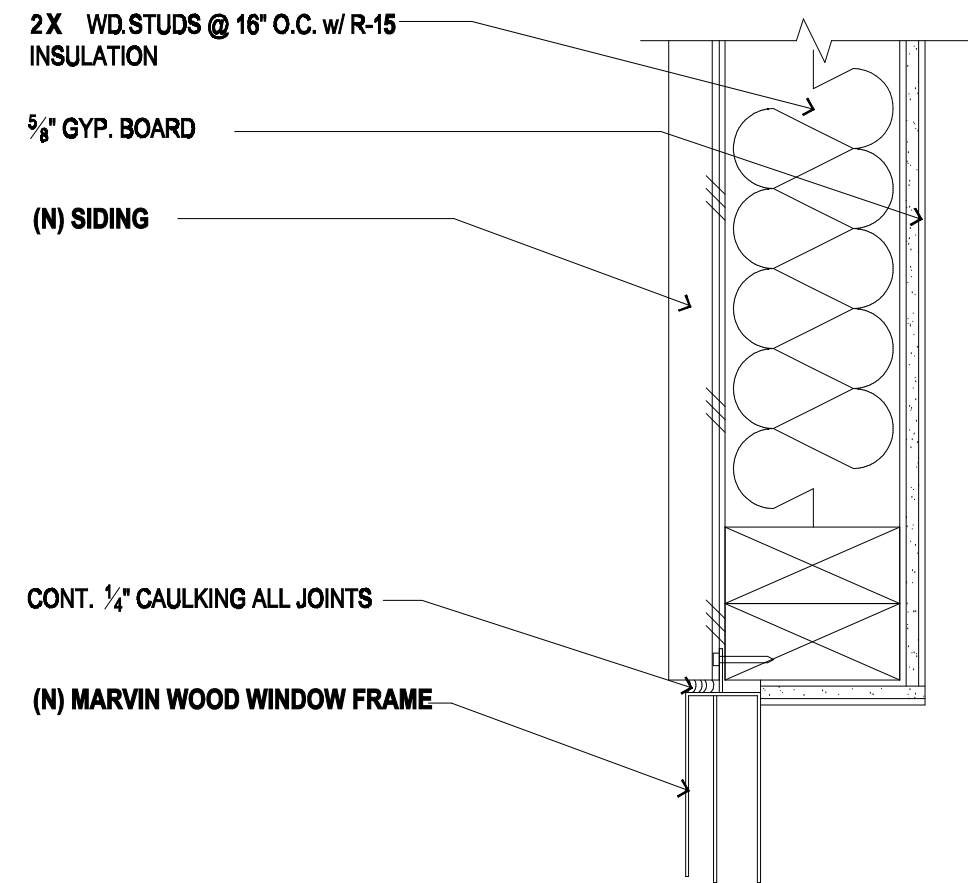
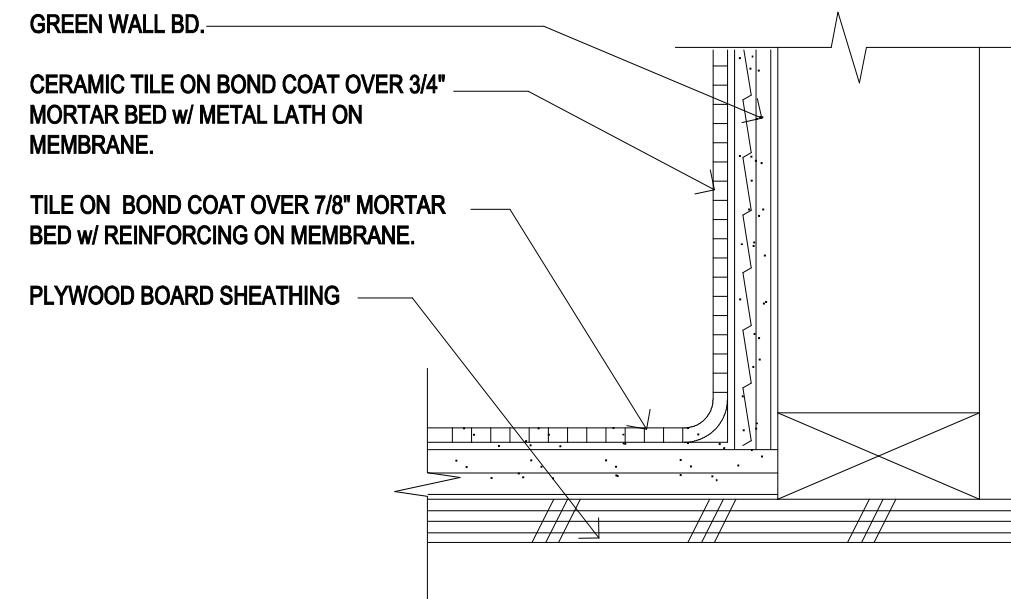


### 13 SECOND FLOOR/ FIRST FLOOR CEILING

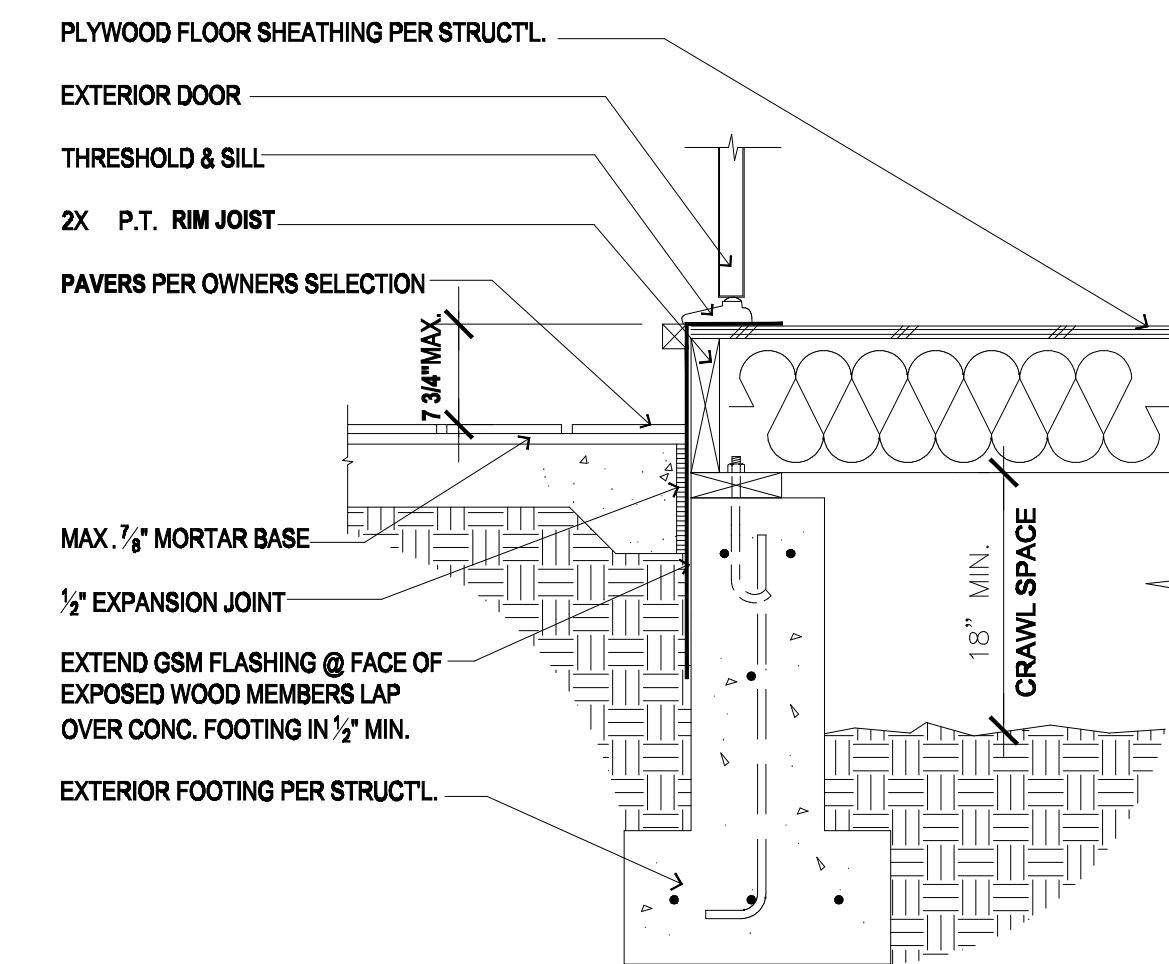


## 9 WINDOW JAMB

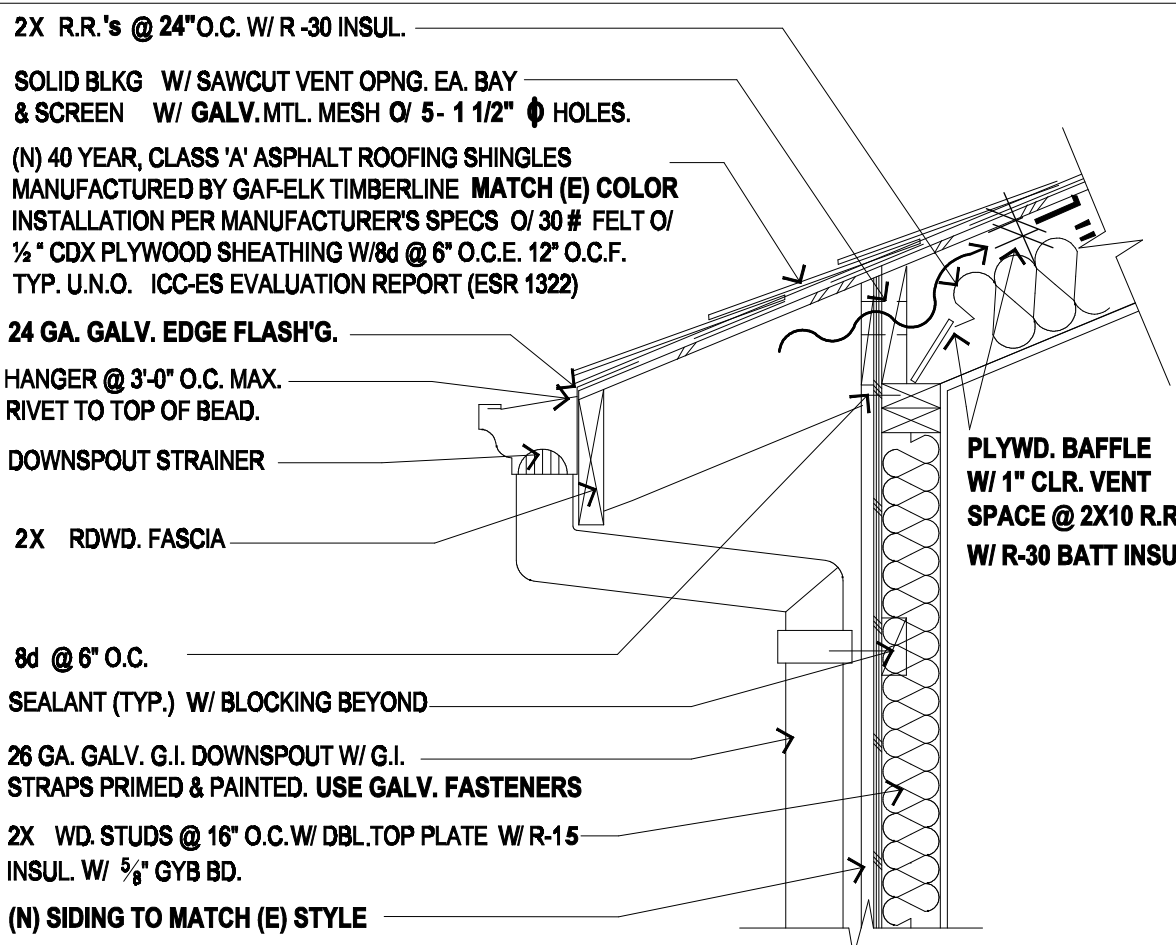
NOTE: CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS SHALL BE USED AS A BASE FOR WALL AND CEILING PANELS IN SHOWER AND BATHTUB COMPARTMENTS AND SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. CRC R702.4.2



