

LOS ALTOS

1340 FAIRWAY DRIVE
LOS ALTOS, CA 94024

SCDC

ARCHITECTURE
INTERIOR DESIGN

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LANDSCAPE

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PROJECT DESCRIPTION:

- DEMOLISH OF 1,768 SF OF THE EXISTING HOUSE AND ADDITION OF 1,268 SF TO (E) HOUSE AND 1,518 SF OF NEW BASEMENT.
- DEMOLISH OF THE (E) TWO CAR GARAGE AND PROPOSE A NEW THREE CAR ATTACHED GARAGE.
- REPLACE THE RETAINING WALL.
- NEW SF OF LANDSCAPE

APPLICABLE CODES:

PART 1.0, CALIFORNIA ADMINISTRATIVE CODE
PART 2.0, 2019 CALIFORNIA BUILDING CODE (CBC)
PART 2.5, 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
PART 3.0, 2019 CALIFORNIA ELECTRIC CODE (CEC)
PART 4.0, 2019 CALIFORNIA MECHANICAL CODE (CMC)
PART 5.0, 2019 CALIFORNIA PLUMBING CODE
PART 6.0, 2019 CALIFORNIA ENERGY CODE
PART 9.0, 2019 CALIFORNIA FIRE CODE
PART 11.0, 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

THE APPLICABLE CODES ARE AS AMENDED BY THE STATE OF CALIFORNIA AND THE COUNTY OF SANTA CLARA.

PROJECT DATA	
APN NUMBER: 331-04-116	
LOT AREA	29,113.68 SF
GP DESIGNATION	RESIDENTIAL
ZONING	RIE-20-n1
EXISTING USE	RESIDENTIAL
OCCUPANCY GROUP	R3/U
NUMBER OF STORIES	1
EXISTING HEIGHT	17 ft
PROPOSED HEIGHT	25'-3"
ALLOWED HEIGHT	27 ft
FIRE SPRINKLER	YES
TYPE OF CONSTRUCTION	TYPE V-A

MAX FLOOR AREA CALCULATIONS:
[(LOT SIZE(NET) - 10,000 SF) / 10] + 3,500 SF = [(24,256.89 SF - 10,000 SF) / 10] + 3,500 SF = 4,925.89 SF

DIFFERRED SUBMITTAL :

- FIRE SPRINKLERS

PROJECT AREA	
NAME	AREA
TOTAL SITE AREA	29,113.68 SF
EXISTING FLOOR	2,813.84 SF
EXISTING GARAGE	512.24 SF
TOTAL EXISTING	3,326.08 SF
NEW BASEMENT	1,584.27 SF
NEW 1ST FLOOR ADDITION	1,275.65 SF
NEW GARAGE	691.28 SF
TOTAL NEW BUILDING - NO GARAGE	4,157.39 SF
TOTAL NEW BUILDING W/ GARAGE	4,848.67 SF
MAX FLOOR AREA	4,925.89 SF

ARCHITECTURAL

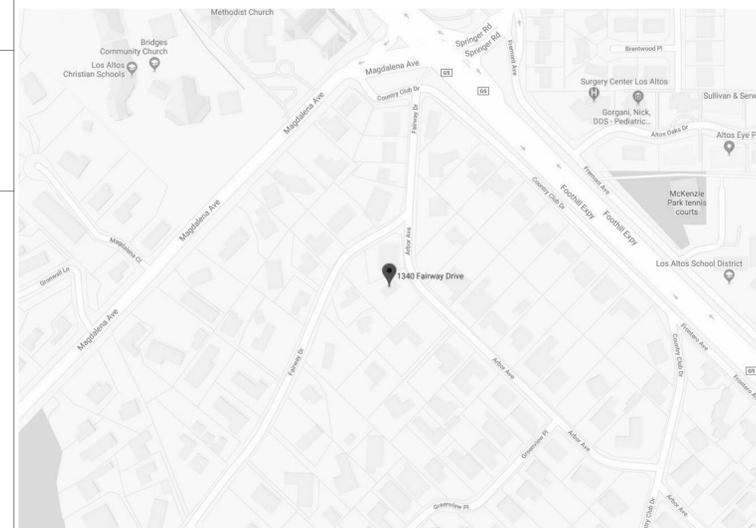
- A0.1 COVER SHEET
- A0.2 GENERAL NOTES
- A0.3 GENERAL NOTES
- A0.4 ABBREVIATIONS
- A0.5 CALGREEN CHECKLIST
- A0.6 CALGREEN CHECKLIST
- A0.7 CALGREEN CHECKLIST
- A0.8 CALGREEN CHECKLIST
- A1.0 EXISTING SITE PLAN
- A1.1 PROPOSED SITE PLAN
- A2.0 EXISTING FLOOR PLAN
- A2.1 DEMO PLAN
- A2.2 EXISTING ROOF PLAN
- A2.3 PROPOSED BASEMENT PLAN
- A2.3a FLOOR AREA RATIO - FLOOR PLAN
- A2.4 PROPOSED FLOOR PLAN
- A2.5 PROPOSED ROOF PLAN
- A3.0 EXISTING ELEVATIONS
- A3.1 PROPOSED ELEVATIONS
- A3.2 PROPOSED ELEVATIONS
- A3.3 SECTIONS

CIVIL

- C1.0 COVER SHEET
- C1.1 TITLE SHEET
- C1.2 OVERALL SITE PLAN
- C2.0 GRADING & DRAINAGE PLAN
- C-2.1 SITE SECTIONS
- C3.0 UTILITY PLAN
- ER-1 CONCEPTUAL EROSION PLAN
- BMP-1 CONCEPTUAL EROSION CONTROL PLAN
- BMP-2 CONCEPTUAL EROSION CONTROL PLAN
- SU-1 TOPOGRAPHIC SURVEY

LANDSCAPE

- L0 EXISTING PLAN
- L1 CONCEPT PLAN
- L2 GRADING AND DRAINAGE CONCEPT PLAN
- L3.1 PLANTING PLAN
- L3.2 PLANNING LEGEND AND AMENDMENT SPECIFICATION



VICINITY MAP



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ALTOS, CA, 94024

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SHEET NAME :

COVER
SHEET

REVISIONS

No	Revision	Date

DRAWN:

CHECKED:

DATE: 06/12/2020

SCALE: 12" = 1'-0"

JOB No.: 19.02.02

SHEET No.:

A0.1

SHEETS IN SET

Santa Clara County REBUILD Determination and Points Allocation ¹

A. Existing Residence (#3)

1a Footings ³	New/modified or		Ratio	Maximum Points	Resulting Points
	Existing L.F. ²	Removed L.F.			
	376	262	0.70		17.42
1b Slab - structural slabs and basement a	Replaced/Modified Area		Ratio	Maximum Points	Resulting Points
	Existing Area	Modified Area			
	3319	1061.45	0.32	25	8.00
Subtotal					25.00
2 Walls - interior and exterior in linear feet ⁴	New/modified or		Ratio	Maximum Points	Resulting Points
	Existing L.F. ²	Removed L.F.			
	763	652	0.85	50	42.73
3 Roof ⁵	new, replaced, altered or removed		Ratio	Maximum Points	Resulting Points
	Existing S.F.	Roof S.F.			
	4653	2333	0.50	25	12.53
Existing Residence Subtotal					63.26

B. Proposed Additions

First floor and upper story additions ^{6,7}	Area in S.F.	Ratio 1 pt/40 S.F. ⁸	Sub-Total Points
	1268	32.00	32

C. Cumulative rebuild points from permits issued within last 2 years:

TOTAL POINT ALLOCATION⁹ 95.26

Footnotes

- See County Ordinance # NS-1100.113
- L.F. = Lineal Feet measured to outside face or end of wall or footing. Lengths of intersecting walls or footings at corners may not be double counted.
- Lineal feet of rectangular footings shall be taken on the longest length. Lineal feet shall also include thickened slab areas for bearing walls.
- All non-bearing & bearing walls (including framed openings) measured along the double top plate. Includes walls removed between house and addition. Modified walls are walls where the double top plates are altered; the greatest length of either new/modified or demolished walls shall be used
- Includes all California framing, eaves, rakes, attached outdoor covered areas enclosed by more than 50% of the perimeter and substantial changes to roof framing (i.e. going from a flat ceiling to vaulted ceiling) that substantially changes the roof structural system
- Points for additions and points for removal of existing roof structures both count, unless the existing roof framing is to remain in place as part of or under the second story addition
- Additions greater than 2000 sq. ft. are automatically considered a rebuild, regardless of the points accumulated due to work on the existing structure.
- Any remaining fraction of points shall be considered one (1) whole point.
- The project will be classified as a "REBUILD" if the total points exceed 55.

1. ALL MATERIAL STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
 2. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND/OR AS REQUIRED BY THE ADOPTED EDITION OF THE BUILDING CODE, ALL LOCAL AND NATIONAL CODES, AND AUTHORITIES WHICH ARE APPLICABLE.
 3. ALL PRODUCTS, MATERIALS AND FINISHES TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
 4. ALL REQUIRED EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
 5. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCING ANY WORK. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY OF THESE PLANS AND SPECIFICATIONS.
 6. THE GENERAL CONTRACTOR SHALL MAINTAIN THE JOB SITE IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER. EACH SUBCONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS OPERATION. THE JOB SITE SHALL BE LEFT CLEAN AND SWEEPED EACH DAY BY THE END OF WORK THAT DAY.
 7. NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED AND ACTED UPON BY THE ARCHITECT. ALL SUCH PORTIONS OF WORK SHALL BE IN ACCORDANCE WITH THE REVIEWED SHOP DRAWINGS AND SAMPLES.
 8. THE CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS AND THE CONTRACT DOCUMENTS, AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIAL OR EQUIPMENT.
 9. SHOULD AN ERROR APPEAR IN SPECIFICATIONG, DRAWINGS, OR IN WORK DONE BY OTHERS, AFFECTING THIS WORK, NOTIFY THE ARCHITECT AT ONCE. IF CONTRACTOR PROCEEDS WITH WORK AFFECTED WITHOUT INSTRUCTIONS FROM THE ARCHITECT, THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR THE WORK.
 10. SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION INVOLVED UNLESS HE SHALL HAVE ASKED FOR AND OBTAINED WRITTEN DECISION FROM ARCHITECT AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED.
 11. ALL PATCHING, REPAIRING AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED IN EXECUTION OF WORK SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
 12. SEE DOCUMENTS PREPARED BY THE CIVIL ENGINEERING, IF APPLICABLE, FOR ALL FINISH GRADES, DRAINAGE AND SITE DETAILS. REVIEW ALL SITE UTILITY DOCUMENTS, LANDSCAPE AND IRRIGATION DOCUMENTS PRIOR OR COMMENCEMENT OF ANY UNDER GROUNDING OR TRENCHING. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OF THE CONTRACT DOCUMENTS.
 13. CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL AS IDENTIFIED IN ITEM #14 OF THESE GENERAL CONDITIONS.
 14. GENERAL CONTRACTORS, SUBCONTRACTORS, BUILDERS, AND OWNER ARE TO CHECK ALL DRAWINGS FOR ERRORS AND OMISSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY ERRORS AND/OR OMISSIONS MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT IN WRITING PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE ARCHITECT WILL NOT TAKE LIABILITY FOR ANY ERRORS AND/OR OMISSIONS NOT REPORTED IMMEDIATELY IN WRITING PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE ARCHITECT'S LIABILITY FOR THE TOTAL PROJECT SHALL NOT EXCEED ONE THOUSAND DOLLARS.
 15. ALL SCREWS/NAILS IN FINISH WOODWORK TO BE COUNTERSUNK AND FILLED SMOOTH WITH PUTTY TO MATCH FINISH.
 16. IF THE MANUFACTURER'S SPECIFICATIONS AND APPLICABLE CODES ARE NOT CONSISTENT WITH EACH OTHER, NOTIFY THE ARCHITECT IMMEDIATELY PRIOR TO COMMENCEMENT OF ANY WORK AND AWAIT DIRECTION OR CONTRACTOR ACCEPTS FULL RESPONSIBILITY OF WORK COMPLETED.
 17. ALL GYPSUM BOARD TO BE A MINIMUM OF 5/8" TYPE "X" SHEETROCK, MINIMUM LEVEL 5 SMOOTH FINISH OR AS OTHERWISE INDICATED ON DRAWINGS. INSTALL AS NEEDED TO MEET APPLICABLE CODES. USE RADIUSED CORNERS.
 18. SHOP DRAWINGS AND SAMPLES FOR ALL FINISH MATERIALS INCLUDING BUT NOT LIMITED TO THOSE LISTED BELOW. DEFERRED SUBMITTALS, SEE NOTE #27 BELOW.
ITEMS #1:
 1. ARCHITECTURAL SHEET METAL
 2. WINDOWS, INTERIOR AND EXTERIOR DOORS
 3. LADDERS
 4. MECHANICAL SYSTEMS
 5. HVAC DUCTWORK
 6. HANDRAIL/GUARDRAIL
 7. STRUCTURAL STEEL
 8. REBAR
 9. LOCKERS
 10. STAIR SHOP DWGS.
 11. ELEVATOR SHOP DWGS.
 12. PAINT BRUSH OUTS
 19. MANUALS / CUT SHEETS (4 COPIES).
ITEMS #2:

<ol style="list-style-type: none"> 1. DOOR HARDWARE 2. ACCESS DOORS 3. ROOF HATCH 4. LIGHT FIXTURES 5. ELECTRICAL PANELS 6. PLUMBING FIXTURES 7. FIRE EXTINGUISHER 8. SKYLIGHTS 9. APPLIANCES, EQUIPMENTS 	SUBMITTALS REQUEST FOR THE FOLLOWING: <ol style="list-style-type: none"> 1. 100% OF ALL FINISH MATERIALS INCLUDING EXTERIOR, INTERIOR & ROOF MATERIALS, PAINTS, PLASTER FINISH, AND OR ANY FINISH EXTERIOR MATERIAL. 2. SUBMITTALS & SHOP DRAWINGS MUST BE REVIEWED BY ARCHITECT AND OWNER PRIOR TO CONTRACTOR ORDERING ANY RELATED MATERIAL. 3. IF CONTRACTOR ORDERS MATERIAL PRIOR TO ARCHITECT'S OR OWNER'S REVIEW THE CONTRACTOR ASSUMES 100% OF ALL RELATED RESPONSIBILITY AND LIABILITY OF THE MATERIALS ORDERED. 4. THE ARCHITECT AND OWNER WILL HAVE NO LIABILITY OR RESPONSIBILITY, ERRORS OR OMISSIONS RESPONSIBILITIES OR LIABILITIES FOR THE ACCURACY OF THE DRAWINGS USED BY THE CONTRACTOR TO GENERATE THE ORDER OF SAID MATERIALS .
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 20. A DELTA ("D") SYMBOL LOCATED AT THE TOP RIGHT HAND CORNER OF ANY DRAWING INDICATES THAT DRAWING HAS BEEN SIGNIFICANTLY REVISED AND SHOULD BE TREATED AS AN ENTIRELY NEW DRAWING.
 21. CONTRACTOR TO PROTECT ALL INTERIOR SPACES (AS REQUIRED) FROM ANY WEATHER, THEFT, OR VANDALISM.
 22. CONCTRACTOR TO BE RESPONSIBLE FOR ALL WALLS, FLOORS AND CEILINGS TO BE 'LEVEL' AND PLUMB' AND FINISH TO MATCH EXISTING ADJACENT SURFACES. ALL NEW FINISHES AND FIXTURES ARE TO BE APPROVED BY ARCHITECT, PRIOR TO INSTALLATION. NEW MATERIALS MATCHING EXISTING MATERIALS TO BE 'LIKE' MATERIAL, NOT JUST MATCHING IN STYLE.
 23. RELOCATE OR INSTALL NEW PLUMBING, GAS, AND ELECTRICAL LINES (AS REQUIRED) FOR THE NEW CONSTRUCTION. SEE MECHANICAL DRAWINGS.
 24. CONTRACTOR TO DISPOSE OF ALL DEBRIS AT AN APPROVED DUMP SITE PER ALL TOWN, COUNTY, STATE AND FEDERAL REGULATIONS.
 25. CONTRACTOR TO NOTIFY OWNER AND ARCHITECT IF HE SUSPECTS THAT ANY ASBESTOS IS ON SITE, STOP WORK IMMEDIATELY UNTIL AUTHORITIES HAVE PROVED THE WORK TO BE SAFE.
 26. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING ANY CONSTRUCTION OR ORDERING ANY MATERIALS FOR THE PROJECT.
 27. ANY DEFERRED SUBMITTAL SHALL BE FIRST SUBMITTED TO THE PROJECT ARCHITECT AND/ OR ENGINEER FOR REVIEW OR COORDINATION; FOLLOWING THE COMPLETION OF PROJECT ARCHITECT/ENGINEER REVIEW AND COORDINATION, A SUBMITTAL TO THE CITY SHALL BE MADE (FOR CITY REVIEW AND APPROVAL), WHICH SHALL INDICATE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND PLANS AND CALCULATIONS FOR THE DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE (E.G. WITH REGARD TO GEOMETRY, LOAD CONDITION, ETC.) WITH NO EXCEPTIONS.
- NOTE #1:
THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CHANGE ORDER, OR A SEPARATED SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE OFFICE BEFORE PROCEEDING WITH THE WORK.
28. SWITCHES / CONTROLS / THERMOSTATS / ARE TO BE INSTALLED A MAX. OF 48" ABOVE THE FLOOR, AND ANY RECEPTACLE OUTLETS ARE TO BE INSTALLED AT LEAST 15" ABOVE THE FLOOR.
 29. REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE OFFICE BEFORE PROCEEDING WITH THE WORK.
 28. SWITCHES / CONTROLS / THERMOSTATS / ARE TO BE INSTALLED A MAX. OF 48" ABOVE THE FLOOR, AND ANY RECEPTACLE OUTLETS ARE TO BE INSTALLED AT LEAST 15" ABOVE THE FLOOR.
 29. FIRE BLOCKS SHOULD BE PROVIDED IN ACCORDANCE WITH SECTION 718.2. CBC 2019 IN THE FOLLOWING LOCATIONS, PLAN TO NOTE:
 - A. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS
 - A1: VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - A2: HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
 - B. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - C. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF THE STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
 - E. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS THAT AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NON COMBUSTIBLE MATERIALS.
 30. ALL INTERIOR AND EXTERIOR FINISHES:
AT ALL INSIDE AND OUTSIDE CORNER AND EDGE DETAILS FOR ALL FINISH MATERIALS MUST USE THE APPROPRIATE MANUFACTURER'S RECOMMENDED INSIDE AND OUTSIDE CORNER AND EDGE MATERIALS AND FINISHES.

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SHEET NAME :

GENERAL
NOTES

REVISIONS		
No	Revision	Date

DRAWN:

CHECKED:

DATE: 06/12/2020

SCALE:

JOB No.: 19.02.02

SHEET No.:

A0.2

SHEETS IN SET _____

31. ALL FIRE RATED INTERIOR STAIRS AND ELEVATOR ENCLOSURES AND LOBBIES, FINISH THE RATED WALLS PRIOR TO THE INSTALLATION OF THE ELEVATOR AND STAIRS.
32. ALL WOOD COMING IN CONTACT WITH CONCRETE MUST BE PRESSURE TREATED, TYPICAL.
33. CONTRACTOR & SUB-CONTRACTOR'S RESPONSIBILITY TO MAKE SURE THAT ALL MATERIALS INSTALLATION & CRAFTSMANSHIP FOR THIS PROJECT MEETS ALL APPLICABLE CODES.
34. INCORPORATE BEST MANAGEMENT PRACTICE (CBMP'S) INTO CONSTRUCTION PLANS & INCORPORATE POST CONSTRUCTION WATER RUN-OFF MEASURES INTO PROJECT PLANS IN ACCORDANCE WITH THE CITY'S URBAN RUN-OFF POLLUTION PREVENTION PROGRAM.
35. ALL EXTERIOR PLASTER FINISH SHALL BE 7/8" SMOOTH CEMENT PLASTER FINISH UNLESS OTHERWISE NOTED.
36. PLASTER EXPANSION JOINTS SHOULD MEET THE FOLLOWING CRITERIA OR AS SHOWN ON THE DRAWINGS.
 - A. NO LENGTH SHOULD BE GREATER THAN 18 FT. IN EITHER DIRECTION. B. NO PANEL SHOULD EXCEED 144 SQ. FT. FOR VERTICAL APPLICATIONS
 - B. NO PANEL SHOULD EXCEED 100 SQ. FT. FOR HORIZONTAL, CURVED, OR ANGULAR SECTIONS D. NO LENGTH-TO-WIDTH RATIO SHOULD EXCEED 2 1/2 TO 1 IN ANY GIVEN PANEL.
37. FLASHING PROVIDER TO PRIME AND PAINT WITH RUST PROOF PAINT ALL FLASHINGS.
38. SUBMITTAL REVIEW:
 REVIEW IS FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH INFORMATION GIVEN AND THE DESIGN CONCEPT EXPRESSED IN THE CONTRACT DOCUMENTS. REVIEW OF SUCH SUBMITTALS IS NOT CONDUCTED FOR THE PURPOSE OF DETERMINING THE ACCURACY AND COMPLETENESS OF OTHER DETAILS SUCH AS DIMENSIONS AND QUANTITIES, OR FOR SUBSTANTIATING INSTRUCTIONS FOR INSTALLATION OR PERFORMANCE OF EQUIPMENT OR SYSTEMS, ALL OF WHICH REMAIN THE RESPONSIBILITY OF THE CONTRACTOR AS REQUIRED BY THE CONTRACT DOCUMENTS. NON CONFORMITIES AND ERRORS ARE NOTED. CONTRACTOR IS SOLELY RESPONSIBLE FOR: CORRECTNESS OF DIMENSIONS AND QUANTITIES AND FITTING TO OTHER WORK VERIFICATION OF PHYSICAL INTERRELATION OF ELEMENTS OF THE WORK FROM PLANS AND SPECIFICATIONS AND IN THE FIELD. THE ARCHITECT'S REVIEW SHALL NOT CONSTITUTE APPROVAL OF SAFETY PRECAUTIONS, OR UNLESS OTHERWISE SPECIFICALLY STATED BY THE ARCHITECT, OF ANY CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES. THE ARCHITECT'S REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. THIS REVIEW DOES NOT RELIEVE THE CONTRACTOR FROM THESE RESPONSIBILITIES. THIS REVIEW DOES NOT CONSTITUTE APPROVAL OR ACCEPTANCE OF DEVIATIONS AND OR VARIATIONS. DEVIATIONS AND OR VARIATIONS MUST BE CLEARLY IDENTIFIED AND REQUESTED BY WRITTEN CORRESPONDENCE BY THE CONTRACTOR TO SALVATORE CARUSO DESIGN CORPORATION AND IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
39. BIDDING:
 - A. THE CONTRACTOR NEEDS TO EXAMINE ALL THE DRAWINGS AND THE SITE CONDITIONS IF THEY ARE DIFFERENT FROM THE DRAWINGS VERIFY ALL THE EXISTING CONDITIONS ON SITE AND NOTIFY THE ARCHITECT PRIOR TO ANY CONSTRUCTION.
 - B. PLEASE BID FOR MAX. OF 10 COLORS IN A BID, NOT EXCEEDING 4 COLORS IN ANY GIVEN ROOM AT A TIME.
40. REQUEST FOR INFORMATION:
 REVIEW OF REQUEST FOR INFORMATION WILL TAKE A MINIMUM OF THREE WORKING DAYS.
41. CHANGE ORDER:
 - A. CHANGE ORDERS MUST BE SUBMITTED BY THE CONTRATOR MAXIMUM OF ONE CALENDAR WEEK FROM THE TIME CONTRACTOR IS AWARE OF THE ISSUE AND/OR HAS A CHANGE ORDER REQUEST BY THE OWNER.
 - B. NO MATERIAL(S) SHALL BE PURCHASED OR WORK DONE UNLESS WITH AN APPROVED, SIGNED, CHANGE ORDER HAS BEEN PROCESSED.
42. INTERIOR AND EXTERIOR PAINT TO BE MINIMUM OF ONE (1) COAT OF PRIMER AND MINIMUM OF TWO (2) COATS OF PAINT.
43. EXTERIOR WALL PAINT TO BE EGGSHELL, EXTERIOR TRIM TO BE GLOSSY, UNLESS NOTED OTHERWISE. CONTACTOR TO PROVIDE FULL COVERAGE WITH PAINT.
44. SUBSTITUTIONS:
 - A. ONE OR MORE MAKES OF MATERIALS OR METHODS MAY HAVE BEEN SPECIFIED TO ESTABLISH THE STANDARD OF QUALITY, WORKMANSHIP, FINISH, AND DESIGN REQUIRED, BUT OTHER MATERIALS OR METHODS EQUAL OR BETTER IN QUALITY, WORKMANSHIP, FINISH, DESIGN, AND GUARANTEED PERFORMANCE, MAY BE SUBMITTED FOR REVIEW AND APPROVAL AS SUBSTITUTION. ALL SUBSTITUTIONS ARE SUBJECT TO REVIEW AND APPROVAL BY ARCHITECT, ENGINEER AND OWNER.
 - B. SUBSTITUTIONS SHALL BE REQUESTED IN A WRITTEN FORM AND SHALL BE ACCOMPANIED WITH A SIGNED STATEMENT THAT PROPOSED SUBSTITUTION IS EQUAL, OR BETTER THAN SPECIFIED. ADDITIONAL DOCUMENTATION TO SUBSTANTIATED PROPOSED SUBSTITUTION MAY BE REQUIRED BY OWNER, ARCHITECT AND ENGINEER. CONTRACTOR SHALL SUBMIT AS DIRECTED.
 - C. CONTRACTOR SHALL ACCOMPANY REQUEST FOR SUBSTITUTION LETTER WITH A COMPLETED CSI SUBSTITUTION FORM INCLUDE THE COMPARISON FOR FOLLOWING:
 1. ELECTRICAL RATING
 2. FINISHES
 3. SPARE PARTS
 4. PERFORMANCE DATA
 5. COSTS AND SCHEDULE
 - D. A WRITTEN SIGNED STATEMENT FROM THE GENERAL CONTRACTOR SHALL ACCOMPANY SUBSTITUTION REQUEST FORM ASSURING THAT:
 1. CONTRACTOR HAS VERIFIED DIMENSIONS WITH PROJECT CONDITIONS AND HAS COORDINATED WITH OTHER TRADES. SUBSTITUTION DOES NOT AFFECT DIMENSIONS SHOWN ON DRAWINGS.
 2. CONTRACTOR SHALL PAY AND BURDEN THE COSTS FOR CHANGES TO THE PROJECT INCLUDING RE-DESIGN, RE-ENGINEERING AND REVIEW OF SUBSTITUTION. ONLY ONE (1) ENGINEERING REVIEW TIME IS ALLOWED FOR EACH PRODUCT SUBSTITUTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL REVIEW TIME AND SHALL PAY ARCHITECT AND ENGINEER'S TIME AT THEIR PROFESSIONAL RATE SCHEDULE.
 3. CONTRACTOR HAS CONFIRMED THAT THE PROPOSED SUBSTITUTION WILL HAVE NO ADVERSE AFFECT ON OTHER TRADES, THE CONSTRUCTION SCHEDULE, OR SPECIFIED WARRANTY REQUIREMENTS.
 4. CONTRACTOR HAS CONFIRMED THAT MAINTENANCE AND SERVICE PARTS WILL BE LOCALLY AVAILABLE FOR THE PROPOSED SUBSTITUTION.
 - E. COST SAVINGS RESULTING FROM SUBSTITUTION SHALL BE RETURNED TO THE CONTRACT OR THE OWNER IF THE SUBSTITUTION IS PERMITTED.
 - F. NO WORK INVOLVING MATERIALS SUBMITTED FOR SUBSTITUTION SHALL PROCEED UNTIL WRITTEN ACCEPTANCE IS RECEIVED FROM THE OWNER. THE OWNER IS THE FINAL JUDGE OF ACCEPTABILITY OF PREFERRED SUBSTITUTIONS.

