

PRIOR PERMITS
BP 63956

USE PERMIT FOR:
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

GENERAL NOTES

- CONTRACTOR SHALL BECOME COMPLETELY FAMILIAR WITH THE CONSTRUCTION DOCUMENTS PRIOR TO STARTING CONSTRUCTION.
- THE ARCHITECT SHALL BE NOTIFIED OF ANY OMISSIONS OR DISCREPANCIES IN THE WORKING DRAWINGS AND/OR SPECIFICATIONS BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
- ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE SHOWN ON THE PLANS, SECTIONS AND DETAILS.
- SPECIFIC DETAILS AND NOTES TAKE PRECEDENCE OVER STRUCTURAL AND TYPICAL DETAILS.
- WHERE SPECIFIC DETAILS ARE NOT PROVIDED, CONSTRUCTION CAN FOLLOW DETAILS FOR SIMILAR CONDITIONS, UNLESS CONFLICT OCCURS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN INSTALLATION AND MAINTENANCE OF ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS FINALIZED.
- THE CONTRACTOR SHALL PERIODICALLY REMOVE DEBRIS AND CLEAN THE AREA WHERE THEY ARE WORKING.
- THE CONTRACTOR SHALL TURN OVER TO THE OWNER A CLEAN AND COMPLETE JOB. ANY WORK NOT SPECIFICALLY CALLED FOR OR SPECIFIED, BUT NECESSARY TO COMPLY WITH THE INTENT OF QUALITY AND COMPLETENESS SHALL BE PERFORMED AS PART OF THIS PROJECT.
- FIRE EXTINGUISHERS SHALL BE INSTALLED PER UNIFORM FIRE CODE STANDARDS.
- ALL GYP. BD. SHALL BE $\frac{5}{8}$ " U.O.N.
- EXTRA EXIT SIGNS MAY BE REQUIRED DURING FINAL INSPECTION. EXACT LOCATION OF EXIT SIGNS MAY BE ALTERED DURING FINAL INSPECTION

CODES: 2019 CBC - CALIFORNIA BUILDING CODE 2019 CEC - CALIFORNIA ELECTRICAL CODE
2019 CPC - CALIFORNIA PLUMBING CODE 2019 CFC - CALIFORNIA FIRE CODE
2019 CNC - CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA TITLE 24 ENERGY REQUIREMENTS
2019 CALGREEN 2019 CALIFORNIA AMENDMENTS

PROJECT DATA

AP NUMBER: 841-33-009
PROJECT ADDRESS: 305 BLOOMFIELD AVE.
GILROY, CA 95020
OWNER: CHRISTOPHER RANCH LLC
BILL CHRISTOPHER
305 BLOOMFIELD AVE.
GILROY, CA
PARCEL AREA: 2,397,107 S.F. 55.03 ACRES
ALLOWABLE FLOOR AREA RATIO: MAX: 100% = 2,397,107 S.F. MAX. ALLOWABLE
PROPOSED: TO REMAIN THE SAME
LANDSCAPE REQUIREMENT: (E) TO REMAIN, NO (N) LANDSCAPE.
HEIGHT LIMIT: NOT TO EXCEED 35'

(E) OCCUPANCY GROUP: S-1, F-1, B

(N) OCCUPANCY GROUP: S-1, F-1, B

CONSTRUCTION TYPE: TYPE X - B,
SPRINKLERED

NUMBER OF STORIES: 1 STORY

ZONING: A-40Ac-sr (99.9%)

CURRENT USE: Ag PROCESSING, Ag STORAGE, AND SUPPORTING FACILITIES.

PROPOSED USE: SAME

OPERATION: Ag PROCESSING AND STORAGE; SORTING,
CHOPPING, PACKAGING OF Ag PRODUCTS

EMPLOYEES: 785 (ENTIRE SITE)

EMPLOYEE PARKING: EXISTING 431 SPACES
PROPOSED: SAME (UPGRADE PARKING AS
REQUIRED DURING BUILDING PERMIT PROCESS).
NO NEW TRAFFIC GENERATED. NO ADDITIONAL
PARKING STALLS REQUIRED.

TRUCK TRAFFIC: NO INCREASE IN TRAFFIC

SEWER SERVICE PROVIDER: SEPTIC ON SITE

WATER SERVICE PROVIDER: PRIVATE WELLS ON SITE

BUILDING HEIGHTS (VARIES): EXISTING TO REMAIN

PROJECT DESCRIPTION

SITE HISTORY:
THE ENTIRE SITE IS USED FOR Ag PROCESSING AND STORAGE, WITH ASSOCIATED
OFFICES TO SERVE THE Ag PROCESSING AND STORAGE FUNCTIONS.

GENERAL REASON FOR PROJECT:

IN ORDER TO MAKE PROGRESS ON THE CURRENT COMPLIANCE AGREEMENT,
CHRISTOPHER RANCH HAS AGREED TO INCREMENTALLY BRING AG EXEMPT
STRUCTURES INTO COMPLIANCE. ADDITIONALLY EXISTING BREAK ROOM AND
RESTROOMS ARE INADEQUATE AND NEED TO BE UPGRADED TO PROVIDE
ADEQUATE AND SAFE EMPLOYEE SERVICES (BREAK ROOM AND RESTROOMS) FOR
EXISTING EMPLOYEES ON SITE.

DESCRIPTION/EXTENT OF WORK TO BE PERFORMED, INCLUDING
DEMOLITION OF EXISTING ELEMENTS:

- DEMOLISH THE FOLLOWING EXISTING BUILDINGS ON SITE, INCLUDING:

1. (E) Ag PROCESSING SHED BUILDING 'L'	9,278 SF
2. (E) OFFICE BUILDING NEXT TO BUILDING 'L'	1,756 SF
3. (E) OFFICE/CONFERENCE BUILDING, NEXT TO BUILDING 'L'	1,157 SF
4. (E) GARLIC GRADING BUILDING 'M'	12,800 SF
	24,991 SF (DEM)

- OBTAIN PROPER BUILDING PERMITS AND CERTIFICATE OF OCCUPANCY FOR
BUILDINGS IDENTIFIED IN COMPLIANCE AGREEMENT

MATERIALS AND FINISHES:

METAL BUILDINGS WITH CORRUGATED METAL WALL PANELS AND METAL PANEL
ROOFING

T.C.
TYP.
U.O.N.
UNLESS OTHERWISE NOTED

W/
W.C.
W/O
WITH
WATER CLOSET
WITHOUT

PROJECT TEAM

OWNER
CHRISTOPHER RANCH
CONTACT: JASON CHRISTOPHER
PHONE: (408) 848-9282

GENERAL CONTRACTOR
SSB CONSTRUCTION
CONTACT: MATT HUMPHREYS
PHONE: (831) 424-1647

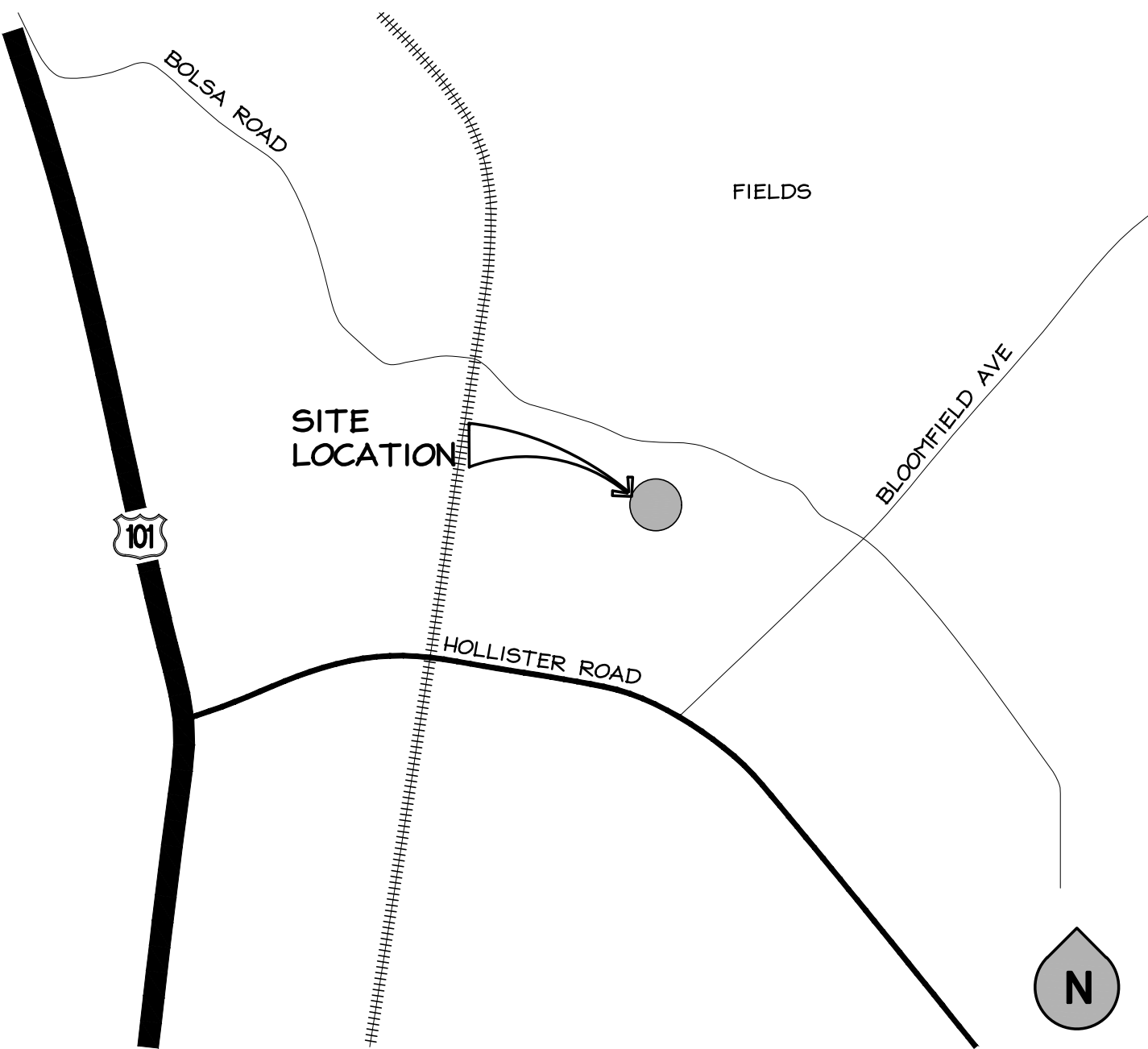
ARCHITECT
BELLI ARCHITECTURAL GROUP
CONTACT: LINO BELLI
PHONE: (831) 424-4620
FAX: (831) 424-4408

