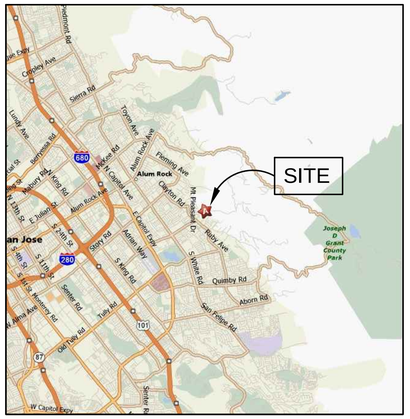


AREA MAP

VICINITY MAP

BUILDING SITE APPROVAL/ GRADING AND DRAINAGE PLAN/ SEPTIC SYSTEM PLAN

PREPARED FOR: VINOD AND JANAK BANSAL
PROPERTY LOCATION: 11391 CLAYTON ROAD
SAN JOSE, CALIFORNIA 95127

STEVEN ARNOLD CIVIL ENGINEERING, INC.
492 PRINCE STREET
OAKLAND, CALIFORNIA 94610
PHONE (415) 786-9622
EMAIL arnoldengineering@comcast.net

REGISTERED PROFESSIONAL ENGINEER
ANDREW E. ARNOLD
NO. C 66537
Exp. 06-30-16
CIVIL
STATE OF CALIFORNIA

MARK	REVISIONS	DATE
	DEH REVIEW	01/11/2010
	ARCH. CHANGES	06/18/2010
	REVIEW DRAWINGS	01/25/2013
	DRX/BSA/GS SUBMITTAL	04/10/2013
	COMMENTS DATED 06/13/2013	12/10/2013
	COMMENTS DATED 01/21/2014 EMAIL DATED 03/17/2014	08/13/2014
	COMMENTS DATED 09/22/2014	12/04/2014
	DEH EMAIL COMMENTS 01/20/2015	02/18/2015

A.P.N.	612-37-016
PROPOSED LIVING AREA	4,450 SQUARE FEET
NUMBER OF BEDROOMS	3
LOT AREA	1.00 Ac. (43,560 SQUARE FEET)
ZONING	HS-D1
PROPOSED F.A.R.	4450/43560 x 100 = 10.2%

FRONT SETBACK	30'
REAR SETBACK	30'
SIDE SETBACK	30'
MAXIMUM NUMBER OF STORIES	2
MAXIMUM HEIGHT	35'
CONSTRUCTION TYPE	VN

SITE INFORMATION

SHEET INDEX

C1	COVER SHEET/INDEX
A0	SITE PLAN
A1	MAIN FLOOR PLAN
A2	LOWER FLOOR PLAN
A3	ROOF PLAN
A4	EXTERIOR ELEVATIONS
A5	EXTERIOR ELEVATIONS
A6	CROSS SECTION
G-1	GRADING TITLE SHEET
G-2	DRIVEWAY PLAN
G-3	GRADING AND DRAINAGE PLAN/ SEPTIC SYSTEM PLAN
G-4	GRADING SECTIONS
G-4.1	GRADING SECTIONS
G-5	GRADING DETAILS
G-6	GRADING DETAILS
L-1	LANDSCAPE PLAN

GEOTECHNICAL ENGINEER

RICK HALTENHOFF
ASSOCIATED TERRA CONSULTANTS, INC.
1735 DELL AVENUE
CAMPBELL, CALIFORNIA 94030
PHONE (408) 866-1067
FAX (408) 866-1047

OWNERS

VINOD AND JANAK BANSAL
3522 ADEGA CIRCLE
SAN JOSE, CALIFORNIA 95148
PHONE (650) 533-9484

CIVIL ENGINEER

ANDREW E. ARNOLD, P.E.
STEVEN ARNOLD CIVIL ENGINEERING, INC.
492 PRINCE STREET
OAKLAND, CALIFORNIA 94610
PHONE (415) 786-9622
FAX (415) 871-2582
EMAIL arnoldengineering@comcast.net

ARCHITECTURAL DRAFTING/DESIGNER

JONATHAN COULTER
930 SAN BENITO STREET
HOLLISTER, CALIFORNIA 95023
PHONE (831) 537-4040

CONSULTANTS

- NEW DRIVEWAY AND TURNAROUND WILL BE CONSTRUCTED AS SHOWN FOR ACCESS.
- NEW SEPTIC SYSTEM AND LEACH FIELD WILL BE INSTALLED AS SHOWN.
- NEW SINGLE FAMILY RESIDENTIAL CUSTOM HOME OF UP TO MAX. 3 BEDROOMS AND A MAXIMUM OF 4,450 SQUARE FEET OF LIVING SPACE WILL BE CONSTRUCTED AS SHOWN.
- DRAINAGE IMPROVEMENTS AND UTILITIES WILL BE INSTALLED AS SHOWN.
- NEW ROADWAY IMPROVEMENTS ARE PROPOSED FOR THE PRIVATE ACCESS ROAD FROM CLAYTON ROAD UP TO THE 45' EASEMENT EXTENSION.

PROJECT DESCRIPTION

PROJECT TITLE

NEW CUSTOM HOME
LANDS OF BANSAL
11391 CLAYTON ROAD
SAN JOSE, CALIFORNIA, 95127

APN: 612-37-016

SHEET TITLE

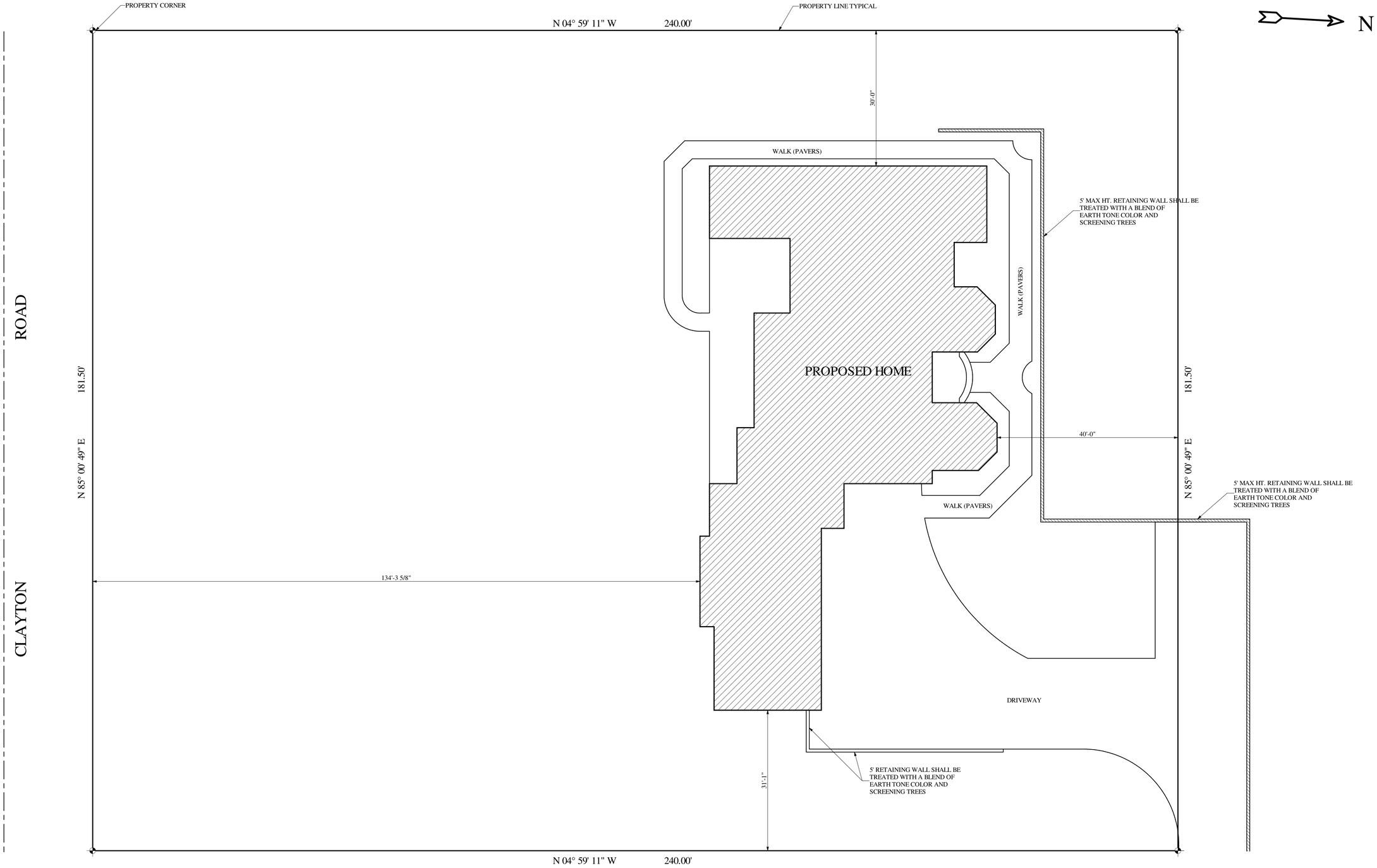
COVER SHEET/ INDEX

DATE FEBRUARY 18, 2015
SCALE AS SHOWN
DRAWN AEA
JOB 03-07

SHEET

C1

APPLICANT: BANSAL ROAD NAME: CLAYTON ROAD COUNTY FILE NO.



Site Plan

SCALE: 1"=10'

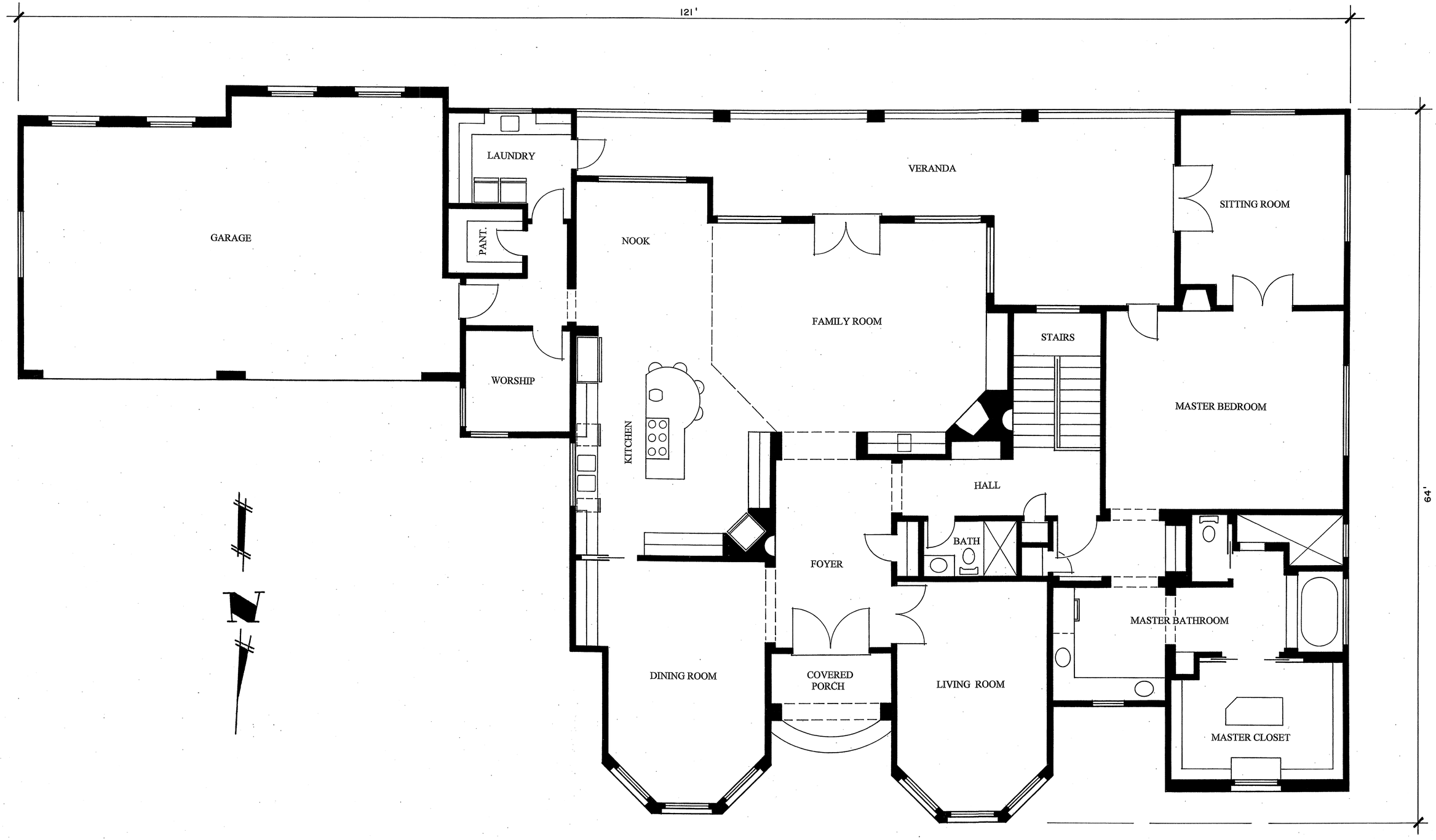
PLAN BY:
Jonathan Coulter
930 San Benito Street
Hollister, Ca. 95023
Phone: (831) 637-8059 (831) 537-4040

