

Applicant/Owner:

Debu and Rupa Roy
5952 Crimson Drive
San Jose, CA 95120
408.802.0869

Engineer:

William J. McClintock, RCE 24893
MH Engineering
16075 Vineyard Blvd.
Morgan Hill, CA 95037
408.779.7381
billm@mhengineering.com

Project Information:

APN 701-29-027
Present Use: Rural Residential
Proposed Use: Rural Residential
Present Zoning: RR-2.5Ac-d1
Proposed Zoning: RR-2.5Ac-d1
Sanitary Sewer: PG&E
Gas and Electric: PG&E
Water: Existing well
Telephone: As Shown
Existing Improvements: 1.85 ac
Area Gross: 1.70 ac
Area Net: 1.70 ac

Boundary Note: Property lines shown on this plan are based on record data and boundary monumentation measured to date.

Flood Zone: The property lies partially in Zone D (83.1%), areas in which flood hazards are undetermined, but possible, and partially in Zone AE (16.9%), areas subject to the 1% flood chance, per FEMA Firm Panel 06085C0404H, effective May 18, 2009.

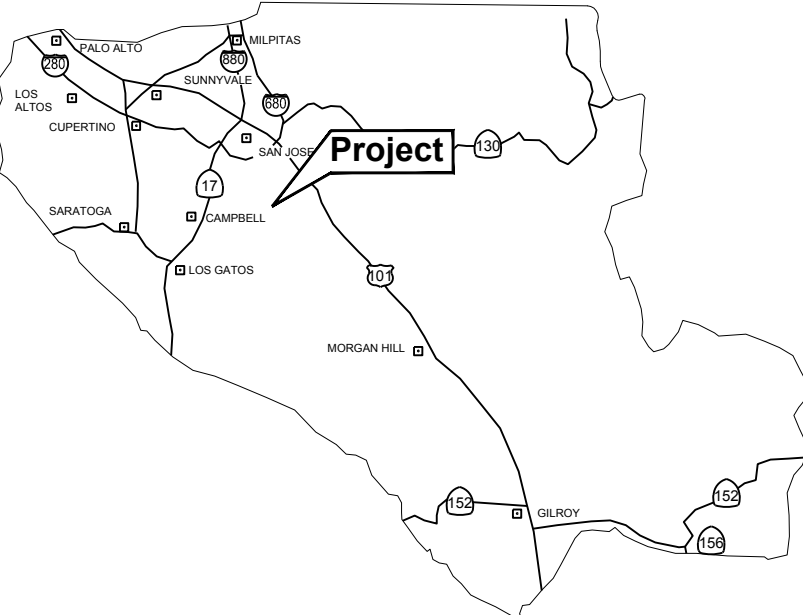
Drainage Design Notes:

- All proposed roofs, covered patios, replaced driveway, and a large portion of the existing driveway will drain into the proposed underground retention / detention system for treatment.
- The uncovered patio will not be captured into the drainage system, but the system will account for the flows by reducing the discharge from the drainage system below pre development rates.
- The outlet of the drainage system will be placed in the existing drainage ditch that outflows into the creek. This location was chosen because it has established vegetation that has taken runoff flows for many years and will not introduce any new flow paths into the creek. This outlet location will have rip rap material placed to prevent any erosion from the flows introduced by the system.
- The foundation excavation material will be used to back fill around the perimeter of the foundation to create a positive flow away. Please see detail on this sheet. This will allow any surface flow into the residence to be directed around and back into the natural surface flow path.

Basis of Bearings

The bearings shown on this map are based on the centerline of Henwood Road as found monumented and recorded as North 59° 00' 00" West, on that record of survey thereof filed June 20 1949 in Book 23 of Maps at Page 20, Santa Clara County Records.