SHEET INDEX

T.I. TITLE SHEET

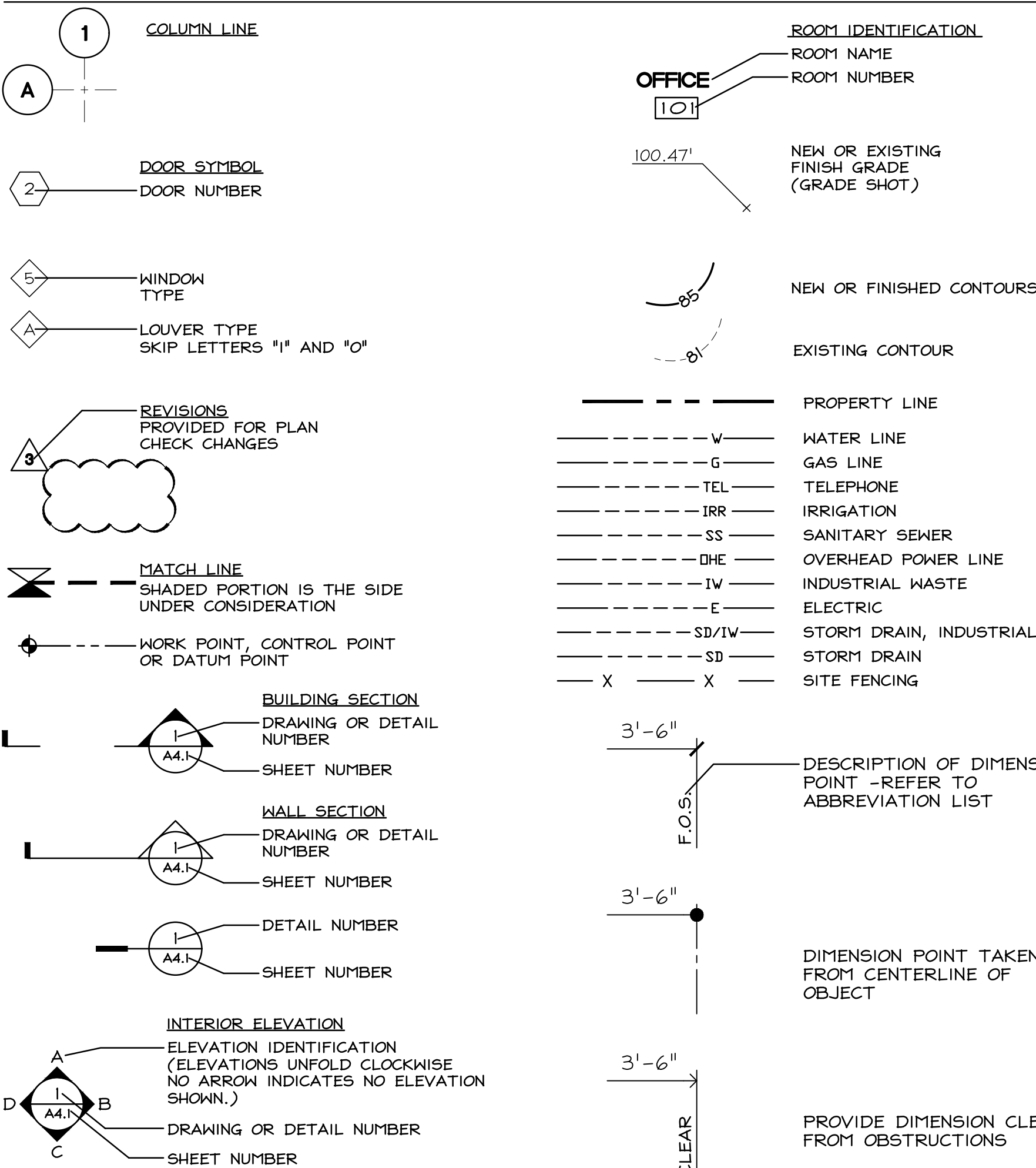
ARCHITECTURAL

A1.1	SITE PLAN
A2.1	EXISTING & PROPOSED FLOOR PLAN/ELEVATIONS - BUILDING A
A2.2	EXISTING & PROPOSED FLOOR PLAN/ELEVATIONS - BUILDING B
A2.3	EXISTING & PROPOSED FLOOR PLAN/ELEVATIONS - BUILDING D
A2.4	EXISTING & PROPOSED FLOOR PLAN/ELEVATIONS - BUILDING E
A2.5	EXISTING & PROPOSED FLOOR PLAN/ELEVATIONS - BUILDING G
A2.6	EXISTING & PROPOSED FLOOR PLAN/ELEVATIONS - BUILDING H
A2.7	EXISTING & PROPOSED FLOOR PLAN/ELEVATIONS - BUILDING J
A2.8	EXISTING & PROPOSED FLOOR PLAN/ELEVATIONS - BUILDING ORT
A2.9	DEMOLITION & PROPOSED FLOOR PLAN/ELEVATIONS - BUILDING S
A2.10	EXISTING & PROPOSED FLOOR PLAN/ELEVATIONS - BUILDING U
A2.11	EXISTING & PROPOSED FLOOR PLAN/ELEVATIONS - BUILDING W
A2.12	EXISTING & PROPOSED FLOOR PLAN/ELEVATIONS - BUILDING Y
A2.13	EXISTING & PROPOSED FLOOR PLAN/ELEVATIONS - BUILDING Z
A2.14	EXISTING & PROPOSED FLOOR PLAN/ELEVATIONS - BUILDING AA
A2.15	EXISTING & PROPOSED FLOOR PLAN/ELEVATIONS - BUILDING AB
A2.16	EXISTING & PROPOSED FLOOR PLAN/ELEVATIONS - BUILDING AE
A2.17	EXISTING & PROPOSED FLOOR PLAN/ELEVATIONS - BUILDING CA
A2.18	EXISTING & PROPOSED FLOOR PLAN/ELEVATIONS - BUILDING LR2

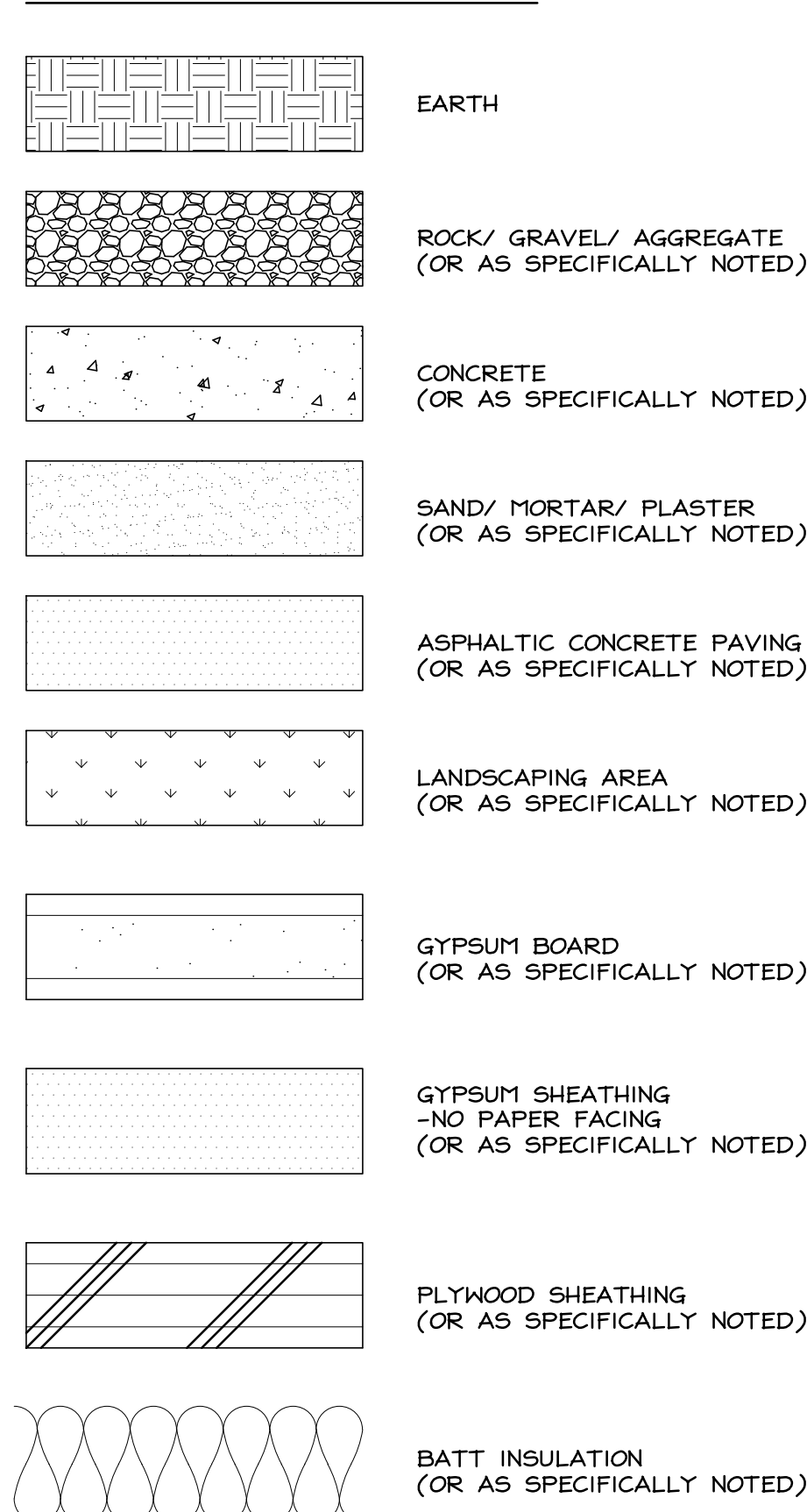


VICINITY MAP

SYMBOLS



MATERIALS



ABBREVIATIONS

#	AND	HR.	HOOR
L	ANGLE	HGT.	HEIGHT
@	AT	I.B.C.	INSTALLED BY CONTRACTOR
Φ	CENTERLINE	I.D.	INSIDE DIAMETER (DIM)
⊥	DIAMETER OR ROUND	I.M.P.	INSULATED METAL PANEL
#	PERPENDICULAR	IN.	INCH
(E)	POUND OR NUMBER	INT.	INSULATION
(N)	EXISTING	JT.	INTERIOR
	NEW	LAV.	JOINT
		LT.	LAMINATE
			LAVATORY
			LIGHT
ARCH.	ARCHITECTURAL	MAX.	MAXIMUM
ASPH.	ASPHALT	MECH.	MECHANICAL
BD.	BOARD	MET.	METAL
BLDG.	BUILDING	MFR.	MANUFACTURER
BLK.	BLOCK	MIN.	MINIMUM
BLKG	BLOCKING	MISC.	MISCELLANEOUS
BM.	BEAM	MTD.	MOUNTED
BOT.	BOTTOM		
BTWN.	BETWEEN	N.	NORTH
CEM.	CEMENT	N.I.C.	NOT IN CONTRACT
C.I.	CAST IRON	NO. OR #	NUMBER
C.J.	CONSTRUCTION JOINT	N.T.S.	NOT TO SCALE
CLG.	CEILING		
CLR.	CLEAR		
C.M.U.	CONCRETE MASONRY UNIT		
COL.	COLUMN	O.C.	ON CENTER
CONC.	CONCRETE	OPNG.	OPENING
CONT.	CONTINUOUS		
CTR.	CENTER	PRCST.	PRECAST
DBL.	DOUBLE	PL.	PLATE
DEPT.	DEPARTMENT	P. LAM.	PLASTIC LAMINATE
DET.	DETAIL	PLYWD.	PLYWOOD
DIA.	DIAMETER	P.S.I.	POUNDS PER SQUARE INCH
DIM.	DIMENSION	PR.	PAIR
DOWN	DOWN	PT.	POINT
DR.	DOOR	RAD.	RADIUS
DS.	DOWNSPOUT	R.D.	ROOF DRAIN
DWG.	DRAWING	REINF.	REINFORCED
		REQ.	REQUIRED
EA.	EACH	RESIL.	RESILIENT
E.J.	EXPANSION JOINT	RM.	ROOM
EL.	ELEVATION	R.O.	ROUGH OPENING
ELEC.	ELECTRICAL	S.	SOUTH
ELEV.	ELEVATOR	SCHED.	SCHEDULE
EMER.	EMERGENCY	SECT.	SECTION
EQUAL	EQUAL	SHT.	SHEET
EXIST.	EXISTING	SIM.	SIMILAR
EXT.	EXTERIOR	SPEC.	SPECIFICATION
F.A.	FIRE ALARM	SQ.	SQUARE
F.D.	FLOOR DRAIN	STD.	STANDARD
F.E.	FIRE EXTINGUISHER	STL.	STEEL
F.E.C	FIRE EXTINGUISHER CABINET		
FIN.	FINISH		
FL.	FLOOR		
F.O.C	FACE OF CONCRETE		
F.O.F	FACE OF FINISH		
F.O.M.	FACE OF MASONRY		
F.O.S.	FACE OF STRUCTURE		
FT.	FOOT OR FEET		
FTG.	FOOTING		
GA.	GAUGE		
GALV.	GALVANIZED		
GL.	GLASS		
GYP.	GYP.		
H.C.	HOLLOW CORE		
HDR.	HEADER		
HDND.	HARDWOOD		
HDNE.	HARDWARE		
H.M.	HOLLOW METAL		
HORIZ.	HORIZONTAL		

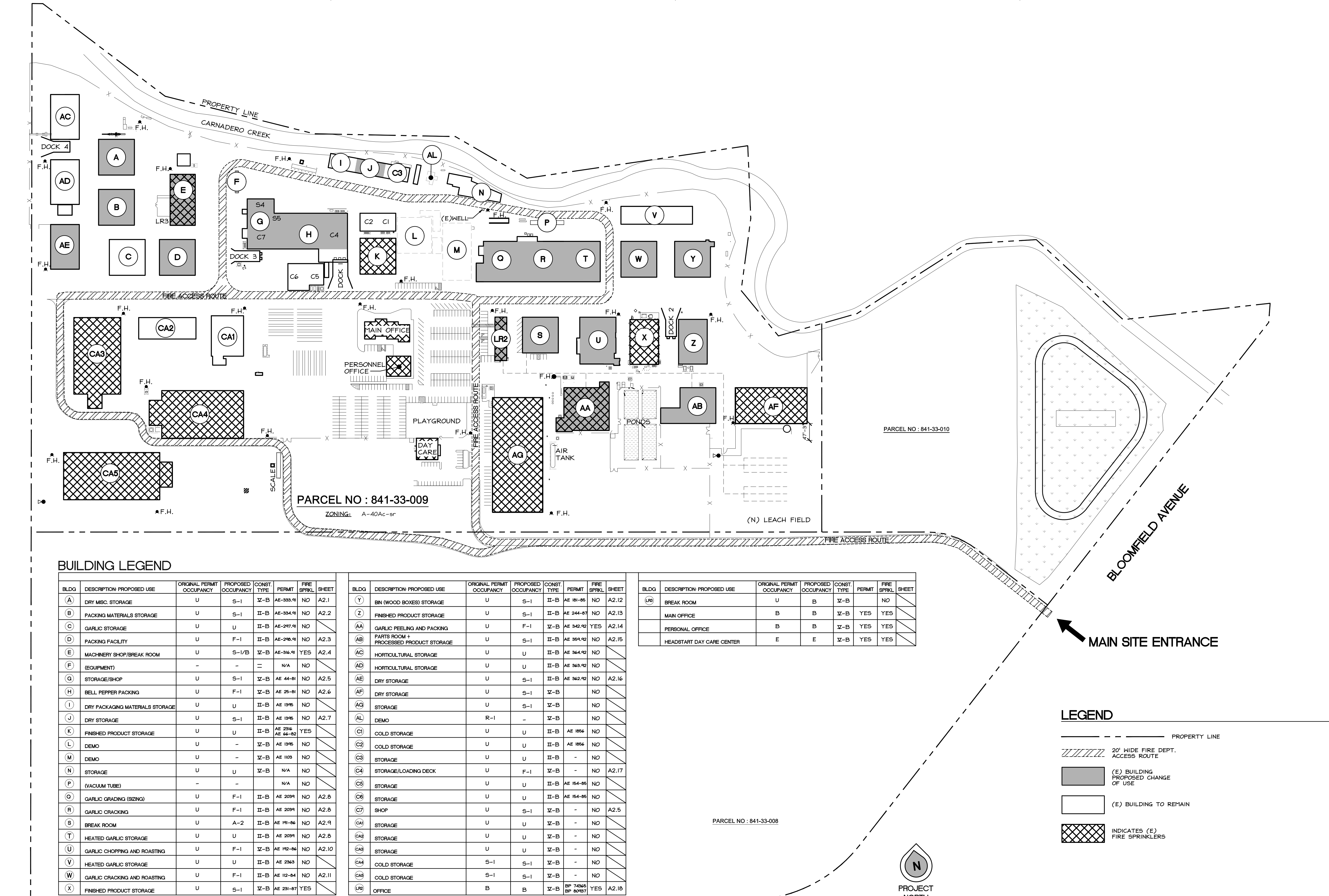
REVISIONS	DATE	BY	DESCRIPTION

BELLI ARCHITECTURAL GROUP 831.424.4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLAGCOM

