

ARMSTRONG-KIPLINGER RESIDENCE

20490 SANTA CRUZ HWY, LOS GATOS CA 95033

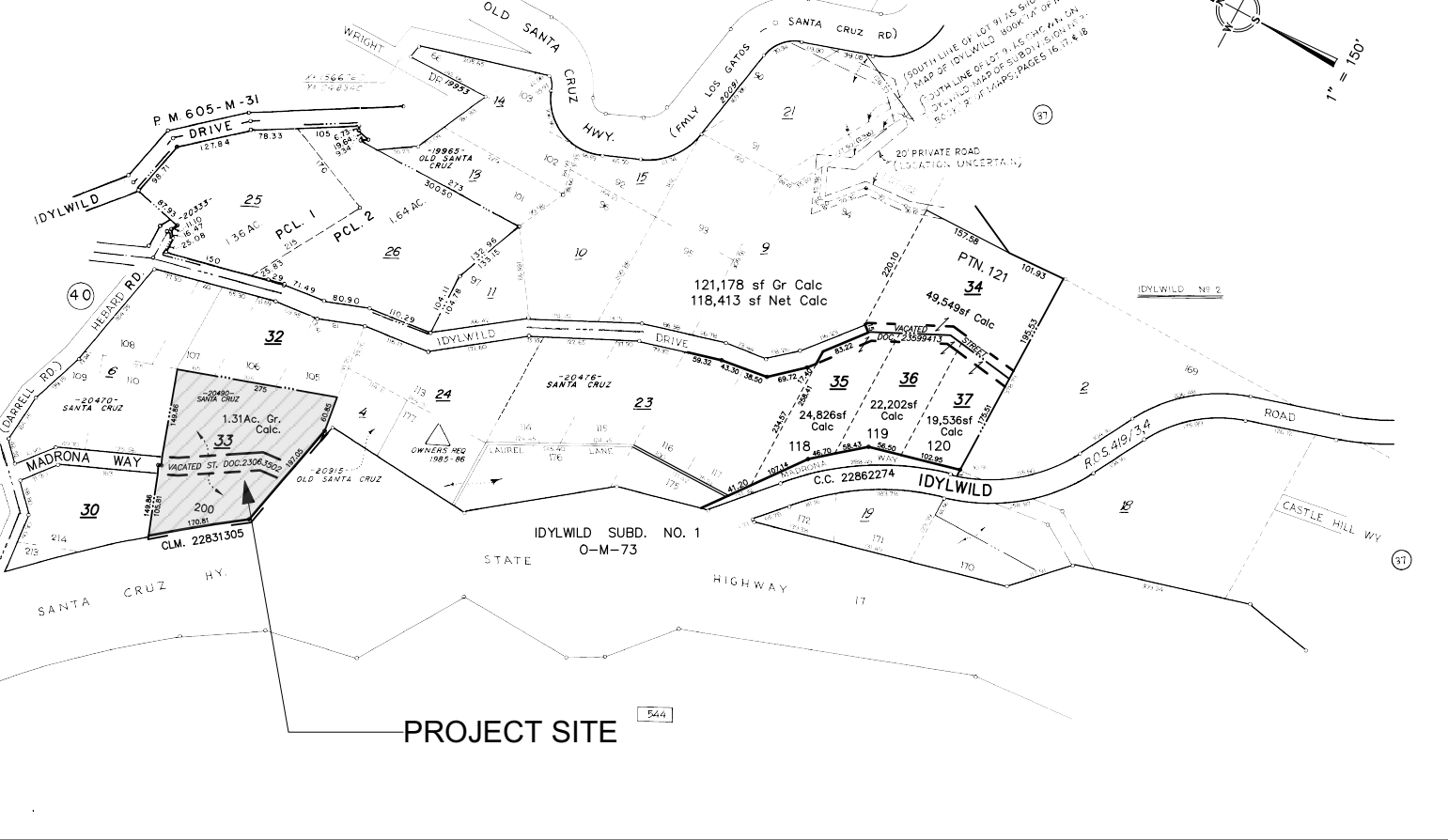
STANDARD ABBREVIATIONS

& @ C.L. Ø PLT # (E) (N) AB AC ACG ALT ALUM APPROX ARCH ASB ASPH AVE AVG	and at centerline diameter plate pound/number existing new anchor bolt asphaltic concrete aggregate alternate aluminum approximate architect asbestos asphalt avenue average	HB HC HD HDWE HWDW HM HORIZ HR HT HTG HTR	hose bib hollow core hot dipped hardware hardwood hollow metal horizontal hour height heating heater	TB TEL TER T&G TOC TOP TP TPD dispenser TPG glass TPH TSCH dispenser TV TYP VENT VERT VEST VGDF	towel bar telephone terrazzo tongue & groove top of curb top of plate top of pavement toilet paper tempered plate toilet paper holder toilet seat cover
BB BD BITUM BLDG BLK BVLD BM	bulletinboard board bituminous building block boulevard benchmark/beam	KD LAB LAM LAV	kiln dried lab laminated lavatory	W/ WC WD WF WIN W/O WP WSCT WT	with water closet wood wide flange window without waterproof(ing) wainscot weight
CAB CB CEM CI CJ CLG CLKG CLR CNTR CO COL CONC CONN CONNT CORR CTR CYL	cabinet catch basin/chalkboard cement cast iron control joint ceiling caulking clear counter cleanout column concrete connection construction continuous corridor center cylinder	MAT MAX MC MDF MECH MEMB MET MFOR MH MIN MIR MISC MO MOD MTD MUL	material maximum medicine cabinet medium density fiberboard mechanical membrane metal manufacture(r) manhole minimum mirror miscellaneous masonry opening module/modular mounted mullion		
DBL DEPT DF DIA DIM DISP DN DS DW DWG DWL DWR	double department Douglas Fir/drinking fountain diameter dimension dispenser down downspout dishwasher drawing dowel drawer	OC OD OFF OPNG OPP PART	on center outside diameter office opening opposite partition		
EA EJ EL ELEC ELEV EMER ENCL EQ EQUIP EXIST EXP EXT	each expansion joint elevation electrical elevator emergency enclosure enclosure equal equipment existing exposed exterior	PBO PERP PG PL PLYWD PR PT	provided/supplied by owner perpendicular plate glass property line plywood pair pressure treated		
FA FD FDN FE FEC FHC FIN FL FLASH FLOUR FOC FOF FOS FFRF FS FT FTG FURN FURR FUT	fire alarm floor drain foundation fire extinguisher fire extinguisher cabinet fire hose cabinet finish floor flashing fluorescent face of concrete face of finish face of stud fire proof full size foot/feet footing furnish furring future	QT R RD REINF REF REFR REQ RESIL REV RM RO	quarry tile rise/radius roof drain reinforce/reinforcing reference refrigerator required resilient revision room rough opening		
GA GB GALV GL GRD GYP	gauge grab bar galvanized glass grade gypsum	RWD RWL SECT SEL SD SG SH SHT SHWR SIM SND SNR SPEC SQ SS SSK STD STL STRUCT SUSP SYM	redwood rain water leader section select soap dispenser sheet glass shelf sheet shower similar sanitary napkin dispenser sanitary napkin recepticle specification square stainless steel service sink standard steel structural suspended symetrical		

