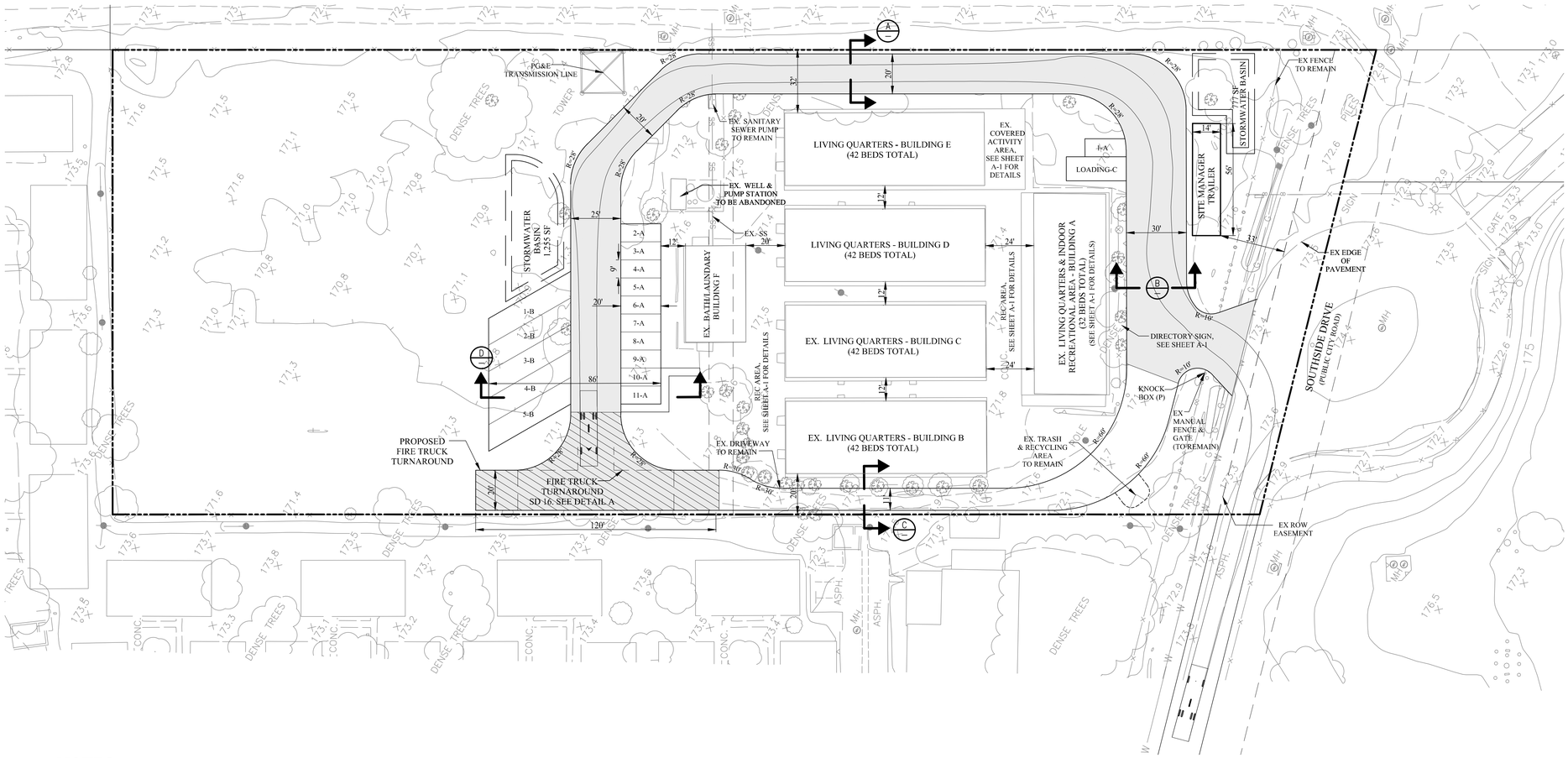
SHEET
C-2
OF 30 SHEETS

JOB NO.
192012

PLOT DATE: January 8, 2020
FILE PATH: W:\Jobs 19\192012 - Southside Drive\Drawings\Prelim\Applications\Use Permit & Arch and Site Approval\2 EXISTING CONDITIONS.dwg



LEGEND

EXISTING	DESCRIPTION
	BOUNDARY
	EDGE OF PAVEMENT
	EX FENCE
	EX GAS
	EX WATER
	EX SANITARY SEWER
	EX MANHOLE
	EX ELECTROLIER
	EX STORM DRAIN INLET
	EX TREE TO BE REMOVED
	EX TREE TO REMAIN
	FIRE ACCESS DRIVE

Parking Table	
Automobile Parking Spaces (A)	11 (9' x 20')
Bus Parking Spaces (B)	5 (11' x 47')
Loading Area (C)	1 (12' x 30')

EXISTING FENCE - ENTRY (SOUTH END OF PROPERTY) TO REMAIN

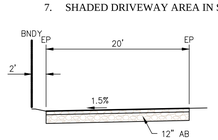
EXISTING FENCE - (WEST SIDE OF PROPERTY) TO REMAIN

EXISTING FENCE - (NORTH END OF PROPERTY) TO REMAIN

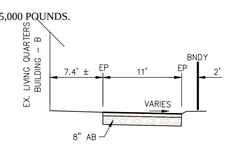
EXISTING FENCE - (EAST SIDE OF PROPERTY) TO REMAIN

NOTES:

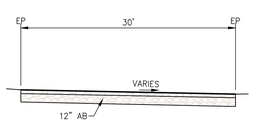
1. DUE TO THE NATURE OF THE PROJECT, A H-2A HOUSING FACILITY, SEASONAL AGRICULTURAL WORKERS TRANSPORTATION IS PROVIDED BY CONTRACT LABOR SERVICES TO WORKERS BY BUS ONLY. THE PROJECT WILL BE REQUESTING A PARKING REDUCTION PER COUNTY OF SANTA CLARA ZONING ORDINANCE SECTION 4.30.100 PARKING EXEMPTION B.
2. ONE (1) PARKING STALL IS DESIGNATED FOR THE SITE MANAGER ONLY.
3. DELIVERY SERVICES ARE TO PARK IN THE DESIGNATED LOADING AREA ONLY.
4. SEE ARCHITECTURAL SHEETS A1-A7 FOR FLOOR PLAN AND BUILDING ELEVATIONS PREPARED BY RICHARD PEDLEY ARCHITECT, DATED SEPTEMBER 11, 2019.
5. EXISTING LIVING QUARTERS, COMMUNITY ROOM, AND BATH/LAUNDRY FACILITY BUILDINGS TO BE REHABILITATED. NO NEW BUILDING CONSTRUCTION PROPOSED.
6. ALL EXISTING FENCING TO REMAIN.
7. SHADED DRIVEWAY AREA IN SITE PLAN WILL BE MADE OF AN ALL WEATHER MATERIAL CAPABLE OF HOLDING 75,000 POUNDS.



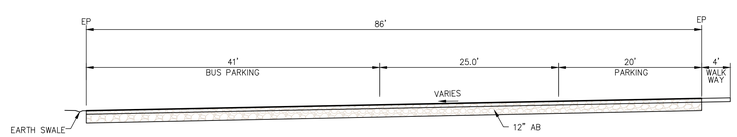
A 20' DRIVEWAY SECTION



C 11' EXISTING DRIVEWAY SECTION

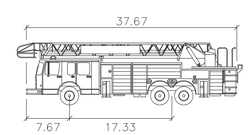


B 30' DRIVEWAY SECTION



D 25' DRIVEWAY W/ PARKING SECTION

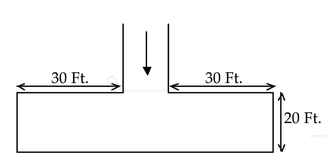
DRIVEWAY SECTIONS
NO SCALE



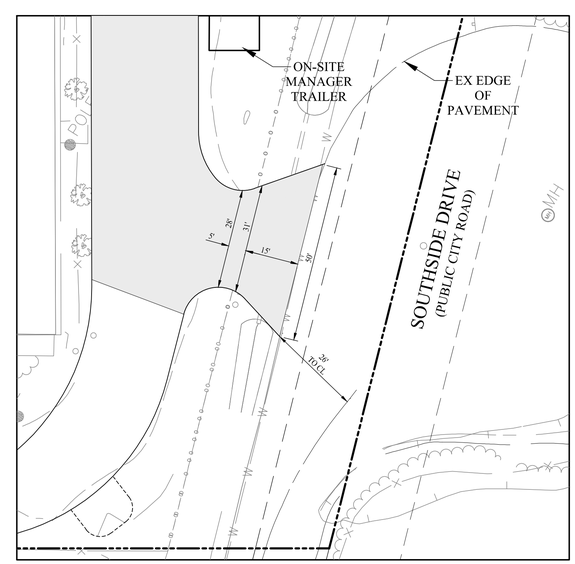
LADDER TRUCK feet

Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 28.2

Turnaround "A"



DETAIL A - COUNTY STANDARD DETAIL AND SPECIFICATIONS: CFMO SD16



DRIVEWAY DETAIL - COUNTY STANDARD RURAL DRIVEWAY B/5
SCALE: 1"=20'

0 30 60 90
SCALE IN FEET: 1"= 30'

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USE PERMIT & ARCHITECTURAL AND APPROVAL

935 SOUTHSIDE DRIVE
SITE PLAN

SANTA CLARA COUNTY, CALIFORNIA
FOR: CHRISTOPHER RANCH, LLC.

SCALE: AS SHOWN
DATE: JANUARY 08, 2020

SHEET REVISIONS

DATE	
11/19/2019	PER COUNTY INCOMPLETE LETTER DATED 11/18/2019.
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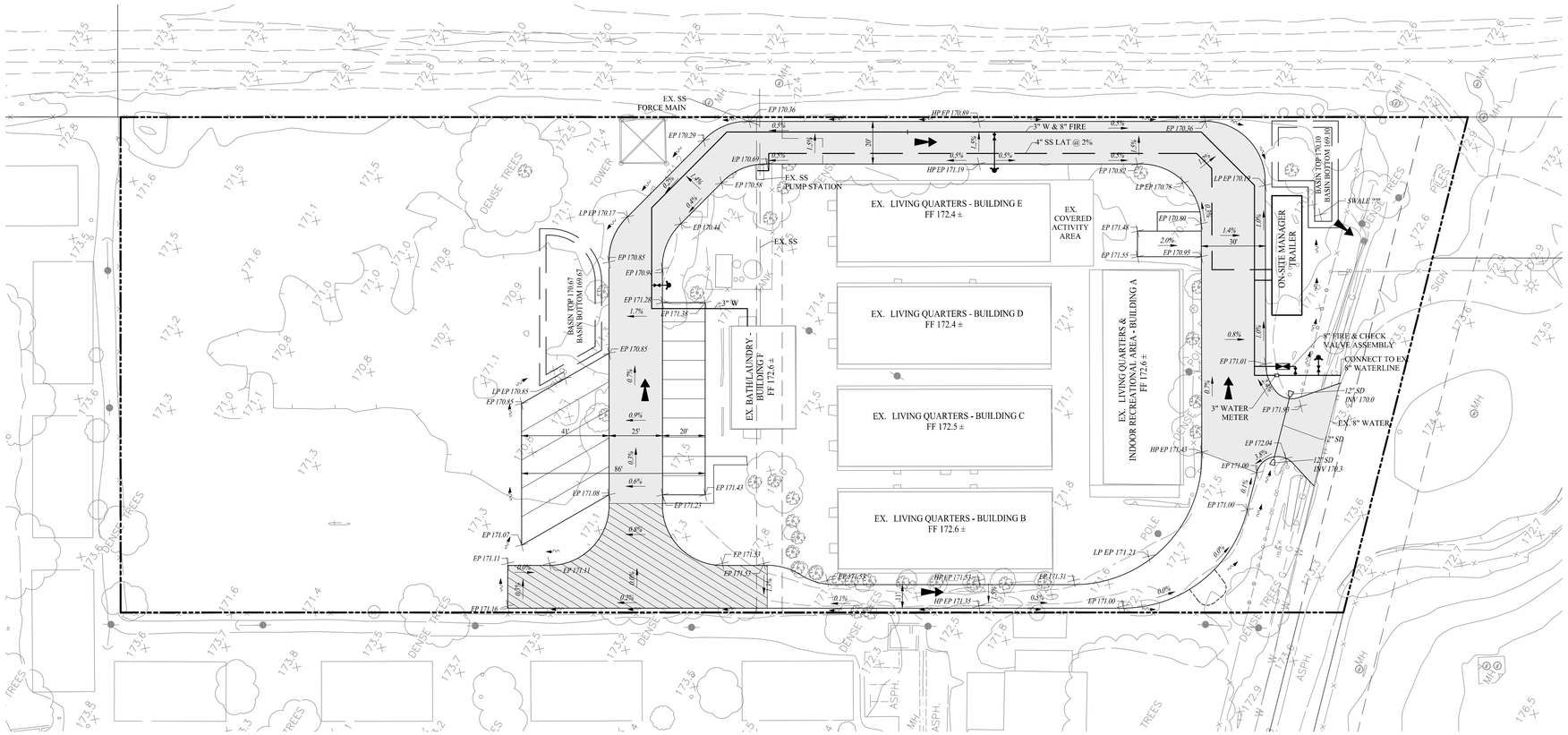
SHEET C-3 OF 30 SHEETS

JOB NO. 192012

PLOT DATE: January 8, 2020
FILE PATH: W:\Jobs 19\192012 - Southside Drive\Drawings\Prelim\Applications\Use Permit & Arch and Site Approval\C-3 SITE PLAN.dwg



LEGEND

PROPOSED	DESCRIPTION	EXISTING
	BOUNDARY	
	FACE OF CURB	
	STORM DRAIN	SD
	SANITARY SEWER	SS
	WATER	W
	CENTERLINE	
	EASEMENT	
	MANHOLE	
	SIDEWALK	
	FIRE HYDRANT	
	STORM DRAIN INLET	
FF 235.0	FINISHED FLOOR ELEVATION	
P 234.0	PAD ELEVATION	
× 233.5	SPOT ELEVATION	
0.5%	STREET SLOPE	
	OVERLAND RELEASE	
	STREET LIGHT	
	EARTH SWALE	
	STORM WATER BMP, SEE DETAILS SHEET	
	HANDICAP RAMP	

EARTHWORK SUMMARY

CUT: 790± CY
FILL: 790± CY
NET: 0± CY (EXPORT)

	EARTHWORK QUANTITY (cubic yards)		MAXIMUM DEPTH (feet)	
IMPROVEMENT	CUT	FILL	CUT	FILL
Driveway, ~~Access Road~~	565	640	1.5'	0.5'
Building Pad	N/A (No Proposed Structures)			
Landscaping	N/A (No Proposed Landscaping)			
Other Improvements (Basins)	225	0	3'	0'
TOTAL	790	640		