PLAN FOR:
MR & MRS BANSAL
1391 CLAYTON ROAD
SAN JOSE, CA. 95127 (650) 533-9484

DATE

SCALE

SHEET
A0



MAIN FLOORPLAN

SCALE: 1/4" = 1'-0"

TOTAL LIVING AREA
BOTH FLOORS= 4450 SF

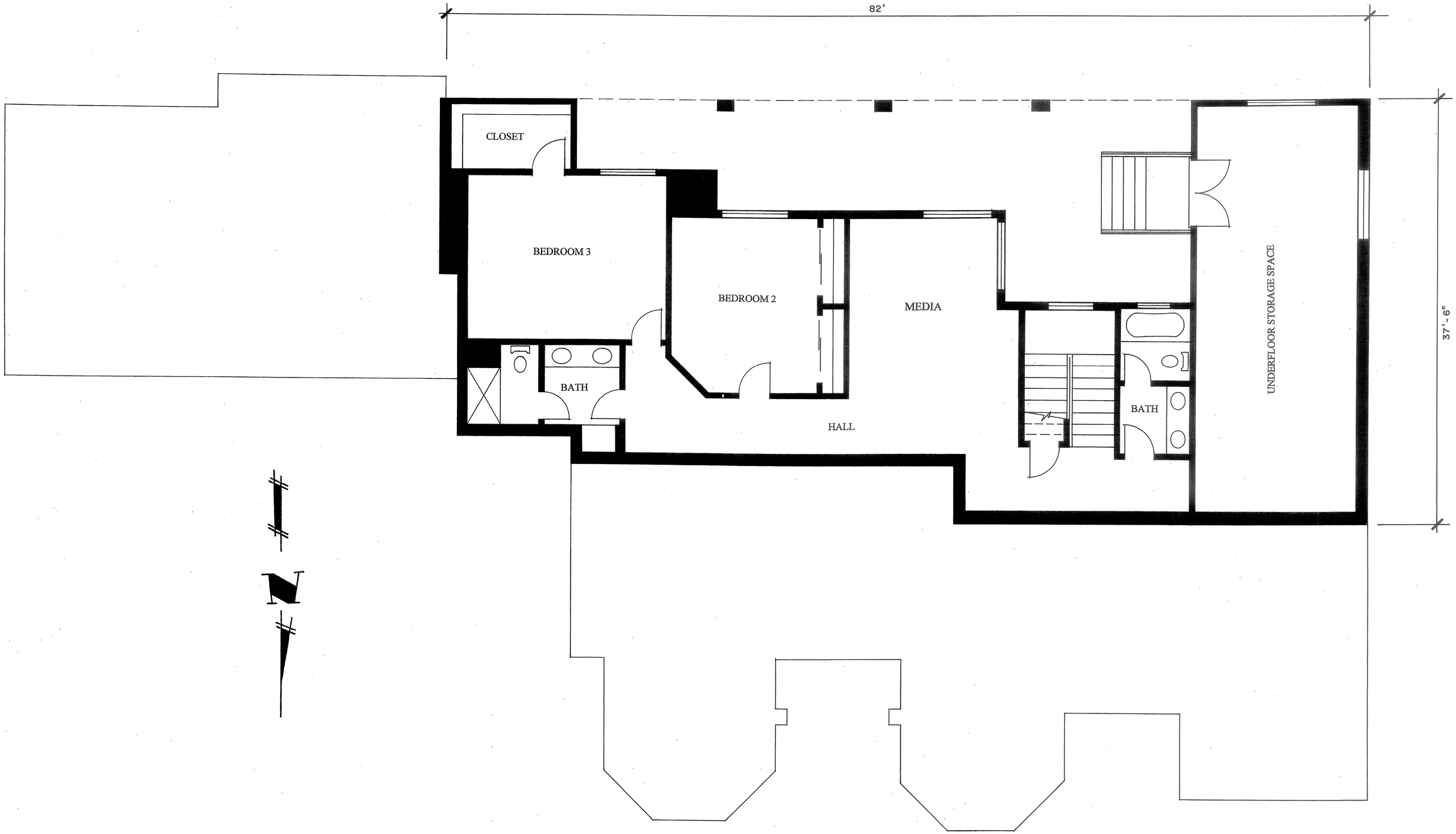
PLAN BY:
Jonathan Coulter
930 San Benito Street
Hollister, Ca. 95023
Phone: (831) 637-8059 (831) 537-4040

PLAN FOR:
MR. & MRS. BANSAL
11391 CLAYTON ROAD
SAN JOSE, CA. 95127 (650)533-0484

DATE
09/14/10

SCALE

SHEET
A.1



LOWER FLOORPLAN

SCALE: 1/4" = 1'-0"

TOTAL LIVING AREA
BOTH FLOORS= 4450 SF

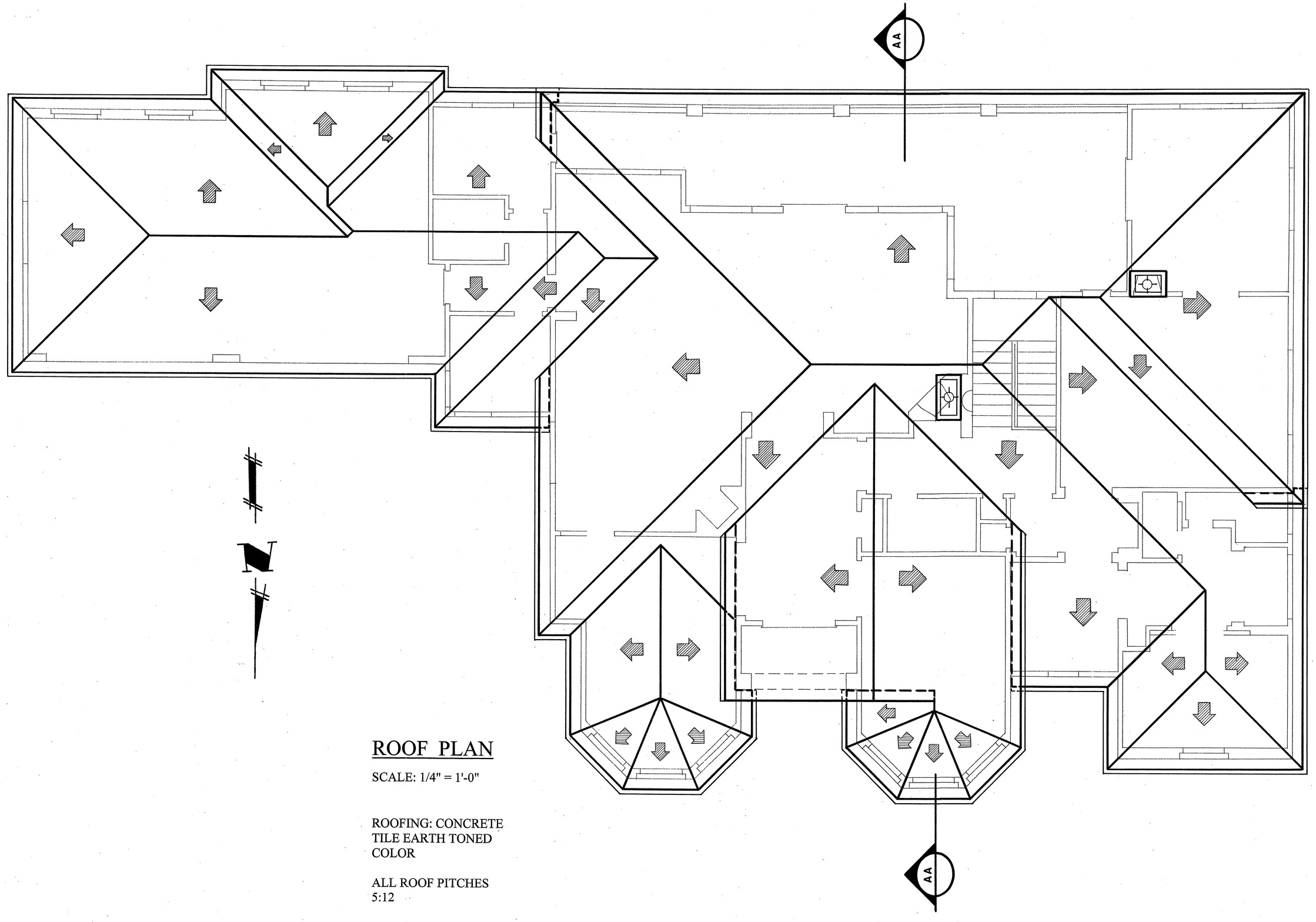
PLAN BY:
Jonathan Coulter
930 San Benito Street
Hollister, Ca. 95023
Phone: (831) 637-8059 (831) 637-4040

PLAN FOR:
MR. & MRS. BANSAL
11391 CLAYTON ROAD
SAN JOSE, CA. 95127 (650)533-9484

DATE

SCALE

SHEET



ROOF PLAN

SCALE: 1/4" = 1'-0"

ROOFING: CONCRETE TILE EARTH TONED COLOR

ALL ROOF PITCHES 5:12

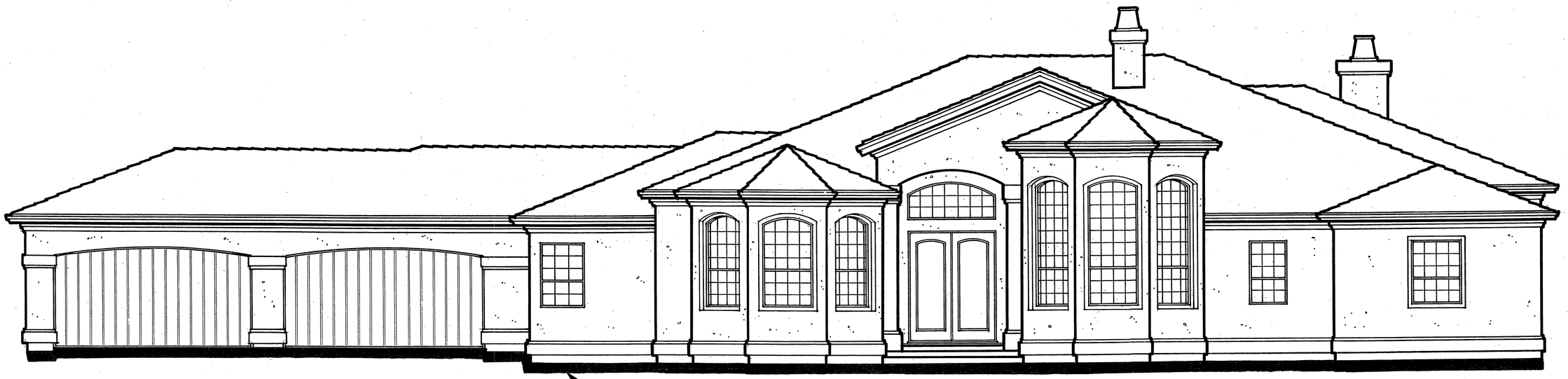
PLAN BY: Jonathan Coulter
930 San Benito Street
Hollister, Ca. 95023
Phone: (831) 637-8059 (831) 537-4040

PLAN FOR: MR. & MRS. BANSAL
11391 CLAYTON ROAD
SAN JOSE, CA. 95127 (650)533-9484

DATE 09/14/10

SCALE

SHEET A3



FINISHED GRADE TYP

NORTH ELEVATION

EXTERIOR FINISHES:
- SAND FINISHED STUCCO EXTERIOR EARTH TONED COLORS
- CONCRETE TILE ROOFING EARTH TONED COLORS
- GUTTERS AND TRIM COMPLIMENTARY EARTH TONED COLORS