Elevation: Elevations shown on this plan are based on field survey using GPS (NAVD88)



COUNTY LOCATION MAP

Impervious Area Summary

Description	Existing Impervious Area	Proposed Impervious Area	Net Change of Impervious Area
Existing Residence	2,643 SF	0 SF	-2,643 SF
Existing Cover Patio	894 SF	894 SF	0 SF
Existing Hardscapes	6,371 SF	5,332 SF	-1,039 SF
Proposed Residence and Garage	0 SF	5,229 SF	5,229 SF
Proposed Driveway	0 SF	1,087 SF	1,087 SF
Proposed Covered Patios	0 SF	1,444 SF	1,444 SF
Proposed Uncovered Patios	0 SF	790 SF	790 SF
Totals	9,908 SF	14,776 SF	4,868 SF

Proposed Floor Area

Proposed Residence	4,600 SF
Proposed Attached Garage	697 SF
Total Floor Area	5,297 SF

Fire Notes:

- Fire sprinklers will be a deferred submittal.
- 100 feet of defensible space shall be maintained.

Landscaping Note: No landscaping is proposed.

Septic Note: A plumbing permit will be required for the sewage lift station.

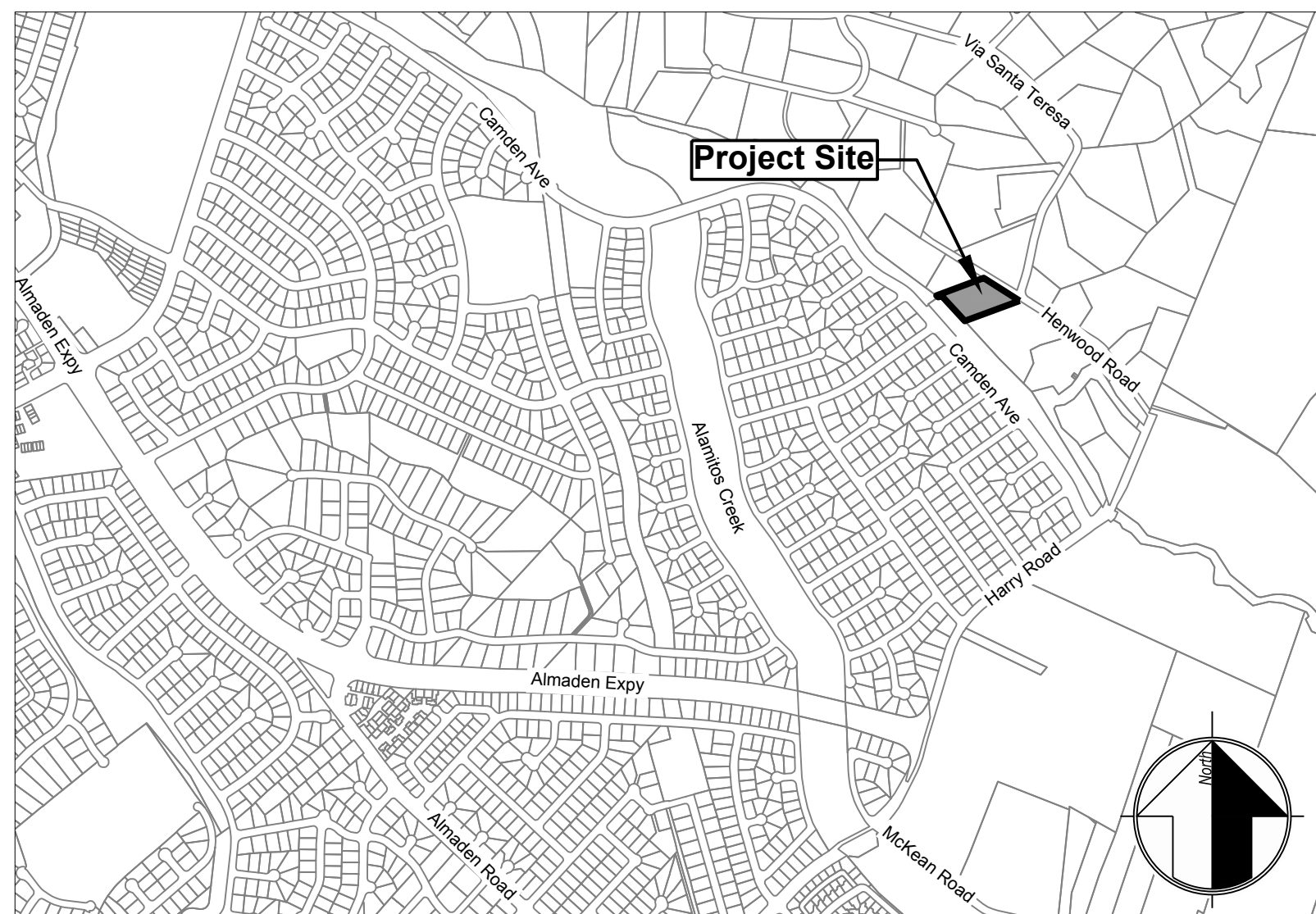
Earthwork Quantities

	Cut	Fill	Net	Max Cut	Max Fill
Building Footprint	107 cy	41 cy	70 (cut)	1.50'	1.50'
Driveway	9 cy	7 cy	2 cy (cut)	0.33'	0.33'
Site Grading	0 cy	68 cy	68 cy (fill)	0.00'	1.50'
Total	9 cy	75 cy	66 cy (fill)		

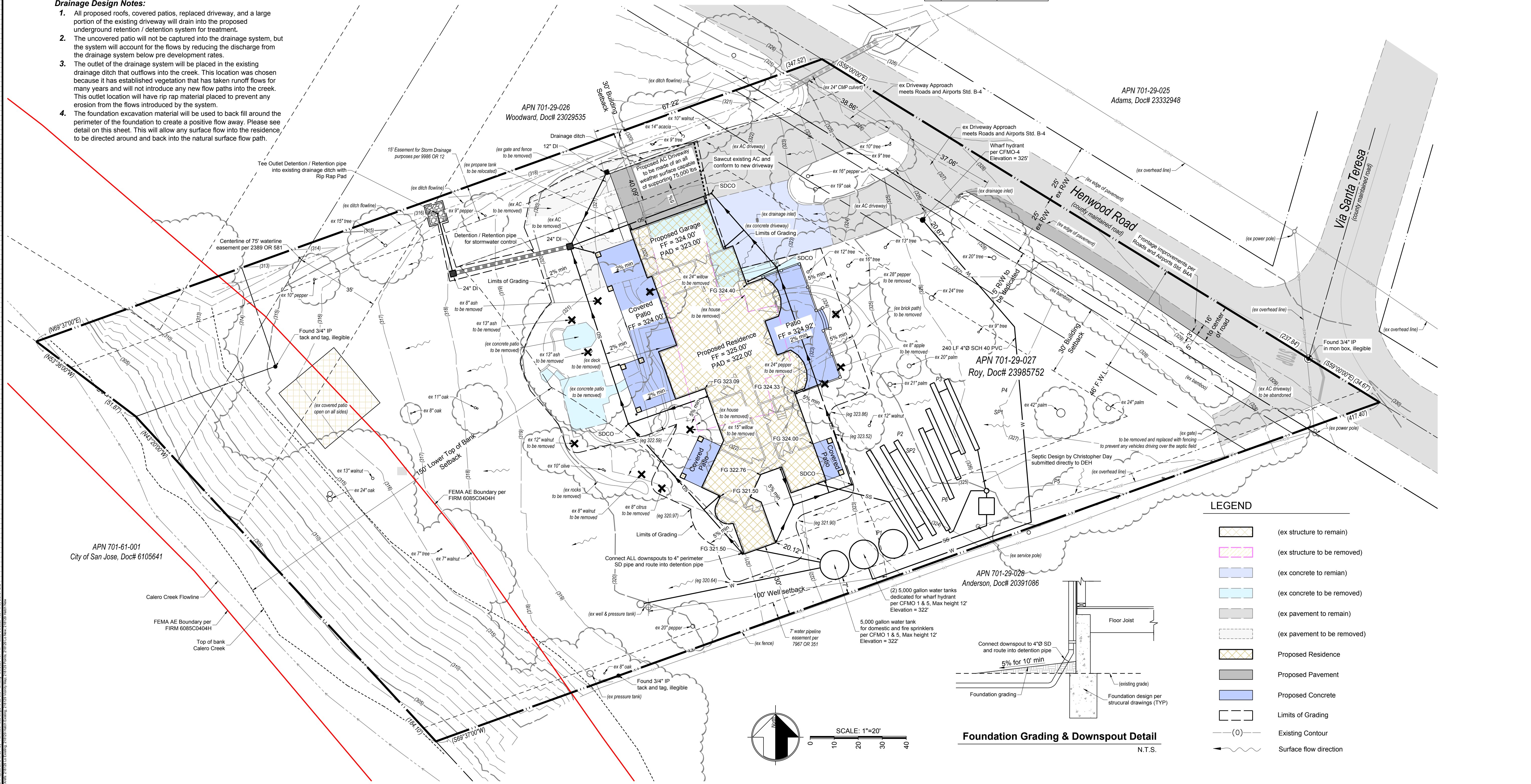
Note: Earthwork total does not include grading in the building footprint plus 5'. This grading is covered under the building permit

