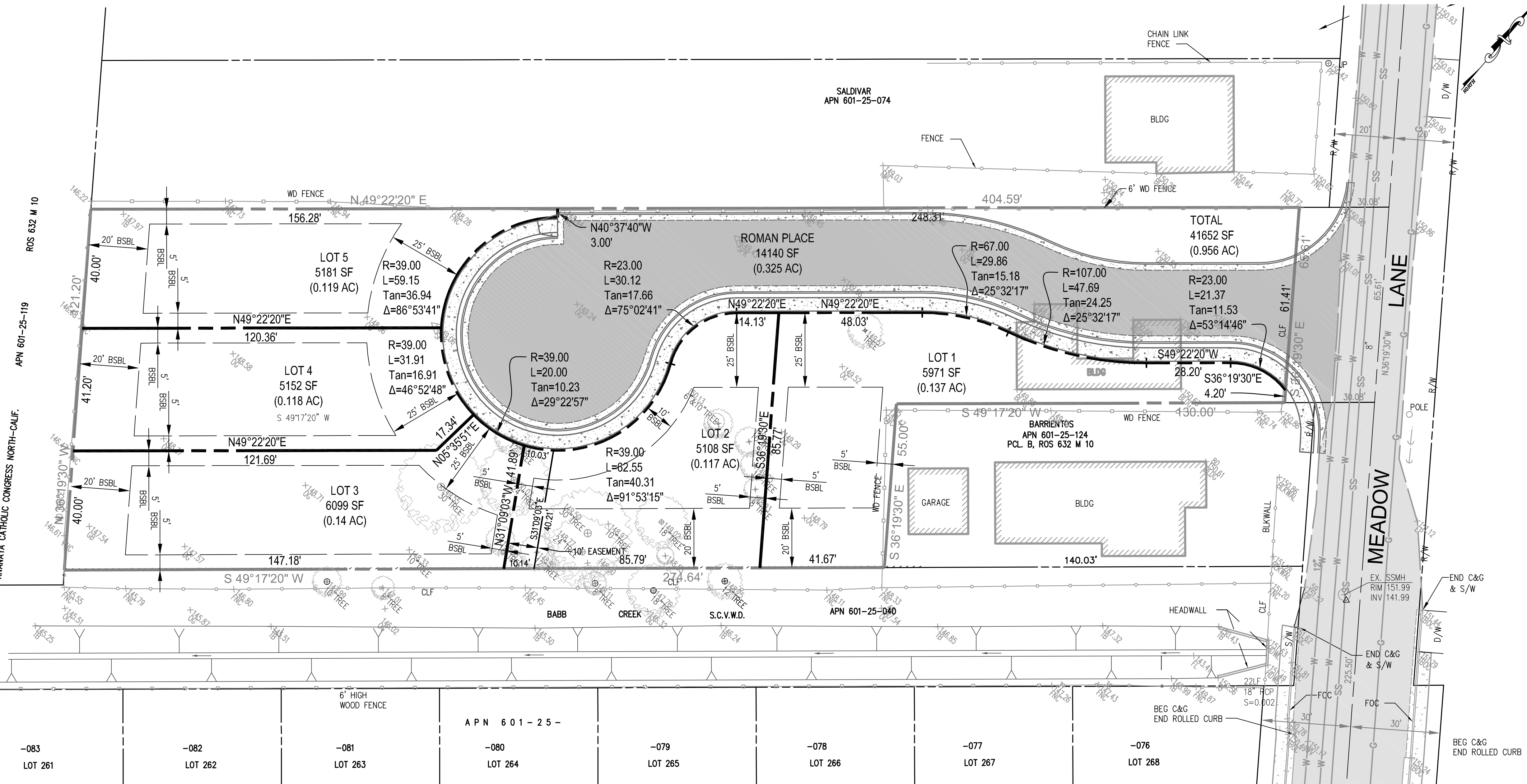
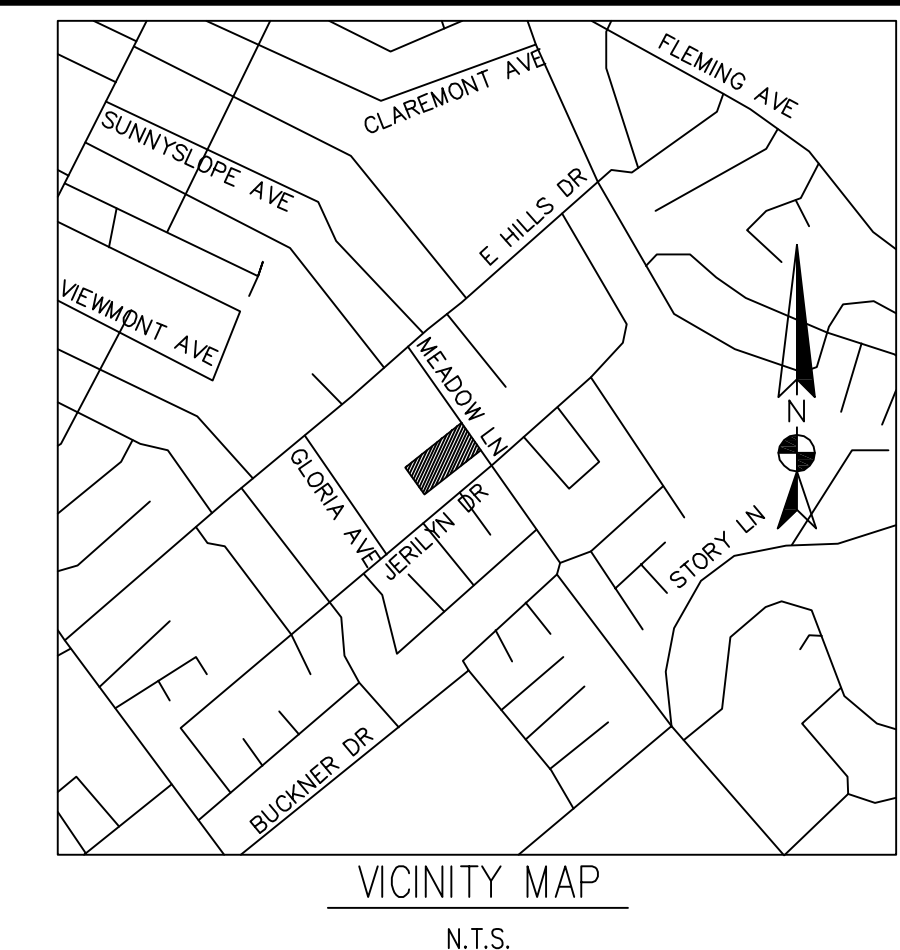