Belli architectural group

TITLE SHEET
OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE	07/08/20
SCALE	NONE
DRAWN	JC
JOB	18055
SHEET	T1.1
OF	SHEETS



1 SITE PLAN
SCALE: 1" = 120'-0"

REVISIONS

DATE

BY

DESCRIPTION

Belli Architectural Group 831.424.4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIGROUP.COM

architectural group

SITE PLAN

OVERALL SITE - BUILDING USES

CHRISTOPHER RANCH

305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE

07/08/20

SCALE

AS NOTED

DRAWN

JC

JOB

18055

SHEET

A1.1

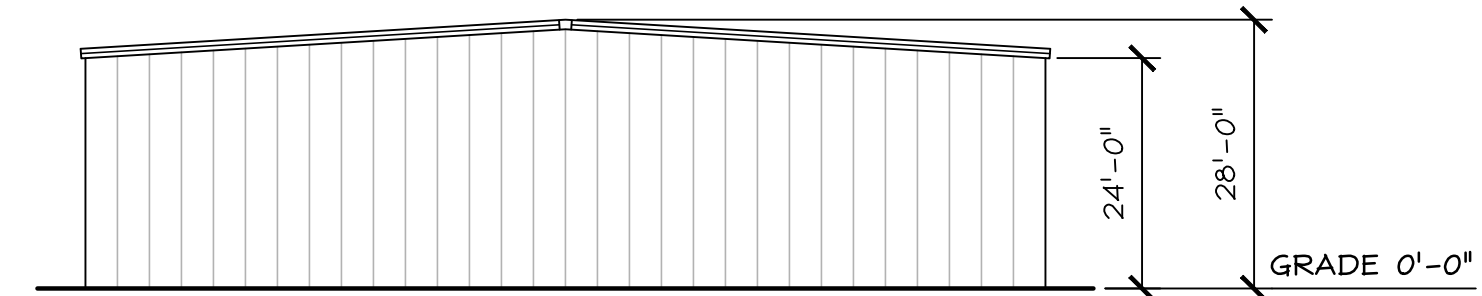
OF

SHEETS

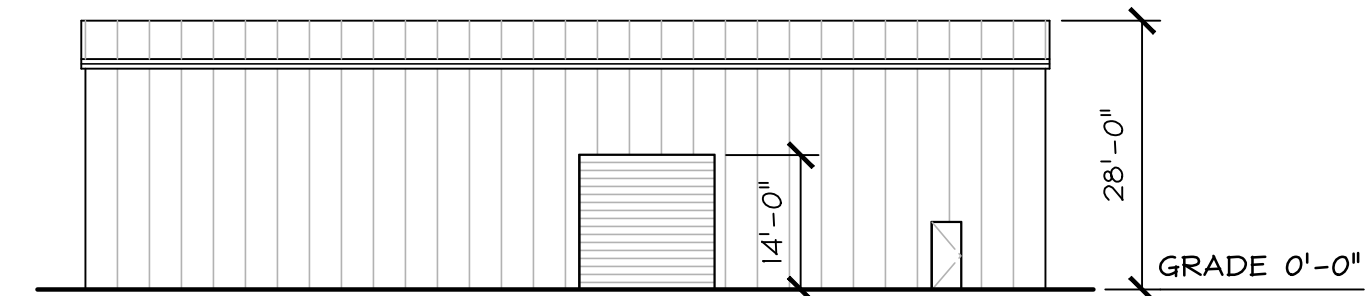
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

PROPOSED

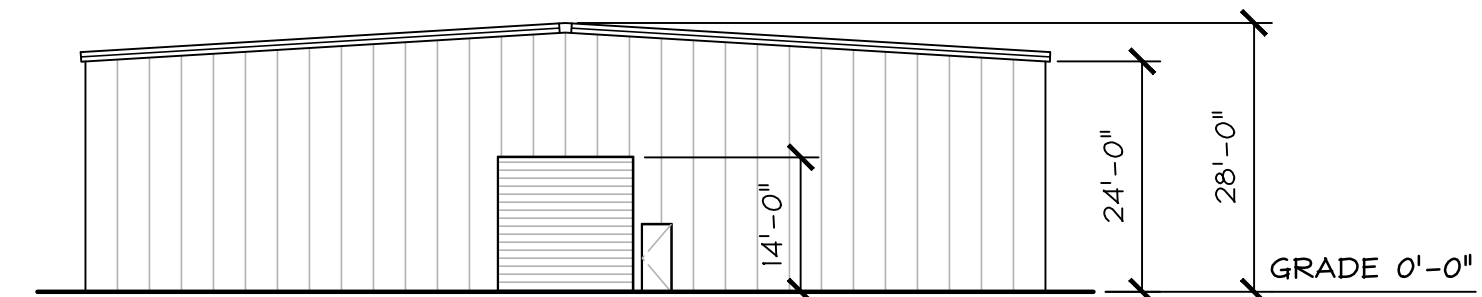
BUILDING A



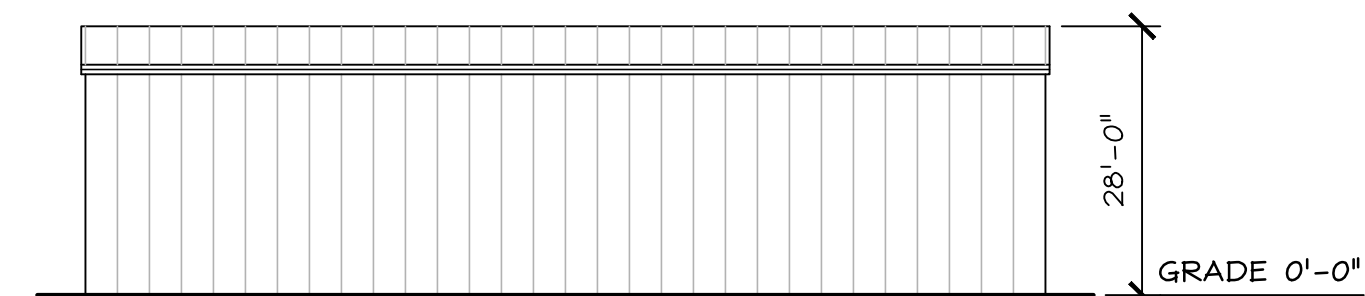
A **PROPOSED ELEVATION - NORTH**
SCALE: 1" = 20'-0"



B PROPOSED ELEVATION - EAST
SCALE: 1" = 20'-0"



C PROPOSED ELEVATION - SOUTH
SCALE: 1" = 20'-0"

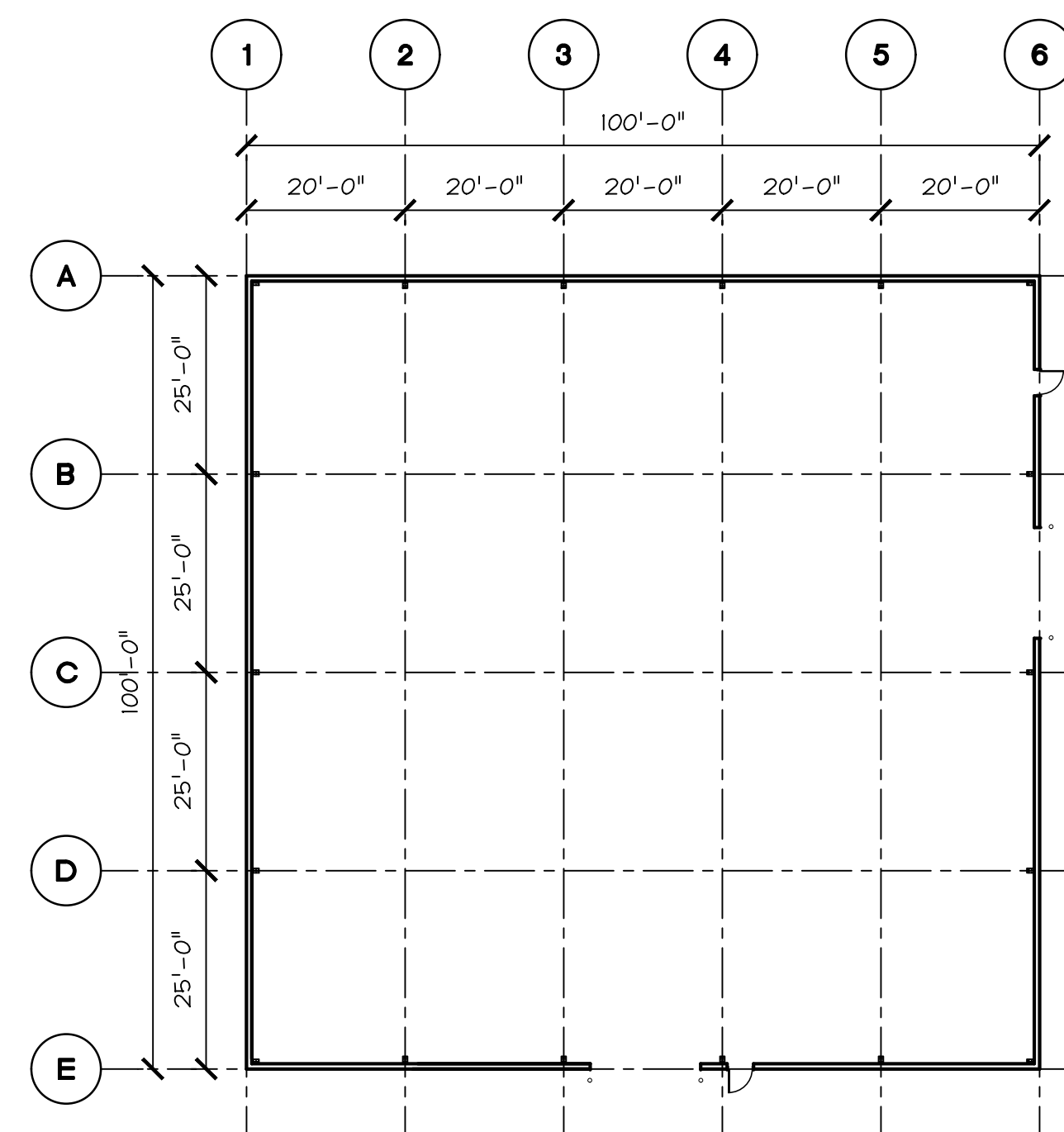


D PROPOSED ELEVATION - WEST
SCALE: 1" = 20'-0"


PROPOSED

BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
(A)	S-1	10,000	1/500	20	2	4"

SCOPE OF WORK



PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR
PROPOSED S-1 OCCUPANCY



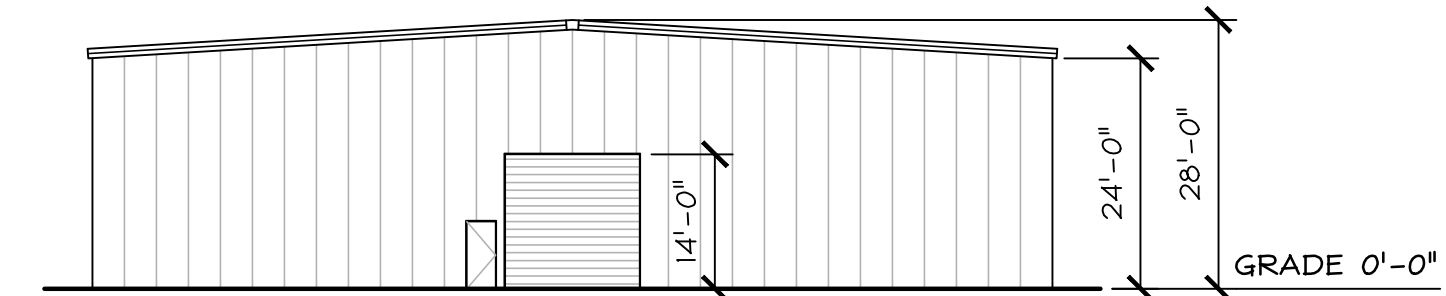
PROJECT
NORTH

2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING A (DRY MISC. STORAGE)
SCALE: 1" = 20'-0"