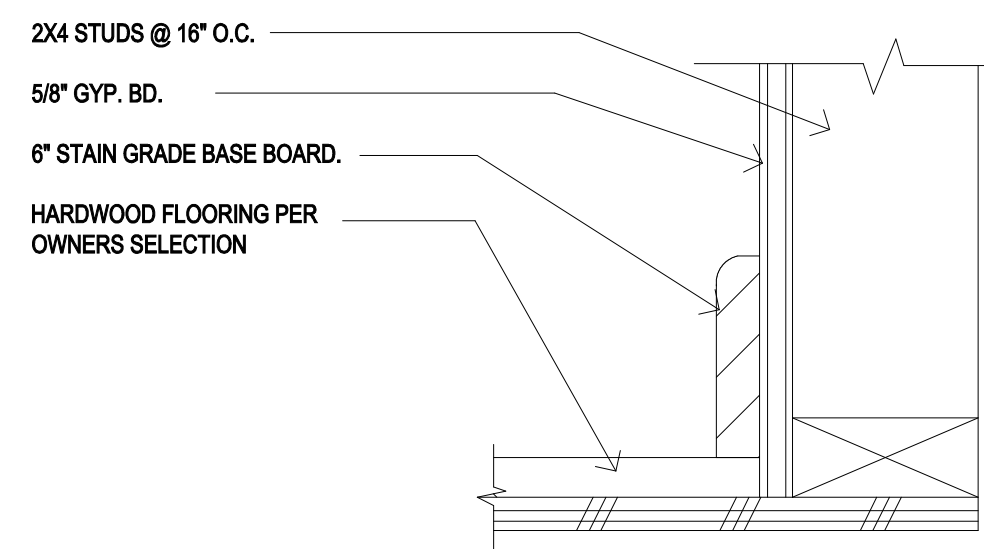
## 5 CERAMIC TILE FINISH



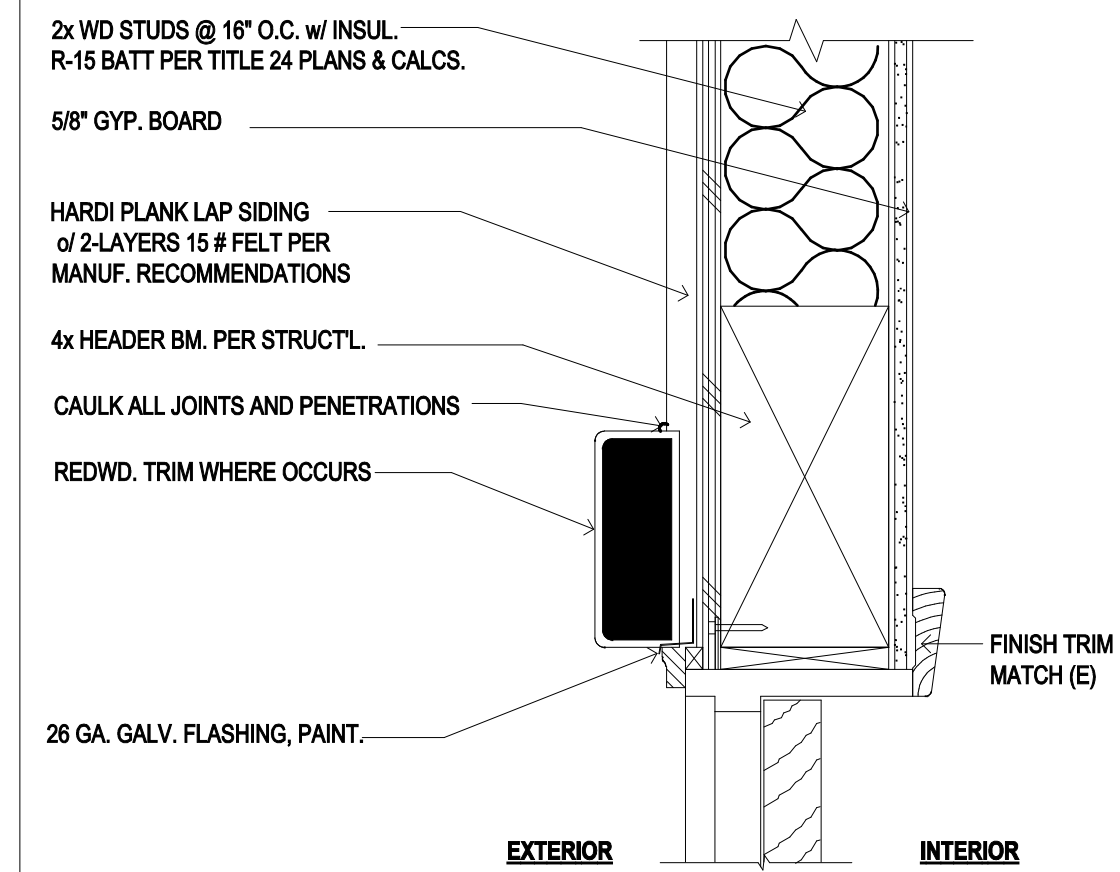
## 1 THRESHOLD



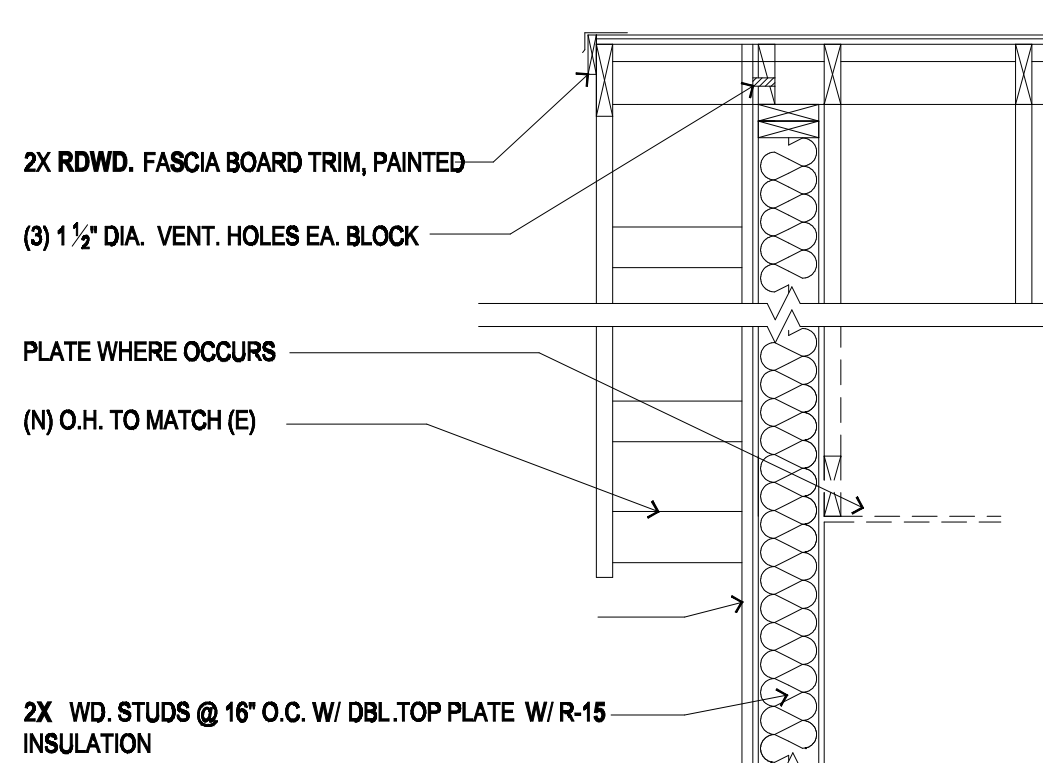
## 10 EAVE



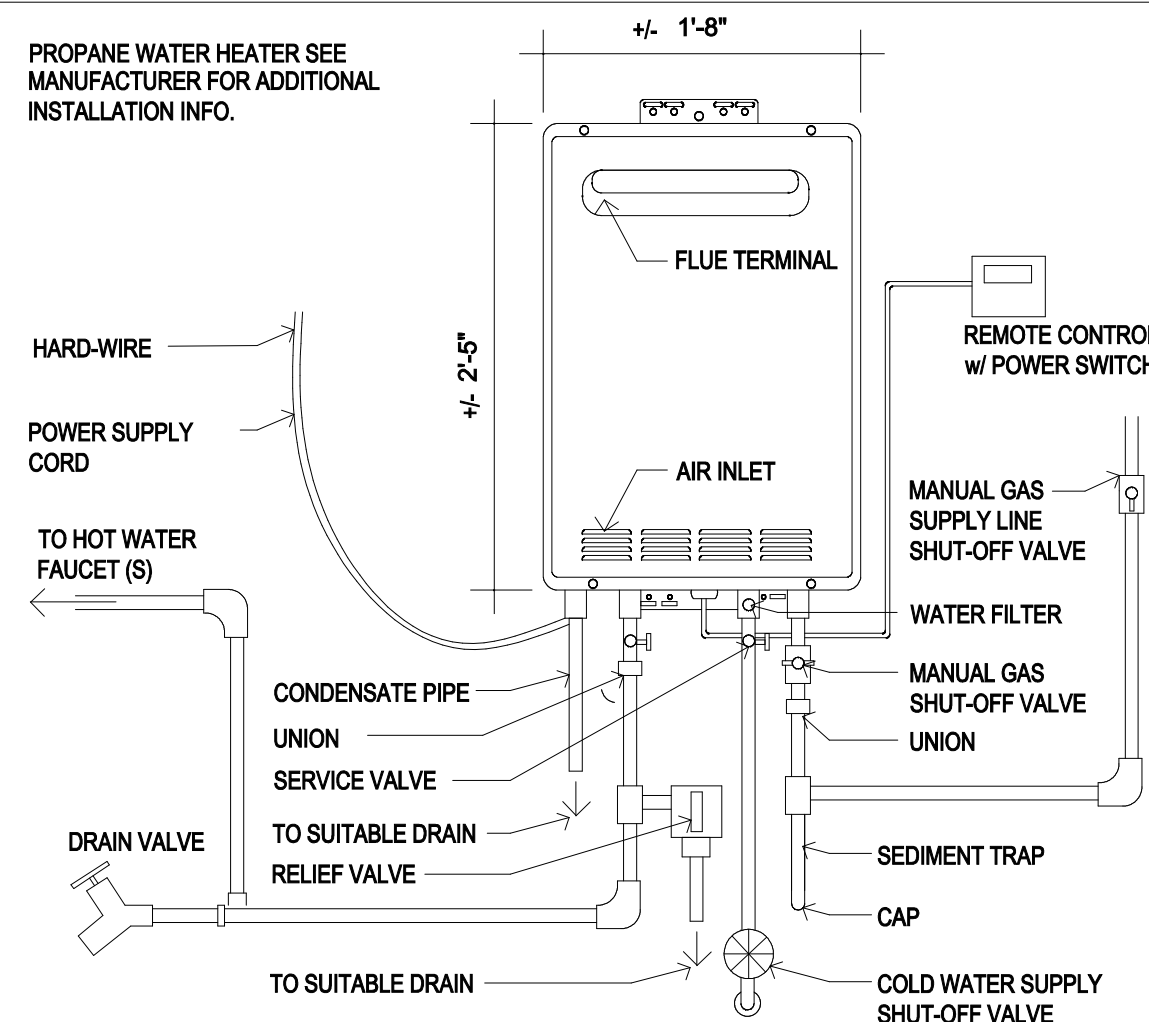
## 6 WOOD FINISH



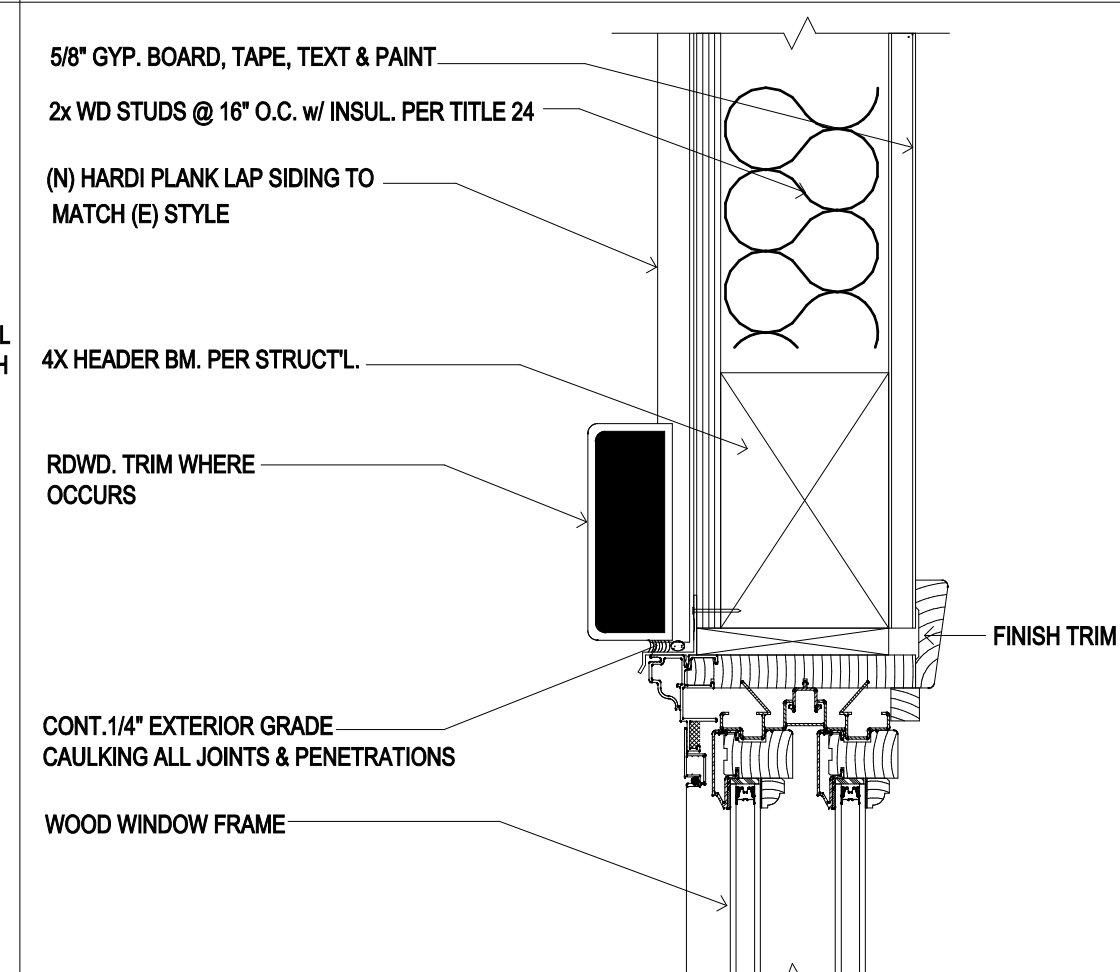
## 2 EXTERIOR DOOR HEADER



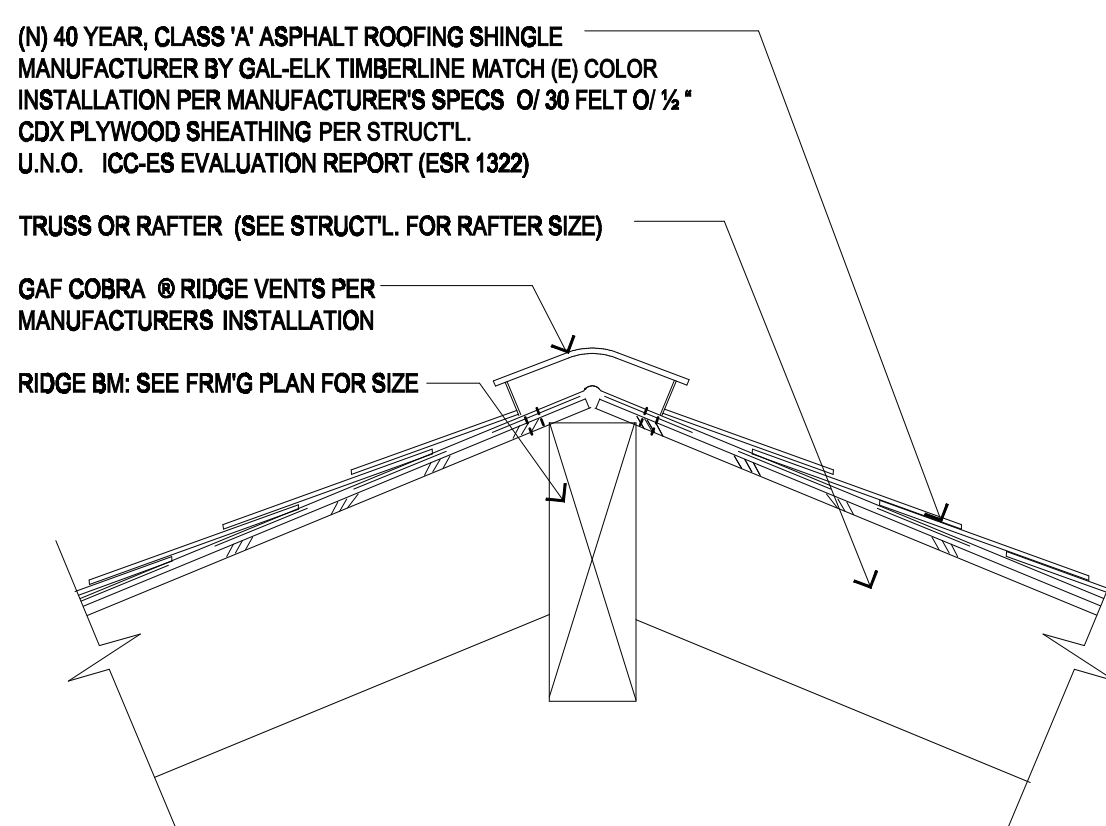
## 11 TYPICAL RAKE DETAIL



## 7 TANKLESS WATER HEATER

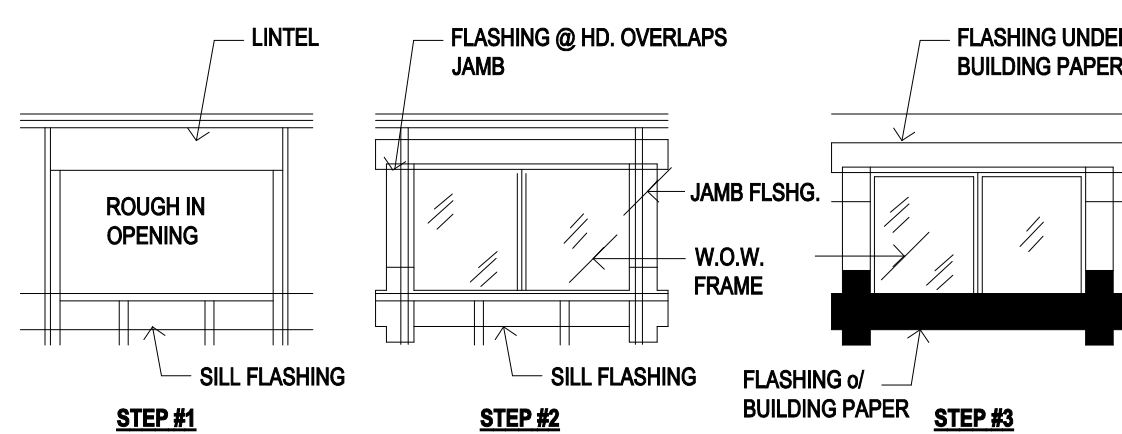


### 3 WINDOW HEADER

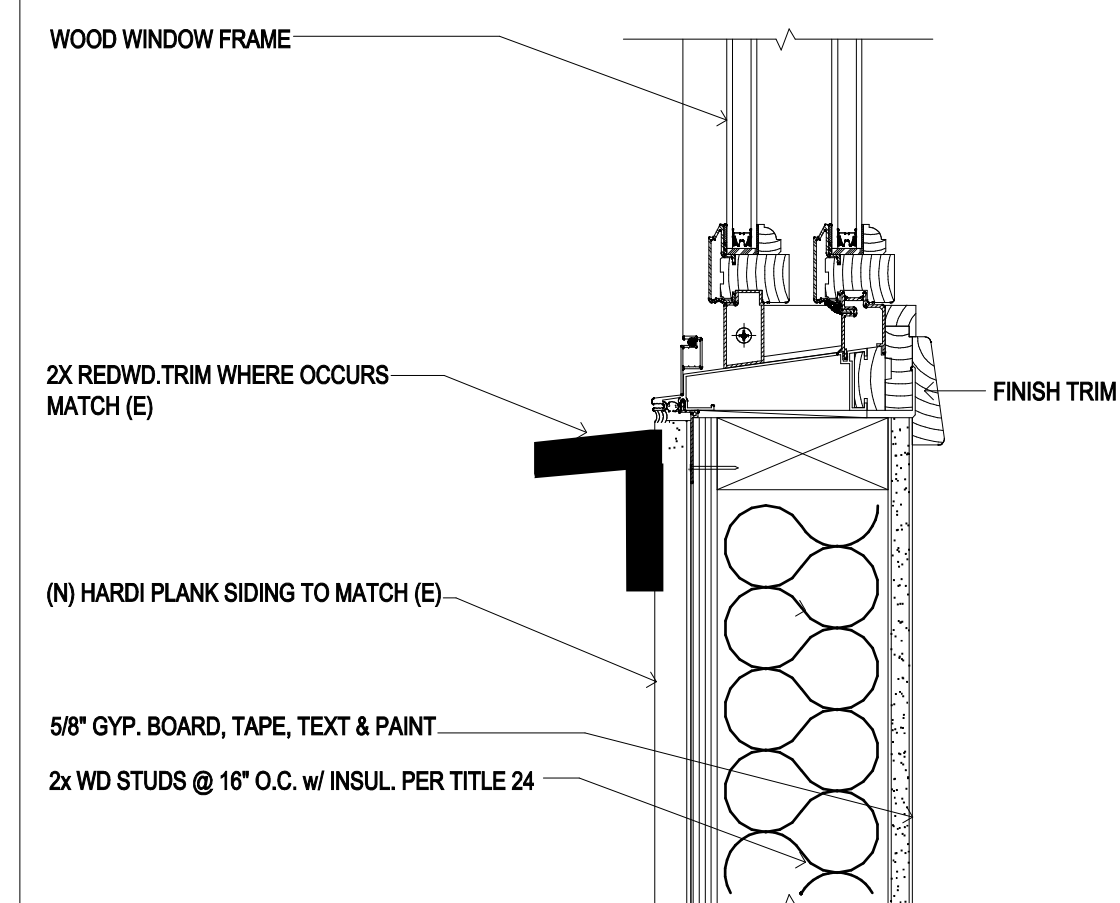


## 12 RIDGE/HIP W/ VENT DETAIL

**TYPE: FLASHING OF EXTERIOR WALL OPENINGS**  
 INDIVIDUALLY FLASH ALL EXTERIOR OPENINGS FOR FIXTURES SUCH AS WINDOWS, DOORS, AND VENTS TO MAKE THEM WATERPROOF. FLASHING MATERIAL SHALL PROVIDE A FOUR HOUR MINIMUM PROTECTION FROM WATER PENETRATION. WHEN TESTED IN ACCORDANCE WITH ASTM D-779, SEALANT SHALL COMPLY TO F.T.S. TTS-1607. IN HIGH WIND AREAS W/ 150 MPH WINDS, SEALANT SHALL BE APPLIED TO THE EXTERIOR FACE OF THE WALL. SEALANT SHALL BE APPLIED IN A WEATHERBOARD PATTERN, BEGINNING WITH THE SIL, WITH A STRIP LONG ENOUGH TO PROTECT BEYOND THE JAMB FLASHING TO BE APPLIED. THE TWO JAMB FLASHING ARE THEN APPLIED, WITH SUFFICIENT LENGTH TO EXTEND BEYOND THE SIL FLASHING, AND WITH THE SAME DISTANCE AT THE TOP. FOR FIXTURES WITHOUT