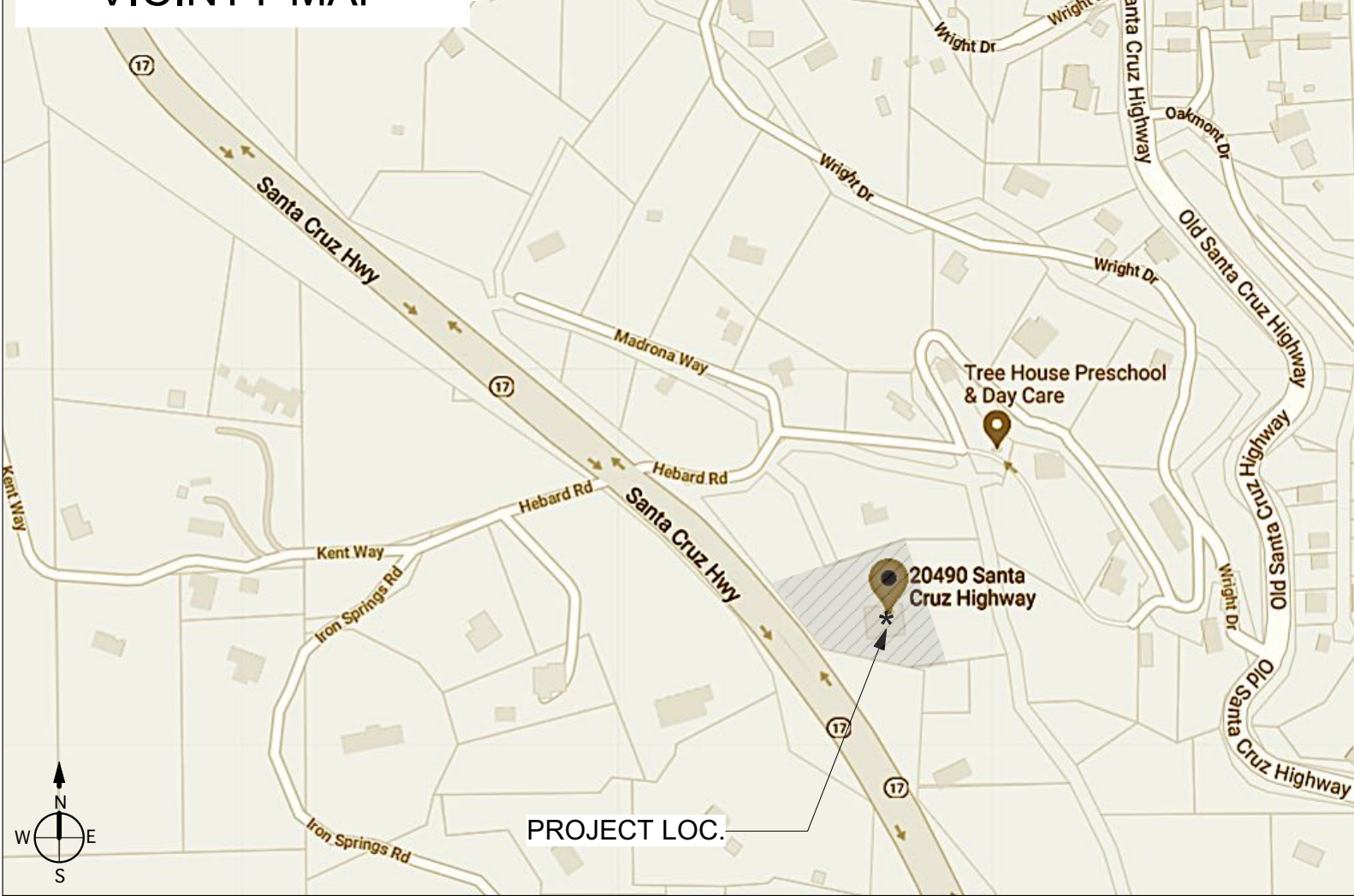
GENERAL CODE NOTES

- DOOR BETWEEN HOUSE & GARAGE SHALL BE TIGHT-FITTING, 1-3/8", 20 MIN. RATED, SOLID CORE, EQUIPPED WITH SELF-CLOSING AND SELF-LATCHING DEVICE OR IN COMPLIANCE W/ CRC SECT. R302.5.1.
- USEABLE AREA UNDER STAIRS SHALL BE PROTECTED WITH 5/8" TYPE "X" GYPSUM BOARD, MINIMUM REQUIREMENTS FOR R-3 OCCUPANCY IS 1/2" GYP. BOARD, CRC SECTION R302.7.
- HANDRAILS: HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF 4 OR MORE RISERS. HANDRAIL HEIGHT MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38". HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL. HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2". NON-CIRCULAR HANDRAILS SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6 1/4" WITH A MAX. CROSS SECTION DIMENSION OF 2 1/4". EDGES SHALL HAVE A MIN. RADIUS OF 0.01". CRC R311.7.8, R311.7.8.1, R311.7.8.3, R311.7.8.4 AND R311.7.8.5.
- GUARDRAILS (GUARDS), INTERIOR OR EXTERIOR SHALL COMPLY WITH R312.1.2 EXCEPTION- GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT OF NOT LESS THAN 34" AND NOT MORE THAN 38" MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS. GUARDS SHALL NOT HAVE AN OPENING FROM THE WALKWAY SURFACE TO THE REQUIRED HEIGHT WHICH ALLOW PASSAGE OF A 4" DIAMETER SPHERE. CRC R312.1.3
- EGRESS WINDOWS IN EACH BEDROOM SHALL COMPLY WITH CRC SECTION R310, OPERABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. ESCAPE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SF. AND 5.0 SF AT GRADE FLOOR OPENINGS. MINIMUM NET CLEAR HEIGHT 24", WIDTH OF 20" MINIMUM, AND FINISHED SILL NOT MORE THAN 44" ABOVE THE FINISHED FLOOR.
- EACH HABITABLE ROOM SHALL COMPLY WITH MIN. AREA FOR NATURAL LIGHT AND VENTILATION OR MEET THE REQUIREMENTS FOR EXCEPTIONS, PER CRC SECTIONS R303.1. BATHROOMS SHALL COMPLY WITH MIN. AREA FOR NATURAL LIGHT OR MEET REQUIREMENTS FOR EXCEPTIONS. PER CRC SECT. R303.3. BATHROOMS AND LAUNDRY ROOMS SHALL BE PROVIDED WITH EXHAUST FANS THAT COMPLY WITH CRC SECT. R303.3.1 & R303.4 AND THE CALIFORNIA MECHANICAL CODE.
- SAFETY GLAZING, SUBJECT TO HUMAN IMPACT SHALL BE INSTALLED AT HAZARDOUS LOCATIONS PER CRC SECT. R308.1 AREAS TO BE DEFINED AS "HAZARDOUS LOCATIONS" ARE LISTED IN CRC SECT 308.4 AND INCLUDE: GLAZING IN DOORS, SLIDING DOOR ASSEMBLIES AND PANELS, SHOWER OR TUB ENCLOSURES AND IN WINDOWS WITHIN COMPARTMENTS WHERE EXPOSED EDGE OF GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET, GLAZING IN WINDOWS ADJACENT TO DOORS WITHIN 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
- SMOKE ALARMS SHALL BE INSTALLED PER CRC SECTION R314, AND HAVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND EQUIPPED WITH A BATTERY BACKUP. LOCATE ALARMS IN EACH SLEEPING ROOM AND ON THE CEILING OR WALL OUTSIDE SLEEPING AREA IN IMMEDIATE VICINITY OF BEDROOMS.
- WATER HEATERS SHALL BE STRAPPED FOR SEISMIC BRACING, TOP AND BOTTOM PER CPC SECTION 507.2 AND SECURED TO THE STRUCTURE. LISTED WATER HEATERS SHALL BE INSTALLED IN ACCORDANCE WITH THEIR LISTINGS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS PER CPC 504.3.1. UNLISTED WATER HEATERS SHALL BE INSTALLED WITH A CLEARANCE OF 12" ON ALL SIDES AND REAR PER CPC 504.3.2. COMBUSTION AIR SHALL BE PROVIDED IN ACCORDANCE WITH CMC SECTION 701. WATER HEATER CLOSET OPENING SHALL HAVE A MINIMUM OF 1 SQ. IN. PER 1000 BTU INPUT, BUT NOT LESS THAN 100 SQ. IN. ONE OPENING SHALL COMMENCE WITHIN 12" OF THE TOP OF THE ENCLOSURE AND ONE OPENING SHALL COMMENCE WITHIN 12" OF THE BOTTOM OF THE ENCLOSURE PER CMC 701.5.
- GAS PIPE CONNECTION TO EACH APPLIANCES SHALL HAVE AN ACCESSIBLE SHUT-OFF VALVE AND BE INSTALLED WITH FLEX-CONNECTORS PER CPC 1212.6.
- GAS APPLIANCES INSTALLED IN THE GARAGE SHALL BE ELEVATED SO THAT PILOTS AND BURNERS ARE AT LEAST 18" ABOVE THE FLOOR PER CPC 507.13. PROTECT APPLIANCES FROM DAMAGE BY INSTALLING A PROTECTIVE STEEL POST, 3" DIA. X 24" HIGH, 12" IN FRONT OF APPLIANCE, UNLESS LOCATED OUTSIDE THE NORMAL PATH OF A VEHICLE.
- VENTING OF GAS APPLIANCES SHALL BE IN ACCORDANCE WITH CMC SECTION 802. VERIFY RUN, OFFSETS, SLOPES AND DIRECTION OF VENTS THROUGH FRAMING TO PROVIDE MINIMUM CLEARANCE TO COMBUSTIBLES FOR TYPE FLUE USED.
- SHOWER AND TUB-SHOWER VALVES SHALL BE PRESSURE BALANCED AND/OR THERMOSTATIC MIXING VALVES AND SHALL COMPLY WITH CPC SECTION 408.3.
- WATER HEATER PRESSURE RELIEF VALVES SHALL BE EQUIPPED WITH PIPING DIRECTLY TO THE EXTERIOR AND TERMINATING NOT LESS THAN 6" ABOVE GRADE. INSTALL HOSE BIBBS AT LOCATIONS NOTED HB. USE FAUCET TYPE EQUIPPED WITH BACKFLOW OR BACK SIPHONAGE PROTECTION PER CPC SECTION 603.5.7.