0 30 60 90
SCALE IN FEET: 1"= 30'

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USE PERMIT & ARCHITECTURAL AND APPROVAL
PRELIMINARY GRADING AND UTILITY PLAN
935 SOUTHSIDE DRIVE
SANTA CLARA COUNTY, CALIFORNIA
FOR: CHRISTOPHER RANGEL LLC

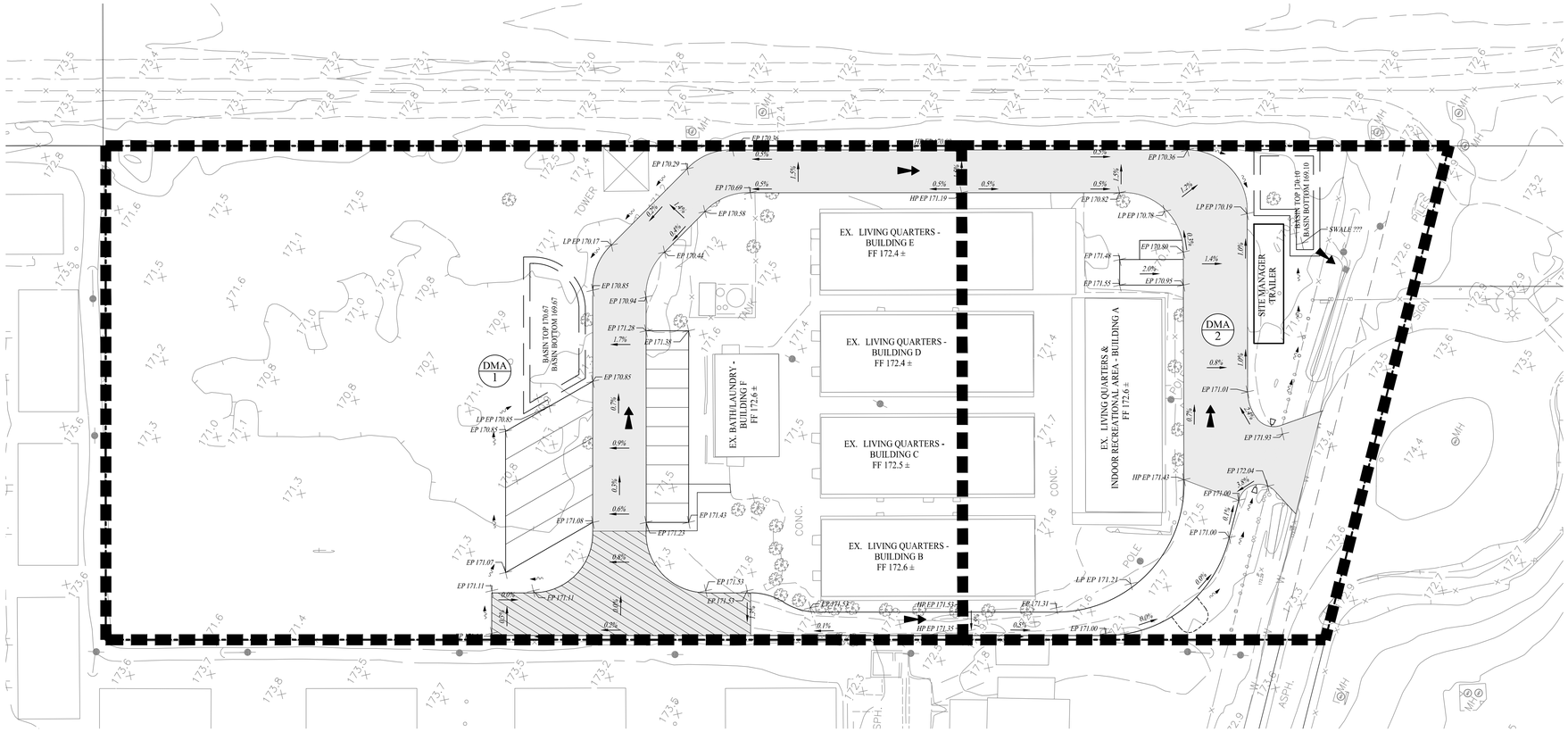
SCALE: AS SHOWN
DATE: JANUARY 08, 2020

SHEET REVISIONS

DATE	
11/19/2019	PER COUNTY INCOMPLETE LETTER DATED 11/18/2019.
01/02/2020	PER COUNTY EMAIL COMMENTS DATED 12/31/2019.

SHEET C-4 OF 30 SHEETS
JOB NO. 192012

PLOT DATE: January 8, 2020
FILE PATH: W:\Jobs 19\192012 – southside drive\Drawings\Prelim\applications\use permit & arch and site approval\C-4 PRELIMINARY GRADING AND UTILITY PLAN.dwg



LEGEND

PROPOSED	DESCRIPTION	EXISTING
	BOUNDARY	
	FACE OF CURB	
	STORM DRAIN	SD
	SANITARY SEWER	SS
	WATER	W
	CENTERLINE	
	EASEMENT	
	MANHOLE	
	SIDEWALK	
	FIRE HYDRANT	
	STORM DRAIN INLET	
FF 219.3	FINISHED FLOOR ELEVATION	
P 219.3	PAD ELEVATION	
× 239.7	SPOT ELEVATION	
0.5%	STREET SLOPE	
	OVERLAND RELEASE	
	STREET LIGHT	
	EARTH SWALE	
	STORM WATER BMP, SEE DETAILS SHEET	
	HANDICAP RAMP	

DMA 1 — STORMWATER DRAINAGE MANAGEMENT AREA (DMA)

PRELIMINARY STORMWATER SIZING CALCULATIONS

Project Name: 935 Southside Drive
Project Location: Gilroy, CA
Date: 8/1/2019

Project Information

Area =	139,658	ft^2	*Total project area*
Existing Impervious Area =	22,910	ft^2	
	16%		*Existing Percent impervious area*
Ex Imperv Area To Remain =	22,910	ft^2	*Total existing impervious surface to remain*
Replaced Imperv Area =	0	ft^2	*Total existing impervious surface to be replaced as part of project*
New Imperv Area =	20,705	ft^2	*Total new impervious surface to be installed as part of project*
Total Impervious Area =	43,615	ft^2	*Total project impervious area*
	31%		*Percent impervious area*
Water Management Zone =	1		

Performance Requirements

No. 1 = Implement site design and runoff reduction strategies
No. 2 = Provide water quality treatment for 85% storm event
No. 3 = Prevent offsite discharge from events up to the 95th% storm event via optimizing infiltration
No. 4 = Reduce peak flows to pre-project levels for 2-yr through 10-yr storm events
No. 5 = N/A

Rainfall Design Information

MAP =	25.0	in	*Mean Annual Precipitation*
$P_{85\%}$ =	1.0	in	*85th% 24-hr rainfall depth*
$P_{95\%}$ =	1.6	in	*95th% 24-hr rainfall depth*

Soil Type Design Information

Site HSG =	B		*NRCS Hydrologic Soil Group Classification*
Infiltration Rate =	20	in/hr	*Design Infiltration Rate used for Tract 10379 Stormwater Facilities*
			Based on percolation testing performed by ENGEO in August 2016.
Safety Factor =	4		
Design Infiltration Rate =	5.0	in/hr	

Project Name: 935 Southside Drive
Project Location: Gilroy, CA
Date: 8/1/2019

DMA	EX ROOF AREA
1	12,282
2	10,629

95% Rainfall Depth Runoff Retention Volume

		Impervious Surface (SF)				Pervious Surface (SF)						Runoff Retention Volume Calculation		
DMA	Area (SF)	Roof	Street/ Parking Lot	Hardscape	Total	Managed Turf	Landscape/Grass	Pervious Concrete	Turf Block	Pavers	Total	% Impervious	Runoff Coefficient	95th% Volume, V_{95} (ft^3)
1	93,329	0	15,980		15,980		77,349				77,349	17%	0.15	1,916
2	46,325	840	10,654		11,494		34,831				34,831	25%	0.20	1,218
Total	139,654	840	26,634	0	27,474	0	112,180	0	0	0	112,180	20%	0.17	3,134

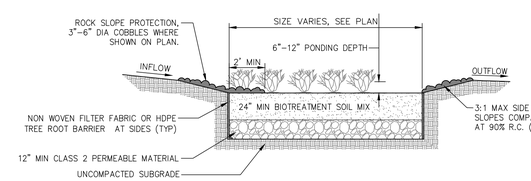
		Porosity	
		0.25	0.40

SCM Sizing Summary

SCM Description	SCM Surface Area[1] (ft^2)	Surface Ponding Depth (in)	BSM Depth (in)	Gravel Layer Depth (in)	Required SCM Area (ft^2)	Drawdown Time (hr)
Bioretention	1,189	8	24	12	1,223	4
Bioretention	740	8	24	12	777	4
	1,929				2,000	

STORM WATER MANAGEMENT NOTES:

1. THE PROJECT IS LOCATED IN THE CENTRAL COAST REGIONAL WATER QUALITY CONTROL BOARD (CCWQCB) JURISDICTION. STORM WATER RUNOFF MANAGEMENT SHALL ADHERE TO THE CRITERIA IDENTIFIED IN THE "STORMWATER MANAGEMENT GUIDANCE MANUAL FOR LOW IMPACT DEVELOPMENT & POST CONSTRUCTION REQUIREMENTS FOR THE CITY OF GILROY, CITY OF MORGAN HILL, AND COUNTY OF SANTA CLARA", DATED JUNE 2015.
2. THIS STORM WATER RUNOFF MANAGEMENT PLAN IS CONCEPTUAL AND SUBJECT TO REVISION BASED ON FINAL DESIGN AND SITE SPECIFIC INFILTRATION TESTING.
3. BIORETENTION FACILITIES WERE SIZED USING THE "SIMPLIFIED SIZING METHOD", IDENTIFIED IN SECTION 3 OF THE CITY'S STORMWATER MANAGEMENT GUIDANCE MANUAL. THE PROJECT MAY USE ALTERNATIVE SIZING METHODS DURING FINAL DESIGN SUCH AS THE "ROUTING METHOD", WHICH, IF USED, MAY REDUCE THE OVERALL SIZE AND FOOTPRINT OF THE BIORETENTION FACILITIES.
4. ALL STORMWATER CALCULATIONS SHOWN HEREIN ARE PRELIMINARY AND SUBJECT TO CHANGE DURING FINAL DESIGN. THE LID MEASURES AND STORMWATER CONTROL FACILITIES MAY BE CHANGED OR MODIFIED DURING FINAL DESIGN AS LONG AS THE PROJECT CAN SHOW CONFORMANCE WITH THE CITY OF GILROY AND CCRWQCB POST-CONSTRUCTION STORMWATER REGULATIONS IN EFFECT AT THE TIME OF THE PROJECT APPROVAL.



BIORETENTION BASIN DETAIL
NO SCALE

0 30 60 90
SCALE IN FEET: 1"= 30'

RUGGERI-JENSEN-AZAR
ENGINEERS ▪ PLANNERS ▪ SURVEYORS
8055 CAMINO ARROYO GILROY, CA 95020
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USE PERMIT & ARCHITECTURAL AND APPROVAL
PRELIMINARY SWCP

935 SOUTHSIDE DRIVE
SANTA CLARA COUNTY, CALIFORNIA
FOR: CHRISTOPHER RANCH, LLC.

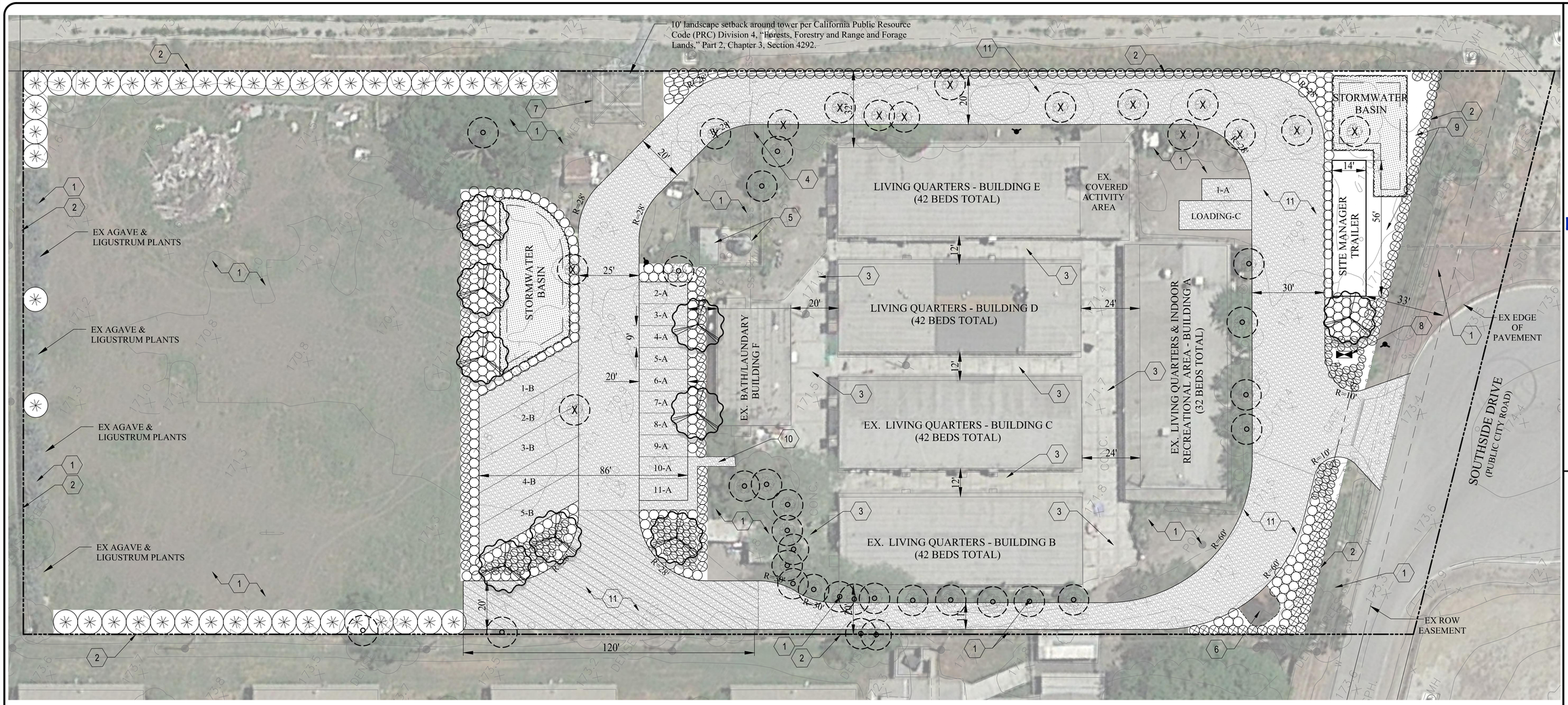
SCALE: AS SHOWN
DATE: JANUARY 08, 2020

SHEET REVISIONS

DATE	
11/19/2019	PER COUNTY INCOMPLETE LETTER DATED 11/18/2019.
01/02/2020	PER COUNTY EMAIL COMMENTS DATED 12/31/2019.