Tree Removal Summary

#	Species	Size
1	Willow	24"
2	Ash	8"
3	Ash	13"
4	Ash	13"
5	Walnut	12"
6	Walnut	8"
7	Willow	15"
8	Citrus	8"
9	Apple	8"
10	Pepper	24"
11	Pepper	28"



Vicinity Map



LEGEND

- (ex structure to remain)
- (ex structure to be removed)
- (ex concrete to remain)
- (ex concrete to be removed)
- (ex pavement to remain)
- (ex pavement to be removed)
- Proposed Residence
- Proposed Pavement
- Proposed Concrete
- Limits of Grading
- Existing Contour
- Surface flow direction

Foundation Grading & Downspout Detail

N.T.S.



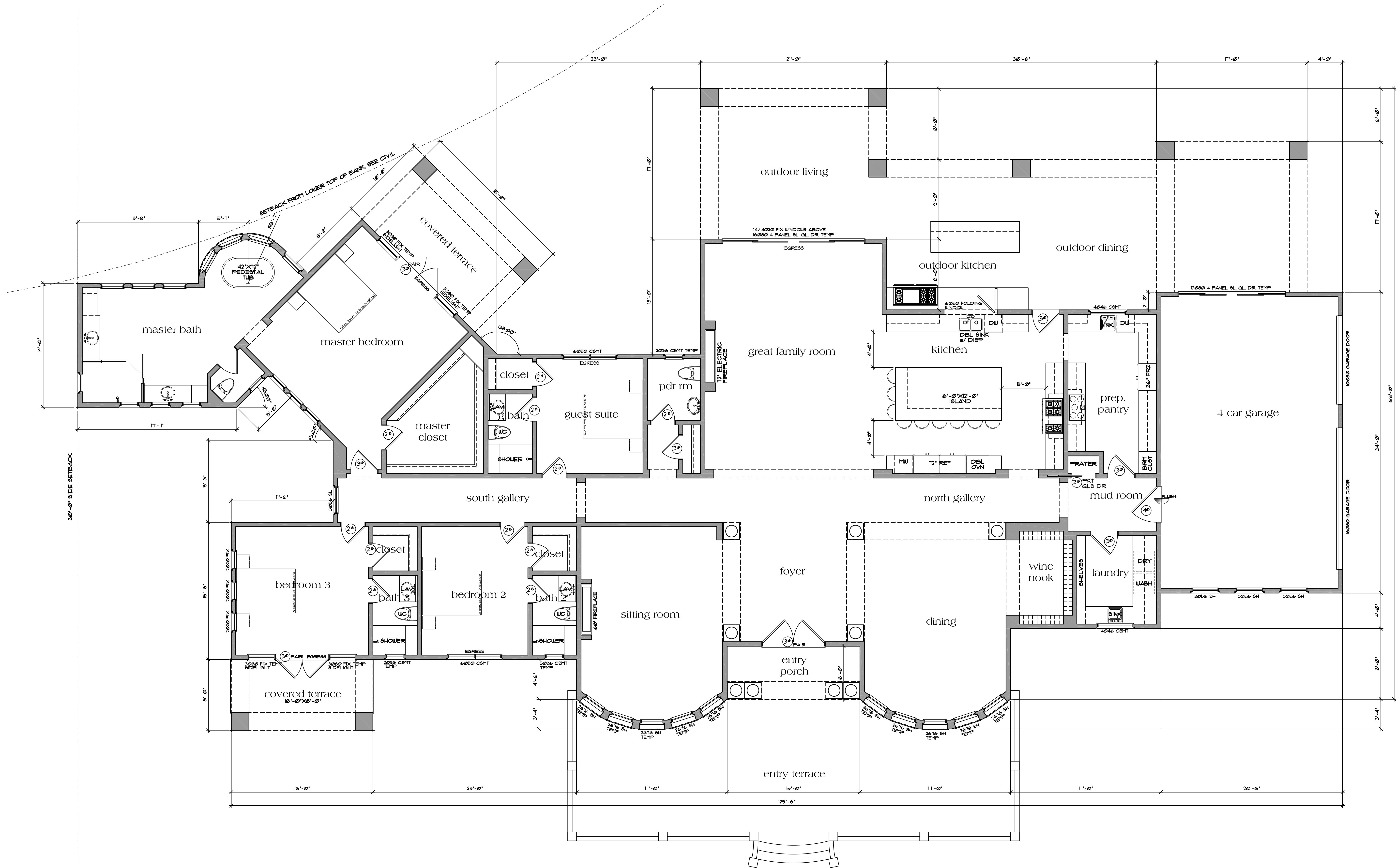
FOR PLANCHCHECK ONLY

MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037

Roy - Site Plan
Henwood Road - APN 701-29-027

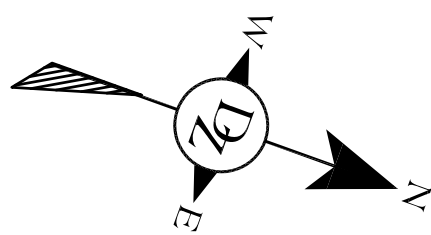
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CHECKED BY: WJM	

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Floor Plan (Project is within WUI)
4598.80 sq. ft. Living Area
698.00 sq. ft. Garage
1164.50 sq. ft. Outdoor living/Kitchen/Dining
308.00 sq. ft. Covered Terraces
90.00 sq. ft. Entry Porch
739.72 sq. ft. Entry Terrace

scale: 3/16"=1'-0"