FINISHED GRADE TYPICAL

SOUTH ELEVATION

EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

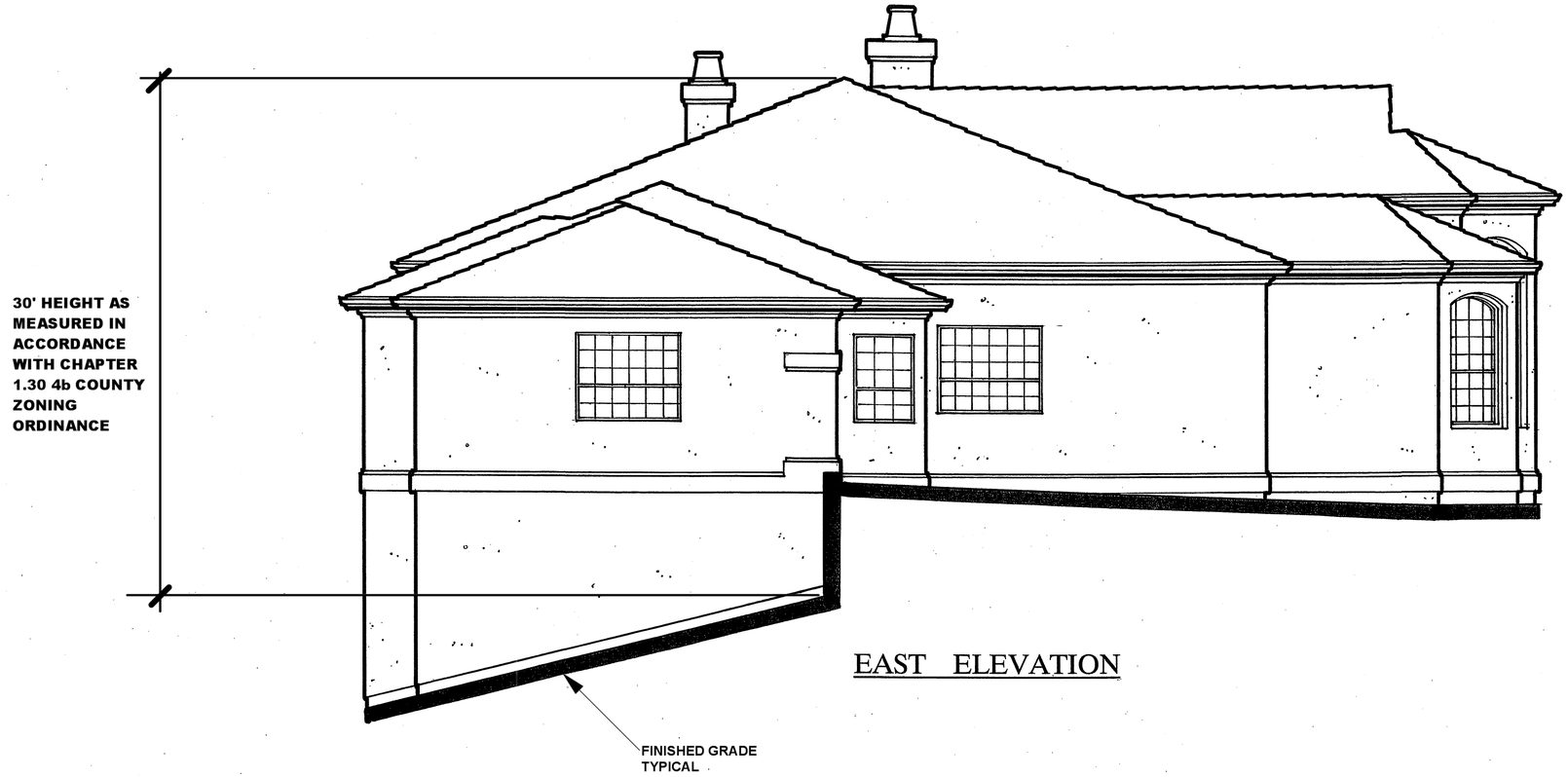
PLAN BY:
Jonathan Coulter
650 San Benito Street
Hollister, Ca. 95023
Phone: (831) 637-8059 (831) 537-4040

PLAN FOR:
MR. & MRS. BANSAL
11391 CLAYTON ROAD
SAN JOSE, CA. 95127 (650)533-9484

DATE 09/14/10

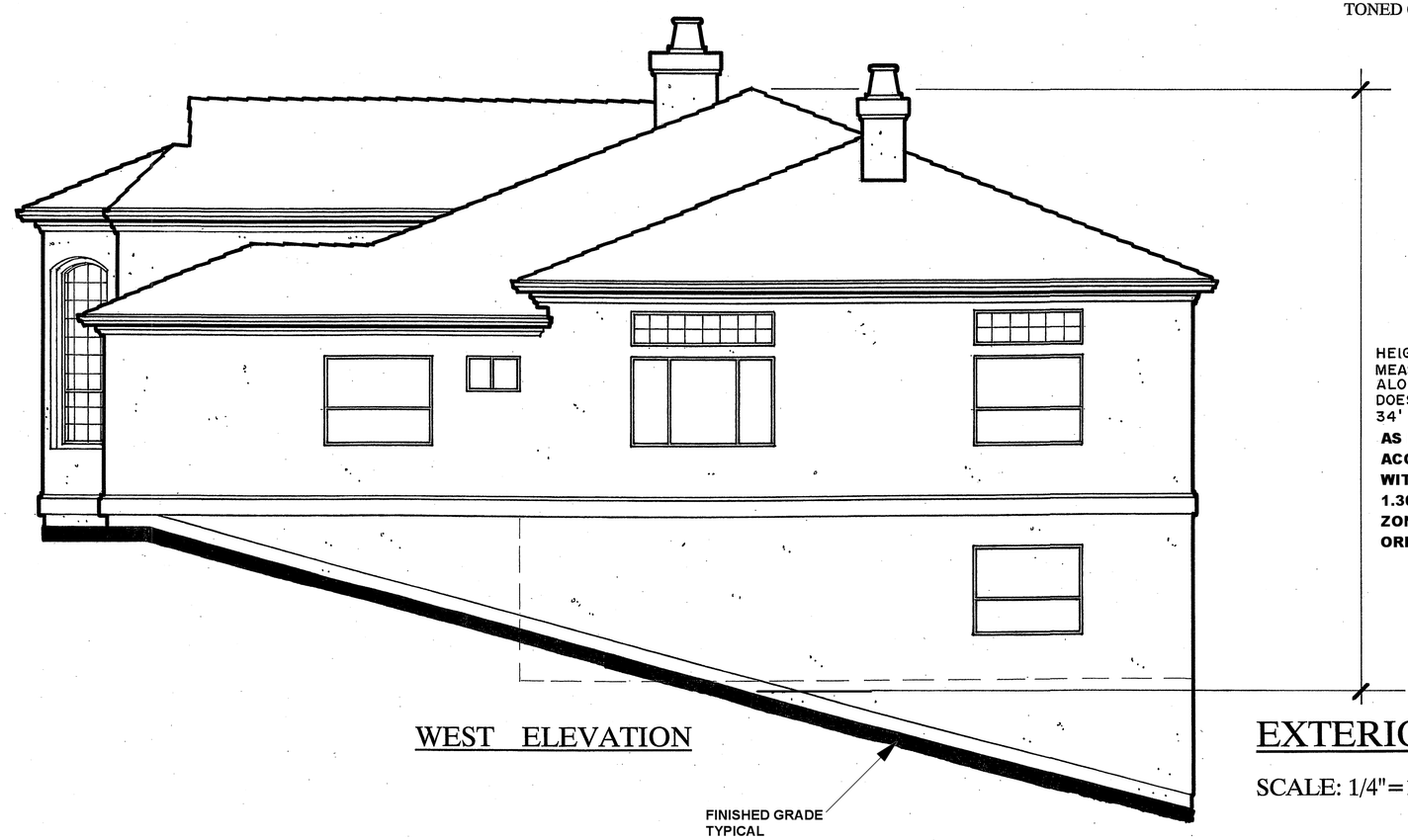
SCALE

SHEET A4



EAST ELEVATION

EXTERIOR FINISHES:
- SAND FINISHED STUCCO EXTERIOR EARTH TONED COLORS
- CONCRETE TILE ROOFING EARTH TONED COLORS
- GUTTERS AND TRIM COMPLIMENTARY EARTH TONED COLORS



WEST ELEVATION

EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

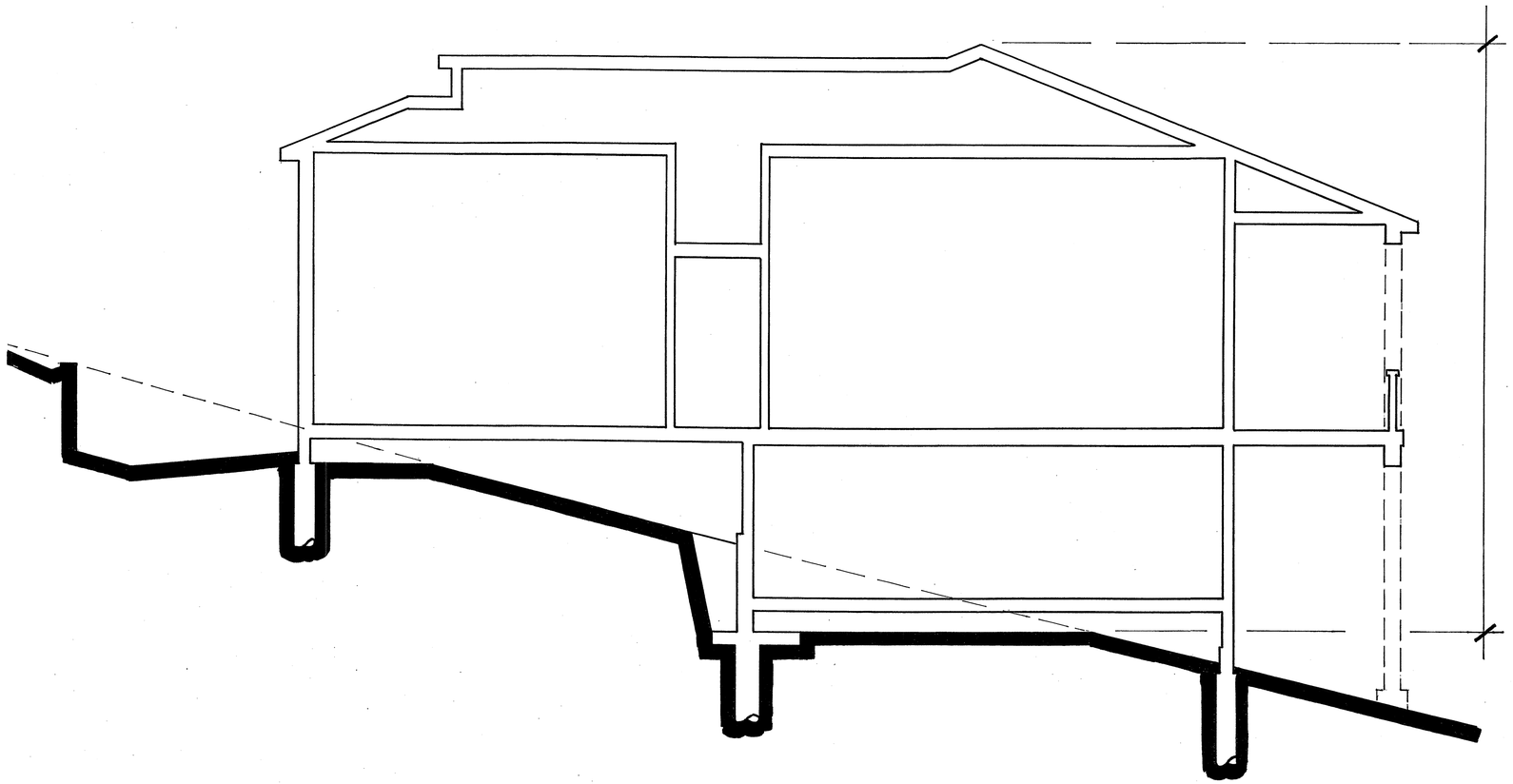
PLAN BY:
Jonathan Coulter
930 San Benito Street
Hollister, Ca. 95023
Phone: (831) 637-8059 (831) 537-4040