SHEET C-5 OF 30 SHEETS
JOB NO. 192012

PLOT DATE: January 8, 2020
FILE PATH: W:\Jobs 19\192012 - southside drive\Drawings\Prelim\applications\use permit & arch and site approval\C-5 PRELIMINARY SWCP.dwg



PLANTING LEGEND

SYMBOL CALLOUT	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS	WATER USE	QTY
TREES							
	Arbutus x 'Marina'	Marina Strawberry Tree	15 Gal.	As Shown	Standard, CA Native	L	9
SHRUBS							
	Rhamnus californica 'Little Sur'	Little Sur Coffeeberry	1 Gal.	48" O.C.	CA Native	L	107
	Arctostaphylos 'Emerald Carpet'	Carpet Manzanita	1 Gal.	48" O.C.	CA Native	L	261
	Rosa x 'Noamel'	Flower Carpet® Appleblossom Groundcover Rose	1 Gal.	36" O.C.	-	L	118
	Agave americana	Century Plant	5 Gal.	120" O.C.	-	L	44
	Salvia 'Bee's Bliss'	Bee's Bliss Sage	1 Gal.	48" O.C.	CA Native	L	71
SOD							
	Biofiltration sod available through Delta Bluegrass, Phone # (800) 637-8873		Sod	-	-	L	3,000 SF

□ENERAL NOTES□

1□ Tr□□ □□d □□r□□ □□□□□□□ □□□□□□□□□□□ □□□r□□□□□□□□□□□□□□□□□□□□□□□□□□d □□□□□□ □r□ □□□□□□□ □ □□□□□r□□□□ □□d □□□□□□□□ r□□□□□ □□□□

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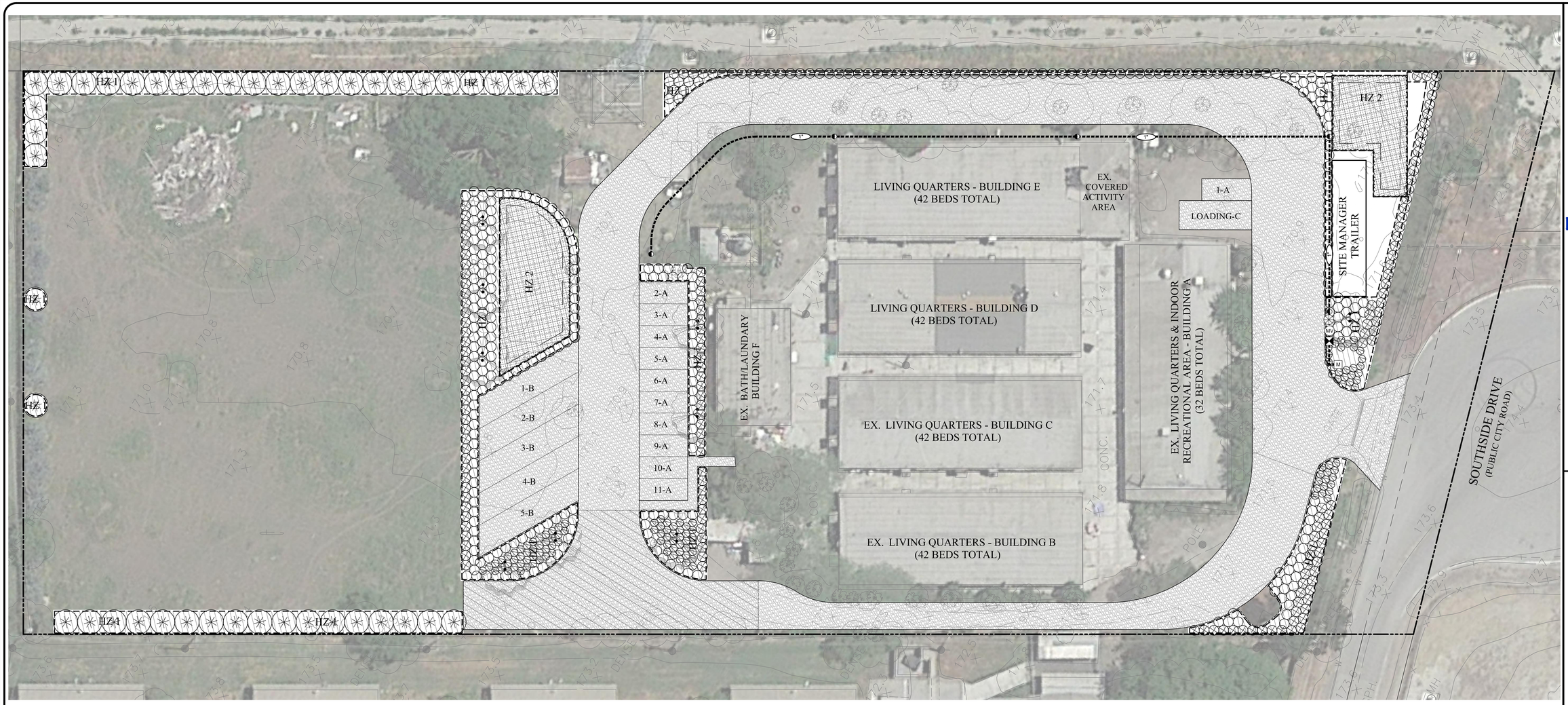

PRELIMINARY IRRIGATION LEGEND

SYMBOL	MANUFACTURER	MODEL NUMBER	DESCRIPTION	RADIUS	GPM	IN/HR	PSI	COMMENTS
H-1	Hunter	HDL-0[illegible]-12-[illegible]	Dr[illegible] / [illegible]r LD-[illegible]V [illegible]	Dr[illegible]	0.01	0.[illegible]4	10-[illegible]0	I[illegible] 3" [illegible] 1" [illegible]
	Hunter	E[illegible]-I[illegible]	Dr[illegible]					I[illegible]" [illegible]
	Hunter	[illegible]N-2[illegible]	Tr[illegible]	[illegible]	0.2[illegible]	0[illegible]	10-[illegible]0	I[illegible]2[illegible]
H-2	Rain[illegible]rd	1[illegible]12-SAM-R-VAN	[illegible]	V[illegible]	V[illegible]	V[illegible]	30-[illegible]	Ad[illegible]

SYMBOL	MANUFACTURER	MODEL NUMBER	DESCRIPTION
	N[illegible]	T-[illegible]-[illegible]0	L[illegible]
	H[illegible]	I[illegible]V S[illegible]- [illegible]0	E[illegible]0 [illegible]SI [illegible]
	H[illegible]	I[illegible]-101-2[illegible]	Dr[illegible]
	H[illegible]	H[illegible]-44LR[illegible]	1" [illegible]
MV	S[illegible]r	30001[illegible]0	1 1/2" [illegible]
	H[illegible]	H[illegible]S-[illegible]T-1[illegible]	[illegible]
	[illegible]	L[illegible]2[illegible]A-[illegible]T R[illegible]	L[illegible]
	[illegible]rdS[illegible]	E[illegible]-[illegible] [illegible]S[illegible]	[illegible]
	[illegible]rdS[illegible]	[illegible]r[illegible]rd [illegible]S[illegible]	[illegible]
ET	H[illegible]	WSS-SEN	ET[illegible]
	H[illegible]	A[illegible]-1200	[illegible]
	A[illegible]d	S[illegible]H[illegible]40 [illegible]V[illegible]	M[illegible] 24" [illegible]
	A[illegible]d	S[illegible]H[illegible]40 [illegible]V[illegible]	L[illegible] 1." [illegible]
	A[illegible]d	S[illegible]H[illegible]40 [illegible]V[illegible]	S[illegible]d 2[illegible]
M	N[illegible] 1 1/2" [illegible]		

Landscape Water Use Calculations

Project Information

Total square footage of Landscape Area (including Special Landscape Area) **LA=** 14,970

Total square footage of Special Landscape Area **SLA=** 0

Hist. ETo for the area **ETo=** 43.6

Maximum Annual Water Allocation (MAWA)

MAWA is calculated using the following formula: (Eto) (.62) [(0.45 x LA) + (1.0 - 0.45) x SLA)]

MAWA = 182,101 gallons / yr

Estimated Total Water Use (ETWU)

ETWU is calculated using the following formula: (Eto) (.62) [(PF x HA / IE)+ SLA]

Hydrozone # 1 Low Shrubs/Trees Drip — Plant Factor **PF=** 0.3; square footage of hydrozone **HA=** 11,970 (SLA=0); hydrozone irrigation efficiency **IE=** 0.81; #1 ETWU = 119,842 gallons / yr

Hydrozone # 2 Low SW Basins Rotator — Plant Factor **PF=** 0.3; square footage of hydrozone **HA=** 3,000 (SLA=0); hydrozone irrigation efficiency **IE=** 0.75; #2 ETWU = 32,438 gallons / yr

Total ETWU = 152,280 gallons / yr

MAWA - ETWU = 29,821 gallons / yr

Estimated Total Water Use must be less than the Maximum Annual Water Allocation

THIS IS A POTABLE IRRIGATION SYSTEM

SLEEVING NOTE:

S[illegible]rd[illegible] [illegible]rd [illegible]

DRIPLINE INSTALLATION NOTES:

1. Dr[illegible] Irr[illegible] L[illegible]
2. L[illegible]S[illegible] d[illegible]L[illegible] [illegible]M[illegible]
3. [illegible]dr[illegible] LD-L[illegible]

SOLAR SYNC SENSOR NOTE:

[illegible]

CONTROLLER NOTE:

A[illegible] 120 [illegible]

MAINLINE & LATERAL LINE NOTE:

M[illegible]D[illegible] 12" [illegible]

IRRIGATION NOTES

1. T[illegible] d[illegible]
2. D[illegible] dr[illegible] shall be approved by the county's and owner's representative, and/or landscape [illegible] attention of the owner's representative. In the [illegible]
3. S[illegible] d[illegible] M d[illegible] Irr[illegible] owner's construction representative.
4. I[illegible] r[illegible] [illegible]d[illegible] [illegible] paving upon approval of the owner's [illegible]
5. [illegible] 4[illegible]
6. [illegible]
7. [illegible]
8. [illegible]
9. [illegible]
10. Clean-up on a daily basis per owner's representative's approval.

PRELIMINARY PLAN NOTE:

T[illegible]

LEGEND

EXISTING	DESCRIPTION
	BOUNDARY
	EDGE OF PAVEMENT
X — X — X	EX FENCE
G — G — G	EX GAS
W	EX WATER
SS	EX SANITARY SEWER
	EX MANHOLE
	EX ELECTROLIER
	EX STORM DRAIN INLET

0 20 40 60

SCALE IN FEET: 1"= 20'

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USE PERMIT & ARCHITECTURAL AND APPROVAL

PRELIMINARY IRRIGATION PLAN

935 SOUTHSIDE DRIVE

SANTA CLARA COUNTY, CALIFORNIA

FOR: CHRISTOPHER RANCH, LLC.

SCALE: AS SHOWN

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SHEET **L-2** OF 30 SHEETS

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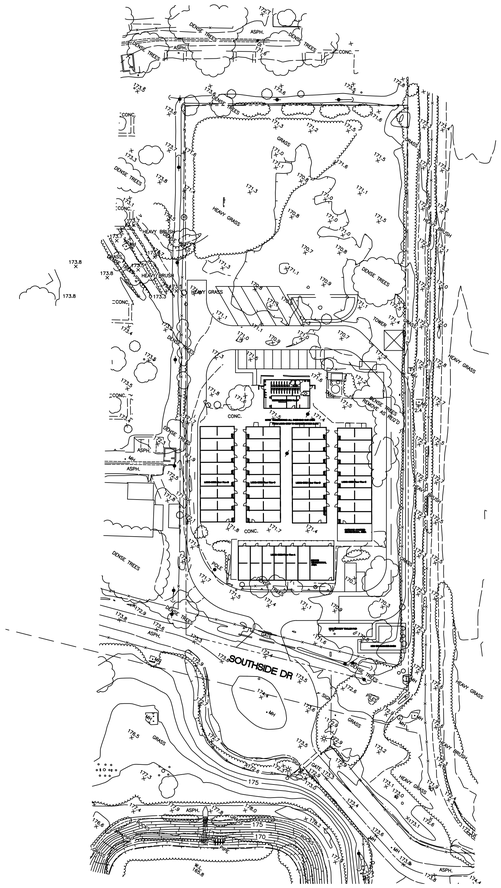
PLOT DATE: January 8, 2020
FILE PATH: W:\Jobs 19\192012 - southside drive\Drawings\Prelim\applications\use permit & arch and site approval\L2 PRELIM IRRIGATION PLAN.dwg

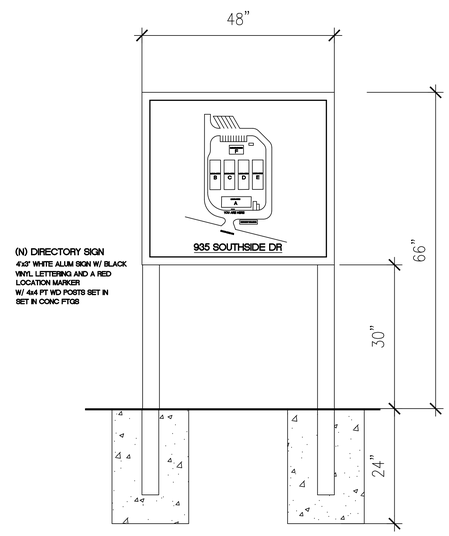


1 SITE PLAN

1/32" = 1'-0"

