



16391 AZTEC RIDGE DR, SANTA CLARA COUNTY, CA 95030

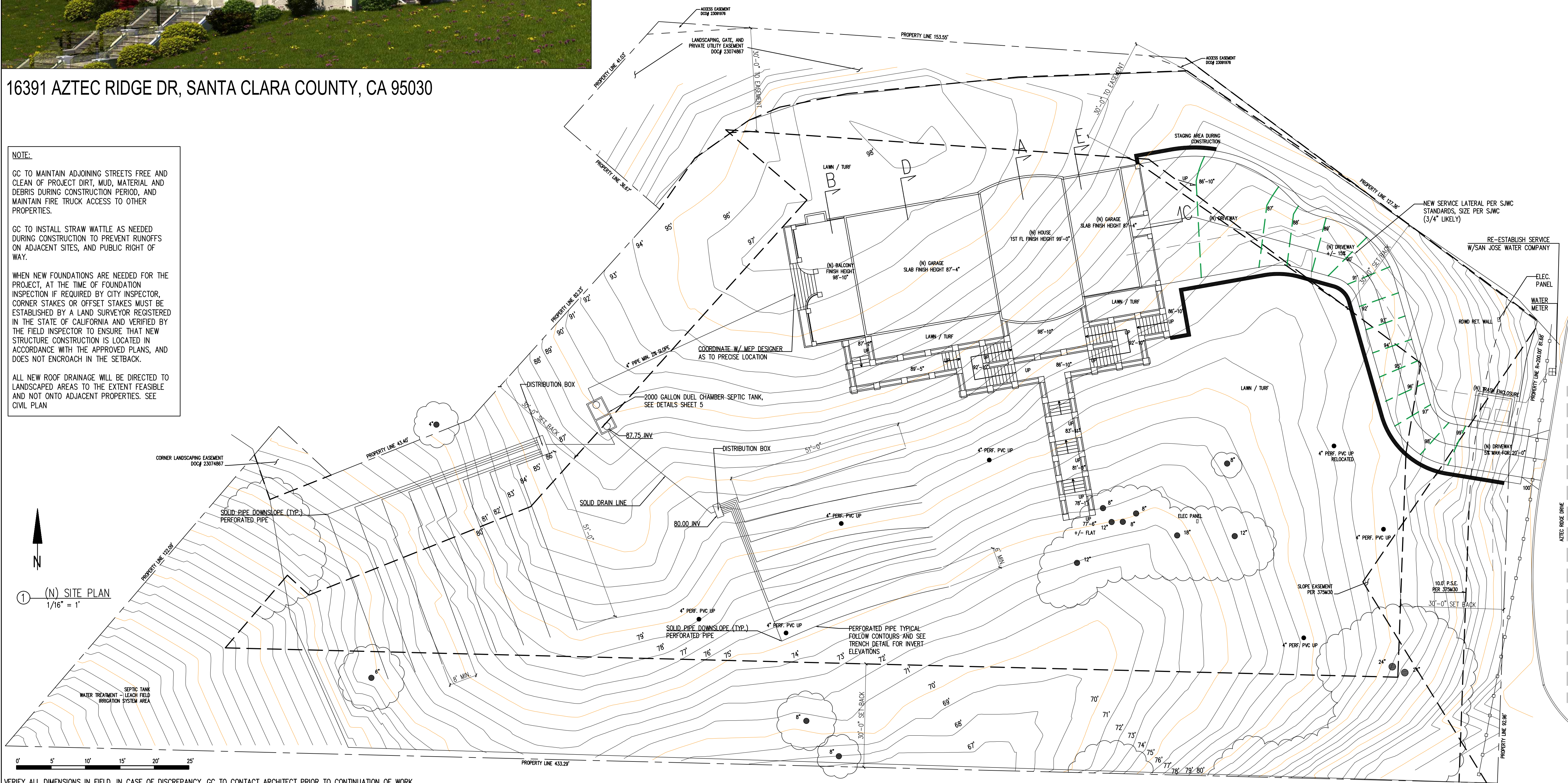
NOTE:

GC TO MAINTAIN ADJOINING STREETS FREE AND CLEAN OF PROJECT DIRT, MUD, MATERIAL AND DEBRIS DURING CONSTRUCTION PERIOD, AND MAINTAIN FIRE TRUCK ACCESS TO OTHER PROPERTIES.

GC TO INSTALL STRAW WATTLE AS NEEDED DURING CONSTRUCTION TO PREVENT RUNOFFS ON ADJACENT SITES, AND PUBLIC RIGHT OF WAY.

WHEN NEW FOUNDATIONS ARE NEEDED FOR THE PROJECT, AT THE TIME OF FOUNDATION INSPECTION IF REQUIRED BY CITY INSPECTOR, CORNER STAKES OR OFFSET STAKES MUST BE ESTABLISHED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA AND VERIFIED BY THE FIELD INSPECTOR TO ENSURE THAT NEW STRUCTURE CONSTRUCTION IS LOCATED IN ACCORDANCE WITH THE APPROVED PLANS, AND DOES NOT ENCRROACH IN THE SETBACK.

ALL NEW ROOF DRAINAGE WILL BE DIRECTED TO LANDSCAPED AREAS TO THE EXTENT FEASIBLE AND NOT ONTO ADJACENT PROPERTIES. SEE CIVIL PLAN



VERIFY ALL DIMENSIONS IN FIELD, IN CASE OF DISCREPANCY, GC TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.

CONTRACTOR'S NOTES:

- CONTRACTOR SHALL BE FULLY INSURED AND LICENSED IN THE STATE WHERE WORK IS TAKING PLACE.
- THE CONTRACTOR SHALL NOT ORDER MATERIALS NOR SCHEDULE THE WORK UNTIL ALL PLAN DIMENSIONS, SPECIFICATIONS, NOTES, HAVE BEEN VERIFIED IN FIELD.
- DRAWINGS, SHOP DRAWINGS AND EXISTING CONDITIONS ARE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR. THE GC SHALL INFORM THE ARCHITECT OF ANY CONFLICTS IN WRITING BEFORE CONSTRUCTION COMMENCES. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS BEST AS PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY.
- IT IS THE RESPONSIBILITY OF THE GC TO NOTIFY THE OWNER AND THE ARCHITECT OF RECORD OF ANY CONDITION FOUND IN THE FIELD TO BE DIFFERENT FROM THOSE SHOWN ON THE PLANS OR SHOP DRAWINGS AND OF NOTED CONFLICTS FOUND ON THE PLANS OR SHOW ON DRAWINGS THAT MAY AFFECT THE COMPLETION OF THE PROJECT, BEFORE SUCH WORK COMMENCES.
- THE GC SHALL REVIEW AND COMPARE THE STRUCTURAL DRAWINGS WITH ARCHITECTURAL, PLUMBING, MECHANICAL, CIVIL, AND ELECTRICAL DRAWINGS, AS PROVIDED IN PERMIT SET.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD PRIOR TO POURING CONCRETE. ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING AND NEW PROPERTIES OF THE OWNER OR ADJOINING PROPERTIES. THE CONTRACTOR SHALL NOT UNDERMINE FOUNDATIONS WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES AND SEQUENCES OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PROGRAMS AND PROCEDURES DURING CONSTRUCTION, INCLUDED BUT LIMITED TO POLLUTION PREVENTION PLAN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DESIGN AND IMPLEMENT SHORING SYSTEM PRIOR TO THE BEGINNING OF CONSTRUCTION.

- WHEN A CONFLICT EXISTS ON THE PLANS AND SPECIFICATIONS, DETAIL NOTES AND DRAWINGS SHALL GOVERN AND WRITTEN DIMENSIONS SHALL GOVERN OVER SCALED MEASUREMENTS.
- UNLESS SHOWN OTHERWISE, DETAILS SHOWN ON TYPICAL DETAIL SHEETS SHALL BE USED WHEREVER APPLICABLE. SPECIFIC DETAILS ON THE STRUCTURAL DRAWINGS TAKE PRECEDENCE OVER 'TYPICAL DETAILS'. SPECIFIC NOTES ON STRUCTURAL DRAWINGS TAKE PRECEDENCE OVER NOTES SHOWN IN 'GENERAL NOTES'.
- MANUFACTURERS' NOTES AND SPECIFICATIONS SHALL APPLY WHEN PER CODE.
- DO NOT SCALE DRAWINGS.
- GC IS RESPONSIBLE FOR LOCATING AND AVOIDING UTILITIES. CALL USA NORTH AT 1-800-227-2800.
- VERIFY ALL DIMENSIONS IN FIELD. IN CASE OF DISCREPANCY CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.
- THE ISSUANCE OF A BUILDING PERMIT SHALL NOT BE CONSIDERED AS A GUARANTEE THAT ALL OF CODE REQUIREMENTS ARE REFLECTED IN THE DOCUMENT. THE