- INSTALL WATER CLOSETS (TOILETS) HAVING A 1.28 GALLONS/FLUSH MAXIMUM. PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CALGREEN SECTION 4.303.1.1 THE WATER CLOSET SPACE SHALL BE SET NO CLOSER THAN 15" FROM ITS CENTER TO A SIDE WALL AND NO CLOSER THAN 30" CENTER TO CENTER TO A SIMILAR FIXTURE. CLEARANCE IN FRONT OF WATER CLOSET SHALL BE NOT LESS THAN 24" PER CPC SECTION 402.5.
- INSTALL UNDERFLOOR ACCESS WITH ACCESSIBLE MINIMUM CLEARANCE 18" x 24" AND FREE FROM PIPES, DUCTS AND SIMILAR OBSTRUCTION, CRC SECTION R408.4.
- INSTALL ATTIC ACCESS WITH MINIMUM 22" x 30" ROUGH OPENING LOCATED IN HALLWAY OR OTHER READILY ACCESSIBLE LOCATION, HAVING A 30" MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE, ABOVE THE OPENING, CRC R807.1.
- WHIRLPOOL TUB SHALL COMPLY WITH CPC SECTION 409.0 AND THE CEC. ELECTRICAL POWER SOURCE SHALL BE EQUIPPED WITH GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION.
- LIGHT FIXTURES INSTALLED IN CLOSETS SHALL BE SURFACE MOUNTED FLUORESCENT, LOCATED ON THE WALL ABOVE THE DOOR AND HAVE MINIMUM CLEARANCES OF 12" TO STORAGE SHELVES, PER CEC SECTION 410.2.
- ELECTRICAL RECEPTACLES LOCATED IN THE GARAGE, (SEE EXCEPTIONS FOR SPECIFIC EQUIPMENT) EXTERIOR (WATERPROOF), CRAWL SPACE, BATHROOMS, KITCHEN COUNTERS AND WITHIN 6" AND WITHIN 6" EACH WAY FROM SINKS OR LAVATORIES, SHALL BE GROUND, FAULT CIRCUIT INTERRUPTER PROTECTED (GFI) IN ACCORDANCE WITH CEC SECTION 210.8.
- INSTALL LIGHT FIXTURES, LOCATED IN KITCHENS AND ROOMS HAVING WATER CLOSETS THAT DO NOT EXCEED 40 LUMENS/WATT (FLUORESCENT TYPE) PER CALIFORNIA TITLE 24. INSTALL FIXTURES RATED FOR DAMP LOCATIONS (DL), EXTERIOR AND IN SHOWER OR TUB COMPARTMENTS. INSTALL FIXTURES RECESSED IN THE CEILINGS RATED FOR INSULATION PROTECTION (IC/AT) AND AIRTIGHT PER CEC SECTION 410.10.
- INSTALL SOLID BACKING AT WALLS AND WATERPROOF MEMBRANE AT SHOWER PAN, SEAMLESS TYPE "OATEY" UP 12" MIN WALLS AND OVER SHOWER CURB. SHAPE SHOWER PAN FLOOR USING 3/4" PLYWOOD SHIMMED TO FORM SLOPE TO DRAIN. INSTALL 4 X 4 PTDF CURB, PER CPC 408.5 - 408.7.
- INSTALL WATERPROOF MATERIAL SUCH AS TILE, ON SHOWER WALLS +72" MIN ABOVE THE FLOOR PER CRC R307.2 R109.1.4.
- FINISHED ROOFING MATERIAL SHALL BE INSTALLED AND COMPLETED PRIOR TO FRAME INSPECTION PER CRC SECT. R109.1.4.
- ALL SHOWER HEADS IN THE EXISTING RESIDENCE WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH A MAXIMUM 1.8 GPM SHOWER HEAD. FAUCETS WITH A FLOW RATE GREATER THAN 2.2 GPM WILL NEED TO BE REPLACED WITH MAXIMUM FLOW RATE OF 1.2 GPM FOR LAVATORY FAUCETS AND 1.8 GPM FOR KITCHEN FAUCETS PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CALGREEN SECTION 4.303.

APN MAP



VICINTY MAP N.T.S.



OPERATIONAL MANUAL

- OPERATION AND MAINTENANCE MANUAL, AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING:
- DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
 - OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING: A. EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HV AC SYSTEMS, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT. B. ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS. C. SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS. D. LANDSCAPE IRRIGATION SYSTEMS. E. WATER REUSE SYSTEMS.
 - INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
 - PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
 - EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE.
 - INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
 - INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.
 - INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO, CAULKING, PAINTING, GRADING AROUND THE BUILDING, ETC.
 - INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
 - A COPY OF ALL SPECIAL INSPECTION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.

CALGREEN ENVIRONMENT AIR QUALITY

ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR PER CGBSC 4.504.2.4 VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:

- MANUFACTURER'S PRODUCT SPECIFICATION.
- FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS.

PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR ANY OWNER/BUILDER PROJECTS) MUST BE PROVIDED TO THE BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION AND ADHESIVES), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBSC SECTION 4.504.

SCOPE OF WORK

A NEW 875 SQ. FT. DETACHED GARAGE ON PROPERTY WITH EXISTING SINGLE FAMILY HOME.

APPLICABLE CODES

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 TITLE 24 BUILDING ENERGY STANDARDS

PROJECT INFORMATION

OWNER: KEN KIPLINGER AND ALISON ARMSTRONG
ADDRESS: 20490 SANTA CRUZ HWY
LOS GATOS, CA
PHONE: (415) 730-0627
EMAIL: FORALARM@YAHOO.COM, KENKP@ME.COM