SCDC

ARCHITECTURE INTERIOR DESIGN

SALVATORE CARUSO DESIGN CORPORATION

980 EL CAMINO REAL #200, SANTA CLARA, CA 95050
 TEL. NO. (408)998-4087 FAX. NO. (408)998-4088

PROJECT :

LOS ALTOS

1340 FAIRWAY DRIVE, LOS
ALTOS, CA, 94024

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SHEET NAME :

GENERAL
NOTES

REVISIONS		
No	Revision	Date

DRAWN:

CHECKED:

DATE: 06/12/2020

SCALE:

JOB No.: 19.02.02

SHEET No.:

A0.3

SHEETS IN SET _____

A

A.B. ANCHOR BOLT
A.C. ASPHALT CONCRETE
A.C.C.M.P. ASPHALT COATED CORRUGATED METAL PIPE
A.C.I. AMERICAN CONCRETE INSTITUTE ALTERNATING CURRENT OR ACRES
ACOUS ACOUSTICAL
ADD. ADDENDUM
AD AREA DRAIN
ADD'NL ADDITIONAL
ADJ. ADJUSTABLE
A.F.F. ABOVE FINISH FLOOR
AGA. AMERICAN GAS ASSOCIATION
AGG. AGGREGATE
A.H. AIR HANDLING
AIR COND. AIR CONDITIONING
A.I.A. AMERICAN INSTITUTE OF ARCHITECTS
A.I.E.E. AMERICAN INSTITUTE OF ELECTRICAL ENGINEERS
A.I.S.C. AMERICAN INSTITUTE OF STEEL CONSTRUCTION
AISI AMERICAN IRON & STEEL INSTITUTE
ALT. ALTERNATIVE
ALUM. ALUMINIUM
AMP. AMPERE
ANOD. ANODIZED
APPROX. APPROXIMATE
ARCH. ARCHITECT/ARCHITECTURAL
ASB. ASBESTOS
ASCE AMERICAN SOCIETY OF HEATING, REFRIGERATING & AIR CONDITIONING ENGINEERS
AMERICAN SOCIETY OF MECHANICAL ENGINEERS
ASME
ASPH ASPHALT
ASR AUTOMATIC SPRINKLER RISER
ASSOC. ASSOCIATION
ATEG ACOUSTIC TILE EXPOSED GRID
AVE AVERAGE
B
B&B BURLAPPED & BALLED
BD. BOARD
BIT BITUMINOUS
BLDG. BUILDING
BLK. BLOCK
BLKG. BLOCKING
BM. BEAM
B.M. BENCH MARK
BOT. BOTTOM
BRG. BEARING
BRON. BRONZE
B.S. BOTH SIDED
BTN. BETWEEN
BTU. BRITISH THERMAL UNIT
B.V.C. BEGINING OF VERTICAL CURVE
B.W. BOTH WAYS
C
CBC CALIFORNIA BUILDING CODE
CAB. CABINET
CAL. CALIPER
CAR. CARPET
C.B. CATCH BASIN
CBI. CATCH BASIN INVERT
CEM. CEMENT
CER. CERAMIC
C.F. CUBIC FEET
C.F.M. CUBIC FEET PER MINUTE
C.F.S. CUBIC FEET PER SECOND
CHWS (R) CHILLED WATER SUPPLY (RETURN)
C.I. CAST IRON
C.I.P. CAST IRON PIPE
CIR. CIRCULAR
C.L. CENTER LINE OR CHAIN LINK (FENCE)
CLG. CEILING
CLO. CLOSET
CLR. CLEAR
C.M.U. CONCRETE MASONARY UNIT
C.M.P. CORRUGATED METAL PIPE
CNTR. COUNTER
CO. COMPANY
CO CLEAN-OUT
COL. COLUMN
COMB. COMBINATION
COMP. COMPOSITION
CONC. CONCRETE
CONN. CONNECTION
CONST. CONSTRUCTION
CONTR. CONTRACTOR
CONT. CONTINUOUS
COR. CORNER
CORP. CORPORATION
CORR. CORRIDOR
CRR. CORRUGATE
C/S CROSS SLOPE
CTSK. COUNTERSINK
C.W. COLD WATER
C.W.S.(R) CONDENSER WATER SUPPLY(RETURN)
CU. CUBIC
C.Y. CUBIC YARD

D

d PENNY (NAILS)
DBL. DOUBLE
DC. DIRECT CURRENT SEE AC.
DEG. DEGREE
DEPT. DEPARTMENT
DET. DETAIL
D.F. DRINKING FOUNTAIN OR DOUGLAS FAIR
DIA. DIAMETER
DIAG. DIAGONAL
DIM. DIMENSION
DISP. DISPENSER
DIV. DIVISION
D.M.H. DROP MAN HOLE
DN. DOWN
D.O. DOOR OPENING
DR. DOOR, DRAIN
DS. DOWNSPOUT
D.S.P. DRY STAND PIPE
DW. DISHWASHER
DWG. DRAWING
DWR. DRAWER
E
E. EAST
EA. EACH
E.A.P. EXPOSED AGGREGATE PAVING
E.F. EACH FACE
EL. ELEVATION
ELEC. ELECTRICAL
ELEV. ELEVATOR
E.M.R. ELEVATOR MACHINE ROOM
ENAM. ENAMEL
ENCL. ENCLOSURE
ENGR. ENGINEER
E.P. ELECTRICAL PANEL
EQ. EQUIVALENT
EQUIP. EQUIPMENT
ETC. AND SO FORTH
EX. OR (E) EXISTING
EXH. EXHAUST
EXPO. EXPOSED
EXP. EXPANSION
EXT. EXTERIOR
E.W. EACH WAY
E.W.C. ELECTRIC WATER COOLER
E.W.M. ELECTRIC WELDED MESH
E.V.C. END OF VERTICAL CURVE
F
F.A. FRESH AIR, FIRE ALARM
FAB. FABRICATE
F.B. FLAT BAR
F.D. FLOOR DRAIN
FDN. FOUNDATION
F.E. FIRE EXTINGUISHER
F.E.C. FIRE EXTINGUISHER CABINET
F.F. FINISH FLOOR
F.G. FINISH GRADE
F.H.C. FIRE HOSE CABINET
F.H. FIRE HYDRANT
FHWS FLAT HEAD WOOD SCREW
FIN. FINISH
F.L. FLOW LINE
FL.LT. FLUORESCENT LIGHT
FLR. FLOOR
F.P. FIRE PROTECTION
F.O.B. FACE OF BLOCK
F.O.C. FACE OF CONCRETE
F.O.F. FACE OF FINISH
F.O.G. FACE OF GLAZING
F.O.M. FACE OF MASONRY
F.O.S. FACE OF STUD
F.O.W. FACE OF WALL
FPRF. FIREPROOF
F.R. FLOOR SINK
FT. FEET
FTG. FOOTING
FURR. FURRING
FUT. FUTURE
G
GA. GAUGE
GAL. GALLON
GALV. GALVANIZE
G.B. GRAB BAR
G.C. GENERAL CONTRACTOR
G.D. GARBAGE DISPOSAL
G.I. GALVANIZED IRON
GL. GLASS
GLU-LAM GLU-LAMINATED
G.L.B. GLU-LAMINATED BEAM
GND. GROUND
G.P.H. GALLONS PER HOUR
G.P.M. GALLONS PER MINUTE
G.RAIL. GUARD RAIL
G.V. GAS VALVE
GYP. GYPSUM BOARD
H
H.B. HOSE BIBB

H.C.

H.C. HOLLOW CORE
HD. HEAD
HDR. HEADER
HT. HEIGHT
H.M. HOLLOW METAL
HORIZ. HORIZONTAL
HP. HORSEPOWER
H.P. HIGH POINT
HR. HOUR
H.RAIL. HANDRAIL
HDWR. HARDWARE
HTG. HEATING
H.V.A.C. HEATING, VENTILATION & AIR CONDITIONING
HW. HEAD WALL
H.W. HOT WATER
HWY. HIGHWAY
HYD. HYDRAULIC, HYDRANT
Hz. HERTZ
I
I.E.S. ILLUMINATING ENGINEERS SOCIETY
ID. INSIDE DIAMETER
IMPG. IMPREGNATE
IN. INCH
INCL. INCLUDES
INC. INCORPORATED
INFO. INFORMATION
INL. INLET
INSUL. INSULATION
INT. INTERIOR
ISOL. ISOLATION, ISOLATOR
I.C.W. INDUSTRIAL COLD WATER
I.H.W. INDUSTRIAL HOT WATER
INV. INVERT
J
JAN. JANITOR
J.B. JUNCTION BOX
JCT. JUNCTION
JST. JOIST
JT. JOINT
K
K.D. KLIN DRIED
KIT. KITCHEN
K.O. KNOCK OUT
K.W. KILOWATT
L
L. LENGHT OF CURVE
L.A. LANDSCAPE ARCHITECT
LAB. LABORATORY
LAG. LAG SCREW
LAV. LAVATORY
LAM. LAMINATE
LAT. LATERAL
LB. POUND
L.C. LANDSCAPE CONTRACTOR
LF. LINEAR FEET
LG. LONG
LIN. LINEAR
L.P. LOW POINT
LT. LIGHT
LVR. LOUVER
LT.W.C. LIGHT WEIGHT CONCRETE
M
M. METER
MAS. MASONRY
MATL. MATERIAL
MAX. MAXIMUM
M.B. MACHINE BOLT
MECH. MECHANICAL
MEMB. MEMBRANE
MET. METAL
MFR. MANUFACTURER
M.H. MAINTENANCE HOLE
M.I. MALLEABLE IRON
MIN. MINIMUM, MINUTE
MIR. MIRROR
MISC. MISCELLANEOUS
M.O. MASONRY OPENING
MOD. MODULE
MON. MONUMENT
M.S. MACHINE SCREW
MTD. MOUNTED
MUL. MULLION
N
N. NORTH
NAT. NATURAL
N.B.S. NATIONAL BUREAU OF STANDARDS
NEC. NATIONAL ELECTRICAL CODE
NEMA ASSOC. NATIONAL ELECTRICAL MANUFACTURER'S
N.G. NATURAL GRADE
N.I.C. NOT IN CONTRACT
NO. NUMBER
NOM. NOMINAL
N.T.S. NOT TO SCALE
NO SCALE

O

O.A. OVERALL
O.A.I. OUTSIDE AIR INTAKE
OBS. OBSCURE
O.C. ON CENTER
O.D. OUTSIDE DIAMETR
O.F. OVERFLOW
OFL. OVERFLOW LEADER
O.F.S. OUTSIDE FACE OF STUD
O.F.F. OFFICE
O.H. OVAL HEAD
OPNG. OPENING
OPP. OPPOSITE
ORIG. ORIGINAL
O.T.O. OUT TO OUT
OVHD. OVERHEAD
P
P.A. PUBLIC ADDRESS
PC. PIECE
P.C.P. POROUS CONCRETE PIPE
PG&E. PACIFIC GAS & ELECTRIC
PG. PAGE
P.H. PANIC HARDWARE
PL. PROPERTY LINE
P.LAM. PLASTIC LAMINATE
PLAS. PLASTER
PLMBG. PLUMBING
PLY. PLYWOOD
P.M. PRESSED METAL
P.NL. PANEL
P.O.C. POINT OF CONNECTION
POL. POLISHED
PORC. PORCELAIN
P.P. POWER POLE
PR. PAIR
PRCT. PRECAST
PRFAB. PREFABRICATED
PSF. POUNDS PER SQUARE FOOT
PSI. POUNDS PER SQUARE INCH
P.T. PRESSURE TREATED
PT. POINT
P.T.D. PAPER TOWEL DISPENCER
P.T.D./R. COMBINATION PAPER TOWEL DISPENCER/ RECEPTACLE
PTN. PARTITION
P.T.R. PAPER TOWEL RECEPTACLE
PVC. POLYVINYLCHLORIDE
P.V.T. POINT OF VERTICAL TANGENT
Q
QT. QUART
Q.T. QUARRY TILE
R
R. RISER
RAD. RADIUS
R.C.P. REINFORCED CONCRETE PIPE
R.D. ROOF DRAIN
R.E. RIM ELEVATION
RECPT. RECEPTACLE
REF. REFERENCE
REFR. REFRIGERATOR, REFRIGERATION
REINF. REINFORCEMENT
REQD. REQUIRED
RESIL. RESILIENT
RF. ROOF
RGTR. REGISTER
R.H. ROUND HEAD
REL.HUM. RELATIVE HUMIDITY
REV. REVISION
RM. ROOM
R.O. ROUGH OPENING
R.O.W. RIGHT OF WAY
R.P.M. REVOLUTIONS PER MINUTE
R.R. RAILROAD
R.V. ROOF VENT
RWD. REDWOOD
RWL. RAIN WATER LEADER
S
S. SOUTH
SAN. SANITARY
S.C. SOLID CORE
SCHED. SCHEDULE
S.D. STORM DRAIN
SECT. SECTION
SEIS. SEISMIC
SF. SQUARE FEET
SH. SHELF
SHR. SHOWER
SHT. SHEET
SHTG. SHEATHING
S.I. STORM INLET
SIM. SIMILAR
S.J. SEISMIC JOINT
SK. SINK
S.M. SHEET METAL
SND. SANITARY NAPKIN DISPENSER
S.N.R. SANITARY NAPKIN RECEPTACLE
SPECS. SPECIFICATIONS

MANDATORY ENVELOPE FEATURES: ENVELOPE: SEE TITLE 24 REQUIREMENTS

SPR. SPRINKLER
SQ. SQUARE
S/S. SERVICE SINK
S.S. SANITARY SEWER
S.STL. STAINLESS STEEL
ST. STREET OR STEEL
STA. STATION
STAG. STAGGERED
STD. STANDARD
STIFF. STIFFENER
STOR. STORAGE
STR. STRINGER
STR.L. STRUCTURAL
SUSP. SUSPENDED
SWBD. SWITCHBOARD
S.Y. SQUARE YARD
SYM. SYMMETRICAL
T
TANG. TANGENT
T.B. TOWEL BAR
T&B. TOP & BOTTOM
T.C. TOP OF CURB, TOP OF COUNTER
T.C.P. TERRA COTTA PIPE
T.E. TAPERED END
TEL. TELEPHONE
TEMP. TEMPRATURE
TEMPD. TEMPERED
TER. TERRAZZO
T&G. TONGUE & GROOVE
TH. THRESHOLD
THERMO. THERMOSTAT
THK. THICK, THICKNESS
THRU. THROUGH
TOL. TOLERANCE
T.P. TOP OF PARAPET, TELEPHONE POLE, TOP OF PAVEMENT
T.P.H. TOILET PAPER HOLDER
T.PL. TOP OF PLATE
TRANSF. TRANSFORMER
TRD. TREAD
T.S. TOP OD SLAB, TOP OF SLOPE, TOP OF STEEL
T.V. TELEVISION
T.W. TOP OF WALL
TYP. TYPICAL
U
U.D. UNDER DRAIN
U.L. UNDERWRITER'S LABORATORIES, INC.
UNF. UNFINISHED
U.O.N. UNLESS OTHERWISE NOTED
U.S.G.S. U.S. GEOLOGICAL SURVEY
UR. URINAL
V
V. VENT, VOLT
VAR. VARIES, VARIABLE
V.C. VERTICAL CURVE
VEN. VENEER
VERT. VERTICAL
VEST. VESTIBULE
VGDF. VERTICAL GRAIN DOUGLAS FIR
VOL. VOLUME
VIT. VITRIFIED
V.C.P. VITRIFIED CLAY PIPE
W
W. WEST
W/ WITH
W.C. WATER CLOSET
WD. WOOD
W.F. WIDE FRANGE
WF. WIRE FABRIC
W.GL. WIRE GLASS
W.H. WATER HEATER
W.I. WROUGHT IRON
WIND. WINDOW
W.M. WIRE MESH, WATER MESH
W/O. WITHOUT
W.P. WATERPROOF, WORK POINT
W.R. WATER RESISTANT
WSCT. WAINSCOT
W.S.P. WET SAND PIPE
WT. WEIGHT
W.W.M. WELDED WIRE MESH
WV. WATER VALVE
Y
YD. YARD
Y.D. YARD DRAIN
POUND (LB.) OR NUMBER
0° DEGREES
@ AT
Ø DIAMETER
⊞ SQUARE

SCDC

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SHEET NAME :

ABBREVIATIONS

REVISIONS

No	Revision	Date

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SCALE:

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SHEET No.:

A0.4

SHEETS IN SET _____



COUNTY OF SANTA CLARA
2019 CALGREEN RESIDENTIAL CHECKLIST (MANDATORY+TIER 1)
 County Amendments to CALGreen are in Italics.
 - Designer to cross out items that are not applicable to the project.
 - Installer or designer shall verify all applicable requirements have been satisfied and sign and date each row. County Inspectors will verify completion signatures and supporting documentation DURING CONSTRUCTION.

ITEM #	CALGreen CODE SECTION	REQUIREMENT	APPLICANT TO COMPLETE		Installer or Designer Verification
			Plan Check Review Data	Plan Check Review Data	
PLANNING AND DESIGN: MANDATORY REQUIREMENTS					
1	4.106.2	A plan is developed and implemented to manage storm water drainage during construction.	CG-3	NOTE 1	
2	4.106.3	Construction plans indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings.	CG-3	NOTE 2	
3	4.106.4.1	For new dwellings and the rebuild of existing dwellings that include a panel upgrade or construction between panel and parking area, a roadway to a dedicated 208/240-volt branch circuit meeting the requirements is installed.	CG-3	NOTES 3 & 4	
PLANNING AND DESIGN: TIER 1 MANDATORY REQUIREMENTS					
4	A4.106.2.3	Displaced topsoil is stockpiled for reuse in a designated area and covered or protected from erosion.	CG-4	NOTE 7	
5	A4.106.4	Not less than 20 percent of the total parking, walking or patio surfaces are permeable.	CG-4	NOTE 9	
6	A4.106.8.1	For new dwellings with attached private garages, a dedicated 208/240-volt branch circuit including an overcurrent protective device is installed in the racetrack, meeting the applicable requirements.	CG-4	NOTE 12	
PLANNING AND DESIGN: TIER 1 ELECTIVE REQUIREMENTS					
7	A4.103.1	An initial, graded site or EPA-recognized and Brownfield site is applicable.	CG-4	NOTE 1	
8	A4.103.2	Community connectivity is facilitated by one of the approved methods.	CG-4	NOTE 2	
9	A4.104.1	An individual with oversight responsibility for the project has participated in an educational program promoting environmentally friendly design or development and has provided instruction to appropriate entities.	CG-4	NOTE 3	
10	A4.105.2	Existing buildings are disassembled for reuse or recycling of building materials. The proposed structure utilizes at least one of the listed materials.	CG-4	NOTE 4	
11	A4.106.2.1	Soil analysis is performed by a licensed design professional and the findings are utilized in the structural design of the building.	CG-4	NOTE 5	
12	A4.106.2.2	Soil disturbance and erosion are minimized by using one or more of the methods listed.	CG-4	NOTE 6	
13	A4.106.3	Landscape areas disrupted during construction are restored to be consistent with native vegetation and/or at least 75% native California or drought tolerant plant and tree are utilized.	CG-4	NOTE 8	
14	A4.106.6	A vegetated roof for at least 50% of the roof area is installed. Vegetated roof complies with CBC chapters 15 and 16.	CG-4	NOTE 10	
15	A4.106.7	Nonroof heat islands are reduced for 50% of sidewalks, patios, driveways, or other paved areas by using one or more of the methods listed.	CG-4	NOTE 11	
16	A4.106.10	Outdoor lighting systems are designed and installed to comply with one of the methods listed.	CG-1	TABLE A4.106.10	
ENERGY EFFICIENCY: MANDATORY REQUIREMENTS					
17	4.201.1	Building meets or exceeds the requirements of the California Building Energy Efficiency Standards.	T24 SHEETS		
WATER EFFICIENCY & CONSERVATION: MANDATORY REQUIREMENTS					
18	4.303.1	Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings comply with CALGreen Sections 4.303.1.1 through 4.303.1.4.4.	CG-3	NOTE 5	
19	4.303.2	Plumbing fixtures and fittings required in CALGreen Section 4.303.1 are installed in accordance with the CPC and meet the applicable referenced standards.	CG-3	NOTE 6	
20	4.304.1	Outdoor potable water use in landscape areas comply with a local water efficient landscape or the current California DWR MWEL0, whichever is more stringent.	CG-3	NOTE 7	
21	4.305.1	For new dwellings where disinfected tertiary recycled water is available, installation of recycled water supply system is required per CPC chapter 15.	CG-3	NOTE 8	

ITEM #	CALGreen CODE SECTION	REQUIREMENT	APPLICANT TO COMPLETE		Installer or Designer Verification
			Plan Check Review Data	Plan Check Review Data	
WATER EFFICIENCY & CONSERVATION: TIER 1 ELECTIVE REQUIREMENTS					
22	A4.303.1	Kitchen faucet maximum flow rate does not exceed 1.5 gpm at 60 psi. See exceptions.	CG-4	NOTE 14	
23	A4.303.2	Alternate nonpotable water resources are used for indoor potable water reduction and are installed in accordance with CPC.	CG-4	NOTE 15	
24	A4.303.3	At least one qualified ENERGY STAR dishwasher or clothes washer is installed.	CG-4	NOTE 16	
25	A4.303.4	Nonwater urinals or composting toilets are installed.	CG-4	NOTE 17	
26	A4.303.5	Dwelling is equipped with a demand hot water recirculation system. The system is installed per CPC, CEC, and the manufacturer's installation instructions.	CG-4	NOTE 18	
27	A4.304.1	An approved rainwater catchment system is designed and installed to use rainwater generated by at least 65% of the available roof area. The system is installed per CPC.	CG-4	NOTE 19	
28	A4.304.2	A water efficient landscape irrigation design that eliminates the use of potable water, is provided. Method used to accomplish the requirements comply with California Building Standards Code and one or more of listed methods.	CG-4	NOTE 20	
29	A4.304.3	Separate submeters or metering devices for outdoor potable water use is provided for landscape areas less than 5000 sq ft.	CG-4	NOTE 21	
30	A4.305.1	Alternative plumbing piping is installed to permit the discharge from the clothes washer or other fixtures to be used for an irrigation system in compliance with CPC.	CG-4	NOTE 22	
31	A4.305.2	Dual water piping is installed for future use of recycled water at listed locations.	CG-4	NOTE 23	
32	A4.305.3	Recycled water is used for landscape irrigation.	CG-4	NOTE 24	
MATERIAL CONSERVATION & RESOURCE EFFICIENCY: MANDATORY REQUIREMENTS					
33	4.406.1	Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls are protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the County of Santa Clara.	CG-3	NOTE 9	
34	4.408.1	Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste. Submit either a Construction Waste management plan (CALGreen 4.408.2) or Utilize a waste management company (CALGreen 4.408.3).	CG-3	NOTE 10	
35	4.408.5	Documentation is provided to County of Santa Clara which demonstrates compliance with CALGreen sections 4.408.2 or 4.408.3.	CG-2 Construction Waste Management Forms Note 11		
36	4.410.1	An operation and maintenance manual is placed in the building at the time of final inspection.	CG-3	NOTE 12	
MATERIAL CONSERVATION & RESOURCE EFFICIENCY: TIER 1 MANDATORY REQUIREMENTS					
37	A4.403.2	Reduction in cement use in foundation mix design is not less than 20 percent.	CG-4	NOTE 26	
38	A4.405.3.1	Use materials with a total RCv (recycled content value) not less than a 10-percent of the total material cost of the project except structural framing material.	CG-4	NOTE 33	
39	A4.408.1	Reduce construction waste by at least 65%. Documentation is submitted to the County of Santa Clara demonstrating compliance.	CG-34 Construction Waste Management Forms Note 41		
MATERIAL CONSERVATION & RESOURCE EFFICIENCY: TIER 1 ELECTIVE REQUIREMENTS					
40	A4.403.1	A Frost-Protected Shallow Foundation (FPSF) is utilized in compliance with CRC. The required manual includes instructions to the owner or occupant regarding the necessity for heating the structure per CRC R403.3.	CG-4	NOTE 25	
41	A4.404.1	Beams, headers and trimmers are sized and installed as specified in Chapter 23 of CBC or Chapter 6 of CRC.	CG-4	NOTE 27	
42	A4.404.2	Building dimensions and layouts are designed to minimize waste by one or more of the listed measures in at least 80% of the structure.	CG-4	NOTE 28	
43	A4.404.3	Prefabricated building system, as listed, is used to eliminate solid sawn lumber.	CG-4	NOTE 29	
44	A4.404.4	Material lists are included in the plans which specify the material quantity and direction for on-site cuts, for the listed systems.	CG-4	NOTE 30	
45	A4.405.1	Prefinished building materials are utilized which do not require additional painting or staining. Acceptable material list is per CALGreen A4.405.1.	CG-4	NOTE 31	
46	A4.405.2	Concrete floors that do not require additional coverings are used.	CG-4	NOTE 32	
47	A4.405.4	One or more of the listed materials from rapidly renewable sources or agricultural byproducts are used.	CG-4	NOTE 34	
48	A4.407.1	Foundation and landscape drains with discharge to an approved on-site location is installed.	CG-4	NOTE 35	
49	A4.407.2	Roof gutter and downspout system is installed to route water at least 5 feet away from the foundation or connect to landscape drains with approved on-site discharge.	CG-4	NOTE 36	
50	A4.407.3	Flashing details complying with accepted industry standards or manufacturer's instructions are provided on the plans.	CG-4	NOTE 37	
51	A4.407.4	Building materials delivered to the construction site are protected from rain and other sources of moisture. Exterior doors are covered to prevent water intrusion by one or more listed methods.	CG-4	NOTE 38	
52	A4.407.6	A permanent overhang or awning at least two feet in depth is provided at all exterior walls.	CG-4	NOTE 40	

ITEM #	CALGreen CODE SECTION	REQUIREMENT	APPLICANT TO COMPLETE		Installer or Designer Verification
			REFERENCE SHEET	Note or Detail No.	
ENVIRONMENTAL QUALITY: MANDATORY REQUIREMENTS					
54	4.503.1	Any installed gas fireplace is a direct-vent sealed-combustion type. Any installed woodstove or pellet stove comply with US EPA Phase II emission limits where applicable.	CG-3	NOTE 13	
55	4.504.1	Duct openings and other related air distribution component openings are covered during construction until final startup of the HVAC equipment.	CG-3	NOTE 14	
56	4.504.2.1	Adhesives, sealants and caulks are compliant with VOC and other toxic compound limits.	CG-2	Table 4.504.2 Table 4.504.3	
57	4.504.2.2	Architectural paints and coatings are compliant with VOC limits.	CG-2	Table 4.504.3	
58	4.504.2.3	Aerosol paints and coatings are compliant with product weighted MIR limits for ROC and other toxic compounds.	CG-3	NOTE 16	
59	4.504.2.4	Documentation are provided to the County of Santa Clara to verify that compliant VOC limit finish materials have been used.	CG-3	NOTE 17	
60	4.504.3	Carpet and carpet systems meet the applicable testing and product requirements.	CG-2	Table 4.504.1	
61	4.504.5	Hardwood plywood, particleboard and medium density fiberboard composite meet formaldehyde limits.	CG-1	Table 4.504.5	
62	4.504.5.1	Documentation is provided to the County of Santa Clara to verify composite wood meets applicable formaldehyde limits.	CG-3	NOTE 22	
63	4.505.2	Vapor retarder and capillary break is installed at slab-on-grade foundations.	CG-3	NOTE 23	
64	4.505.3	Moisture content of building materials used in wall and floor framing do not exceed 19% prior to enclosure and is checked before enclosure. Insulation products are dry prior to enclosure.	CG-3	NOTE 24	
65	4.506.1	Each bathroom is mechanically ventilated and comply with applicable requirements.	CG-3	NOTE 25	
66	4.507.2	Heating and air-conditioning systems are sized, designed, and equipment is selected by using one of the methods listed.	CG-3	NOTE 26	
ENVIRONMENTAL QUALITY: TIER 1 MANDATORY REQUIREMENTS					
67	A4.504.2	At least 90% of resilient flooring complies with applicable VOC limits.	CG-4	NOTE 43	
68	A4.504.3	Thermal insulation in the building is installed in compliance with applicable standards.	CG-4	NOTE 44	
ENVIRONMENTAL QUALITY: TIER 1 ELECTIVE REQUIREMENTS					
69	A4.504.1	Composite wood products made with NAF or ULEF resins are used.	CG-4	NOTE 42	
70	A4.506.2	Filters at MERV 8 or higher are used on return air openings, during construction.	CG-4	NOTE 45	
71	A4.506.3	Direct vent heating and cooling equipment are utilized where the equipment will be located in the conditioned space or the space heating and water heating equipment is installed in an isolated mechanical room.	CG-4	NOTE 46	
INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS: MANDATORY REQUIREMENTS					
72	702.1	HVAC system installers are trained and certified in the proper installation of HVAC systems.	CG-3	NOTE 27	
73	702.2	If required by County of Santa Clara, owner or owner's agent shall employ special inspector who are qualified and able to demonstrate competence in the discipline they are inspecting.	CG-3	NOTE 28	
74	703.1	Documentation used to show compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to County of Santa Clara which show substantial conformance.	CG-3	NOTE 29	

TABLE 4.504.5
FORMALDEHYDE LIMITS¹
 Maximum Formaldehyde Emissions in Parts per Million

PRODUCT	CURRENT LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particleboard	0.09
Medium density fiberboard	0.11
Thin medium density fiberboard ²	0.13

1. Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as tested in accordance with ASTM E1333. For additional information, see California Code of Regulations, Title 17, Sections 93120 through 93120.12.
 2. This medium density fiberboard has a maximum thickness of 1/8 inch (3 mm).

TABLE A4.106.10
MAXIMUM ALLOWABLE BACKLIGHT, UP/LIGHT AND GLARE (BUG) RATINGS^{1,2}

ALLOWABLE RATING	LIGHTING ZONE			
	1	2	3	4
Maximum Allowable Backlight Rating³				
Luminaire greater than 2 mounting heights (MH) from property line	No Limit	No Limit	No Limit	No Limit
Luminaire back hemisphere is 1 - 2 MH from property line	B2	B3	B4	B4
Luminaire back hemisphere is 0.5 - 1 MH from property line	B1	B2	B3	B3
Luminaire back hemisphere is less than 0.5 MH from property line	B0	B0	B1	B2
Maximum Allowable Uplight Rating				
For area lighting	L0	L0	L0	L0
For all other outdoor lighting, including decorative luminaires	U1	U2	U3	U4
Maximum Allowable Glare Rating⁴				
Luminaire greater than 2 MH from property line	G1	G2	G3	G4
Luminaire front hemisphere is 1 - 2 MH from property line	G0	G1	G1	G1
Luminaire front hemisphere is 0.5 - 1 MH from property line	G0	G0	G1	G1
Luminaire back hemisphere is less than 0.5 MH from property line	G0	G0	G0	G1

1. IESNA Lighting Zones 0 and 5 are not applicable; refer to Lighting Zones as defined in the California Energy Code and Chapter 10 of the California Administrative Code.
 2. For property lines that abut public walkways, bikeways, plazas and parking lots, the property line may be considered to be 5 feet beyond the actual property line for purpose of determining compliance with this section. For property lines that abut public roadways and public transit corridors, the property line may be considered to be the centerline of the public roadway or public transit corridor for the purpose of determining compliance with this section.
 3. If the nearest property line is less than or equal to two mounting heights from the back hemisphere of the luminaire distribution, the applicable reduced Backlight rating shall be met.
 4. General lighting luminaires in areas such as outdoor parking, sales or storage lots shall meet these reduced ratings. Decorative luminaires located in these areas shall meet U-value limits for "all other outdoor lighting."
 5. If the nearest property line is less than or equal to two mounting heights from the front hemisphere of the luminaire distribution, the applicable reduced Glare rating shall be met.



ARCHITECTURE
 INTERIOR DESIGN

SALVATORE CARUSO
 DESIGN CORPORATION

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 TEL. NO. (408)998-4087 FAX. NO. (408)998-4088

PROJECT :

LOS ALTOS

1340 FAIRWAY DRIVE, LOS
 ALTOS, CA, 94024

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 4. COPYRIGHT © BY SALVATORE CARUSO DESIGN CORPORATION.

SHEET NAME :

CALGREEN
 CHECKLIST

REVISIONS

No	Revision	Date

DRAWN:

CHECKED:

DATE: 06/12/2020

SCALE: 1" = 1'-0"

JOB No.: 19.02.02

SHEET No.:

A0.5

SHEETS IN SET

CALGreen One or Two Family Residential Project Mandatory and Tier1 Requirements
 County of Santa Clara



CG-1

03/30/2020

CALGREEN 2019 NOTES – MANDATORY REQUIREMENTS:

- PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. SEE CALGREEN 4.106.2 FOR FURTHER DETAILS.
- CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS. SWALES, WATER COLLECTION AND DISPOSAL SYSTEMS, FRENCH DRAINS, WATER RETENTION GARDENS, AND OTHER MEASURES CAN BE USED. EXCEPTION: ADDITIONS AND ALTERATIONS NOT ALTERING THE DRAINAGE PATH.
- NEW CONSTRUCTION SHALL COMPLY WITH CALGREEN SECTION 4.106.4.1 TO FACILITATE FUTURE INSTALLATION AND USE OF EV CHARGERS. ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE, ARTICLE 625.

EXCEPTIONS:

- WHERE COUNTY OF SANTA CLARA HAS DETERMINED EV CHARGING AND INFRASTRUCTURE ARE NOT FEASIBLE.
 - ACCESSORY DWELLING UNITS (ADU) AND JUNIOR ACCESSORY DWELLING UNITS (JADU) WITHOUT ADDITIONAL PARKING FACILITIES.
- FOR EACH DWELLING UNIT, INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMETER). THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".
- THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVER CURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".
- ALL NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY, OR FINAL PERMIT APPROVAL BY BUILDING AND INSPECTION DIVISION. SEE CIVIL CODE SECTION 1101.1, ET SEQ., FOR THE DEFINITION OF A NONCOMPLIANT PLUMBING FIXTURE, TYPES OF RESIDENTIAL BUILDINGS AFFECTED AND OTHER IMPORTANT ENACTMENT DATES.

- THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS.
 - SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS.
 - WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWER-HEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.
 - THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.
 - THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.
- PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE.
 - RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEL0), WHICHEVER IS MORE STRINGENT.
 - NEWLY CONSTRUCTED RESIDENTIAL DEVELOPMENTS, WHERE DISINFECTED TERTIARY RECYCLED WATER IS AVAILABLE FROM A MUNICIPAL SOURCE TO A CONSTRUCTION SITE, MAY BE REQUIRED TO HAVE RECYCLED WATER SUPPLY SYSTEMS INSTALLED, ALLOWING THE USE OF RECYCLED WATER FOR RESIDENTIAL LANDSCAPE IRRIGATION SYSTEMS. SEE CHAPTER 15 OF THE CALIFORNIA PLUMBING CODE.
 - ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE COUNTY OF SANTA CLARA.
 - RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CALGREEN SECTION 4.408.2 OR 4.408.3.