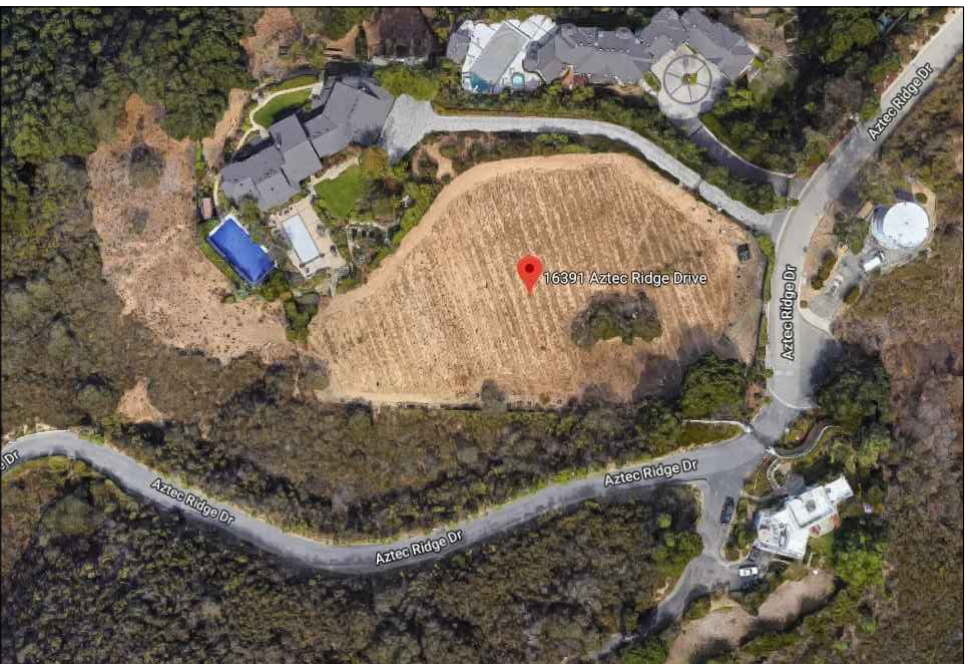
GENERAL CONTRACTOR FOR THE PROJECT SHALL BE ULTIMATELY RESPONSIBLE FOR INSURING THAT THE FINISHED PRODUCT COMPLIES WITH ALL REGULATIONS, LAWS AND CODE REQUIREMENTS.

WHEN MANUFACTURED ROOF TRUSSES ARE INSTALLED, GC TO PROVIDE TRUSSES CALCS SIGNED BY LICENCE PROFESSIONAL FOR APPROVAL BY CITY OR COUNTY. CALC TO BE REVIEWED AND APPROVED BY ENGINEER OF RECORD PRIOR TO BE SUBMITTED TO THE BUILDING OFFICIAL.

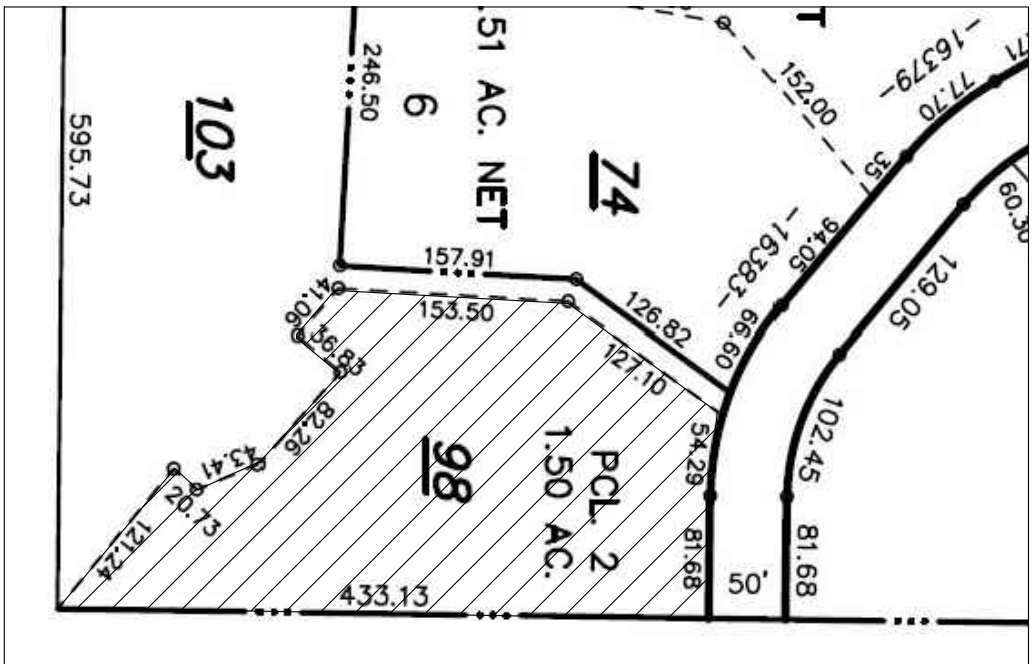
THE CITY/COUNTY BUILDING OFFICIAL AND/OR FIRE MARSHALL WILL REVIEW THE SCOPE OF WORK AND DETERMINE IF THE EXISTING BUILDING WILL NEED TO BE REQUIRED TO BE RETROFITTED WITH FIRE SPRINKLERS. GC TO CONTACT FIRE DEPARTMENT FOR VERIFICATION, AND UPGRADE WATER METER, LINES AS NECESSARY. IF REQUIRED, FIRE SPRINKLER SYSTEM TO BE ON DEFERRED PERMIT AND SUBMITTED BY THE GC.

GC TO READ, BE FAMILIAR AND FOLLOW ALL STANDARD PROVISIONS, CONSTRUCTION GUIDE LINES AND REQUIREMENTS OF LISTED, CURRENTLY APPLICABLE CODES AND ORDINANCE.

16391 AZTEC RIDGE DR, SANTA CLARA COUNTY, CA 95030



VICINITY MAP



ASSESSOR'S MAP

GENERAL SYMBOLS

- ALL DIMENSIONS
- (E) WALL
- REMOVED WALL
- (N) WALL
- SHEAR WALL

APPLICABLE CODES & STANDARDS

CITY / COUNTY CODES AND ORDINANCES
CALIFORNIA BUILDING CODE 2016
CALIFORNIA RESIDENTIAL CODE 2016
CALIFORNIA PLUMBING CODE 2016
CALIFORNIA MECHANICAL CODE 2016
CALIFORNIA ELECTRICAL CODE 2016
CALIFORNIA GREEN BUILDING CODE 2016
CALIFORNIA ENERGY CODE 2016
CALIFORNIA FIRE CODE 2016
2016 EDITION OF THE TITLE 24 STANDARDS

ARCHITECT:

ROMAIN CURTIS
LICENSE #C35019
367 CIVIC DR #3, PLEASANT HILL, CA 94523
510.612.0345
romain@designeverest.com

OWNER:

MR ALEXANDER LUBIVY

PROJECT DATA

OCCUPANCY: R-3 / U
CONSTRUCTION TYPE: VB
FIRE SPRINKLERS: YES
STORIES: 2 + GARAGE
APN: 532-26-098
FLOOD ZONE: D
ZONING: R1E-2.5s-d1
NET SITE AREA: 65,290 SF

(N) GARAGE: 3,776 SF
(N) 1ST FLOOR: 3,023 SF
(N) 2ND FLOOR: 3,050 SF
(N) 1ST FLOOR BALCONIES: 212 SF
(N) 1SF FLOOR PORCH: 541 SF
(N) 2ND FLOOR BALCONIES: 698 SF

(N) TOTAL CONDITIONED SPACE: 6,073 SF
(N) FOOT PRINT: 3,776 SF
(N) GROSS ARE (W/ GARAGE): 9,849 SF

(N) LOT COVERAGE: 5.8 %
(N) FAR: 9.3 %

SCOPE OF WORK

NEW 6,073 SF HOME WITH A 3,776 SF GARAGE.
NEW DRIVEWAY
NEW SEPTIC SYSTEM

SHEET INDEX

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NOTES:

- ALL PERMITS EXCEEDING \$1,000,000 IN VALUATION SHALL REQUIRE INSTALLATION OF APPROVED SMOKE AND CARBON MONOXIDE DETECTORS WITHIN THE DWELLING.
- ALL PERMITS EXCEEDING \$10,000.00 IN VALUATION SHALL REQUIRE THE INSTALLATION OF AN APPROVED AUTOMATIC GAS SHUT-OFF DEVICE ON THE CUSTOMER OWNED PIPING AT THE UTILITY METER.
- VE & INSTALL A MOTION SENSITIVE AUTOMATIC GAS SHUTOFF VALVE ON GAS METER WHEN REQUIRED
- BUILDING ADDRESS NUMBERS MUST BE A MINIMUM OF 4 INCHES IN HEIGHT OR 3 INCHES IN HEIGHT AND SELF-ILLUMINATED.
- CARBON MONOXIDE ALARM AND DETECTOR SHALL BE INSTALLED IN ACCORDANCE W/ THE MANUFACTURER'S INSTRUCTIONS, NFPA 720 INSTALLATION STANDARDS AND CRC.
- ALL SMOKE ALARMS SHALL BE 110V CONNECTED TO THE BUILDING WIRING (W/ BATTERY BACKUP INCLUDING LOW BATTERY WARNING FEATURE)
- ALL SMOKE ALARMS TO BE INTERCONNECTED.