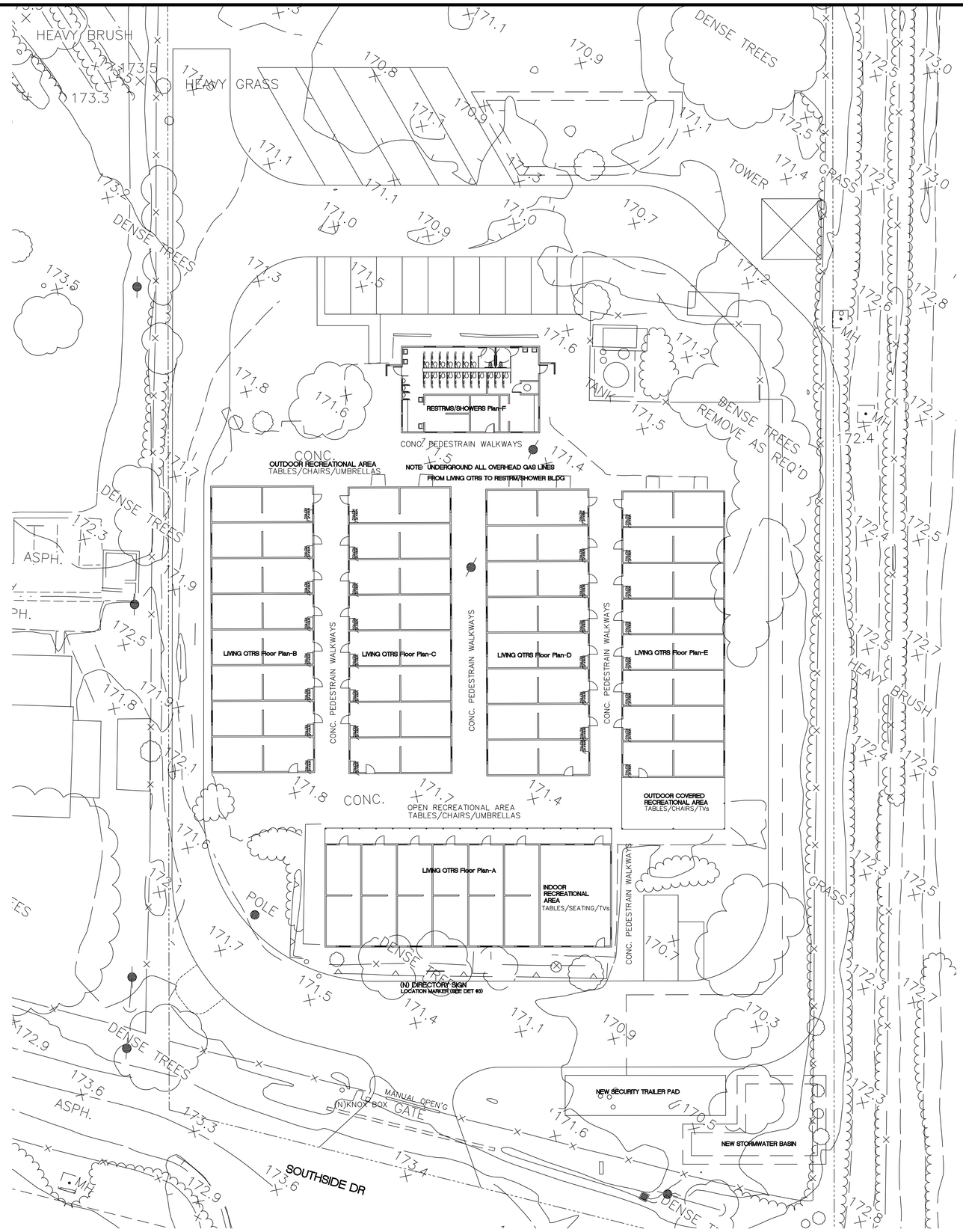
N

32' 96' 64'



3 SITE DIRECTORY SIGN

nts



2 ENLARGED SITE PLAN

1/16" = 1'-0"

THE SIZE OF EACH BULIDING DOES NOT WARRANT A FIRE SPRINKLER SYSTEM

N

16' 48' 32'

RICHARD PEDLEY
ARCHITECT
INTERIORS * PLANNING

547 MIDDLECREST RD
LAKE OSWEGO, OR 97034
Tel: 408.348.1966
Ca. Lic. No. C-14419

PROJECT NAME:

HOUSING FACILITY AT
935
SOUTHSIDE DR
GILROY, CA

CLIENT NAME:

GIACALONE
MANAGEMENT, INC
PO BOX 2062
GILROY, CA 95021

SHEET NAME:

SITE PLAN

ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTES ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT.

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#02 PLANNING COMM	11-21-19	RJP
#03 CIVIL MODIFICATION	12-04-19	RJP
#04	01/07/20	RJP

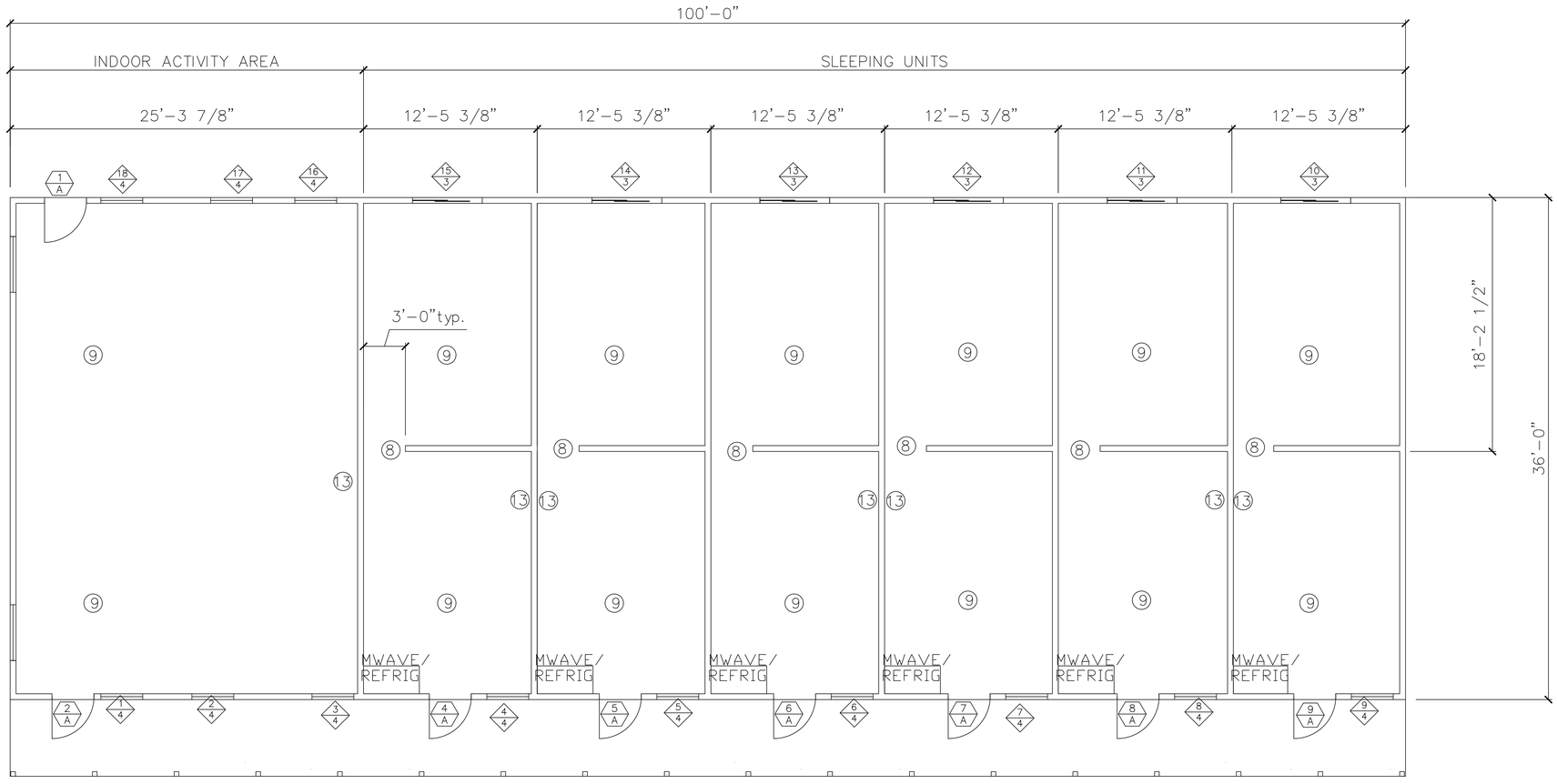
STAMP(S):

DRAWN BY:

DATE: 06/10/19

PROJECT: 1902 SOUTHSIDE

SHEET A-1



LIVING QTRS Floor Plan-A

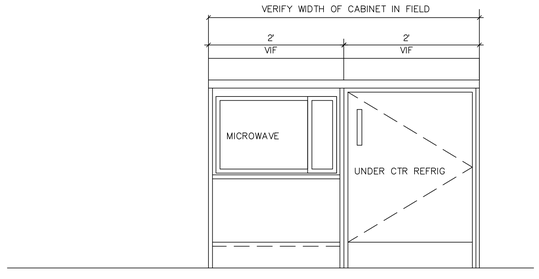
1 PROPOSED FLOOR PLAN

1/4" = 1'-0"

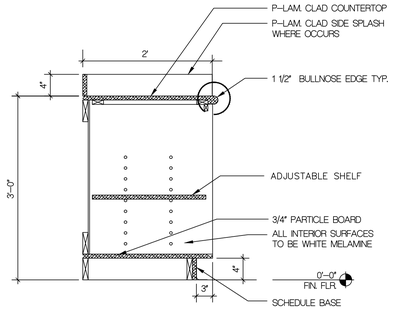
AREA OF BUILDING:	3,600sf
AREA OF INDOOR ACTIVITY SPACE:	911sf
AREA OF SLEEPING UNIT:	448sf

PLAN NOTES

1. REMOVE ALL ILLEGAL KITCHENS & BATHROOMS PER CITY RED TAGS
2. PAINT ALL UNITS INTERIOR & EXTERIOR
3. PROVIDE NEW 5'x4' HORIZONTAL SLIDING WINDOWS (MILGARD ULTRA SERIES VINYL OR APPROVED EQUAL) PROVIDE ALT. BID FOR MILGARD STANDARD ALUM. SERIES OR APPROVED ALUM. WINDOW EQUAL (COLOR: WHITE)
4. PROVIDE NEW 3'x3' SINGLE HUNG WINDOWS (MILGARD STYLE LINE SERIES VINYL OR APPROVED EQUAL) PROVIDE ALT. BID FOR MILGARD STANDARD ALUM. SERIES OR APPROVED ALUM. WINDOW EQUAL (COLOR: WHITE)
5. REMOVE EXISTING ROOFING AND REPLACE WITH NEW FIBERGLASS SHINGLES & 15# ROOFING PAPER.
6. REINSULATE THE CEILING (R-30 BATT INSULATION) AND THE EXTERIOR WALLS (R-13 BATT INSULATION) PROVIDE ADD-ALT BID FOR INSULATION ON ALL INTERIOR PARTY WALLS WITH R-13
7. REPLACE ALL EXISTING BATH AND RESTROOM FIXTURES WITH NEW ENERGY AND WATER SAVING FIXTURES
8. PROVIDE NEW 3'x6'-8" CASED OPENING BETWEEN COMMON ROOMS
9. PROVIDE NEW 12x12 VCT FLOORING & 4" COVED BASE
10. PROVIDE NEW PREFINISHED 6 PANEL STEEL PREHUNG DOOR AND FRAME (LATCH OR LOCKSETS TO BE PROVIDED) (COLOR: WHITE)
11. PROVIDE NEW CABINET FOR REFRIGERATOR AND MICROWAVE (SEE DETAIL)
12. PROVIDE NEW HANDICAP TOILET COMPARTMENTS
13. REPLACE EXISTING FORCED AIR UNITS
14. PROVIDE NEW 4'x2' FIXED WINDOWS W/ FROSTED GLASS (MILGARD STYLE LINE SERIES VINYL OR APPROVED EQUAL) PROVIDE ALT. BID FOR MILGARD STANDARD ALUM. SERIES OR APPROVED ALUM. WINDOW EQUAL



4 CABINET ELEVATION



5 SECTION THRU TYP. CABINET

SCALE: 1" = 1'-0"

LEGEND

EXIST. WALLS TO REMAIN

NEW DOOR -SEE SHT NOTES

11 / A — DOOR NUMBER / DOOR TYPE

NEW WINDOW -SEE SHT NOTES

1 / 3 — WINDOW NUMBER / WINDOW TYPE SEE SHT NOTES 3 & 4

AT LEAST ONE FIRE EXTINGUISHER WITH A MIN. RATING OF 2A:10B:C SHALL BE INSTALLED IN COMMERCIAL OR INDUSTRIAL FACILITIES FOR EVERY 3,000 SF OF FLOOR AREA OR 75 FEET OF TRAVEL. THE EXTINGUISHER SHALL BE MOUNTED TO A WALL SO THAT THE TOP DOES NOT EXCEED FIVE (5) FEET ABOVE THE FINISHED FLOOR. A SIGN INDICATING THE LOCATION OF THE EXTINGUISHER SHALL BE INSTALLED ABOVE THE EXTINGUISHER SO THAT THE LOCATION CAN BE IDENTIFIED.

NOTE: EXIT SIGNS SHALL BE INSTALLED AS REQUIRED TO COMPLY WITH SECTION 1013
PROVIDE EXIT SIGNS IMMEDIATELY INSIDE ALL PUBLIC ENTRANCES.