- A CONSTRUCTION WASTE MANAGEMENT PLAN IS PROVIDED. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE COUNTY OF SANTA CLARA.
 - IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
 - SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).
 - IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE TAKEN.
 - IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
 - Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.
- A WASTE MANAGEMENT COMPANY CAN BE UTILIZED IF APPROVED BY THE COUNTY OF SANTA CLARA. SEE CALGREEN 4.408.3 FOR FURTHER .DETAILS

- DOCUMENTATION SHALL BE PROVIDED TO THE COUNTY OF SANTA CLARA WHICH DEMONSTRATES COMPLIANCE WITH NOTE 10.
- AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE COUNTY OF SANTA CLARA INCLUDES ALL OF THE REQUIRED INFORMATION, SHALL BE PLACED IN THE BUILDING. SEE CALGREEN 4.410.1 FOR DETAILS OF REQUIRED INFORMATION.
- ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE SANTA CLARA COUNTY ORDINANCES AND BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGULATION 6, RULE 3.
- AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE COUNTY OF SANTA CLARA TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM.
- ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF CALGREEN TABLES 4.504.1 OR 4.504.2 AS REPRODUCED ON SHEET CG-1. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED BELOW.

AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.

- ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS AS SHOWN IN TABLE 4.504.3 SHEET CG-1. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NON-FLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3, SHEET CG-1 SHALL APPLY.
- AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(A)(2) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(E)(1) AND (F)(1) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.
- VERIFICATION OF COMPLIANCE WITH NOTES 15, 16, AND 17 SHALL BE PROVIDED AT THE REQUEST OF THE COUNTY OF SANTA CLARA.
- ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
 - CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM.
 - CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350.)
 - NSF/ANSI 140 AT THE GOLD LEVEL.
 - SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD.

ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1, SHEET CG-1.

- WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:

- PRODUCTS COMPLIANT WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350), CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
- PRODUCTS CERTIFIED UNDER UL GREENGUARD GOLD (FORMERLY THE GREENGUARD CHILDREN & SCHOOLS PROGRAM).
- CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
- MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350).

- HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN TABLE 4.504.5 SHEET CG-1.
- VERIFICATION OF COMPLIANCE WITH NOTE 21 SHALL BE PROVIDED AT THE REQUEST OF THE COUNTY OF SANTA CLARA.
- CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY CBC, CHAPTER 19 OR CONCRETE SLAB-ON-GROUND FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY CRC CHAPTER 5, SHALL COMPLY WITH FOLLOWING REQUIREMENT:
 - A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING:
 - A 4-INCH-THICK BASE OF 1/2 INCH OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN, WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING, SHALL BE USED.
 - A SLAB DESIGN SPECIFIED BY THE LICENSED DESIGN PROFESSIONAL.

- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURERS' DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.
- EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:
 - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 - UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.
 - HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF ≤ 50 PERCENT TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.
 - A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL.
- HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
 - THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J—2016 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
 - DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D—2016 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
 - SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S—2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

- HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS INCLUDING DUCTS AND EQUIPMENT BY A NATIONALLY OR REGIONALLY RECOGNIZED TRAINING OR CERTIFICATION PROGRAM. UNCERTIFIED PERSONS MAY PERFORM HVAC INSTALLATIONS WHEN UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF A PERSON TRAINED AND CERTIFIED TO INSTALL HVAC SYSTEMS OR CONTRACTOR LICENSED TO INSTALL HVAC SYSTEMS.
- IF REQUIRED BY THE COUNTY OF SANTA CLARA, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE COUNTY OF SANTA CLARA FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE PROJECT THEY ARE INSPECTING FOR COMPLIANCE WITH THIS CODE.

- DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE COUNTY OF SANTA CLARA WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE. WHEN SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IS NECESSARY TO VERIFY COMPLIANCE, THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPRIATE SECTION OR IDENTIFIED IN THE APPLICATION CHECKLIST.

SCDC

ARCHITECTURE INTERIOR DESIGN

SALVATORE CARUSO DESIGN CORPORATION

980 EL CAMINO REAL, #200, SANTA CLARA, CA 95050
TEL. NO. (408)998-4087 FAX. NO. (408)998-4088

PROJECT :

LOS ALTOS

1340 FAIRWAY DRIVE, LOS
ALTOS, CA, 94024

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SHEET NAME :

CALGREEN
CHECKLIST

REVISIONS

No	Revision	Date

DRAWN:

CHECKED:

DATE: 06/12/2020

SCALE: 1" = 1'-0"

JOB No.: 19.02.02

SHEET No.:

A0.7

SHEETS IN SET _____

CALGreen One or Two Family Residential Project Mandatory and Tier1 Requirements County of Santa Clara



CG-3

03/30/2020

CALGREEN 2019 NOTES – TIER 1 REQUIREMENTS:

1. SITE WHICH COMPLIES WITH AT LEAST ONE OF THE FOLLOWING CHARACTERISTICS SHALL BE SELECTED:

- A. AN INFILL SITE.
- B. A GREYFIELD SITE.
- C. AN EPA-RECOGNIZED AND REMEDIATED BROWNFIELD SITE.

2. FACILITATE COMMUNITY CONNECTIVITY BY ONE OF THE FOLLOWING METHODS:

- A. LOCATE PROJECT WITHIN A ¼ MILE TRUE WALKING DISTANCE OF AT LEAST FOUR BASIC SERVICES, READILY ACCESSIBLE BY PEDESTRIANS.
- B. LOCATE PROJECT WITHIN A ½ MILE TRUE WALKING DISTANCE OF AT LEAST SEVEN BASIC SERVICES, READILY ACCESSIBLE BY PEDESTRIANS.
- C. OTHER METHODS INCREASING ACCESS TO ADDITIONAL RESOURCES.

EXAMPLES OF SERVICES INCLUDE, BUT ARE NOT LIMITED TO, BANK, PLACE OF WORSHIP, CONVENIENCE GROCERY, DAY CARE, CLEANERS, FIRE STATION, BARBER SHOP, BEAUTY SHOP, HARDWARE STORE, LAUNDRY, LIBRARY, MEDICAL CLINIC, DENTAL CLINIC, SENIOR CARE FACILITY, PARK, PHARMACY, POST OFFICE, RESTAURANT, SCHOOL, SUPERMARKET, THEATER, COMMUNITY CENTER, FITNESS CENTER, MUSEUM OR FARMERS MARKET.

3. INDIVIDUALS WITH OVERSIGHT AUTHORITY ON THE PROJECT WHO HAVE BEEN TRAINED IN AREAS RELATED TO ENVIRONMENTALLY FRIENDLY DEVELOPMENT SHALL TEACH GREEN CONCEPTS TO OTHER MEMBERS OF THE DEVELOPMENT STAFF AND ENSURE THAT TRAINING IS PROVIDED TO ALL PARTIES ASSOCIATED WITH THE DEVELOPMENT OF THE PROJECT.

PRIOR TO BEGINNING THE CONSTRUCTION ACTIVITIES, ALL PARTIES INVOLVED WITH THE DEVELOPMENT PROCESS SHALL RECEIVE A WRITTEN GUIDELINE AND INSTRUCTION SPECIFYING THE GREEN GOALS OF THE PROJECT.

4. THE SALVAGED MATERIALS FROM DECONSTRUCTION OF EXISTING BUILDINGS ON THE SITE SHALL BE REUSED. REUSED MATERIALS OR PRODUCTS MUST COMPLY WITH CURRENT BUILDING STANDARDS REQUIREMENTS OR BE AN ACCEPTED ALTERNATE METHOD OR MATERIAL.

MATERIALS WHICH CAN BE EASILY REUSED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

- A. LIGHT FIXTURES.
- B. PLUMBING FIXTURES.
- C. DOORS AND TRIM.
- D. MASONRY.
- E. ELECTRICAL DEVICES.
- F. APPLIANCES.
- G. FOUNDATIONS OR PORTIONS OF FOUNDATIONS.

REUSED MATERIAL MUST BE IN COMPLIANCE WITH THE APPROPRIATE TITLE 24 REQUIREMENTS.

5. BUILDING SITE SOIL ANALYSIS SHALL BE PERFORMED BY A LICENSED DESIGN PROFESSIONAL AND THE FINDINGS SHALL BE UTILIZED IN THE STRUCTURAL DESIGN OF THE BUILDING.

6. THE EFFECT OF DEVELOPMENT ON BUILDING SITES SHALL BE EVALUATED AND THE SOIL SHALL BE PROTECTED BY ONE OR MORE OF THE FOLLOWING:

- A. NATURAL DRAINAGE PATTERNS SHALL BE EVALUATED AND EROSION CONTROLS SHALL BE IMPLEMENTED TO MINIMIZE EROSION DURING CONSTRUCTION AND AFTER OCCUPANCY.
- B. SITE ACCESS SHALL BE ACCOMPLISHED BY MINIMIZING THE AMOUNT OF CUT AND FILL NEEDED TO INSTALL ACCESS ROADS AND DRIVEWAYS.
- C. AS ALLOWED BY OTHER PARTS OF THE CALIFORNIA BUILDING STANDARDS CODE, UNDERGROUND CONSTRUCTION ACTIVITIES SHALL BE COORDINATED TO UTILIZE THE SAME TRENCH, MINIMIZE THE AMOUNT OF TIME THE DISTURBED SOIL IS EXPOSED AND THE SOIL SHALL BE REPLACED USING ACCEPTED COMPACTION METHODS.

7. TOPSOIL SHALL BE PROTECTED OR SAVED FOR REUSE. DISPLACED TOPSOIL SHALL BE STOCKPILED FOR REUSE IN A DESIGNATED AREA AND COVERED OR PROTECTED FROM EROSION. PROTECTION FROM EROSION INCLUDES COVERING WITH TARPS, STRAW, MULCH, CHIPPED WOOD, VEGETATIVE COVER, OR OTHER MEANS ACCEPTABLE TO THE COUNTY OF SANTA CLARA TO PROTECT THE TOPSOIL FOR LATER USE.

8. POSTCONSTRUCTION LANDSCAPE DESIGNS SHALL ACCOMPLISH ONE OR MORE OF THE FOLLOWING:

- A. AREAS DISRUPTED DURING CONSTRUCTION SHALL BE RESTORED TO BE CONSISTENT WITH NATIVE VEGETATION SPECIES AND PATTERNS.
- B. UTILIZE AT LEAST 75 PERCENT NATIVE CALIFORNIA OR DROUGHT TOLERANT PLANT AND TREE SPECIES APPROPRIATE FOR THE CLIMATE ZONE REGION.

9. PERMEABLE PAVING SHALL BE UTILIZED FOR NOT LESS THAN 20 PERCENT OF THE TOTAL PARKING, WALKING OR PAVIO SURFACES

THE PRIMARY DRIVEWAY, PRIMARY ENTRY WALKWAY AND ENTRY PORCH OR LANDING SHALL NOT BE INCLUDED WHEN CALCULATING THE AREA REQUIRED TO BE A PERMEABLE SURFACE.

10. INSTALL A VEGETATED ROOF FOR AT LEAST 50 PERCENT OF THE ROOF AREA. VEGETATED ROOFS SHALL COMPLY WITH REQUIREMENTS FOR ROOF GARDENS AND LANDSCAPED ROOFS IN THE CALIFORNIA BUILDING CODE, CHAPTER 15 AND CHAPTER 16.

11. REDUCE NONROOF HEAT ISLANDS FOR 50 PERCENT OF SIDEWALKS, PATIOS, DRIVEWAYS OR OTHER PAVED AREAS BY USING ONE OR MORE OF THE METHODS LISTED.

- A. TREES OR OTHER PLANTINGS TO PROVIDE SHADE AND THAT MATURE WITHIN 15 YEARS OF PLANTING. TREES SHOULD BE NATIVE OR ADAPTIVE TO THE REGION AND CLIMATE ZONES AND NONINVASIVE; HARDY AND RESISTANT TO DROUGHT, INSECTS AND DISEASE; EASY TO MAINTAIN (NO FREQUENT SHEDDING OF TWIGS, BRANCHES, UNWANTED FRUIT OR SEED PODS); AND SUITABLE IN MATURE SIZE

AND ENVIRONMENTAL REQUIREMENTS FOR THE SITE. TREE SELECTION AND PLACEMENT SHOULD CONSIDER LOCATION AND SIZE OF AREAS TO BE SHADED, LOCATION OF UTILITIES, VIEWS FROM THE STRUCTURE, DISTANCE TO SIDEWALKS AND FOUNDATIONS, OVERHANGS ONTO ADJACENT PROPERTIES AND STREETS; OTHER INFRASTRUCTURE AND ADJACENT TO LANDSCAPING. IN ADDITION, SHADING SHALL NOT CAST A SHADOW, AS SPECIFIED, ON ANY NEIGHBORING SOLAR COLLECTORS PURSUANT TO PUBLIC RESOURCES CODE SECTION 25981, ET SEQ. (SOLAR SHADE CONTROL ACT).

- B. USE HIGH ALBEDO MATERIALS WITH AN INITIAL SOLAR REFLECTANCE VALUE OF AT LEAST 0.30 AS DETERMINED IN ACCORDANCE ASTM E1918 OR C1549.
- C. USE OPEN GRID PAVEMENT SYSTEM OR PERVIOUS OR PERMEABLE PAVEMENT SYSTEM.
- D. LOCATE 50 PERCENT OF PARKING UNDERGROUND OR USE MULTILEVEL PARKING.
- E. OTHER METHODS OF REDUCING HEAT ISLAND EFFECTS ACCEPTABLE TO THE COUNTY OF SANTA CLARA.

12. FOR EACH DWELLING UNIT, INSTALL A DEDICATED 208/240-VOLT BRANCH CIRCUIT IN THE RACEWAY REQUIRED BY CALGREEN SECTION 4.106.4.1 (SEE SHEET GB-2 NOTE 4). THE BRANCH CIRCUIT AND ASSOCIATED OVERCURRENT PROTECTIVE DEVICE SHALL BE RATED AT 40 AMPERES MINIMUM. OTHER ELECTRICAL COMPONENTS, INCLUDING A RECEPTACLE OR BLANK COVER, RELATED TO THIS SECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE.

THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE DESIGNATED FOR FUTURE EV CHARGING PURPOSES AS "EV READY" IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE. THE RECEPTACLE OR BLANK COVER SHALL BE IDENTIFIED AS "EV READY."

13. OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND INSTALLED TO COMPLY WITH THE FOLLOWING:

- A. THE MINIMUM REQUIREMENTS IN THE CALIFORNIA ENERGY CODE FOR LIGHTING ZONES 1-4 AS DEFINED IN CHAPTER 10 OF THE CALIFORNIA ADMINISTRATIVE CODE; AND
- B. BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS AS DEFINED IN IES TM-15-11; AND
- C. ALLOWABLE BUG RATINGS NOT EXCEEDING THOSE SHOWN IN CALGREEN TABLE A4.106.10

EXCEPTIONS:

- 1. LUMINAIRES THAT QUALIFY AS EXCEPTIONS IN THE CALIFORNIA ENERGY CODE.
- 2. EMERGENCY LIGHTING.
- 3. ONE- AND TWO-FAMILY DWELLINGS.

14. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.5 GAL-LONS PER MINUTE AT 60 PSI, WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.

15. ALTERNATE NONPOTABLE WATER SOURCES SHALL BE USED FOR INDOOR POTABLE WATER REDUCTION. ALTERNATE NONPOTABLE WATER SOURCES SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE.

16. INSTALL AT LEAST ONE QUALIFIED ENERGY STAR DISHWASHER OR CLOTHES WASHER.

17. NONWATER URINALS OR COMPOSTING TOILETS SHALL BE INSTALLED. WHERE APPROVED, HYBRID URINALS, AS DEFINED IN CALGREEN CHAPTER 2, SHALL BE CONSIDERED NONWATER URINALS.

18. ONE- AND TWO-FAMILY DWELLINGS SHALL BE EQUIPPED WITH A DEMAND HOT WATER RECIRCULATION SYSTEM, AS DEFINED IN CALGREEN CHAPTER 2. THE DEMAND HOT WATER RECIRCULATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, CALIFORNIA ENERGY CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

19. AN APPROVED RAINWATER CATCHMENT SYSTEM SHALL BE DESIGNED AND INSTALLED TO USE RAINWATER GENERATED BY AT LEAST 65 PERCENT OF THE AVAILABLE ROOF AREA. RAINWATER CATCHMENT SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE.

20. WHEN LANDSCAPING IS PROVIDED AND AS ALLOWED BY LOCAL ORDINANCE, A WATER EFFICIENT LANDSCAPE IRRIGATION DESIGN THAT ELIMINATES THE USE OF POTABLE WATER BEYOND THE INITIAL REQUIREMENTS FOR PLANT INSTALLATION AND ESTABLISHMENT SHALL BE PROVIDED. METHODS USED TO ACCOM-PLISH THE REQUIREMENTS OF THIS SECTION SHALL COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA BUILDING STANDARDS CODE AND SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:

- A. USE OF CAPTURED RAINWATER.
- B. USE OF RECYCLED WATER.
- C. WATER TREATED FOR IRRIGATION PURPOSES AND CONVEYED BY A WATER DISTRICT OR PUBLIC ENTITY.
- D. USE OF GRAYWATER.
- E. USE OF DROUGHT TOLERANT PLANTS.

21. FOR NEW WATER SERVICE CONNECTIONS, LANDSCAPED IRRIGATED AREAS LESS THAN 5,000 SQUARE FEET SHALL BE PROVIDED WITH SEPARATE SUBMETERS OR METERING DEVICES FOR OUTDOOR POTABLE WATER USE.

22. ALTERNATIVE PLUMBING PIPING SHALL BE INSTALLED TO PERMIT THE DISCHARGE FROM THE CLOTHES WASHER OR OTHER FIXTURES TO BE USED FOR AN IRRIGATION SYSTEM IN COMPLIANCE WITH THE CALIFORNIA PLUMBING CODE.

23. BASED ON PROJECTED AVAILABILITY, DUAL WATER PIPING SHALL BE INSTALLED FOR FUTURE USE OF RECYCLED WATER AT THE FOLLOWING LOCATIONS:

- A. INTERIOR PIPING FOR THE USE OF RECYCLED WATER SHALL BE INSTALLED TO SERVE ALL WATER CLOSETS, URINALS AND FLOOR DRAINS.
- B. EXTERIOR PIPING IS INSTALLED TO TRANSPORT RECYCLED WATER FROM THE POINT OF CONNECTION TO THE STRUCTURE. RECYCLED WATER SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE.

24. RECYCLED WATER SHALL BE USED FOR LANDSCAPE IRRIGATION.

25. AS ALLOWED BY LOCAL CONDITIONS, UTILIZE A FROST-PROTECTED SHALLOW FOUNDATION (FPSF) IN COMPLIANCE WITH THE CALIFORNIA RESIDENTIAL CODE (CRC). WHEN AN FPSF FOUNDATION SYSTEM IS INSTALLED, THE MANUAL REQUIRED BY CALGREEN SECTION 4.410.1 SHALL INCLUDE INSTRUCTIONS TO THE OWNER OR OCCUPANT REGARDING THE NECESSITY FOR HEATING THE STRUCTURE AS REQUIRED IN SECTION R403.3 OF THE CALIFORNIA RESIDENTIAL CODE.

26. AS ALLOWED BY THE COUNTY OF SANTA CLARA, CEMENT USED IN FOUNDATION MIX DESIGN SHALL BE REDUCED NOT LESS THAN 20 PERCENT. PRODUCTS COMMONLY USED TO REPLACE CEMENT IN CONCRETE MIX DESIGNS INCLUDE, BUT ARE NOT LIMITED TO:

- A. FLY ASH.
- B. SLAG.
- C. SILICA FUME.
- D. RICE HULL ASH.

27. BEAMS, HEADERS AND TRIMMERS SHALL BE SIZED AND INSTALLED AS SPECIFIED IN CHAPTER 23 OF THE CALIFORNIA BUILDING CODE, OR CHAPTER 6 OF THE CALIFORNIA RESIDENTIAL CODE, AS APPLICABLE. OTHER CALCULATIONS ACCEPTABLE TO THE COUNTY OF SANTA CLARA WHICH USE THE MINIMUM SIZE MEMBER FOR THE TRIBUTARY LOAD IS ACCEPTABLE.

28. BUILDING DIMENSIONS AND LAYOUTS SHALL BE DESIGNED TO MINIMIZE WASTE BY ONE OR MORE OF THE FOLLOWING MEASURES IN AT LEAST 80 PERCENT OF THE STRUCTURE:

- A. BUILDING DESIGN DIMENSIONS IN 2-FOOT INCREMENTS ARE USED.
- B. WINDOWS AND DOORS ARE LOCATED AT REGULAR 16" OR 24" STUD POSITIONS.
- C. OTHER METHODS ACCEPTABLE TO THE COUNTY OF SANTA CLARA.

29. PREMANUFACTURED BUILDING SYSTEMS SHALL BE USED TO ELIMINATE SOLID SAWN LUMBER WHENEVER POSSIBLE. ONE OR MORE OF THE FOLLOWING PREMANUFACTURED BUILDING SYSTEMS IS USED:

- A. COMPOSITE FLOOR JOIST OR PREMANUFACTURED FLOOR FRAMING SYSTEM.
- B. COMPOSITE ROOF RAFTERS OR PREMANUFACTURED ROOF FRAMING SYSTEM.
- C. PANELIZED (SIPS, ICF OR SIMILAR) FRAMING SYSTEMS.
- D. OTHER METHODS APPROVED BY THE COUNTY OF SANTA CLARA.

30. MATERIAL LISTS SHALL BE INCLUDED IN THE PLANS WHICH SPECIFY THE MATERIAL QUANTITY AND PROVIDE DIRECTION FOR ON-SITE CUTS TO BE MADE FROM THE MATERIAL PROVIDED. MATERIAL LISTS AND DIRECTION SHALL BE PROVIDED FOR THE FOLLOWING SYSTEMS:

- A. FLOOR FRAMING.
- B. WALL FRAMING.
- C. CEILING AND ROOF FRAMING.
- D. STRUCTURAL PANELS AND ROOF SHEATHING.

31. UTILIZE PREFINISHED BUILDING MATERIALS WHICH DO NOT REQUIRE ADDITIONAL PAINTING OR STAINING WHEN POSSIBLE. ONE OR MORE OF THE FOLLOWING BUILDING MATERIALS THAT DO NOT REQUIRE ADDITIONAL RESOURCES FOR FINISHING ARE USED:

- A. EXTERIOR TRIM NOT REQUIRING PAINT OR STAIN.
- B. WINDOWS NOT REQUIRING PAINT OR STAIN.
- C. SIDING OR EXTERIOR WALL COVERINGS WHICH DO NOT REQUIRE PAINT OR STAIN.

32. CONCRETE FLOORS THAT DO NOT REQUIRE ADDITIONAL COVERINGS SHALL BE USED INCLUDING BUT NOT LIMITED TO STAINED, NATURAL OR STAMPED CONCRETE FLOORS.

33. USE MATERIALS, EQUIVALENT IN PERFORMANCE TO VIRGIN MATERIALS WITH A TOTAL (COMBINED) RECYCLED CONTENT VALUE (RCV) OF NOT BE LESS THAN 10 PERCENT OF THE TOTAL MATERIAL COST OF THE PROJECT.

REQUIRED TOTAL RCV (DOLLARS) = TOTAL MATERIAL COST(DOLLARS) × 10 PERCENT

FOR THE PURPOSES OF THIS SECTION, MATERIALS USED AS COMPONENTS OF THE STRUCTURAL FRAME SHALL NOT BE USED TO CALCULATE RECYCLED CONTENT. THE STRUCTURAL FRAME INCLUDES THE LOAD BEARING STRUCTURAL ELEMENTS, SUCH AS WALL STUDS, PLATES,SILLS, COLUMNS, BEAMS, GIRDERS, JOISTS, RAFTERS AND TRUSSES. SAMPLE FORMS WHICH ALLOW USER INPUT, LOCATED AT SHEET CG-4, MAY BE USED TO SIMPLIFY DOCUMENTING COMPLIANCE WITH THIS SECTION AND FOR CALCULATING RECYCLED CONTENT VALUE OF MATERIALS OR ASSEMBLY PRODUCTS.

SOURCES AND RECYCLED CONTENT OF SOME RECYCLED MATERIALS CAN BE OBTAINED FROM CALRECYCLE IF NOT PROVIDED BY THE MANUFACTURER.

FOR FURTHER INSTRUCTION SEE CALGREEN A4.405.3.

34. ONE OR MORE OF THE FOLLOWING MATERIALS MANUFACTURED FROM RAPIDLY RENEWABLE SOURCES OR AGRICULTURAL BY-PRODUCTS SHALL BE USED:

- A. INSULATION.
- B. BAMBOO OR CORK.
- C. ENGINEERED PRODUCTS.
- D. AGRICULTURAL BASED PRODUCTS.
- E. OTHER PRODUCTS ACCEPTABLE TO THE ENFORCING AGENCY.

THE INTENT OF THIS SECTION IS TO UTILIZE BUILDING MATERIALS AND PRODUCTS WHICH ARE TYPICALLY HARVESTED WITHIN A 10-YEAR OR SHORTER CYCLE.

35. INSTALL FOUNDATION AND LANDSCAPE DRAINS WHICH DISCHARGE TO A DRY WELL, SUMP, BIOSWALE OR OTHER APPROVED ON-SITE LOCATION.

36. INSTALL GUTTER AND DOWNSPOUT SYSTEMS TO ROUTE WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION OR CONNECT TO LANDSCAPE DRAINS WHICH DISCHARGE

TO A DRY WELL, SUMP, BIOSWALE, RAINWATER CAPTURE SYSTEM OR OTHER APPROVED ON-SITE LOCATION.

37. PROVIDE FLASHING DETAILS ON THE BUILDING PLANS WHICH COMPLY WITH ACCEPTED INDUSTRY STANDARDS OR MANUFACTURER'S INSTRUCTIONS. DETAILS SHALL BE SHOWN ON HOUSE PLANS AT ALL OF THE FOLLOWING LOCATIONS:

- A. AROUND WINDOWS AND DOORS.
- B. ROOF VALLEYS.
- C. DECK CONNECTIONS TO THE STRUCTURE.
- D. ROOF-TO-WALL INTERSECTIONS.
- E. CHIMNEYS TO ROOF INTERSECTIONS.
- F. DRIP CAPS ABOVE WINDOWS AND DOORS WITH ARCHITECTURAL PROJECTIONS.

38. PROTECT BUILDING MATERIALS DELIVERED TO THE CONSTRUCTION SITE FROM RAIN AND OTHER SOURCES OF MOISTURE.

39. EXTERIOR DOORS TO THE DWELLING SHALL BE COVERED TO PREVENT WATER INTRUSION BY ONE OR MORE OF THE FOLLOWING:

- A. AN AWNING AT LEAST 4 FEET IN DEPTH IS INSTALLED.
- B. THE DOOR IS PROTECTED BY A ROOF OVERHANG AT LEAST 4 FEET IN DEPTH.
- C. THE DOOR IS RECESSED AT LEAST 4 FEET.
- D. OTHER METHODS WHICH PROVIDE EQUIVALENT PROTECTION.

40. A PERMANENT OVERHANG OR AWNING AT LEAST 2 FEET IN DEPTH SHALL BE PROVIDED AT ALL EXTERIOR WALLS.

41. NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS GENERATED AT THE SITE SHALL BE DIVERTED TO RECYCLE OR SALVAGE IN COMPLIANCE WITH THE FOLLOWING:

AT LEAST A 65 PERCENT REDUCTION. ANY MIXED RECYCLABLES THAT ARE SENT TO MIXED-WASTE RECYCLING FACILITIES SHALL INCLUDE A QUALIFIED THIRD PARTY VERIFIED FACILITY AVERAGE DIVERSION RATE. VERIFICATION OF DIVERSION RATES SHALL MEET MINIMUM CERTIFICATION ELIGIBILITY GUIDELINES, ACCEPTABLE TO THE COUNTY OF SANTA CLARA.

DOCUMENTATION SHALL BE PROVIDED TO THE COUNTY OF SANTA CLARA WHICH DEMONSTRATES COMPLIANCE WITH THIS SECTION. DOCUMENTATION SHALL BE IN COMPLIANCE WITH CALGREEN SECTION 4.408.5.

42. USE COMPOSITE WOOD PRODUCTS MADE WITH EITHER CALIFORNIA AIR RESOURCES BOARD APPROVED NO-ADDED FORMALDEHYDE (NAF) RESINS OR ULTRA-LOW EMITTING FORMALDEHYDE (ULEF) RESINS.

DOCUMENTATION MUST BE PROVIDED THAT VERIFIES THAT FINISH MATERIALS ARE CERTIFIED TO MEET THE POLLUTANT EMISSION LIMITS.

43. AT LEAST 90 PERCENT OF THE TOTAL AREA OF RESILIENT FLOORING SYSTEMS INSTALLED IN THE BUILDING SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN AT LEAST ONE OF THE FOLLOWING:

- A. PRODUCTS COMPLIANT WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350), CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
- B. PRODUCTS CERTIFIED UL GREENGUARD GOLD (FORMERLY THE GREENGUARD CHILDREN & SCHOOLS PROGRAM.)
- C. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
- D. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350.)

DOCUMENTATION MUST BE PROVIDED THAT VERIFIES THAT FINISH MATERIALS ARE CERTIFIED TO MEET THE POLLUTANT EMISSION LIMITS IN THIS SECTION.

44. INSTALL THERMAL INSULATION IN COMPLIANCE WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350), CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE; PRODUCTS CERTIFIED UNDER THE UL GREENGUARD GOLD (FORMERLY GREENGUARD CHILDREN & SCHOOLS PROGRAM); OR MEET CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350).

DOCUMENTATION MUST BE PROVIDED THAT VERIFIES THE MATERIALS ARE CERTIFIED TO MEET THE POLLUTANT EMISSION LIMITS IN THIS SECTION.

45. PROVIDE FILTERS ON RETURN AIR OPENINGS RATED AT MERV 8 OR HIGHER DURING CONSTRUCTION.

46. DIRECT-VENT HEATING AND COOLING EQUIPMENT SHALL BE UTILIZED IF THE EQUIPMENT WILL BE LOCATED IN THE CONDITIONED SPACE OR INSTALL THE SPACE HEATING AND WATER HEATING EQUIPMENT IN AN ISOLATED MECHANICAL ROOM.