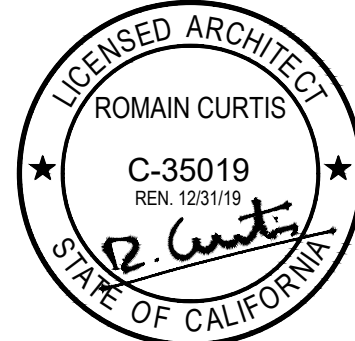
REVISIONS

1	
2	
3	

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CONSULTING ENGINEERS



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NEW HOME
16391 AZTEC RIDGE DR,
SANTA CLARA COUNTY

SITE PLAN
PROJECT DATA

DRAWN BY

PLG

DE JOB #

201810052

ISSUE DATE

10/28/2019

SCALE

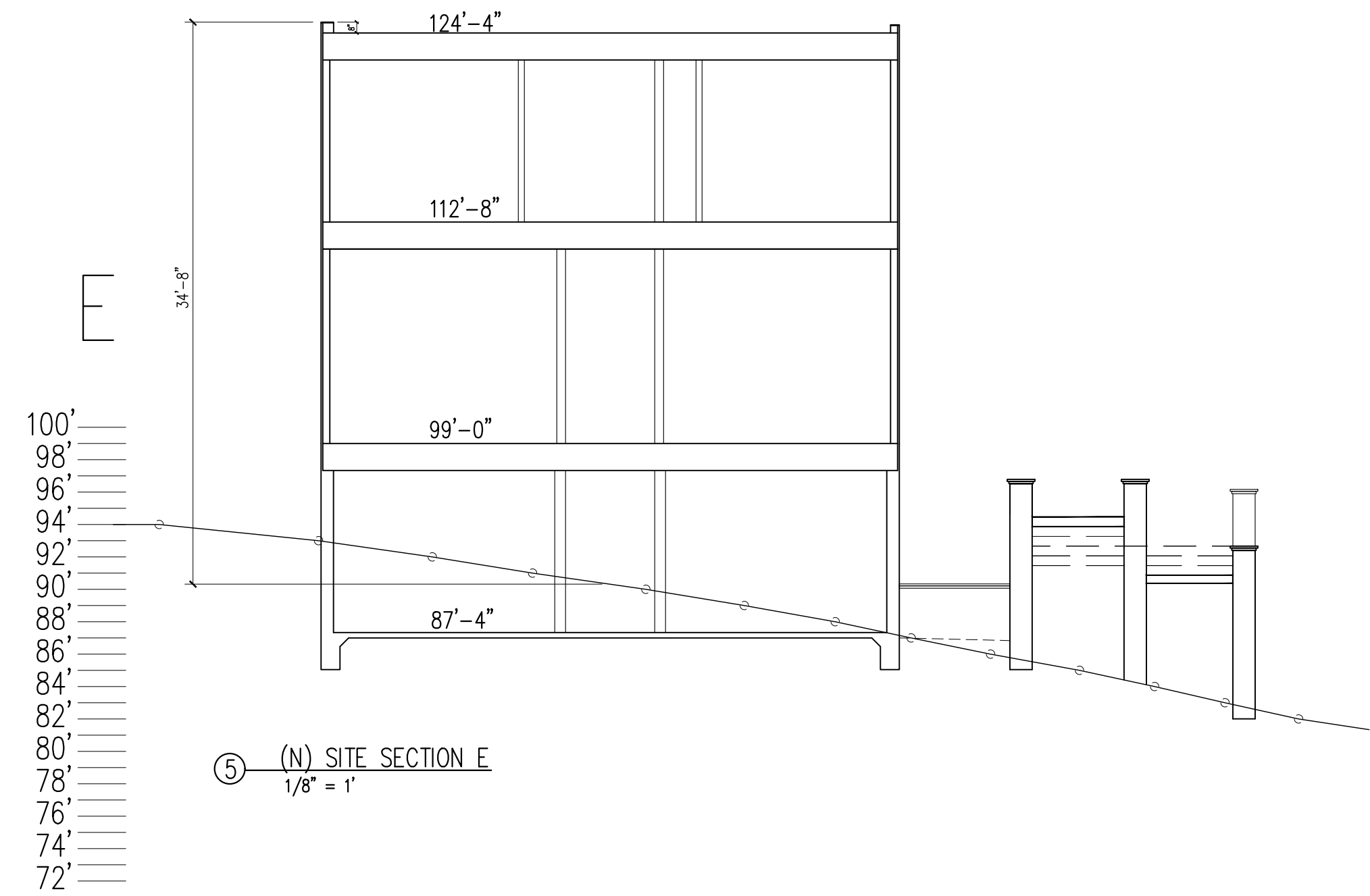
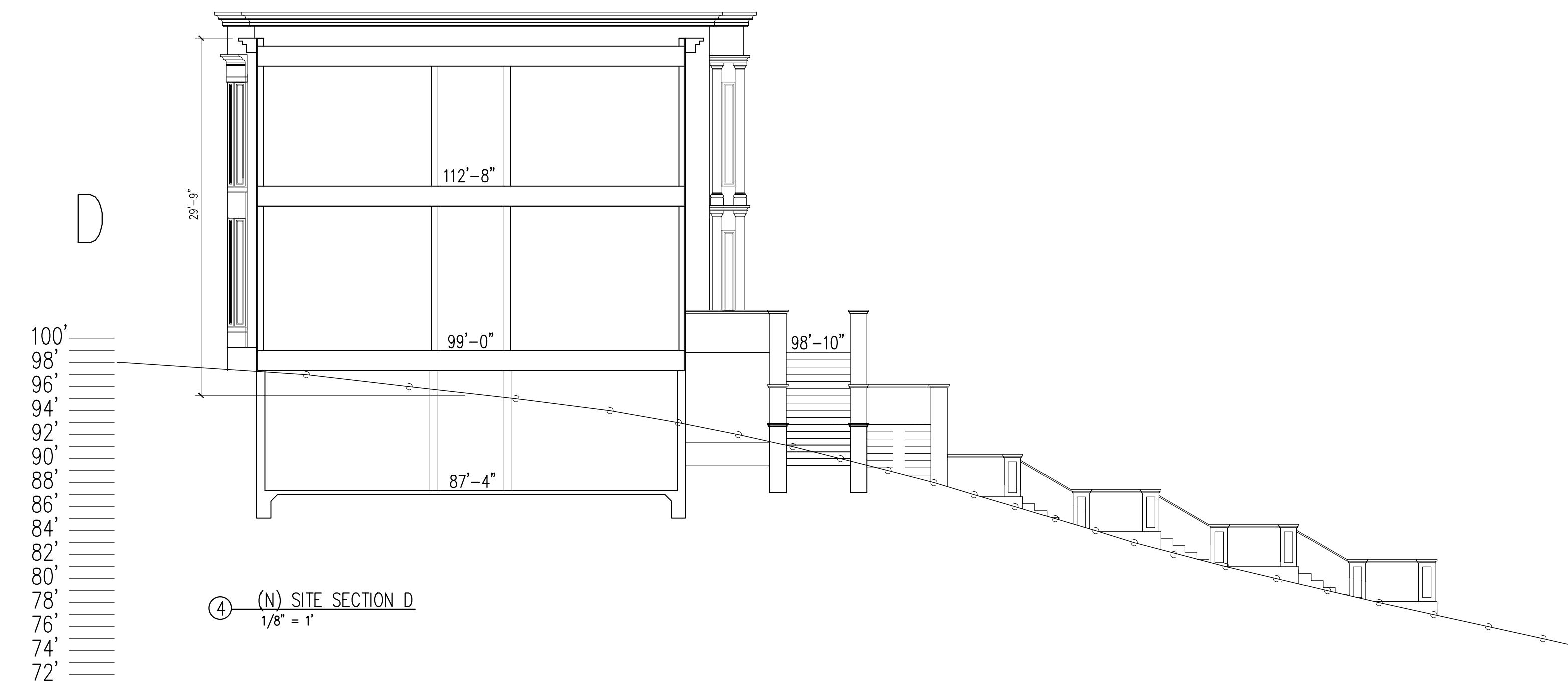
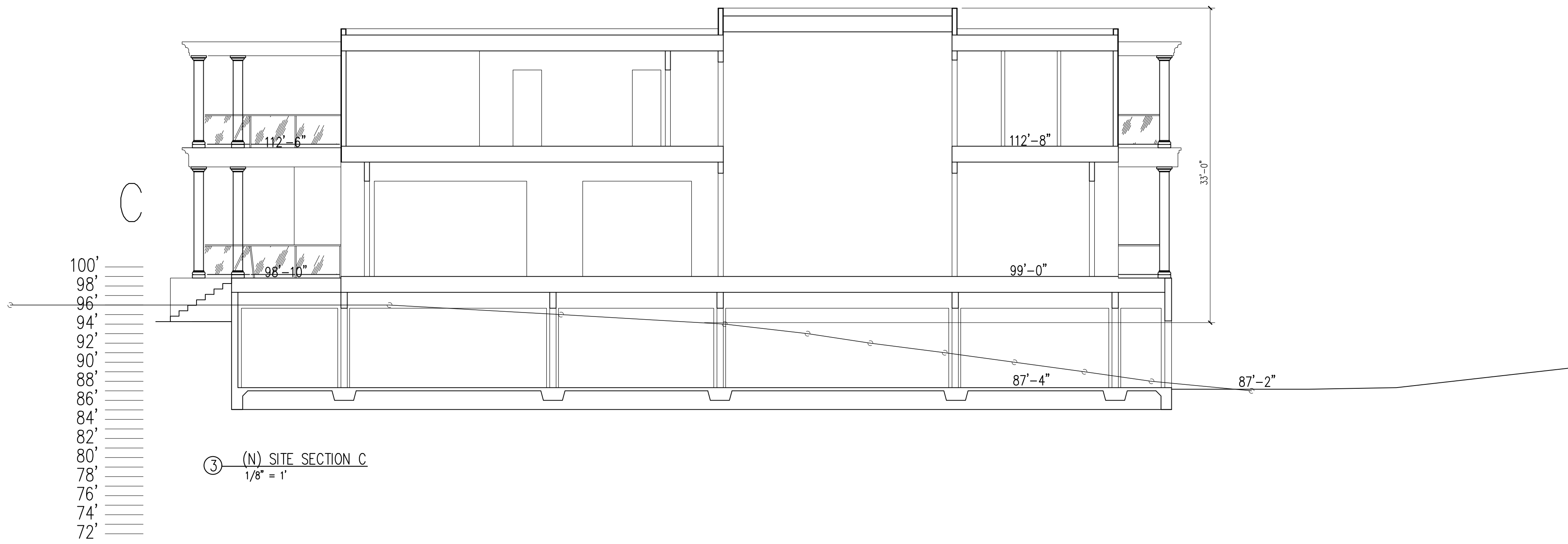
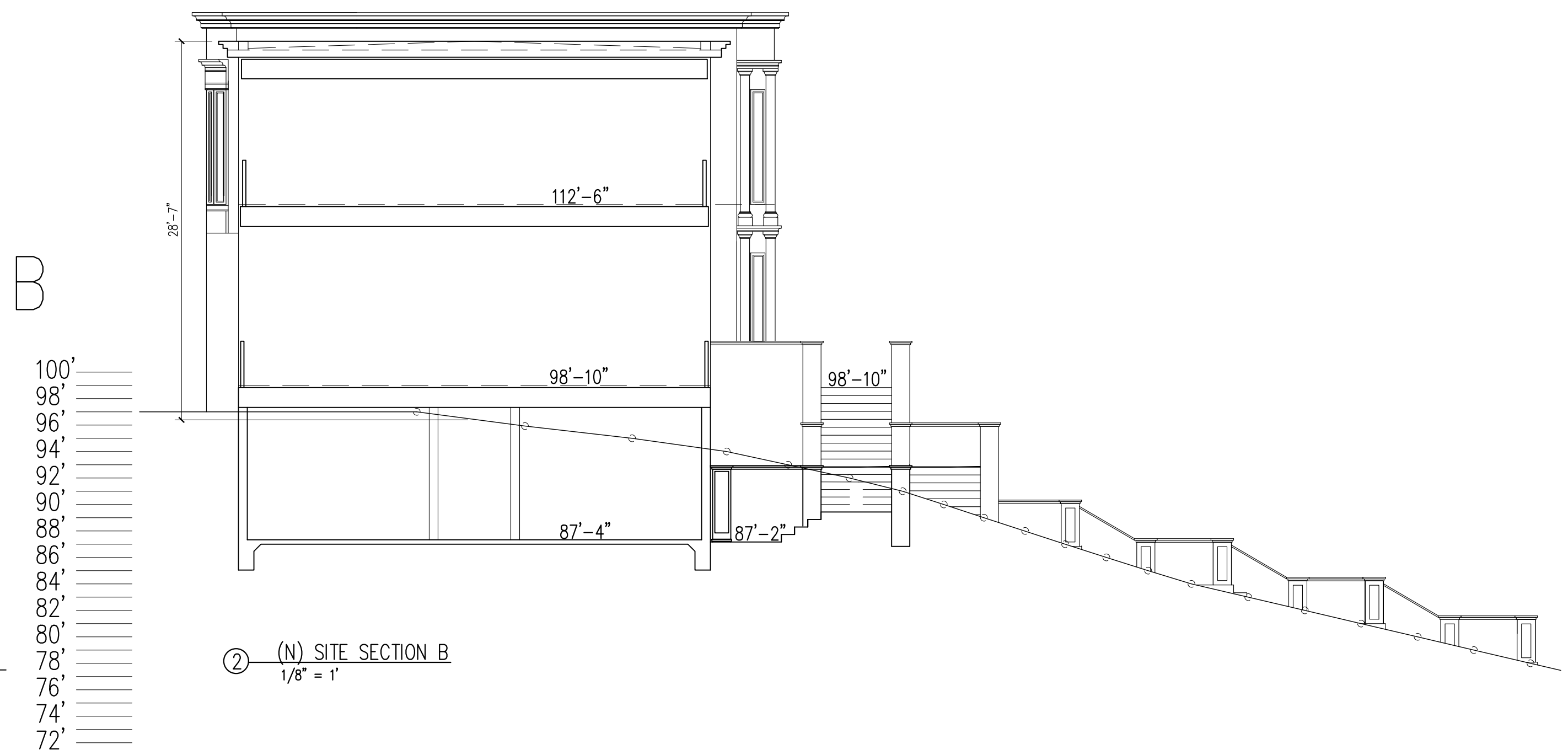
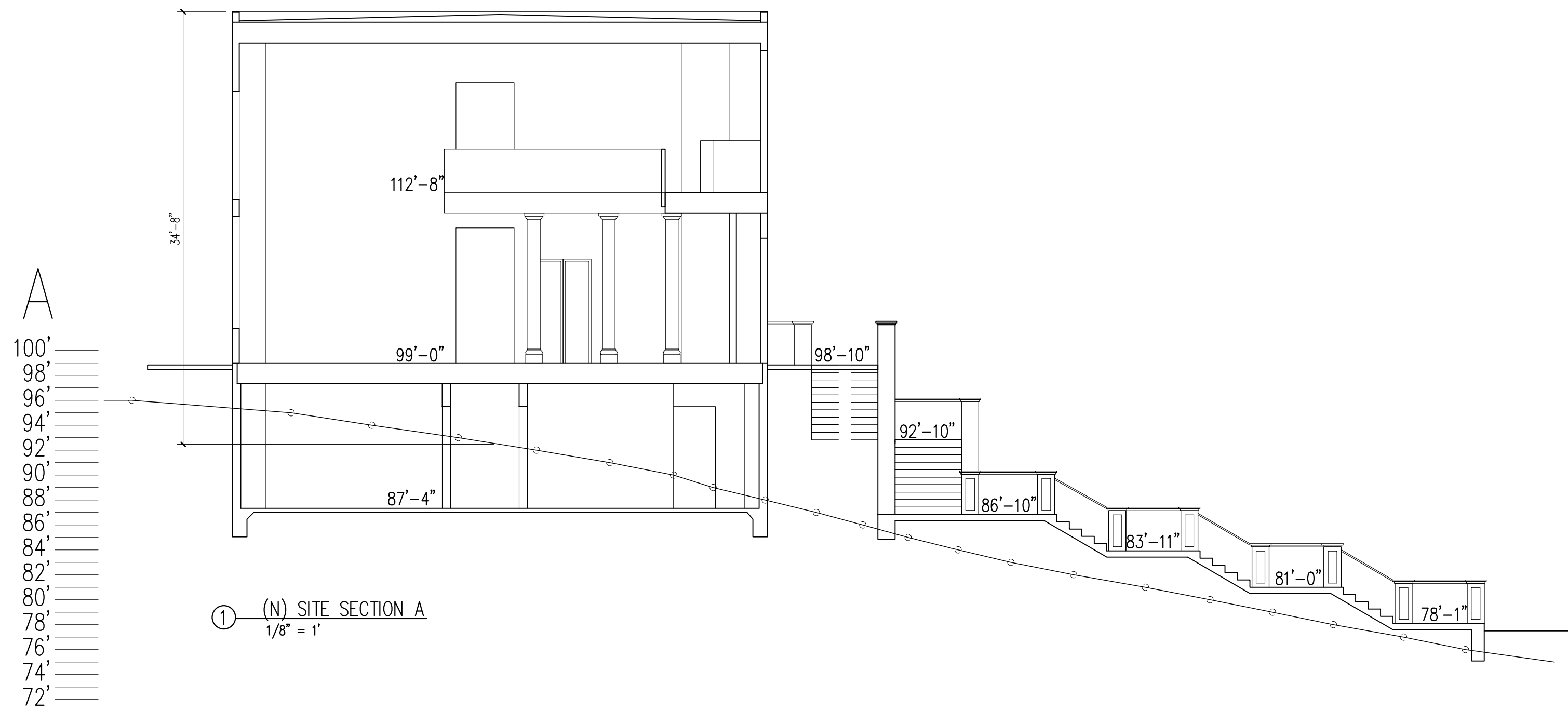
1/16"=1'-0"