NAIL FLANGE, SEALANT SHALL BE APPLIED TO THE JAMB FLANGE AND EXTEND TO THE ROUGH FRAMING AT THE SIL AND JAMB. FOR NAIL ON FLANGE FIXTURES INSTALL BY PRESSING FLANGE POSITIVELY INTO A CONTINUOUS BEAD OF SEALANT WHICH EXTENDS AROUND THIS BOTTOM AND SIDES OF THE FIXTURE. APPLY THE TOP HORIZONTAL FLASHING LAST, WITH SUFFICIENT LENGTH TO EXTEND BEYOND THE JAMB FLASHING. OVERLAP AND SEAL AGAINST THE TOP NAILING FLANGE OR G.S.M. HEAD FLASHING WITH A CONTINUOUS BEAD OF SEALANT. APPLY REMAINING WALL SHEATHING PAPER IN A WEATHERBOARD FASHION WITH THE SIL FLASHING LAPPING OVER THE TOP AND THE HEAD JAMBS FLASHING BELOW.



**8 TYP. FLASHING**



#### 4 WINDOW SILL

[illegible]

## DETAILS

A NEW ADDITION FOR:  
THE CASASSA FAMILY  
500 SUMMIT ROAD  
MORGAN HILL, CA 95307

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DRAWN BY:  
K.B.

CHECKED BY:  
M.C./C.C.

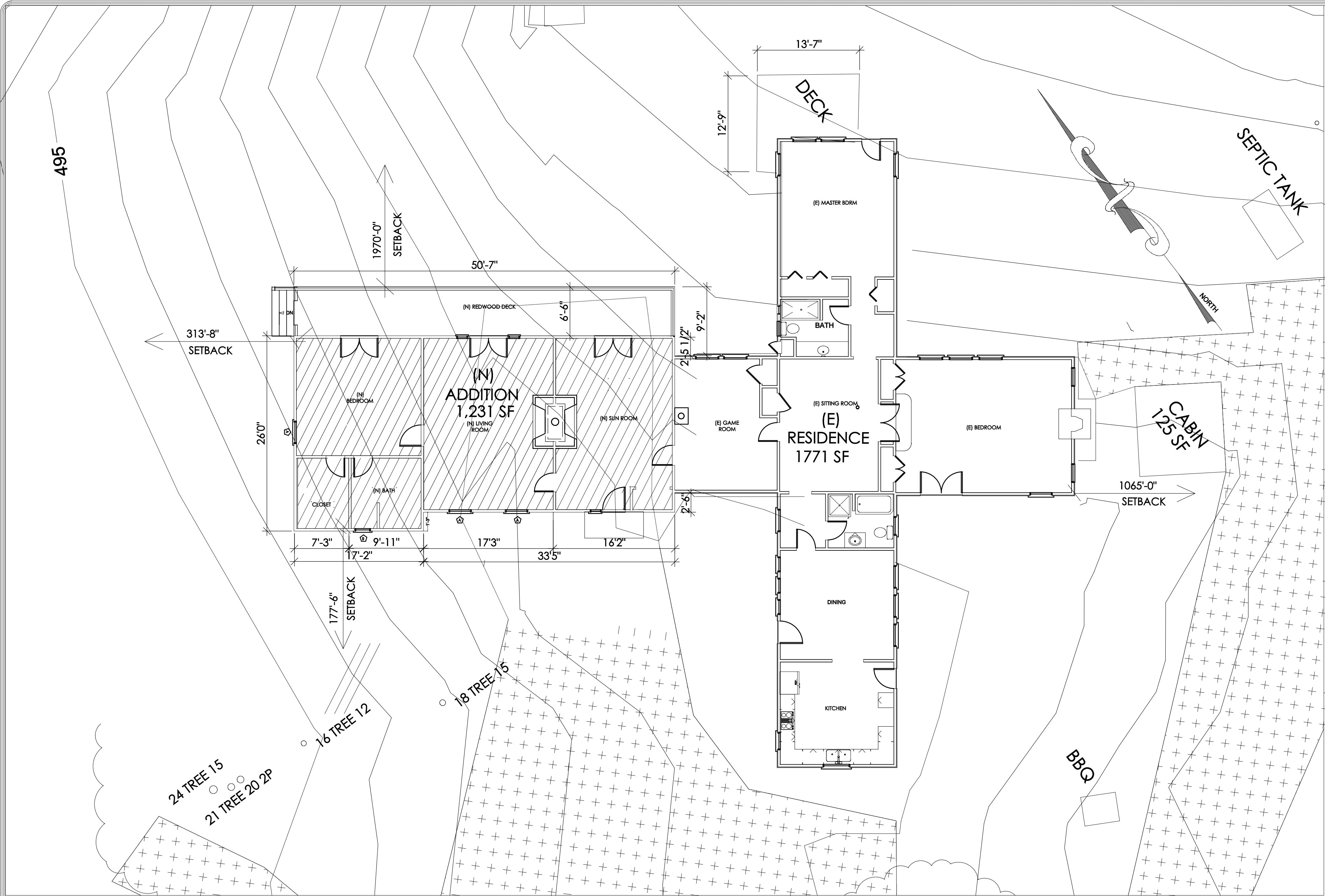
DATE:  
MARCH 30, 2019

SCALE:  
AS NOTED

JOB:

SHEET:

# A6



SITE PLAN

THE CASASSA  
FAMILY  
500 SUMMIT ROAD  
MORGAN HILL, CA  
95307

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PROJECT INFORMATION

SCOPE OF WORK:

NEW 1,231 S.F. ADDITION W/ BEDROOM, (N) BATH, (N) LIVING ROOM, LAUNDRY CLOS., AND A (N) SUNROOM W/ (N) 329 S.F. REDWOOD DECK. (N) FAU, REPLACE (E) W.H.