PROJECT ADDRESS: 20490 SANTA CRUZ HWY
LOS GATOS, CA

APN#558-38-033
ZONING: HS-SR
TYPE: VB, NON-SPRINKLERED
OCCUPANCY: R3/U

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COVER SHEET

DEC 18, 2020

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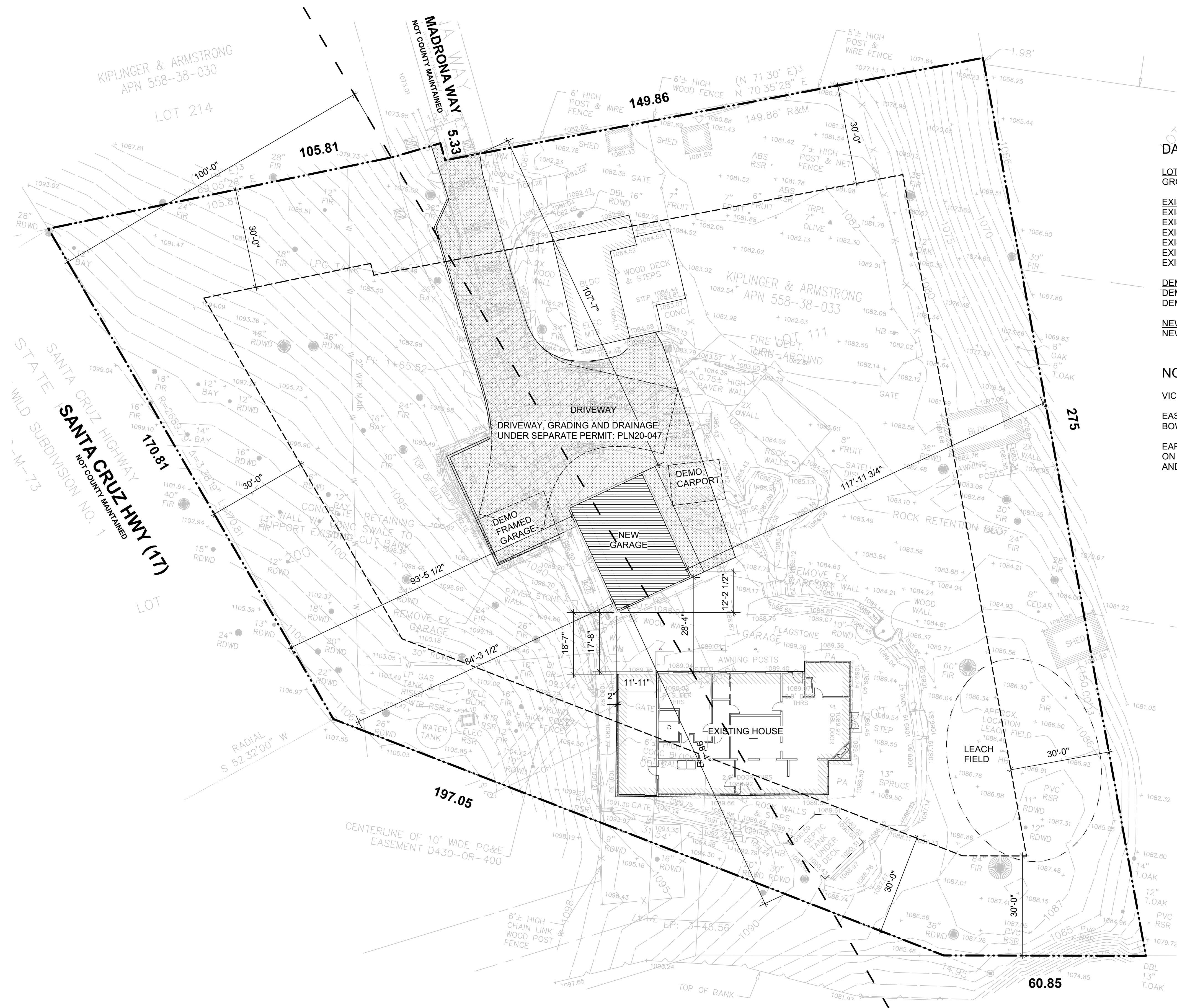
J. KRETSCHMER | ARCHITECT

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G1.0



DATA:

LOT:

GROSS LOT AREA: 1.296 ACRES

EXISTING FLOOR AREAS:

EXISTING HOUSE: 2139 SQ. FT.

EXISTING ATTACHED CARPORT: 435 SQ. FT.

EXISTING COTTAGE: 658 SQ. FT.

EXISTING FRAMED GARAGE: 300 SQ. FT.

EXISTING CARPORT: 190 SQ. FT.

EXISTING SHEDS: 577 SQ. FT.

DEMOLITION:

DEMOLISH FRAMED GARAGE: -300 SQ. FT.

DEMOLISH CARPORT: -190 SQ. FT.

NEW FLOOR AREAS:

NEW DETACHED GARAGE: 875 SQ. FT.

NOTES:

VICINITY MAP LOCATED ON PAGE G1.0, COVER SHEET.

EASEMENTS AND UTILITIES PER SURVEY DONE BY BOWMAN AND WILLIAMS, CONSULTING CIVIL ENGINEERS.

EARTHWORK QUANTITIES FOR GRADING ARE LOCATED ON ENGINEER'S DRAWINGS AND PART OF THE GRADING AND DRAINAGE PERMIT #PLN20-047.

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PROPOSED
SITE PLAN

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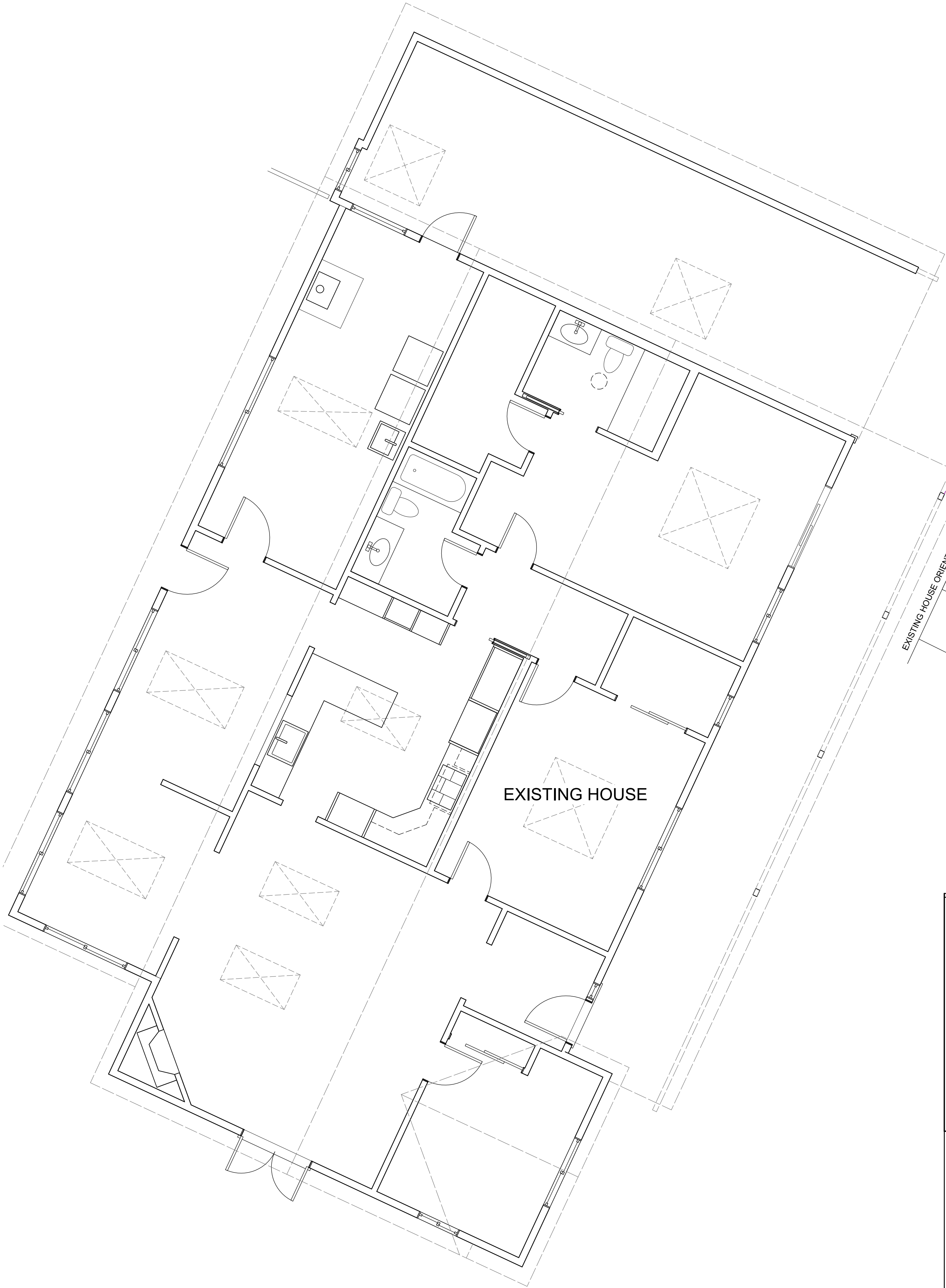
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A1.1



LEGEND

=====

=====

(N)

(E)

(R)

EXISTING WALLS TO BE REMOVED
EXISTING WALLS TO REMAIN
NEW WALLS
ALL DIMENSIONS ARE FACE OF FINISH.
LOCATION OF NEW 6" X 4" VENTS
NEW
EXISTING
REPLACE

NOTE: VERIFY ALL DIMENSIONS IN FIELD, CONTACT ARCHITECT IMMEDIATELY FOR ANY DISCREPANCY.