ARCHITECTURE
INTERIOR DESIGN

SALVATORE CARUSO
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TEL. NO. (408)998-4087 FAX. NO. (408)998-4088

PROJECT :

LOS ALTOS

1340 FAIRWAY DRIVE, LOS
ALTOS, CA, 94024

GENERAL NOTES :

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- 2. THE SHEET IS NOT FOR CONSTRUCTION UNTIL THE ARCHITECT'S STAMP & SIGNATURE ARE ON THIS SHEET.
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SHEET NAME :

CALGREEN
CHECKLIST

REVISIONS

No	Revision	Date

DRAWN:

CHECKED:

DATE: 06/12/2020

SCALE: 1" = 1'-0"

JOB No.: 19.02.02

SHEET No.:

A0.8

SHEETS IN SET _____

CALGreen One or Two Family Residential Project Mandatory and Tier1 Requirements
County of Santa Clara



CG-4

03/30/2020

PROJECT :

LOS ALTOS

1340 FAIRWAY DRIVE, LOS
ALTOS, CA, 94024

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SHEET NAME :

EXISTING SITE PLAN

REVISIONS

No	Revision	Date

DRAWN:

CHECKED:

DATE: 06/12/2020

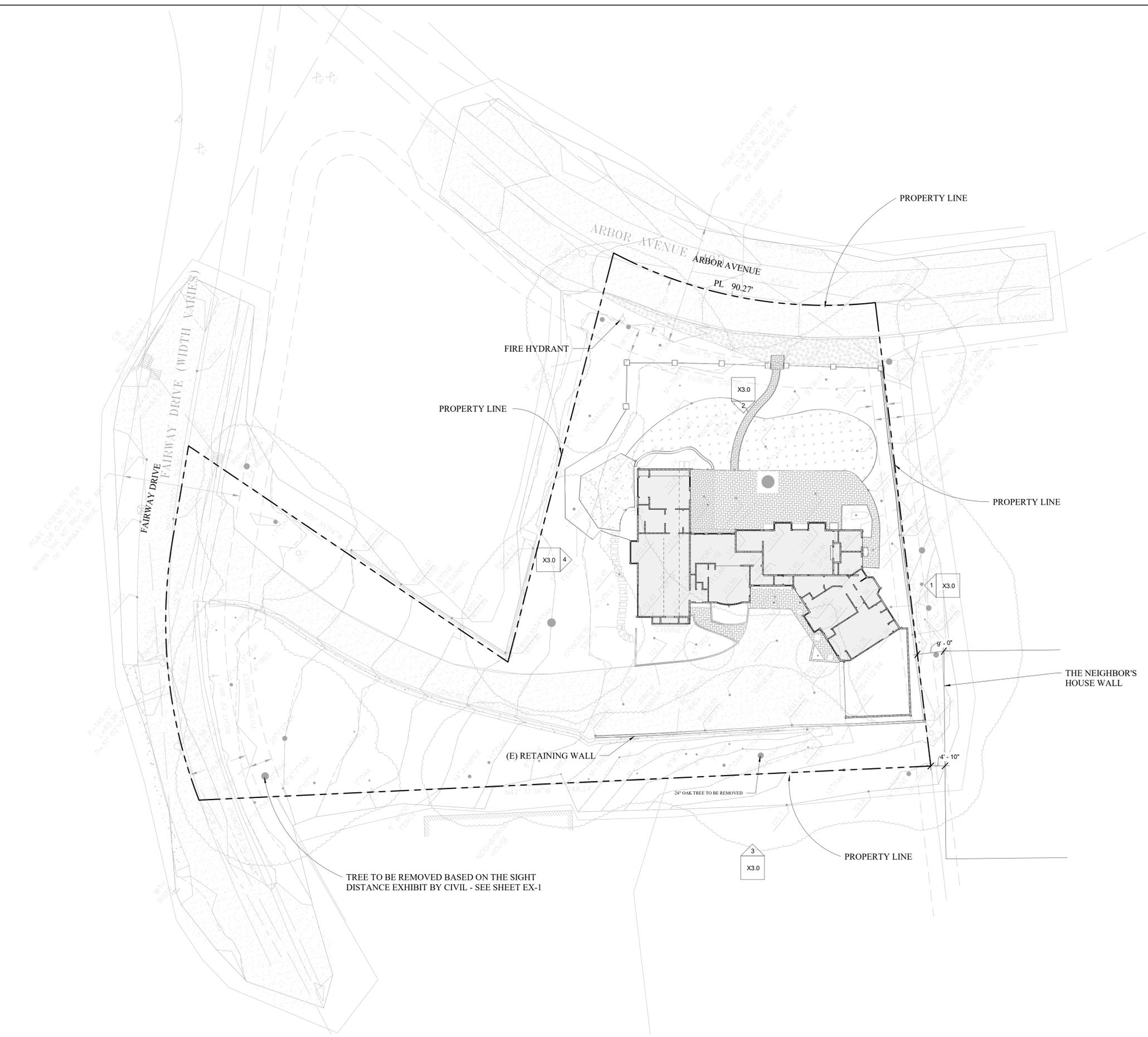
SCALE: 1/16" = 1'-0"

JOB No.: 19.02.02

SHEET No.:

A1.0

SHEETS IN SET _____



LOS ALTOS

1340 FAIRWAY DRIVE, LOS
ALTOS, CA, 94024

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SHEET NAME :

PROPOSED
SITE PLAN

REVISIONS

No	Revision	Date

DRAWN:

CHECKED:

DATE: 06/12/2020

SCALE: As indicated

JOB No.: 19.02.02

SHEET No.:

A1.1

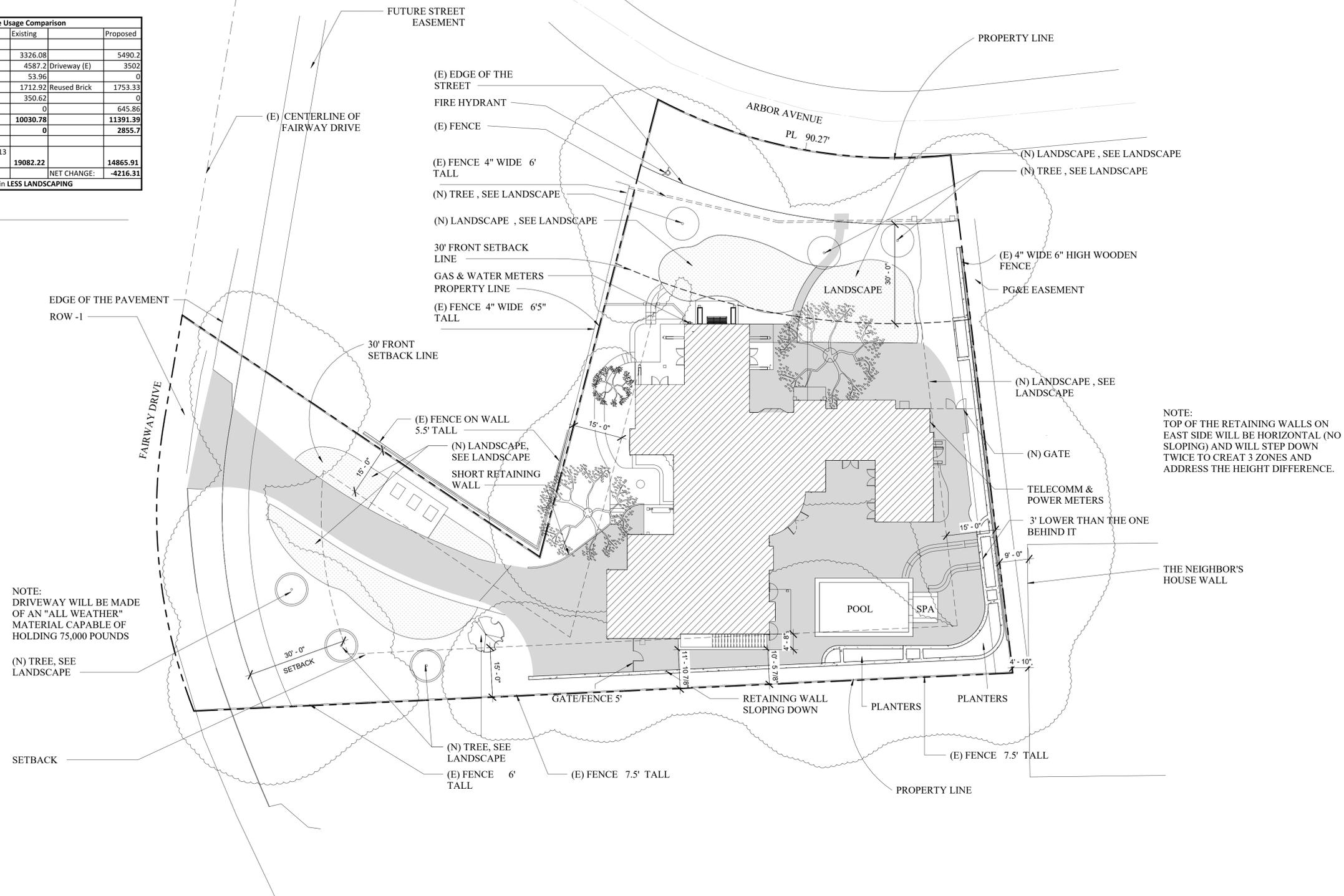
SHEETS IN SET

NOTE:

THE TOTAL NET CHANGE PROPOSED IN LANDSCAPING IS -4216.31 SQUARE FOOT WHICH MEANS THIS AREA IS BEING SUBTRACTED FROM TOTAL LANDSCAPING.

Los Altos Site Usage Comparison			
	Existing		Proposed
1	Impervious Surfaces		
2	Structure	3326.08	5490.2
3	Driveway (E)	4587.2	3502
4	Stepping Stones	53.96	0
5	Brick	1712.92	Reused Brick 1753.33
6	Concrete Slab	350.62	0
7	Pool	0	645.86
8	Total Impervious Surfaces	10030.78	11391.39
9	Permiabile (Pavers+Gravel)	0	2855.7
Landscape Area = Site Area of 29,113 SF - (Line 8+9 Above)		19082.22	14865.91
		NET CHANGE:	-4216.31
Project results in LESS LANDSCAPING			

② Surface Area Calculation
1/4" = 1'-0"



NOTE:
DRIVEWAY WILL BE MADE
OF AN "ALL WEATHER"
MATERIAL CAPABLE OF
HOLDING 75,000 POUNDS

NOTE:
TOP OF THE RETAINING WALLS ON
EAST SIDE WILL BE HORIZONTAL (NO
SLOPING) AND WILL STEP DOWN
TWICE TO CREATE 3 ZONES AND
ADDRESS THE HEIGHT DIFFERENCE.

① PROPOSED SITE PLAN
1/16" = 1'-0"

PROJECT :

LOS ALTOS

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SHEET NAME :

DEMO PLAN

REVISIONS

No	Revision	Date

DRAWN:

CHECKED:

DATE: 06/12/2020

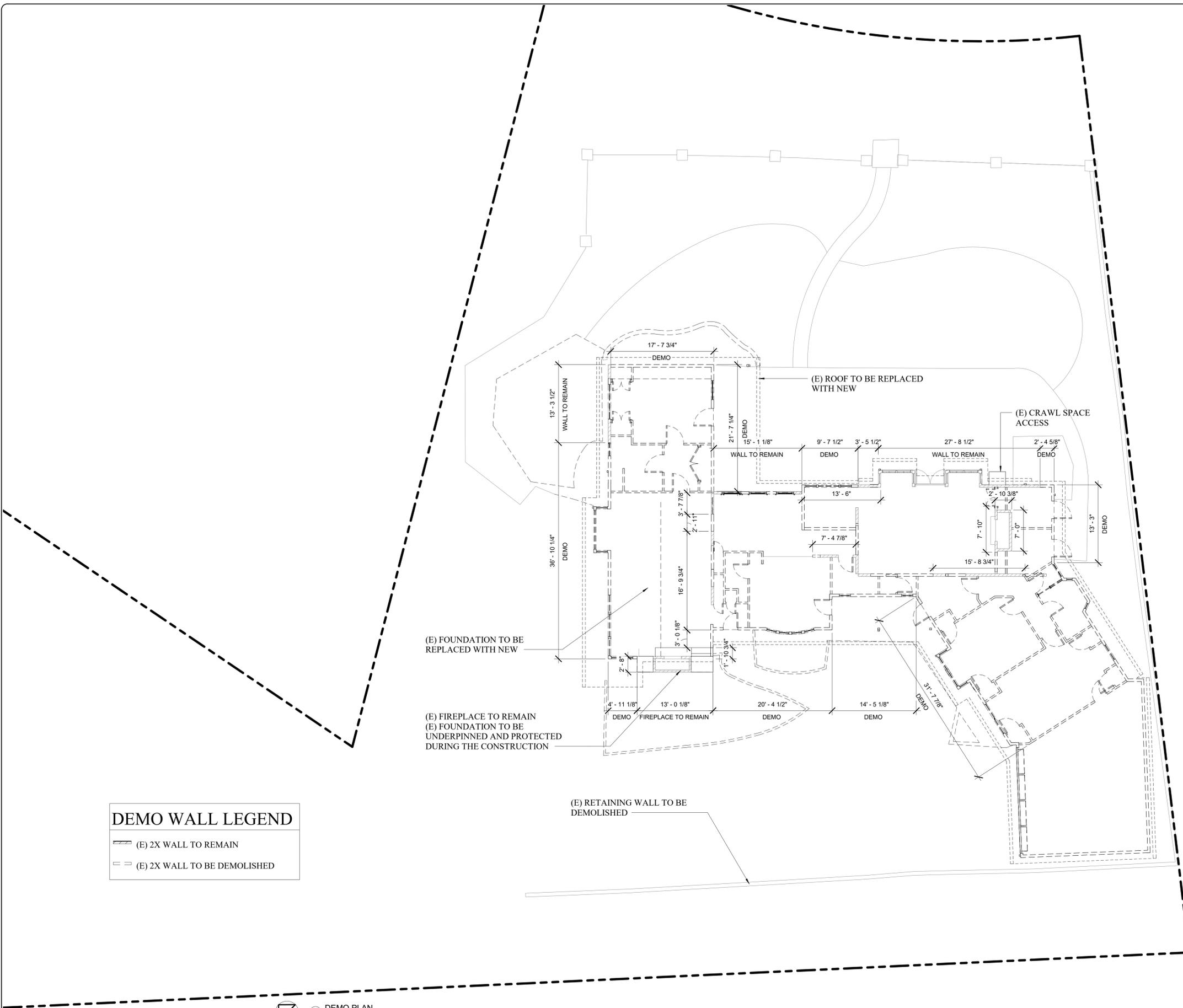
SCALE: 1/8" = 1'-0"

JOB No.: 19.02.02

SHEET No.:

A2.1

SHEETS IN SET _____



DEMO WALL LEGEND

(E) 2X WALL TO REMAIN
 (E) 2X WALL TO BE DEMOLISHED

① DEMO PLAN
1/8" = 1'-0"

EXISTING BUILDING: CONFIRM ALL THE DIMENSIONS ON THE SITE.

PROJECT :

LOS ALTOS

1340 FAIRWAY DRIVE, LOS
ALTOS, CA, 94024

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SHEET NAME :

EXISTING
ROOF PLAN

REVISIONS

No	Revision	Date

DRAWN:

CHECKED:

DATE: 06/12/2020

SCALE: 1/8" = 1'-0"

JOB No.: 19.02.02

SHEET No.:

A2.2

SHEETS IN SET _____

EDGE OF THE PAVEMENT

X3.0
2

(E) RIDGE
(E) COMBINATION ROOF

PG&E EASEMENT

(E) COMBINATION ROOF
(E) RIDGE

NOTE: "VERIFY EXISTING
ROOF SLOPE ON SITE "

1 Existing Roof Plan
1/8" = 1'-0"

X3.0
3

X3.0
4



PROJECT :

LOS ALTOS

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ALTOS, CA, 94024

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SHEET NAME :

PROPOSED
BASEMENT
PLAN

REVISIONS

No	Revision	Date

DRAWN:

CHECKED:

DATE: 06/12/2020

SCALE: 1/8" = 1'-0"

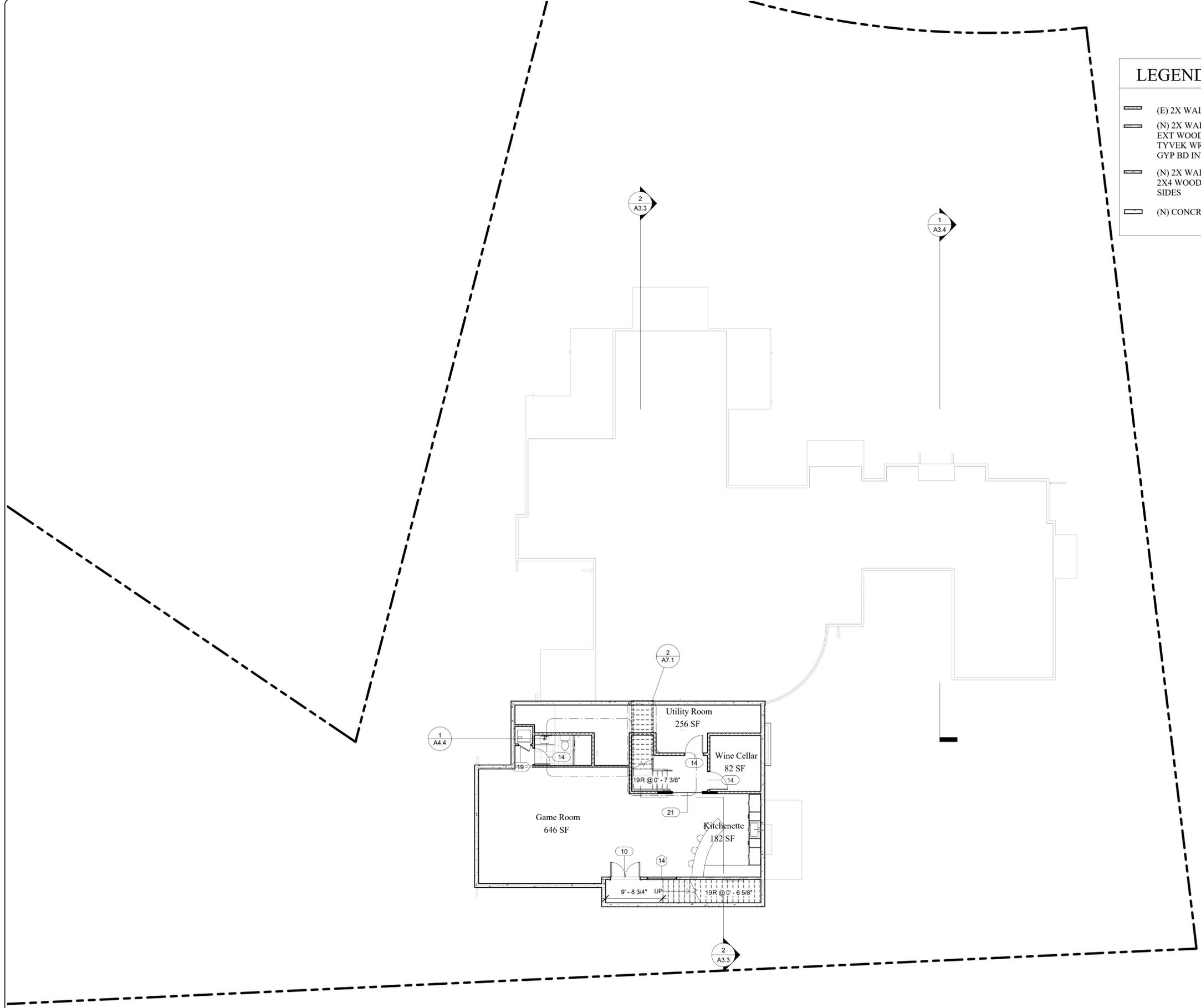
JOB No.: 19.02.02

SHEET No.:

A2.3

SHEETS IN SET _____

LEGEND	
	(E) 2X WALL TO REMAIN
	(N) 2X WALL EXTERIOR WALL EXT WOODEN SHINGLES W/ 3/8" PLY TAPED W/ TYVEK WRAP O/ 2X4 WOOD STUD W/ PAINT O/ GYP BD INTERIOR
	(N) 2X WALL INTERIOR WALL 2X4 WOOD STUD W/ PAINT O/ GYP BD BOTH SIDES
	(N) CONCRETE WALL





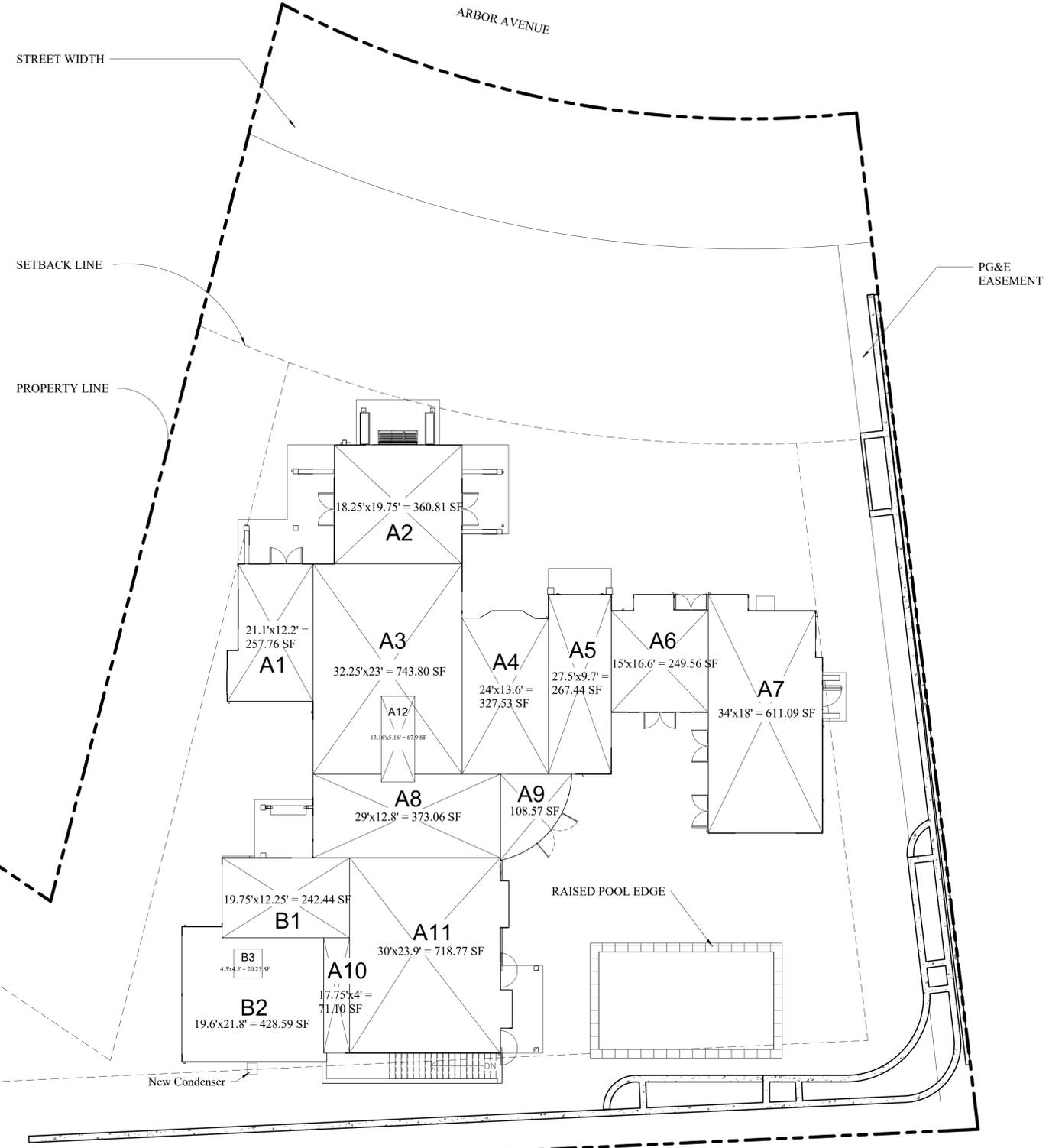
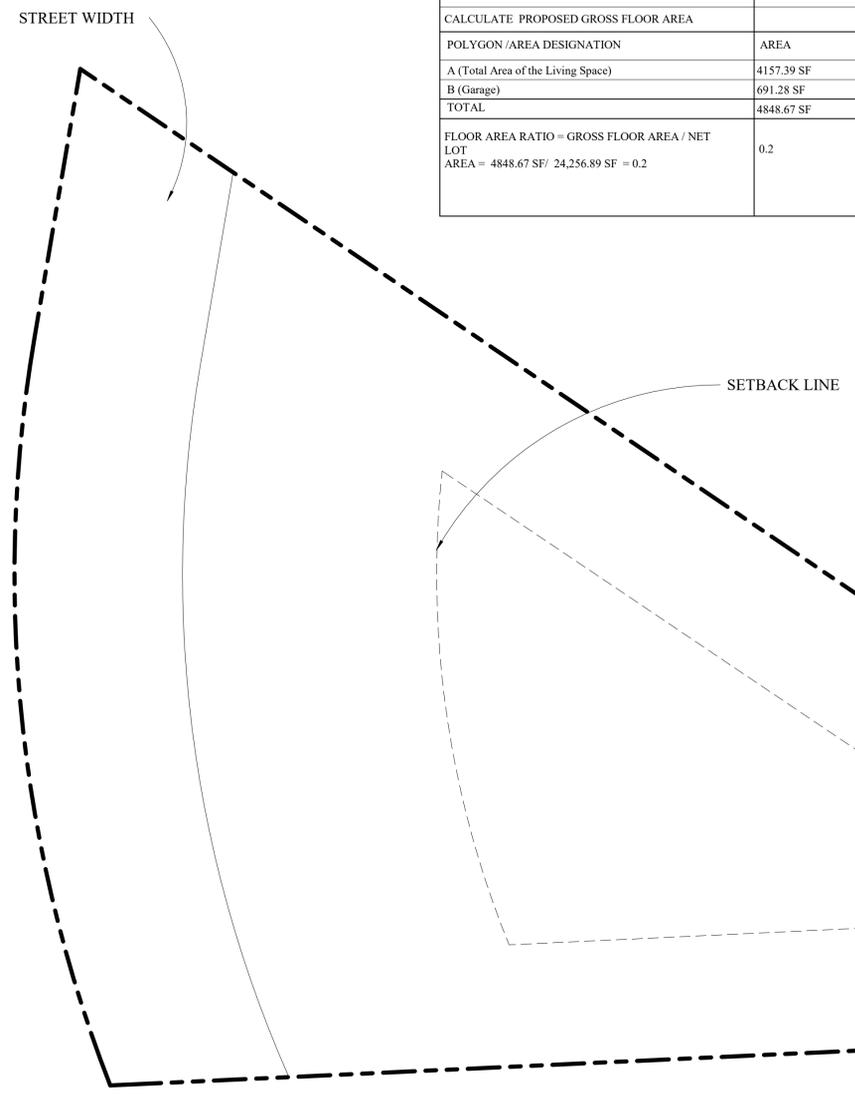
REVISIONS		
No	Revision	Date

DRAWN:
CHECKED:
DATE: 06/12/2020
SCALE: As indicated
JOB No.: 19.02.02
SHEET No.:

A2.3a

A1	257.76 SF
A2	360.81 SF
A3	743.80 SF
A4	327.53 SF
A5	267.44 SF
A6	249.56 SF
A7	611.09 SF
A8	373.06 SF
A9	108.57 SF
A10	71.10 SF
A11	718.77 SF
A12(More than 15' high)	67.9 SF
A (TOTAL)	4,157.39 SF
B1	242.44 SF
B2	428.59 SF
B3 (More than 15' high)	20.25 SF
B (TOTAL)	691.28 SF

CALCULATE LOT AREA (NET)	
TOTAL SITE AREA	29,113.68 SF
(EXCLUDE) FAIRWAY STREET	2280.54 SF
(EXCLUDE) ARBOR STREET	1908.66 SF
(EXCLUDE) PG&E EASEMENTS	667.59 SF
LOT AREA (NET)	24,256.89 SF
GROSS LOT AREA	29,113.68 SF
NET LOT AREA	24,256.89 SF
24,256.89 SF > 10,000 SF	
MAXIMUM FLOOR AREA ALLOWED =	4925.89
FLOOR AREA CALCULATIONS	
MAX FLOOR AREA CALCULATIONS:	
[(LOT SIZE(NET) - 10,000 SF) / 10] + 3,500 SF =	
[(26,165.55 SF-10,000 SF) /10 +3,500 SF = 5278.21 SF	
MAXIMUM FLOOR AREA RATIO ALLOWED =	0.25
CALCULATE PROPOSED GROSS FLOOR AREA	
POLYGON /AREA DESIGNATION	
AREA	
A (Total Area of the Living Space)	4157.39 SF
B (Garage)	691.28 SF
TOTAL	4848.67 SF
FLOOR AREA RATIO = GROSS FLOOR AREA / NET LOT AREA = 4848.67 SF/ 24,256.89 SF = 0.2	0.2



1 FLOOR AREA RATIO - FLOOR PLAN
1" = 10'-0"

PROJECT :

LOS ALTOS

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ALTOS, CA, 94024

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SHEET NAME :

PROPOSED FLOOR PLAN

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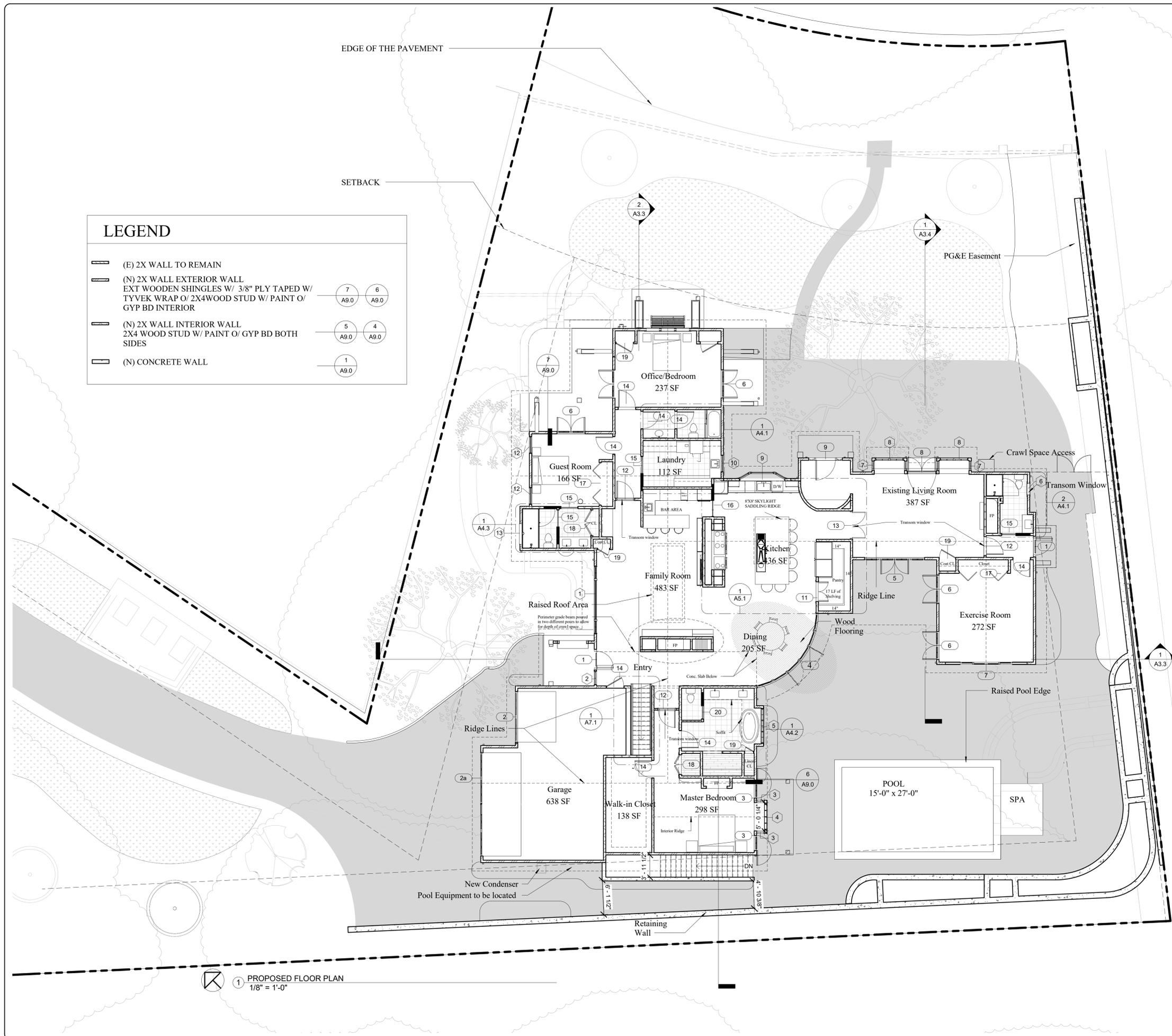
SCALE: 1/8" = 1'-0"