RICHARD PEDLEY
ARCHITECT
INTERIORS * PLANNING

547 MIDDLECREST RD
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GILROY, CA

CLIENT NAME:

GIACALONE MANAGEMENT, INC
PO BOX 2062
GILROY, CA 95021

SHEET NAME:

PROPOSED FLOOR PLAN
LIVING QTRS - A

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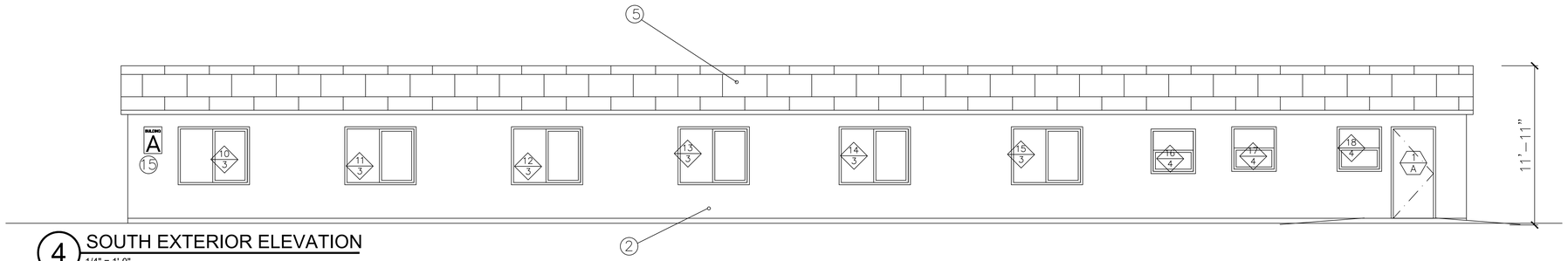
STAMP(S):

DRAWN BY:

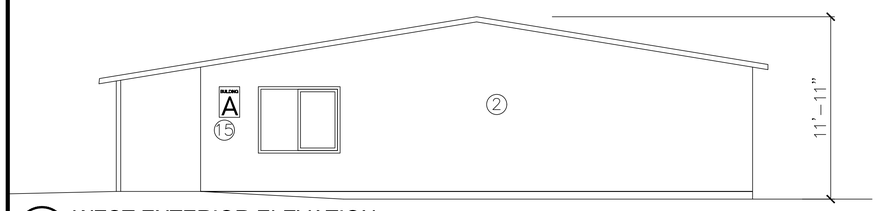
DATE: 06/10/19

PROJECT: 1902 SOUTHSIDE

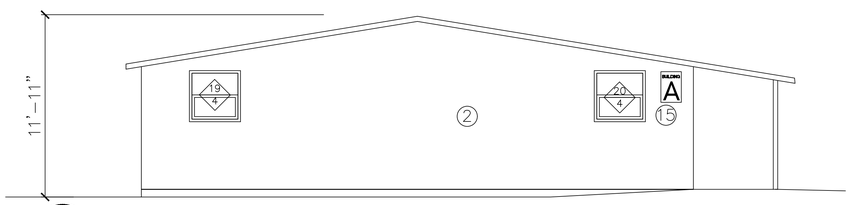
SHEET A-2



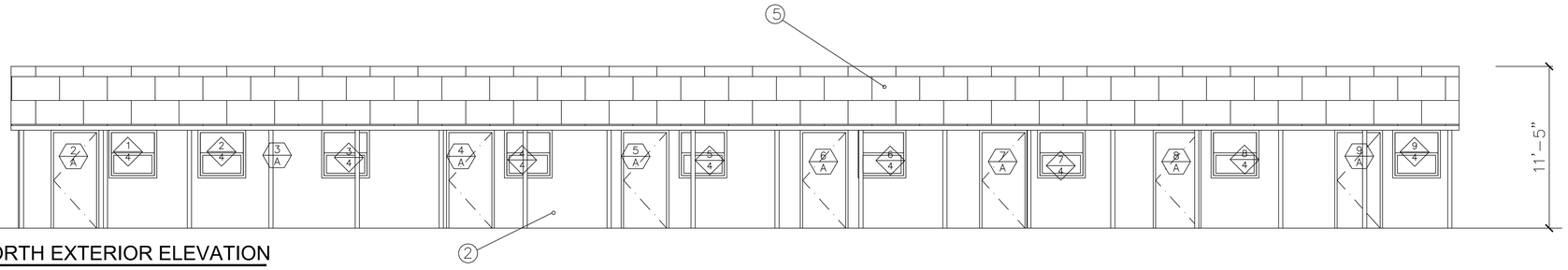
4 SOUTH EXTERIOR ELEVATION
1/4" = 1'-0"



2 WEST EXTERIOR ELEVATION
1/4" = 1'-0"



3 EAST EXTERIOR ELEVATION
1/4" = 1'-0"



1 NORTH EXTERIOR ELEVATION
1/4" = 1'-0"

LIVING QTRS EXTERIOR ELEVATIONS - BLDG 'A'

PLAN NOTES
1. REMOVE ALL ILLEGAL KITCHENS & BATHROOMS PER CITY RED TAGS
2. PAINT ALL UNITS INTERIOR & EXTERIOR
3. PROVIDE NEW 5'x4' HORIZONTAL SLIDING WINDOWS (MILGARD ULTRA SERIES VINYL OR APPROVED EQUAL) PROVIDE ALT. BID FOR MILGARD STANDARD ALUM. SERIES OR APPROVED ALUM. WINDOW EQUAL (COLOR: WHITE)
4. PROVIDE NEW 3'x3' SINGLE HUNG WINDOWS (MILGARD STYLE LINE SERIES VINYL OR APPROVED EQUAL) PROVIDE ALT. BID FOR MILGARD STANDARD ALUM. SERIES OR APPROVED ALUM. WINDOW EQUAL (COLOR: WHITE)
5. REMOVE EXISTING ROOFING AND REPLACE WITH NEW CERTAINTEED FLINTASTIC SA ROOFING– COLOR: WHITE
6. REINSULATE THE CEILING (R–30 BATT INSULATION) AND THE EXTERIOR WALLS (R–13 BATT INSULATION) PROVIDE ADD–ALT BID FOR INSULATION ON ALL INTERIOR PARTY WALLS WITH R–13
7. REPLACE ALL EXISTING BATH AND RESTROOM FIXTURES WITH NEW ENERGY AND WATER SAVING FIXTURES
8. PROVIDE NEW 3'x6'–8" CASED OPENING BETWEEN COMMON ROOMS
9. PROVIDE NEW 12x12 VCT FLOORING & 4" COVED BASE
10. PROVIDE NEW PREFINISHED 6 PANEL STEEL PREHUNG DOOR AND FRAME (LATCH OR LOCKSETS TO BE PROVIDED) (COLOR: WHITE)
11. PROVIDE NEW CABINET FOR REFRIGERATOR AND MICROWAVE (SEE DETAIL)
12. PROVIDE NEW HANDICAP TOILET COMPARTMENTS
13. REPLACE EXISTING FORCED AIR UNITS
14. PROVIDE NEW 4'x2' FIXED WINDOWS W/ FROSTED GLASS (MILGARD STYLE LINE SERIES VINYL OR APPROVED EQUAL) PROVIDE ALT. BID FOR MILGARD STANDARD ALUM. SERIES OR APPROVED ALUM. WINDOW EQUAL
15. PROVIDE NEW 16"x24" BUILDING IDENTIFICATION SIGNS

RICHARD PEDLEY
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MANAGEMENT, INC
PO BOX 2062
GILROY, CA 95021

SHEET NAME:

PROPOSED EXTERIOR ELEVATIONS
LIVING QTRS -A

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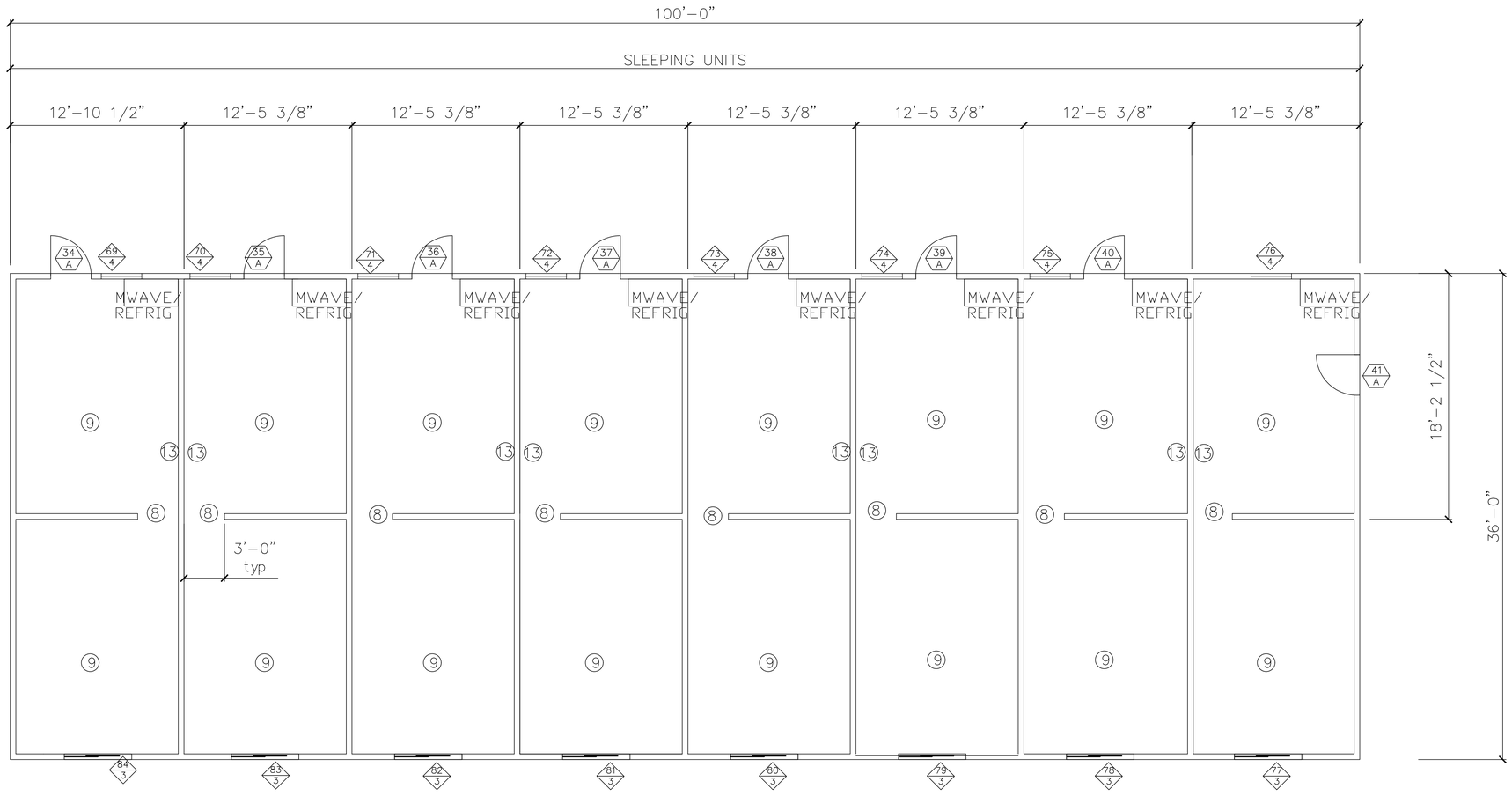
DRAWN BY:

DATE: 06/10/19

PROJECT: 1902 SOUTHSIDE

SHEET A–2.1



PROPOSED FLOOR PLAN
LIVING QTRS - B

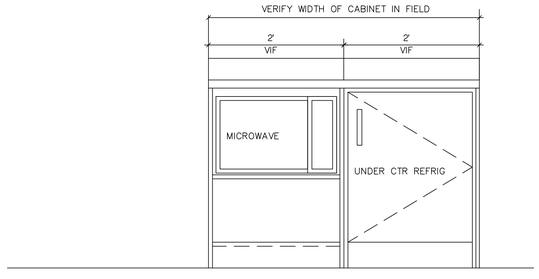
LIVING QTRS Floor Plan-B

AREA OF BUILDING: 3,600sf
AREA OF SLEEPING UNIT: 448sf

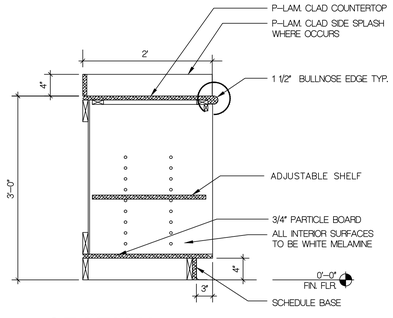
0' 4' 8'

1 PROPOSED FLOOR PLAN
1/4" = 1'-0"

PLAN NOTES
1. REMOVE ALL ILLEGAL KITCHENS & BATHROOMS PER CITY RED TAGS
2. PAINT ALL UNITS INTERIOR & EXTERIOR
3. PROVIDE NEW 5'x4' HORIZONTAL SLIDING WINDOWS (MILGARD ULTRA SERIES VINYL OR APPROVED EQUAL) PROVIDE ALT. BID FOR MILGARD STANDARD ALUM. SERIES OR APPROVED ALUM. WINDOW EQUAL (COLOR: WHITE)
4. PROVIDE NEW 3'x3' SINGLE HUNG WINDOWS (MILGARD STYLE LINE SERIES VINYL OR APPROVED EQUAL) PROVIDE ALT. BID FOR MILGARD STANDARD ALUM. SERIES OR APPROVED ALUM. WINDOW EQUAL (COLOR: WHITE)
5. REMOVE EXISTING ROOFING AND REPLACE WITH NEW FIBERGLASS SHINGLES & 15# ROOFING PAPER.
6. REINSULATE THE CEILING (R-30 BATT INSULATION) AND THE EXTERIOR WALLS (R-13 BATT INSULATION) PROVIDE ADD-ALT BID FOR INSULATION ON ALL INTERIOR PARTY WALLS WITH R-13
7. REPLACE ALL EXISTING BATH AND RESTROOM FIXTURES WITH NEW ENERGY AND WATER SAVING FIXTURES
8. PROVIDE NEW 3'x6'-8" CASED OPENING BETWEEN COMMON ROOMS
9. PROVIDE NEW 12x12 VCT FLOORING & 4" COVED BASE
10. PROVIDE NEW PREFINISHED 6 PANEL STEEL PREHUNG DOOR AND FRAME (LATCH OR LOCKSETS TO BE PROVIDED) (COLOR: WHITE)
11. PROVIDE NEW CABINET FOR REFRIGERATOR AND MICROWAVE (SEE DETAIL)
12. PROVIDE NEW HANDICAP TOILET COMPARTMENTS
13. REPLACE EXISTING FORCED AIR UNITS
14. PROVIDE NEW 4'x2' FIXED WINDOWS W/ FROSTED GLASS (MILGARD STYLE LINE SERIES VINYL OR APPROVED EQUAL) PROVIDE ALT. BID FOR MILGARD STANDARD ALUM. SERIES OR APPROVED ALUM. WINDOW EQUAL



4 CABINET ELEVATION



5 SECTION THRU TYP. CABINET
SCALE 1" = 1'-0"

LEGEND

EXIST. WALLS TO REMAIN

NEW DOOR -SEE SHT NOTES
11 A — DOOR NUMBER, DOOR TYPE

NEW WINDOW -SEE SHT NOTES
1 3 — WINDOW NUMBER, WINDOW TYPE SEE SHT NOTES 3 & 4

AT LEAST ONE FIRE EXTINGUISHER WITH A MIN. RATING OF 2A:10B:C SHALL BE INSTALLED IN COMMERCIAL OR INDUSTRIAL FACILITIES FOR EVERY 3,000 SF OF FLOOR AREA OR 75 FEET OF TRAVEL. THE EXTINGUISHER SHALL BE MOUNTED TO A WALL SO THAT THE TOP DOES NOT EXCEED FIVE (5) FEET ABOVE THE FINISHED FLOOR. A SIGN INDICATING THE LOCATION OF THE EXTINGUISHER SHALL BE INSTALLED ABOVE THE EXTINGUISHER SO THAT THE LOCATION CAN BE IDENTIFIED.