JOB NO

DE-295

SHEET

A-1a

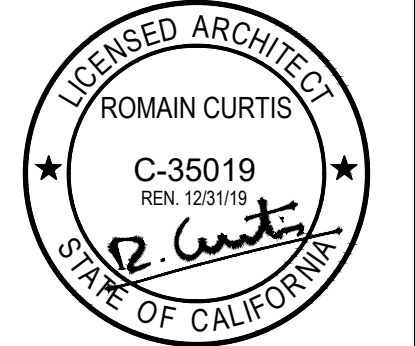


REVISIONS

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3	

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NEW HOME
16391 AZTEC RIDGE DR,
SANTA CLARA COUNTY

SITE SECTIONS

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SCALE

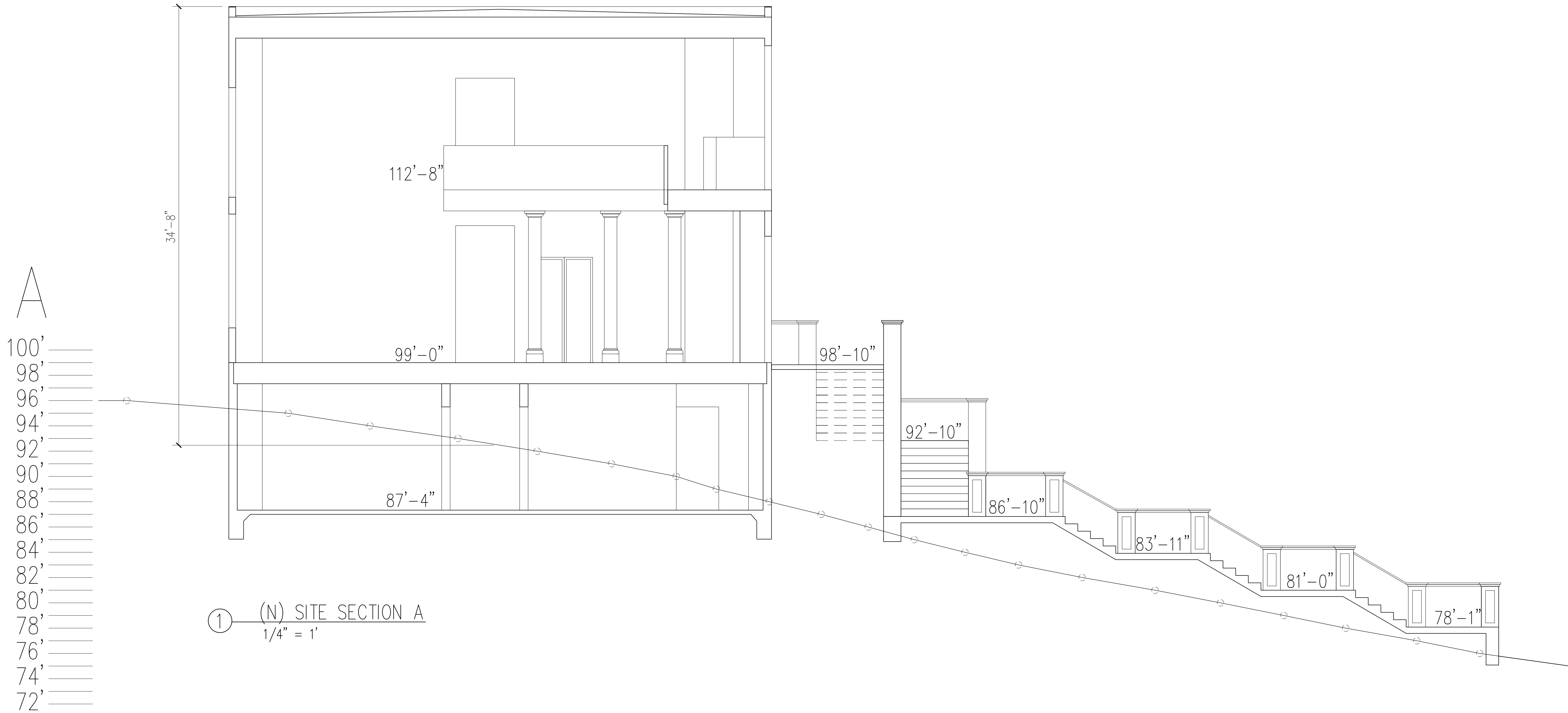
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JOB NO

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SHEET

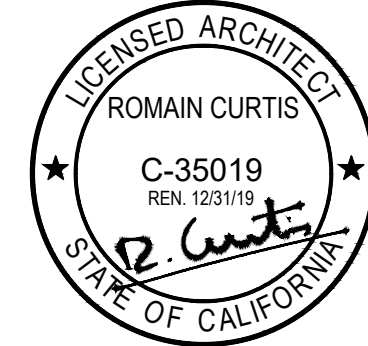
A-1b



REVISIONS

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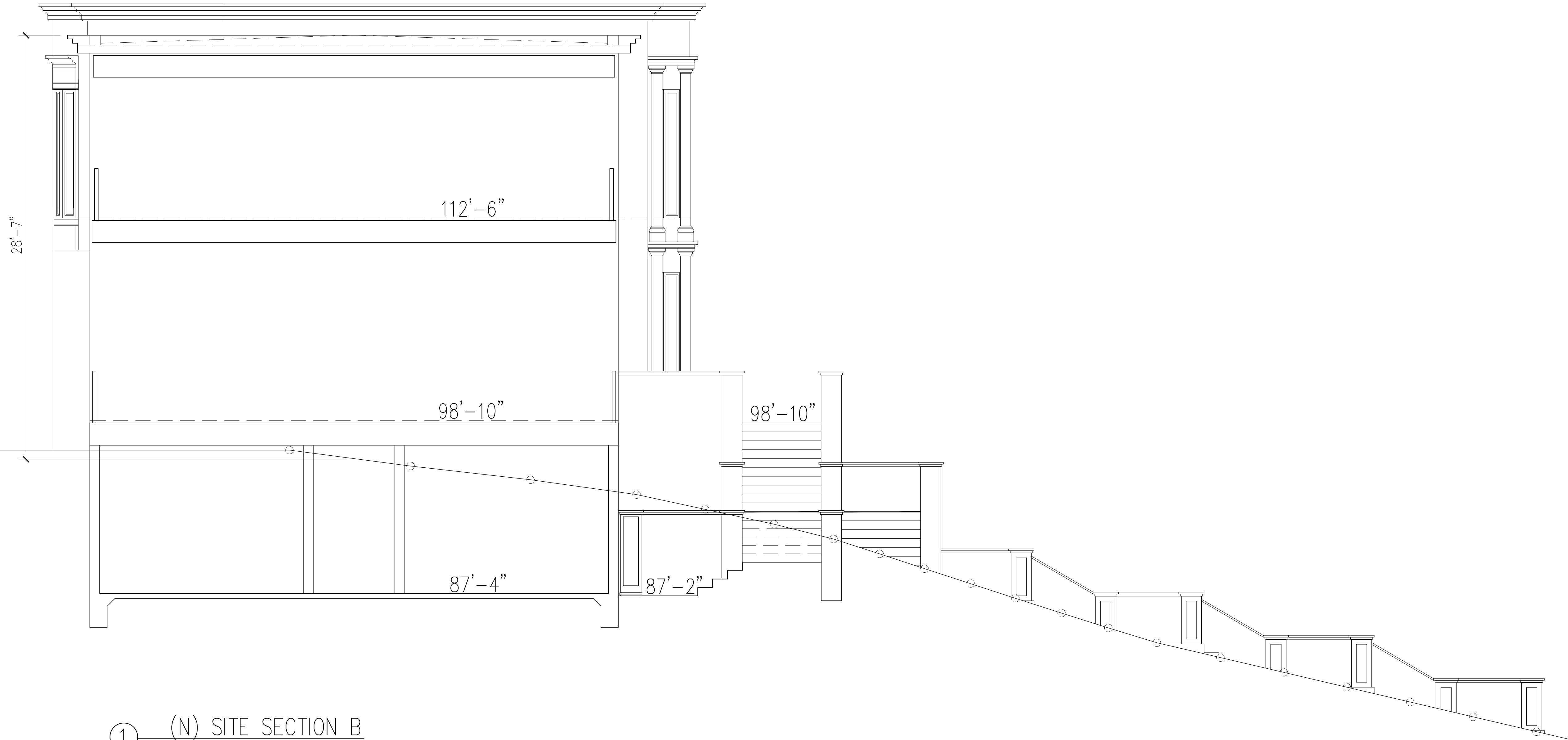
SITE SECTION A

DRAWN BY
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DE JOB #
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10/28/2019
SCALE
1/4"=1'-0"
JOB NO
DE-295
SHEET

A-1c

B

100'
98'
96'
94'
92'
90'
88'
86'
84'
82'
80'
78'
76'
74'
72'

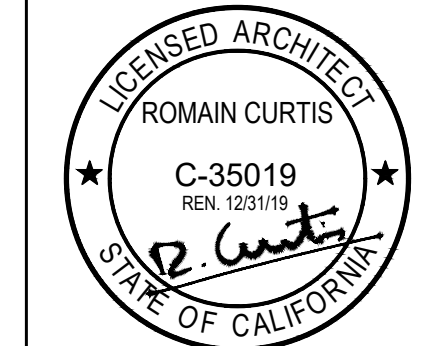


① (N) SITE SECTION B
1/4" = 1'