JOB No.: 19.02.02

SHEET No.:

A2.4

SHEETS IN SET



1 PROPOSED FLOOR PLAN
1/8" = 1'-0"

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PROPOSED ROOF PLAN

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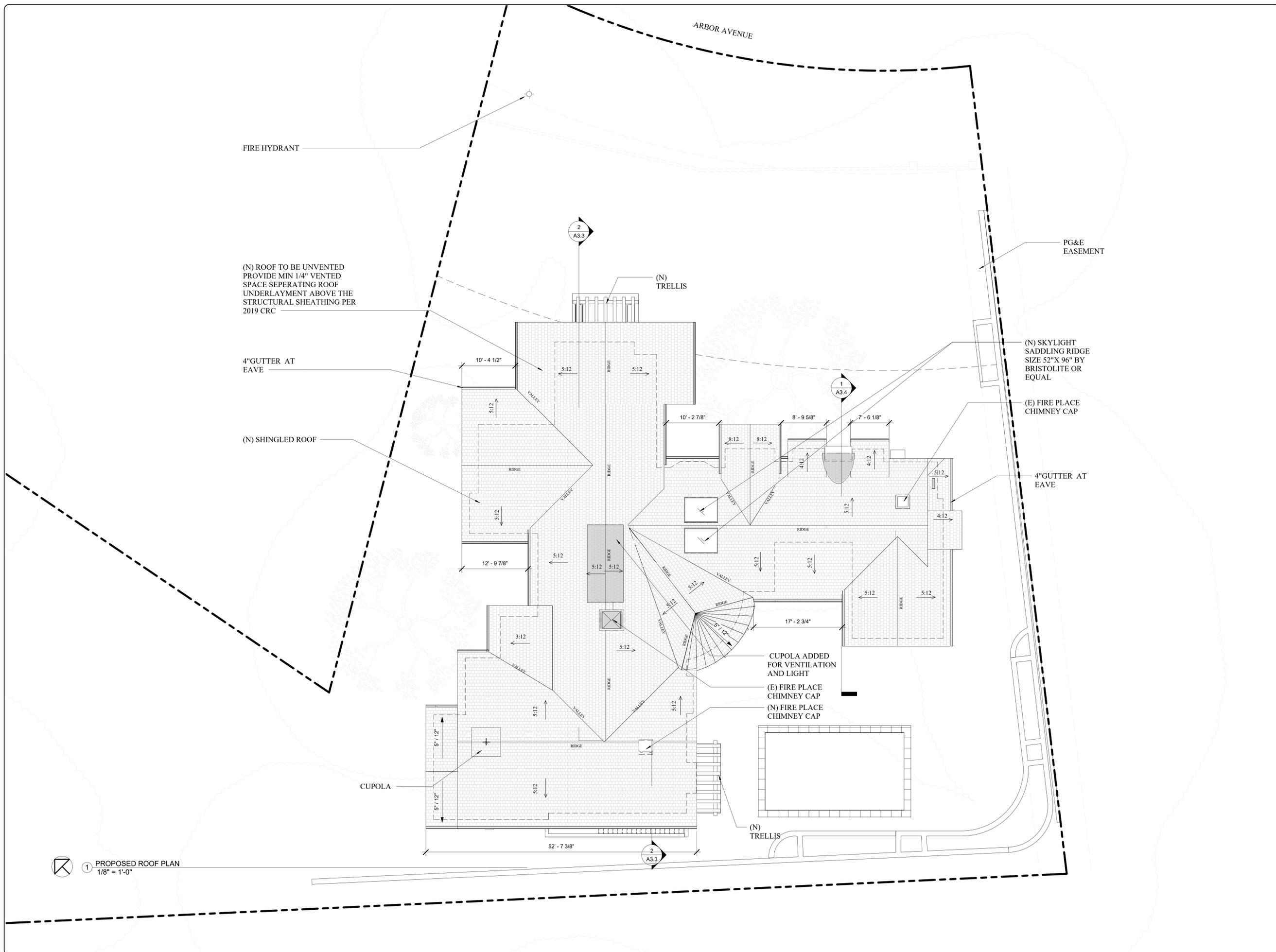
SCALE: 1/8" = 1'-0"

JOB No.: 19.02.02

SHEET No.:

A2.5

SHEETS IN SET _____



FIRE HYDRANT

(N) ROOF TO BE UNVENTED
PROVIDE MIN 1/4" VENTED
SPACE SEPERATING ROOF
UNDERLAYMENT ABOVE THE
STRUCTURAL SHEATHING PER
2019 CRC

4"GUTTER AT
EAVE

(N) SHINGLED ROOF

(N)
TRELLIS

PG&E
EASEMENT

(N) SKYLIGHT
SADDLING RIDGE
SIZE 52"X 96" BY
BRISTOLITE OR
EQUAL

(E) FIRE PLACE
CHIMNEY CAP

4"GUTTER AT
EAVE

CUPOLA ADDED
FOR VENTILATION
AND LIGHT

(E) FIRE PLACE
CHIMNEY CAP

(N) FIRE PLACE
CHIMNEY CAP

CUPOLA

(N)
TRELLIS

1 PROPOSED ROOF PLAN
1/8" = 1'-0"

2
A3.3

1
A3.4

2
A3.3

PROJECT :

LOS ALTOS

1340 FAIRWAY DRIVE, LOS
ALTOS, CA, 94024

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SHEET NAME :

EXISTING
ELEVATIONS

REVISIONS

No	Revision	Date

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DATE: 06/12/2020

SCALE: 1/4" = 1'-0"

JOB No.: 19.02.02

SHEET No.:

A3.0

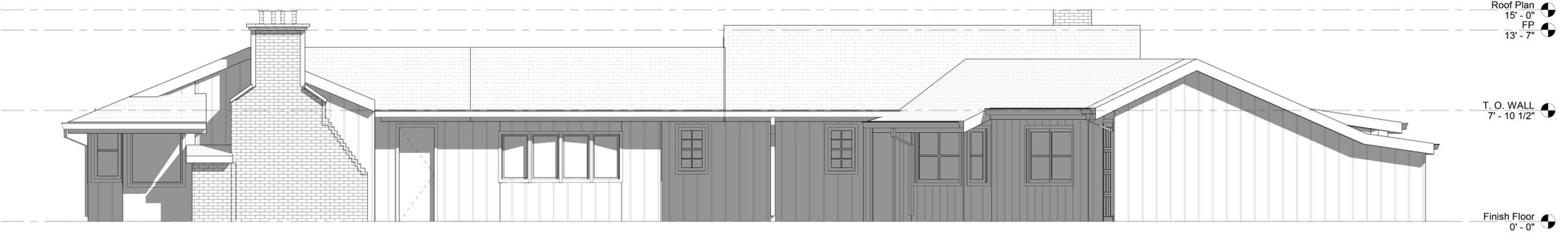
SHEETS IN SET _____



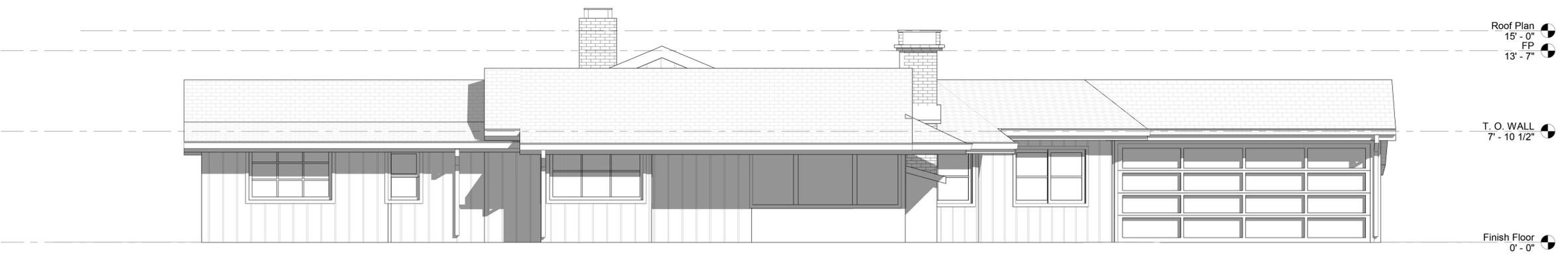
① EXISTING EAST ELEVATION
1/4" = 1'-0"



② EXISTING NORTH ELEVATION
1/4" = 1'-0"



③ EXISTING SOUTH ELEVATION
1/4" = 1'-0"



④ EXISTING WEST ELEVATION
1/4" = 1'-0"

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SHEET NAME :

PROPOSED ELEVATIONS

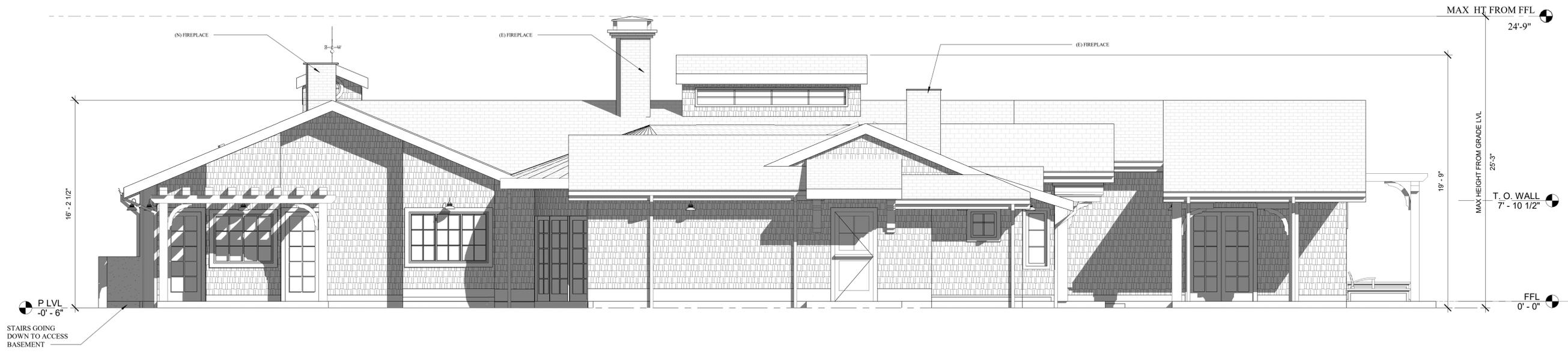
REVISIONS

No	Revision	Date

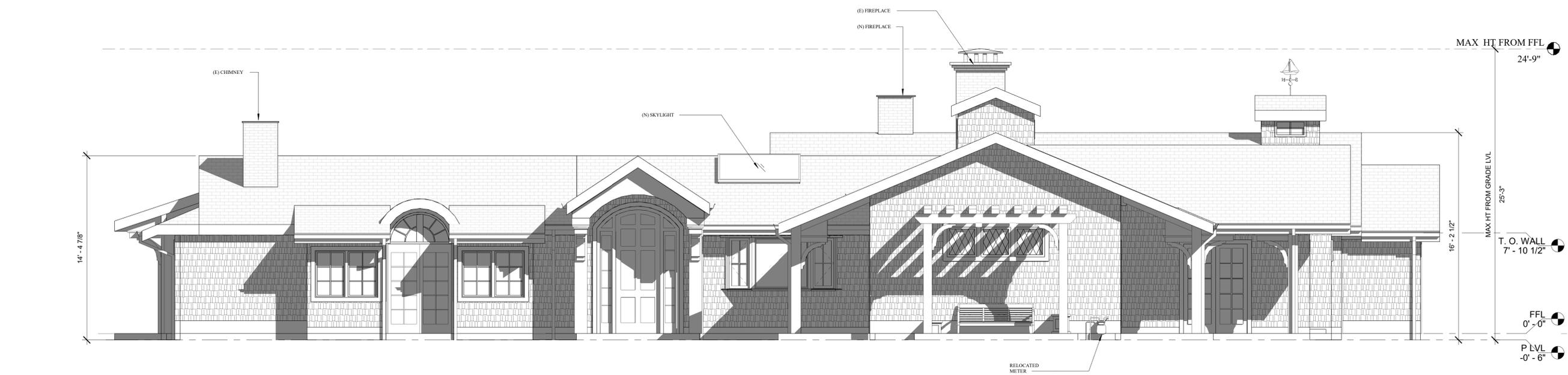
DRAWN:
CHECKED:
DATE: 06/12/2020
SCALE: 1/4" = 1'-0"
JOB No.: 19.02.02
SHEET No.:

A3.1

SHEETS IN SET _____



① PROPOSED EAST ELEVATION
1/4" = 1'-0"



② PROPOSED NORTH ELEVATION
1/4" = 1'-0"

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PROPOSED
ELEVATIONS

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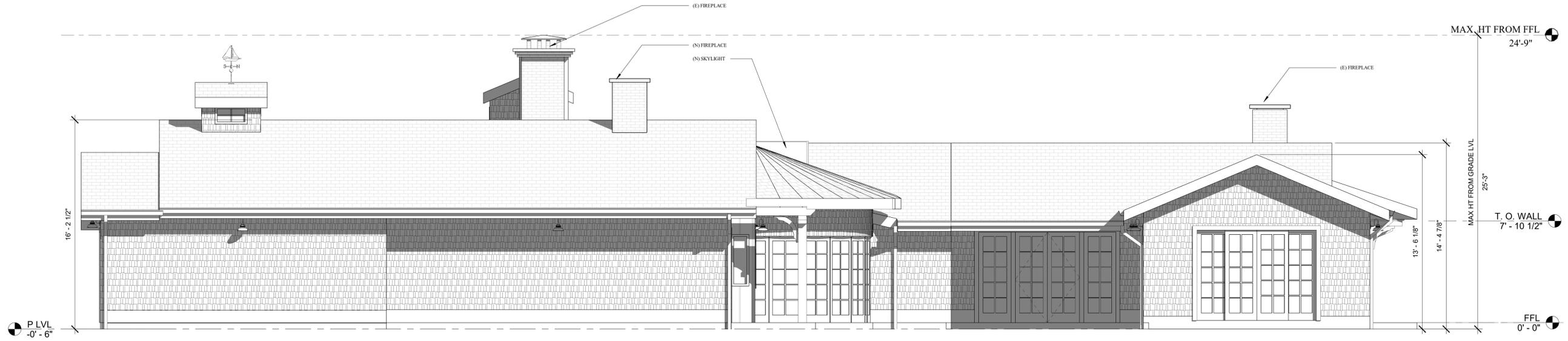
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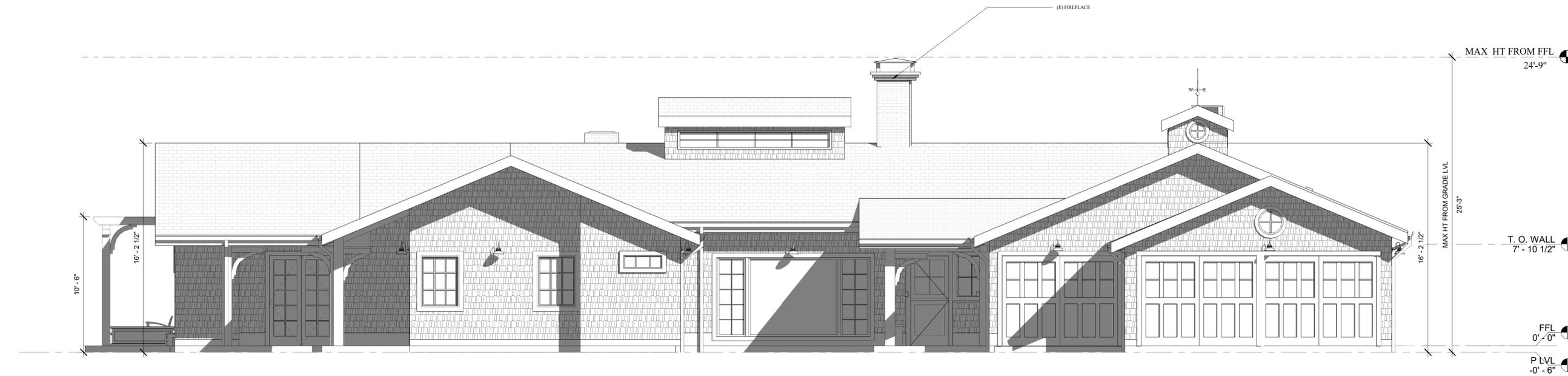
SHEET No.:

A3.2

SHEETS IN SET



① PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



② PROPOSED WEST ELEVATION
1/4" = 1'-0"

LOS ALTOS

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SHEET NAME :

SECTIONS

REVISIONS

No	Revision	Date

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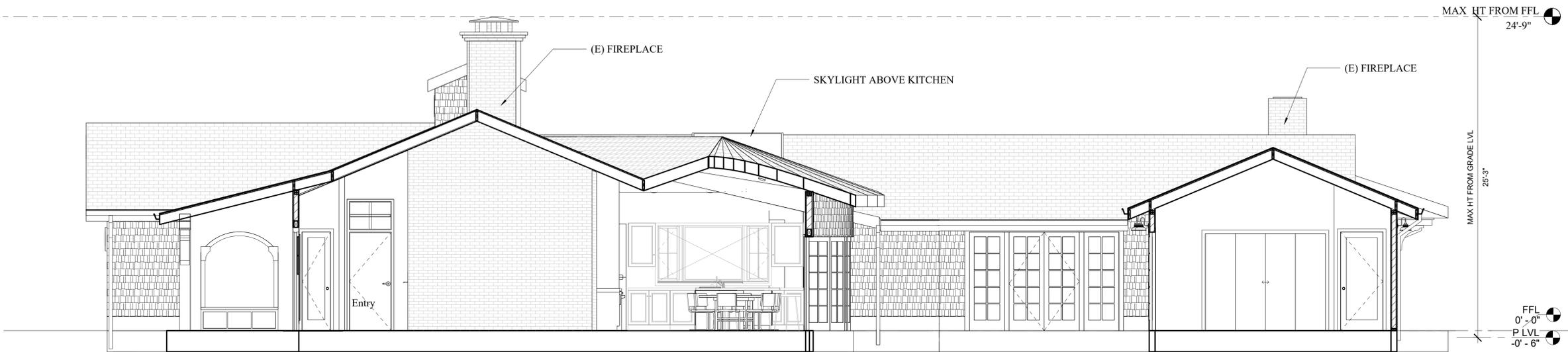
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JOB No.: 19.02.02

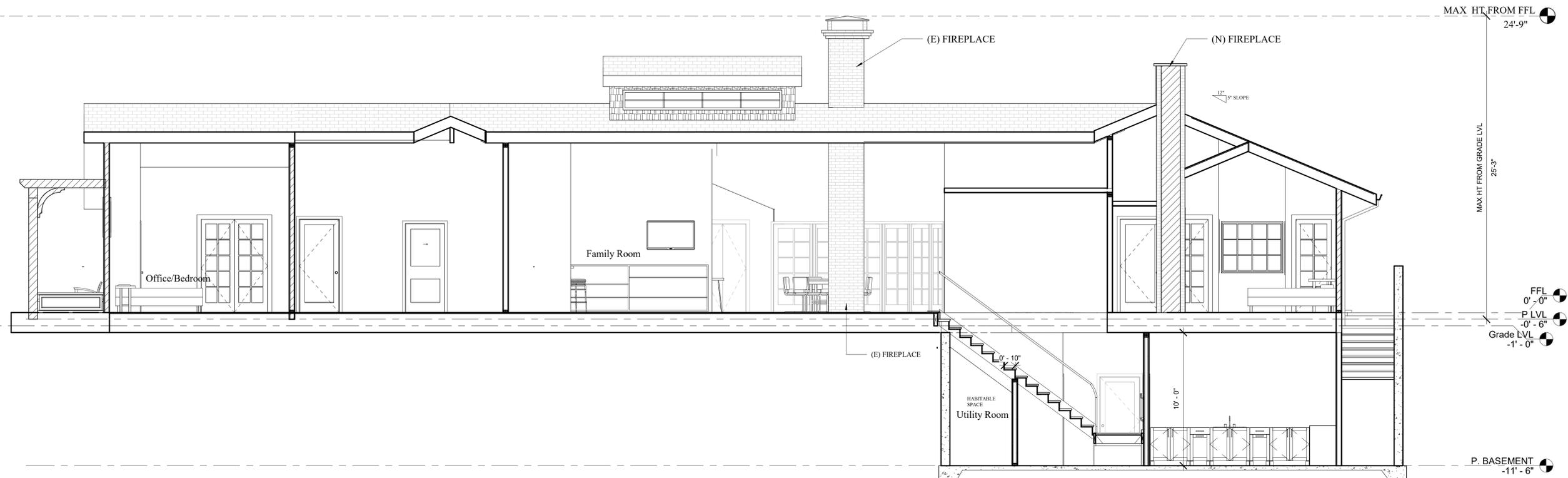
SHEET No.:

A3.3

SHEETS IN SET

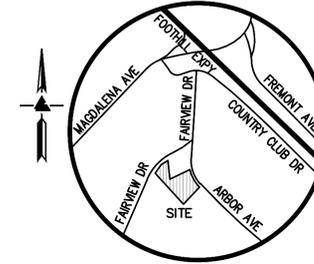
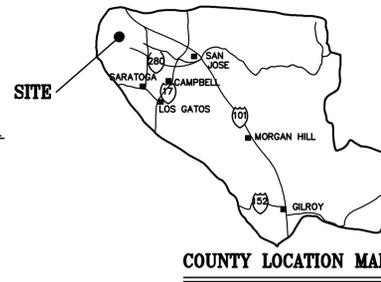


1 SECTION A-A
1/4" = 1'-0"

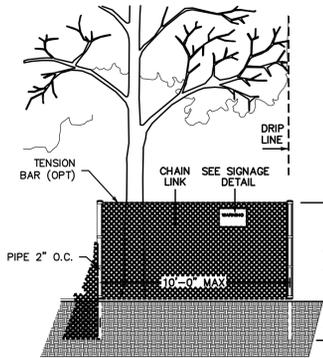


2 SECTION B-B
1/4" = 1'-0"

**DELLA MAGGIORA RESIDENCE
1340 FAIRWAY DRIVE
LOS ALTOS, CALIFORNIA
APN: 331-04-116**



VICINITY MAP
NO SCALE



EXISTING TREE PROTECTION DETAILS

- PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
- FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/DURABILITY).
- FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
- TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
- A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

SHEET INDEX

C-1.0	TITLE SHEET (THIS SHEET)
C-1.1	PROPERTY CORNER EXHIBIT
C-1.2	OVERALL SITE PLAN
C-2.0	GRADING & DRAINAGE PLAN
C-2.1	SITE SECTIONS
C-2.2	SITE SECTIONS
C-3.0	UTILITY PLAN
ER-1	EROSION CONTROL PLAN
BMP-1	BEST MANAGEMENT PRACTICES
BMP-2	BEST MANAGEMENT PRACTICES
EX-1	SIGHT DISTANCE EXHIBIT
SU-1	TOPOGRAPHIC SURVEY

OWNERS' INFORMATION: DOMINIC DELLA MAGGIORA
SITE INFORMATION: 1340 FAIRWAY DRIVE, LOS ALTOS, CA 94024, APN: 331-04-116

LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
BAY AREA REGION: 2495 INDUSTRIAL PKWY WEST, HAYWARD, CALIFORNIA 94545
SACRAMENTO REGION: 3017 DOUGLAS BLVD., # 300, ROSELVILLE, CA 95661
(P) (510) 887-4086, (F) (510) 887-3019
(P) (916)966-1338, (F) (916)797-7363
WWW.LEABRAZE.COM

JOB NO. 2190706 CI	DATE: 01-24-20
Revision 2 06-11-2020	APN 331-04-116
Revision 3 07-21-2020	Co. File PLN20-028
Revision 4 08-21-2020	

COUNTY OF SANTA CLARA

General Construction Specifications

GENERAL CONDITIONS

- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT. THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.
- DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
- DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
- DEVELOPER SHALL OBTAIN ENFORCEMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
- DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA.
- THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
- DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
- ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
- UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE UNTIL A PERMIT IS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION 86-18).
- THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE REMAINING CONSTRUCTION.
- ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

CONSTRUCTION STAKING

- THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND PLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.
- ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
- PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.
- PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

CONSTRUCTION INSPECTION

- CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
- INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS AND SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDING OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-8868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
- THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR TO COMMENCEMENT OF THE BUILDING FOUNDATION.

SITE PREPARATION (CLEARING AND GRUBBING)

- EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
 - TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
 - FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

UTILITY LOCATION, TRENCHING & BACKFILL

- CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
- ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
- ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE, UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY. GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.
- TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
- TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
- BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

RETAINING WALLS

- REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.
- SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

GRADING

- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IS SHALL BE STRIPPED OF ALL VEGETATION, TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL. THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEVED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL, THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
- EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE.
- SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
- NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS.
- THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
- MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

LOCATION	CUT (C.Y.)	FILL (C.Y.)	VERT. DEPTH
FOR BUILDING PERMIT ONLY			
RESIDENCE*	610	175	11.5' (CUT)
ACCESSORY STRUCTURE*	0	0	-
TOTAL FOR BLDG	610	175	-
FOR GRADING PERMIT ONLY			
HARDSCAPE	700	325	10.1' (CUT)
LANDSCAPE	0	0	-
DRIVEWAY	5	25	1' (CUT)
OFF SITE IMPROVEMENTS	0	0	0'
TOTAL FOR SITE	705	350	-

*FOR THE PURPOSES OF DETERMINING GRADING OR DRAINAGE PERMIT REQUIREMENT, GRADING IS EXEMPT FROM A PERMIT IF IT IS ASSOCIATED WITH EXCAVATION UNDER A VALID BUILDING PERMIT OF A STRUCTURE FOR A BUILDING OR STRUCTURE WITHIN FIVE FEET OF THE PERIMETER FOUNDATION.

- EXCESS MATERIAL SHALL BE HAUL OFF TO A COUNTY APPROVED DUMP SITE.
- NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
 - ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
 - THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%.
 - ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
 - THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.
 - THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.
 - GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.
 - TOTAL DISTURBED AREA FOR THIS PROJECT: 29,500 SF.
 - NO WOOD NUMBER DUE TO BEING UNDER 1 ACRE THRESHOLD.
 - THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

TREE PROTECTION

- FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTERIOR LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
 - FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIFLINE OF THE TREE OR GROVE OF TREES.
 - THE FENCING SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.
 - FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
 - SIGNAGE STATING "WARNING" THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT <http://www.sccplanning.gov/>. SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY.
- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACE AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
- SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

ACCESS ROADS AND DRIVEWAYS

- DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
- ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15' LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
- THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
- ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
- ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, DRIVEWAY APPROACHES, FENCES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC..

STREET LIGHTING

- PACIFIC GAS & ELECTRIC ELECTROLUER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

SANITARY SEWER

- THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
- ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

PORTLAND CEMENT CONCRETE

- CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (8 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

- WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
- COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
- PAVE, APPLY WATER THREE TIMES DAILY, OR FEEL (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
- SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
- SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
- ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
- ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.
- ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
- POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT REMOVAL PERMIT IS OBTAINED FROM CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
 - 15 MILES PER HOUR (MPH) SPEED LIMIT
 - 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
 - TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAINT HOTLINE IS 1-800-334-6367
- ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
- ALL EXPOSED STURDIED AREAS SHALL BE SEEDED WITH BROME SEED PAVING AT THE RATE OF 1 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
- ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDB.
- STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
- PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
- PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
- THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.
- THE COUNTY INSPECTOR SHALL REVIEW THE WINTERIZATION REPORT AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.
- THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.
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- PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS.
- PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
- PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
- THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS WASTE, STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.
- EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY TO PREVENT EROSION AND SITUATION APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

STORM DRAINAGE AND STORMWATER MANAGEMENT

- DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CA5812008 / ORDER NO. R2-2009-0047 AND NPDES PERMIT CA500004 / ORDER NO. 2013-0001-DW0.
- DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS SIX DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
- WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FREE SHEET FLOW.
- UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
- THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS
ISSUED BY: _____ DATE: _____
ENCROACHMENT PERMIT NO. _____

COUNTY OF SANTA CLARA
LAND DEVELOPMENT ENGINEERING & SURVEYING
GRADING / DRAINAGE PERMIT NO. _____
ISSUED BY: _____ DATE: _____

NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT-OF-WAY WITHOUT AN ENCROACHMENT PERMIT, INCLUDING THE STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.

ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS

DATE _____ SIGNATURE _____
C79555
R.C.E. NO.
09-30-2020
EXPIRATION DATE



AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE () WERE () WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL ("). WHERE () WERE () WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL Δ.