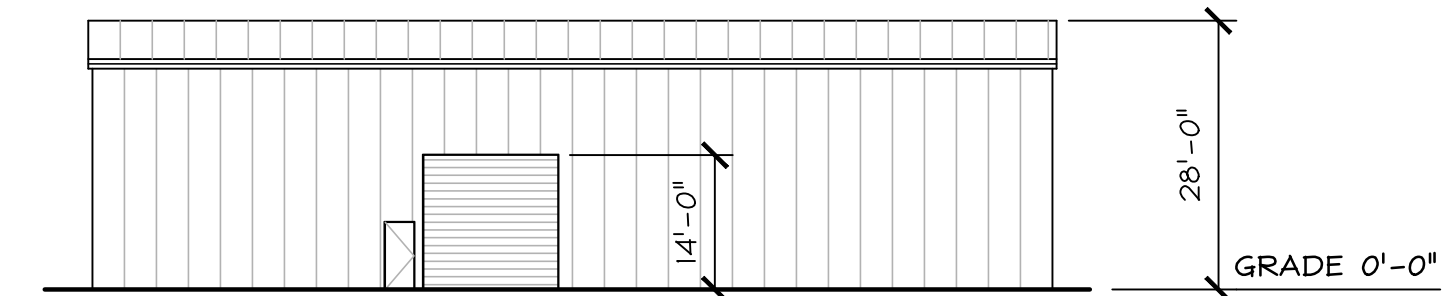
DATE	07/08/20
SCALE	AS NOTED
DRAWN	JN/YP
JOB	18055
SHEET	A2.1
OF	SHEETS

PROPOSED

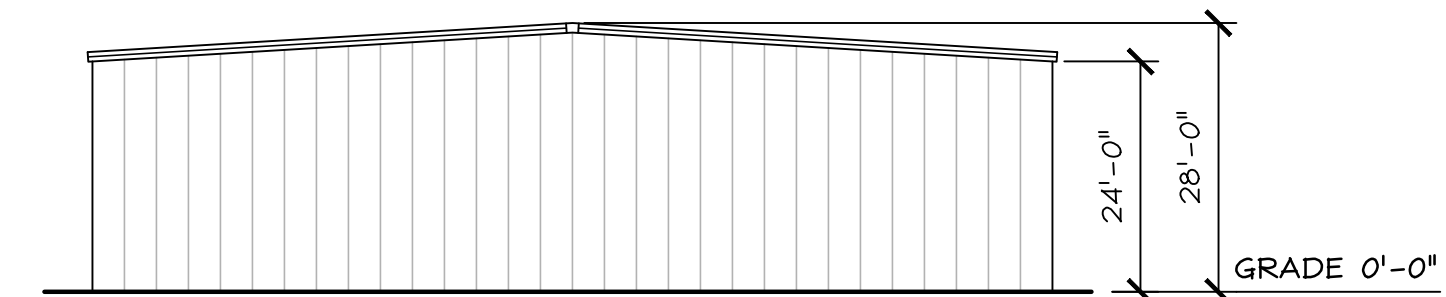
BUILDING B



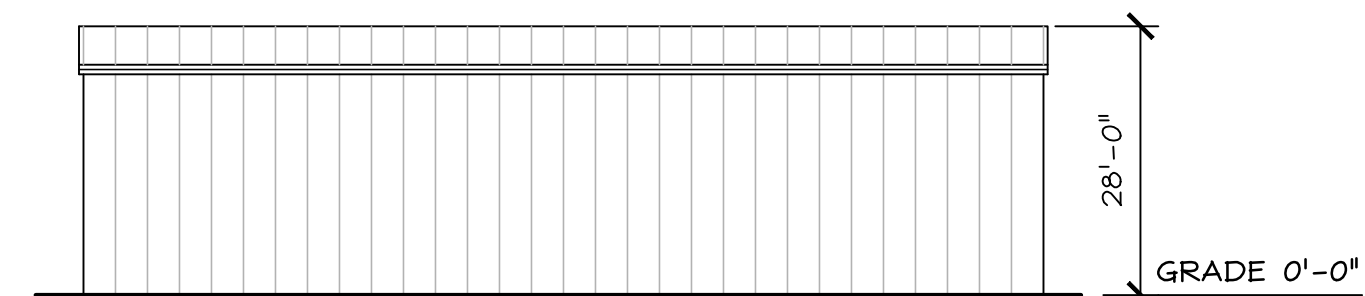
A **PROPOSED ELEVATION - NORTH**
SCALE: 1" = 20'-0"



B PROPOSED ELEVATION - EAST
SCALE: 1" = 20'-0"



C PROPOSED ELEVATION - SOUTH
SCALE: 1" = 20'-0"

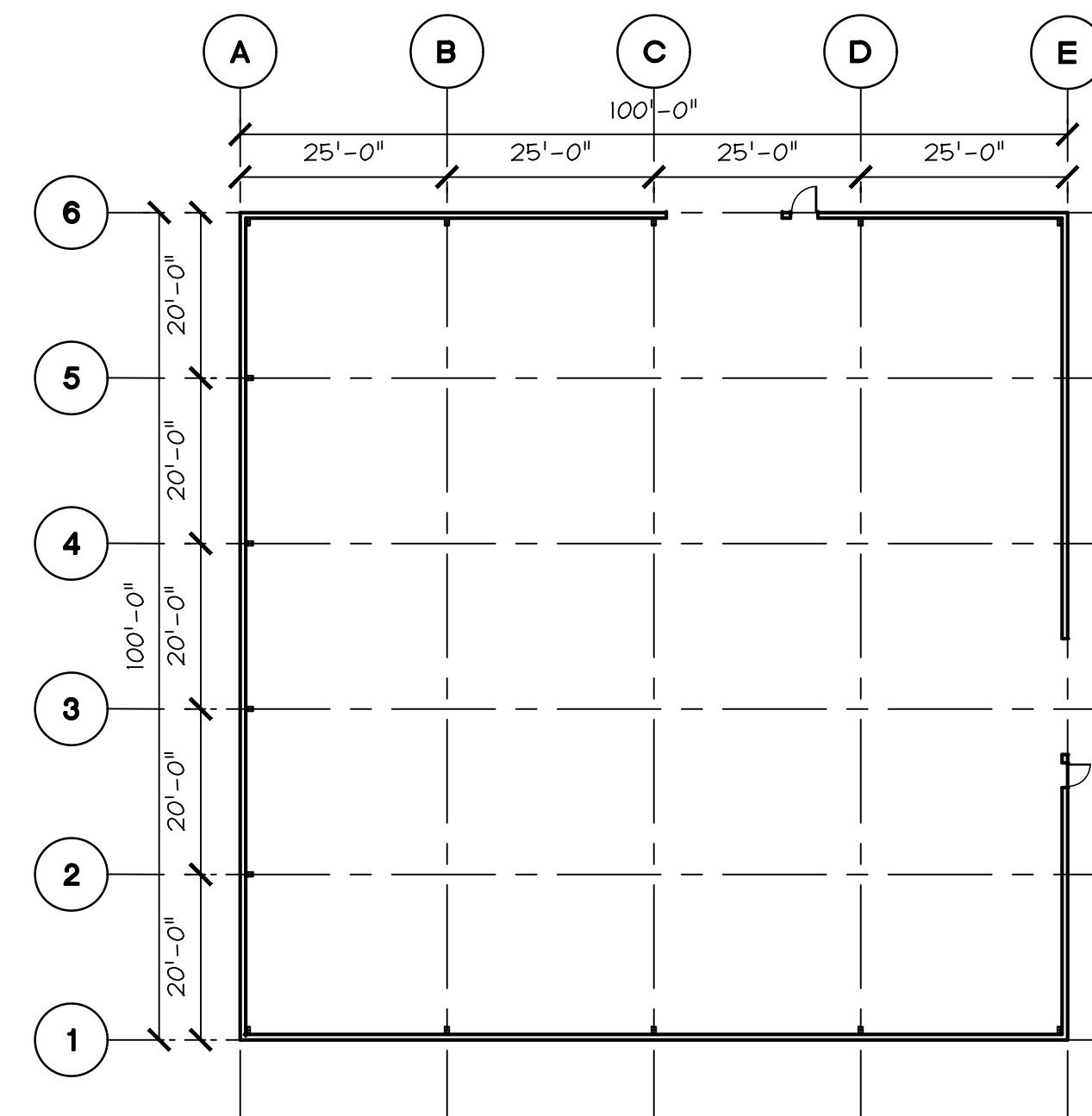


D PROPOSED ELEVATION - WEST
SCALE: 1" = 20'-0"

BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
⑧	U	10,000	1/300	33.3	2	6.66"

BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
⑧	S-1	10,000	1/500	20	2	4"

NO DEMO WORK PROPOSED



BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
(B)	S-1	10,000	1/500	20	2	4"

— PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR PROPOSED S-1 OCCUPANCY

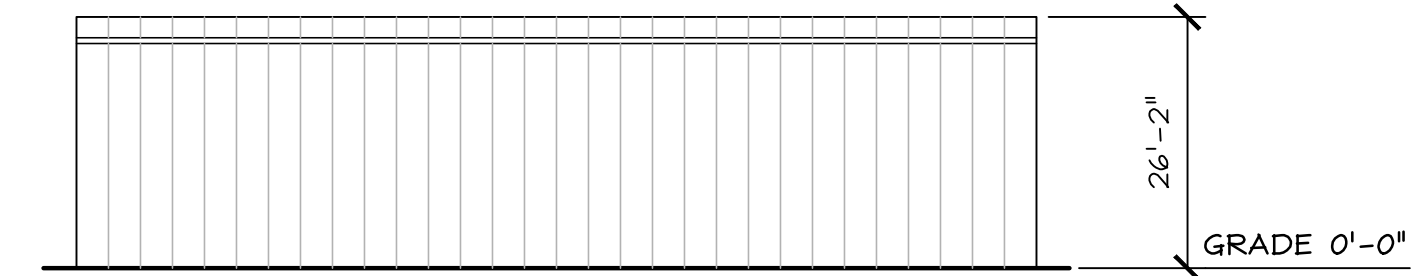


2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING B (PACKING MATERIALS STORAGE)
SCALE: 1" = 20'-0"

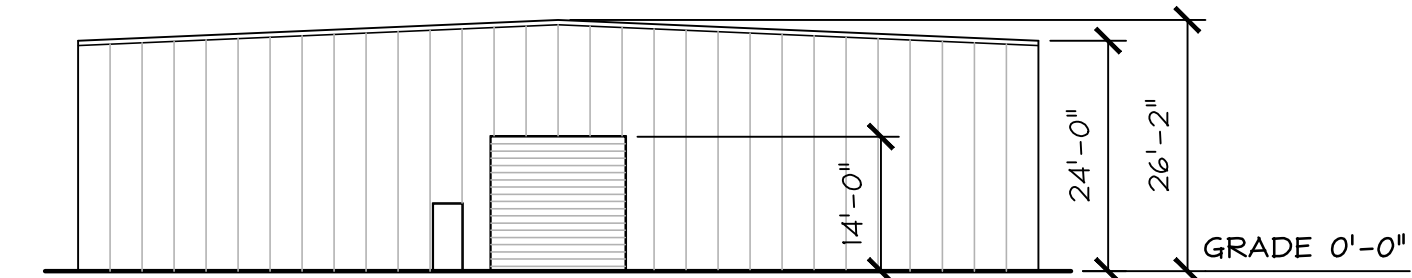
OF SHEETS

PROPOSED

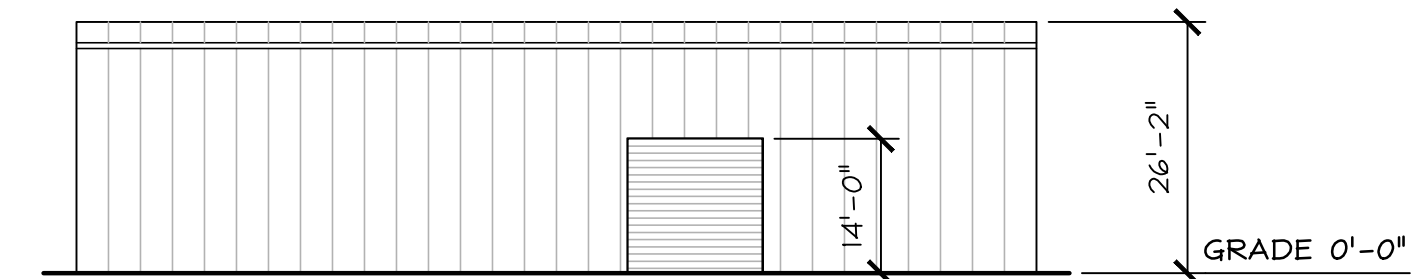
BUILDING D



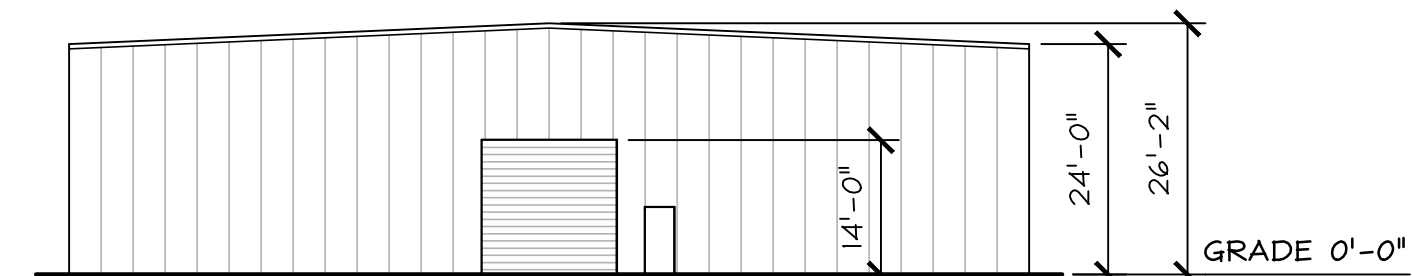
A **PROPOSED ELEVATION - NORTH**
SCALE: 1" = 20'-0"