PLAN FOR:
MR. & MRS. BANSAL
11391 CLAYTON ROAD
SAN JOSE, CA. 95127 (650)533-9484

DATE: 09/14/10

SCALE

SHEET
A5



TYPICAL CROSS SECTION AA

SCALE: 1/4" = 1'-0"

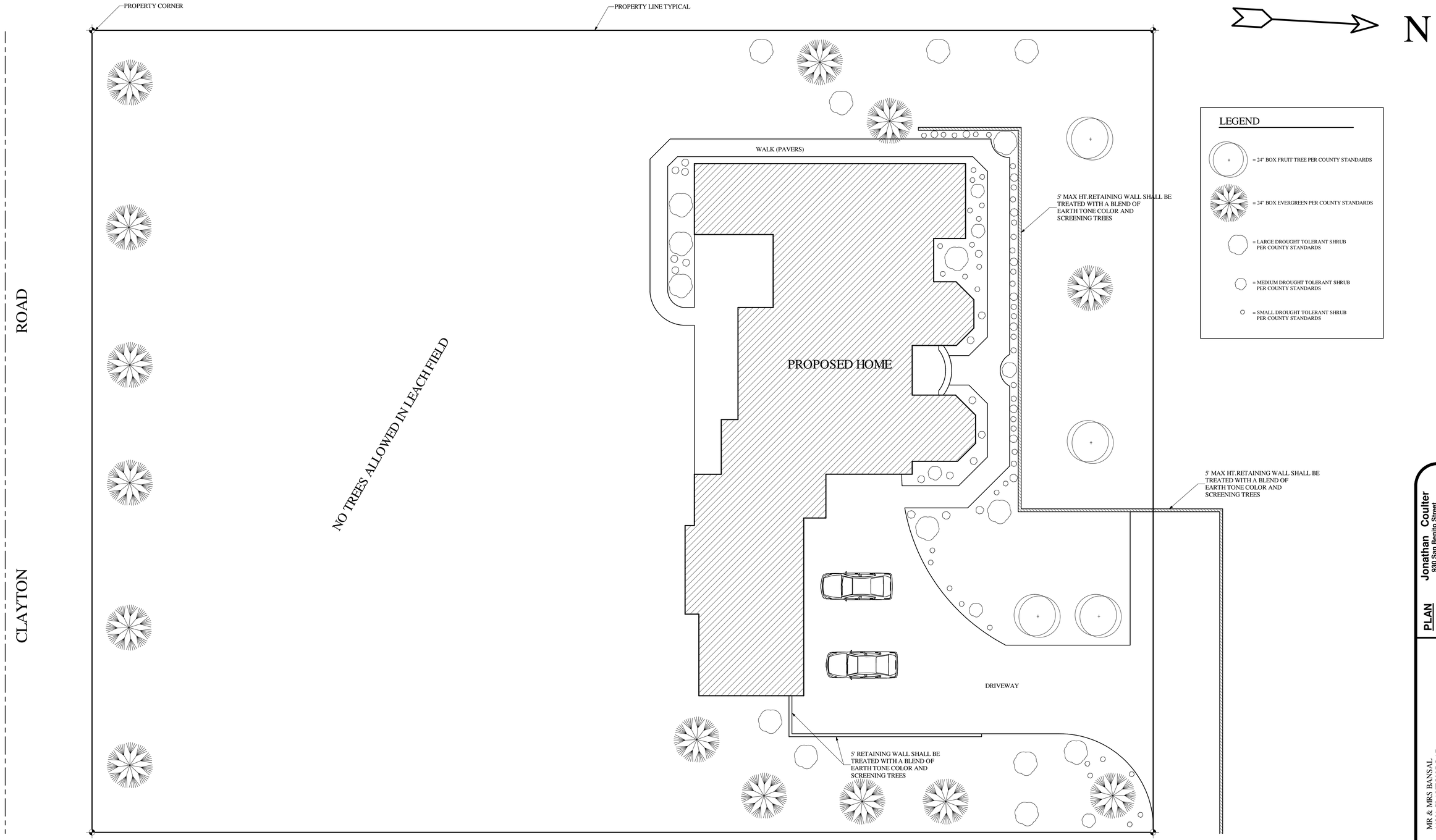
PLAN BY: Jonathan Coulter
930 San Benito Street
Hollister, Ca. 95023
Phone: (831) 637-8059 (831) 537-4040

PLAN FOR: MR. & MRS. BANSAL
11391 CLAYTON ROAD
SAN JOSE, CA. 95127 (650)533-9484

DATE 09/14/10

SCALE

SHEET A6



Landscaping Plan

SCALE: 1"=10'

PLAN BY: Jonathan Coulter
930 San Benito Street
Hollister, Ca. 95023
Phone: (831) 637-8059 (831) 537-4040

PLAN FOR: MR & MRS BANSAL
1391 CLAYTON ROAD
SAN JOSE, CA. 95127 (650) 533-9484

DATE

SCALE

SHEET

L-1

COUNTY OF SANTA CLARA GENERAL CONSTRUCTION SPECIFICATIONS

1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY ASSOCIATED TERRA CONSULTANTS, INC. FILE NO. 178831 DATED SEPTEMBER 11, 2002. THESE REPORTS ARE SUPPLEMENTED BY:
   1) THESE PLANS AND SPECIFICATIONS; 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS; 3) THE COUNTY SPECIFICATIONS; 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS; 3) THE COUNTY OF SANTA CLARA STANDARD SPECIFICATIONS; 4) STATE OF CALIFORNIA STANDARD DETAILS; 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS.
   IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.
2. DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
3. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
4. DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
5. DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA.
6. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
7. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
8. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
9. UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCE BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730 NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE. (COUNTY ORDINANCE CODE SECTION B6-18).

CONSTRUCTION STAKING

1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM THE BACK OF CURB.
2. ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER OR LICENSED LAND SURVEYOR.

CONSTRUCTION INSPECTION

1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
2. THE COUNTY REQUIRES A MINIMUM 24 HOUR ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
3. INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES, OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS AND SPECIFICATIONS, BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENCE OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
4. DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUESTS SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.

SITE PREPARATION (CLEARING & GRUBBING)

1. EXISTING TREES, ROOTS AND FOREIGN MATERIAL WILL BE REMOVED FROM AREAS TO BE IMPROVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
   a) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE).
   b) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.
2. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

UTILITY LOCATION, TRENCHING & BACKFILL

1. CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM 24 HOURS BEFORE FEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
2. ACCURATE VERIFICATION AS TO SIZE, LOCATION AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
3. ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE. UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREA.
4. TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE. WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL, COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95%, AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
5. TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL, BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
6. BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

REPLACEMENT OF DAMAGED IMPROVEMENTS

1. ANY EXISTING IMPROVEMENTS WHICH ARE SCARRED, DAMAGED, OR REMOVED DURING THE CONSTRUCTION OPERATIONS AND ANY EXISTING SHOULDER AREAS WHICH ARE STRUCTURALLY INADEQUATE COMPARED TO THE PROPOSED TYPICAL PAVEMENT SECTION, SHALL BE REMOVED, RECONSTRUCTED OR REPLACED AS REQUIRED BY THE COUNTY INSPECTOR IN THE FIELD.

GRADING

1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IT SHALL BE STRIPPED OF ALL VEGETATION. TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" OF UNCOMPACTED THICKNESS BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER: (1) AERATING THE FILL IF IT IS TOO WET, OR (2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
2. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" max) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
3. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL, OR ROADWAY AREAS.
4. THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY, ACCESS ROAD, OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
5. MAXIMUM CUT SLOPE SHALL BE 1 1/2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

ESTIMATED VOLUME OF CUT	2025	CUBIC YARDS
ESTIMATED VOLUME OF FILL	390	CUBIC YARDS
EXCESS MATERIALS	1635	CUBIC YARDS
IMPORTED MATERIALS	-	CUBIC YARDS
MAXIMUM DEPTH OF CUT	10	FEET
MAXIMUM DEPTH OF FILL	10	FEET

APPROXIMATE EARTHWORK QUANTITIES

DESCRIPTION	CUT	FILL
ON SITE DRIVEWAY	90 cu. yd.	210 cu. yd.
BUILDING PAD	200 cu. yd.	130 cu. yd.
LANDSCAPE AND COURTYARD	550 cu. yd.	0 cu. yd.
GRADING IN EASEMENT OFF SITE	335 cu. yd.	0 cu. yd.
OFF SITE DRIVEWAY AND TURNAROUND	800 cu. yd.	0 cu. yd.
PRO RATA SHARE OF PRIVATE ROAD	50 cu. yd.	50 cu. yd.

6. ALL EXCESS GRADING MATERIALS SHALL BE DISPOSED AT A COUNTY APPROVED DUMP SITE.

EROSION CONTROL

1. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
2. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 POUNDS PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
3. ALL DITCHES AT SLOPES GREATER THAN 5% SHALL BE LINED WITH 2" AC OR PCC THROUGHOUT.
4. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE AND OUTFALL EROSION CONTROLS, e.g. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUN-OFF SHALL BE RELEASED TO SHEET FLOW.

DRIVEWAYS

1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT. THE MAXIMUM APPROACH GRADE SHALL BE 5% FOR A LENGTH OF 20 FEET.

STREET LIGHTING

1. PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE

STORM DRAINAGE

1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH OR DAMAGE TO ADJOINING PROPERTY.
2. DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 30 DEGREE ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
3. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA OF SHEET FLOW.
4. UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.

SANITARY SEWERS

1. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

PORTLAND CEMENT CONCRETE

1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2200 P.S.I. IN A SEVEN DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

BENCHMARK

GINNIE NO. 1 APPROXIMATELY 2 FEET FROM THE SOUTH EDGE OF CLAYTON ROAD NEAR THE WESTERLY PROPERTY LINE OF PARCEL.
ELEVATION = 100.00'

BASIS OF BEARING

THE BEARING N 85° 00' 49" E OF THE CENTERLINE OF CLAYTON ROAD AS SHOWN ON THE PARCEL MAP BOOK 644 OF MAPS AT PAGE 24 IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

STATEMENT OF PURPOSE

PURPOSE OF GRADING AND DRAINAGE PLAN ILLUSTRATES PROPOSED SINGLE FAMILY CUSTOM HOME AND THE REQUIRED GRADING.

SCOPE OF WORK

1. CLEAR AND GRUB.
2. COMPLETE GRADING FOR INSTALLATION OF PROPOSED RESIDENCE AND DRIVEWAY.
3. INSTALL ROAD AND DRIVEWAY FOR ACCESS AS SHOWN.
4. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT SHALL BE SUBMITTED PRIOR TO GRADING COMPLETION AND RELEASE OF BOND.

GRADING AND DRAINAGE PLAN
LANDS OF BANSAL
APN 612-37-016
11391 CLAYTON ROAD
SAN JOSE, CALIFORNIA 95127

COUNTY OF SANTA CLARA
Development Services Office
Land Development Engineering Division
Construction Permit No.: _____
Issued by: _____ Date: _____

NOTES:

1. THE WATER AND SANITARY UTILITIES SHOWN ON THESE PLANS ARE SHOWN FOR REFERENCE ONLY.
2. PRIOR TO GRADING COMPLETION AND RELEASE OF BOND, ALL GRADED AREAS SHALL BE RESEEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADED SLOPES AND REDUCE THE POTENTIAL FOR EROSION ON THE SUBJECT SITE.
3. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN UPON THIS PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.

AS-BUILT PLAN STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (_____WERE) (_____WERE NOT)
MINOR FIELD CHANGES--MARKED WITH THERE (_____WERE) (_____WERE NOT)
PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL .

DATE _____ _____
SIGNATURE

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

CONSTRUCTION/ENCROACHMENT/GRADING PERMIT

PERMIT(S) NO. : _____
FILE'(S) NO.: _____ DATE: _____
ISSUED BY: _____

LAND DEVELOPMENT ENGINEERING & SURVEYING
ENVIRONMENTAL RESOURCES AGENCY
COUNTY OF SANTA CLARA

ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS OF APPROVAL PERTAINING THERETO

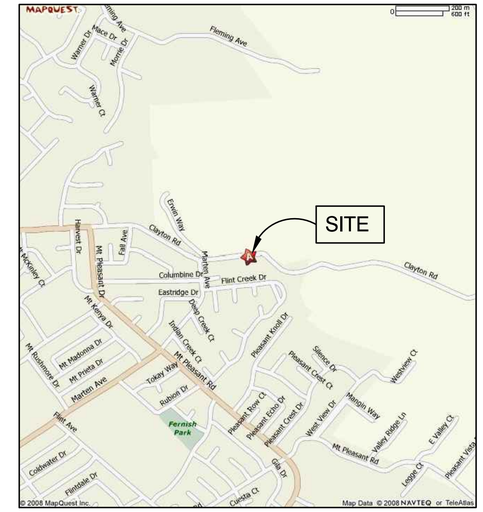
DATED _____, FILE(S) No. _____

DATE	ANDREW E. ARNOLD		RCE 66537 EXP. 06/30/2016
	NAME	SIGNATURE	R.C.E. No. / EXPIRATION DATE

COUNTY ENGINEER'S NOTE

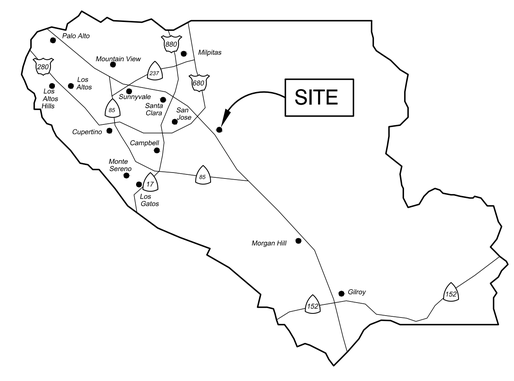
ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OR ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS, IF, DURING THE COURSE OF THE CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR A DEPARTURE FROM) THE SPECIFICATIONS OR THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE	CHRISTOPHER L. FREITAS		RCE 42107 EXP. 03/31/2016
	NAME	SIGNATURE	R.C.E. No. / EXPIRATION DATE



VICINITY MAP

NTS



COUNTY LOCATION MAP

NTS

STEVEN ARNOLD CIVIL ENGINEERING, INC.
492 PRINCE STREET
OAKLAND, CALIFORNIA 94610
PHONE (415) 786-9622
EMAIL arnoldengineering@comcast.net

REGISTERED PROFESSIONAL ENGINEER
ANDREW E. ARNOLD
NO. C 66537
Exp. 06-30-16
CIVIL
STATE OF CALIFORNIA

MARK	REVISIONS	DATE
	DEH REVIEW	01/11/2010
	ARCH. CHANGES	06/18/2010
	REVIEW DRAWINGS	01/25/2013
	DRX/BSA/GS SUBMITTAL	04/10/2013
	COMMENTS DATED 06/13/2013	12/10/2013
	COMMENTS DATED 01/21/2014 EMAIL DATED 03/17/2014	08/13/2014
	COMMENTS DATED 09/22/2014	12/04/2014
	DEH EMAIL COMMENTS 01/20/2015	02/18/2015

PROJECT TITLE

NEW CUSTOM HOME
LANDS OF BANSAL
11391 CLAYTON ROAD
SAN JOSE, CALIFORNIA, 95127

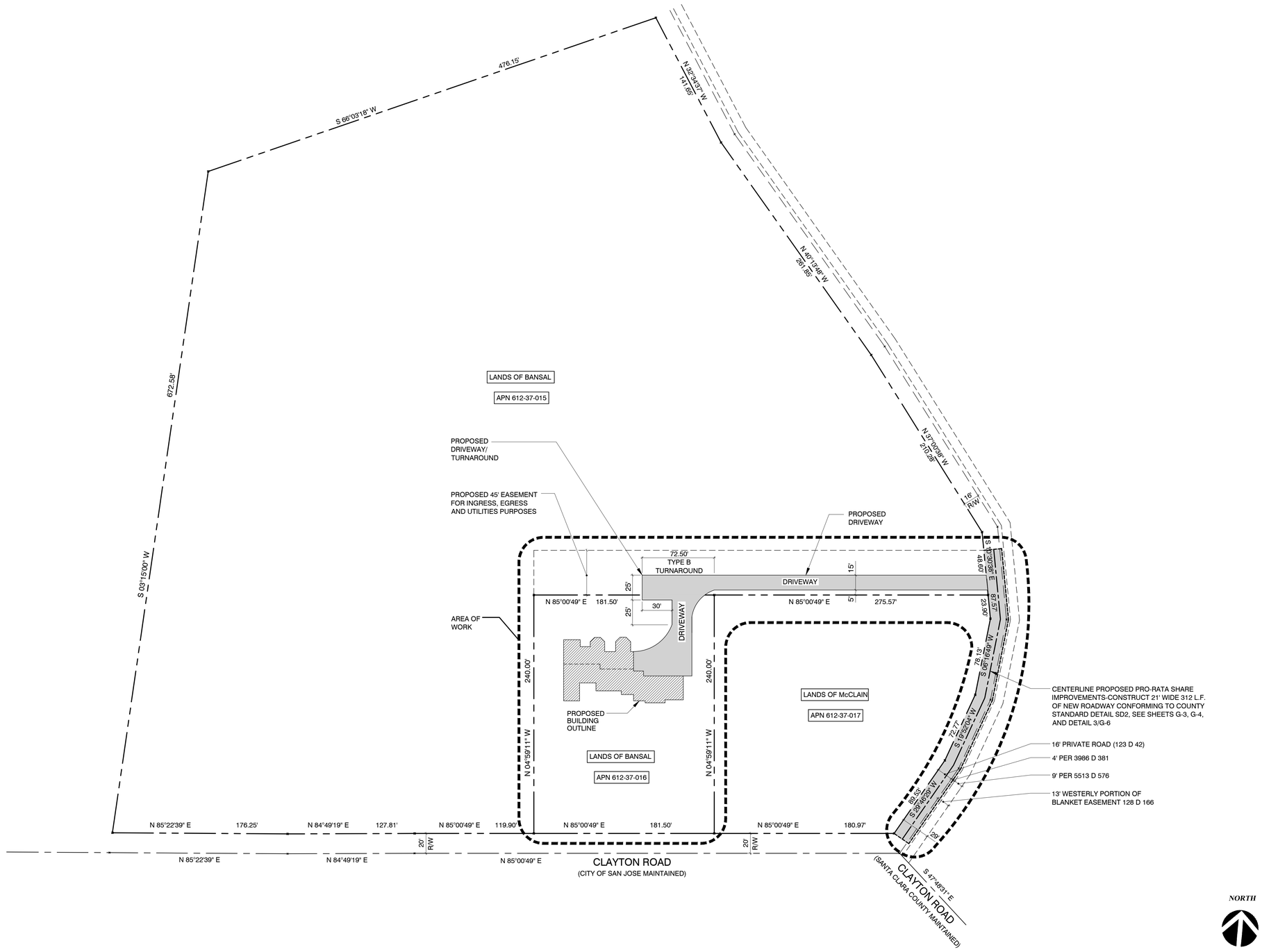
APN: 612-37-016

SHEET TITLE

GRADING
TITLE SHEET

DATE	FEBRUARY 18, 2015
SCALE	AS SHOWN
DRAWN	AEA
JOB	03-07
SHEET	G-1

APPLICANT: BANSAL ROAD NAME: CLAYTON ROAD COUNTY FILE NO.



DRIVEWAY PLAN

SCALE: 1" = 50'-0"

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CIVIL
STATE OF CALIFORNIA

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	DRX/BSA/GS SUBMITTAL	04/10/2013
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	DEH EMAIL COMMENTS 01/20/2015	02/18/2015

PROJECT TITLE

NEW CUSTOM HOME
LANDS OF BANSAL
11391 CLAYTON ROAD
SAN JOSE, CALIFORNIA, 95127

APN: 612-37-016

SHEET TITLE

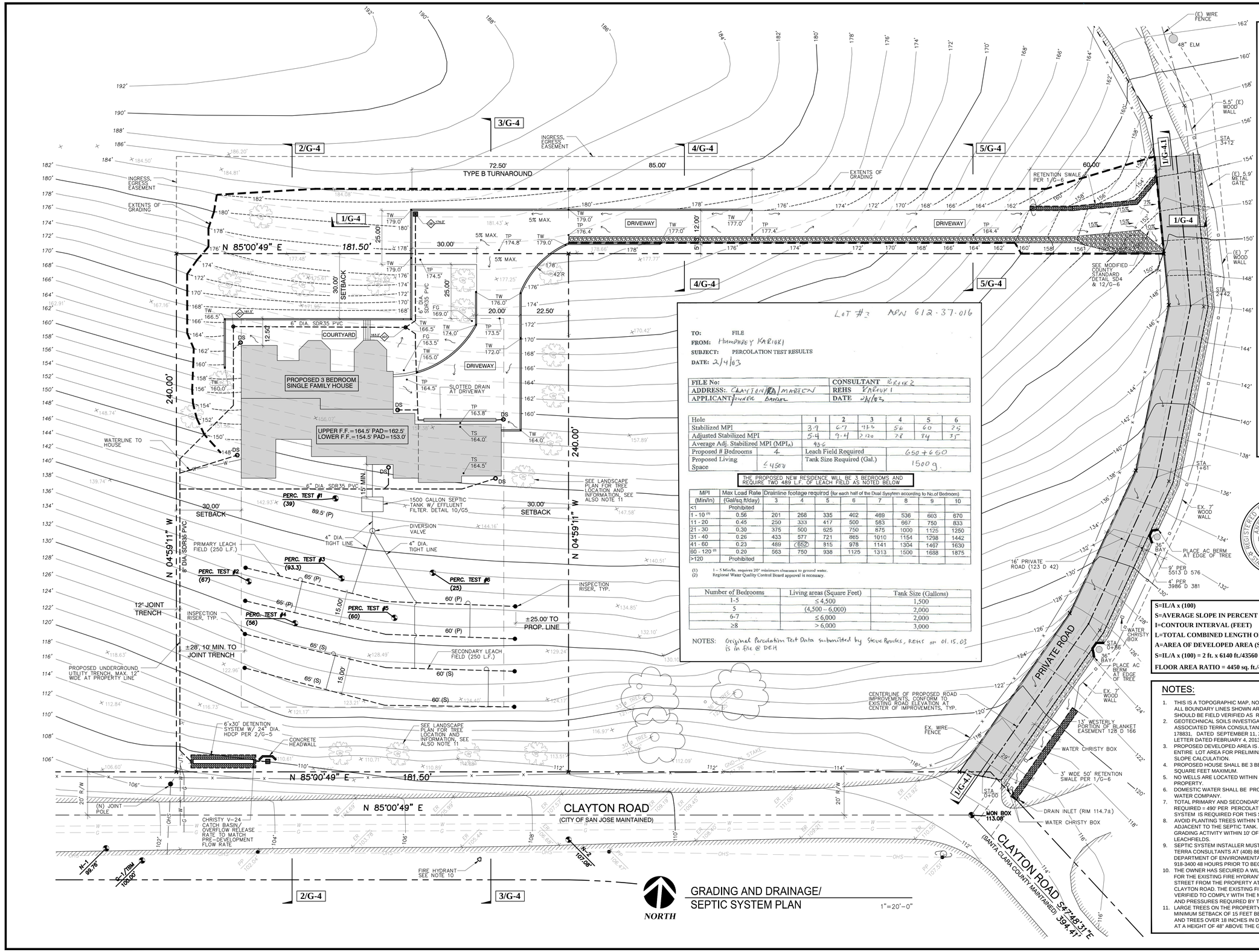
DRIVEWAY PLAN

DATE	FEBRUARY 18, 2015
SCALE	AS SHOWN
DRAWN	AEA
JOB	03-07

SHEET

G-2

APPLICANT: BANSAL ROAD NAME: CLAYTON ROAD COUNTY FILE NO.



LOT #3 APN 612-37-016

TO: FILE

FROM: Humphrey Karioki

SUBJECT: PERCOLATION TEST RESULTS

DATE: 2/4/03

FILE No:		CONSULTANT	Karioki
ADDRESS:	Clayton Rd/Mabury	REHS	Karioki
APPLICANT	Bansal	DATE	2/4/03

Hole	1	2	3	4	5	6
Stabilized MPI	3.9	6.7	43.3	56	60	25
Adjusted Stabilized MPI	5.4	9.4	>120	78	84	35
Average Adj. Stabilized MPI (MPI_A)	43.6					

Proposed # Bedrooms	4	Leach Field Required	650 + 650
Proposed Living Space	≤ 4500	Tank Size Required (Gal.)	1500 g.