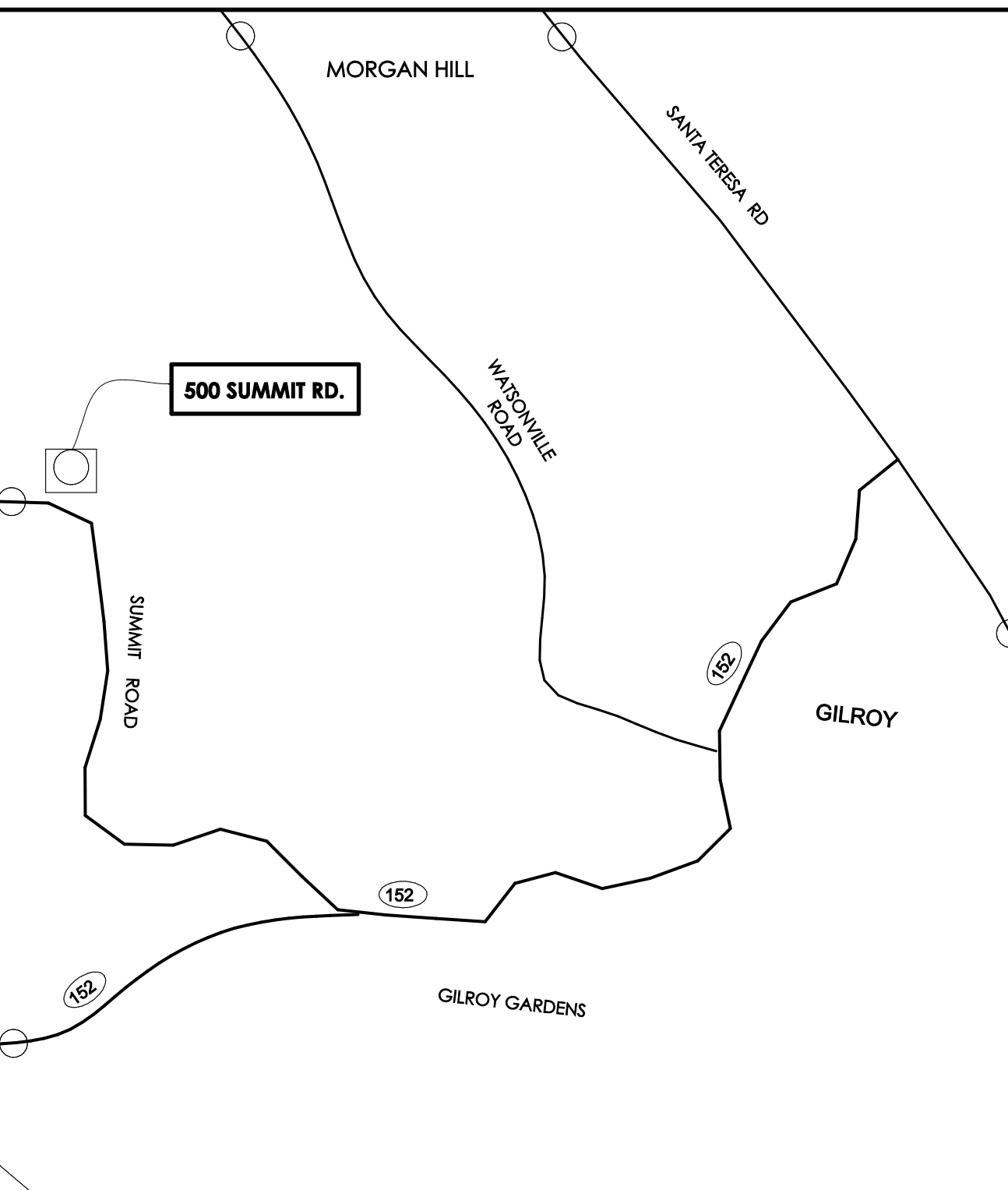
ADDRESS : 500 SUMMIT RD. MORGAN HILL, CA APN: 756-24-049

ZONING: AW LOT SIZE: 64.20 (AC) / 3,016,530 S.F.

EXISTING MAIN HOUSE S.F.	1771.0 SQ. FT.
NEW ROOM ADDITION S.F.	1231.0 SQ. FT.
TOTAL SQ. FT.	3002.0 SQ. FT.
(E) BBQ	20 SQ. FT.
(E) SECONDARY DWELLING	794 SQ. FT.
(E) 2ND DWELLING DECK	177 SQ. FT.
(E) CABIN	125 SQ. FT.
(E) SHED	60 SQ. FT.
(N) DECK	173.4 SQ. FT.
(E) SHED	116 SQ. FT.
(E) SHED	70 SQ. FT.
(E) CARPORT	713 SQ. FT.
(E) CARPORT	357 SQ. FT.
(E) CONCRETE PATIO	143 SQ. FT.
(E) SEPTIC TANK	30 SQ. FT.

TOTAL LOT COVERAGE: 5,780.4 = < .019 % LOT COVERAGE

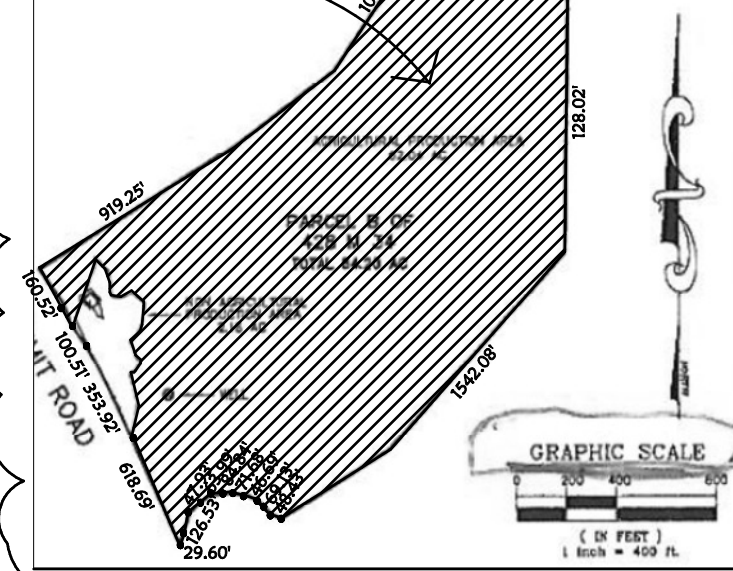
VICINITY MAP



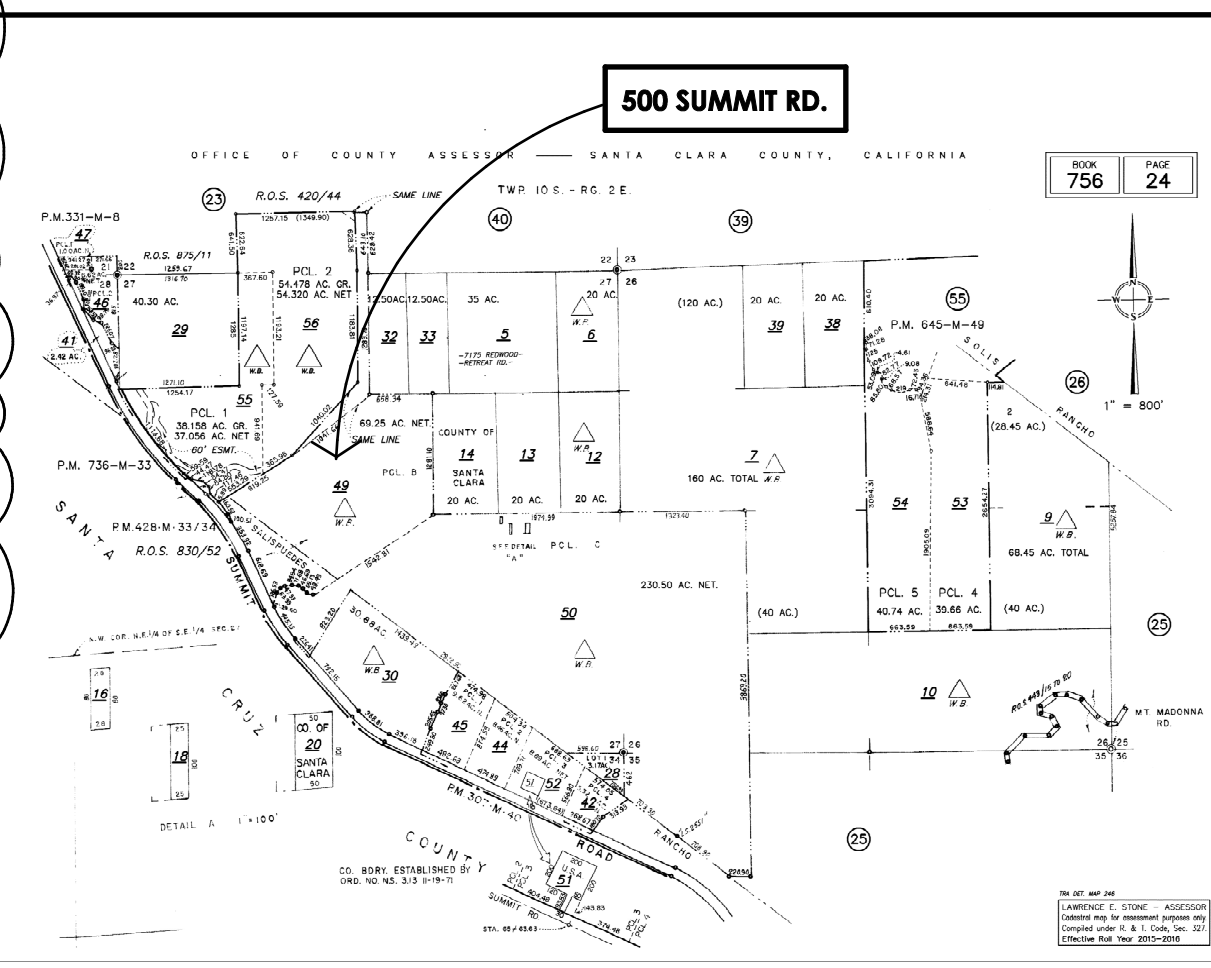
**NOTE:** ALL STRUCTURES ARE SHOWN ACCURATELY ON THE TOPOGRAPHIC SURVEY ATTACHED, SHEET TS-1 WITH CORRESPONDING SQ. FT'GS. AND REFERENCED IN THE PROJECT INFORMATION ON THIS SHEET WITH CORRESPONDING CALCULATIONS

AGRICULTURAL AREA

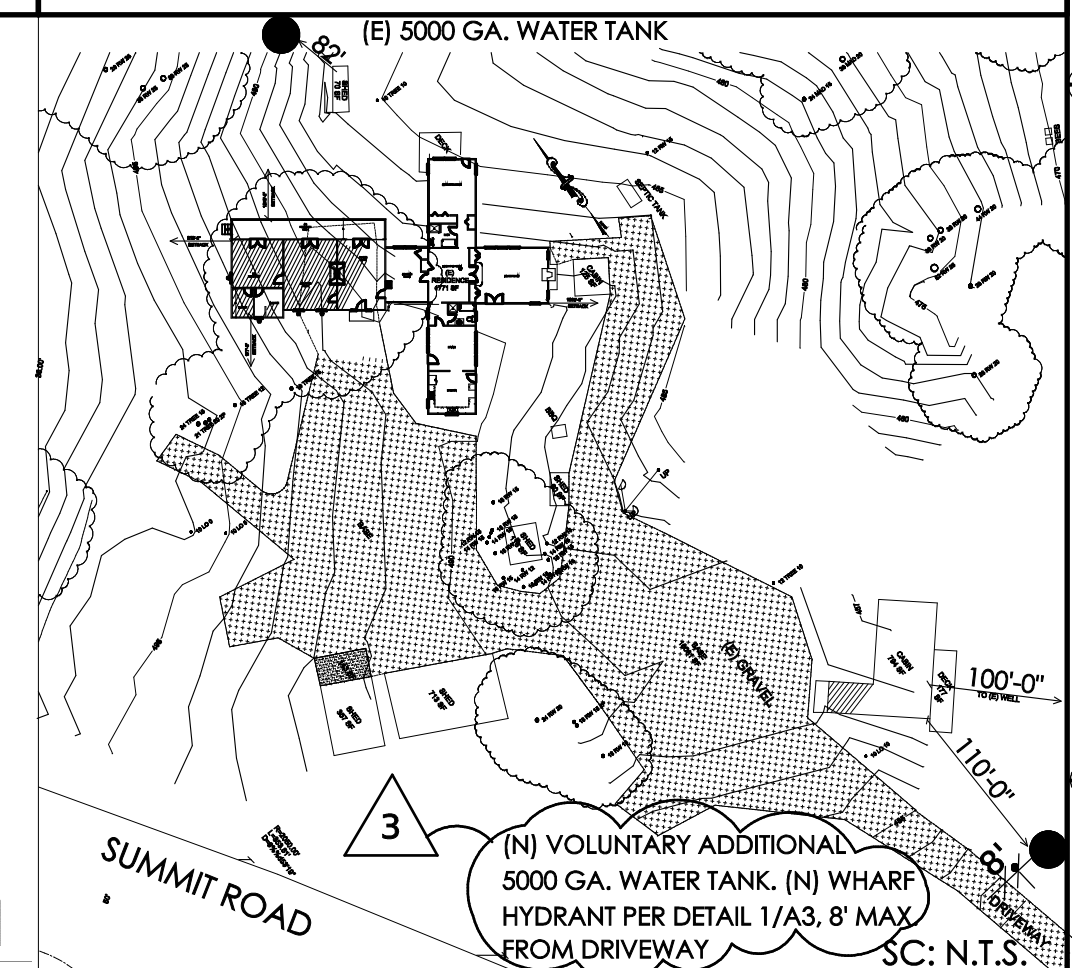
AGRICULTURAL PRODUCTION AREA  
62.04 ACRES



PARCEL MAP



SITE REFERENCE



GENERAL NOTES

ALL CONSTRUCTION SHALL CONFORM TO THE 2016 CALIFORNIA RESIDENTIAL CODE (CRC), 2016 CALIFORNIA BUILDING CODE (CBC), 2016 CALIFORNIA FIRE CODE (CFC), 2016 CALIFORNIA PLUMBING CODE (CPC), 2016 CALIFORNIA MECHANICAL CODE (CMC), 2016 CALIFORNIA ELECTRICAL CODE (CEC), 2016 CALIFORNIA ENERGY CODE (CenC), 2016 CALIFORNIA GREEN BUILDING STANDARDS (CGC), AND COUNTY OF SANTA CLARA MUNICIPAL CODE.

THE BUILDER SHALL CHECK THE PLANS AND CRITICAL DIMENSIONS IN THE FIELD AND NOTIFY THE DESIGNER AND OWNER OF ANY DISCREPANCIES BEFORE CONSTRUCTION.

WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CALGREEN SECTION 301.1, FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLIANT FLOW RATES WILL NEED TO BE UPGRADED.

MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH ASHRAE 62.2 SECTION 5; EXHAUST FANS SHALL BE ENERGY COMPLIANT; EXHAUST FANS SHALL TERMINATE OUTSIDE THE BUILDING [CAL GREEN 4.506.1]

REVISIONS	BY
1	9/15/16 MC
2	2/5/17 WA
3	2/20/19 MC
4	3/30/19 MC

COVER SHEET  
SITE PLAN  
INDEX  
PROJECT  
DESCR.  
VICINITY MAP

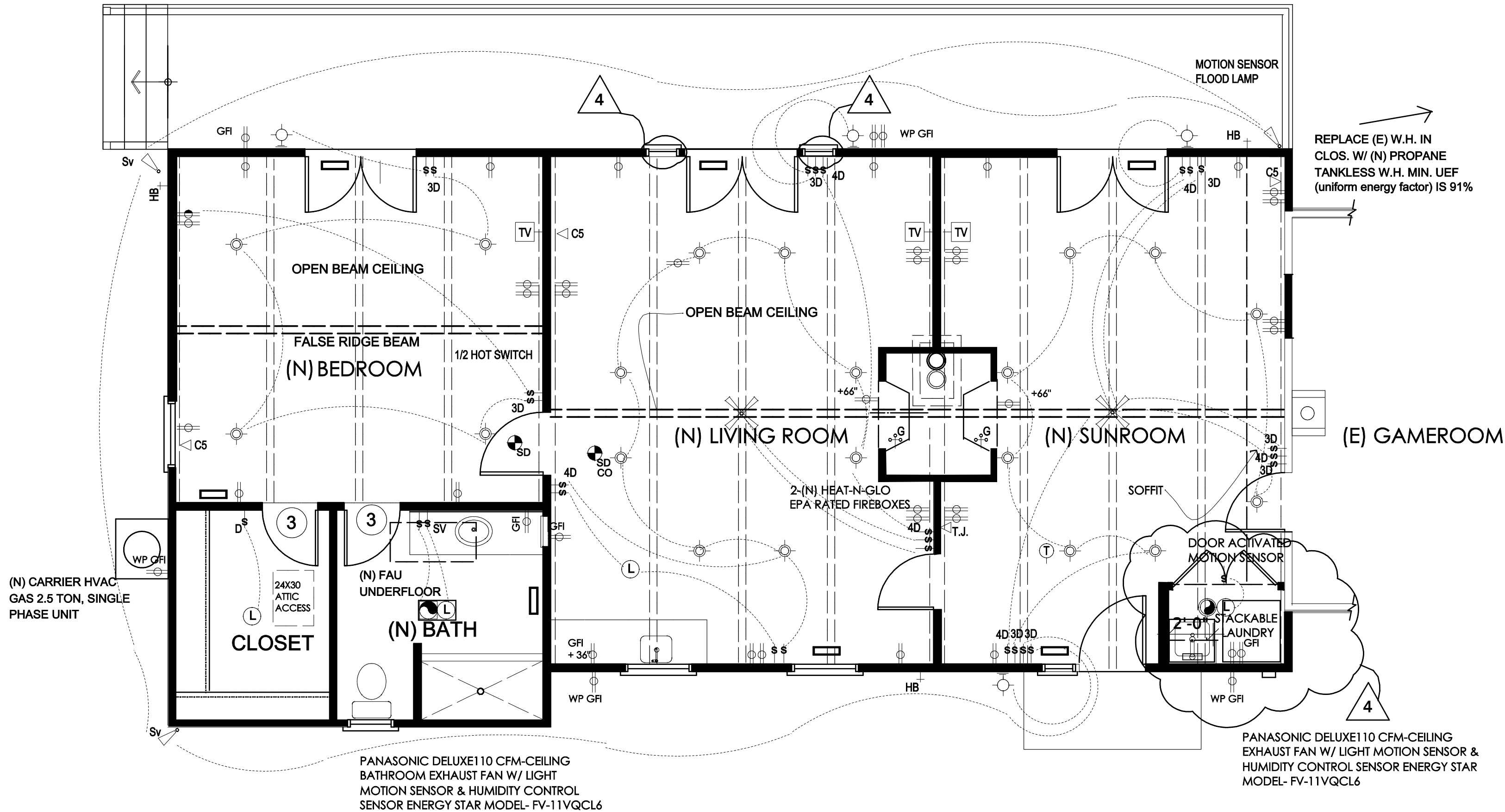
A NEW ADDITION FOR:  
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2370 HWY. 1, 1<sup>ST</sup> MOSS LANDING, CA 95039 • 831-831-0482

DRAWN BY  
K.B.  
CHECKED BY:  
M.C.C.C.  
DATE:  
3-30-19  
SCALE:  
AS SHOWN  
JOB:  
02116  
SHEET

AI





## ELECTRICAL PLAN

SC. 1/4"=1'0"

**LIGHTING IN BATHROOMS.** GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS SHALL EITHER BE HIGH EFFICACY OR SHALL BE CONTROLLED BY A VACANCY SENSOR

**OTHER ROOMS** ALL LUMINARIES SHALL EITHER BE HIGH EFFICACY OR SHALL BE CONTROLLED BY A VACANCY SENSOR OR DIMMER. CLOSETS THAT ARE LESS THAN 70 SQUARE FEET ARE EXEMPT FROM THIS REGULATION.

**OUTDOOR LIGHTING.** ALL LUMINARIES MOUNTED TO THE BUILDING TO BE PROVIDED BY OWNER AND SHALL BE HIGH EFFICACY LUMINARIES OR SHALL BE CONTROLLED BY A PHOTO CONTROL MOTION SENSOR IN COMBINATION WITH A PHOTO CONTROL, ASTRONOMICAL, TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM.

## UTILITY NOTES

ALL NOTES APPLY TO THIS PROJECT UNLESS OTHERWISE NOTED (U.O.N.)

### GENERAL:

- U1. SEE FLOOR PLAN AND FLOOR PLAN NOTES FOR APPLIANCES, FIXTURES, AND SPACE & WATER HEATER EQUIPMENT.  
U2. SEE SITE PLAN AND SITE PLAN NOTES FOR SITE UTILITIES.  
U3. GAS VENTS AND NON-COMBUSTIBLE PIPING PASSING THROUGH 3 FLOORS OR LESS SHALL BE EFFECTIVELY DRAFT-STOPPED AT EACH FLOOR OR CEILING (CRC R 302.12).

### MECHANICAL:

- M1. CONFORM WITH 2013 CBC, CRC, CMC, CFC & PAMC  
M2. DUCTWORK: SMACNA "LOW VELOCITY DUCT CONSTRUCTION" NFPA STANDARD #90A. ALL TRANSVERSE DUCT PLENUM AND FITTING JOINTS SHALL BE SEALED WITH PRESSURE SENSITIVE TAPE OR MASTIC TO PREVENT AIR LOSS. DUCTS SHALL BE INSULATED AS REQUIRED BY THE UMC. SEE FLOOR PLAN FOR F.A.U. AND FIREPLACES. DUCTS PENETRATING A WALL OR FLOOR-CEILING BETWEEN GARAGE & DWELLING TO BE MINIMUM 26 GAUGE METAL WITHOUT OPENING IN GARAGE. FIRE DAMPER REQUIRED OTHERWISE.  
M3. GRILLES AND REGISTERS, DIFFUSERS, ETC. SUBJECT TO OWNERS APPROVAL. "PANASONIC" OR EQUAL FANS: DIRECTLY VENTED TO OUTSIDE, BACKDRAFT DAMPERS ARE REQUIRED  
M4. LAUNDRY: MAXIMUM 10 MINUTE AIR CHANGE AND 5 SONES. DRYER VENT TO EXTERIOR TO BE 14 FEET MAXIMUM - 2 FEET PER 90 DEGREE TURN.  
M5. BATHS: MAXIMUM 5 MINUTE AIR CHANGE, SONES: MASTER BATH: 2 SONES MAXIMUM. ADJACENT TO LIVING, DINING, KITCHEN, FAMILY ROOM: 5 SONES MINIMUM. OTHER BATHS: 5 SONES MAXIMUM.  
M6. PROVIDE COMBUSTION AIR OPENINGS WITHIN 12" OF THE FLOOR AND CEILING FOR GAS BURNING EQUIPMENT, DIRECT TO OUTSIDE. HEIGHT TO COMBUSTIBLE MATERIAL ABOVE KITCHEN RANGES: 30" - UNPROTECTED, 24" - PROTECTED.  
M7. RESIDENTIAL BATHROOM EXHAUST FANS, MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH ASHRAE 62.2, SECTION 5; EXHAUST FANS SHALL BE ENERGY COMPLIANT; EXHAUST FANS SHALL TERMINATE OUTSIDE THE BUILDING [CALGREEN 4.506.1]

### PLUMBING:

- P1. PIPING:  
• DOMESTIC WATER (WITHIN BUILDING): COPPER  
• GAS, EXPOSED TO WEATHER: GALVANIZED STEEL  
• AIR CHAMBERS: 12" LONG CAPPED NIPPLE AT END OF EACH BRANCH TO EACH FIXTURE.  
• DIELECTRIC UNIONS "F.P.C.O." REQUIREMENT AT ALL DISSIMILAR MATERIAL CONNECTIONS.  
• SOFT-WATER LOOP WITH 2 GATE VALVES  
• HEATED WATER TO HAVE CONTINUOUS LOOP SYSTEM  
• 80 GAS PIPING SHALL BE INSTALLED IN OR ON THE GROUND UNDER ANY BLDG'S STRUCTURE. ALL EXPOSED GAS PIPING SHALL BE 6" MIN. ABOVE GRADE OR STRUCTURE.  
• UNDERGROUND METAL GAS PIPE MUST BE ELECTRICALLY ISOLATED FROM INTERIOR GAS PIPE BY AN APPROVED ISOLATION FITTING INSTALLED AT LEAST 6" ABOVE GRADE.

- P2. WATER METER: 3/4" U.O.N. ON SITE PLAN.  
P3. SHOWERHEADS AND FAUCETS: CEC CERTIFIED.  
P4. PIPE INSULATION: R-3 ON HOT WATER PIPES IN UNCONDITIONED SPACES AND RECIRCULATING HOT WATER PIPES.  
P5. STRAPS AND HANGERS: PROVIDE AS NECESSARY TO INSURE A STABLE INSTALLATION.  
P6. SEE FLOOR PLAN FOR WATER HEATER.  
P7. ALL HOSE BIBS AND LAWN SPRINKLER SYSTEMS SHALL HAVE APPROVED BACKFLOW PREVENTION DEVICES.  
P8. GAS LINE TO BE SIZED BY PLUMBING CONTRACTOR. PROVIDE CALC'S AT FIRST INSPECTION.  
P9. HOSE BIBS WITH APPROVED NON-REMOVABLE BACKFLOW PREVENTION DEVICE

### ELECTRICAL:

- E1. CONFORM WITH CURRENT ICC, NEC, NFPA, MFR'S, AND LOCAL REQUIREMENTS.  
E2. ELECTRICAL SYSTEM GROUND PER CEC ARTICLE 250-86 ELECTRICAL SERVICE PANEL TO BE GROUNDED WITH 1/20' X 20' LONG REBAR FOR BACKUP UFER GROUND BONDED TO COLD WATER PIPE.  
E3. ALL MATERIALS TO BE U.L. LABELED.  
E4. METER: "SQUARE D", 120 VOLT/240 VOLT, 1 AND 3 WIRE GROUND.  
E5. MAIN PANEL: FLUSH MOUNT, 30" CLEARANCE  
E6. CONDUCTORS: MUST CONSIST OF FOUR WIRES AND THE RECEPTALS AND PLUGS FOR THE APPLIANCE (COOKING APPLIANCES, RANGES, COOKTOPS, OVENS & DRYERS) MUST ACCOMMODATE FOUR WIRES.  
E7. LAMPS: FOR GENERAL LIGHTING IN KITCHENS AND BATH SHALL BE ENERGY EFFICACY.  
E8. ALL CONVENIENCE OUTLETS IN BATHROOMS, KITCHENS, LAUNDRY, OUTDOORS & IN GARAGES AND BASEMENTS SHALL BE G.F.I. PROTECTED.  
E9. PROVIDE ELECTRIC OUTLET AND PUSH-BUTTON WIRE FOR GARAGE OPENER (INCLUDE OPENER).  
E10. THERMOSTAT SHALL BE A SET-BACK TYPE, HONEYWELL T-802A OR EQUAL.  
E11. MAIN-PANEL: (S)SIZE 200 AMP SIZED TO PROVIDE FOUR FULL SIZE SPARE CIRCUIT SPACES FOR FUTURE EXPANSION  
E12. RECESSED LIGHT FIXTURES INSTALLED IN AREAS TO RECEIVE INSULATION SHALL BE "IC" RATED & AIRTIGHT CONSTRUCTION (AT)UNITS (INSULATION ZERO CLEARANCE TYPE I) AND NO PENETRATION OR REMOVAL OF INSULATION ALLOWED.  
E13. RECESSED LUMINARIES MUST ALLOW BALLAST MAINTENANCE AND REPLACEMENT READILY ACCESSIBLE FROM BELOW THE CEILING WITHOUT CUTTING HOLES IN CEILING (ENERGY STANDARDS).  
E14. BATHROOM RECEPTACLES MUST BE ON A 20 AMP CIRCUIT (OR CIRCUITS) WITH NO OTHER OUTLETS.  
E15. OUTSIDE RECEPTACLES MAY NOT BE ON A SMALL APPLIANCE CIRCUIT.  
E16. CEILING FANS WEIGHING OVER 35 POUNDS CANNOT BE SUPPORTED BY AN ELECTRICAL BOX. THEY MUST BE SUPPORTED AS REQUIRED BY SEC 370-23.  
E17. SUBPANELS AND OVER CURRENT DEVICES ARE PROHIBITED IN BATHRMS.  
E18. ALL ELECTRICAL, TELECOMMUNICATION AND OTHER UTILITIES SHALL BE INSTALLED UNDERGROUND IN AN APPROVED METHOD OF CONSTRUCTION.  
E19. ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE-PHASE 15 AND 20 AMP RECEPTACLE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, BEDROOMS, CLOSETS, HALLWAYS, OR SIMILAR AREAS SHALL BE PROTECTED BY ARCH-FAULT CIRCUIT INTERRUPTERS.  
E20. ALL RECEPTACLE OUTLETS SHALL BE G.F.I.  
E21. ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM ANY OPENINGS INTO THE BUILDING (I.E., DRYERS, BATH AND UTILITIES FANS, ETC., MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS).  
E22. SHOWER AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.  
E23. FIRST HOUR RATING OF THE WATER HEATER IS 80 GALLONS AS SPECIFIED IN CPC TABLE 5-1. CPC SECTION 501  
E24. EXTERIOR RECEPTACLES AT THE FRONT AND REAR OF THE HOME MUST BE WITHIN 6 FEET 6 INCHES OF GRADE, GFCI PROTECTED, AND WATERPROOF.  
E25. ALL INSTALLED LIGHTING IN BATHROOMS, ATTACHED AND DETACHED GARAGES, CLOSETS, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY, OR CONTROLLED BY A VACANCY (MANUAL-ON OCCUPANT) SENSOR CERTIFIED TO CEC STANDARDS. (LOW EFFICACY LUMINARIES ARE ALLOWED IN CLOSETS LESS THAN 70 SQ.FT. FLOOR AREA, HOWEVER, LUMINARIES MUST COMPLY WITH THE REQ. OF THE 2013 CEC 410.10.  
E26. RECESSED LUMINAIRES IN INSULATED CEILINGS MUST BE CERTIFIED AIRTIGHT (ASTM E283), SHALL BE SUFFICIENTLY AIRTIGHT TO PREVENT THE FLOW OF HEATED OR COOLED AIR BETWEEN CONDITIONED AND UNCONDITIONED SPACES, PROVIDED WITH GASKET BETWEEN LUMINAIRE AND CEILING, AND ALL AIR LEAK PATHS THROUGH LUMINAIRE ASSEMBLY OR CEILING OPENING MUST BE SEALED. (ENERGY STANDARDS).  
E27. LUMINAIRES LOCATED OUTSIDE ON THE EXTERIOR OF THE BUILDING SHALL BE LISTED FOR DAMP/WET LOCATIONS. CEC ART. 100.  
E28. ALL OUTDOOR LIGHTING ATTACHED TO BUILDINGS MUST BE HIGH EFFICACY, OR CONTROLLED BY A MOTION SENSOR IN ADDITION TO ONE OF THE FOLLOWING METHODS: PHOTOCONTROL, NOT HAVING AN OVERRIDE OR BYPASS SWITCH; OR ASTRONOMICAL TIME CLOCK NOT HAVING AN OVERRIDE OR BYPASS SWITCH; OR AN ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT ALLOWS THE LUMINAIRE TO BE ALWAYS ON. (ENERGY STANDARDS).  
E29. PROVIDE AN APPROVED BACKWATER VALVE ON DRAINAGE PIPING SERVING FIXTURES THAT HAVE FLOOD LEVEL RIMS LESS THAN 12" ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE.  
E30. A LEVEL SERVICE SPACE (INSPECTION, REPAIR AND REPLACEMENT) SHALL NOT BE LESS THAN 30" IN DEPTH, WIDTH AND HEIGHT OF THE WORKING SPACE AND 30" WIDE LOCATED AT THE FRONT OR SERVICE SIDE OF THE EQUIPMENT.  
E31. RESIDENTIAL LIGHTING MANDATORY MEASURES SHALL BE INCORPORATED INTO THE DESIGN AND SHALL BE NOTED/INCLUDED ON THE ELECTRICAL PLANS.  
E32. EXHAUST FAN HOUSING AND CEILING SHALL BE DESIGNED TO PREVENT THE FLOW AND LOSS OF HEATED OR COOLED AIR.  
E33. PROVIDE BACKDRAFT DAMPERS AT ALL EXHAUST FANS.  
E34. RECEPTACLE OUTLETS SHALL HAVE NO POINT ALONG THE WALL IS FURTHER THAN 6 FEET FROM AN OUTLET. CEC 210.52(a)  
E35. ALL 120 VOLTS, 15-AND 20-AMPERES RECEPTACLES SHALL BE TAMPER-RESISTANT(TR), CEC 406.12, 210.52 & 210.8(d).  
E36. PROVIDE AFCI CIRCUIT PROTECTION FOR ALL (N) ROOMS (EXCEPT FOR KITCHEN, BATHROOMS, GARAGE, LAUNDRY AND PORCHES PER CEC 210.12  
E37. BATHROOM FANS TO HAVE 20 CFM RATING AND KITCHEN HOOD TO BE 100 CFM.  
E38. PROVIDE TAMPER PROOFING RECEPTACLES FOR ALL NEW INSTALLATION  
E39. PROVIDE SEPARATE ELECTRICAL CIRCUITS FOR:  
A. KITCHEN (2) 20 AMPS SMALL APPLIANCE CIRCUITS  
B. BATHROOM (1) 20 AMPS CIRCUIT  
C. LAUNDRY (1) 20 AMPS CIRCUIT  
D. MOTOR (FAU).  
E. JACUZZI MOTORS  
F. GARBAGE DISPOSAL  
G. DISHWASHER