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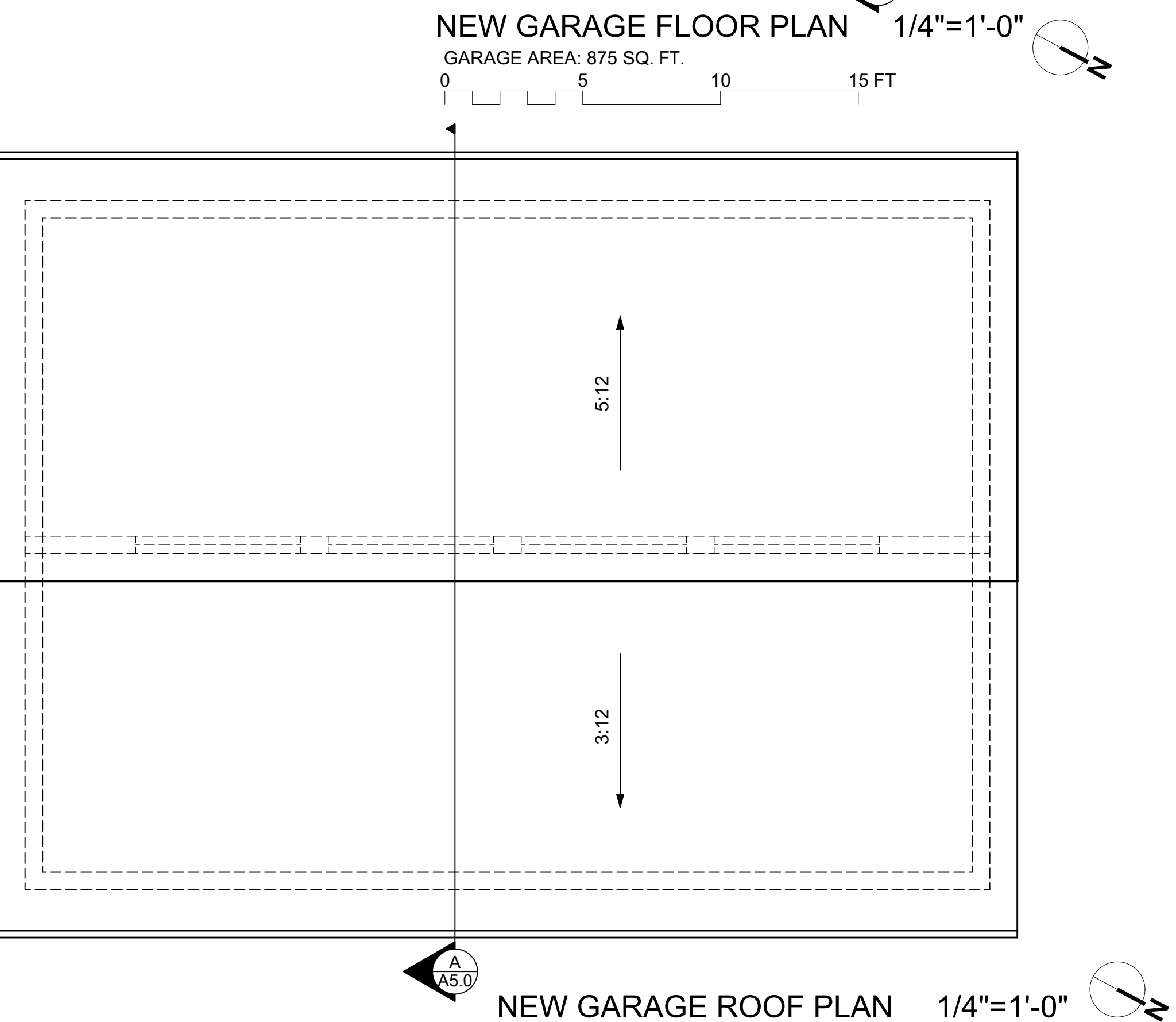
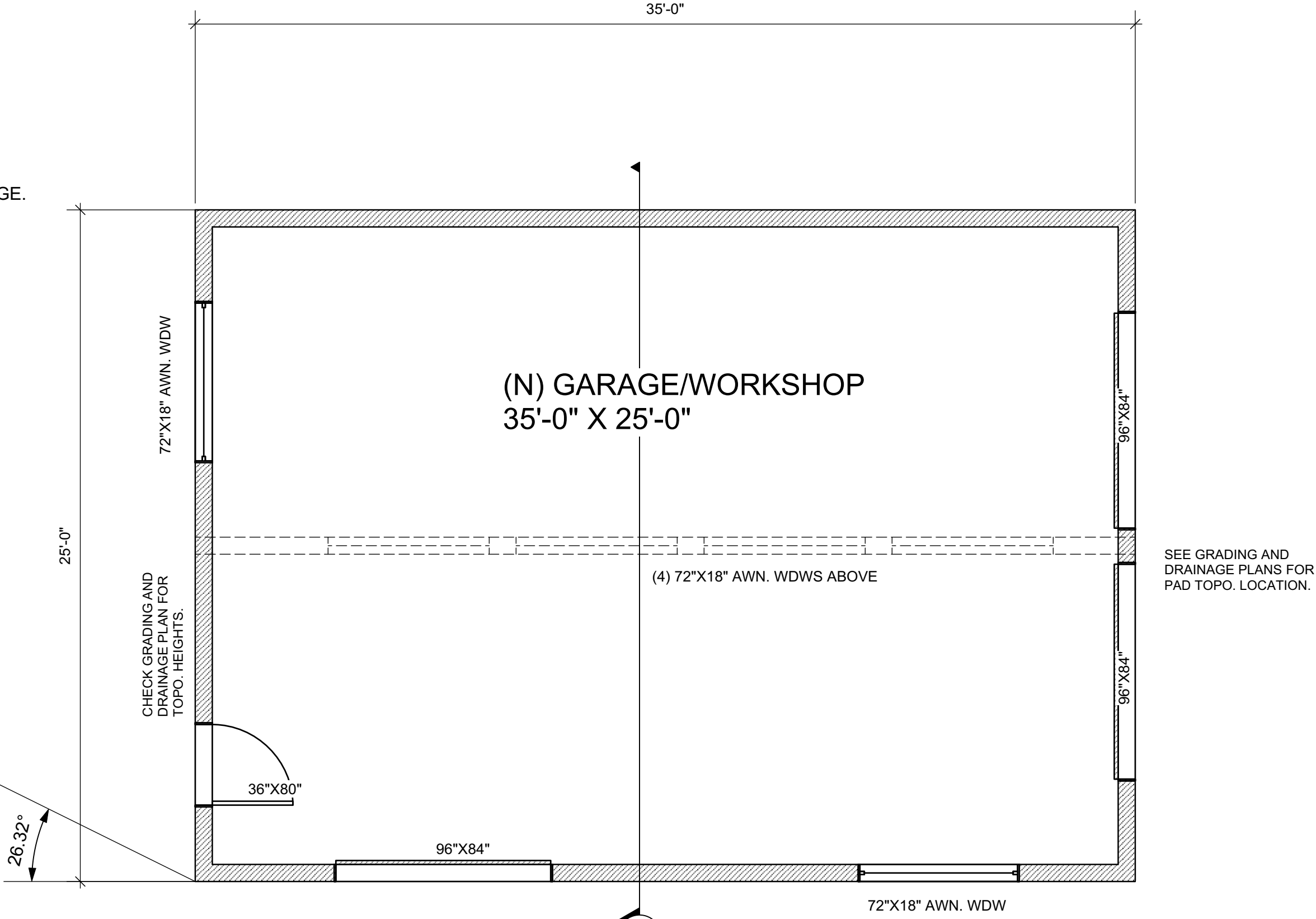
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