NOTE: EXIT SIGNS SHALL BE INSTALLED AS REQUIRED TO COMPLY WITH SECTION 1013
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PROJECT NAME:
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SOUTHSIDE DR
GILROY, CA

CLIENT NAME:
GIACALONE MANAGEMENT, INC
PO BOX 2062
GILROY, CA 95021

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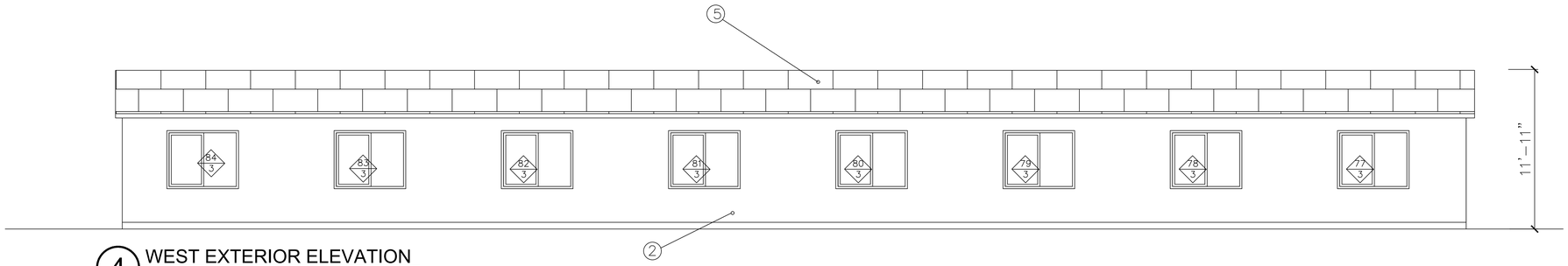
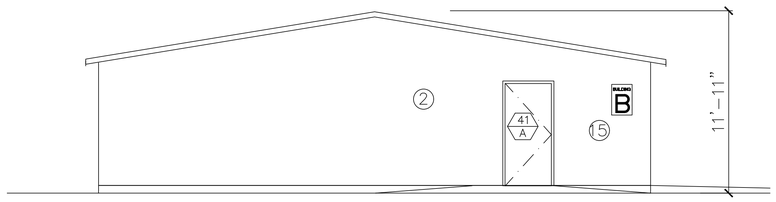
PROJECT: 1902 SOUTHSIDE

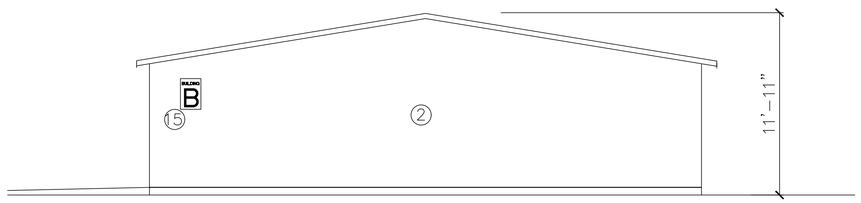
SHEET A-3



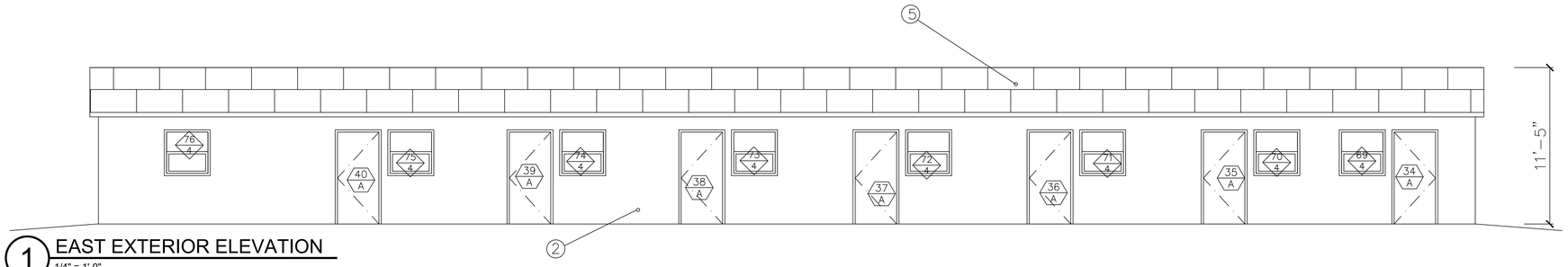
4 WEST EXTERIOR ELEVATION
1/4" = 1'-0"



2 SOUTH EXTERIOR ELEVATION
1/4" = 1'-0"



3 NORTH EXTERIOR ELEVATION
1/4" = 1'-0"



1 EAST EXTERIOR ELEVATION
1/4" = 1'-0"

LIVING QTRS EXTERIOR ELEVATIONS - BLDG 'B'

0' 4' 8'

PLAN NOTES
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PROPOSED EXTERIOR ELEVATIONS
LIVING QTRS - B

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PROJECT: 1902 SOUTHSIDE

SHEET A-3.1

PROPOSED FLOOR PLAN
LIVING QTRS - C

AREA OF BUILDING: 3,600sf
AREA OF SLEEPING UNIT: 448sf

LIVING QTRS Floor Plan-C

0' 4' 8'

1 PROPOSED FLOOR PLAN

1/4" = 1'-0"

PLAN NOTES

1. REMOVE ALL ILLEGAL KITCHENS & BATHROOMS PER CITY RED TAGS
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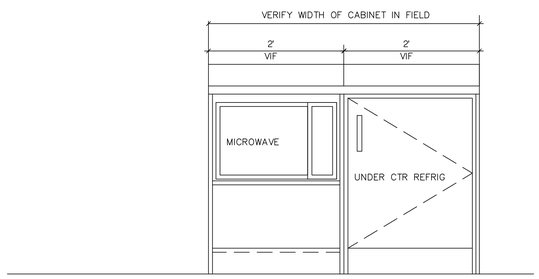
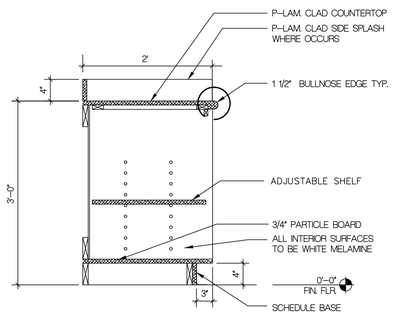


4 CABINET ELEVATION



5 SECTION THRU TYP. CABINET

SCALE: 1" = 1'-0"

LEGEND

EXIST. WALLS TO REMAIN

NEW DOOR -SEE SHT NOTES
11 A — DOOR NUMBER / DOOR TYPE

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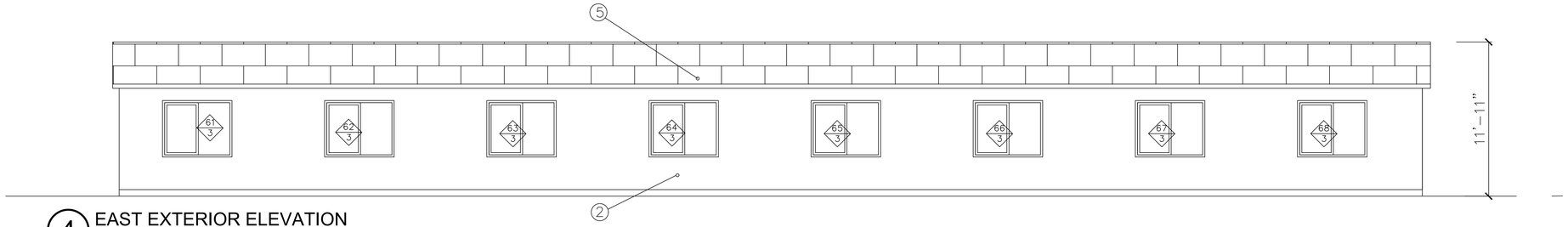
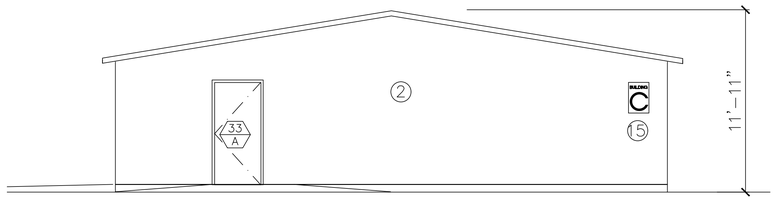
PROJECT: 1902 SOUTHSIDE

SHEET A-4



4 EAST EXTERIOR ELEVATION
1/4" = 1'-0"



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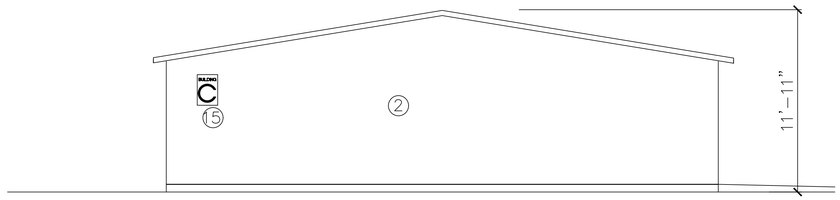
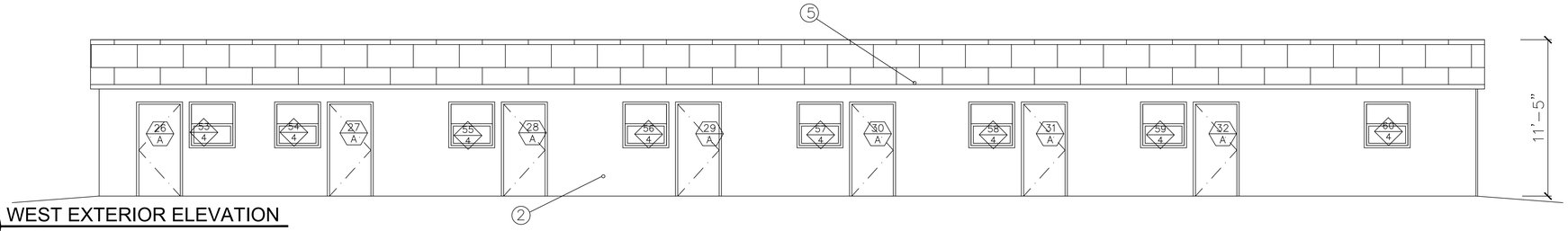


3 NORTH EXTERIOR ELEVATION
1/4" = 1'-0"



1 WEST EXTERIOR ELEVATION
1/4" = 1'-0"

LIVING QTRS EXTERIOR ELEVATIONS - BLDG 'C'

0' 4' 8'

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GILROY, CA 95021

SHEET NAME:

PROPOSED EXTERIOR ELEVATIONS
LIVING QTRS -C

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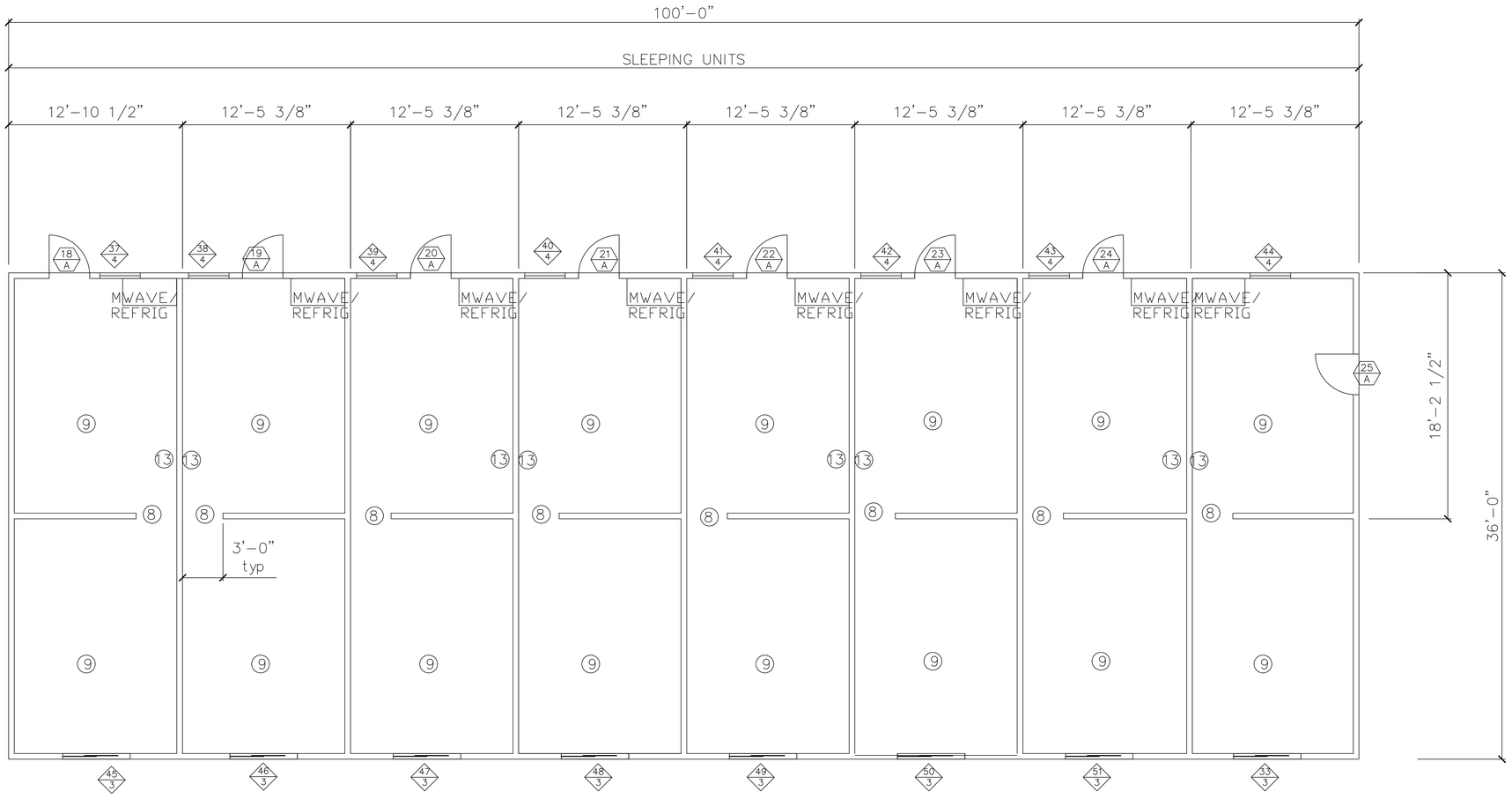
SHEET A-4.1



PROPOSED FLOOR PLAN
LIVING QTRS -D

AREA OF BUILDING: 3,600sf
AREA OF SLEEPING UNIT: 448sf

LIVING QTRS Floor Plan-D

0' 4' 8'

PLAN NOTES
1. REMOVE ALL ILLEGAL KITCHENS & BATHROOMS PER CITY RED TAGS
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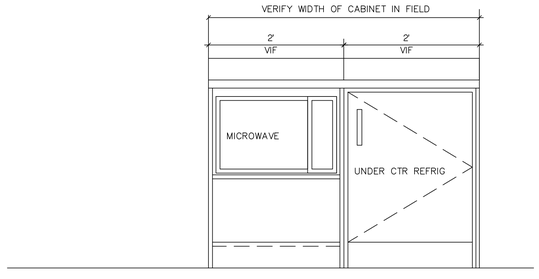
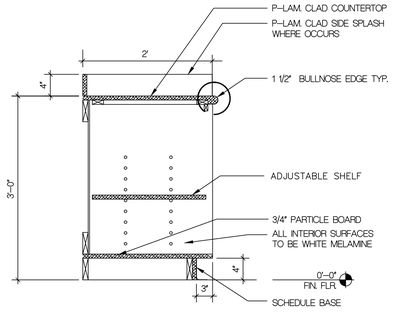
1 PROPOSED FLOOR PLAN
1/4" = 1'-0"