NO./ DATE/ REVISION

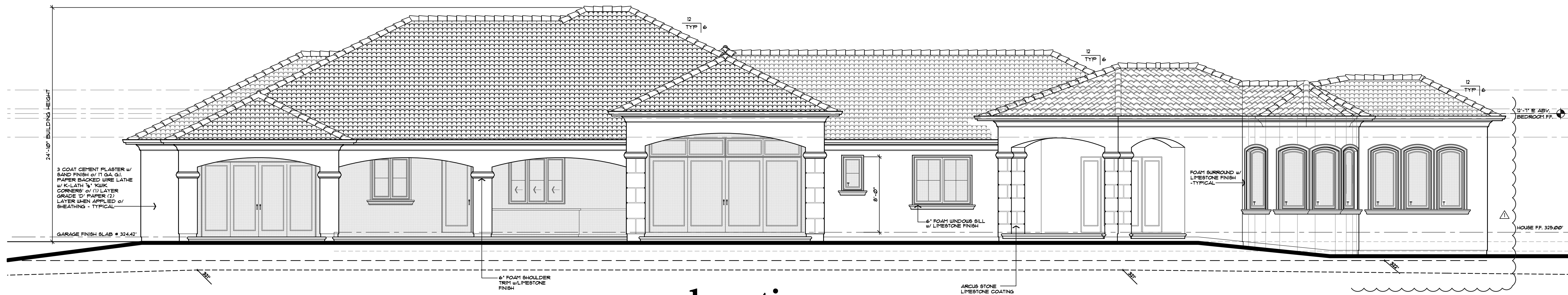
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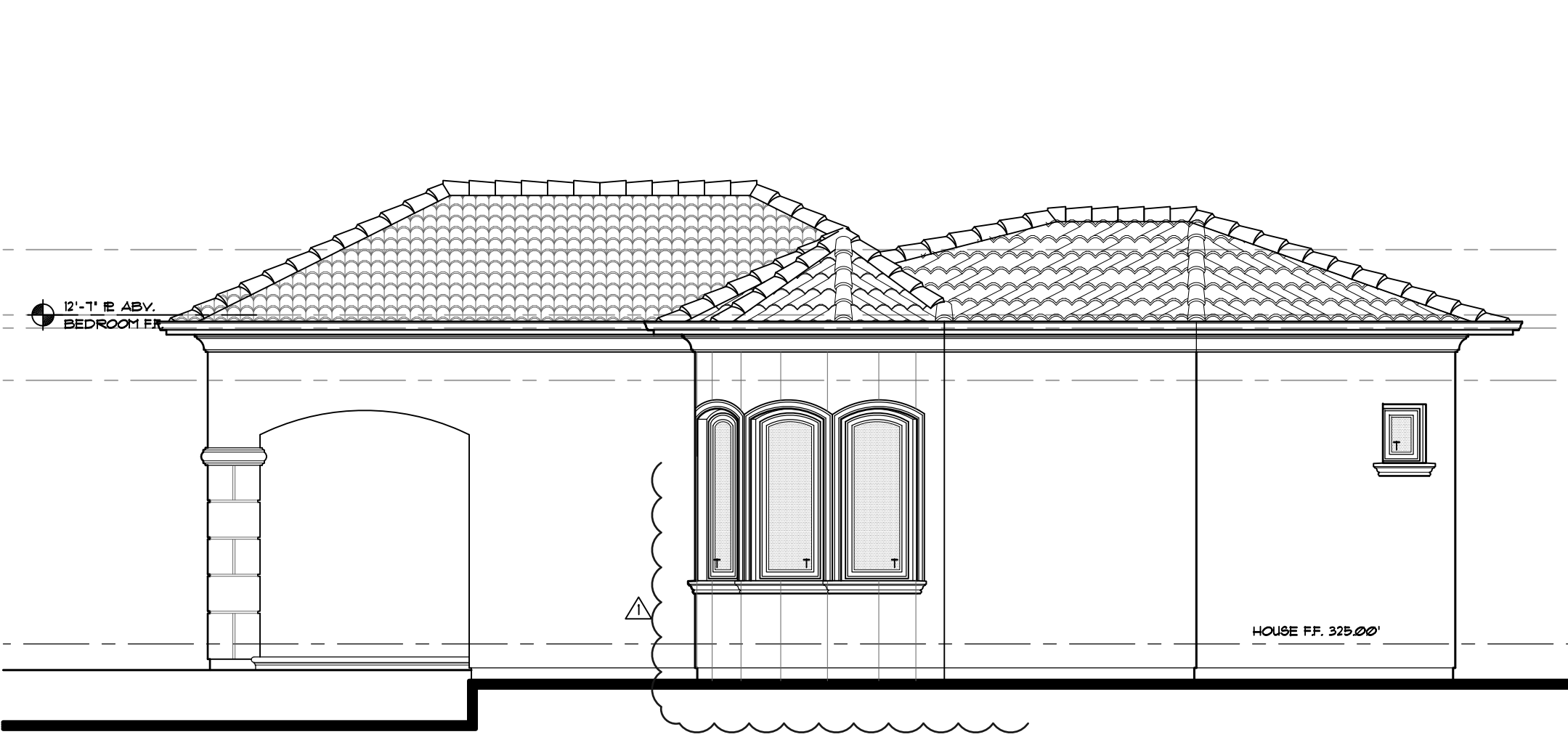
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JOB TITLE	Roy Residence Custom Home
JOB ADDRESS	20560 Henwood Road San Jose, California