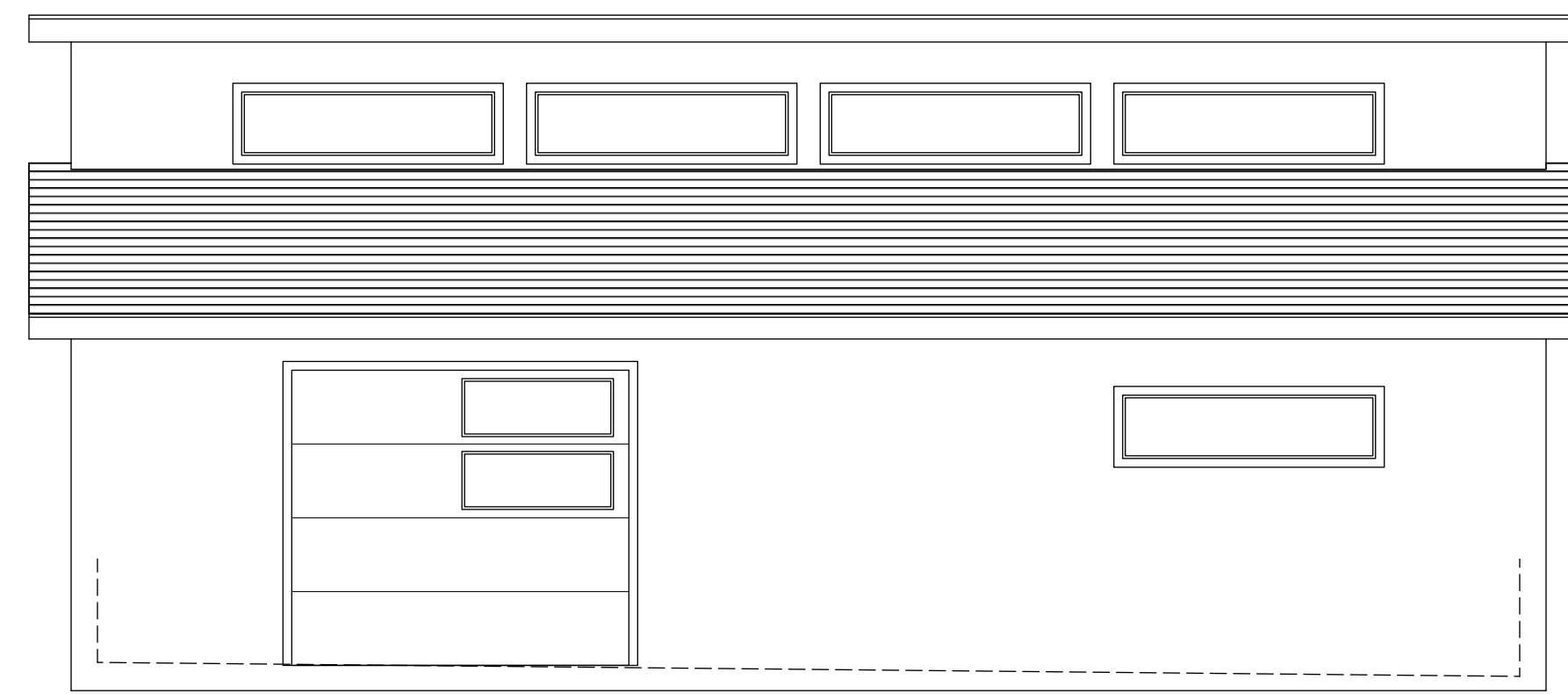
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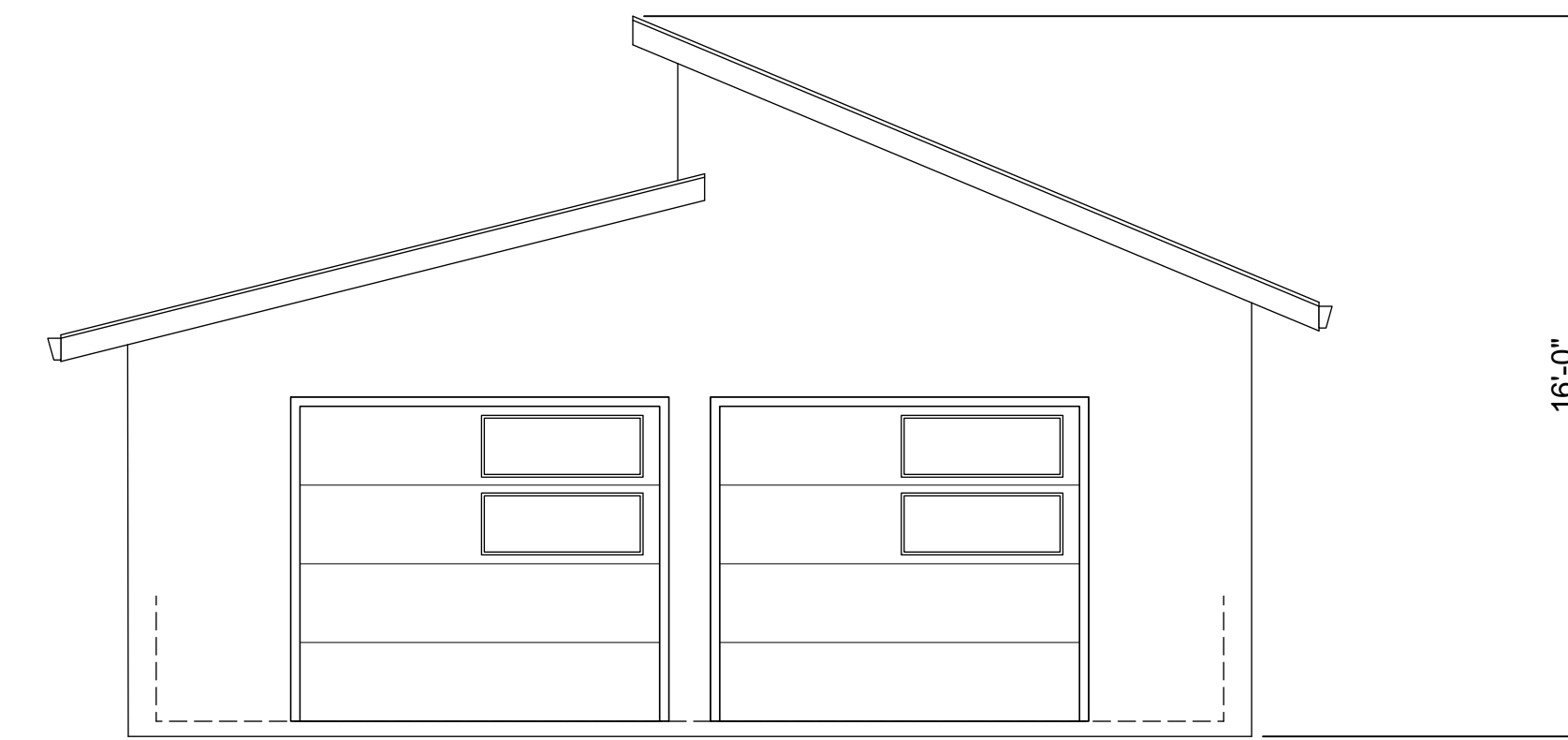
A2.0



