

**Applicant/Owner:**  
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**Engineer:**  
 William J. McClintock, RCE 24893  
 MH Engineering  
 16075 Vineyard Blvd.  
 Morgan Hill, CA 95037  
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**Project Information:**  
 APN 825-15-041  
 Present Use: Vacant  
 Proposed Use: Residential  
 Present Zoning: RR-5Ac-sr  
 Sanitary Sewer: Proposed Septic  
 Gas and Electric: PG&E  
 Water: Proposed Well  
 Existing Improvements: As Shown  
 Area: 2.0 acres

**Boundary Note:** Property lines shown on this plan are based on record data from Record of Survey recorded in Book 914 of Maps at Page 26.

**Flood Zone:** The property lies wholly in Zone D, areas in which flood hazards are undetermined, but possible, per FEMA Firm Panel 06085C0626H, effective May 18, 2009.

**Basis of Bearings:** The bearings shown on this map are based on the centerline of Columbet Avenue as found monumented and recorded as North 23° 49' 00" West, on that Map recorded in Book G of Maps at Pages 69, Santa Clara County Records.

**Elevation:** Elevations shown on this plan are based on field survey using GPS (NAVD88)

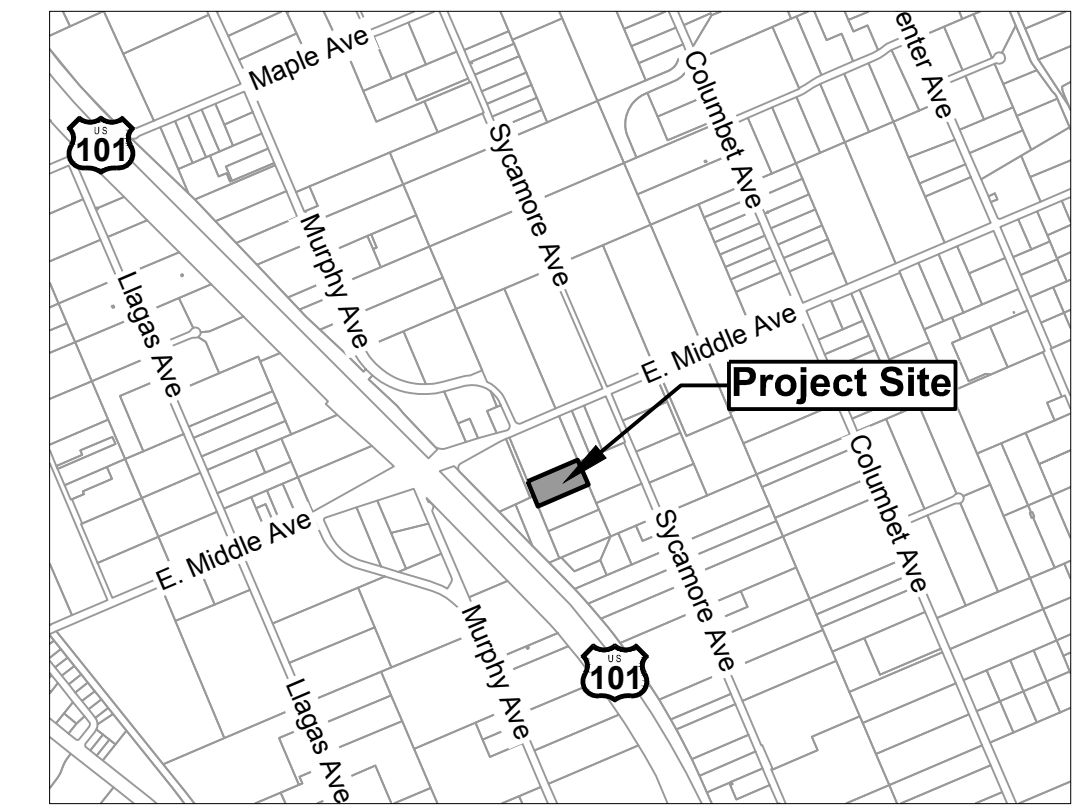
**Note:** No landscaping is proposed

**Note:** Private access road to be completed under PLN19-0232 application for building site approval and grading approval.

**Note:** Residential fire sprinklers to be a deferred submittal.

**LEGEND**

- (ex pavement)
- Proposed Structure
- Proposed AC Driveway
- Proposed AB Driveway
- Limits of Grading
- Existing Contour
- Proposed Contour