B PROPOSED ELEVATION - EAST
SCALE: 1" = 20'-0"



C PROPOSED ELEVATION - SOUTH
SCALE: 1" = 20'-0"

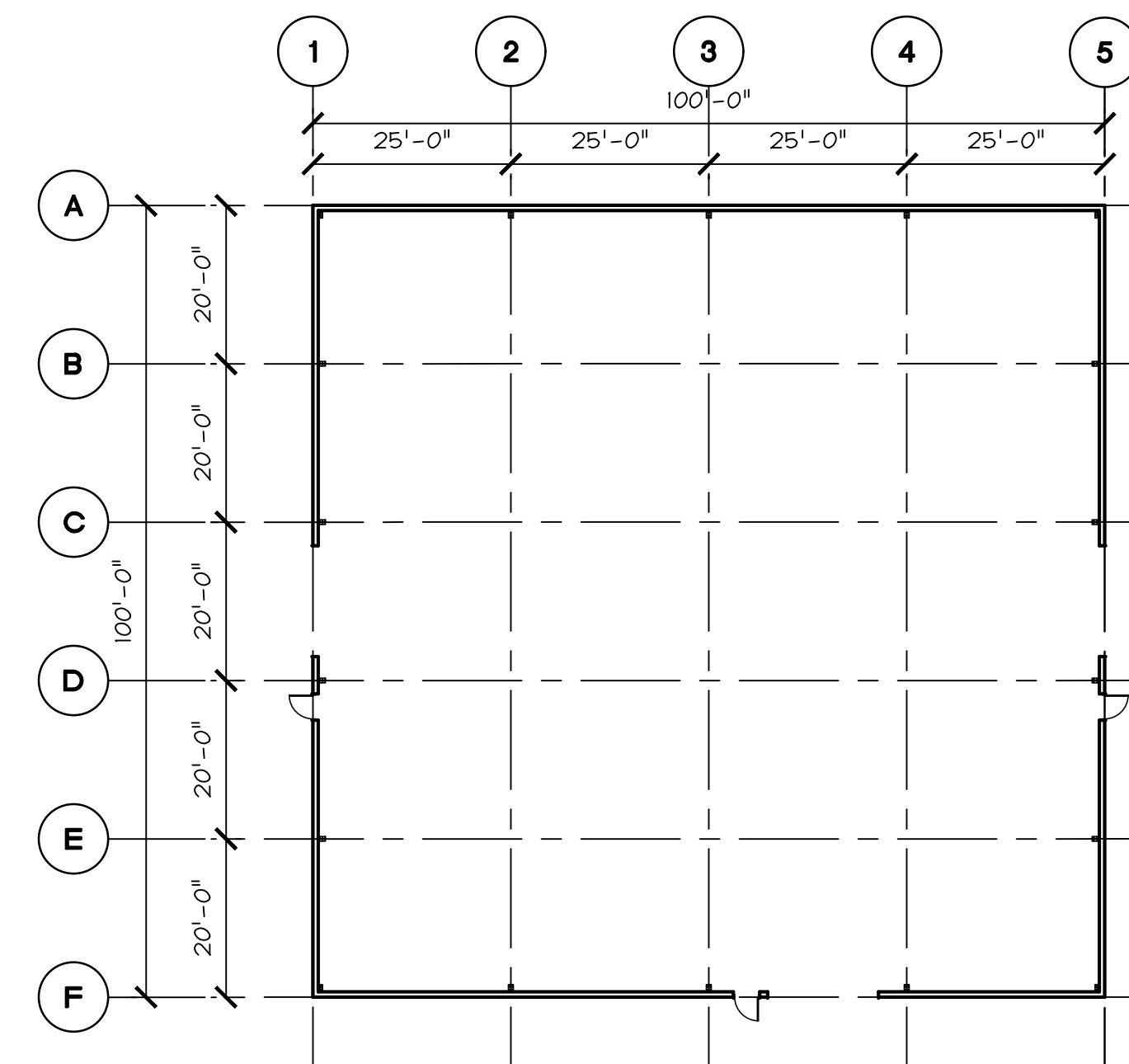


D PROPOSED ELEVATION - WEST
SCALE: 1" = 20'-0"

BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
(D)	U	10,000	1/300	33.3	2	6.66 ^h

BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
(D)	F-1	10,000	1/100	100	2	20"

NO DEMO WORK PROPOSED



BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
(D)	F-1	10,000	1/100	100	2	20"

PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR
PROPOSED F-I OCCUPANCY

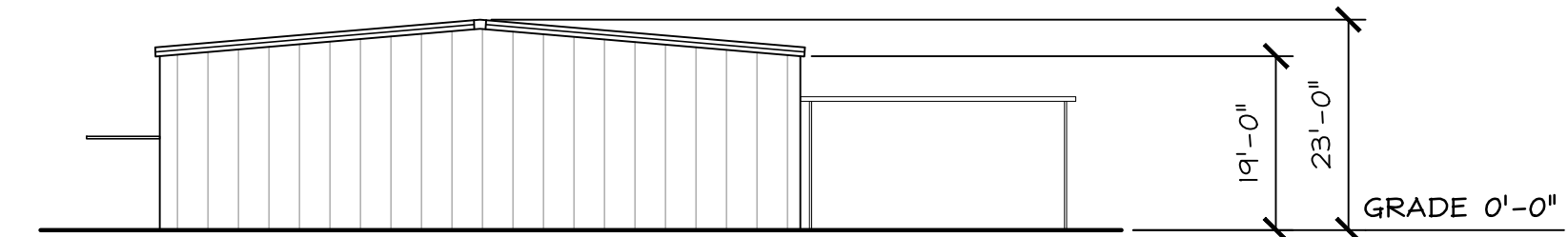


2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING D (PACKING FACILITY)
SCALE: 1" = 20'-0"

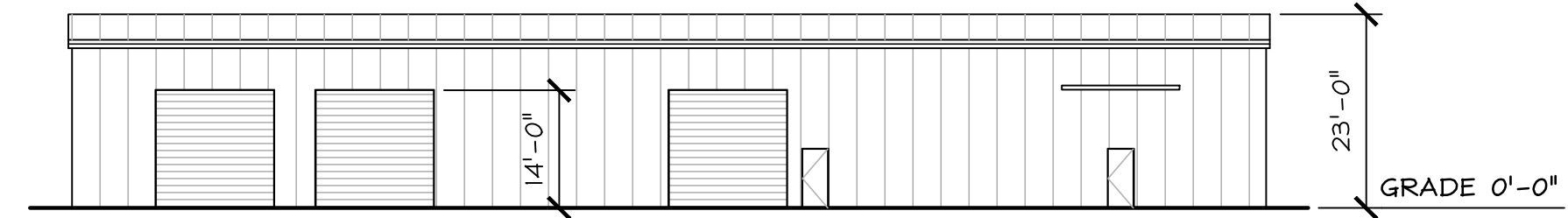
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PROPOSED

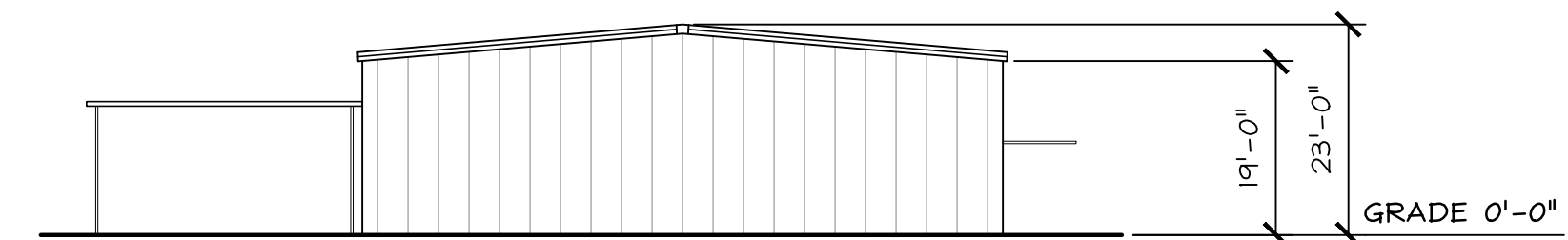
BUILDING E



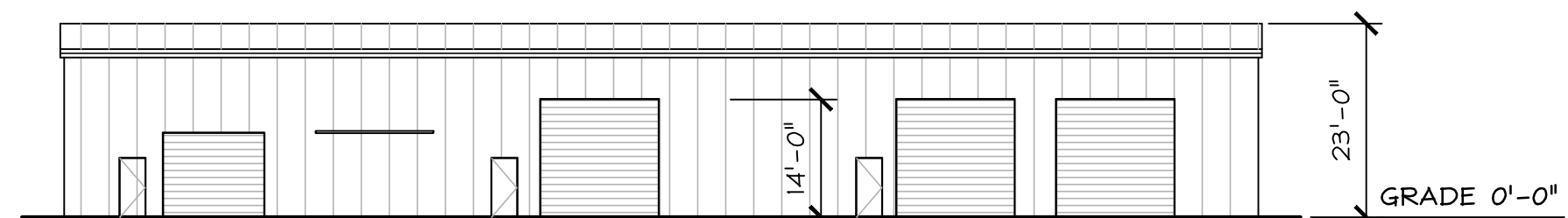
A **PROPOSED ELEVATION - NORTH**
SCALE: 1" = 20'-0"



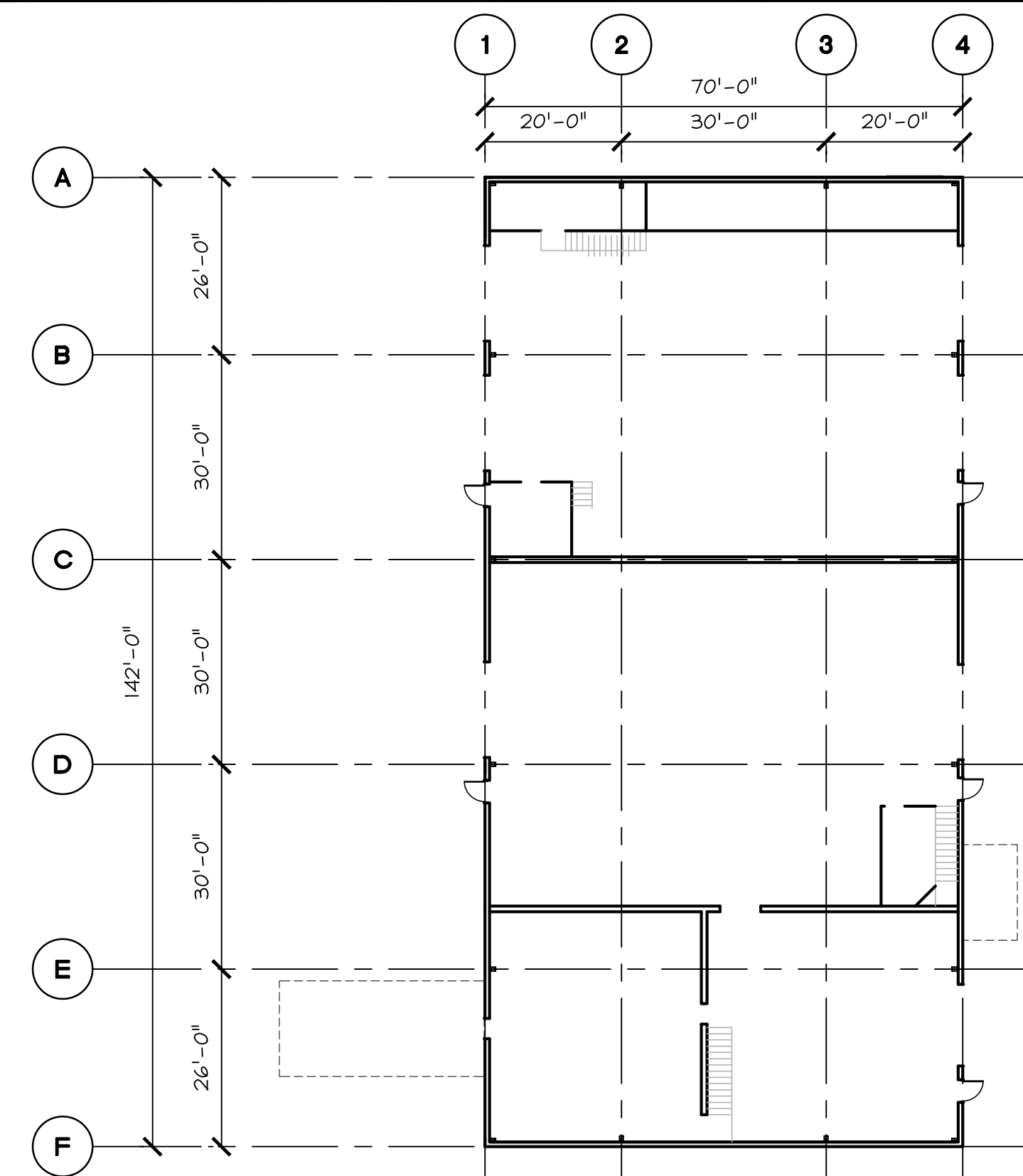
B PROPOSED ELEVATION - EAST
SCALE: 1" = 20'-0"