DATE _____ SIGNATURE _____

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

GEOTECHNICAL ENGINEER OBSERVATION

- A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENVIRONMENTAL DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE _____ SIGNATURE _____
R.C.E. NO. _____ EXPIRATION DATE _____

PLAN # _____ SHEET _____



LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 REGIONAL OFFICES:
 DUBLIN, CALIFORNIA 94568
 SAN JOSE (COMING SOON)
 WWW.LEABRAZE.COM

MAGGIORA RESIDENCE
1340 FAIRWAY DRIVE
LOS ALTOS, CALIFORNIA
 APN: 331-04-1116
 UNINCORPORATED SANTA CLARA

TITLE SHEET

NO.	REVISIONS	BY
4	ARCH REV 08-21-2020	MM
3	ARCH REV 07-21-2020	MM
2	ARCH REV 06-11-2020	MM
1	PLAN CHECK 05-19-2020	MM

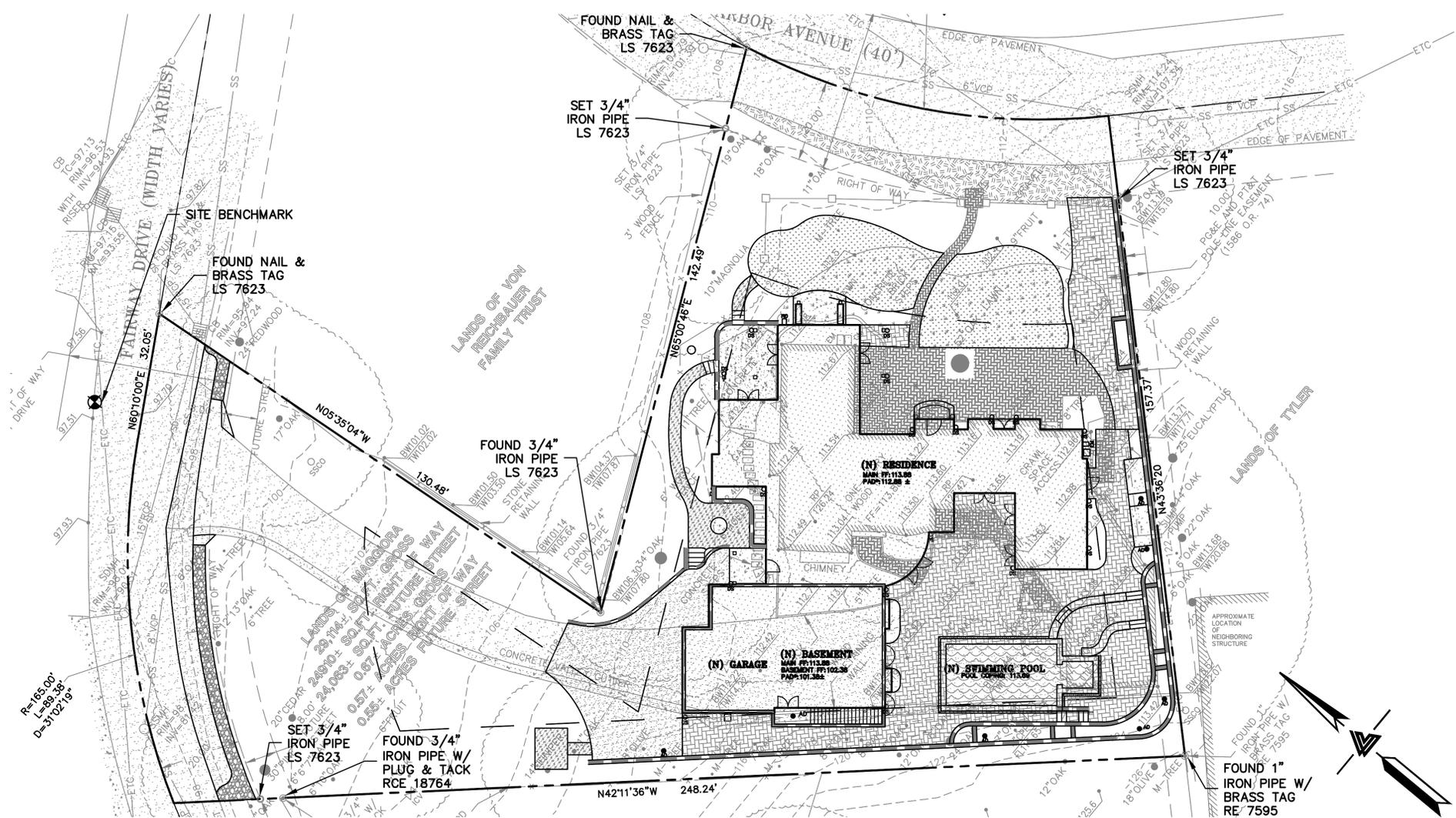
JOB NO: 2190706
 DATE: 01-24-20
 SCALE: AS NOTED
 DESIGN BY: KZ
 CHECKED BY: PC/CA
 SHEET NO: **C-1.1**
 02 OF 11 SHEETS

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	---	RAINWATER TIGHTLINE
---	---	SUBDRAIN LINE
---	---	TIGHTLINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY GUTTER
---	---	EARTHEN SWALE
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	AREA DRAIN
---	---	CURB INLET
---	---	STORM DRAIN MANHOLE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	STREET SIGN
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	DEMOLISH/REMOVE
---	---	BENCHMARK
---	---	CONTOURS
---	---	TREE TO BE REMOVED
---	---	TREE PROTECTION FENCING

ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	MAX	MAXIMUM
ACC	ACCESSIBLE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
BC	BEGINNING OF CURVE	MON.	MONUMENT
B & D	BEARING & DISTANCE	MRO	METERED RELEASE OUTLET
BM	BENCHMARK	(N)	NEW
BUB	BUBBLER BOX	NO.	NUMBER
BW/FG	BOTTOM OF WALL/FINISH GRADE	NTS	NOT TO SCALE
CB	CATCH BASIN	O.C.	ON CENTER
C & G	CURB AND GUTTER	O/	OVER
CL	CENTER LINE	(PA)	PLANTING AREA
CPP	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	PED	PEDESTRIAN
CO	CLEANOUT	PIV	POST INDICATOR VALVE
COTG	CLEANOUT TO GRADE	PSS	PUBLIC SERVICES EASEMENT
CONC	CONCRETE	R	PROPERTY LINE
CONST	CONSTRUCT or -TION	PP	POWER POLE
CONC COR	CONCRETE CORNER	PUE	PUBLIC UTILITY EASEMENT
CY	CUBIC YARD	PVC	POLYVINYL CHLORIDE
D	DIAMETER	R	RADIUS
DI	DROP INLET	RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	RIM	RIM ELEVATION
EA	EACH	RW	RAINWATER
EC	END OF CURVE	R/W	RIGHT OF WAY
EG	EXISTING GRADE	S	SLOPE
EL	ELEVATIONS	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EP	EDGE OF PAVEMENT	SAN	SANITARY
EQ	EQUIPMENT	SD	STORM DRAIN
EW	EACH WAY	SDMH	STORM DRAIN MANHOLE
(E)	EXISTING	SHT	SHEET
FC	FACE OF CURB	S.L.D.	SEE LANDSCAPE DRAWINGS
FF	FINISHED FLOOR	SPEC	SPECIFICATION
FG	FINISHED GRADE	SS	SANITARY SEWER
FH	FIRE HYDRANT	SSCO	SANITARY SEWER CLEANOUT
FL	FLOW LINE	SSMH	SANITARY SEWER MANHOLE
FS	FINISHED SURFACE	ST.	STREET
GA	GAGE OR GAUGE	STA	STATION
GB	GRADE BREAK	STD	STANDARD
HDPE	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	STRUC	STRUCTURAL
HORIZ	HORIZONTAL	T	TELEPHONE
HI PT	HIGH POINT	TC	TOP OF CURB
H&T	HUB & TACK	TOW	TOP OF WALL
INV	INVERT ELEVATION	TEMP	TEMPORARY
JB	JUNCTION BOX	TP	TOP OF PAVEMENT
JT	JOINT TRENCH	TW/FG	TOP OF WALL/FINISH GRADE
L	LENGTH	TP	TYPICAL
LNDG	LANDING	VC	VERTICAL CURVE
		W	WATER LINE
		WM	WATER METER
		WWF	WELDED WIRE FABRIC



NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT.
 UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.
 BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
 FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).
 EASEMENTS SHOWN ARE PER TITLE REPORT PREPARED BY OLD REPUBLIC TITLE COMPANY, ORDER NO. 0623014348-4, DATED DECEMBER 13, 2018 AND PER DOCUMENT (1986 O.R. 74).
SITE BENCHMARK
 SURVEY CONTROL POINT MAG AND SHIRER SET IN ASPHALT ELEVATION = 97.54' (ASSUMED)

EASEMENT NOTE

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SITE BENCHMARK
 SURVEY CONTROL POINT MAG AND SHIRER SET IN ASPHALT ELEVATION = 97.54' (ASSUMED)

KEY MAP

DEVELOPMENT INFORMATION

GROSS SITE AREA		29,113 SQUARE FEET (0.668 ACRE)			
TOTAL DISTURBED AREA		29,113 SQUARE FEET (0.668 ACRE)			
DEVELOPMENT AREAS	EXISTING TOTAL S.F.	REMOVED TOTAL S.F.	NEW TOTAL S.F.	PROPOSED TOTAL S.F.	
RESIDENCE ROOF	4,170	4,170	6,131	6,131	
A.C. ROADWAY	2,335	0	0	2,335	
GRAVEL ROADWAY	623	23	0	600	
IMPERVIOUS DRIVEWAYS	5,033	3,418	1,078	2,693	
PATIOS & WALKWAYS	1,525	648	38	915	
POOL	0	0	505	505	
TOTAL DEVELOPED AREA	13,686	8,259	7,752	13,179	
NET CHANGE IN DEVELOPED AREA		- 507 SQUARE FEET (NET DECREASE)			
FLOOR AREA		REFER TO THE ARCHITECTURAL PLANS FOR PROPOSED FLOOR AREA CALCULATIONS			

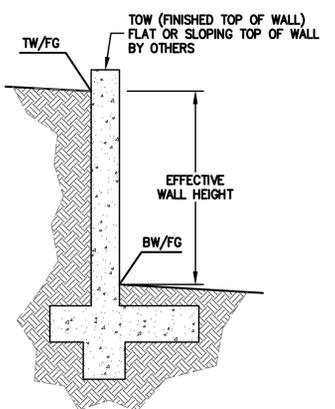
REFERENCES

THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:
 1. TOPOGRAPHIC SURVEY BY LEA & BRAZE ENGINEERING, ENTITLED: "TOPOGRAPHIC SURVEY" 1340 FAIRWAY DRIVE LOS ALTOS, CA DATED: 2-13-19 JOB#2190104 SU
 2. SITE PLAN BY SALVATORE CARUSO DESIGN CORPORATION ENTITLED: "LOS ALTOS" 1340 FAIRWAY DRIVE LOS ALTOS, CA JOB #: 19.02.02

THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

RETAINING WALL NOTES

- TW/FG REPRESENTS FINISHED EARTHEN GRADE OR PAVEMENT ELEVATION AT TOP OF WALL, NOT ACTUAL TOP OF WALL MATERIAL. BW/FG REPRESENTS FINISH EARTHEN GRADE OR PAVEMENT ELEVATION AT BOTTOM OF WALL NOT INCLUDING FILL FOUNDATION. GRADES INDICATED ON THESE PLANS REFER TO THE FINISHED GRADES ADJACENT TO THE RETAINING WALL, NOT INCLUDING FOOTING, FREEBOARD, ETC.
- DIMENSIONS SHOWN IN BRACKETS SHOWN AS [X.X'] DENOTE THE EFFECTIVE WALL HEIGHT ONLY. THE ACTUAL WALL HEIGHT AND DEPTH MAY DIFFER DUE TO CONSTRUCTION REQUIREMENTS.
- REFER TO SPECIFIC WALL CONSTRUCTION DETAIL FOR STRUCTURAL ELEMENTS, FREEBOARD, AND EMBEDMENT.
- REFER TO ARCHITECTURAL, LANDSCAPE ARCHITECTURE, AND/OR STRUCTURAL PLANS FOR DETAILS, WALL ELEVATIONS, SUBDRAINAGE, WATERPROOFING, FINISHES, COLORS, STEEL REINFORCING, MATERIALS, ETC. PROVIDE CLIPS OR OTHER MEANS OF SECURING FINISH MATERIALS AS NECESSARY (WET SET INTO THE WALL).
- ALL RETAINING WALLS SHOULD HAVE A BACK-OF-WALL SUB-SURFACE DRAINAGE SYSTEM INCLUDING WEEPHOLES TO PREVENT HYDROSTATIC PRESSURE. SEE GEOTECHNICAL REPORT FOR MORE INFORMATION.
- SEE STRUCTURAL PLANS FOR SPECIFIC INFORMATION ON RETAINING WALLS.
- PROVIDE GUARDRAIL (WHERE APPLICABLE AND DESIGNED BY OTHERS) AS REQUIRED FOR GRADE SEPARATION OF 30 INCHES OR MORE MEASURED 5' HORIZONTALLY FROM FACE OF WALL, PER CBC.



*** BUILDING PAD NOTE:**
 ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

FIRE PROTECTION NOTES

- RESIDENTIAL FIRE SPRINKLERS WILL BE A DEFERRED SUBMITTAL.





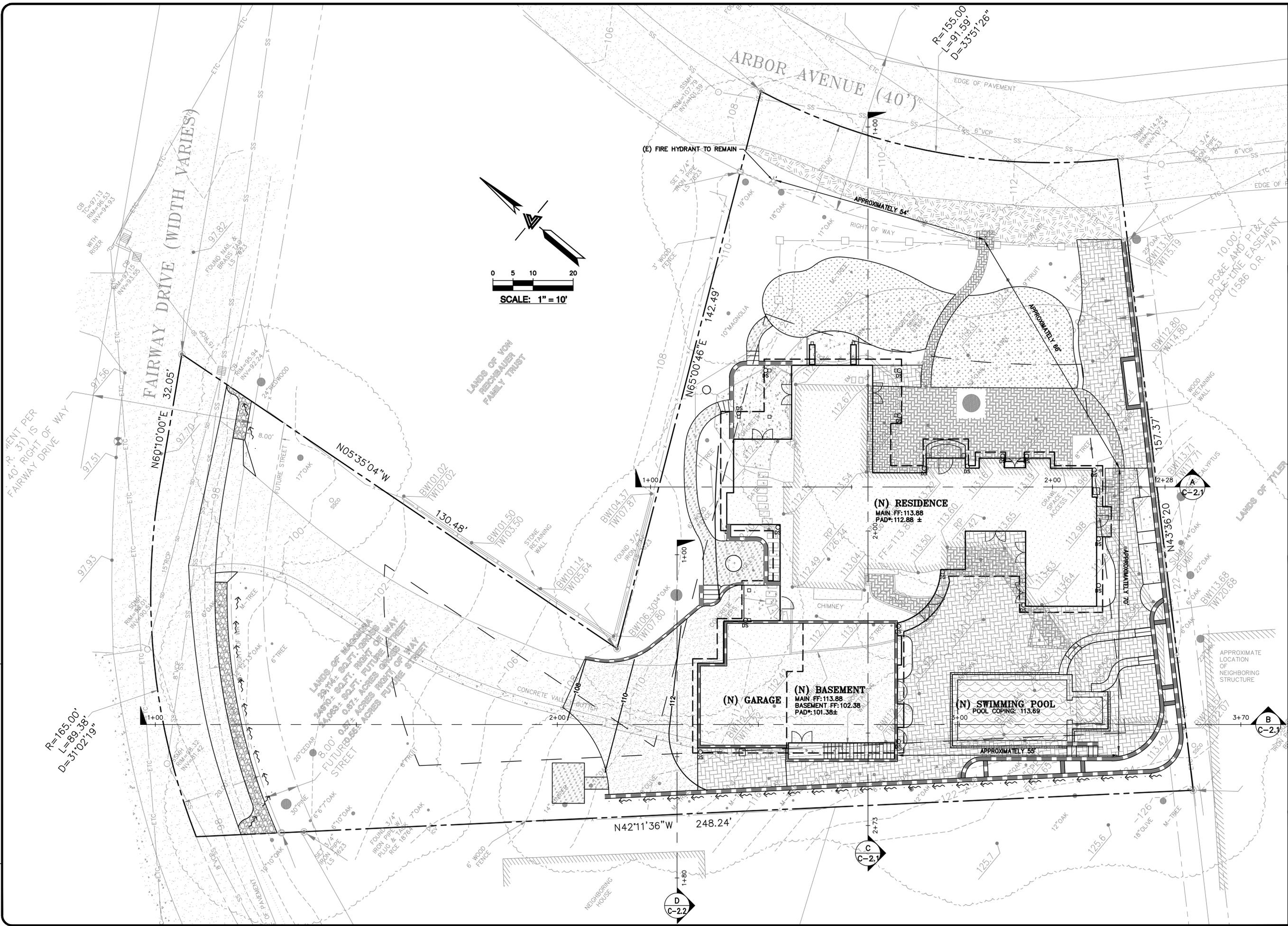
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MAGGIORA RESIDENCE
1340 FAIRWAY DRIVE
LOS ALTOS, CALIFORNIA
 UNINCORPORATED SANTA CLARA APN: 331-04-1116

OVERALL SITE PLAN

NO.	REVISIONS	BY
4	ARCH REV 08-21-2020	MM
3	ARCH REV 07-21-2020	MM
2	ARCH REV 06-11-2020	MM
1	PLAN CHECK 05-19-2020	MM

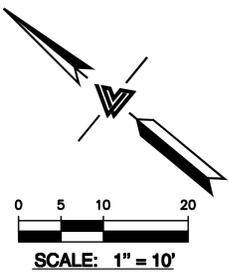
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DATE:	01-24-20
SCALE:	1" = 10'
DESIGN BY:	KZ
CHECKED BY:	PC/CA
SHEET NO:	C-1.2



PLAN # _____ OF _____ SHEET

HATCH LEGEND

-  BUILDING ROOF
-  ASPHALT CONCRETE
-  CONCRETE PAD
-  LAWN/PLANTING
-  WATER



FLATWORK
 FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 5% FOR THE FIRST 10' AWAY FROM THE BUILDING PER CBC 1804.4 OR TO AN APPROVED DRAINAGE SWALE OR STRUCTURE. GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE AND A POSITIVE OUTFALL. MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MUD SILL AT ALL TIMES PER CBC 2304.12.1.2 UNLESS STRUCTURAL DETAILING ALLOWS LESS. REFER TO STRUCTURAL PLANS FOR FOUNDATION DESIGN AND DETAILS.

SLOPE GARAGE SLAB 1% MINIMUM (1/8" PER FOOT) FROM BACK TO FRONT TO ALLOW FOR ADEQUATE DRAINAGE. MAINTAIN 1/2" TO 1" LIP BETWEEN GARAGE SLAB AND DRIVEWAY. SEE PLANS FOR SPECIFIC DROP

PROVIDE 2% SLOPE ACROSS FLAT WORK AND/OR PAVING PER CBC 1804.4. SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.

- (N) AC DRIVEWAY.
- GRIND AC TO TIE (N) AC INTO (E) AC PAVING.
- (N) CONCRETE PATIOS/WALKWAYS.
- (N) PERMEABLE CONCRETE IN POOL AREA.

DEMOLITION
 DEMOLISH (E) IMPROVEMENTS AS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.

REMOVE (E) TREE. CONTRACTOR SHALL OBTAIN THE PROPER TREE REMOVAL PERMITS AS REQUIRED.

PROVIDE TREE PROTECTION AROUND TREES TO REMAIN.



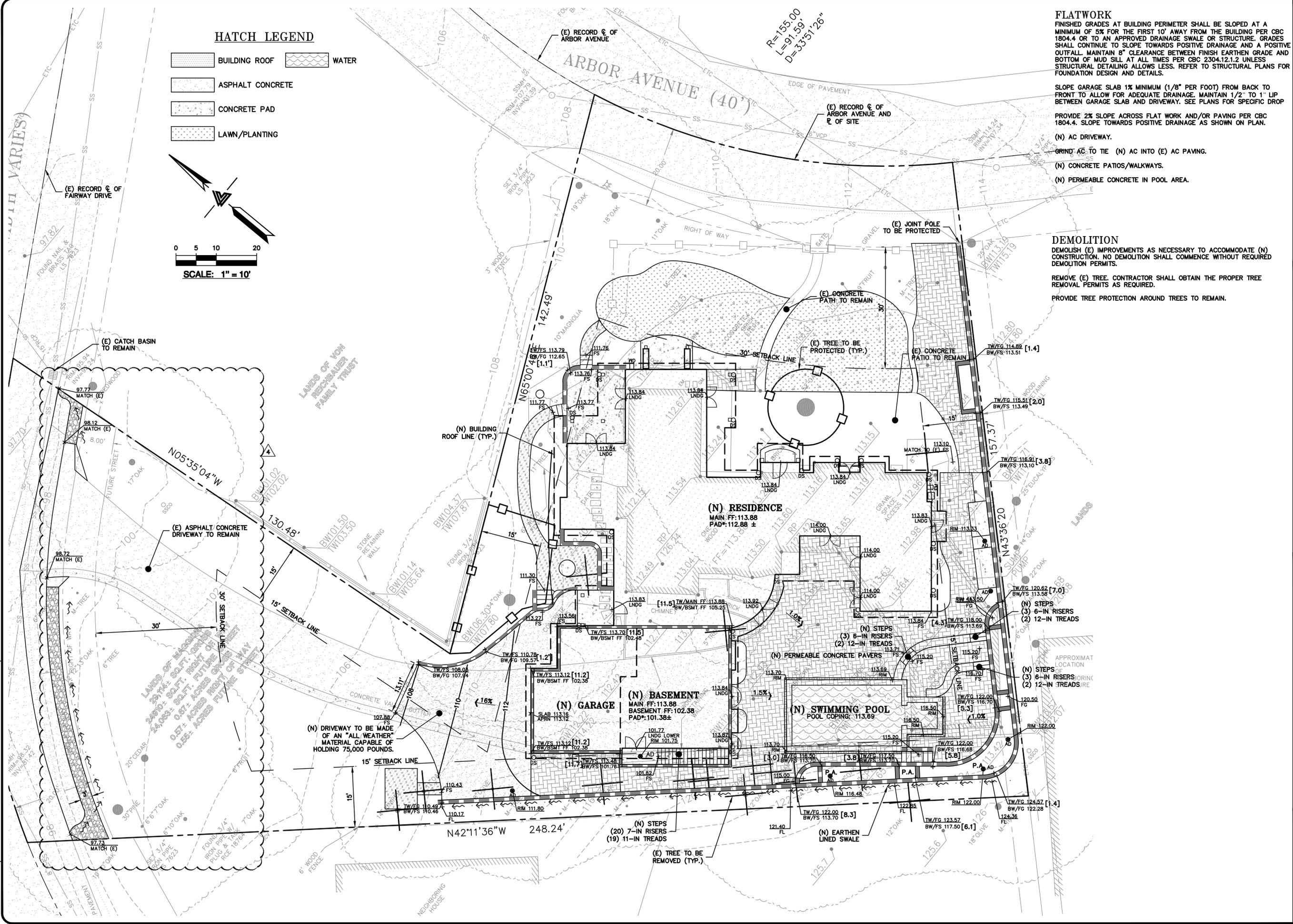
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LOS ALTOS, CALIFORNIA
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GRADING & DRAINAGE PLAN

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 SHEET NO:
C-2.0
 04 OF 11 SHEETS



PLAN # OF SHEET



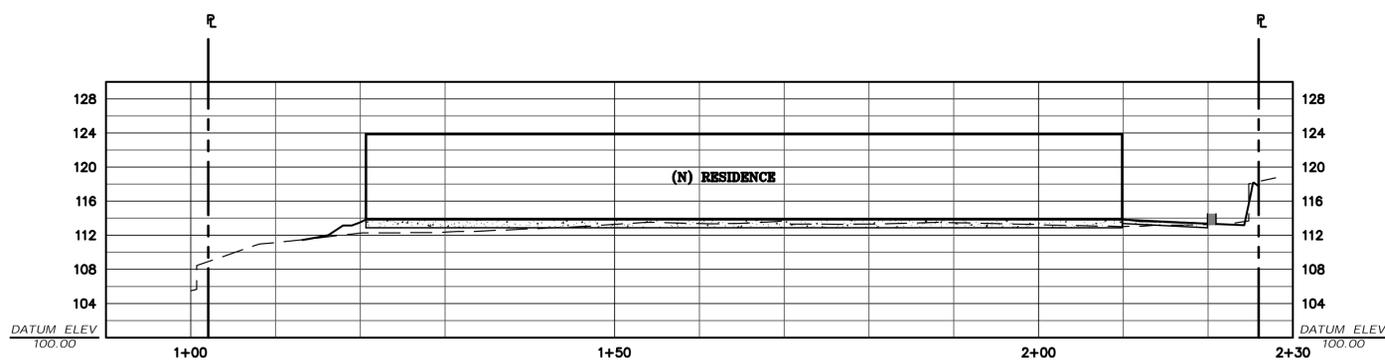
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LOS ALTOS, CALIFORNIA

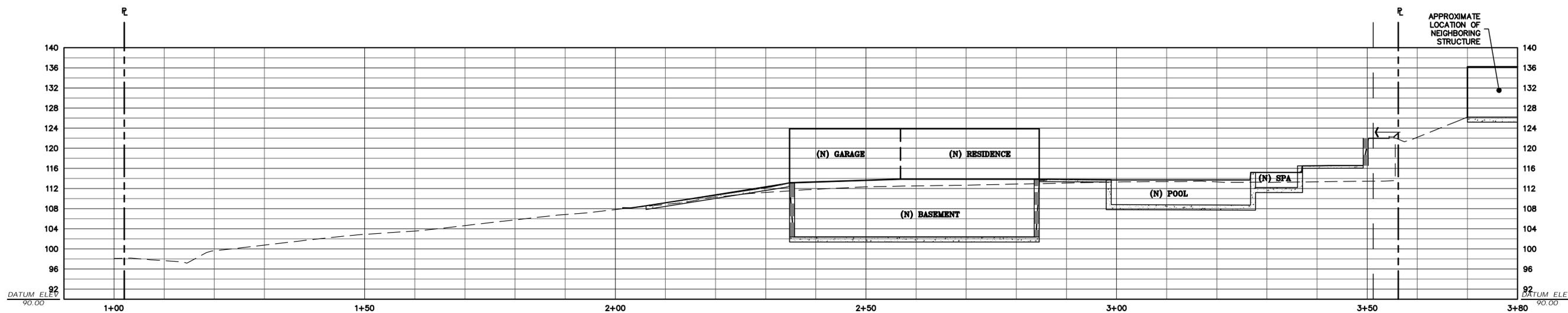
APN: 331-04-1116

UNINCORPORATED SANTA CLARA

SITE SECTIONS



ALIGNMENT A PROFILE
 SCALE: 1" = 10' HORIZ & VERT



ALIGNMENT B PROFILE
 SCALE: 1" = 10' HORIZ & VERT

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C-2.1
 05 OF 11 SHEETS

PLAN # _____ OF _____ SHEET



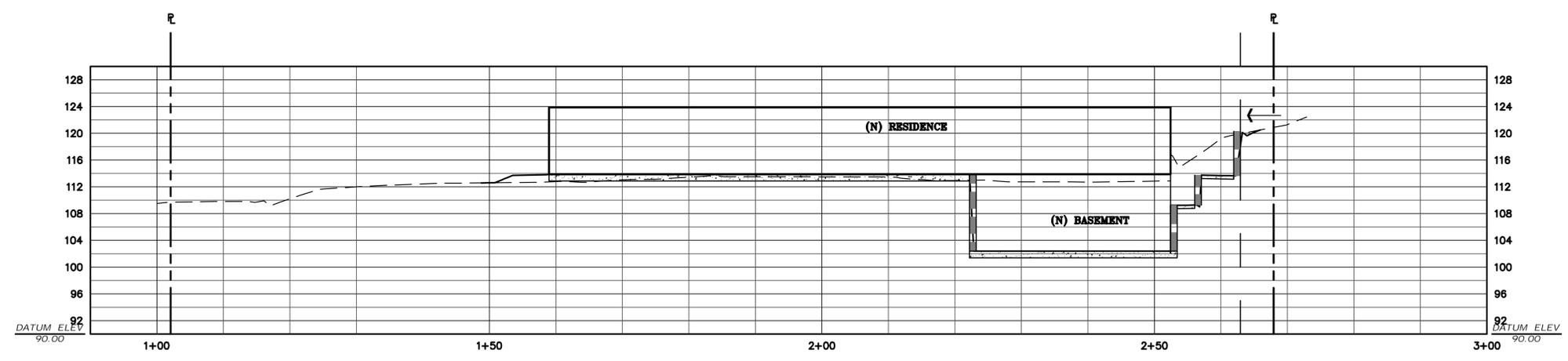
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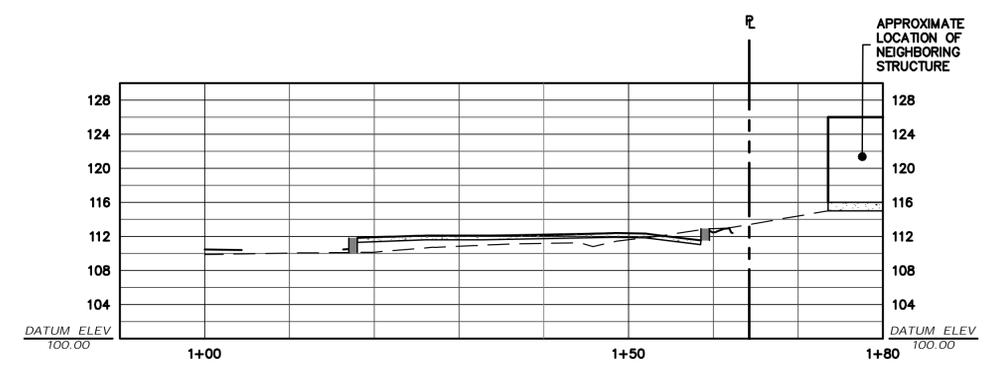
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 SHEET NO:



ALIGNMENT C PROFILE
 SCALE: 1" = 10' HORIZ & VERT



ALIGNMENT D PROFILE
 SCALE: 1" = 10' HORIZ & VERT

PLAN # _____ OF _____ SHEET



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UTILITY PLAN

STORM DRAIN

INSTALL (N) ON-SITE STORM DRAIN SYSTEM. USE MINIMUM 6" PVC (SDR 35) OR HDPE (ADS N-12 W/ SMOOTH INTERIOR WALLS). MAINTAIN 24" MINIMUM COVER AND SLOPED AT 1% MINIMUM AT ALL TIMES UNLESS OTHERWISE NOTED. PROVIDE CLEAN OUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS.

INSTALL (N) SUBDRAIN. USE PERFORATED 4" PVC (SDR-35) WITH HOLES DOWN AND SLOPED AT 1% MINIMUM SURROUND WITH 3/4" DRAIN ROCK WRAPPED IN FILTER FABRIC (MIRAFI 140N). MIRADRAIN OR OTHER LEA & BRAZE PREAPPROVED DRAINAGE SYSTEM MAY ALSO BE USED. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION AND AT 100' MAXIMUM INTERVALS. SUBDRAIN SHALL REMAIN A DEDICATED SEPARATE SYSTEM UNTIL IT CONNECTS TO STORM DRAIN SYSTEM OR OUTFALL AS SHOWN.

CONNECT RAIN WATER DOWNSPOUTS TO 4" PVC (SDR-35) TIGHTLINE, SLOPED AT 1% MINIMUM. DIRECT TO NEAREST STORM DRAIN LINE. PROVIDE CLEAN OUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS. TIGHTLINE MAY BE PLACED IN COMMON TRENCH WITH SUBDRAIN LINES. HOWEVER, NOT CONNECT TO SUBDRAIN LINES. CONNECT TO NEAREST STORM DRAIN LINE AS SHOWN ON PLAN.

INSTALL (N) 4" DIAMETER BRASS AREA DRAIN (AD) IN HARDSCAPE AREAS (NDS PART 906 PB).

INSTALL (N) 4" DIAMETER BRASS ATRIUM GRATE IN LANDSCAPE OR PLANTER AREAS (NDS PART 78B OR 90B FOR 6" DIAMETER BRASS ATRIUM GRATE). DO NOT USE PLASTIC GRATES.

INSTALL (N) 'CHRISTY V-24" CATCH BASIN W/ CONCRETE BOTTOM FLUSH W/ LOWEST OUTGOING INVERT. PLACE BOX ON 6" CLASS 2 AGGREGATE BASE MATERIAL.

INSTALL (N) 'CHRISTY V-24" SILT BASIN WITH GRAVEL BOTTOM.

TRENCH DRAINS SHALL BE 6" NDS 'DURA-SLOPE' PRESLOPED TRENCH DRAINS W/ TRAFFIC RATED GRATE OR APPROVED EQUAL. CONNECT TO NEAREST STORM DRAIN LINE VIA 6" PVC TIGHTLINE.

INSTALL (N) RIP-RAP ENERGY DISSIPATER.

INSTALL (N) LIGHTWELL OVERFLOW DRAIN.

UTILITIES

INSTALL (N) SANITARY SEWER LATERALS. USE 4" PVC (SDR-26) SLOPED AT 2% MINIMUM. CONNECT TO (E) SEWER MAIN AS SHOWN. PROVIDE CLEANOUT TO GRADE AT BUILDING AND BEHIND PROPERTY LINE AND AT MAJOR CHANGES IN DIRECTION AS SHOWN. REUSE (E) LATERAL IF POSSIBLE. CONNECT PER DISTRICT STANDARDS.