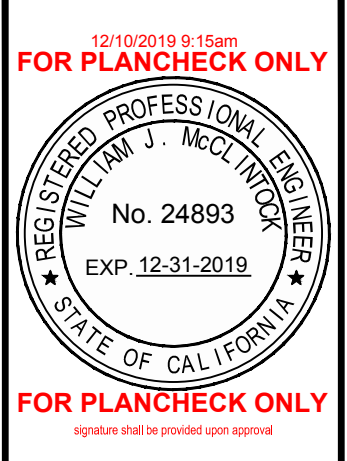
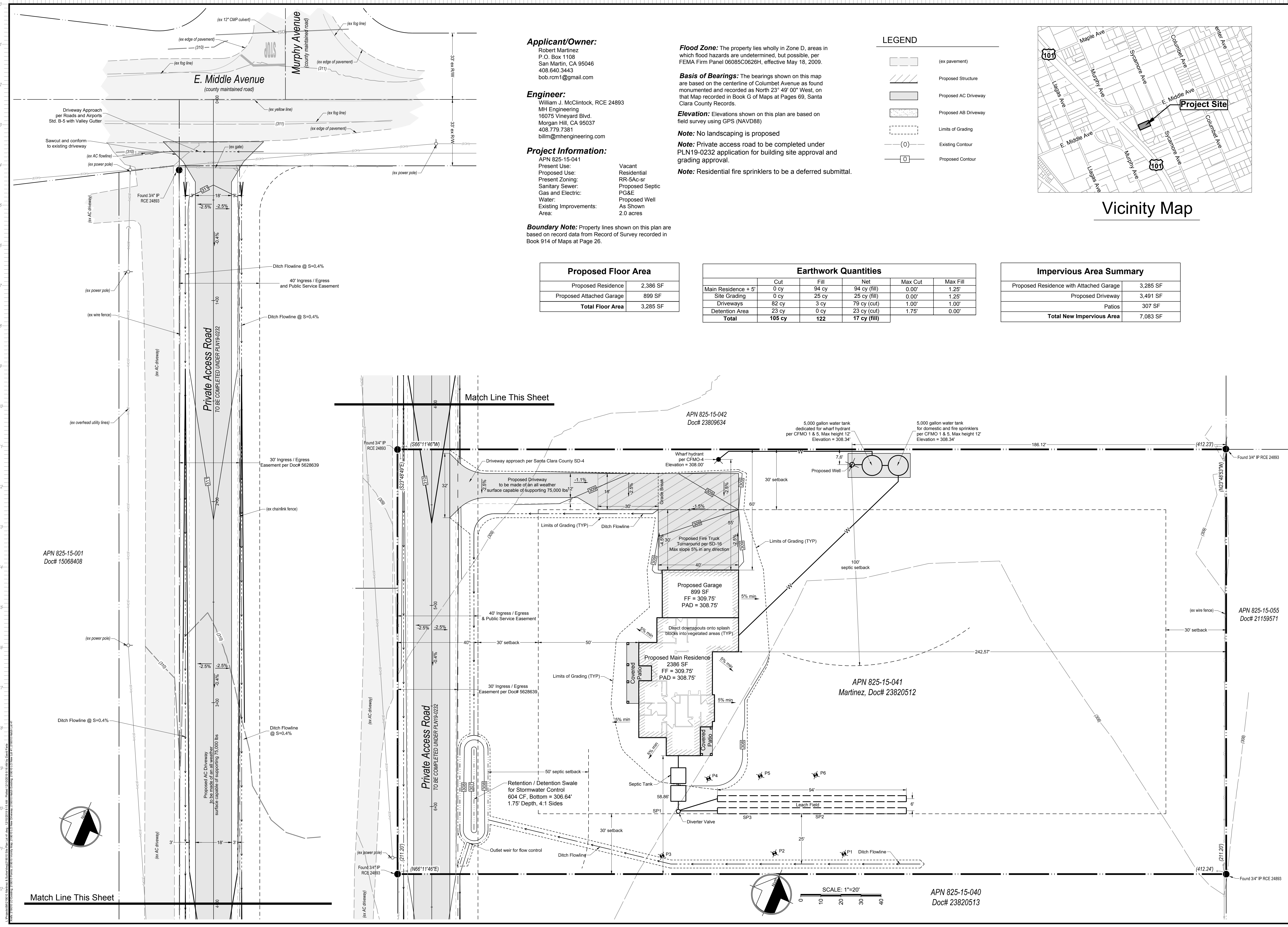


Vicinity Map

Proposed Floor Area	
Proposed Residence	2,386 SF
Proposed Attached Garage	899 SF
<b>Total Floor Area</b>	<b>3,285 SF</b>

Earthwork Quantities				
	Cut	Fill	Net	
Main Residence + 5'	0 cy	94 cy	94 cy (fill)	0.00'
Site Grading	0 cy	25 cy	25 cy (fill)	0.00'
Driveways	82 cy	3 cy	79 cy (cut)	1.00'
Detention Area	23 cy	0 cy	23 cy (cut)	1.75'
<b>Total</b>	<b>105 cy</b>	<b>122</b>	<b>17 cy (fill)</b>	

Impervious Area Summary	
Proposed Residence with Attached Garage	3,285 SF
Proposed Driveway	3,491 SF
Patios	307 SF
<b>Total New Impervious Area</b>	<b>7,083 SF</b>



**MH engineering Co.**  
 16075 Vineyard Boulevard  
 Morgan Hill, CA 95037

**Martinez - Site Plan**  
**E. Middle Ave - APNs 825-15-041**

DATE: 12/09/2019  
 SCALE: 1" = 20'  
 DRAWN BY: DF  
 CHECKED BY: WJM  
 JOB NO: 219010  
 SHEET: 1  
 OF: 1