PROPOSED ELEVATION - SOUTH
SCALE: 1" = 20'-0"



D PROPOSED ELEVATION - WEST
SCALE: 1" = 20'-0"



PROPOSED

BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
(E)	S-1/B	9,940	1/500	19.88	2	3.976"

SCOPE OF WORK

SCOPE OF WORK

PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR PROPOSED S-1/B OCCUPANCY

PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR
PROPOSED S-I/B OCCUPANCY

NO DEMO WORK PROPOSED



2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING E (MACHINERY SHOP/BREAKROOM)
SCALE: 1" = 20'-0"

REVISIONS	DATE	BY	DESCRIPTION

BELLI ARCHITECTURAL GROUP 831 . 424 . 4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIA.G.COM



EXISTING & PROPOSED FLOOR PLAN/ELEV. - BUILDING E

OVERALL SITE - BUILDING USES

CHRISTOPHER RANCH

305 BLOOMFIELD AVENUE
GILROY, CA 95020

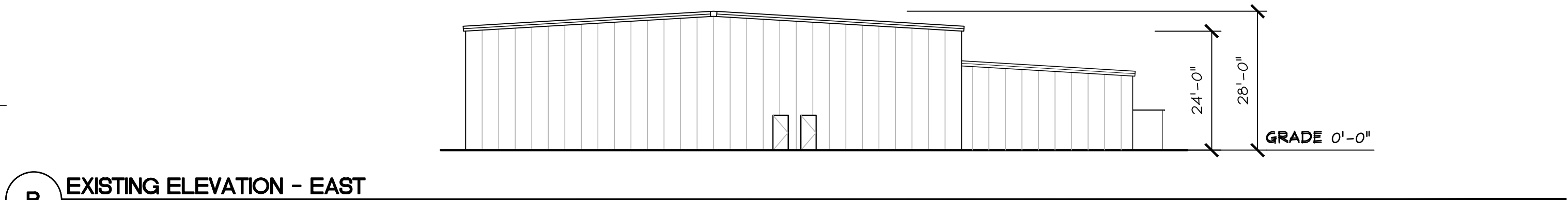
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SCALE	AS NOTED
DRAWN	JN/YP
JOB	18055
SHEET	

A2.4

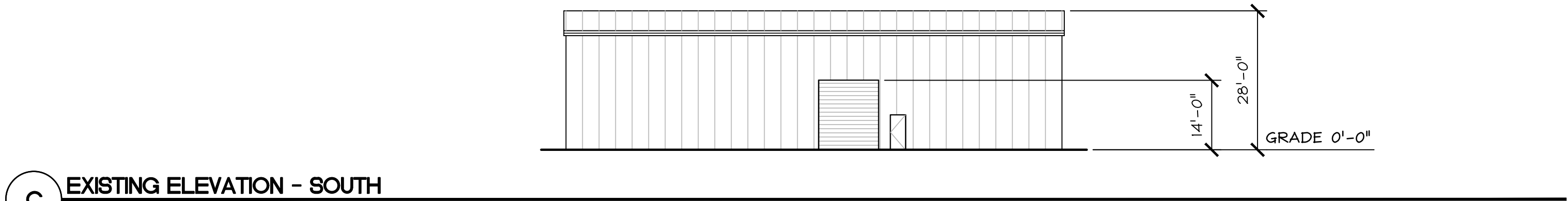
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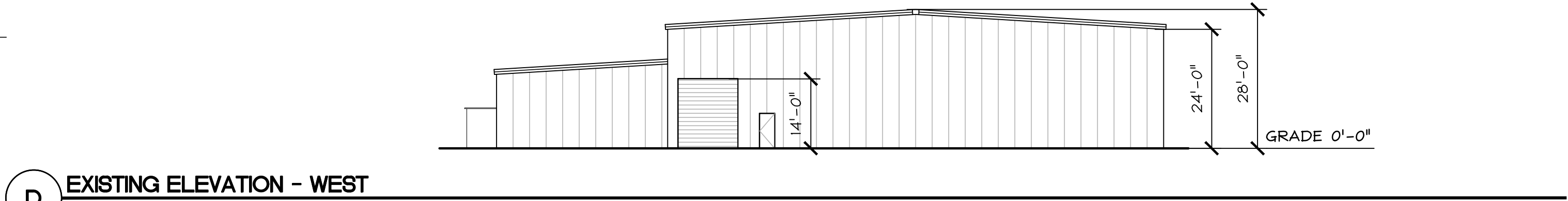
A EXISTING ELEVATION - NORTH
SCALE 1" = 20'-0"



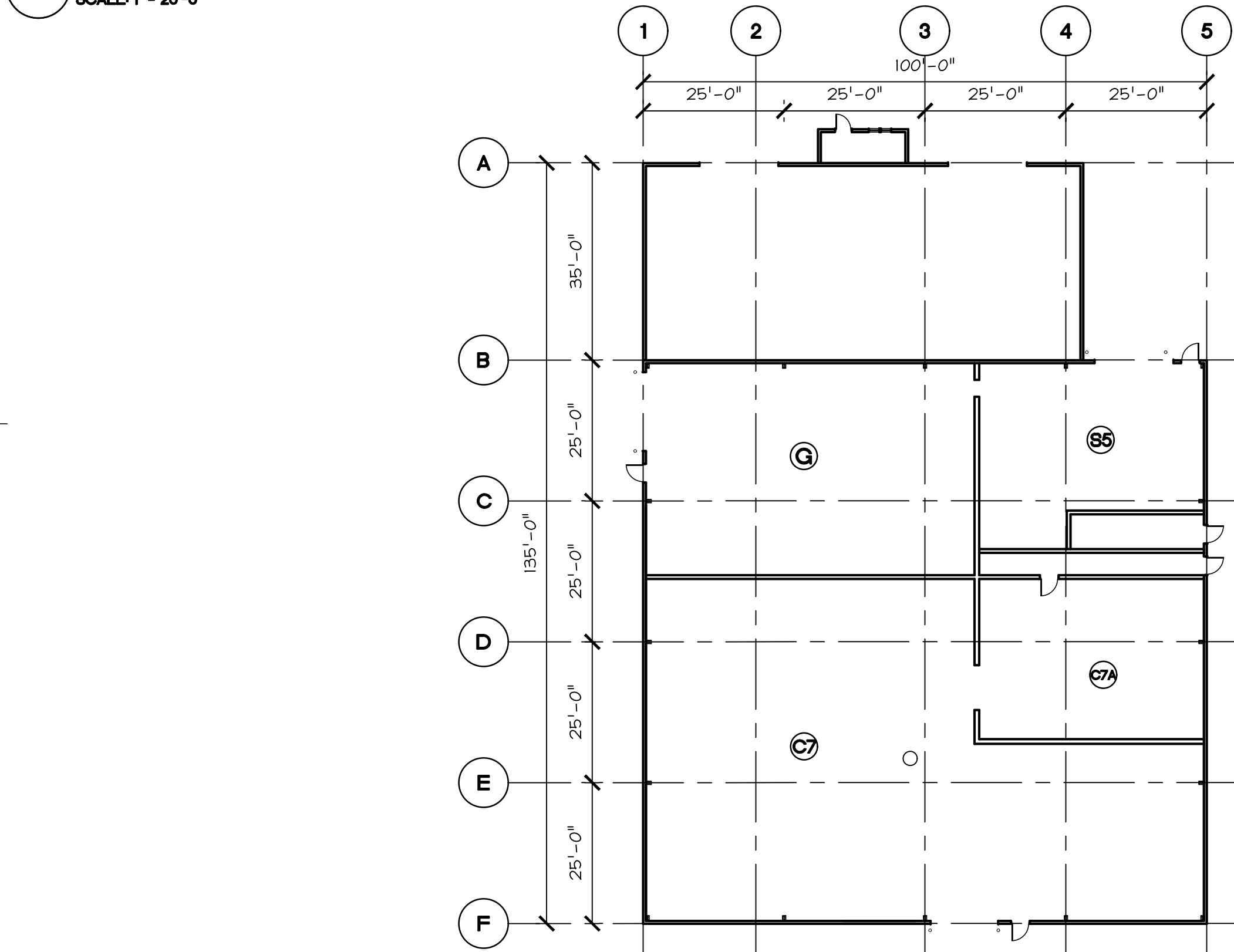
B EXISTING ELEVATION - EAST
SCALE 1" = 20'-0"



C EXISTING ELEVATION - SOUTH
SCALE 1" = 20'-0"



D EXISTING ELEVATION - WEST
SCALE 1" = 20'-0"



1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING G
SCALE 1" = 20'-0"

ORIGINAL PERMIT

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
ⓐ	U	12,830	1/300	42.8	2	8.56"

EXISTING

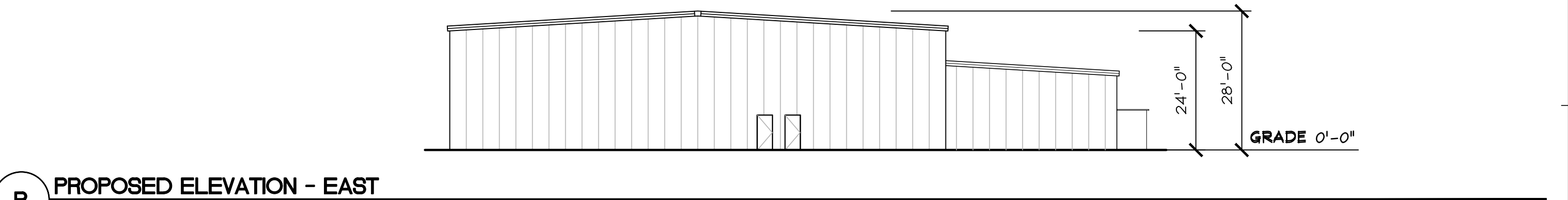
BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
ⓐ	S-1	12,830	1/500	25.66	2	5.132"

SCOPE OF DEMOLITION

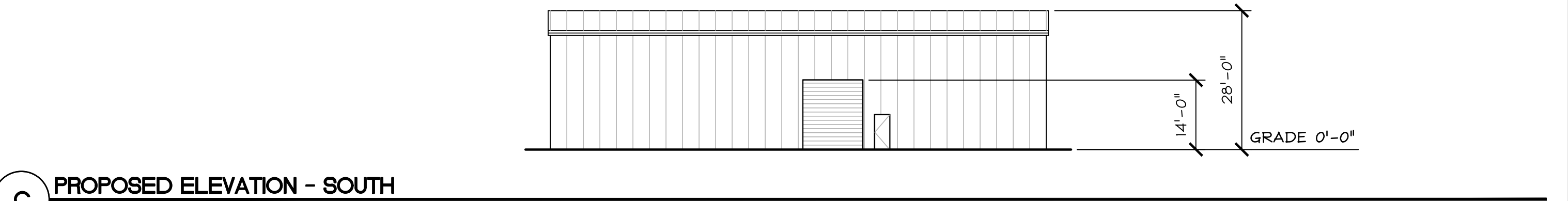
NO DEMO WORK PROPOSED



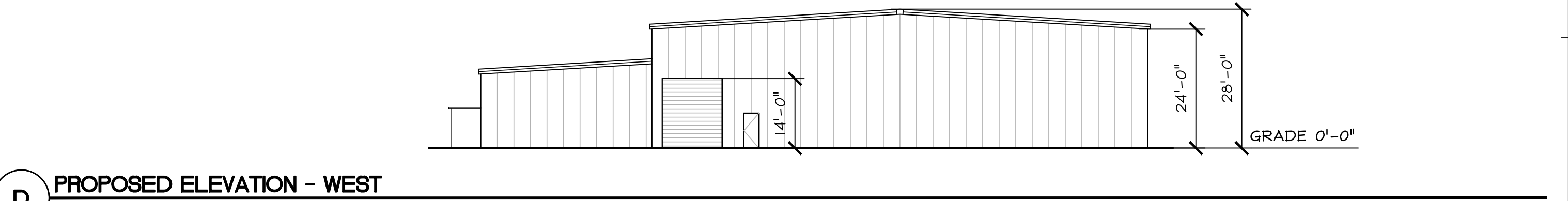
A PROPOSED ELEVATION - NORTH
SCALE 1" = 20'-0"