REVISIONS

1	
2	
3	

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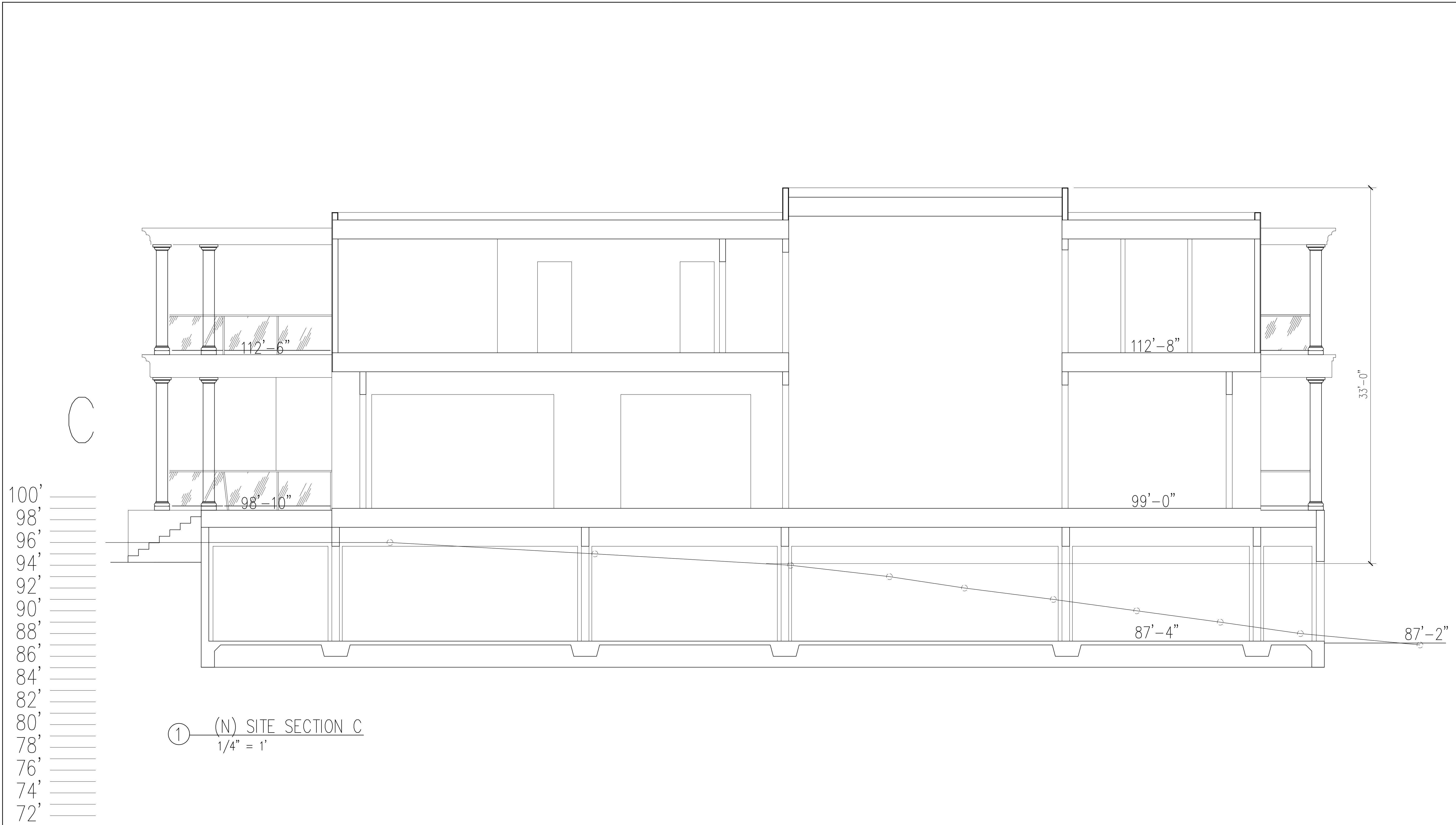


NEW HOME
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SANTA CLARA COUNTY

SITE SECTION B

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DE JOB #
201810052
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10/28/2019
SCALE
1/4"=1'-0"
JOB NO
DE-295
SHEET

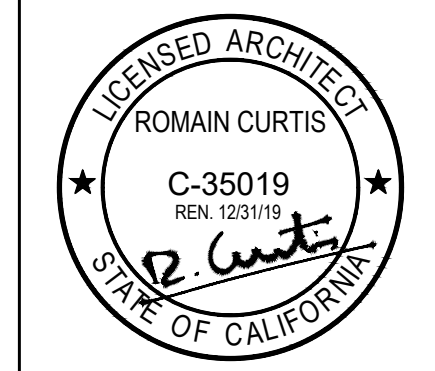
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REVISIONS

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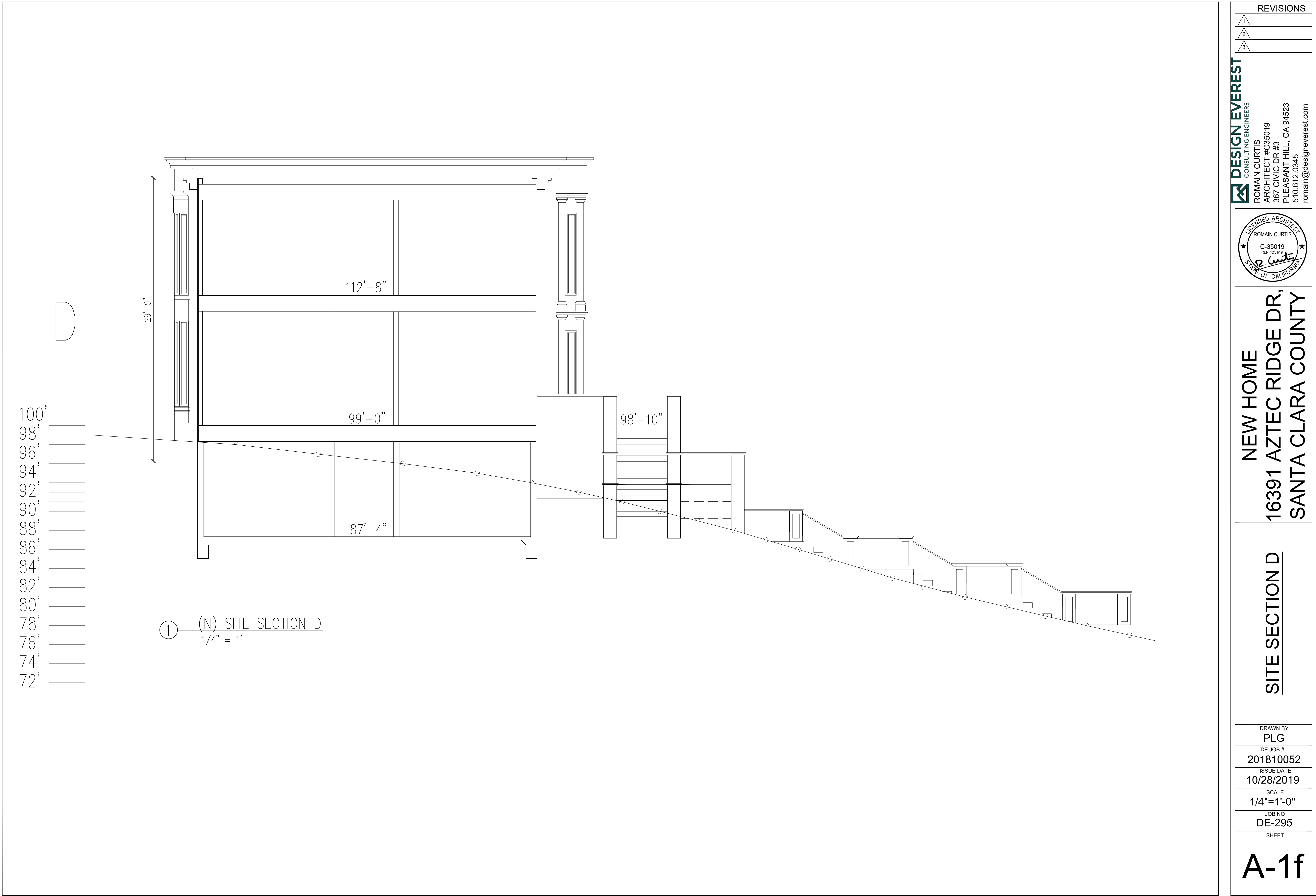


NEW HOME
16391 AZTEC RIDGE DR,
SANTA CLARA COUNTY

SITE SECTION C

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DE JOB #
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ISSUE DATE
10/28/2019
SCALE
1/4"=1'-0"
JOB NO
DE-295
SHEET