THE PROPOSED NEW RESIDENCE WILL BE 3 BEDROOMS AND REQUIRE TWO 489 L.F. OF LEACH FIELD AS NOTED BELOW

MPI (Min/In)	Max Load Rate (Gal/sq.ft/day)	Drainline footage required (for each half of the Dual Sysytem according to No.of Bedroom) 3	4	5	6	7	8	9	10
<1	Prohibited								
1 - 10 (1)	0.56	201	268	335	402	469	536	603	670
11 - 20	0.45	250	333	417	500	583	667	750	833
21 - 30	0.30	375	500	625	750	875	1000	1125	1250
31 - 40	0.26	433	577	721	865	1010	1154	1298	1442
41 - 60	0.23	489	(652)	815	978	1141	1304	1467	1630
60 - 120 (2)	0.20	563	750	938	1125	1313	1500	1688	1875
>120	Prohibited								

(1) 1 - 5 Min/In. requires 20" minimum clearance to ground water.
(2) Regional Water Quality Control Board approval is necessary.

Number of Bedrooms	Living areas (Square Feet)	Tank Size (Gallons)
1-5	≤ 4,500	1,500
5	(4,500 – 6,000)	2,000
6-7	≤ 6,000	2,000
≥8	> 6,000	3,000

NOTES: Original Percolation Test Data submitted by Steve Brooks, REHS on 01.15.03 is in file @ DEH

LEGEND:

HUB 1 113.79	SURVEY CONTROL POINT/ TEMPORARY BENCHMARK
	STORM DRAIN/SITE DRAINAGE
OHS	OVERHEAD SERVICE LINE
W	WATER LINE
180	EXISTING CONTOUR LINE
180	FINISH CONTOUR LINE
XXX 113.79'	SPOT ELEVATION
66.0'	FINISH GRADE/FINISH ELEVATION
	FENCE LINE
	CURB AND GUTTER
	CENTERLINE STREET
	PROPERTY LINE
	RETAINING WALL PER LANDSCAPE PLAN
	DIRECTION OF SURFACE FLOW
C.O.	CLEANOUT
DS	ROOF DOWNSPOUT TO CLOSED SYSTEM 4" DIA. SDR35 PVC DOWNSPOUT LATERAL TO 6" DIA. SDR35 PVC STORMDRAIN LINE
	CENTER OF TREE W/ TRUNK DIAMETER IN INCHES. SPECIES NOTED WHEN KNOWN.
	EDGE ROAD
PERC. TEST #1 (21.3)	PERCOLATION TEST HOLE AND NUMBER WITH STABILIZED PERCOLATION RATE NOTED IN MPI PER TESTS DATED 02/04/03
AD RIM ELEV. INVERT ELEV.	AREA DRAIN AS NOTED PER 4 AND 7/G-6
CB RIM ELEV. INVERT ELEV.	CATCH BASIN AS NOTED PER 10/G-6

S=IL/A x (100)
S=AVERAGE SLOPE IN PERCENT
I=CONTOUR INTERVAL (FEET)
L=TOTAL COMBINED LENGTH OF CONTOURS (FEET)
A=AREA OF DEVELOPED AREA (SQUARE FEET)
S=IL/A x (100) = 2 ft. x 6140 ft./43560 sq. ft. x 100 = 28.2%
FLOOR AREA RATIO = 4450 sq. ft./43560 sq. ft. = 10.2%

NOTES:

1. THIS IS A TOPOGRAPHIC MAP, NOT A BOUNDARY SURVEY. ALL BOUNDARY LINES SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED AS REQUIRED.
2. GEOTECHNICAL SOILS INVESTIGATION PREPARED BY ASSOCIATED TERRA CONSULTANTS, INC. FILE NUMBER 178831, DATED SEPTEMBER 11, 2002. SEE ALSO UPDATE LETTER DATED FEBRUARY 4, 2013.
3. PROPOSED DEVELOPED AREA IS ASSUMED AS THE ENTIRE LOT AREA FOR PRELIMINARY PURPOSES FOR SLOPE CALCULATION.
4. PROPOSED HOUSE SHALL BE 3 BEDROOM AND 4,450 SQUARE FEET MAXIMUM.
5. NO WELLS ARE LOCATED WITHIN 100 FEET OF THE PROPERTY.
6. DOMESTIC WATER SHALL BE PROVIDED BY SAN JOSE WATER COMPANY.
7. TOTAL PRIMARY AND SECONDARY LEACH FIELD LENGTH REQUIRED = 490' PER PERCOLATION TESTS. A POPOVER SYSTEM IS REQUIRED FOR THIS SITE. SEE DETAIL 5/G-5.
8. AVOID PLANTING TREES WITHIN THE DRAINFIELD OR ADJACENT TO THE SEPTIC TANK. THERE SHALL BE NO GRADING ACTIVITY WITHIN 10' OF THE PROPOSED LEACHFIELDS.
9. SEPTIC SYSTEM INSTALLER MUST CONTACT ASSOCIATED TERRA CONSULTANTS AT (408) 866-1047 AND THE COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH AT (408) 918-3400 48 HOURS PRIOR TO BEGINNING WORK.
10. THE OWNER HAS SECURED A WILL SERVE DOCUMENT FOR THE EXISTING FIRE HYDRANT LOCATED ACROSS THE STREET FROM THE PROPERTY AT THE SOUTH SIDE OF CLAYTON ROAD. THE EXISTING FIRE HYDRANT SHALL BE VERIFIED TO COMPLY WITH THE MINIMUM FLOW RATES AND PRESSURES REQUIRED BY THE FIRE MARSHAL.
11. LARGE TREES ON THE PROPERTY MUST MAINTAIN A MINIMUM SETBACK OF 15 FEET BETWEEN LEACHLINES AND TREES OVER 18 INCHES IN DIAMETER ME3ASURED AT A HEIGHT OF 48" ABOVE THE GROUND.

REGISTERED PROFESSIONAL ENGINEER ANDREW E. ARNOLD NO. C 66537 Exp. 06-30-16 CIVIL STATE OF CALIFORNIA

PROJECT TITLE

NEW CUSTOM HOME
LANDS OF BANSAL
11391 CLAYTON ROAD
SAN JOSE, CALIFORNIA, 95127

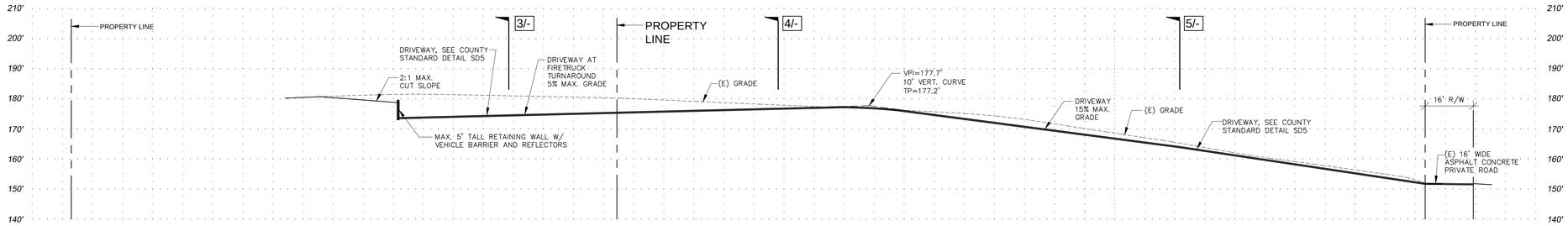
APN: 612-37-016

SHEET TITLE

GRADING AND DRAINAGE/ SEPTIC SYSTEM PLAN

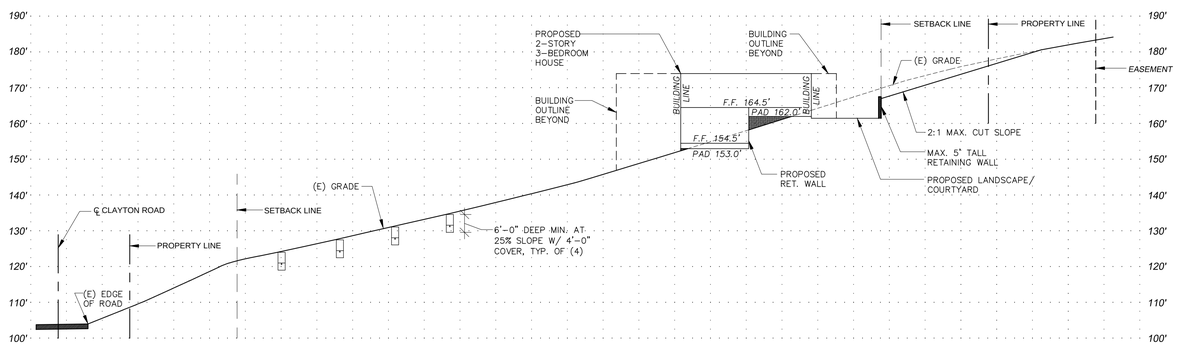
DATE	FEBRUARY 18, 2015
SCALE	AS SHOWN
DRAWN	AEA
JOB	03-07
SHEET	G-3

APPLICANT: BANSAL ROAD NAME: CLAYTON ROAD COUNTY FILE NO.



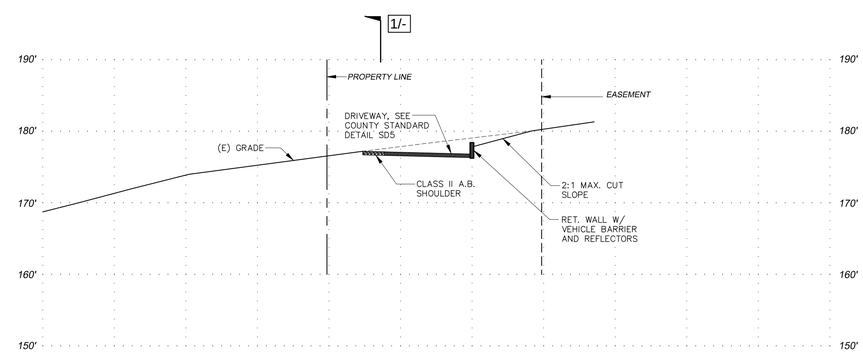
1 DRIVEWAY PROFILE

SCALE: 1"=20'-0" H:V



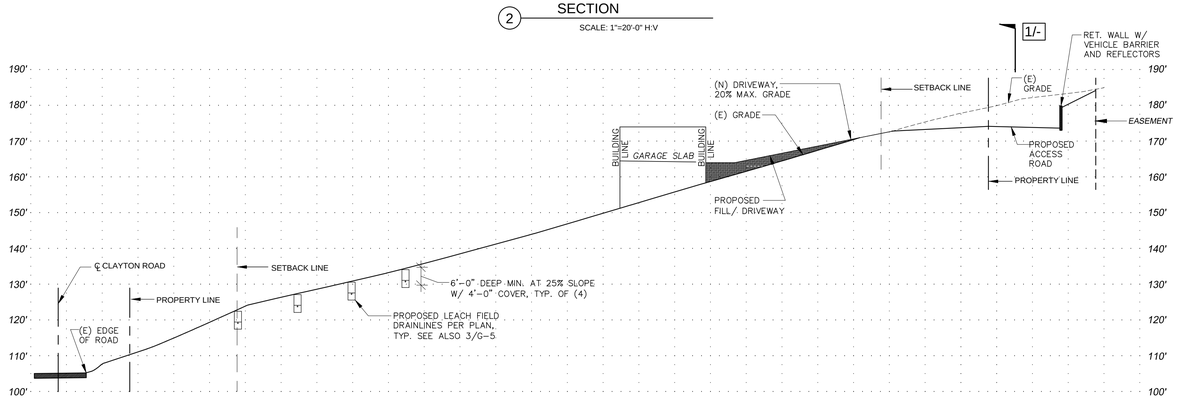
2 SECTION

SCALE: 1"=20'-0" H:V



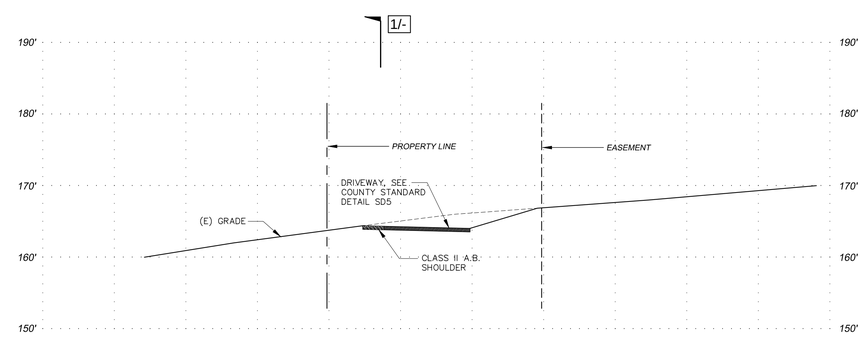
4 SECTION

SCALE: 1"=10'-0" H:V



3 SECTION

SCALE: 1"=20'-0" H:V



5 SECTION

SCALE: 1"=10'-0" H:V

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR CONSTRUCTION PERMIT AND PLAN COVER SHEET FOR SPECIAL CONDITIONS AND PERMIT NUMBERS