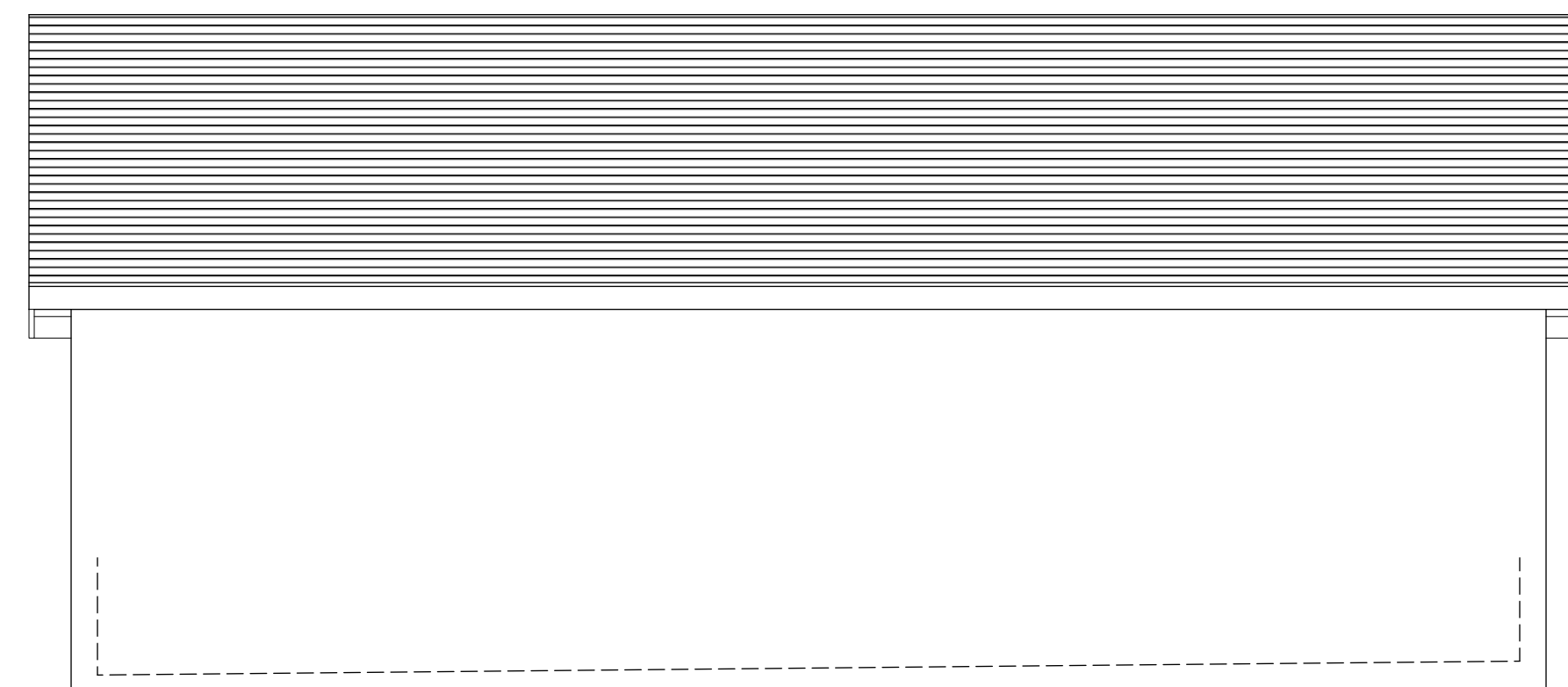


NORTHEAST ELEVATION

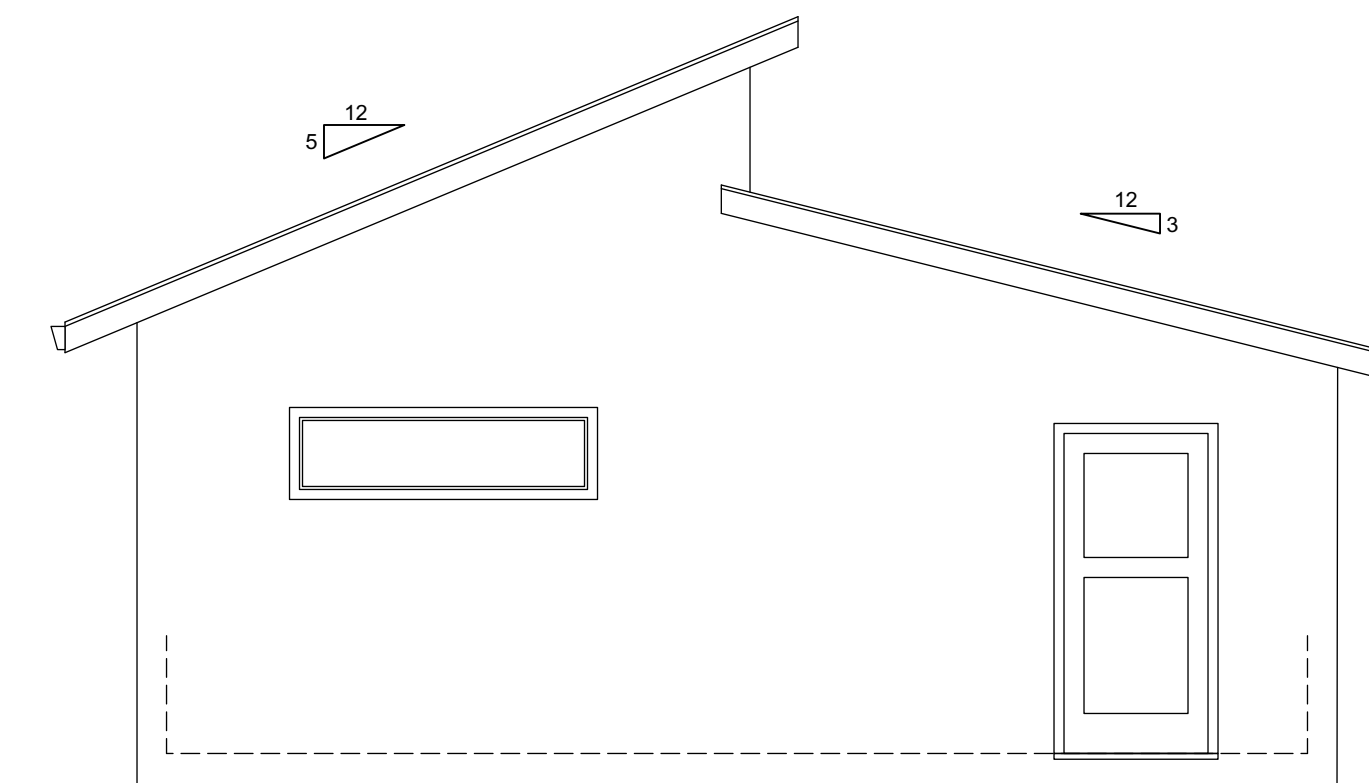
1/4"=1'-0"