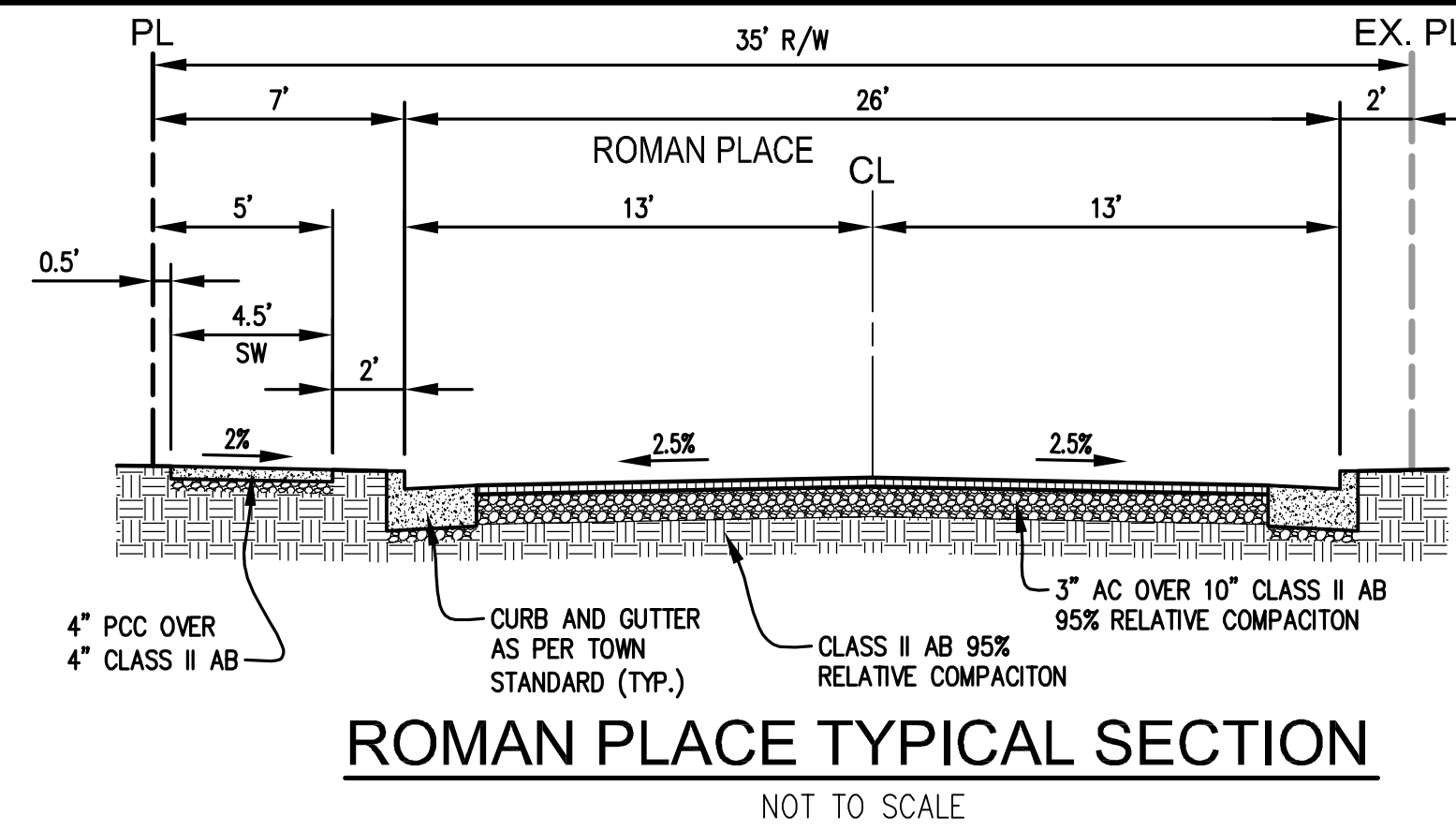