## ELECTRICAL SYMBOLS

	INCANDESCENT LED FIXTURE: WALL MOUNTED, F = FLUORESCENT		TELEVISION/CABLE INTERNET
	INCANDESCENT LED FIXTURE: RECESSED MOUNTED		THERMOMETER CONTROL
	C = CEILING MOUNTED LED		CHANDELIER
	E= FLUORESCENT LIGHT - MIN. 40 LUMENS PER WATT		CAT 5 JACK
	V= WATER VAPOR PROOF		TELEPHONE/OPTIC CABLE JACK
	A = AUTOMATIC		SWITCH: • 3W = WAY SWITCH • D = DIMMER • 3D = 3 WAY DIMMER • 4D = 3 WAY DIMMER • S = MANUEL-ON OCCUPANCY SENSOR Sv = VACANCY SENSOR
	P = PENDANT		OUTLET: • 110V = 110 VOLT 2 - PRONG OUTLET • 220V = 220 VOLT 2 - PRONG OUTLET • GFI = CIRCUIT INTERRUPTOR • WPP = WATER PROOF
	CEILING FAN & LED LIGHT		WATER SHUT OFF - A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO BE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: "WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEMS WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN." (CRC R313.3.7)
	LED PANEL 1'x4'(40W) 2'x2'(40W&60W) 2'x4'(50W&75W) MODEL 'BL-P7-50W CNS/CDS'		GAS METER
	LED T8 TUBE MODEL 'BL T8 18W 1200 WIDZ DIMMABLE'		GAS STUB OUT
	RETROFIT TUBE		200 AMPS. ELECTRICAL METER
	EXTERIOR LED FLOOD LAMP ON MOTION SENSOR		
	NOTE: (N) SOLAR ACTIVATED PANATIC FAN AND SUTIMBELS, 12" H AND 18" H, BY KULLIGHT SOLUTIONS 1.877-FAN-ATTIC		
	"PANASONIC" FANLIGHT COMBO. UNIT OR EQUAL		
	FAN UNIT 5 - AIR CHANGES PER HOUR MIN.		
	SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, BE EQUIPPED WITH BATTERY BACK-UP AND BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS. SMOKE ALARMS INSTALLED WITHIN 20 FT. OF A KITCHEN OR ANY ROOMS CONTAINING A FIREPLACE OR WOOD BURNING STOVE SHALL BE OF THE PHOTOELECTRIC TYPE. FOR PLACEMENT OF SMOKE ALARMS AND CARBON MONOXIDE ALARMS IN ROOMS WITH VARIATIONS IN CEILING HEIGHT (SLOPED, PITCHED ETC.), REFER TO THE MANUFACTURERS GUIDELINES FOR PROPER PLACEMENT.		
	CO ALARMS MUST RECEIVE THEIR PRIMARY POWER FROM A COMMERCIAL SOURCE AND BE EQUIPPED WITH A BATTERY BACKED-UP ALARM WIRING SHALL BE DIRECTLY CONNECTED TO THE PERMANENT BUILDING WIRING WITHOUT A DISCONNECTING SWITCH OTHER THAN THAT REQUIRED FOR OVER CURRENT PROTECTION. (CRC R315.1.)		
	HEAT REGISTER: C= CEILING, F= FLOOR, TK = TOE KICK		
	COLD AIR RETURN: C= CEILING, LW = LOW WALL		

REVISIONS	BY
4	3/30/19 MC

## ELECTRICAL PLAN

A NEW ADDITION FOR:  
THE CASASSA FAMILY  
500 SUMMIT ROAD  
MORGAN HILL, CA 95307

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K.B.

CHECKED BY:  
M.C./C.C.

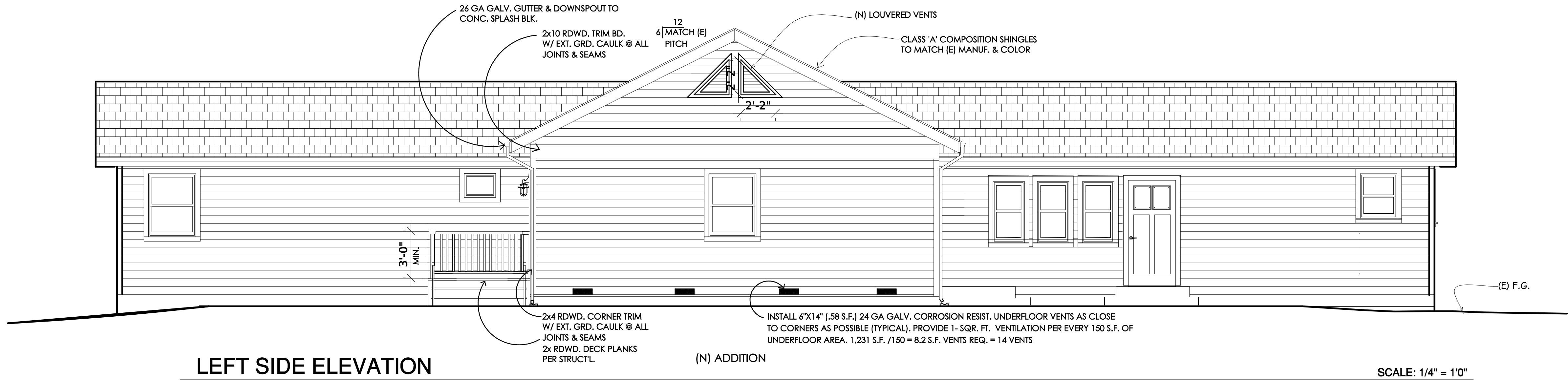
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3/30/19

SCALE:  
1/4"=1'0"

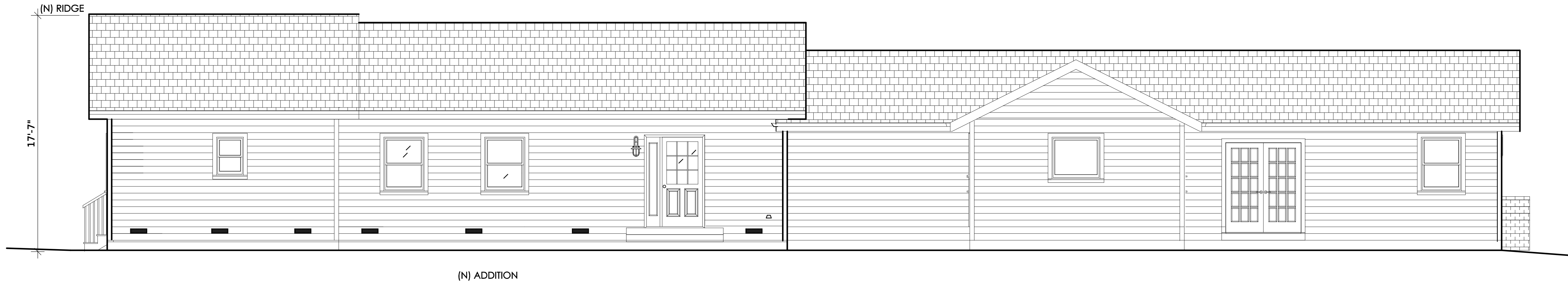
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SHEET:

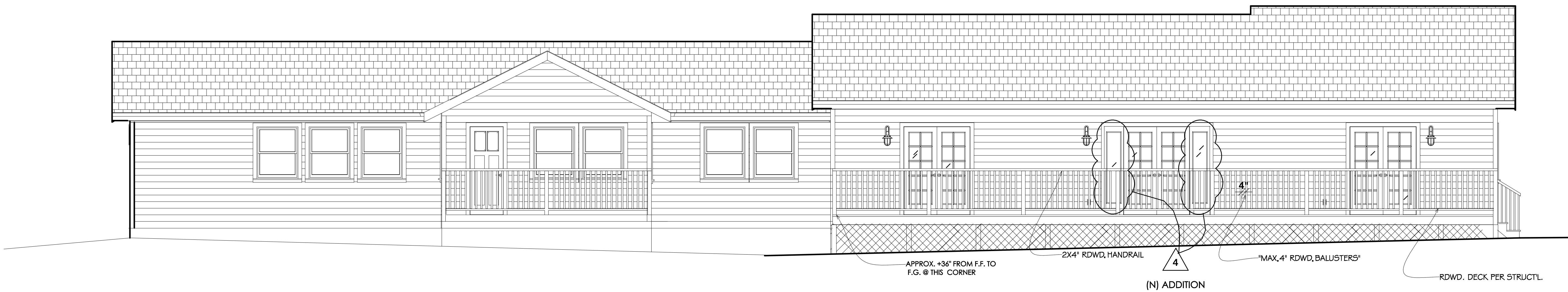
E 1



LEFT SIDE ELEVATION



FRONT ELEVATION



REAR ELEVATION

REVISIONS	BY
4	3/30/19 MC

ELEVATIONS

A NEW ADDITION FOR:  
THE CASASSA FAMILY  
500 SUMMIT ROAD  
MORGAN HILL, CA 95307

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DATE: 3/30/19
SCALE: 1/4" = 1'0"
JOB: 02116
SHEET

A4



REVISIONS	BY
3	2/20/19 MC

EXISTING  
FLOOR PLAN

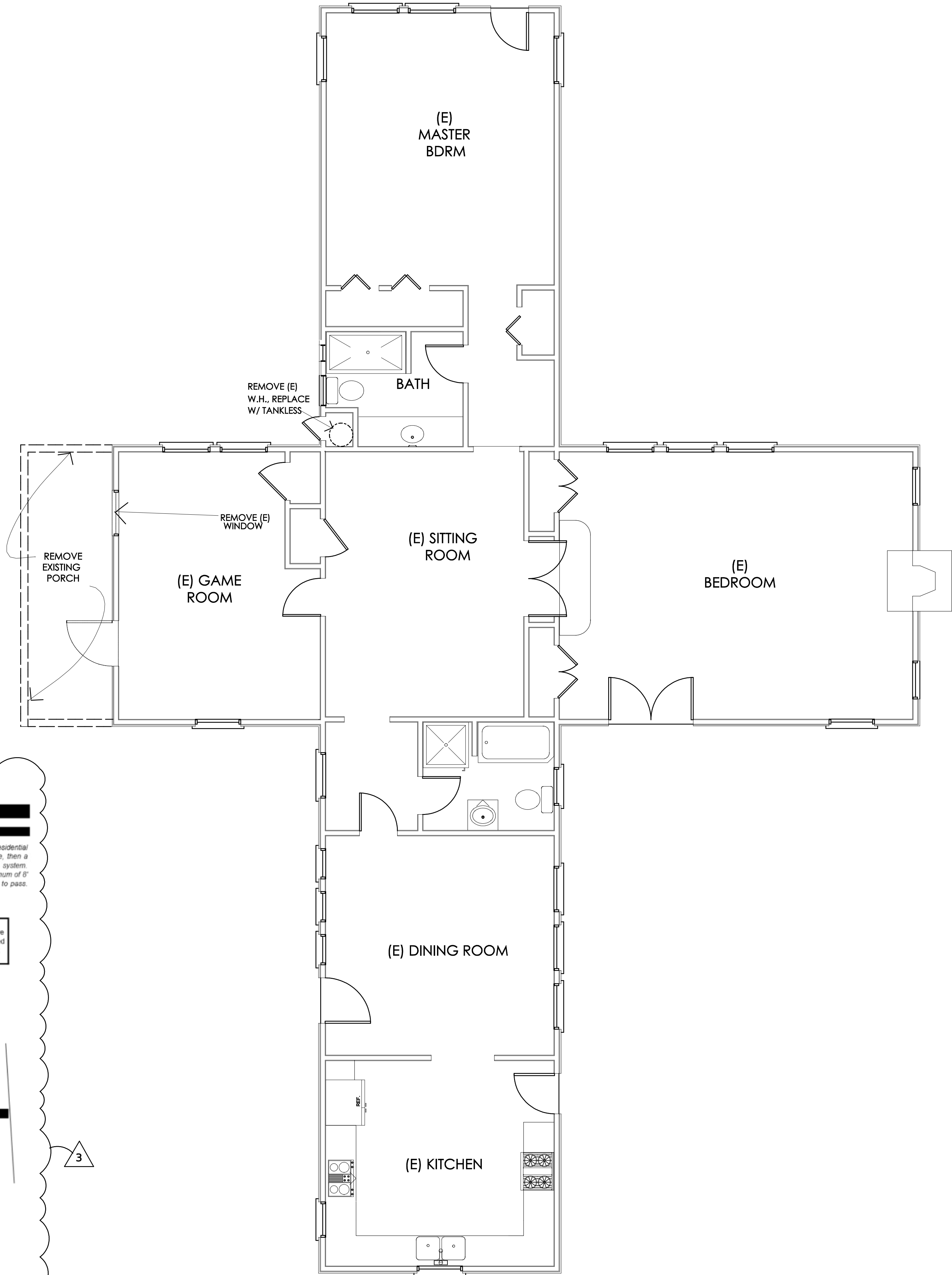
A NEW ADDITION FOR:  
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500 SUMMIT ROAD  
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DATE: 3-30-19
SCALE: 1/4" = 1'0"
JOB: 02116
SHEET