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PROJECT TITLE

NEW CUSTOM HOME
LANDS OF BANSAL
11391 CLAYTON ROAD
SAN JOSE, CALIFORNIA, 95127

APN: 612-37-016

SHEET TITLE

GRADING SECTIONS

DATE FEBRUARY 18, 2015

SCALE AS SHOWN

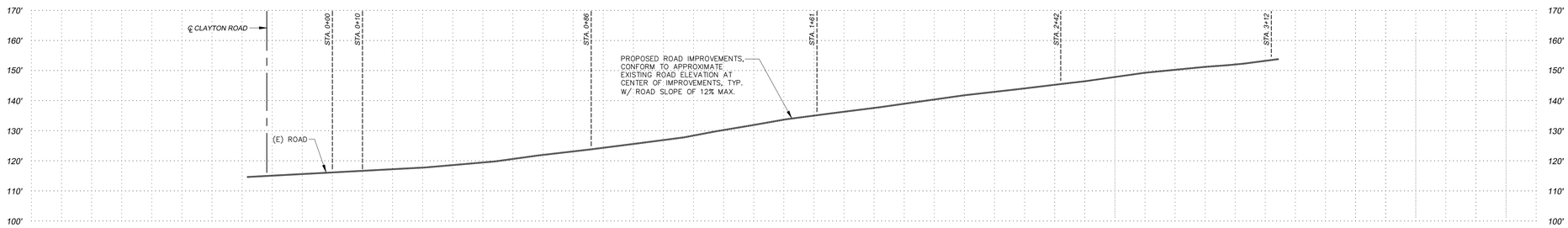
DRAWN AEA

JOB 03-07

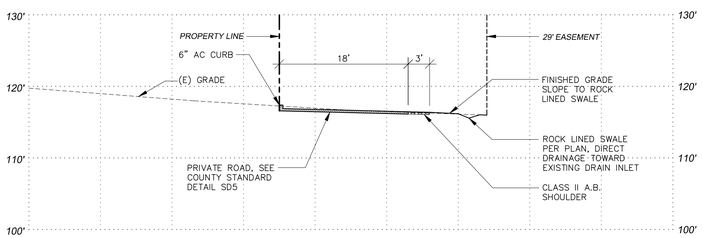
SHEET

G-4

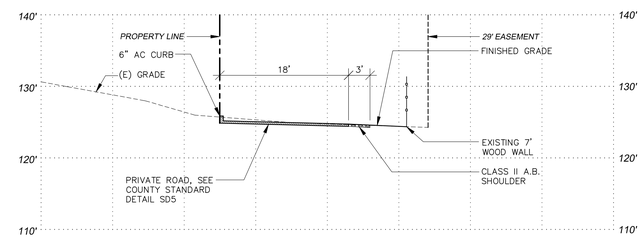
APPLICANT: BANSAL ROAD NAME: CLAYTON ROAD COUNTY FILE NO.



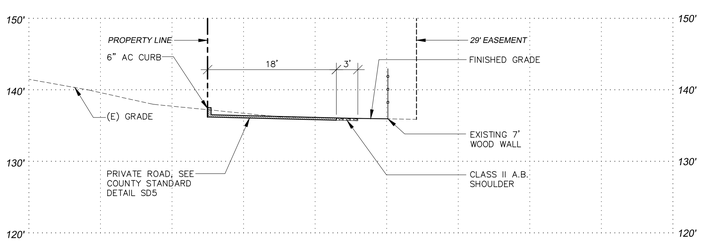
A PRIVATE ROAD
SCALE: 1"=20'-0" H:V



1 STA. 0+10
SCALE: 1"=10'-0" H:V



2 STA. 0+86
SCALE: 1"=10'-0" H:V



3 STA. 1+61
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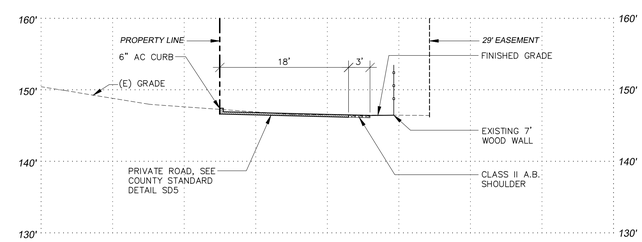

4 STA. 2+42
SCALE: 1"=10'-0" H:V

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR CONSTRUCTION PERMIT AND PLAN COVER SHEET FOR SPECIAL CONDITIONS AND PERMIT NUMBERS

APPLICANT: BANSAL ROAD NAME: CLAYTON ROAD COUNTY FILE NO.

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APN: 612-37-016

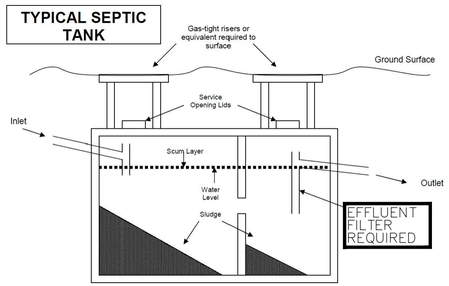
SHEET TITLE

GRADING SECTIONS

DATE FEBRUARY 18, 2015
SCALE AS SHOWN
DRAWN AEA
JOB 03-07

SHEET

G-4.1



Cement/concrete tanks must be used whenever possible.
Alternative materials are approved on a site-specific basis.
The Department of Environmental Health maintains a list of approved septic tanks.

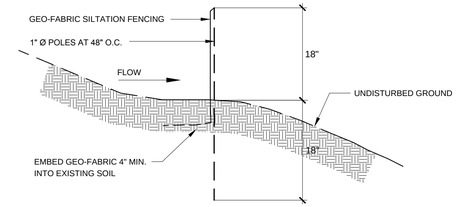
Septic tanks must be a minimum of 1500 gallons with two compartments. The first compartment must be two-thirds the total tank volume. The compartments must be separated by a baffle or equivalent arrangement.

Septic tanks must be watertight and constructed of reinforced concrete, heavyweight reinforced concrete blocks, or other materials approved by DEH. All interior surfaces must be coated with bitumastic or similar compound to minimize corrosion.

Access to each septic tank compartment must be provided by a manhole at least 20-inches in diameter and having a durable handle to facilitate removal.

A riser must extend from each manhole cover to or above the surface of the ground. The riser must be of a size larger than the manhole cover, be both gas- and water-tight, and be constructed of durable material.

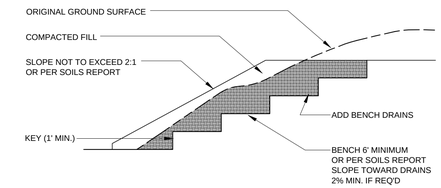
10 *SEPTIC TANK DETAIL* NTS



NOTE: IF DIKE IS CONSTRUCTED AT THE TOP OF SLOPE, PLACE IT 6' MINIMUM AWAY FROM THE SLOPE IF POSSIBLE.

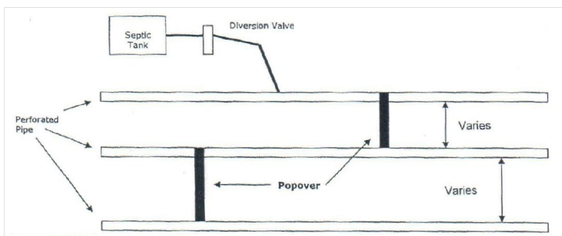
MAINTENANCE
- INSPECT WEEKLY AND AFTER EACH RAIN.
- REMOVE SEDIMENT BEHIND THE BARRIER WHEN IT REACHES A DEPTH OF 6 INCHES.

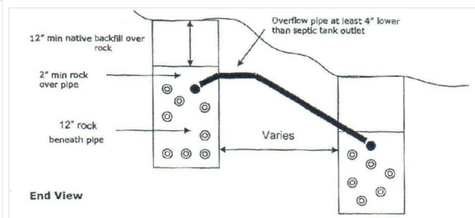
4 *EROSION CONTROL/SILT FENCE-OPTION* NTS



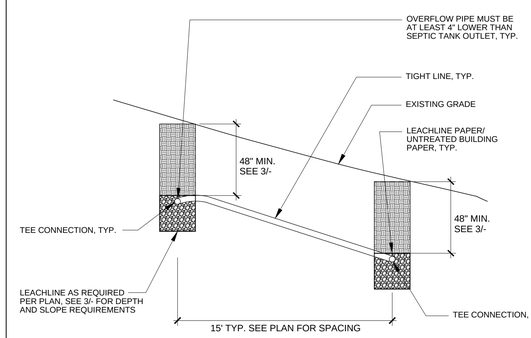
ADD SUBDRAINS AT THE DISCRETION OF THE GRADING OFFICIAL AND/OR GEOTECHNICAL ENGINEER, TYP.

1 *KEYING AND BENCHING* NTS



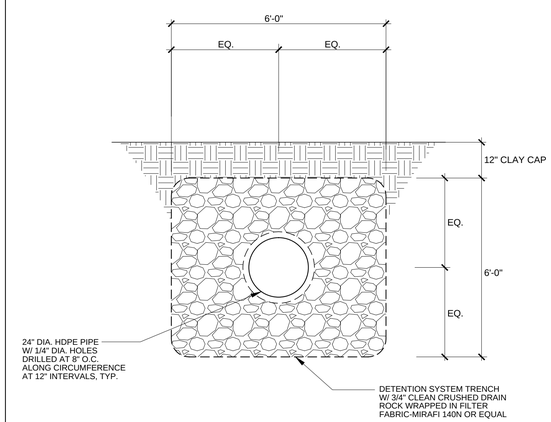


11 *DRAINFIELD SYSTEM ON HILLSIDE OR SLOPING LAND* NTS

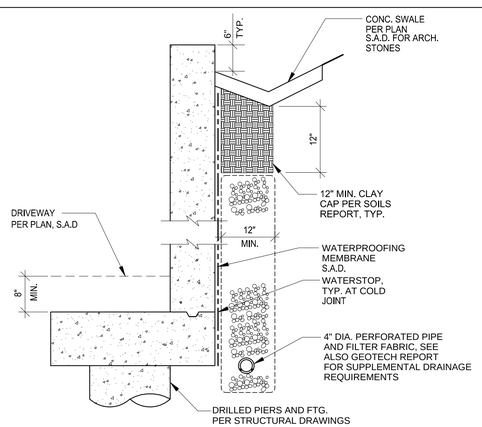


SEE DETAILS 3 AND 11/- FOR INFO. NOT SHOWN

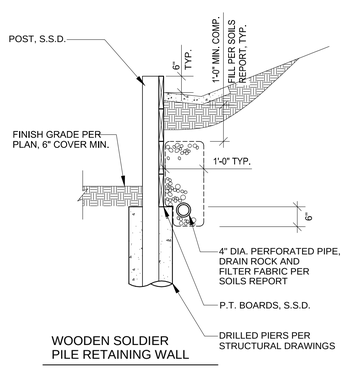
5 *DRAINFIELD POPOVER* NTS



2 *DISSIPATOR/DETENSION DETAIL* NTS



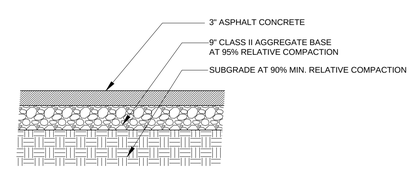
CONCRETE RETAINING WALL



WOODEN SOLDIER PILE RETAINING WALL

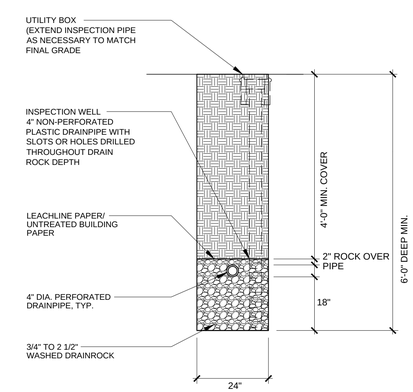
SEE ALSO GEOTECHNICAL REPORT FOR DRAINAGE RECOMMENDATIONS

12 *SITE RETAINING WALLS* NTS



ASPHALT CONCRETE

6 *ASPHALT CONCRETE AT DRIVEWAY* NTS



SEE DETAIL 5/- FOR DRAINFIELD POPOVER

3 *LEACHFIELD DRAINLINE DETAIL* NTS

APPLICANT: BANSAL ROAD NAME: CLAYTON ROAD COUNTY FILE NO.