CONNECT (N) WATER SERVICE PER WATER DISTRICT STANDARDS. UPGRADE (E) WATER METER PER WATER DISTRICT STANDARDS AS APPLICABLE. INSTALL (N) 2" SERVICE LINE TO (N) RESIDENCE OR AS DIRECTED BY FIRE SPRINKLER DESIGNER.

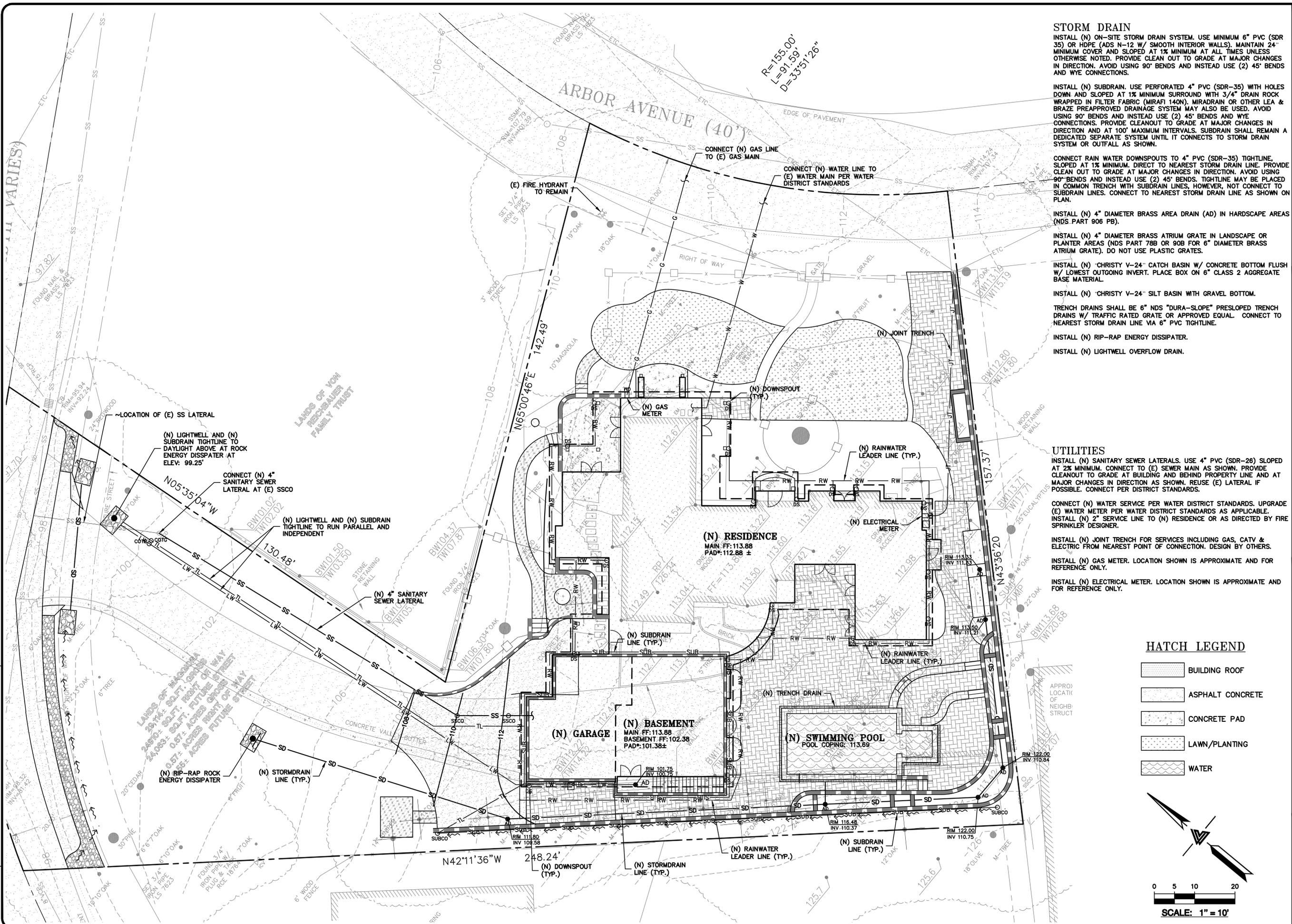
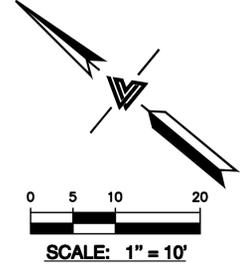
INSTALL (N) JOINT TRENCH FOR SERVICES INCLUDING GAS, CATV & ELECTRIC FROM NEAREST POINT OF CONNECTION. DESIGN BY OTHERS.

INSTALL (N) GAS METER. LOCATION SHOWN IS APPROXIMATE AND FOR REFERENCE ONLY.

INSTALL (N) ELECTRICAL METER. LOCATION SHOWN IS APPROXIMATE AND FOR REFERENCE ONLY.

HATCH LEGEND

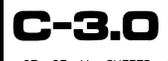
- BUILDING ROOF
- ASPHALT CONCRETE
- CONCRETE PAD
- LAWN/PLANTING
- WATER



PLAN # OF SHEET

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PURPOSE:

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION OF GRADED AREAS AND TO PREVENT SEDIMENTATION FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING SITES, NATURAL AREAS, PUBLIC FACILITIES OR ANY OTHER AREA THAT MIGHT BE AFFECTED BY SEDIMENTATION. ALL MEASURES SHOWN ON THIS PLAN SHOULD BE CONSIDERED THE MINIMUM REQUIREMENTS NECESSARY. SHOULD FIELD CONDITIONS DICTATE ADDITIONAL MEASURES, SUCH MEASURES SHALL BE PER CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL AND THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION. LEA & BRAZE ENGINEERING SHOULD BE NOTIFIED IMMEDIATELY SHOULD CONDITIONS CHANGE.

EROSION CONTROL NOTES:

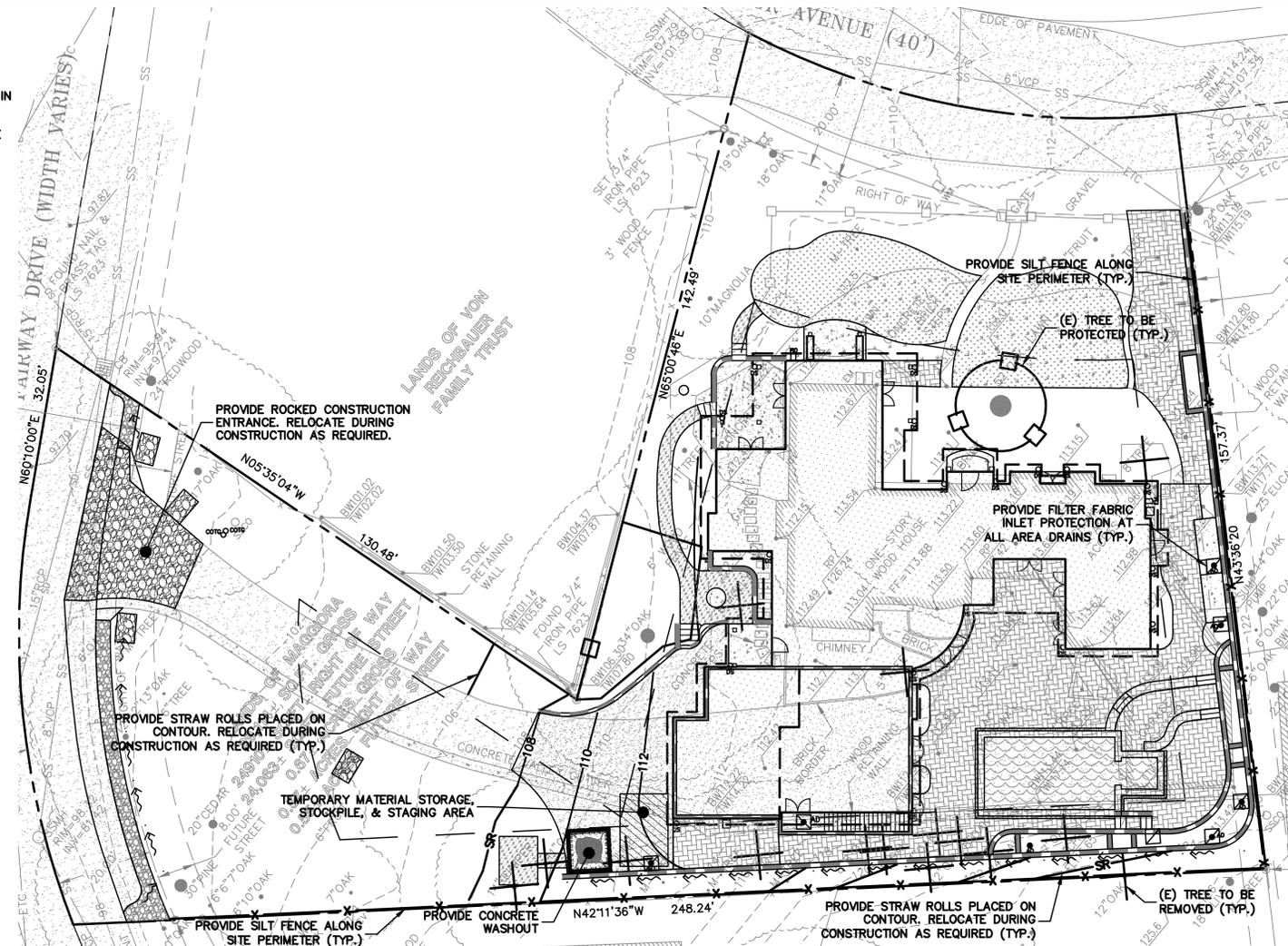
- IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THIS EROSION CONTROL PLAN.
- THE INTENTION OF THIS PLAN IS FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. ALL EROSION CONTROL MEASURES SHALL CONFORM TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL, THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION, AND THE LOCAL GOVERNING AGENCY FOR THIS PROJECT.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING, AND AFTER STORM EVENTS. PERSON IN CHARGE OF MAINTAINING EROSION CONTROL MEASURES SHOULD WATCH LOCAL WEATHER REPORTS AND ACT APPROPRIATELY TO MAKE SURE ALL NECESSARY MEASURES ARE IN PLACE.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATERCOURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS CONCERNING POLLUTION SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15TH.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LONGER.
- IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVAL EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY LOCAL JURISDICTION'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
- MEASURES SHALL BE TAKEN TO COLLECT OR CLEAN ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEMS. THE REMOVAL OF AFORESAID SHALL BE DONE BY STREET SWEEPING OR HAND SWEEPING. WATER SHALL NOT BE USED TO WASH SEDIMENTS INTO PUBLIC OR PRIVATE DRAINAGE FACILITIES.
- EROSION CONTROL MEASURES SHALL BE ON-SITE FROM SEPTEMBER 15TH THRU APRIL 15TH.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER 1ST THROUGH APRIL 30TH, WHICHEVER IS GREATER.
- PLANS SHALL BE DESIGNED TO MEET C3 REQUIREMENTS OF THE MUNICIPAL STORMWATER REGIONAL PERMIT("MRP") NPDES PERMIT CAS 612008.
- THE CONTRACTOR TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OR COUNTY STORM DRAIN SYSTEMS.
- THE CONTRACTOR MUST INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE INCEPTION OF ANY WORK ONSITE AND MAINTAIN THE MEASURES UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE TOWN INSPECTOR. THE ADJACENT STREET SHALL AT ALL TIMES BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. THE CONTRACTOR BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THE BY THEIR CONSTRUCTION, METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE TOWN RIGHT-OF-WAY.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INSPECTION OF ANY WORK ONSITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO NOT INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH PERMS IN CONJUNCTION OF ALL LANDSCAPING.
- STOCKPILED MATERIALS SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT IS SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- EXCESS OR WASTE CONCRETE MUST NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND

EROSION CONTROL NOTES CONTINUED:

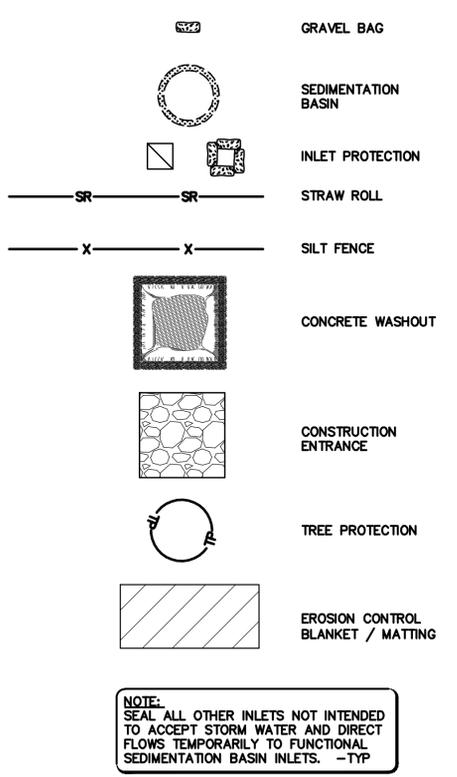
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MUST NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- DUST CONTROL SHALL BE DONE BY WATERING AND AS OFTEN AS REQUIRED BY THE TOWN INSPECTOR.
- SILT FENCE(S) AND/OR FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15TH AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS, TO PUBLIC OWNED FACILITIES.

EROSION CONTROL MEASURES:

- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15. EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO OCTOBER 15TH OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- SITE CONDITIONS AT TIME OF PLACEMENT OF EROSION CONTROL MEASURES WILL VARY. APPROPRIATE ACTION INCLUDING TEMPORARY SWALES, INLETS, HYDROSEEDING, STRAW BALES, ROCK SACKS, ETC. SHALL BE TAKEN TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING SITE. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS THE CONDITIONS CHANGE AND THE NEED OF CONSTRUCTION SHIFT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCES. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE GOVERNING AGENCY.
- ALL EXPOSED SLOPES THAT ARE NOT VEGETATED SHALL BE HYDROSEEDED. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 15, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. HYDROSEEDING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 20" EROSION CONTROL AND HIGHWAY PLANTING" OF THE STANDARD SPECIFICATION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED. REFER TO THE EROSION CONTROL SECTION OF THE GRADING SPECIFICATIONS THAT ARE A PART OF THIS PLAN SET FOR FURTHER INFORMATION.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT. MINIMUM INLET PROTECTION SHALL CONSIST OF A ROCK SACKS OR AS SHOWN ON THIS PLAN
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. A REPRESENTATIVE OF LEA & BRAZE ENGINEERING SHALL PERFORM A FIELD REVIEW AND MAKE RECOMMENDATIONS AS NEEDED. CONTRACTOR IS RESPONSIBLE TO NOTIFY LEA & BRAZE ENGINEERING AND THE GOVERNING AGENCY OF ANY CHANGES.
- THE EROSION CONTROL MEASURES SHALL CONFORM TO THE LOCAL JURISDICTION'S STANDARDS AND THE APPROVAL OF THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
- STRAW ROLLS SHALL BE PLACED AT THE TOE OF SLOPES AND ALONG THE DOWN SLOPE PERIMETER OF THE PROJECT. THEY SHALL BE PLACED AT 25 FOOT INTERVALS ON GRADED SLOPES. PLACEMENT SHALL RUN WITH THE CONTOURS AND ROLLS SHALL BE TIGHTLY END BUTTED. CONTRACTOR SHALL REFER TO MANUFACTURERS SPECIFICATIONS FOR PLACEMENT AND INSTALLATION INSTRUCTIONS.



EROSION CONTROL LEGEND



REFERENCES:

- CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL
- CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION

PERIODIC MAINTENANCE:

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1" FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.
- GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.
- STRAW ROLLS SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHED HALF THE HEIGHT OF THE ROLL.
- SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHES ONE FOOT IN HEIGHT.
- CONSTRUCTION ENTRANCE SHALL BE REGRAVELED AS NECESSARY FOLLOWING SILT/SOIL BUILDUP.
- ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION



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MAGGIORA RESIDENCE
1340 FAIRWAY DRIVE
LOS ALTOS, CALIFORNIA
 UNINCORPORATED SANTA CLARA
 APN: 331-04-1116

CONCEPTUAL EROSION CONTROL PLAN

NO.	REVISIONS	BY
4	ARCH REV 08-21-2020	MM
3	ARCH REV 07-21-2020	MM
2	ARCH REV 06-11-2020	MM
1	PLAN CHECK 05-19-2020	MM

JOB NO:	DATE:	SCALE:	DESIGN BY:	CHECKED BY:	SHEET NO:
2190706	01-24-20	AS NOTED	KZ	PC/CA	ER-1

08 OF 11 SHEETS

PLAN # _____ OF _____ SHEET



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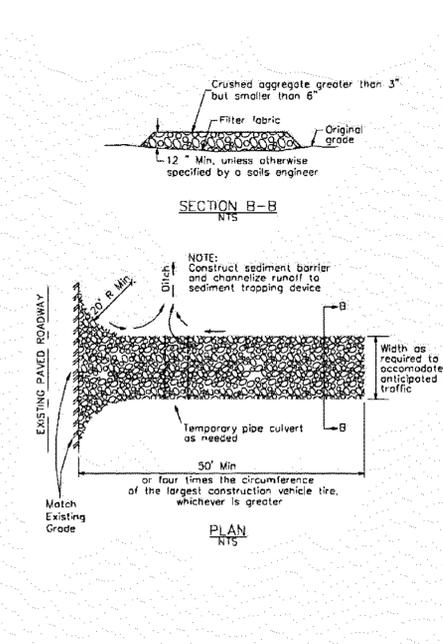
MAGGIORA RESIDENCE
1340 FAIRWAY DRIVE
LOS ALTOS, CALIFORNIA
 APN: 331-04-1116
 UNINCORPORATED SANTA CLARA

CONCEPTUAL EROSION CONTROL DETAILS

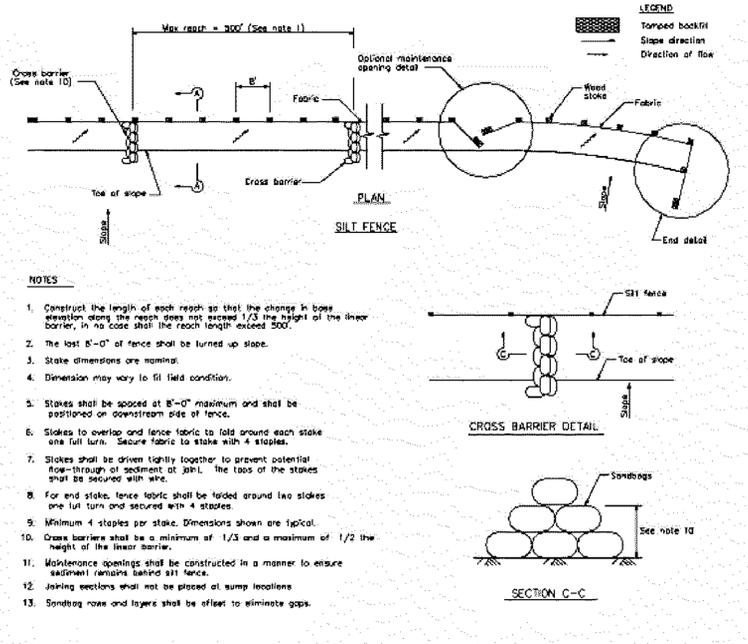
NO.	REVISIONS	BY
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3	ARCH REV 07-21-2020	MM
2	ARCH REV 06-11-2020	MM
1	PLAN CHECK 05-19-2020	MM

JOB NO: 2190706
 DATE: 01-24-20
 SCALE: AS NOTED
 DESIGN BY: KZ
 CHECKED BY: PC/CA
 SHEET NO:
BMP-1
 09 OF 11 SHEETS

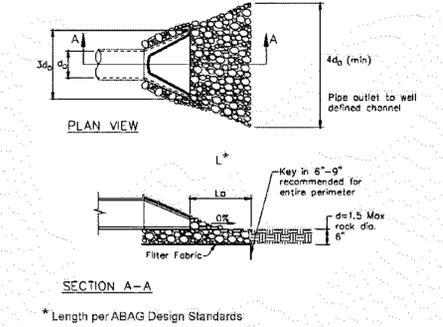
3 Stabilized Construction Entrance/Exit
 CASQA Detail TC-1



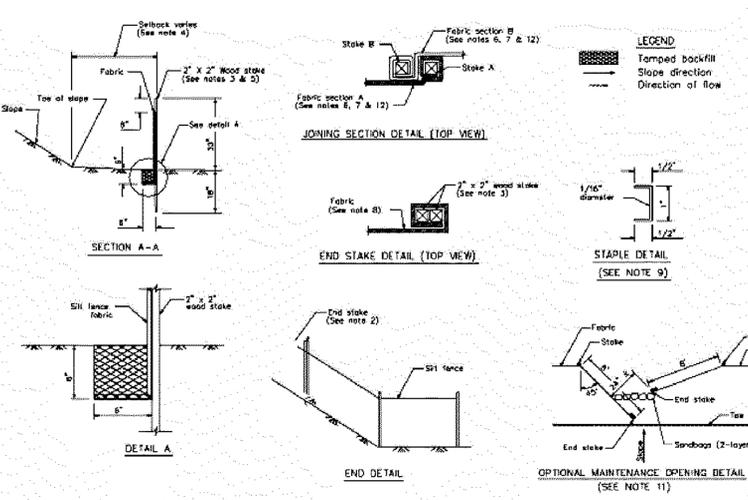
1 Silt Fence
 CASQA Detail SE-1



4 Velocity Dissipation Devices
 CASQA Detail EC-10



2 Silt Fence
 CASQA Detail SE-1



STANDARD BEST MANAGEMENT PRACTICE NOTES

- Solid and Demolition Waste Management:** Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-3) or latest.
- Hazardous Waste Management:** Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material handler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- Spill Prevention and Control:** Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
- Vehicle and Construction Equipment Service and Storage:** An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-9) or latest.
- Material Delivery, Handling and Storage:** In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- Handling and Disposal of Concrete and Cement:** When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
- Pavement Construction Management:** Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- Contaminated Soil and Water Management:** Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
- Sanitary/Septic Water Management:** Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
- Inspection & Maintenance:** Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

STANDARD EROSION CONTROL NOTES

- Sediment Control Management:**
 - Tracking Prevention & Clean Up:** Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.
 - Storm Drain Inlet and Catch Basin Inlet Protection:** All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber rolls or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.
 - Storm Water Runoff:** No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.
 - Dust Control:** The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.
 - Stockpiling:** Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures (tarps, straw bales, silt fences, etc.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.
- Erosion Control:** During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
- Inspection & Maintenance:** Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- Project Completion:** Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

Project Information

Best Management Practices and Erosion Control Details Sheet 1
 County of Santa Clara



BMP-1

PLAN # OF SHEET



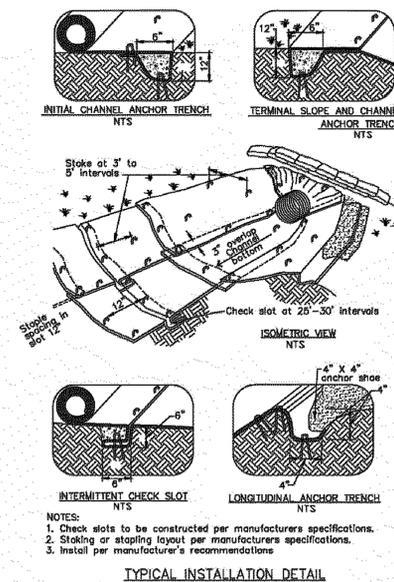
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MAGGIORA RESIDENCE
 1340 FAIRWAY DRIVE
 LOS ALTOS, CALIFORNIA
 UNINCORPORATED SANTA CLARA
 APN: 331-04-1116

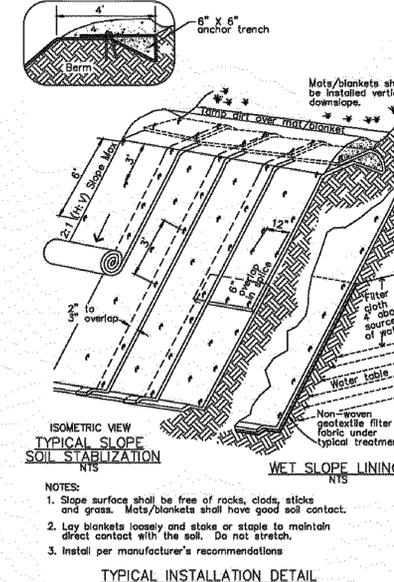
CONCEPTUAL EROSION
 CONTROL DETAILS

Project Information

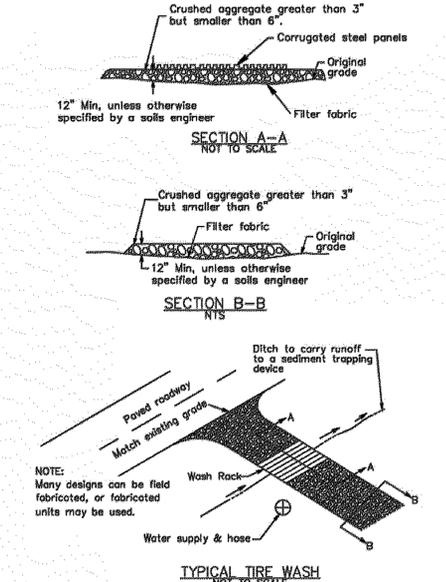
7 Geotextiles and Mats
 CASQA Detail EC-7



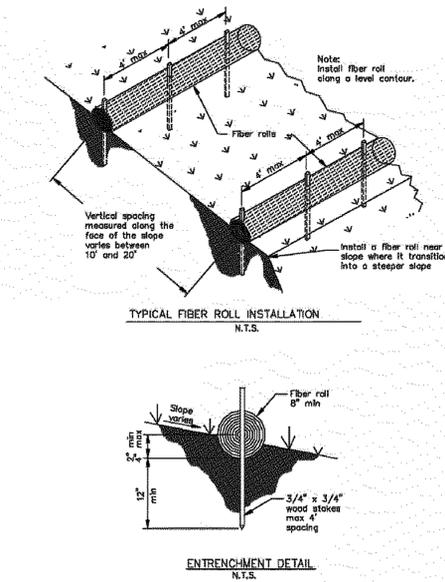
5 Geotextiles and Mats
 CASQA Detail EC-7



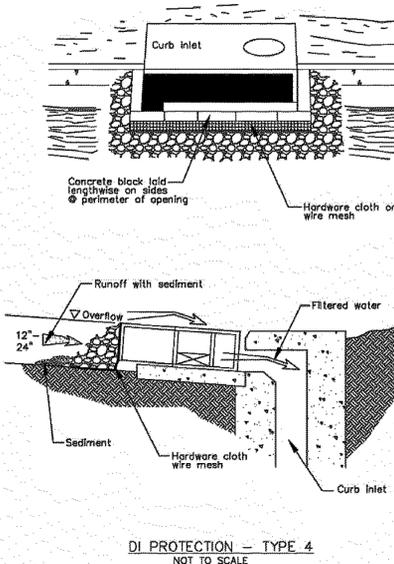
3 Entrance/Outlet Tire Wash
 CASQA Detail TC-3



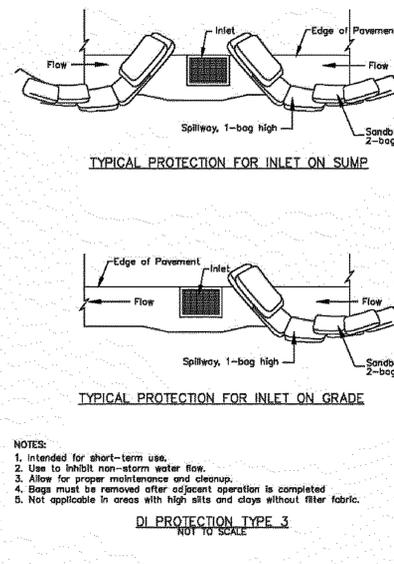
1 Fiber Rolls
 CASQA Detail SE-5



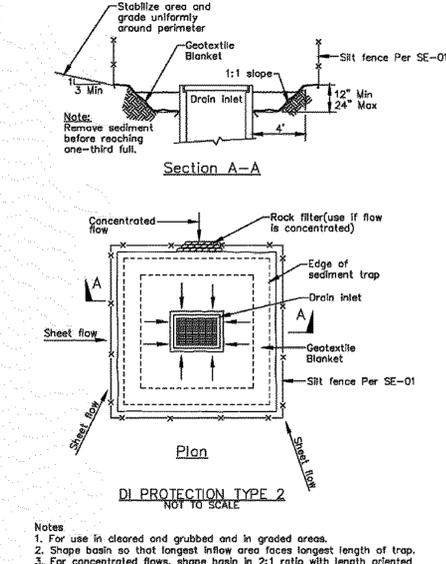
8 Storm Drain Inlet Protection
 CASQA Detail SE-10



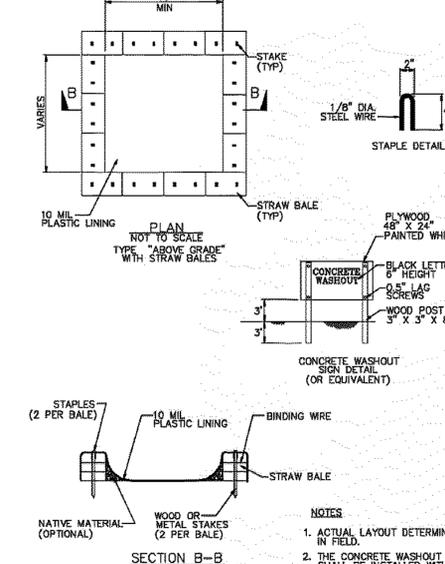
6 Storm Drain Inlet Protection
 CASQA Detail SE-10



4 Storm Drain Inlet Protection
 CASQA Detail SE-10



2 Concrete Waste Management
 CASQA Detail WM-8



PLAN # OF SHEET

Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

Best Management Practices and Erosion Control Details Sheet 2
 County of Santa Clara



BMP-2

NO.	REVISIONS	BY
4	ARCH REV 08-21-2020	MM
3	ARCH REV 07-21-2020	MM
2	ARCH REV 06-11-2020	MM
1	PLAN CHECK 05-19-2020	MM

JOB NO: 2190706
 DATE: 01-24-20
 SCALE: AS NOTED
 DESIGN BY: KZ
 CHECKED BY: PC/CA
 SHEET NO:

LINE OF SIGHT NOTES:

- POSTED SPEED LIMIT FOR FAIRWAY DRIVE IS 25 MPH.
- DESIGN SPEED ANALYZED: 25 MPH.
- STOPPING SIGHT DISTANCE TAKEN FROM CALTRANS HIGHWAY DESIGN MANUAL, TABLE 201.1 "SIGHT DISTANCE STANDARDS".