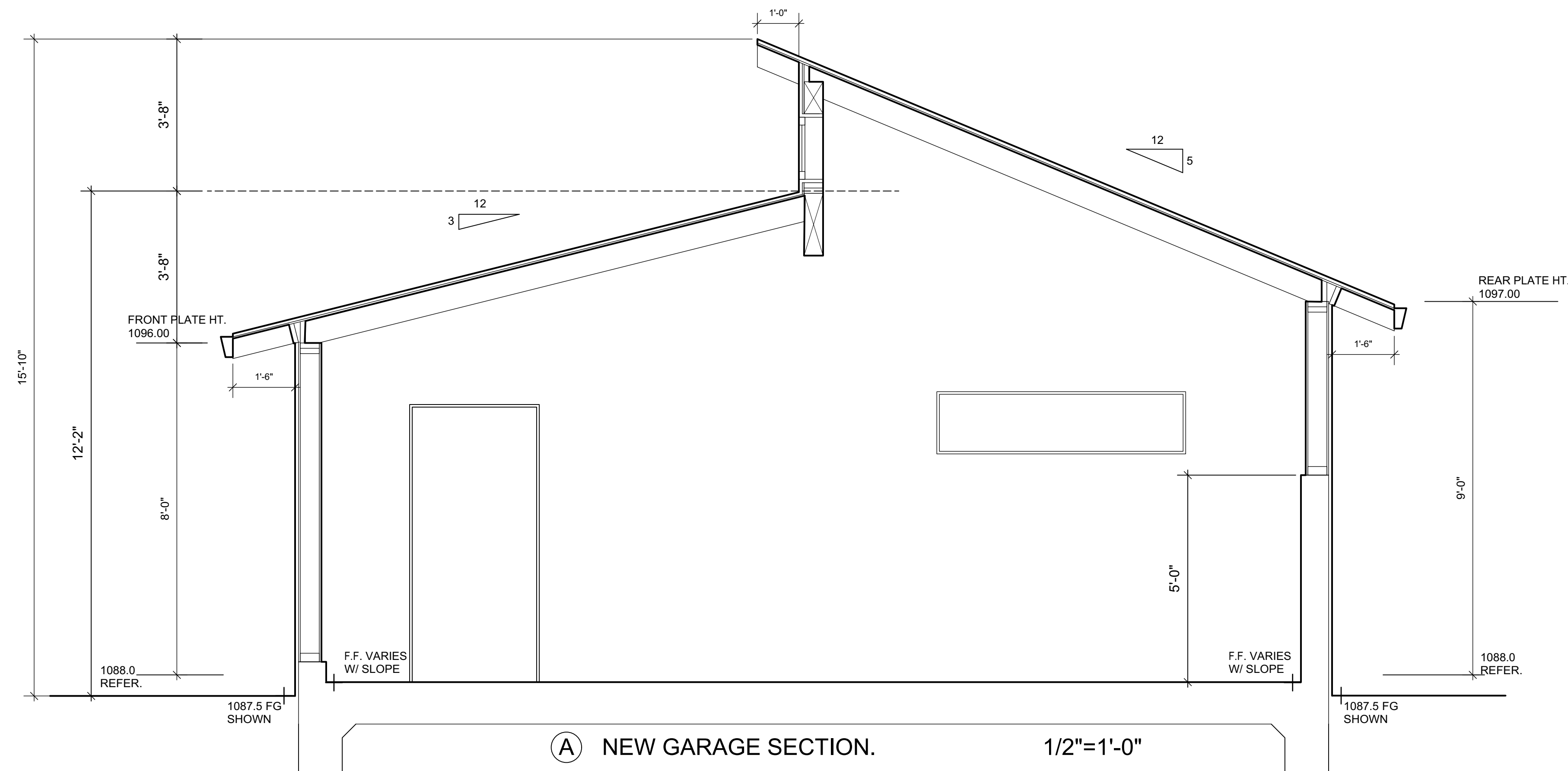
NORTHWEST ELEVATION

$$1/4'' = 1' - 0''$$


SOUTHWEST ELEVATION

$$1/4" = 1'-0"$$


SOUTHEAST ELEVATION

$$1/4" = 1' - 0"$$


(A) NEW GARAGE SECTION.

$$1/2'' = 1'-0''$$

NOTE:
1088.00 IS THE HIGH POINT OF THE
FINISH FLOOR AT THE SOUTHEAST WALL
AND IS USED AS A BASE ELEVATION FOR
PLATE HTS.

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PROPOSED ELEVATIONS

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A3.0

BASIS OF BEARINGS

BASIS OF BEARING FOR THIS MAP IS THE BEARING NOTED AS THE WESTERLY TERMINUS COURSE OF PARCEL II, GRANTED TO THE STATE OF CALIFORNIA, AS CALLED OUT IN DEED DOCUMENT NUMBERS 20420178 & 20631674 OF OFFICIAL RECORDS OF SANTA CLARA COUNTY.
= N 77°57'15" W

THE BOUNDARY SHOWN IS COMPILED FROM RECORD DATA, AND FIELD SURVEY DATA. THE BOUNDARY SHOWN DOES NOT REPRESENT A COMPLETE BOUNDARY SURVEY AND THE BOUNDARY LOCATION MAY CHANGE ONCE A COMPLETE RETRACEMENT SURVEY IS PERFORMED.

RECORD DATA

(100)¹ RECORD DATA PER DOC# 20420178
(100)² RECORD DATA PER DOC# 20631674
(100)³ RECORD DATA PER BOOK 0 PAGES 73 & 74
(100)⁴ RECORD DATA PER DOC# 21658010

SITE SLOPE

S = 0.00229 (11.1) = 17%

WHERE:

S = THE AVERAGE SLOPE IN PERCENT
(I) = CONTOUR INTERVAL IN FEET = 1 FOOT
(L) = COMBINED LENGTH OF CONTOUR LINES IN FEET = 9767 LF
A = GROSS AREA IN ACRES OF PARCEL = 1.296± ACRES

BASIS OF ELEVATIONS

ELEVATIONS SHOWN HEREON ARE ON AN ASSUMED ELEVATION

ABBREVIATIONS

ABS ACRYLONITRILE BUTADIENE STYRENE
AC ASPHALT CONCRETE
APPROX APPROXIMATE
BLDG BUILDING
CONC CONCRETE
Δ DELTA
DBL DOUBLE
DI DRAIN INLET
ELEC ELECTRIC
FD FOUND
GR GRATE
HB HOSEBIB
IP IRON PIPE
JP JOINT POLE
L LENGTH
LP LIQUID PETROLEUM
LS LAND SURVEYOR
MAC MAGNETIC
MON MONUMENT
MTR METER
NT NO TAG
± PLUS OR MINUS
PA PLANTING AREA
PVC POLYVINYL CHLORIDE
R RADIUS
R&M RECORD & MEASURED
RDWD REDWOOD
RSR RISER
SPK SPIKE
THRS THRESHOLD
T.OAK TANBARK OAK
WM WATER METER
WTR WATER
WV WATER VALVE

LEGEND

— CENTERLINE
— CONTOUR (MAJOR)
— CONTOUR (MINOR)
— FENCE LINE
● FIRE HYDRANT
● FOUND MONUMENT AS NOTED
● HOSEBIB
● JOINT POLE
— OLD PROPERTY LINE
— OVERHEAD LINE
— PROPERTY LINE
Δ SET RANDOM NAIL
+46.21 SPOT ELEVATION
— SD STORM DRAIN LINE
● TREE AS NOTED
● VALVE AS NOTED
— W WATER LINE

CONTOUR INTERVAL = 1 FOOT

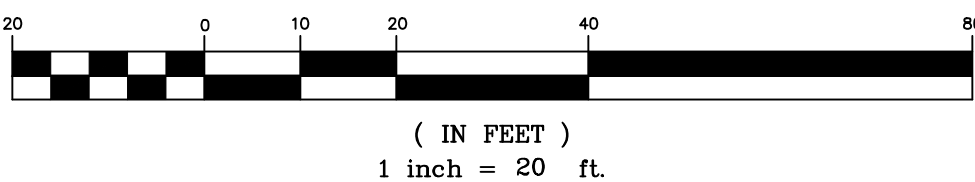
DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF

LINE TABLE		
Line #	Length	Direction
L1	15.00	N 65° 05' 28" E
L2	5.28	N 24° 54' 32" W
L3	15.00	S 65° 05' 28" W

TREE NOTE

ONLY TREES 10 INCHES IN DIAMETER OR GREATER WERE LOCATED AS A PART OF THIS SURVEY. TREE DIAMETERS WERE MEASURED BY THE DIAMETER AT BREAST HEIGHT (DBH) METHOD (4.5 FEET ABOVE GRADE). CAUTION SHOULD BE USED WHEN DESIGNING CLOSELY TO TREE TRUNKS. THERE ARE LIMITATIONS IN FIELD ACCURACY AND DRAFTING ACCURACY AS WELL AS THE "SPREAD" OR "LEAN" OF TREES.

GRAPHIC SCALE



SIGNED
6/07/2018

APN 558-38-005

REVISED			
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS 1011 CEDAR STREET SANTA CRUZ, CA 95060 (831) 426-3560		TOPOGRAPHIC MAP KENNETH KIPLINGER & ALISON ARMSTRONG 20490 SANTA CRUZ HIGHWAY SITUATE IN LOS GATOS, CALIFORNIA	
SCALE 1" = 20'	DRAWN DLN	JOB NO. 25590	SHEET
DATE MAY 7, 2018	CHECKED BFH	INDEX SANTA CLARA	TP-1
DESIGN	DWG NAME 25590TP0	FILE NO. 25590	OF 1