A-1e



REVISIONS

1

2

3

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LICENSED ARCHITECT

ROMAIN CURTIS

C-35019

REN. 12/31/19

R. Curtis

STATE OF CALIFORNIA

NEW HOME

16391 AZTEC RIDGE DR,

SANTA CLARA COUNTY

SITE SECTION D

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DE JOB #

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SCALE

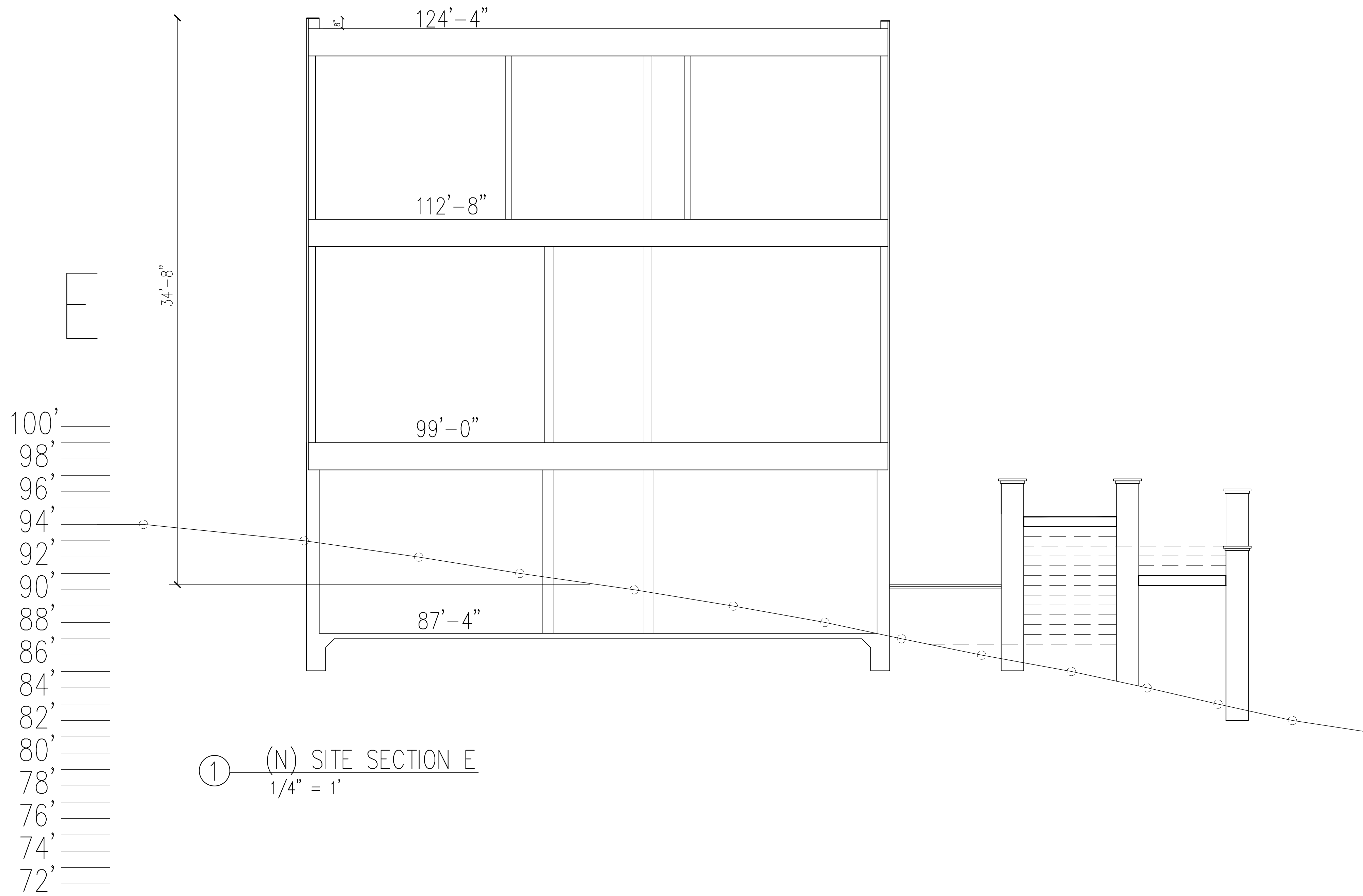
1/4"=1'-0"

JOB NO

DE-295

SHEET

A-1f

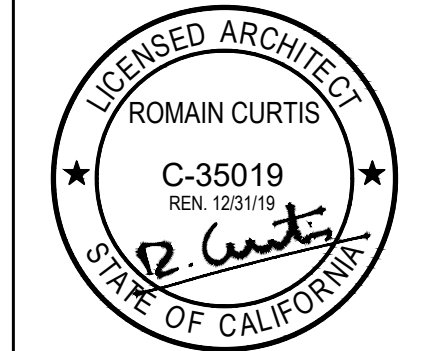


① (N) SITE SECTION E
1/4" = 1'

REVISIONS

1	
2	
3	

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NEW HOME
16391 AZTEC RIDGE DR,
SANTA CLARA COUNTY

SITE SECTION E

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10/28/2019
SCALE
1/4"=1'-0"
JOB NO
DE-295
SHEET

A-1g

Diagram showing the layout of the basement and garage. The basement is on the left and the garage is on the right, separated by a vertical line. Both areas have a sloped roof indicated by a triangle.

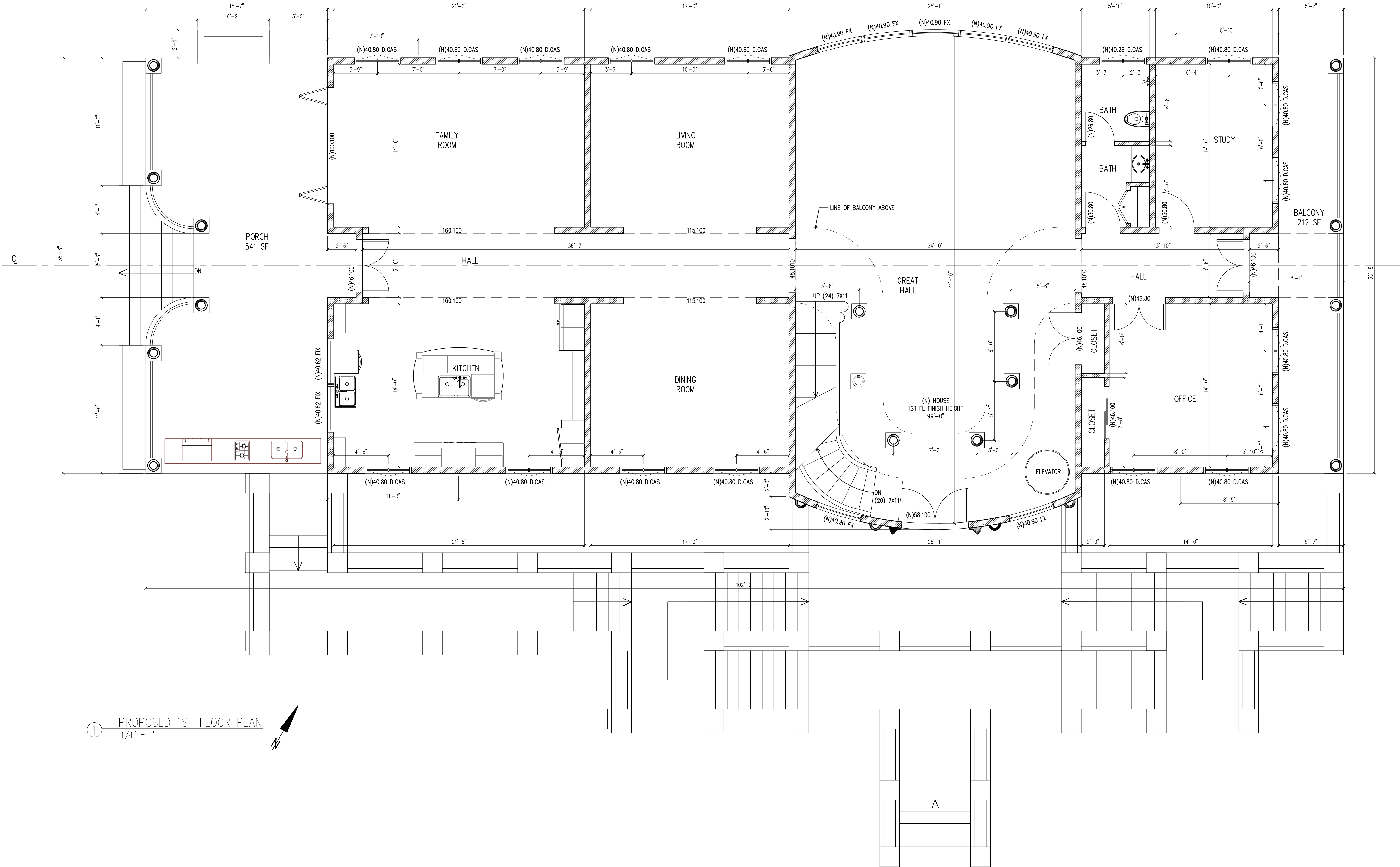
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A-2

NOTE:
FOR STRUCTURAL, AND/OR SEISMIC RETROFIT, SHEAR WALL DETAILS
AND LOCATION, AND FOUNDATION DESIGN, SEE STRUCTURAL DESIGN.

INTERIOR FINISHES:
WALL - SHEET ROCK - SMOOTH FINISH
CEILING - SHEET ROCK - SMOOTH FINISH
FLOORS - ENGINEERED WOOD FLOORS OVER ¼" PAD MIN.
FIRST FLOOR - STONE FINISH
SECOND FLOOR - WOOD FINISH
FLOORS FOR BATHROOMS - STONE FINISH
WALLS IN BATHROOMS TO BE TILED
GARAGE TO BE SEALED/PAINED CONCRETE
ALL WINDOW TO BE ALUMINUM - UON
ALL DOORS TO BE SOLID WOOD DOOR - UON

1ST FLOOR AREA : 3,023 SF

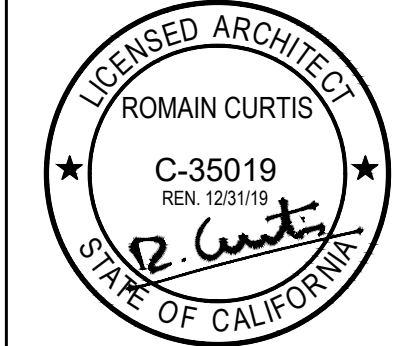


1 PROPOSED 1ST FLOOR PLAN
1/4" = 1'

REVISIONS

1	
2	
3	

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NEW HOME
16391 AZTEC RIDGE DR.,
SANTA CLARA COUNTY