DATE	JAN 15 2019
SCALE	3/16"=1'-0"
PROJECT MANAGER	SCOTT ZAZULETA
DRAWN	SEZ
JOB NO.	DZ3318
SHEET	

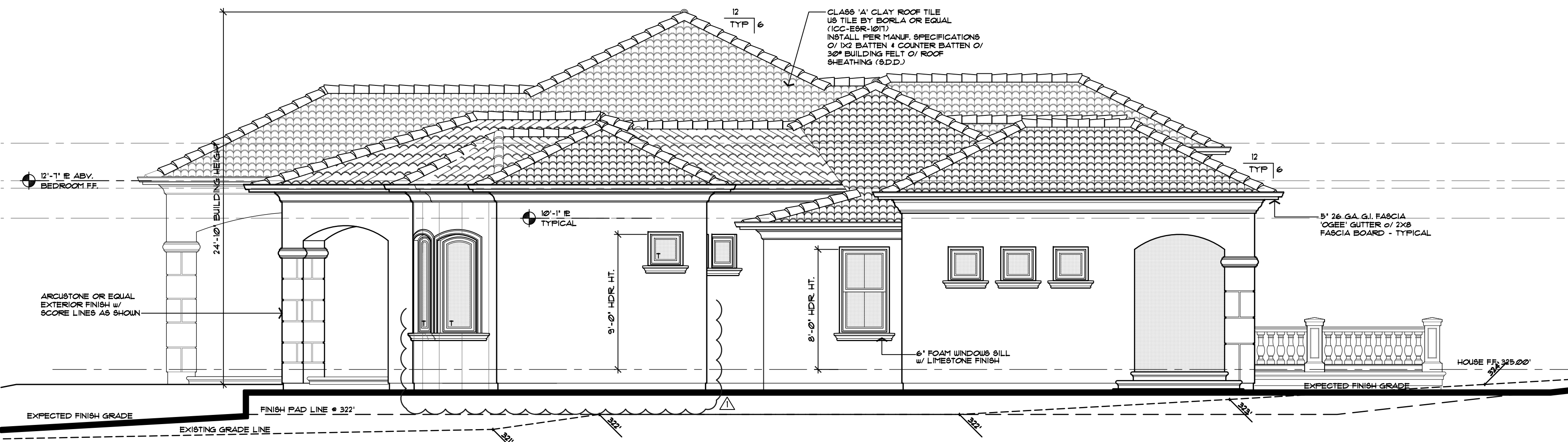
A2



rear elevation



partial left side elevation



left side elevation

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OWNER REV. 5/21/20

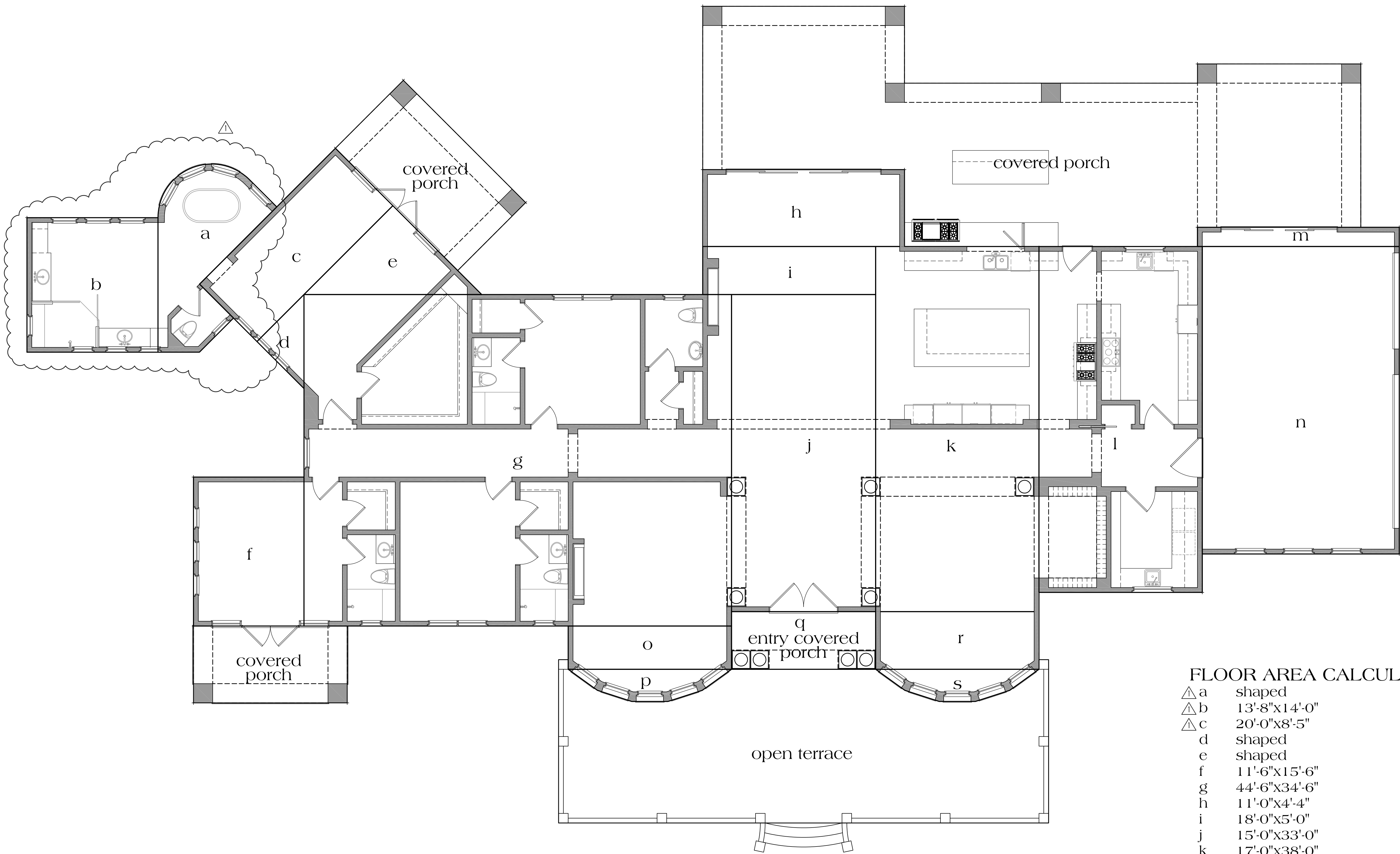
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DRAWING TITLE
Exterior Elevations
JOB TITLE
Roy Residence Custom Home
JOB ADDRESS
20560 Henwood Road San Jose, California

DATE
JAN 15 2019
SCALE
3/16" = 1'-0"
PROJECT MANAGER
SCOTT ZAZULETA
DRAWN
SZ
JOB NO.
DZ3318
SHEET
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Floor Area Diagram

scale: 1/4"=1'-0"

FLOOR AREA CALCULATIONS:

△ a	shaped	148.38 s.f.
△ b	13'-8"x14'-0"	190.96 s.f.
△ c	20'-0"x8'-5"	168.33 s.f.