**Table 201.1
Sight Distance Standards**

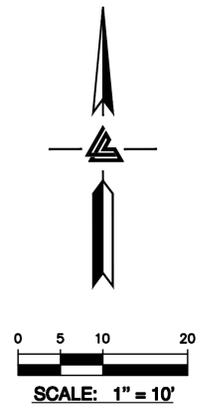
Design Speed ⁽¹⁾ (mph)	Stopping ⁽²⁾ (ft)	Passing (ft)
10	50	---
15	100	---
20	125	800
25	150	950
30	200	1,100
35	250	1,300
40	300	1,500
45	360	1,650
50	430	1,800
55	500	1,950
60	580	2,100
65	660	2,300
70	750	2,500
75	840	2,600
80	930	2,700

(1) See Topic 101 for selection of design speed.
(2) For sustained downgrades, refer to underlined standard in Index 201.3

R=165.00'
L=89.38'
D=31°02'19"

25 MPH SIGHT DISTANCE:
REQUIRED SSD, 150'

25 MPH SIGHT DISTANCE:
REQUIRED SSD, 150'



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LOS ALTOS, CALIFORNIA
UNINCORPORATED SANTA CLARA APN: 331-04-116

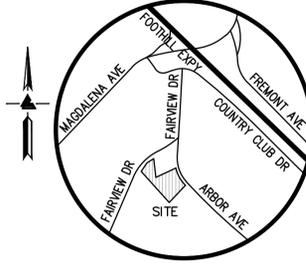
**SIGHT DISTANCE
EXHIBIT**

NO.	REVISIONS	BY
4	ARCH REV 08-21-2020	MM
3	ARCH REV 07-21-2020	MM
2	ARCH REV 06-11-2020	MM
1	PLAN CHECK 05-19-2020	MM

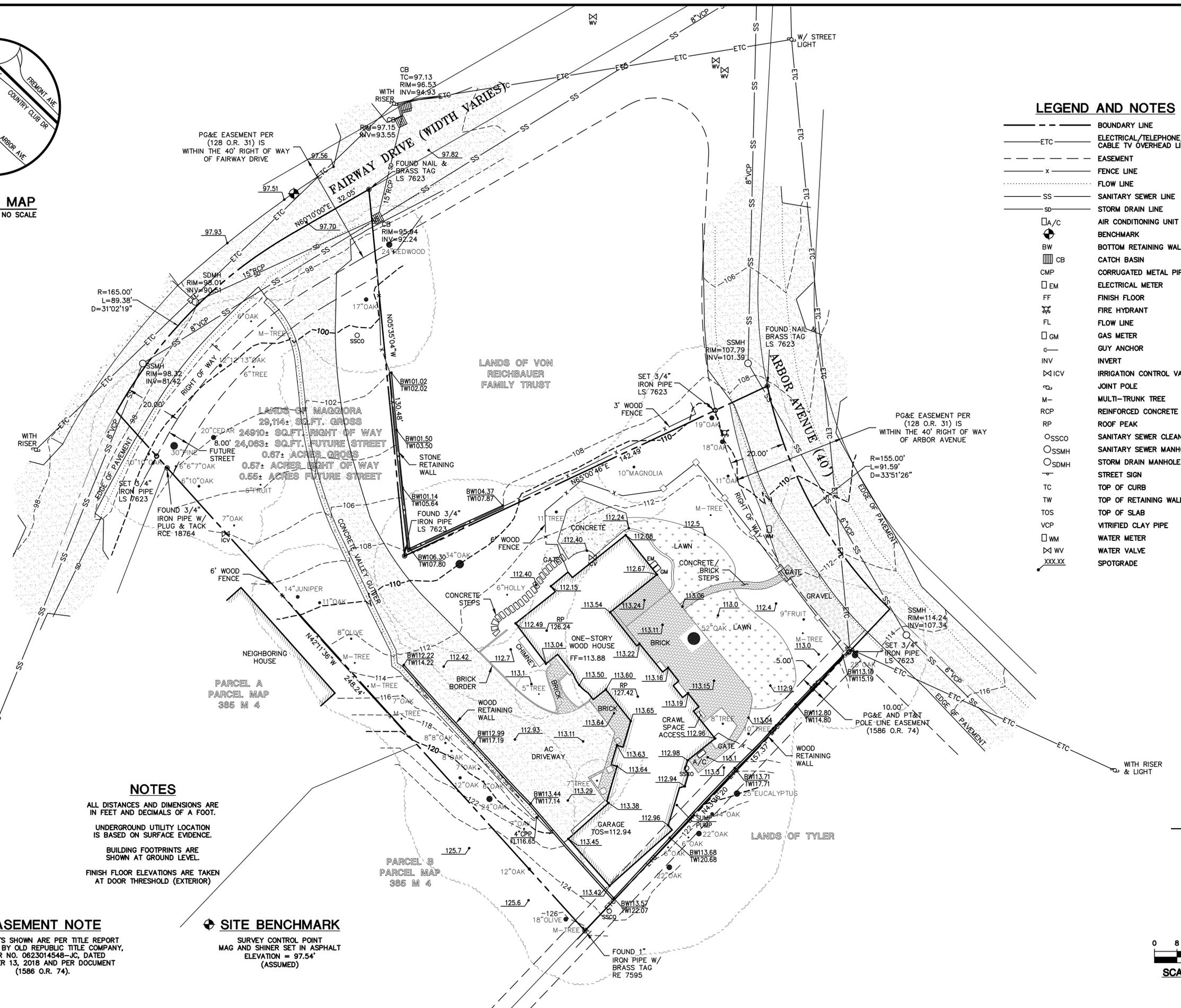
JOB NO: 2190706
DATE: 01-24-20
SCALE: 1" = 10'
DESIGN BY: KZ
CHECKED BY: PC/CA
SHEET NO:

EX-1
11 OF 11 SHEETS

PLAN # _____ OF _____ SHEET



VICINITY MAP
NO SCALE



LEGEND AND NOTES

- BOUNDARY LINE
- ETC --- ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE
- - - EASEMENT
- x - FENCE LINE
- - - FLOW LINE
- - - SS --- SANITARY SEWER LINE
- - - SD --- STORM DRAIN LINE
- A/C AIR CONDITIONING UNIT
- ⊕ BENCHMARK
- ▭ BW BOTTOM RETAINING WALL
- ▭ CB CATCH BASIN
- ▭ CMP CORRUGATED METAL PIPE
- ▭ EM ELECTRICAL METER
- ▭ FF FINISH FLOOR
- ⊗ FF FIRE HYDRANT
- - - FL FLOW LINE
- GM GAS METER
- ⊕ GUY ANCHOR
- INVERT
- ⊗ ICV IRRIGATION CONTROL VALVE
- ⊕ JOINT POLE
- M- MULTI-TRUNK TREE
- RCP REINFORCED CONCRETE PIPE
- RP ROOF PEAK
- SSCO SANITARY SEWER CLEAN-OUT
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- ↑ STREET SIGN
- TC TOP OF CURB
- TW TOP OF RETAINING WALL
- TOS TOP OF SLAB
- VCP VITRIFIED CLAY PIPE
- WM WATER METER
- ⊗ WV WATER VALVE
- XXX.XX SPOTGRADE

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT.

UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.

BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.

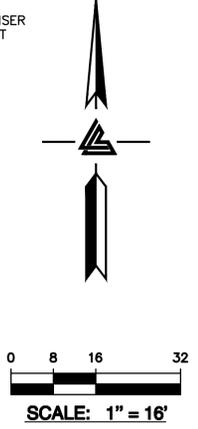
FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR)

EASEMENT NOTE

EASEMENTS SHOWN ARE PER TITLE REPORT PREPARED BY OLD REPUBLIC TITLE COMPANY, ORDER NO. 0623014548-JC, DATED DECEMBER 13, 2018 AND PER DOCUMENT (1586 O.R. 74).

⊕ SITE BENCHMARK

SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 97.54'
(ASSUMED)



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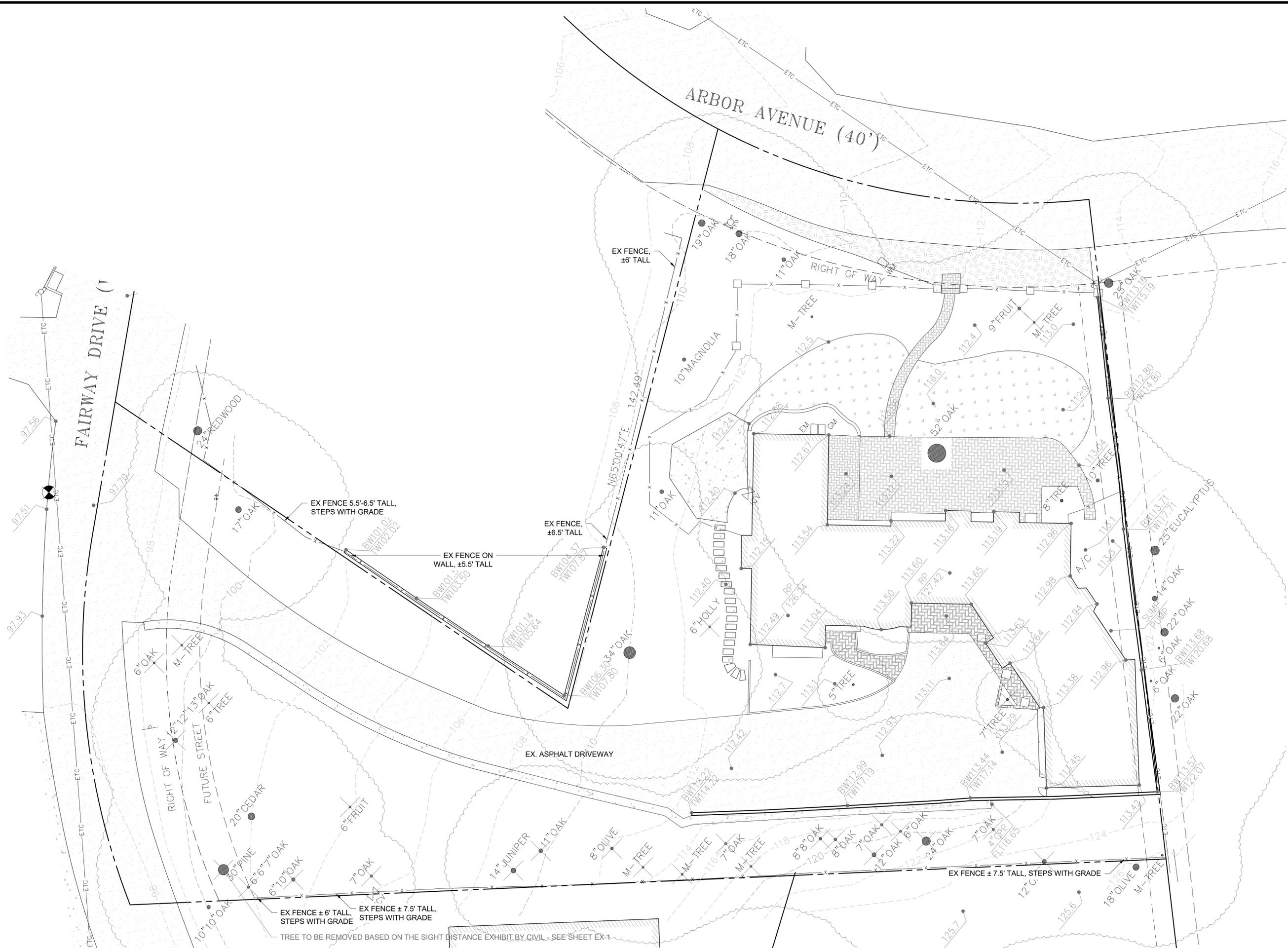
1340 FAIRWAY DRIVE
LOS ALTOS
CALIFORNIA

SANTA CLARA COUNTY
APN: 331-04-116

TOPOGRAPHIC
SURVEY

REVISIONS	BY
ADDED F-ROW LINE 8-21-20	MT
REMOVED F-ROW LINE 5-19-20	MT
TITLE REPORT 12-18-19	MT
UPDATED BOUNDARY 11-14-19	MT

JOB NO: 2190104
DATE: 2-13-19
SCALE: 1"=16'
FIELD BY: ES
DRAWN BY: MF
SHEET NO:



MAGGIORA RESIDENCE
 1340 FAIRWAY DRIVE
 LOS ALTOS, CALIFORNIA

EXISTING
 PLAN

DESIGN

PO BOX 485
 BEN LOMOND, CA 95005
 (831) 336-3100

FOCUS

DESIGN FOCUS
 LANDSCAPE ARCHITECTURE
 & CONSTRUCTION



REVISED: 8/19/2020
 DESIGN BY:
 DRAWN BY: GEM
 SCALE: 1"=10'-0"

L0

MAGGIORA RESIDENCE
 1340 FAIRWAY DRIVE
 LOS ALTOS, CALIFORNIA

CONCEPT PLAN

DESIGN

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FOCUS

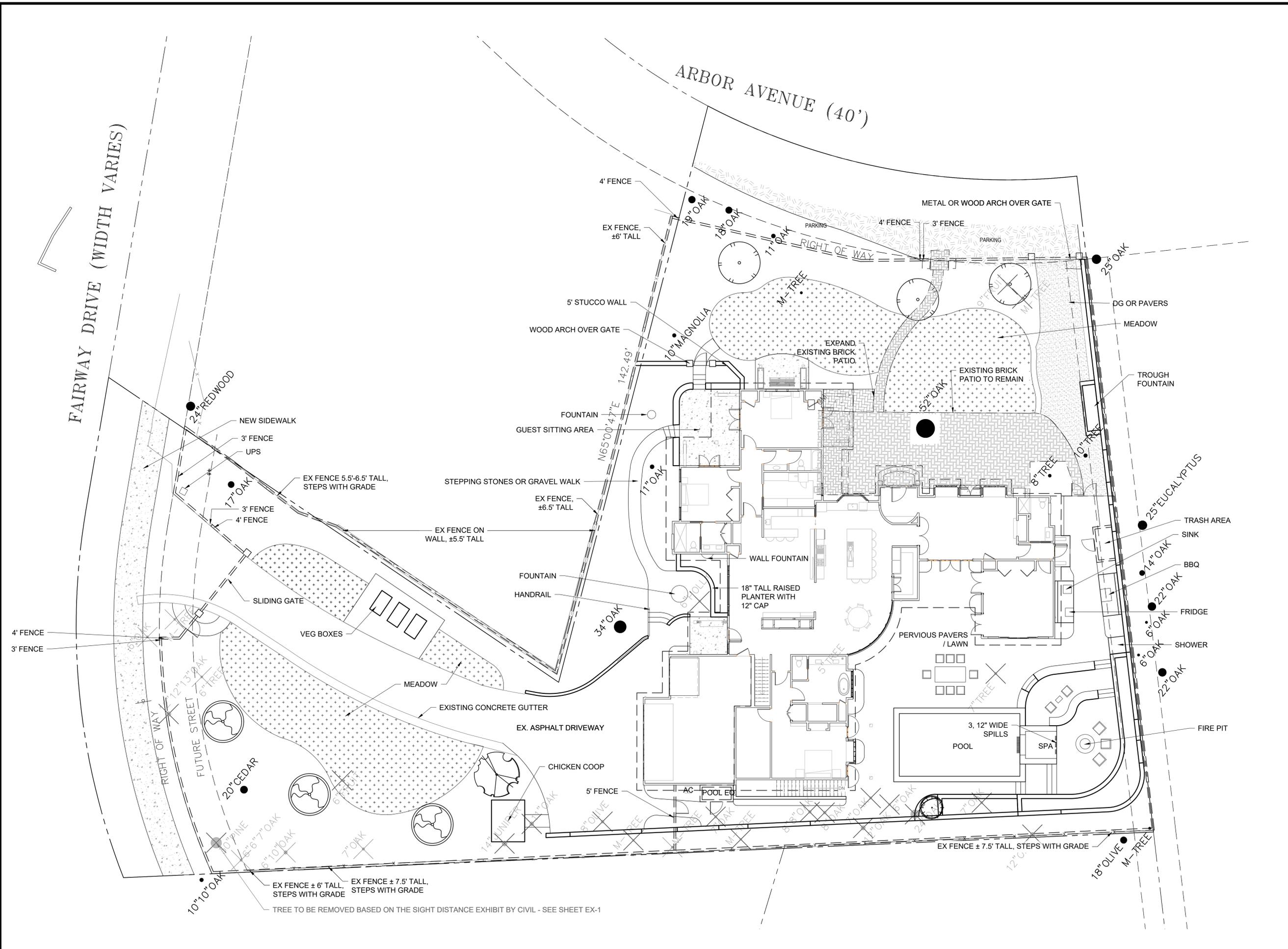
DESIGN FOCUS

LANDSCAPE ARCHITECTURE
 & CONSTRUCTION



REVISED: 8/19/2020
 DESIGN BY: RJD
 DRAWN BY: KT, GEM
 SCALE: 1"=10'-0"

L1



MAGGIORA RESIDENCE
 1340 FAIRWAY DRIVE
 LOS ALTOS, CALIFORNIA

GRADING AND
 DRAINAGE
 CONCEPT PLAN

DESIGN

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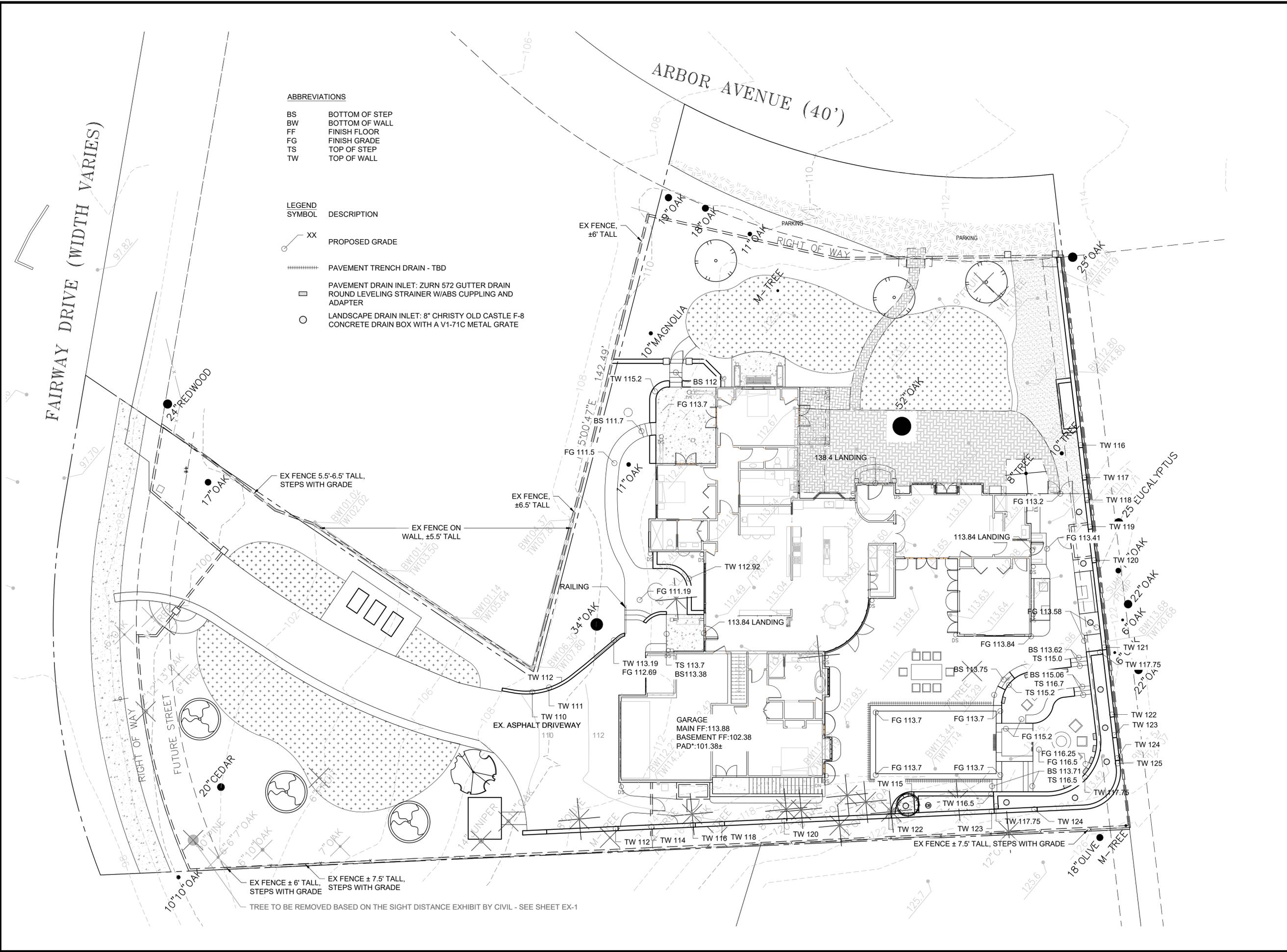
FOCUS

DESIGN FOCUS
 LANDSCAPE ARCHITECTURE
 & CONSTRUCTION



REVISED: 8/19/2020
 DESIGN BY: RJD/HH
 DRAWN BY: KH, GEM
 SCALE: 1"=10'-0"

L2



ABBREVIATIONS

BS	BOTTOM OF STEP
BW	BOTTOM OF WALL
FF	FINISH FLOOR
FG	FINISH GRADE
TS	TOP OF STEP
TW	TOP OF WALL

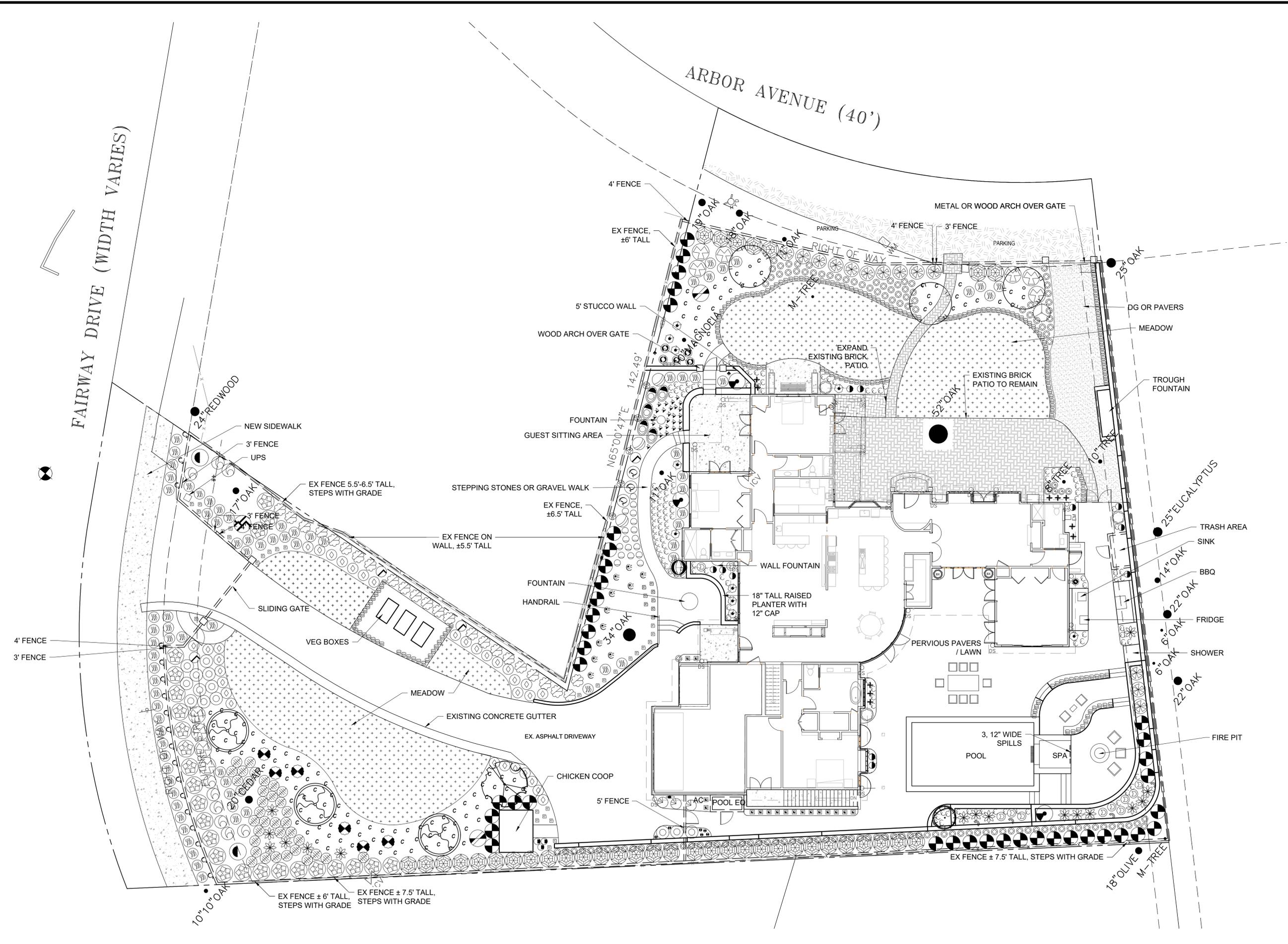
LEGEND

XX	PROPOSED GRADE
=====	PAVEMENT TRENCH DRAIN - TBD
□	PAVEMENT DRAIN INLET: ZURN 572 GUTTER DRAIN ROUND LEVELING STRAINER W/ABS CUPPLING AND ADAPTER
○	LANDSCAPE DRAIN INLET: 8" CHRISTY OLD CASTLE F-8 CONCRETE DRAIN BOX WITH A V1-71C METAL GRATE

FAIRWAY DRIVE (WIDTH VARIES)

ARBOR AVENUE (40')

EX FENCE ± 6" TALL, STEPS WITH GRADE
 EX FENCE ± 7.5" TALL, STEPS WITH GRADE
 TREE TO BE REMOVED BASED ON THE SIGHT DISTANCE EXHIBIT BY CIVIL - SEE SHEET EX-1



MAGGIORA RESIDENCE
 1340 FAIRWAY DRIVE
 LOS ALTOS, CALIFORNIA

PLANTING
 PLAN

DESIGN

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FOCUS

DESIGN FOCUS
 LANDSCAPE ARCHITECTURE
 & CONSTRUCTION



REVISED: 8/19/2020
 DESIGN BY: RJD
 DRAWN BY: KH, GEM
 SCALE: 1"=10'-0"

L3.1

PLANT AMENDMENT TBD

SITE TREES				
NAME	COUNT	WUCOLS	SIZE	NOTES
ACER PALMATUM 'RED EMPEROR'	3	M	24"	
ACER PALMATUM VAR. DISECTUM 'GREEN'	1	M	24"	
CHIONANTHUS RETUSUS	3	M	24"	
LAGERSTROEMIA X 'MUSKOGEE'	1	L	24"	MULTI

SITE PLANTING				
NAME	COUNT	SIZE	WUCOLS	NOTES
ABUTILON 'SNOWFLAKE'	1	5G	M	
AGAPANTHUS 'BABY PETE'	126	1G	L	18" O.C. LOW WATER ACCORDING TO L.A. EXPERIENCE
ANEMONE X HYBRIDA 'ANDREA ATKINSON'	5	5G	M	
AQUILEGIA SIBERICA	25	1G	L	18" O.C.
ARCTOSTAPHYLOS 'IVA-URSI' 'POINT REYES'	11	1G	VL	4" O.C.
BUXUS 'GREEN BEAUTY' 15G	2	15G	M	BALL
BUXUS 'GREEN BEAUTY'	204	1G	M	14" O.C.
CAMELLIA JAPONICA 'UCCIO'S GEM'	3	15G	M	
CAMELLIA SASANQUA 'WHITE DOVE'	5	5G	M	(LOW SPREADING NOT UPRIGHT, FROM MONROVIA)
CAREX DIVULSA	36	1G	L	C. TUMULICOLA, HORT.
CITRUS X MEYERI	13	24"	M	DWARF MEYER LEMON BUSH
CLEMATIS 'ARMANDII' 'HENDERSONII' 'RUBRA'	5	5G	M	LOW WATER ONCE ESTABLISHED
CLEMATIS 'JACKMANII'	2	5G	L	LOW WATER ACCORDING TO L.A. EXPERIENCE
CLEMATIS 'MARIE BOISSELOT'	1	5G	M	
COTONEASTER 'CONGESTUS' 'LIJIANG'	121	1G	L	36" O.C.
DAPHNE X TRANSATLANTICA 'BLAFRA'	10	5G	L	DO NOT DISTURB ROOTS WHEN PLANTING PLANT 1" HIGH. LOW WATER ACCORDING TO L.A. EXPERIENCE
DEUTZIA 'MAGICIEN'	3	5G	M	LOW WATER ACCORDING TO L.A. EXPERIENCE
ECHVEVERIA COLORATA	6	4"	L	
EUONUMUS ALATUS 'COMPACTUS'	2	5G	H	
GERANIUM X CANTABRIGIENSE 'BIKOVVO'	125	1G	L	18" O.C. LOW WATER ACCORDING TO L.A. EXPERIENCE
GERANIUM X ROZANNE'	17	1G	L	24" O.C. LOW WATER ACCORDING TO L.A. EXPERIENCE
HARDENBERGIA VIOLACEA 'HAPPY WANDERER'	2	5G	M	
HELLEBORUS 'SPARKLING DIAMOND'	6	1G	L	18" O.C. LOW WATER ACCORDING TO L.A. EXPERIENCE
HYDRANGEA ANOMALA	4	5G	M	
HYDRANGEA ARBORESCENS 'ANNABELLE'	11	5G	L	LOW WATER ACCORDING TO L.A. EXPERIENCE
HYDRANGEA MACROPHYLLA 'BAILMER'	1	5G	M	
IRIS DOUGLASIANA	45	1G	L	WHITE
IRIS GERMANICA 'PURPLE'	17	1G	L	
KERRIA JAPONICA 'PLENIFLORA'	10	5G	L	
LAURUS NOBILIS	37	15G	L	4" O.C.
LAVANDULA 'GOODWIN CREEK GREY'	3	1G	L	AVOID OLD SPECIMENS
LOMANDRA LONGIFOLIA BREEZE	57	1G	L	
LOROPETALUM CHINENSE F. RUBRUM 'RAZZLE DAZZLE'	3	5G	L	
NEPHROLEPS CORDIFOLIA	10	5G	M	
OLEA EUROPAEA 'MONTRA'	1	15G	VL	
OSMANTHUS HETEROPHYLLUS	42	15G	M	
PRUNUS CAROLINIANA 'BRIGHT N TIGHT'	24	15G	L	
PRUNUS ILICIFOLIA LYONII	25	5G	L	
RHAMNUS CALIFORNICA 'LEATHERLEAF'	9	5G	L	
RIBES SANGUINEUM 'CLAREMONT'	2	5G	L	
ROSA 'FLOWER CARPET WHITE'	33	2G	M	30" O.C. LOW WATER ACCORDING TO L.A. EXPERIENCE
ROSA 'ICEBURG'	13	5G	L	
ROSA 'LADY BANKSIA'	18	5G	L	WHITE
ROSA 'SALLY HOLMES'	3	5G	M	
SALVIA SPATHACEA	3	1G	L	
SARCOCOCCA RUSCIFOLIA	11	5G	L	
SYMPHORICARPOS	1	5G	L	
SYRINGA VULGARIS	4	5G	L	
VIBURNUM OPULUS	3	5G	L	
VIBURNUM X BURKWOODII	6	15G	L	
WOODWARDIA FIMBRIATA	16	5G	L	LOW WATER ACCORDING TO L.A. EXPERIENCE

MAGGIORA RESIDENCE
1340 FAIRWAY DRIVE
LOS ALTOS, CALIFORNIA

PLANTING
LEGEND AND
AMENDMENT
SPECIFICATION

DESIGN

PO BOX 485
BEN LOMOND, CA 95005
(831) 336-3100

FOCUS

DESIGN FOCUS
LANDSCAPE ARCHITECTURE
& CONSTRUCTION



REVISED: 8/19/2020
DESIGN BY: RJD
DRAWN BY: KH, GEM
SCALE: 1"=10'-0"

L3.2