PROPOSED
FIRST FLOOR
PLAN

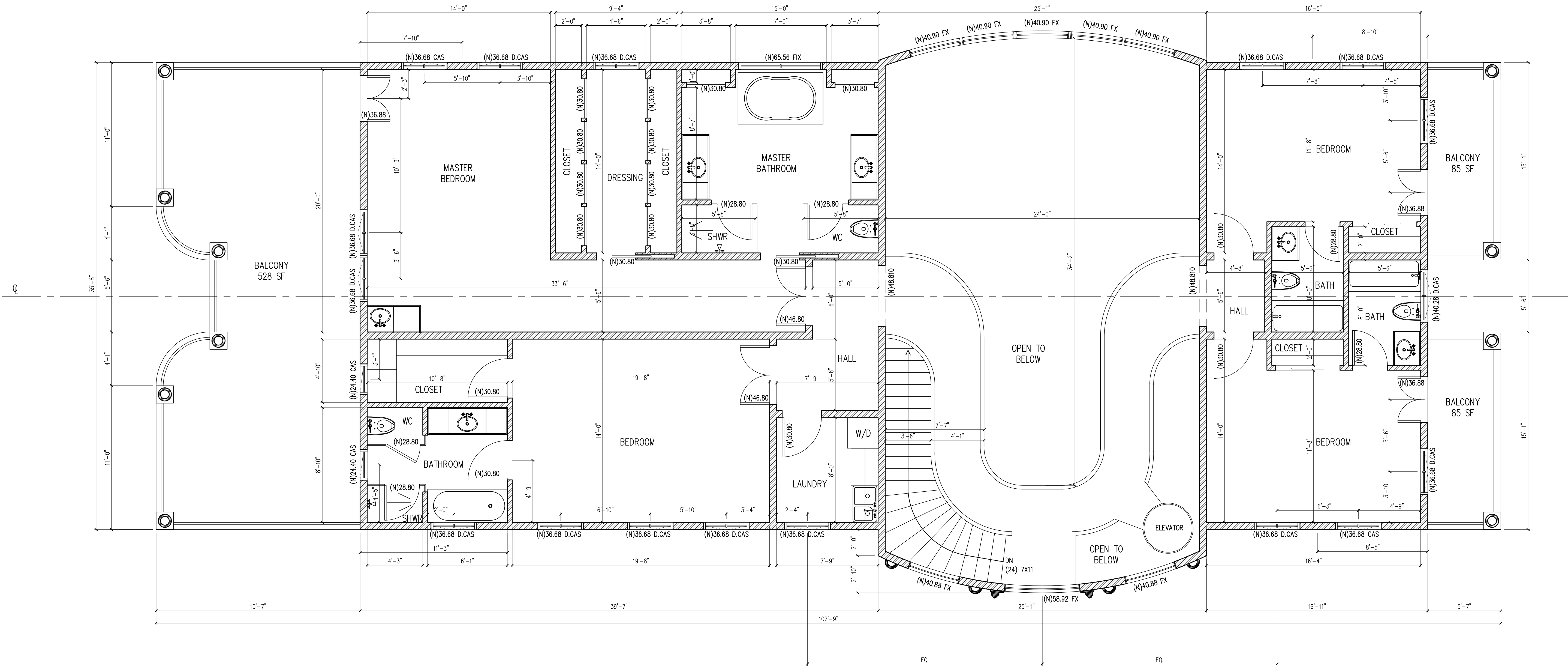
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DE JOB #
201810052
ISSUE DATE
10/28/2019
SCALE
1/4"=1'-0"
JOB NO
DE-295
SHEET

A-3

NOTE:
FOR STRUCTURAL, AND/OR SEISMIC RETROFIT, SHEAR WALL DETAILS
AND LOCATION, AND FOUNDATION DESIGN, SEE STRUCTURAL DESIGN.

INTERIOR FINISHES:
WALL - SHEET ROCK - SMOOTH FINISH
CEILING - SHEET ROCK - SMOOTH FINISH
FLOORS - ENGINEERED WOOD FLOORS OVER ¼" PAD MIN.
FIRST FLOOR - STONE FINISH
SECOND FLOOR - WOOD FINISH
FLOORS FOR BATHROOMS - STONE FINISH
WALLS IN BATHROOMS TO BE TILED
GARAGE TO BE SEALED/PAINED CONCRETE
ALL WINDOW TO BE ALUMINUM - UON
ALL DOORS TO BE SOLID WOOD DOOR - UON

2ND FLOOR AREA : 3,050 SF



1 PROPOSED 2ND FLOOR PLAN
1/4" = 1'

REVISIONS

1	
2	
3	

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STATE OF CALIFORNIA

RENEWED 12/31/19

NEW HOME

16391 AZTEC RIDGE DR,

SANTA CLARA COUNTY

PROPOSED

SECOND FLOOR

PLAN

DRAWN BY

PLG

DE JOB #

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ISSUE DATE

10/28/2019

SCALE

1/4"=1'-0"

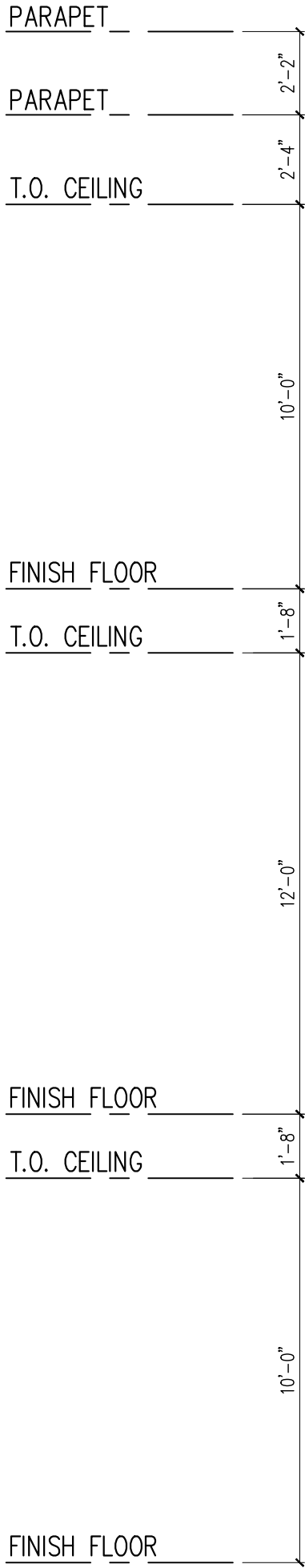
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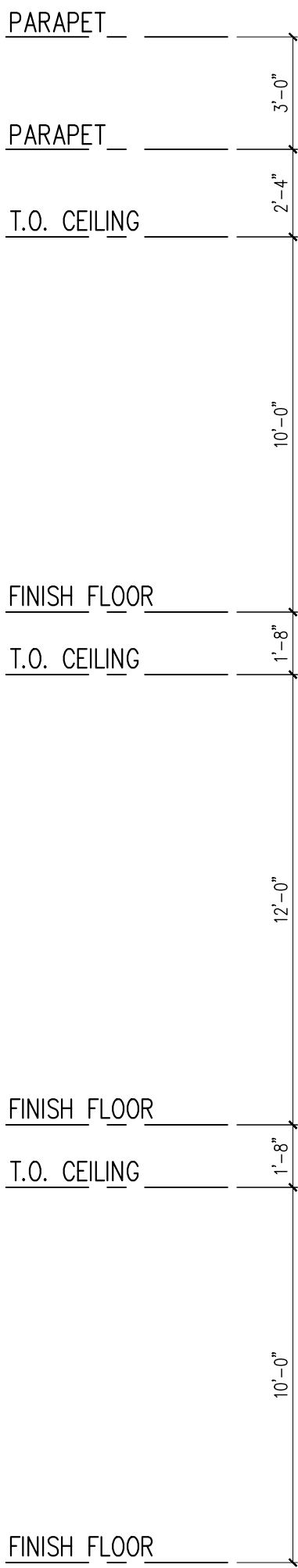
SHEET

A-4

VERIFY ALL DIMENSIONS IN FIELD, IN CASE OF DISCREPANCY, GC TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.



EXTERIOR FINISHES:
WALL - STUCCO - FLAT FINISH - WHITE
RAILING - CLEAR TEMPERED GLASS
ALL WINDOW TO BE ALUMINUM
ALL DOORS TO BE SOLID WOOD DOOR

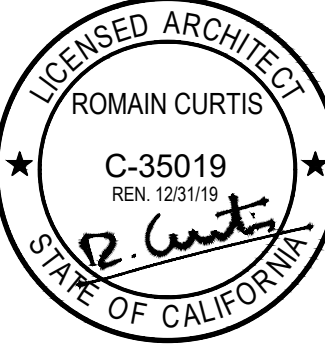


② PROPOSED BACK ELEVATION
1/4" = 1'

REVISIONS

1	
2	
3	

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PROPOSED
ELEVATIONS

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JOB NO
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SHEET

A-5

VERIFY ALL DIMENSIONS IN FIELD, IN CASE OF DISCREPANCY, GC TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.

PARAPET 2'-2"
PARAPET 2'-4"
T.O. CEILING 10'-0"
FINISH FLOOR 1'-8"
T.O. CEILING 12'-0"
FINISH FLOOR 1'-8"
T.O. CEILING 10'-0"
FINISH FLOOR

① PROPOSED SIDE ELEVATION
1/4" = 1'

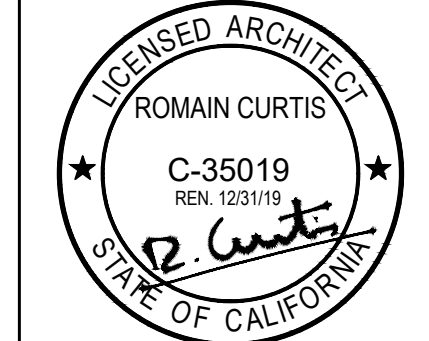
PARAPET 2'-2"
PARAPET 2'-4"
T.O. CEILING 10'-0"
FINISH FLOOR 1'-8"
T.O. CEILING 12'-0"
FINISH FLOOR 1'-8"
T.O. CEILING 10'-0"
FINISH FLOOR



REVISIONS

1	
2	
3	

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PROPOSED
ELEVATIONS

DRAWN BY
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SCALE
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SHEET

A-6

**NEW HOME
16391 AZTEC RIDGE DR,
SANTA CLARA COUNTY**

PROPOSED ELEVATION

SHEET

A-5

[illegible]

A-8