4 CABINET ELEVATION



5 SECTION THRU TYP. CABINET
SCALE: 1" = 1'-0"

LEGEND

EXIST. WALLS TO REMAIN

NEW DOOR -SEE SHT NOTES
11 A — DOOR NUMBER / DOOR TYPE

NEW WINDOW -SEE SHT NOTES
1 3 — WINDOW NUMBER / WINDOW TYPE SEE SHT NOTES 3 & 4

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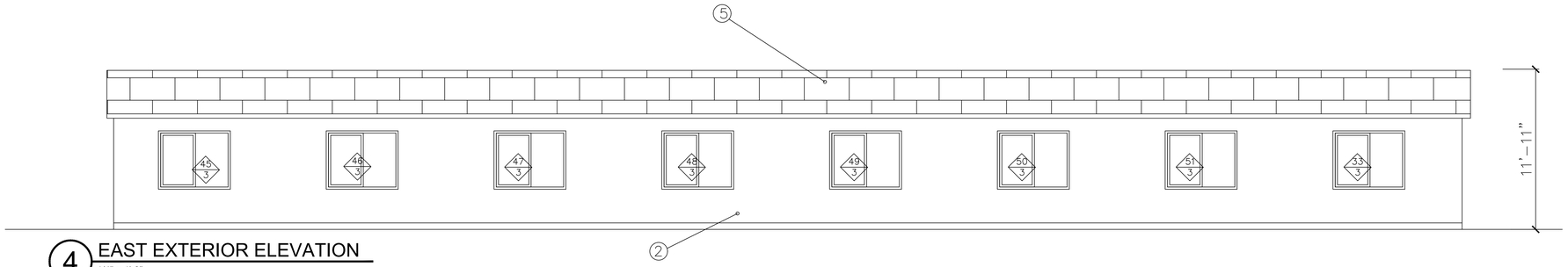
PROJECT: 1902 SOUTHSIDE

SHEET A-5



4 EAST EXTERIOR ELEVATION
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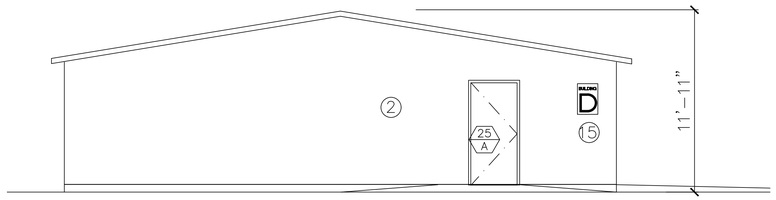

2 SOUTH EXTERIOR ELEVATION
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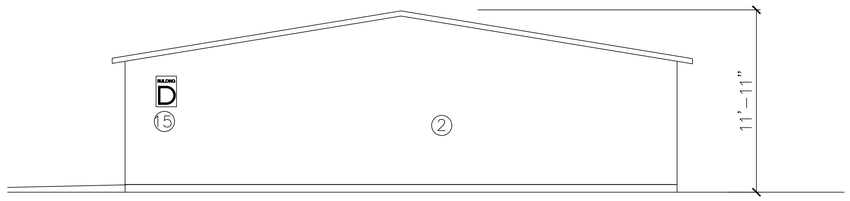
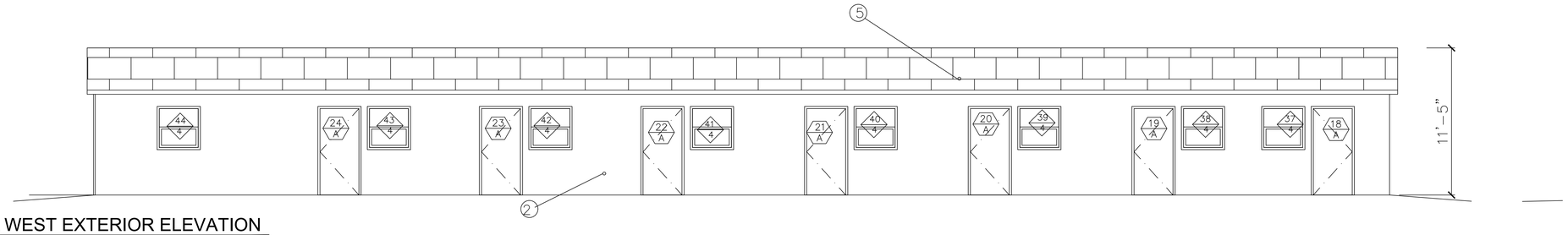


3 NORTH EXTERIOR ELEVATION
1/4" = 1'-0"



1 WEST EXTERIOR ELEVATION
1/4" = 1'-0"

LIVING QTRS EXTERIOR ELEVATIONS - BLDG 'D'

PLAN NOTES
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8. PROVIDE NEW 3'x6'-8" CASED OPENING BETWEEN COMMON ROOMS
9. PROVIDE NEW 12x12 VCT FLOORING & 4" COVED BASE
10. PROVIDE NEW PREFINISHED 6 PANEL STEEL PREHUNG DOOR AND FRAME (LATCH OR LOCKSETS TO BE PROVIDED) (COLOR: WHITE)
11. PROVIDE NEW CABINET FOR REFRIGERATOR AND MICROWAVE (SEE DETAIL)
12. PROVIDE NEW HANDICAP TOILET COMPARTMENTS
13. REPLACE EXISTING FORCED AIR UNITS
14. PROVIDE NEW 4'x2' FIXED WINDOWS W/ FROSTED GLASS (MILGARD STYLE LINE SERIES VINYL OR APPROVED EQUAL) PROVIDE ALT. BID FOR MILGARD STANDARD ALUM. SERIES OR APPROVED ALUM. WINDOW EQUAL
15. PROVIDE NEW 16"x24" BUILDING IDENTIFICATION SIGNS

RICHARD PEDLEY
ARCHITECT
INTERIORS * PLANNING

547 MIDDLECREST RD
LAKE OSWEGO, OR 97034
Tel: 408.348.1966
Ca. Lic. No. C-14419

PROJECT NAME:

HOUSING FACILITY AT
935
SOUTHSIDE DR
GILROY, CA

CLIENT NAME:

GIACALONE
MANAGEMENT, INC
PO BOX 2062
GILROY, CA 95021

SHEET NAME:

PROPOSED EXTERIOR ELEVATIONS
LIVING QTRS -D

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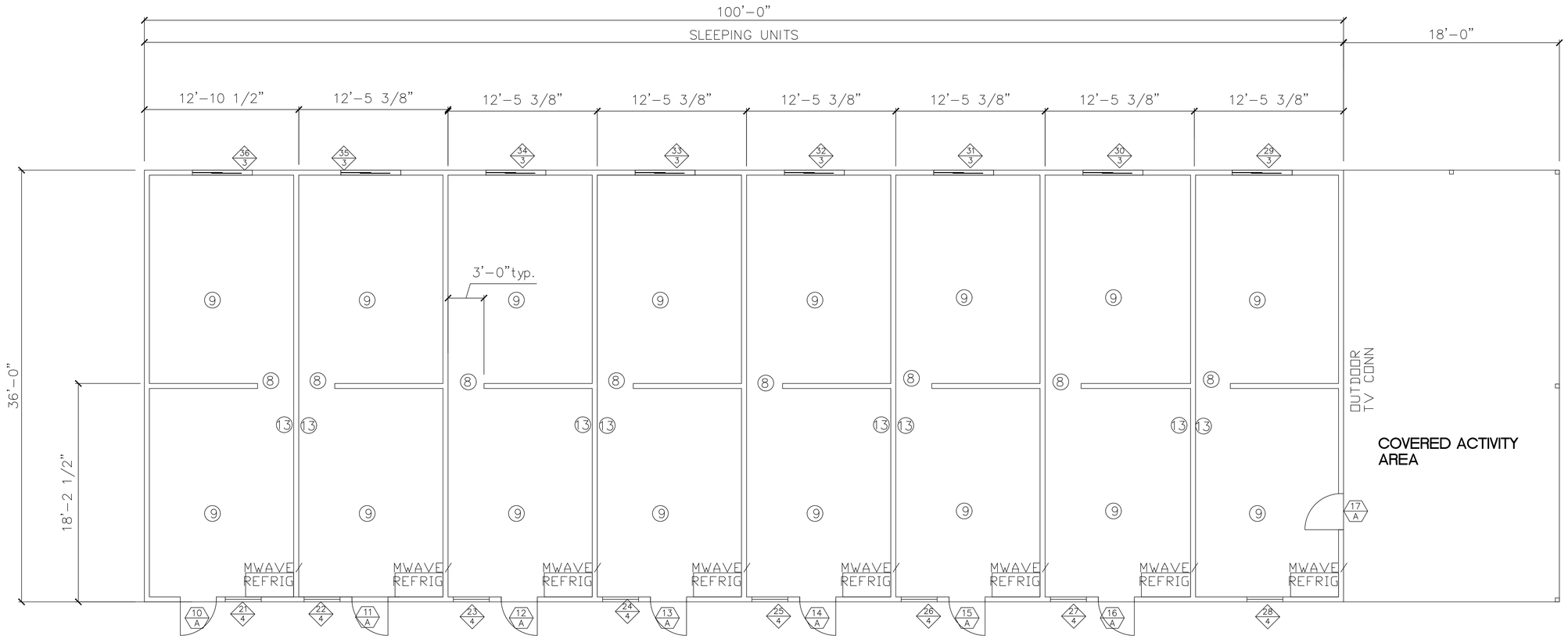
DRAWN BY:

DATE: 06/10/19

PROJECT: 1902 SOUTHSIDE

SHEET A-5.1



AREA OF BUILDING:	3,600sf
AREA OF COVERED ACTIVITY SPACE:	900sf
AREA OF SLEEPING UNIT:	448sf

LIVING QTRS Floor Plan-E

0' 4' 8'

1 PROPOSED FLOOR PLAN

1/4" = 1'-0"

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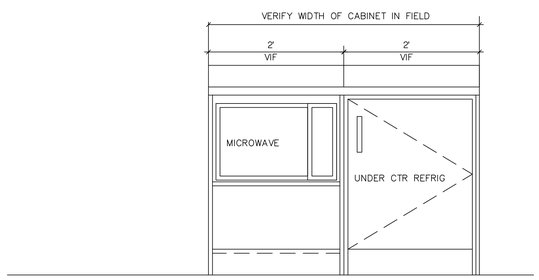
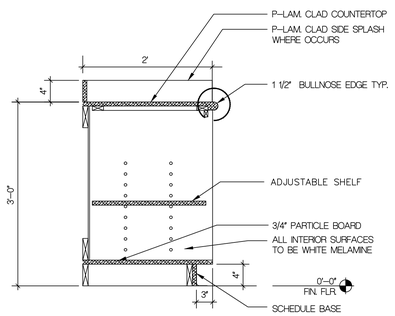


4 CABINET ELEVATION



5 SECTION THRU TYP. CABINET

SCALE: 1" 1' 0"

LEGEND

EXIST. WALLS TO REMAIN

NEW DOOR -SEE SHT NOTES

11 A — DOOR NUMBER / DOOR TYPE

NEW WINDOW -SEE SHT NOTES

1 3 — WINDOW NUMBER / WINDOW TYPE SEE SHT NOTES 3 & 4

AT LEAST ONE FIRE EXTINGUISHER WITH A MIN. RATING OF 2A:10B:C SHALL BE INSTALLED IN COMMERCIAL OR INDUSTRIAL FACILITIES FOR EVERY 3,000 SF OF FLOOR AREA OR 75 FEET OF TRAVEL. THE EXTINGUISHER SHALL BE MOUNTED TO A WALL SO THAT THE TOP DOES NOT EXCEED FIVE (5) FEET ABOVE THE FINISHED FLOOR. A SIGN INDICATING THE LOCATION OF THE EXTINGUISHER SHALL BE INSTALLED ABOVE THE EXTINGUISHER SO THAT THE LOCATION CAN BE IDENTIFIED.

NOTE: EXIT SIGNS SHALL BE INSTALLED AS REQUIRED TO COMPLY WITH SECTION 1013 PROVIDE EXIT SIGNS IMMEDIATELY INSIDE ALL PUBLIC ENTRANCES.