A3

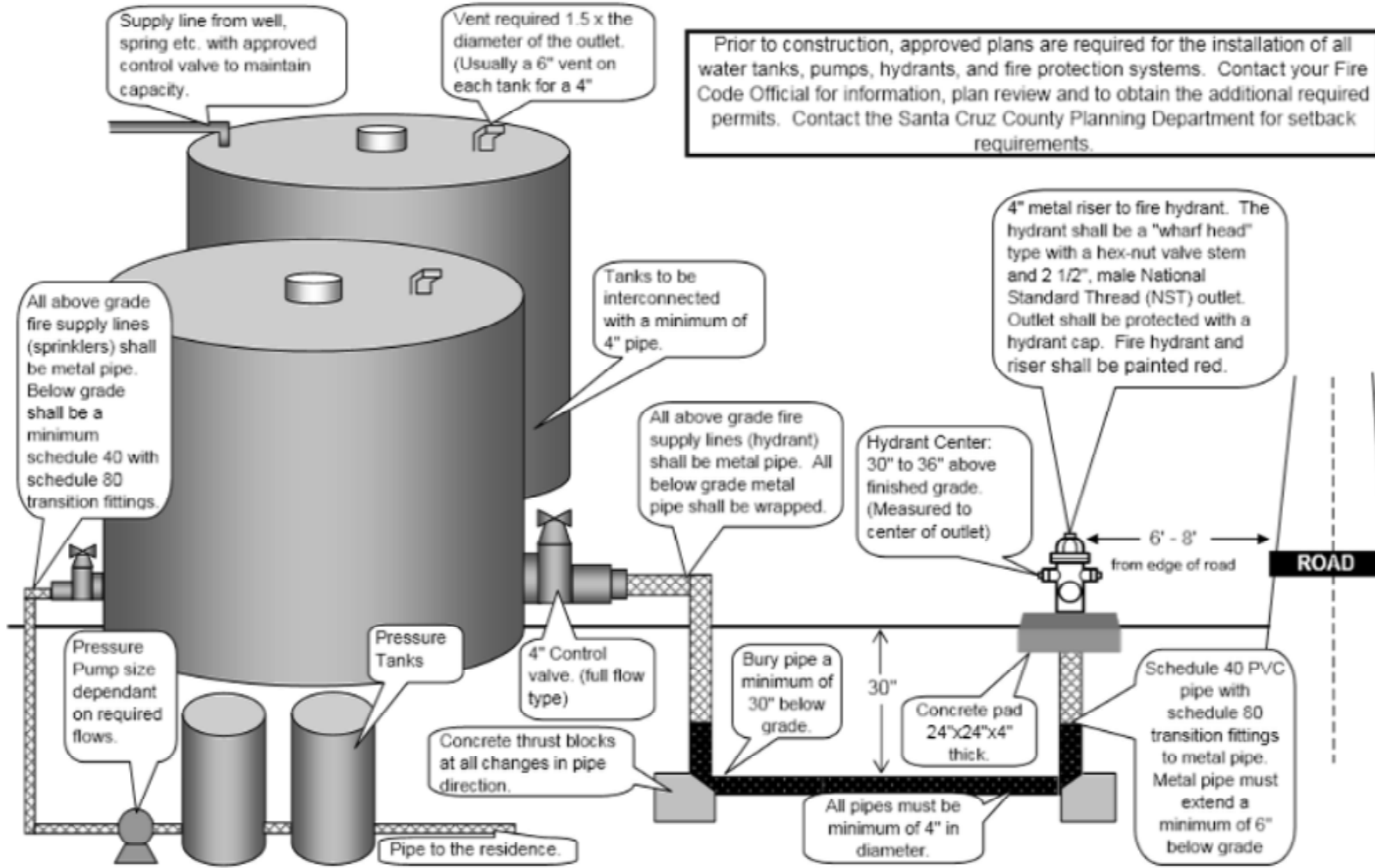


EXISTING FLOOR PLAN

SCALE: 1/4" = 1'0"

GUIDE TO WATER STORAGE FOR FIRE PROTECTION  
Attachment G-1

Santa Cruz County requires a minimum of 10,000 gallons of water storage and a fire department hydrant to access the water for all new residential, non-residential and building additions of more than 500 square feet. (Exception: if an approved municipal water system fire hydrant is located within 600' of structure, then a private water supplied hydrant system is not required.) Note: All new dwellings require the installation of a residential fire sprinkler system. Hydrant location: To be a minimum of 30' and a maximum of 150' from the protected structures. The hydrant is to be located a minimum of 6' or a maximum of 6' from the edge of the road, driveway or turnout. A turnout is required if the driveway or road is less than 16' in width to allow additional fire apparatus to pass. Questions regarding the location of the fire hydrant will be addressed by the Fire Code Official.



WATER TANK INSTALLATION

1

REVISIONS	BY
4	3/30/19 MC

NEW ROOM  
ADDITION

A NEW ADDITION FOR:  
THE CASASSA FAMILY  
500 SUMMIT ROAD  
MORGAN HILL, CA 95307

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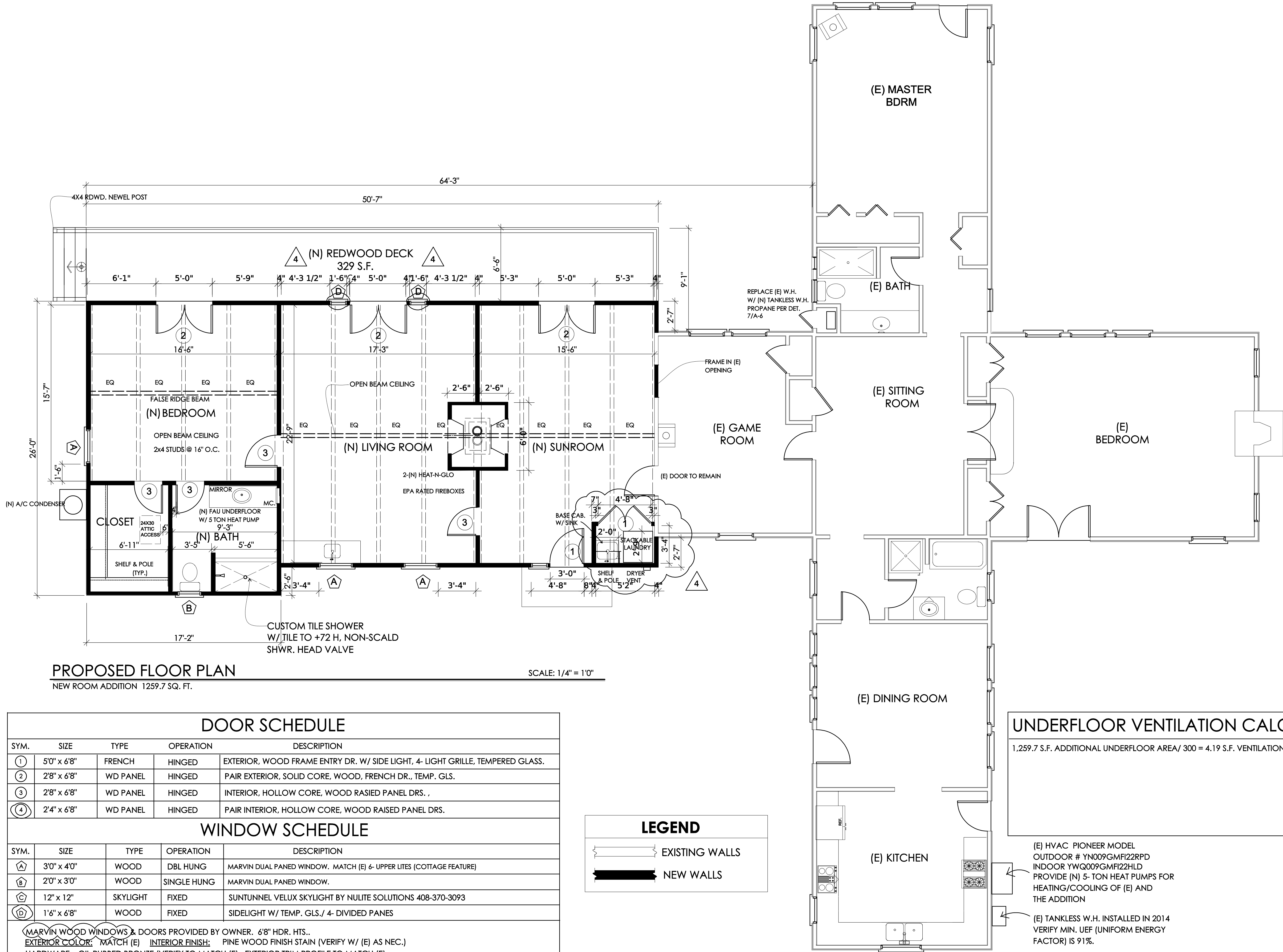
DATE:  
3-30-19

SCALE:  
1/4" = 1'0"

JOB:  
02116

SHEET

A2





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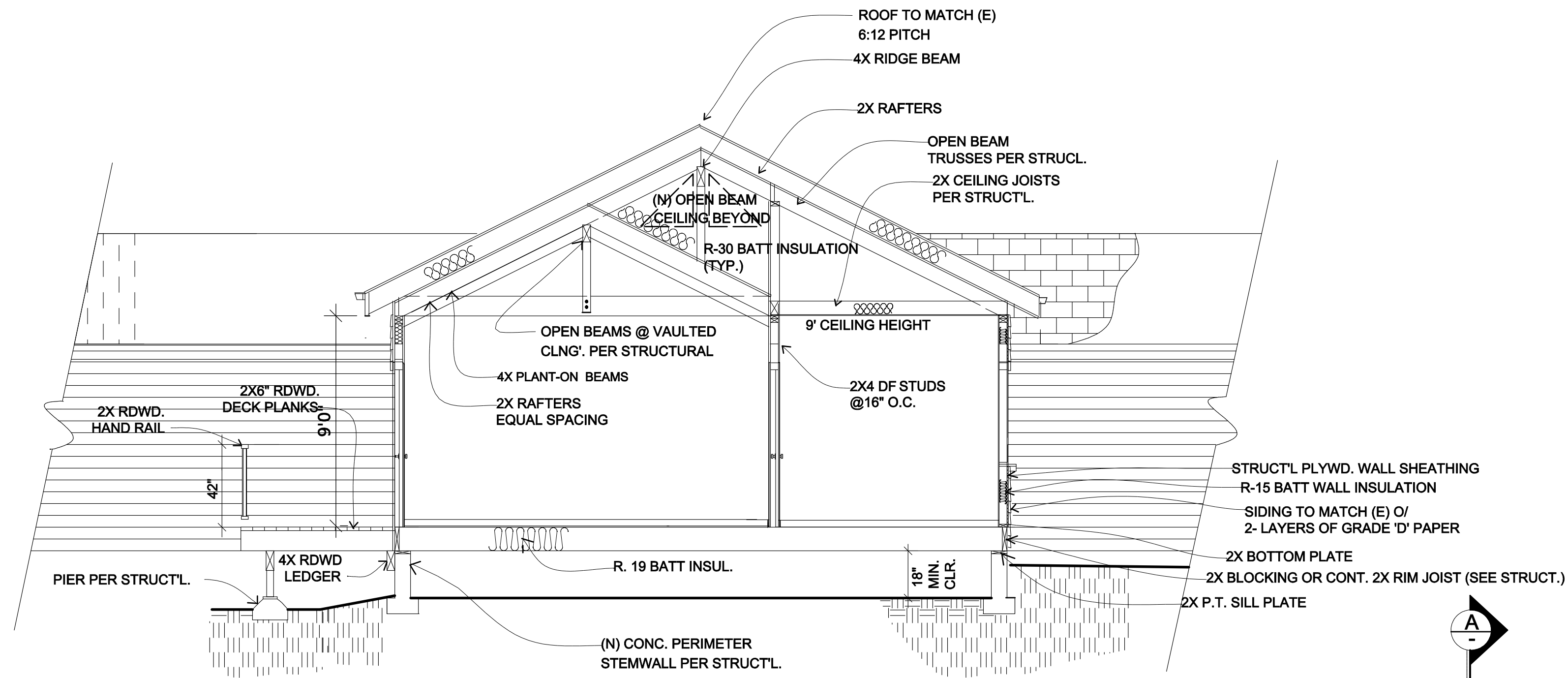
ROOF PLAN  
SECTION A  
SECTION B

A NEW ADDITION FOR:  
**THE CASASSA FAMILY**  
**500 SUMMIT ROAD**  
**MORGAN HILL, CA 95307**

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<b>CHECKED BY:</b> <b>M.C./C.C.</b>
<b>DATE:</b> <b>3-30-19</b>
<b>SCALE:</b> <b>1/4"=1'0"</b>
<b>JOB:</b> <b>02116</b>
<b>SHEET</b>