d	shaped	23.93 s.f.
e	shaped	85.56 s.f.
f	11'-6"x15'-6"	178.25 s.f.
g	44'-6"x34'-6"	1535.25 s.f.
h	11'-0"x4'-4"	168.00 s.f.
i	18'-0"x5'-0"	90.00 s.f.
j	15'-0"x33'-0"	495.00 s.f.
k	17'-0"x38'-0"	646.00 s.f.
l	17'-0"x36'-0"	612.00 s.f.
m	21'-0"x2'-0"	42.00 s.f.
n	20'-6"x32'-0"	656.00 s.f.
o	17'-0"x4'-6"	76.50 s.f.
p	shaped	39.32 s.f.
q	15'-0"x6'-0"	90.00 s.f.
r	17'-0"x6'-0"	102.00 s.f.
s	shaped	39.32 s.f.

△ Total: 5386.80 s.f. △

NO./ DATE/ REVISION
△ PLANNING REV. 2/29/20

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DRAWING TITLE	Floor Area Diagram
JOB TITLE	Roy Residence Custom Home
JOB ADDRESS	20560 Henwood Road San Jose, California

DATE	JAN 15 2019
SCALE	3/16"=1'-0"
PROJECT MANAGER	SCOTT ZAZULETA
DRAWN	MED
JOB NO.	DZ3318
SHEET	

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