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PROPOSED FLOOR PLAN
LIVING QTRS - E

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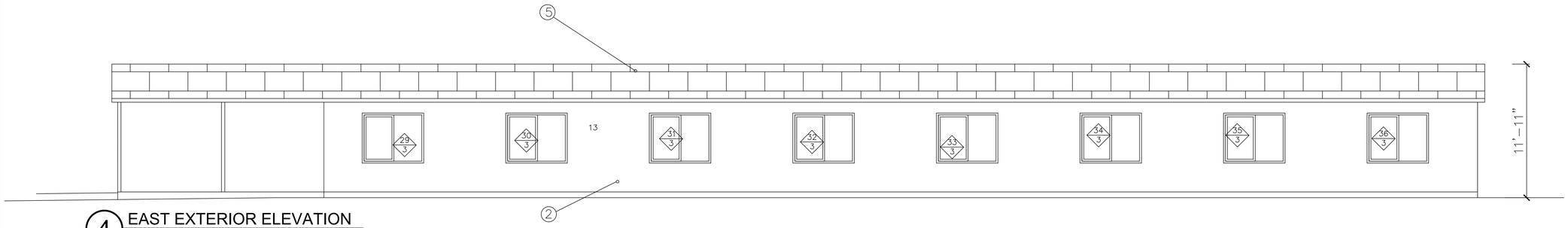
SHEET A-6



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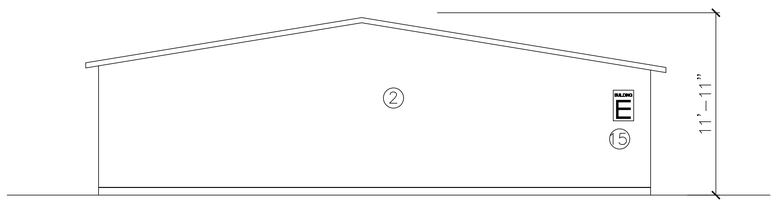

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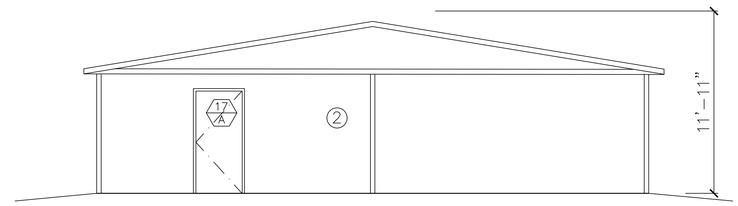

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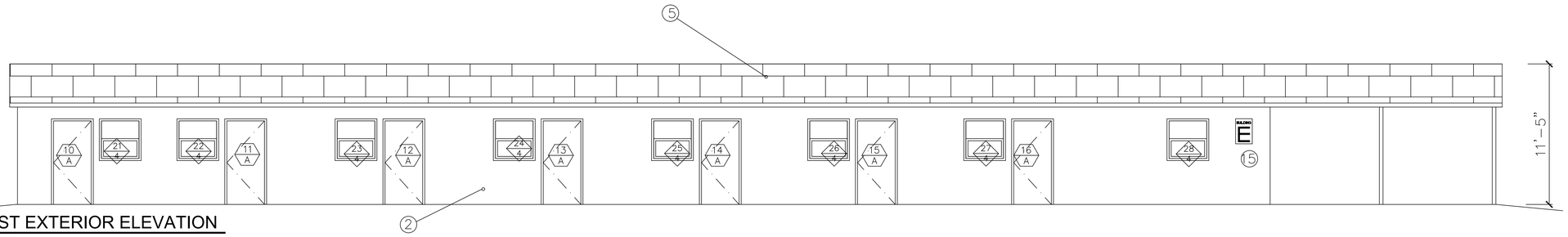

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PROPOSED EXTERIOR ELEVATIONS
LIVING QTRS -E

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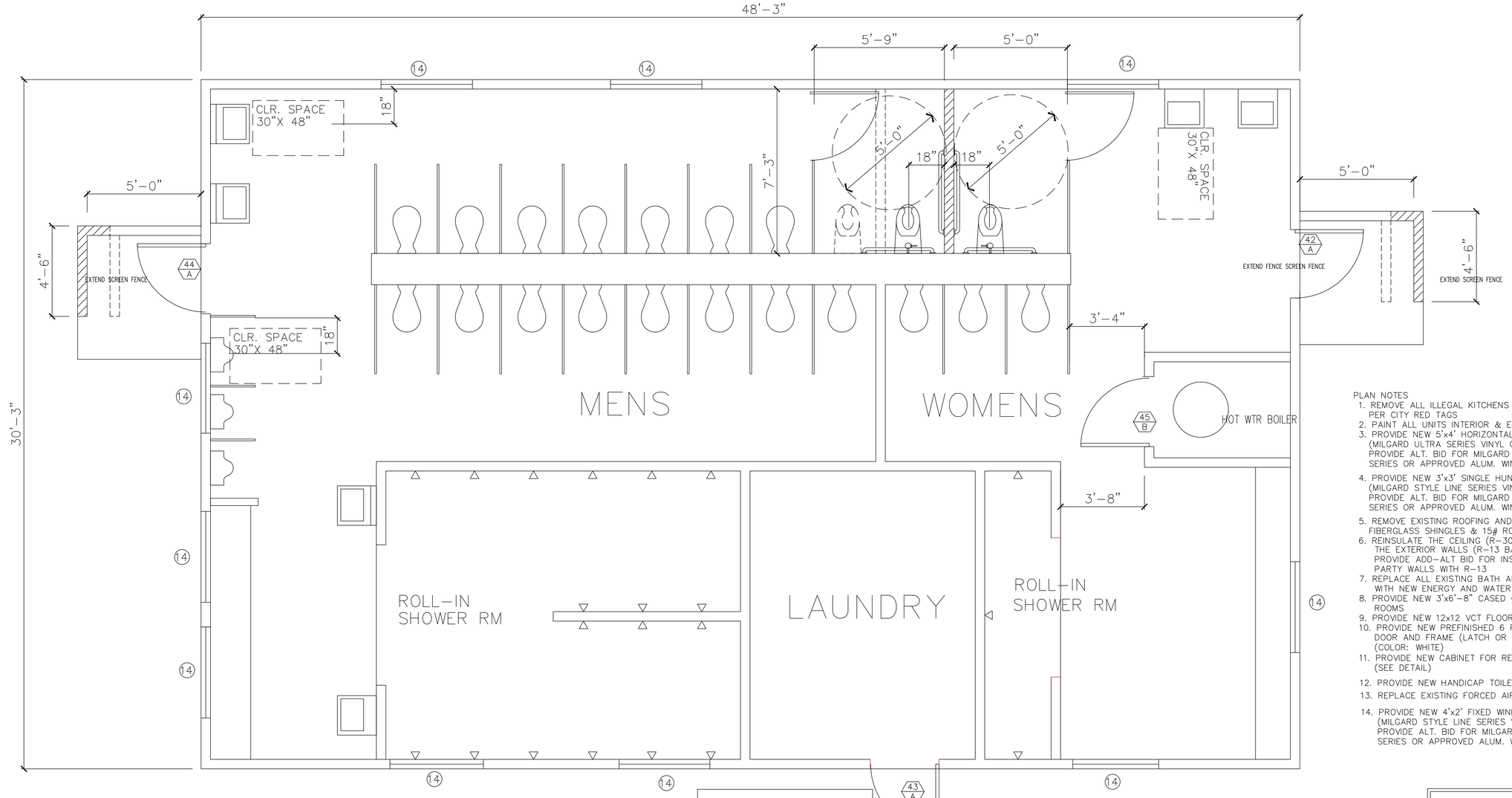

1 ENLARGED RESTRM PLAN (BLDG 'F')

1/2" = 1'-0"

0' 4' 8'

AREA OF BUILDING: 1,460sf

REPLACE ALL 4'x2' CLERESTORY WINDOWS TEMP GLASS (FROSTED) MATCH NEW WINDOW MANUFACTURE

DOOR #45 TO BE 3'x6'-8" HM W/ HI/LO VENTS

FLOORS OF RESTROOMS ARE FINISHED WITH SMOOTH, HARD, NONABSORBENT MATERIALS, SHT VINYL. W/ A 4" H. COVED BASE THAT EXTENDS UP SURROUNDING WALLS TO PROVIDE A CONTINUOUS, INTEGRAL

RESTROOMS "WET" WALLS ARE FINISHED WITH 48" A.F.F. FRP WAINSCOTING OVER MOISTURE RESISTANT GYPSUM BOARD.

TOILET ACCESSORIES

BOBRICK (SATIN FIN. STA. STL.) OR EQ.

1 SOAP DISPENSER (SEE PLUMB. FIX. SCHEDULE)
2 TOILET SEAT COVER DISPENSER
3 TOILET PAPER DISPENSER
4 TOILET PAPER DISPENSER - EXEC
5 NAPKIN DISPOSAL (2 COMP.)
6 NAPKIN DISPOSAL (HC COMP.)
7 HANDICAP GRAB BAR
8 PAPER TOWEL DISPENSER / RECEPTACLE B-43944
9 PAPER TOWEL DISPENSER - EXEC
10 DOOR HOOK
11 WALL MOUNT. MIRROR
12 WALL MOUNT. MIRROR/FRAMED-EXEC TBD

PLAN NOTES

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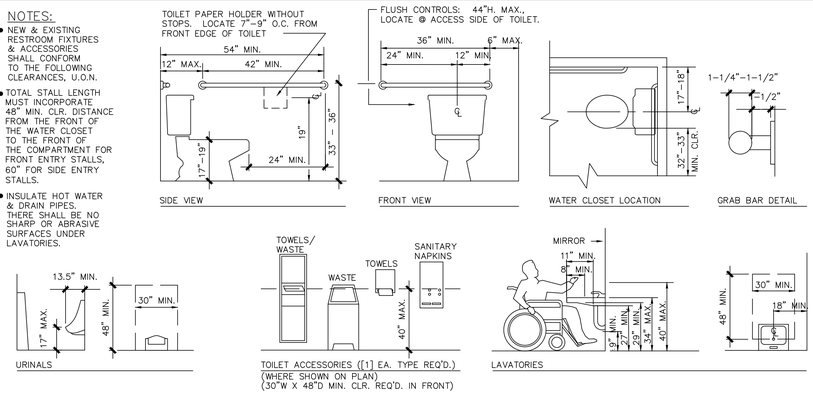
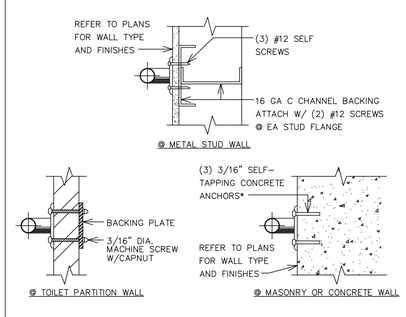
NOTES:

- NEW & EXISTING RESTROOM FIXTURES & ACCESSORIES SHALL CONFORM TO THE FOLLOWING CLEARANCES, U.O.N.
- TOTAL STALL LENGTH MUST INCORPORATE 48" MIN. CLR. DISTANCE FROM THE FRONT OF THE WATER CLOSET TO THE FRONT OF THE COMPARTMENT FOR FRONT ENTRY STALLS, 60" FOR SIDE ENTRY STALLS.
- INSULATE HOT WATER & DRAIN PIPES. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.

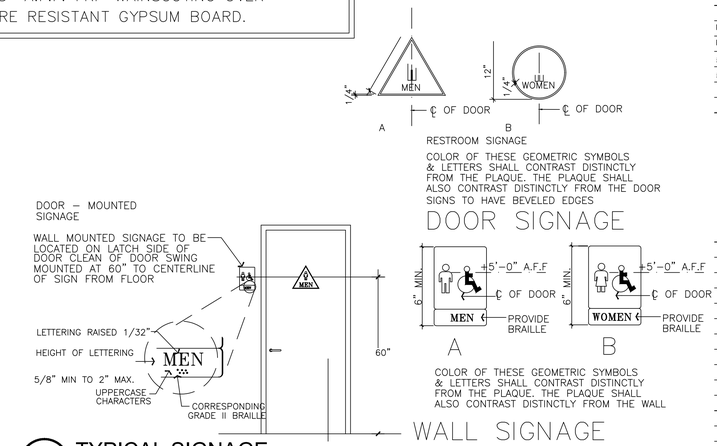


6 RESTROOM CLEARANCES & ACCESSORY HEIGHTS



*NOTE: SELF-TAPPING ANCHORS SHALL BE TAPCON CONCRETE ANCHORS AND SHALL MEET REQUIREMENTS OF GSA CLASSIFICATION 5123, ITEM NO. NIS-G4269

7 GRAB BAR/HANDRAIL BACK'GS



4 TYPICAL SIGNAGE

N.T.S.

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SHEET NAME:

RESTROOMS PLAN
DOOR SIGNAGE AND
MOUNTING HEIGHTS

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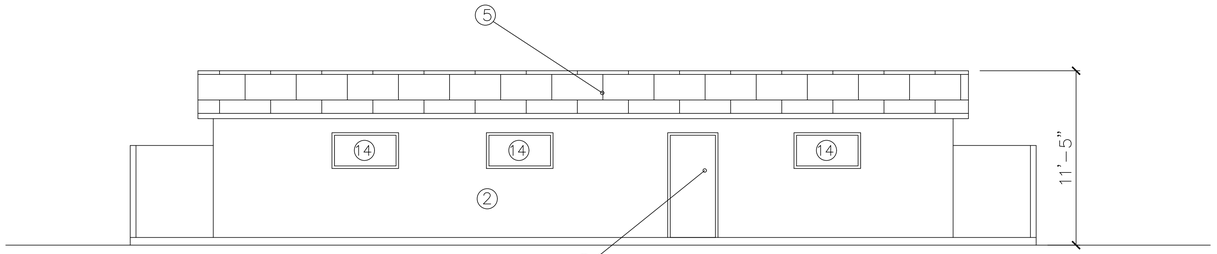
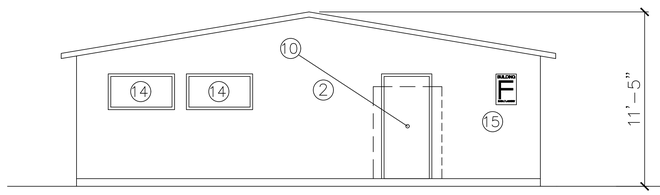
SHEET A-7



1 RESTROOM SOUTH ELEVATION
1/4"=1'-0"



2 RESTROOM EAST ELEVATION
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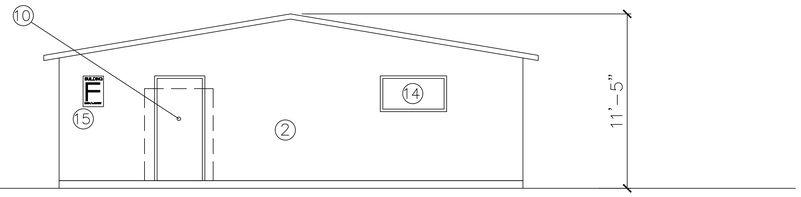

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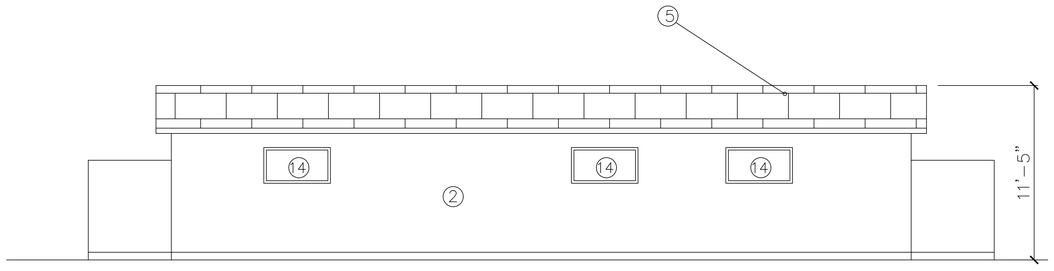

4 RESTROOM NORTH ELEVATION
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0' 4' 8'

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12. PROVIDE NEW HANDICAP TOILET COMPARTMENTS
13. REPLACE EXISTING FORCED AIR UNITS
14. PROVIDE NEW 4'x2' FIXED WINDOWS W/ FROSTED GLASS (MILGARD STYLE LINE SERIES VINYL OR APPROVED EQUAL) PROVIDE ALT. BID FOR MILGARD STANDARD ALUM. SERIES OR APPROVED ALUM. WINDOW EQUAL
15. PROVIDE NEW 16"x24" BUILDING IDENTIFICATION SIGNS

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ARCHITECT
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PROJECT NAME:

HOUSING FACILITY AT
935
SOUTHSIDE DR
GILROY, CA

CLIENT NAME:

GIACALONE
MANAGEMENT, INC
PO BOX 2062
GILROY, CA 95021

SHEET NAME:

RESTROOMS EXTERIOR ELEVATIONS

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