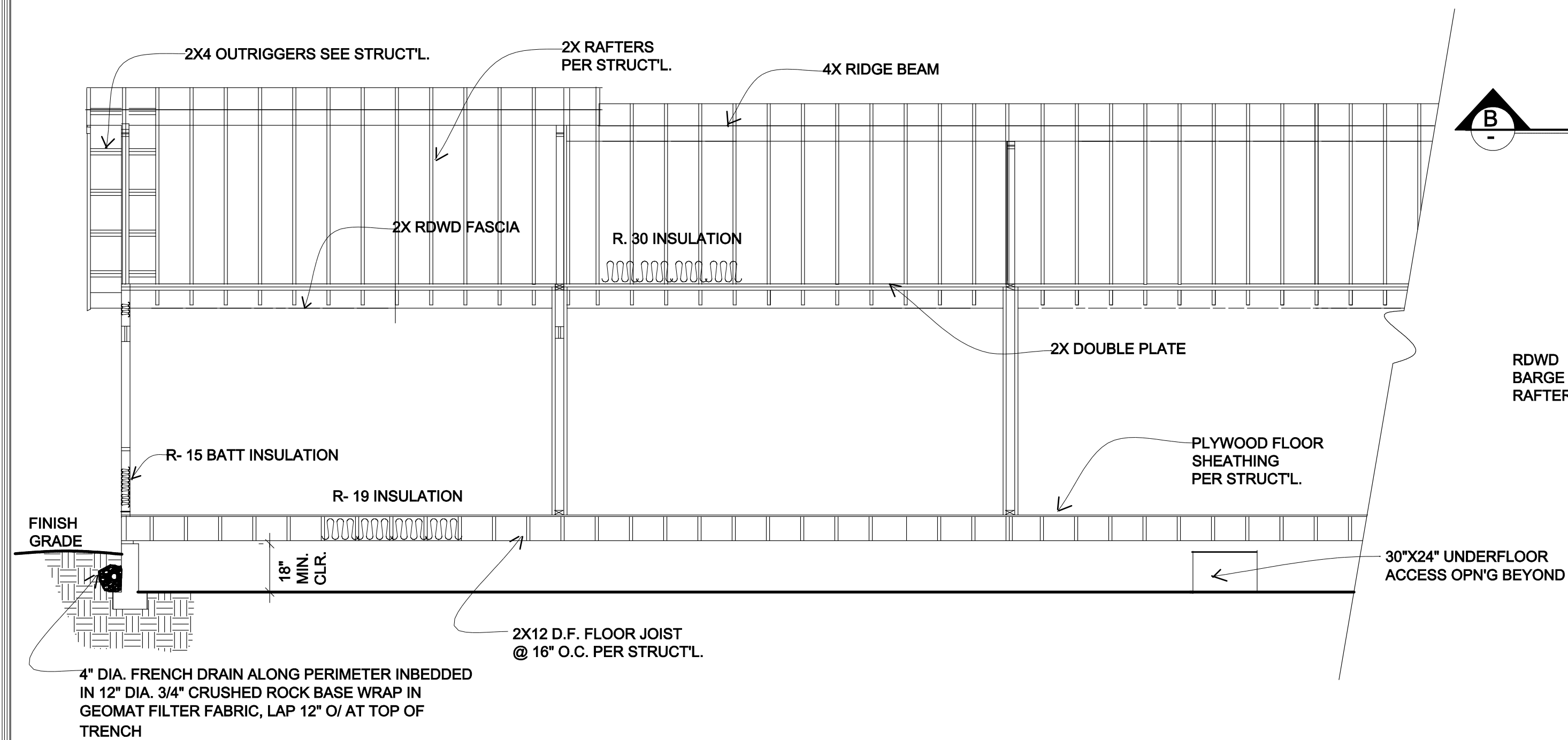
A5



## SECTION VIEW

**SCALE: 1/4" = 1'0"**

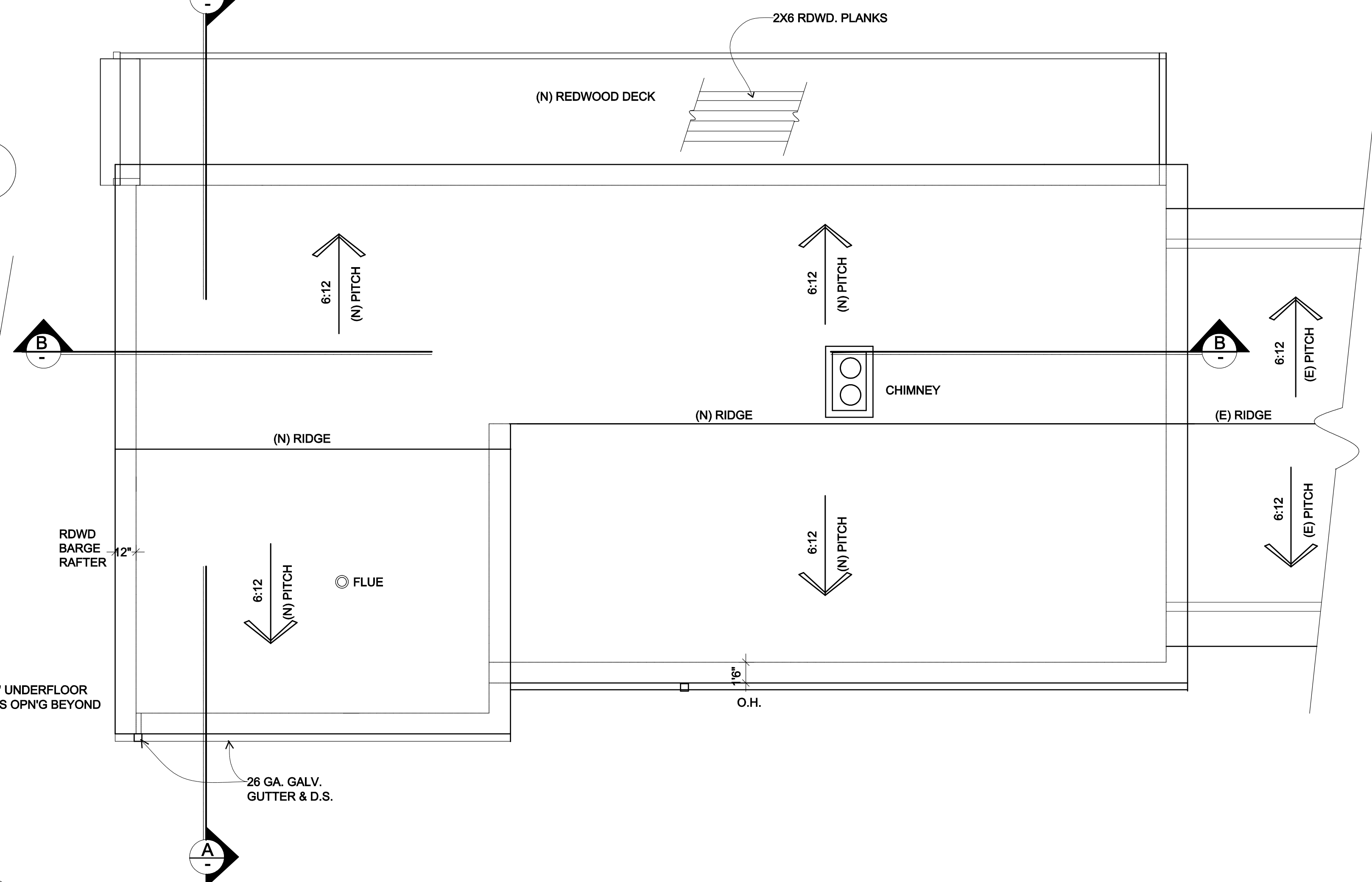
A



## SECTION VIEW

SCALE: 1/4" = 1'0"

**B**



## ROOF PLAN

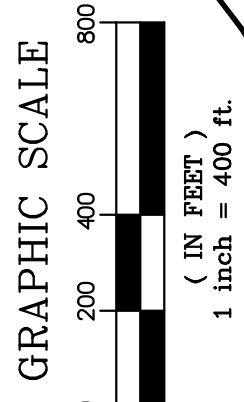
SCALE: 1/4" = 1'0"

This map was prepared as an interpretation of the information shown on the map and is not a substitute for the original map. The information shown hereon and any other project without written authority from the original mapmaker is void. Kenneth D. Wilson, Licensed Professional Surveyor, No. 5571, State of California, is the author of this map. Any drawing made from this map, without the written consent of the author, is void. Kenneth D. Wilson Land Survey, Los Angeles, CA.

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE LAND SURVEYORS ACT. THE BOUNDARY LINES SHOWN ON THIS MAP ARE BASED ON A FIELD SURVEY.

*Kenneth D. Wilson*  
KENNETH D. WILSON  
DATE 4-9-18  
NOTE: TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.

NOTE: THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE NOT TO BE CONSIDERED AS A BASIS FOR ANY OTHER EVIDENCE. THERE MAY BE OTHER UNDERGROUND UTILITIES THAT EXIST ON THIS SITE THAT ARE NOT SHOWN ON THIS PLAN.

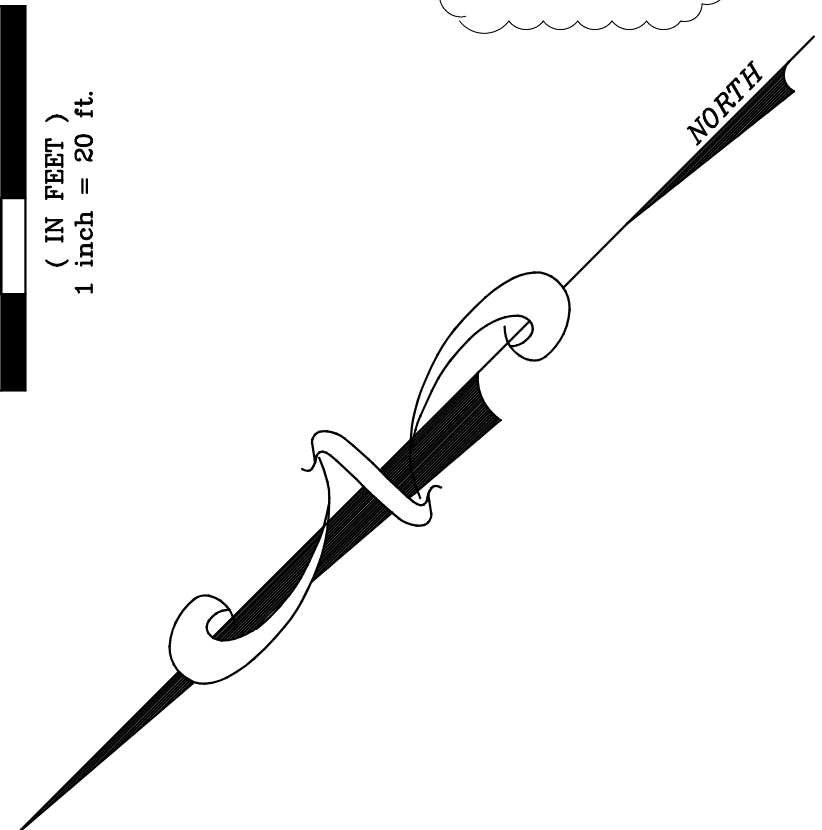
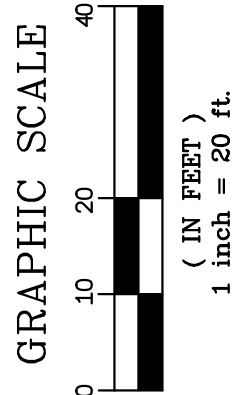


AGRICULTURAL PRODUCTION AREA  
62.04 AC

PARCEL B OF  
428 M 34  
TOTAL 64.20 AC

PRIMARY RESIDENCE  
SECONDARY RESIDENCE  
WELL

SUMMIT ROAD



S152°29'E  
165.70

S01°50'E  
100.70

SUMMIT ROAD

R=2050.00'  
L=352.80'

## TOPOGRAPHIC SURVEY

MIKE CASSASA

LEGAL DESCRIPTION: PARCEL B OF 428 M 34 IN THE COUNTY OF SANTA CLARA, CALIFORNIA



APR: 756-24-049  
DATE: MAY 2016  
SCALE: 1"=20'  
PROJECT: E-039  
SHEET: 1 OF 1  
DRAWN BY: KDW  
KENNETH D. WILSON LS 5571

## LEGEND

- FOUND MONUMENT AS NOTED
- SET 5/8" REBAR LS 5571
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- JOINT POLE
- UTILITY POLE
- TELEPHONE POLE
- GUYWIRE
- BLUE PAINT- EVIDENCE OF UG WATER LINE
- ELECTRIC METER
- GAS METER
- MONITORING WELL
- YELLOW PAINT- EVIDENCE OF UG GAS LINE
- PHONE PEDESTAL
- PHONE BOX
- PHONE MANHOLE
- ORANGE PAINT- EVIDENCE OF UG PHONE LINE
- TRAFFIC SIGNAL CONTROL BOX
- TRAFFIC SIGNAL
- TV BOX
- OVERHEAD LINE
- ORANGE PAINT- EVIDENCE OF UG TV LINE
- HANDCAP RAMP
- STORM DRAIN MANHOLE
- DROP INLET
- PHONE MANHOLE
- SEWER MANHOLE
- SEWER CLEANOUT
- PARKING METER
- SIGN
- CONTROL POINT
- LAMP POST
- ELECTRIC BOX
- WALL
- BOLLARD
- WOOD FENCE
- CONCRETE
- LIVE OAK
- WHITE OAK
- REDWOOD
- TYPICAL

## EXISTING IMPROVEMENTS

SIZE	DESCRIPTION
1771	EXISTING RESIDENCE
794	SECONDARY DWELLING
60	SHED 1
116	SHED 2
70	SHED 3
125	SHED 4
177	DECK 1
173	DECK 2
143	SLAB 1
713	CARPORT 1
357	CARPORT 2
40	PORCH
1881	BASE DRIVEWAY
5704	SEPTIC SYSTEM
16	BBQ
28,340	TOTAL

## PROPOSED IMPROVEMENTS

SIZE	DESCRIPTION
1231 SF	ADDITION
329 SF	DECK
1560 SF	TOTAL

ITEM	AREA	% OF TOTAL
IMPROVEMENTS	29,900 SF	1.07%
OPEN SPACE	2,786,652 SF	96.93%
TOTAL SITE AREA	2,796,552 SF	100%