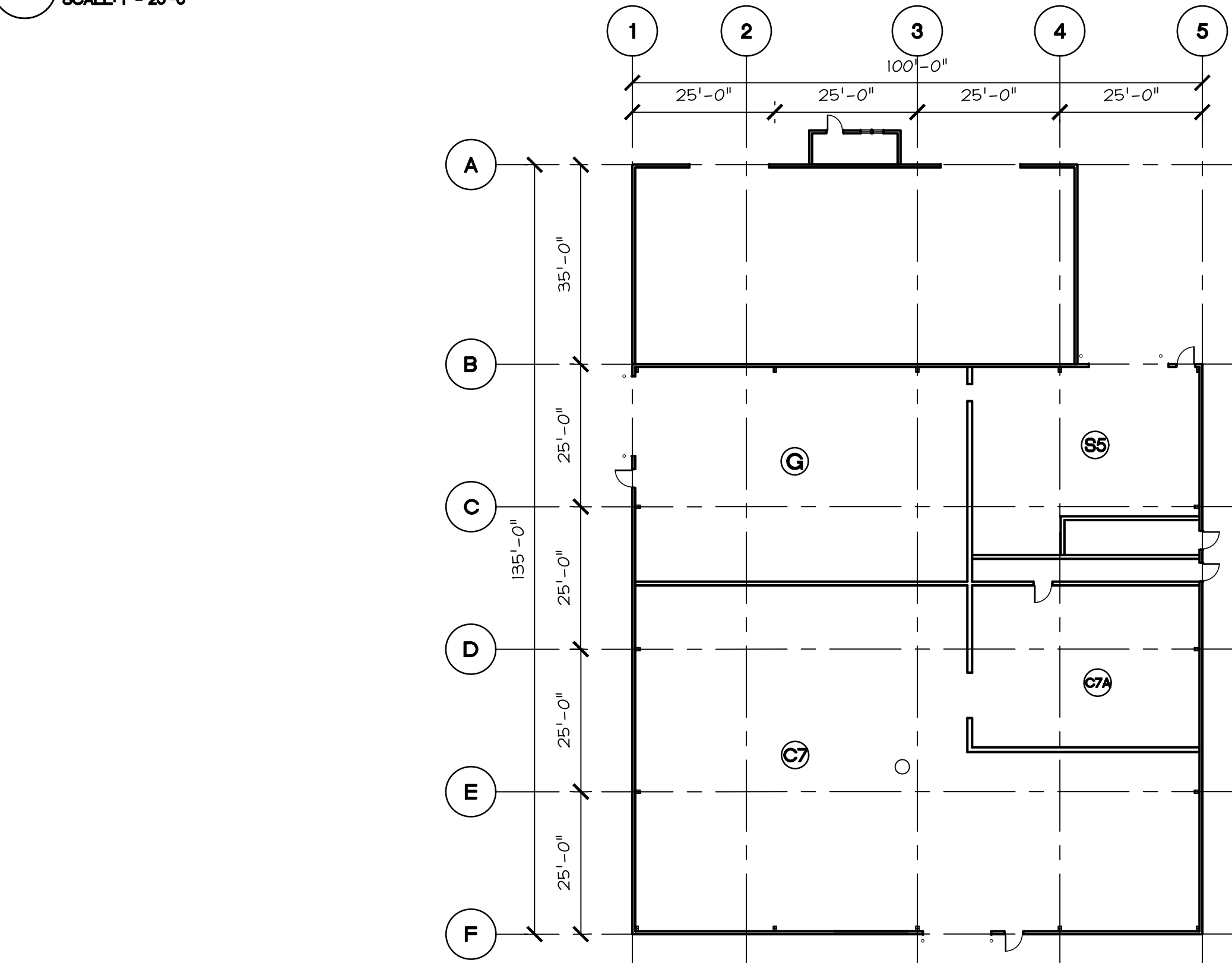
B PROPOSED ELEVATION - EAST
SCALE 1" = 20'-0"



C PROPOSED ELEVATION - SOUTH
SCALE 1" = 20'-0"



D PROPOSED ELEVATION - WEST
SCALE 1" = 20'-0"



2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING G (STORAGE/SHOP)
SCALE 1" = 20'-0"

PROPOSED

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
ⓐ	S-1	12,830	1/500	25.66	2	5.132"

SCOPE OF WORK

PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR PROPOSED S-1 OCCUPANCY



BUILDING G

REVISIONS	DATE	BY	DESCRIPTION

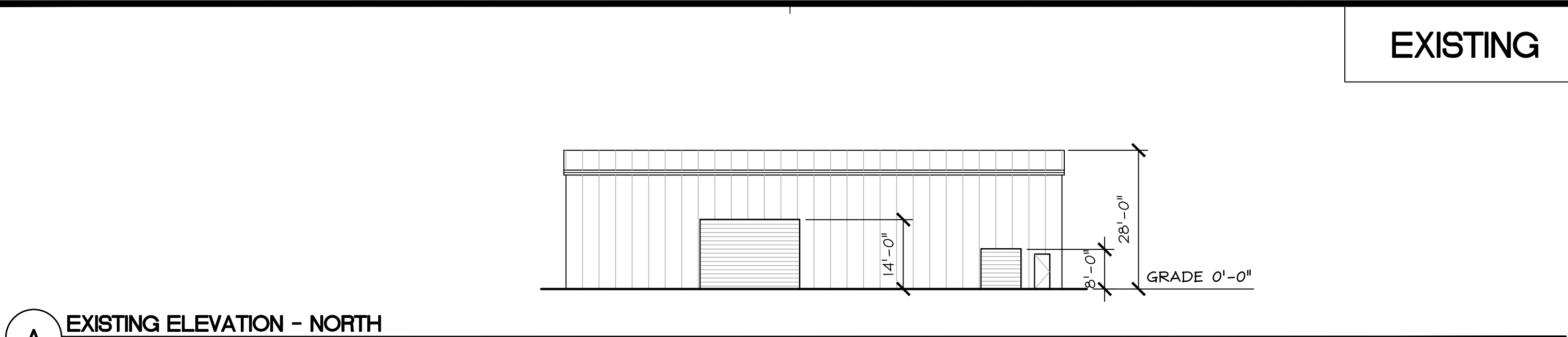
BELLI ARCHITECTURAL GROUP 831 . 424 . 4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLAG.COM



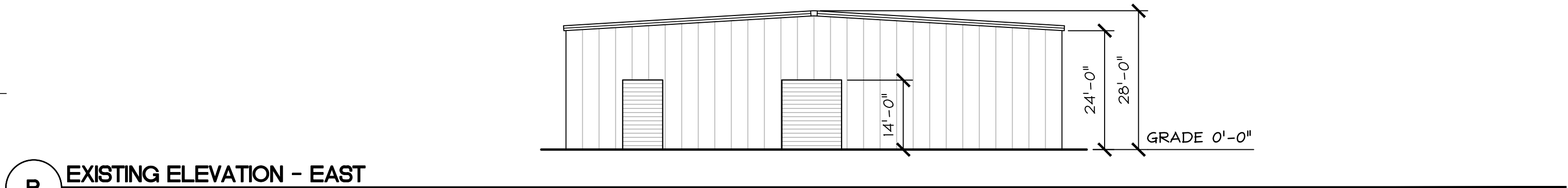
EXISTING & PROPOSED FLOOR PLANS: - BUILDING G

OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

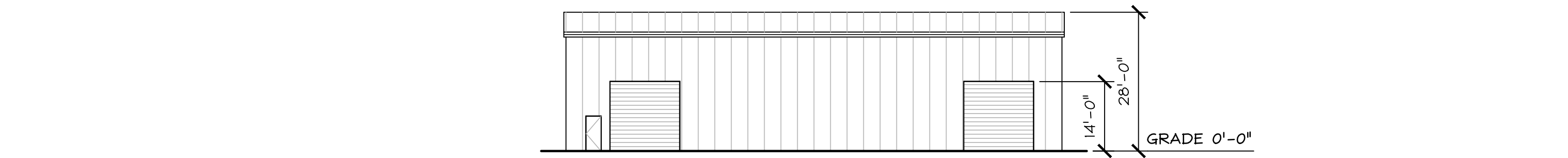
DATE	07/08/20
SCALE	AS NOTED
DRAWN	JN/YP
JOB	18055
SHEET	A2.5
OF	SHEETS



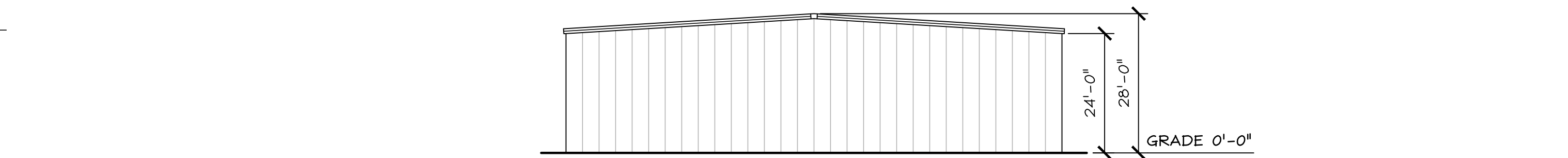
A EXISTING ELEVATION - NORTH
SCALE 1" = 20'-0"



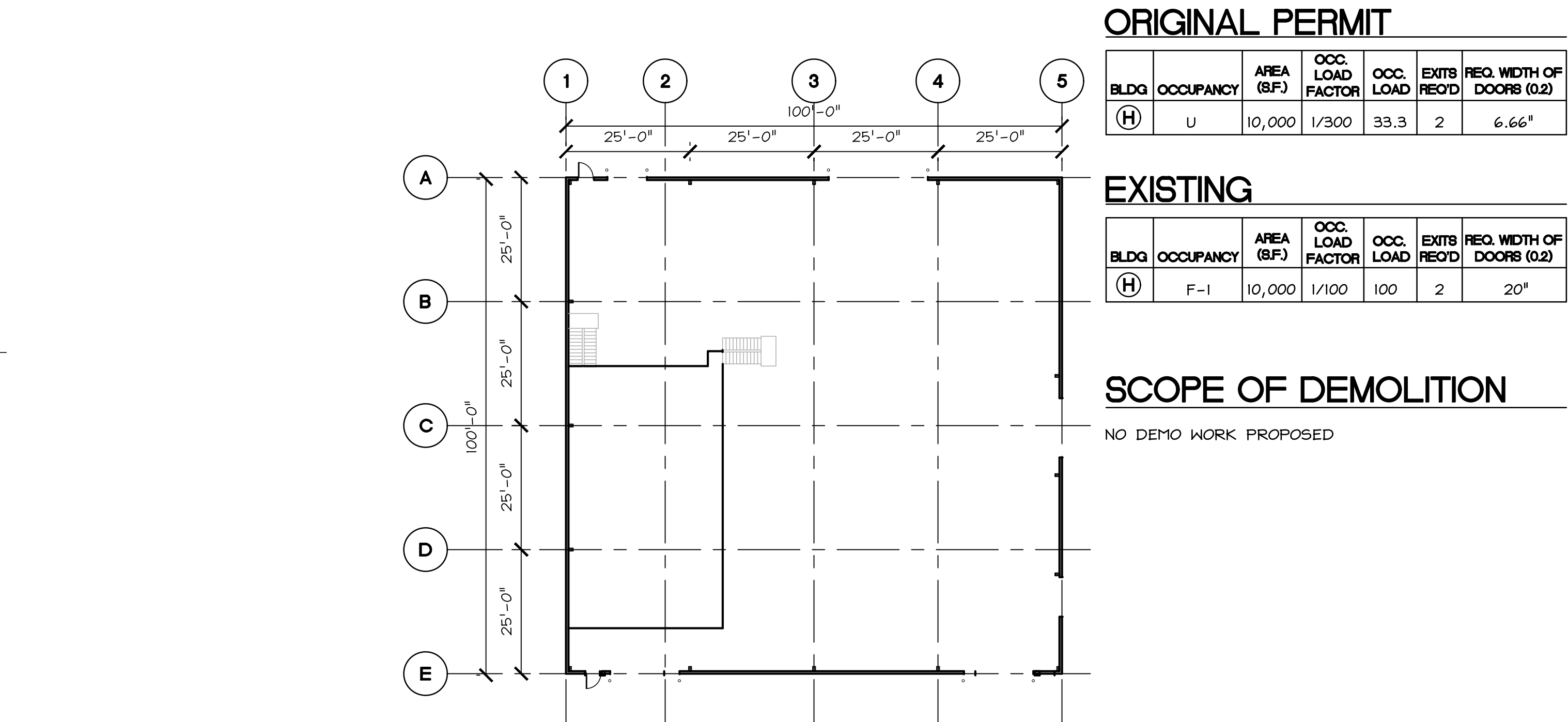
B EXISTING ELEVATION - EAST
SCALE 1" = 20'-0"