STEVEN ARNOLD CIVIL ENGINEERING, INC.
492 PRINCE STREET
OAKLAND, CALIFORNIA 94610
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EMAIL arnoldengineering@comcast.net

REGISTERED PROFESSIONAL ENGINEER ANDREW E. ARNOLD NO. C 66537 Exp. 06-30-16 CIVIL STATE OF CALIFORNIA

MARK	REVISIONS	DATE
	DEH REVIEW	01/11/2010
	ARCH. CHANGES	06/18/2010
	REVIEW DRAWINGS	01/25/2013
	DRX/BSA/GS SUBMITTAL	04/10/2013
	COMMENTS DATED 06/13/2013	12/10/2013
	COMMENTS DATED 01/21/2014 EMAIL DATED 03/17/2014	08/13/2014
	COMMENTS DATED 09/22/2014	12/04/2014
	DEH EMAIL COMMENTS 01/20/2015	02/18/2015

PROJECT TITLE

NEW CUSTOM HOME
LANDS OF BANSAL
11391 CLAYTON ROAD
SAN JOSE, CALIFORNIA, 95127

APN: 612-37-016

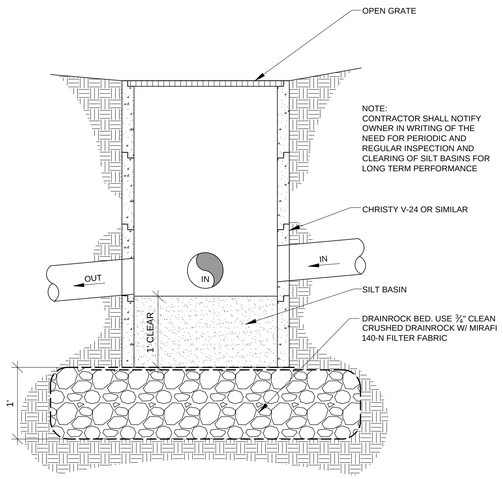
SHEET TITLE

GRADING DETAILS

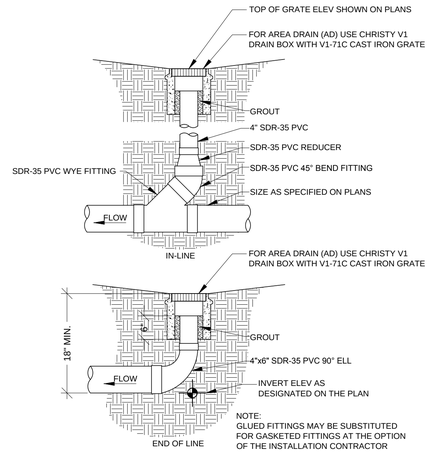
DATE FEBRUARY 18, 2015
SCALE AS SHOWN
DRAWN AEA
JOB 03-07

SHEET

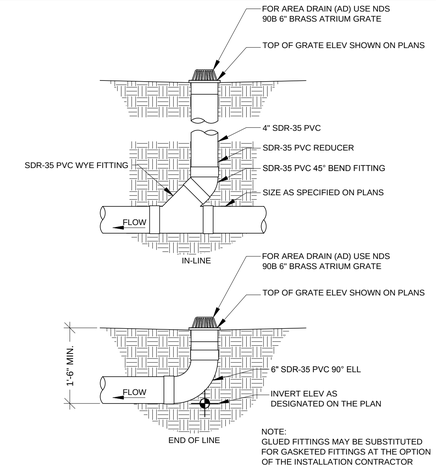
G-5



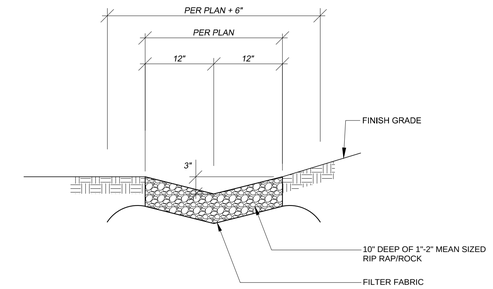
10 DRAIN INLET/SILT BASIN (V-64) NTS



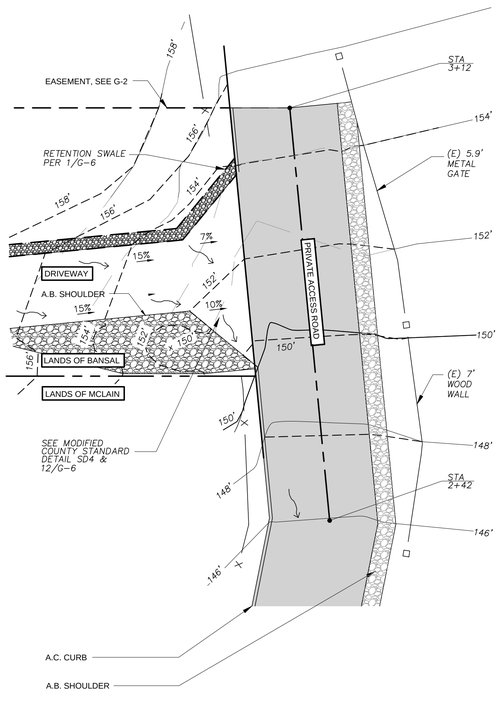
7 AREA DRAIN (V-1) NTS



4 AREA DRAIN (NDS-90B) NTS

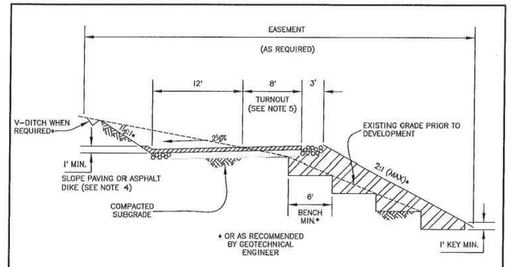


1 ROCK LINED INFILTRATION SWALE NTS



12 DRIVEWAY TO PRIVATE ROAD NTS

THE EXACT LAYOUT CANNOT BE CONSTRUCTED DUE TO THE EXISTING FIELD CONDITIONS AND ADJACENT PROPERTY RESTRAINTS, SEE DETAIL 12/- FOR PROPOSED DESIGN



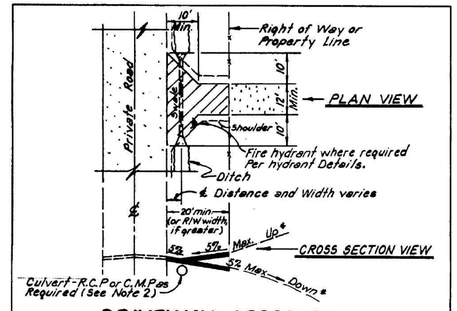
DRIVEWAY

NOTES

1. BASE & SURFACING – 2" ASPHALT ON 4" AGGREGATE BASE (MIN.) IS RECOMMENDED (REQUIRED WHERE GRADES ARE 15% OR MORE – SEE FIRE MARSHAL STANDARDS.)
2. PROVIDE 8' OF ADDITIONAL DRIVEWAY WIDTH WHERE NEEDED FOR OFFSTREET PARKING (SEE SECTION ON HILLSIDE SUBDIVISION STANDARDS.)
3. RETAINING WALLS MAY BE SUBSTITUTED FOR SLOPES ABOVE OR BELOW ROAD SURFACE WITH APPROPRIATE GUARD RAILS AND REFLECTORS.
4. SLOPE PAVING (OR DIKE) MAY BE DELETED IN FLAT LAND CONDITIONS OR WHERE EROSION PROTECTIONS IS NOT NEEDED. (SEE SD8 FOR DETERMINING DITCH LINING REQUIREMENTS.)
5. TURNOUTS TO HAVE THE SAME STRUCTURAL SECTION AS DRIVEWAY. TURNOUT GEOMETRIES TO BE CONSISTENT WITH FIRE MARSHAL STANDARDS.

APPROVED: DATE: 6/27/2012 MANAGER LAND DEVELOPMENT ENGINEERING	COUNTY OF SANTA CLARA DEVELOPMENT SERVICES OFFICE	
NO. / REVISION / DATE	DRIVEWAY	SD 5

9 COUNTY STANDARD DETAIL-SD5 NTS



DRIVEWAY APPROACH
Connection to Private Road

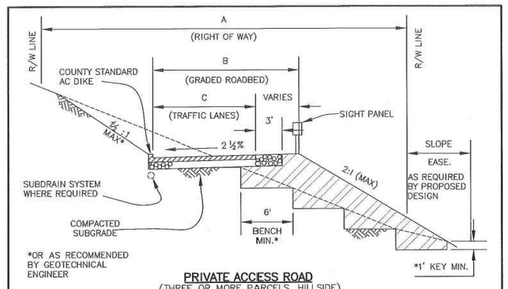
* Maximum grade as per Fire Marshal

NOTES

(1) Culvert plus swale shall accommodate maximum flow. Minimum culvert size to be 12". Culvert shall extend 1' beyond each toe of shoulder. Provide headwalls and/or rip-rap as required. C.M.P. to be not less than 14 gauge.
(2) Culvert may be omitted where no roadside ditch exists with written approval of County Surveyor.
(3) Driveway approach base & paving to be same as or better than ultimate private road base & pavement.
(4) See Driveway section (this manual) for more information.

Approved: Date: Director / County Surveyor Land Dev., Engineering & Surveying	COUNTY OF SANTA CLARA ENVIRONMENTAL MANAGEMENT / GENERAL SERVICES AGENCY	
No. / Revision / Date	DRIVEWAY APPROACH (PRIVATE ROAD)	SD 4

6 COUNTY STANDARD DETAIL-SD4 NTS



PRIVATE ACCESS ROAD
(THREE OR MORE PARCELS, HILLSIDE)
(SIDE SLOPE 10% OR GREATER)

TYPE OF ROAD	MINIMUMS A	B	C
ONE-WAY LOOP (TURNAROUNDS AS SPECIFIED)	40'	18'	12'
3 LOTS (ULTIMATE DEVELOPMENT)	40'	24'	18'
4 OR MORE LOTS (ULTIMATE DEVELOPMENT)	60'	30' OR 36'	18'
HALF-ROAD (INITIAL CONSTRUCTION)	40'	24'	18'
EMERGENCY ACCESS ROAD (WITH TURNOUTS)	20'	15'	12'

NOTES

1. ROADS SERVING 4 OR MORE LOTS ARE TO BE DESIGNED FOR FUTURE UPGRADING TO COUNTY MAINTAINED ROAD STANDARDS UNLESS EXEMPTED BY LAND DEVELOPMENT ENGINEERING.
2. BASE & SURFACING – 2 ½" ASPHALT ON 4" AGGREGATE BASE, EXCEPT AS OTHERWISE SPECIFIED BY LAND DEVELOPMENT ENGINEERING.
3. ASPHALT DIKE, MAY BE DELETED WHERE EROSION PROTECTION IS NOT NEEDED. (SEE SD8 FOR DETERMINING DITCH LINING REQUIREMENTS.)
4. SEE SECTION OF MANUAL ENTITLED "POLICIES & STANDARDS FOR ROADS" FOR FURTHER DESIGN AND CONSTRUCTION INFORMATION.
5. BENCHING MAY BE DELETED WHERE CROSS SECTION IS LESS THAN 20%.

APPROVED: DATE: 10/25/2013 MANAGER LAND DEVELOPMENT ENGINEERING	COUNTY OF SANTA CLARA DEPARTMENT OF PLANNING AND DEVELOPMENT LAND DEVELOPMENT ENGINEERING	
NO. / REVISION / DATE	PRIVATE ACCESS ROAD (HILLSIDE CONDITIONS)	SD 2

3 COUNTY STANDARD DETAIL-SD2 NTS

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MARK	REVISIONS	DATE
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DATE FEBRUARY 18, 2015

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JOB 03-07

SHEET

G-6

APPLICANT: BANSAL

ROAD NAME: CLAYTON ROAD

COUNTY FILE NO.