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LEGEND

DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	---	---
ADJACENT PROPERTY LINE	---	---
STREET CENTER LINE	---	---
BUILDING SETBACK LINES	---	---
EASEMENT	---	---
DIRT ROAD	---	---
ROAD/PAVEMENT	---	---
CURB	---	---
CURB AND GUTTER	---	---
CONCRETE	---	---
CONTOUR MAJOR	530	530
CONTOUR MINOR	534	534
DAYLIGHT LINE	---	---
BLOCK RETAINING WALL	---	---
ROCK RETAINING WALL	---	---
DRIVEWAY	---	---
BUILDING	---	---
BUILDING 2nd FLOOR	---	---

DESCRIPTION	EXISTING	PROPOSED
AC BERM	---	---
TOP OF BANK	---	---
TOE OF BANK	---	---
WIRE FENCE	---	---
CHAIN LINK FENCE	---	---
WOOD FENCE	---	---
SANITARY SEWER LINE	SS	SS
PERFORATED SEPTIC LINE	P	P
ELECTRIC LINE	E	E
GAS LINE	G	G
STORM DRAIN LINE	W	W
WATER LINE	W	W
OVERHEAD WIRE	OH	OH
SWALE/FLOWLINE	---	---
PROP. GRASSY SWALE	---	---



TENTATIVE MAP NOTES

OWNER AND SUBDIVIDER: MOJEY GHAFOURI
18461 HILLVIEW DR.
LOS GATOS, CA 95030
(408) 781-0959
mojey@coldwellbanker.com

CIVIL ENGINEER: TERENCE J SZEWCZYK, P.E.
TS/CIVIL ENGINEERING INC
1776 TECHNOLOGY DR.
SAN JOSE, CA 95110
(408) 316-2696
terry@tscivil.com

APN: 601-25-108

GROSS AREA: 41,652 SF (0.956 AC)
PRIVATE STREET AREA: 14,140 SF (0.325 AC)
AREA TO LOTS: 27,511 SF (0.632 AC)
AVERAGE LOT SIZE: 5,502 SF (0.126 AC)

EXISTING ZONING: R1 (COUNTY)
PROPOSED ZONING: R1 (COUNTY)

EXISTING CITY OF SAN JOSE GENERAL PLAN DESIGNATION: MEDIUM DENSITY RESIDENTIAL 8 DU/AC

ALLOWABLE UNITS COUNTY: 5.7 UNITS (5,000 SF MIN LOT SIZE)
CITY: 5.4 UNITS (5,445 SF = 8 DUNET AC)

UNITS PROPOSED: 5.0 UNITS
ACTUAL NET DENSITY: 7.2 DU/NET AC

WATER SUPPLY: SAN JOSE WATER COMPANY
GAS & ELECTRIC: PG&E

NOTES:

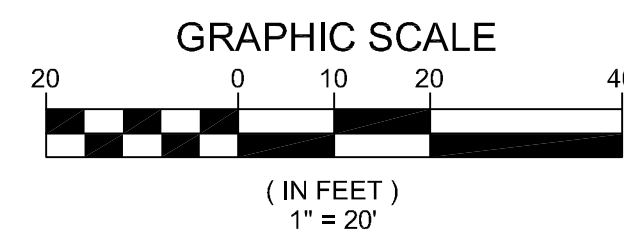
- INITIAL 35' R/W TO BE PRIVATE STREET UNDER COUNTY STANDARDS. BUT BUILT TO SAN JOSE PUBLIC WORKS STDS.
- NO STREET PARKING ALLOWED ON ONE SIDE.

STATEMENT OF DEDICATION AND IMPROVEMENTS:

- NEW PRIVATE STREET DEDICATION.
- PUBLIC OVERLAND SURFACE RELEASE ESMT
- PUE'S AS NEEDED.
- NEW PUBLIC FACILITIES - JOINT TRENCH, WATER MAIN, SEWER MAIN, STORM DRAIN, PUBLIC STREET CURB & GUTTER, SIDEWALK (ON MEADOW LANE FRONTAGE AND WITHIN NEW PRIVATE STREET)

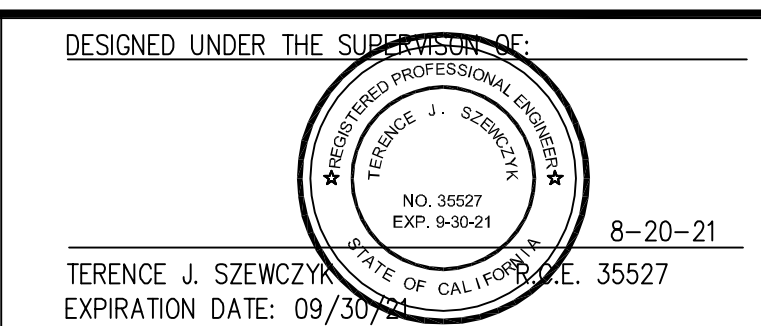
AREA CHART

LOT 1	5,971 SF	(0.137 AC)
LOT 2	5,108 SF	(0.117 AC)
LOT 3	6,099 SF	(0.140 AC)
LOT 4	5,152 SF	(0.118 AC)
LOT 5	5,181 SF	(0.119 AC)
ROMAN PLACE DEDICATION	14,140 SF	(0.325 AC)
TOTAL	41,652 SF	(0.956 AC)



BASIS OF BEARING:
THE BASIS OF BEARINGS FOR THIS SURVEY WAS TAKEN AS N36°17'31"W ALONG THE CENTERLINE OF MEADOW LANE AS SHOWN ON THAT MAP RECORDED IN VOLUME 652 OF MAPS AT PAGE 10, SANTA CLARA COUNTY RECORDS.

BENCHMARK:
THE BENCHMARK FOR THIS SURVEY WAS A PK NAIL SET IN MEADOW LANE NEAR THE NORTHEAST PROPERTY CORNER. ASSUMED ELEVATION=99.85'



NO.	BY	REVISIONS	DATE
6			
5			
4			
3			
2			
1			

TS CIVIL ENGINEERING
TS CIVIL ENGINEERING, INC.
1776 TECHNOLOGY DRIVE
SAN JOSE, CA 95110
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5 LOT SUBDIVISION
LANDS OF ANTCAK & NIWINSKI

TENTATIVE MAP
379 MEADOW LANE
UNINCORPORATED SAN JOSE, CA
APN: 601-25-108

DATE: 8-20-21	SHEET NO.
SCALE: 1"=20'	C-1
DRAWN BY: DKH	OF 1 SHEET
SURVEYED BY:	JOB NO.
PROJ ENGR: TJS	21-219
CHECK BY: TJS	

08/20/2021 5:18pm N:\2021\065\21-219\DWG\21-219 C1 TENTATIVE MAP.dwg - C1