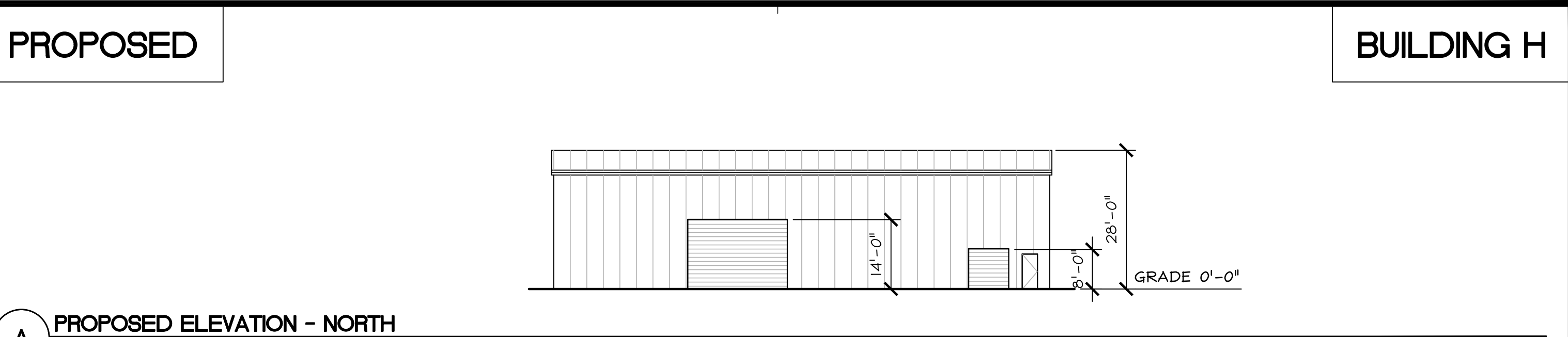
C EXISTING ELEVATION - SOUTH
SCALE 1" = 20'-0"



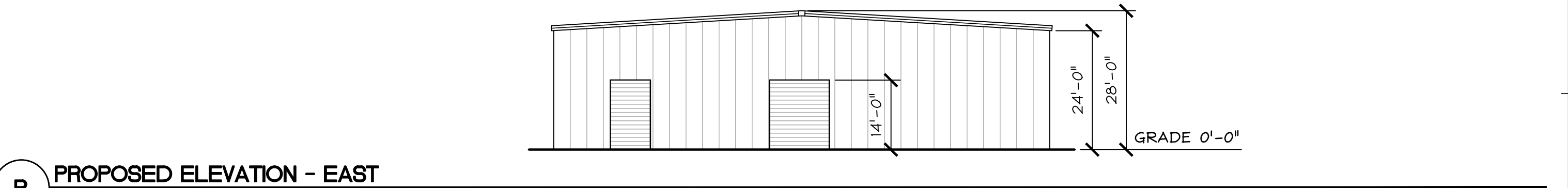
D EXISTING ELEVATION - WEST
SCALE 1" = 20'-0"



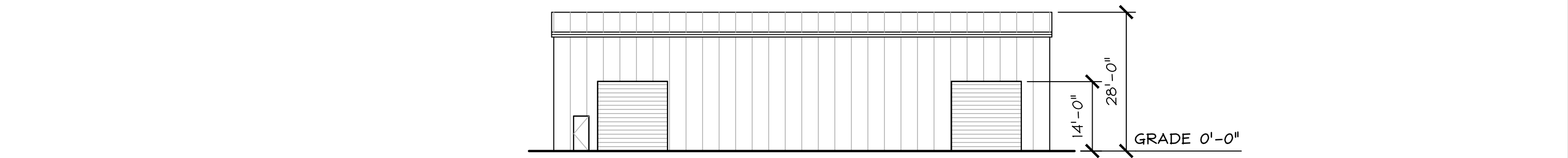
1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING H
SCALE 1" = 20'-0"



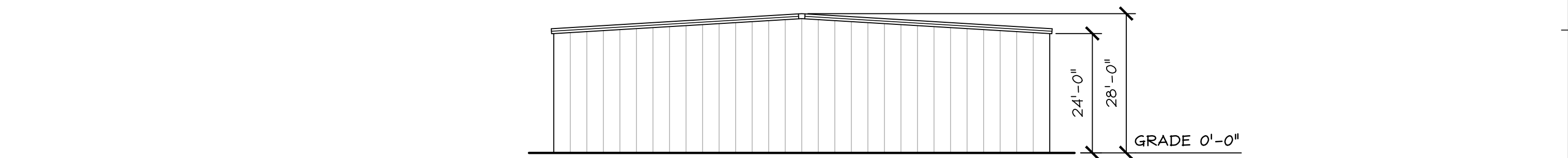
A PROPOSED ELEVATION - NORTH
SCALE 1" = 20'-0"



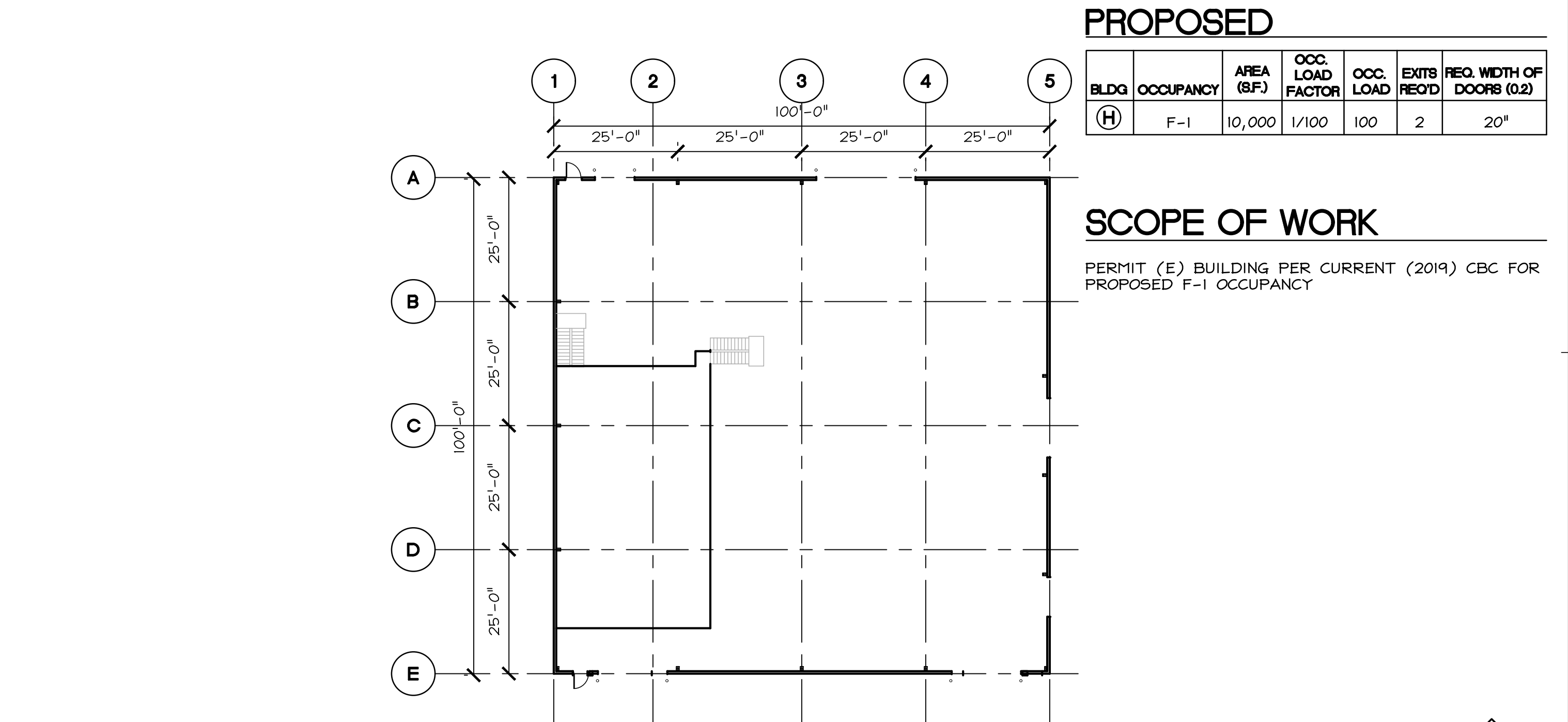
B PROPOSED ELEVATION - EAST
SCALE 1" = 20'-0"



C PROPOSED ELEVATION - SOUTH
SCALE 1" = 20'-0"



D PROPOSED ELEVATION - WEST
SCALE 1" = 20'-0"



2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING H (BELL PEPPER PACKING)
SCALE 1" = 20'-0"

BUILDING H

REVISIONS	DATE	BY	DESCRIPTION

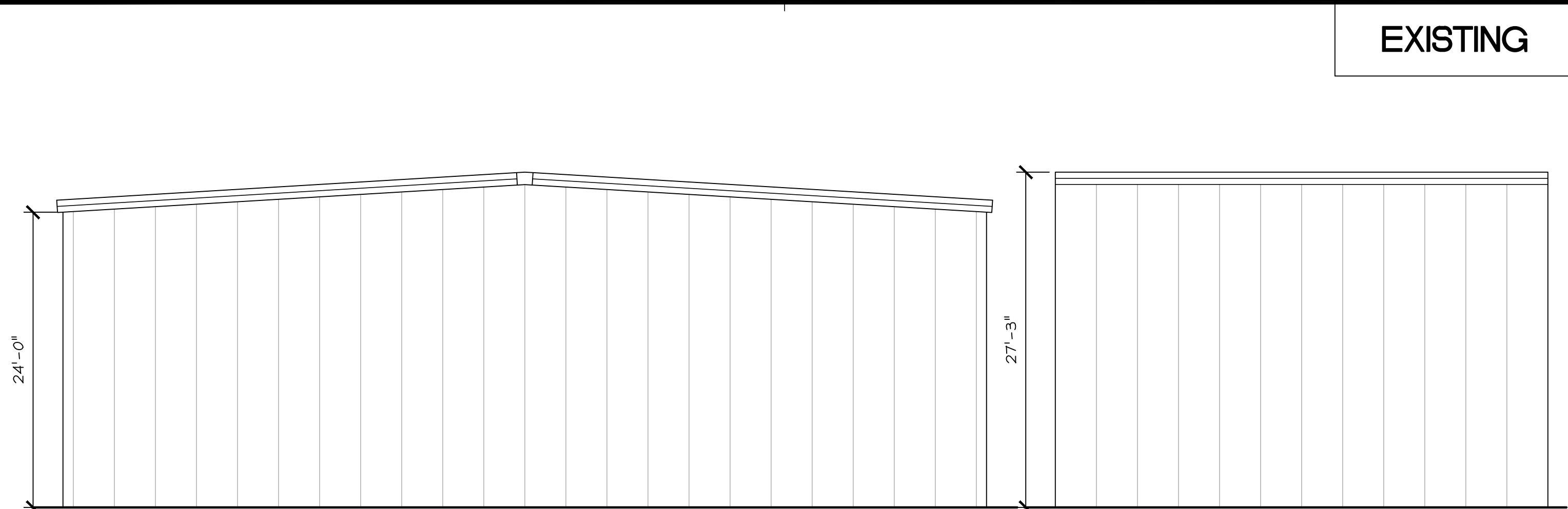
BELL ARCHITECTURAL GROUP 831. 424. 4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLAG.COM

Bell architectural group

EXISTING & PROPOSED FLOOR PLANELE: - BUILDING H
OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

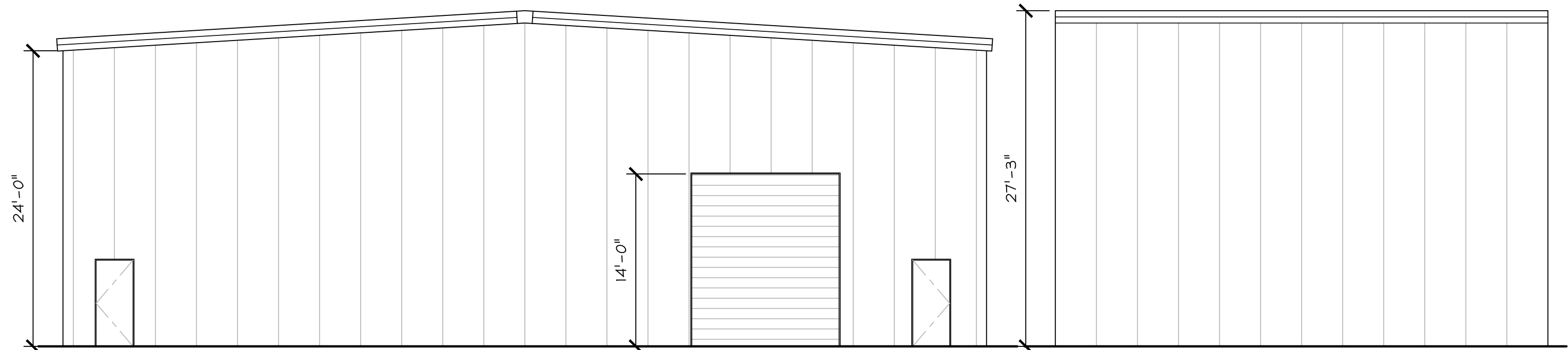
DATE 07/08/20
SCALE AS NOTED
DRAWN JN/YP
JOB 18055
SHEET
A2.6
OF SHEETS





A EXISTING ELEVATION - NORTH
SCALE: 1/8" = 1'-0"

B EXISTING ELEVATION - EAST
SCALE: 1/8" = 1'-0"



C EXISTING ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"

D EXISTING ELEVATION - WEST
SCALE: 1/8" = 1'-0"

SCOPE OF DEMOLITION

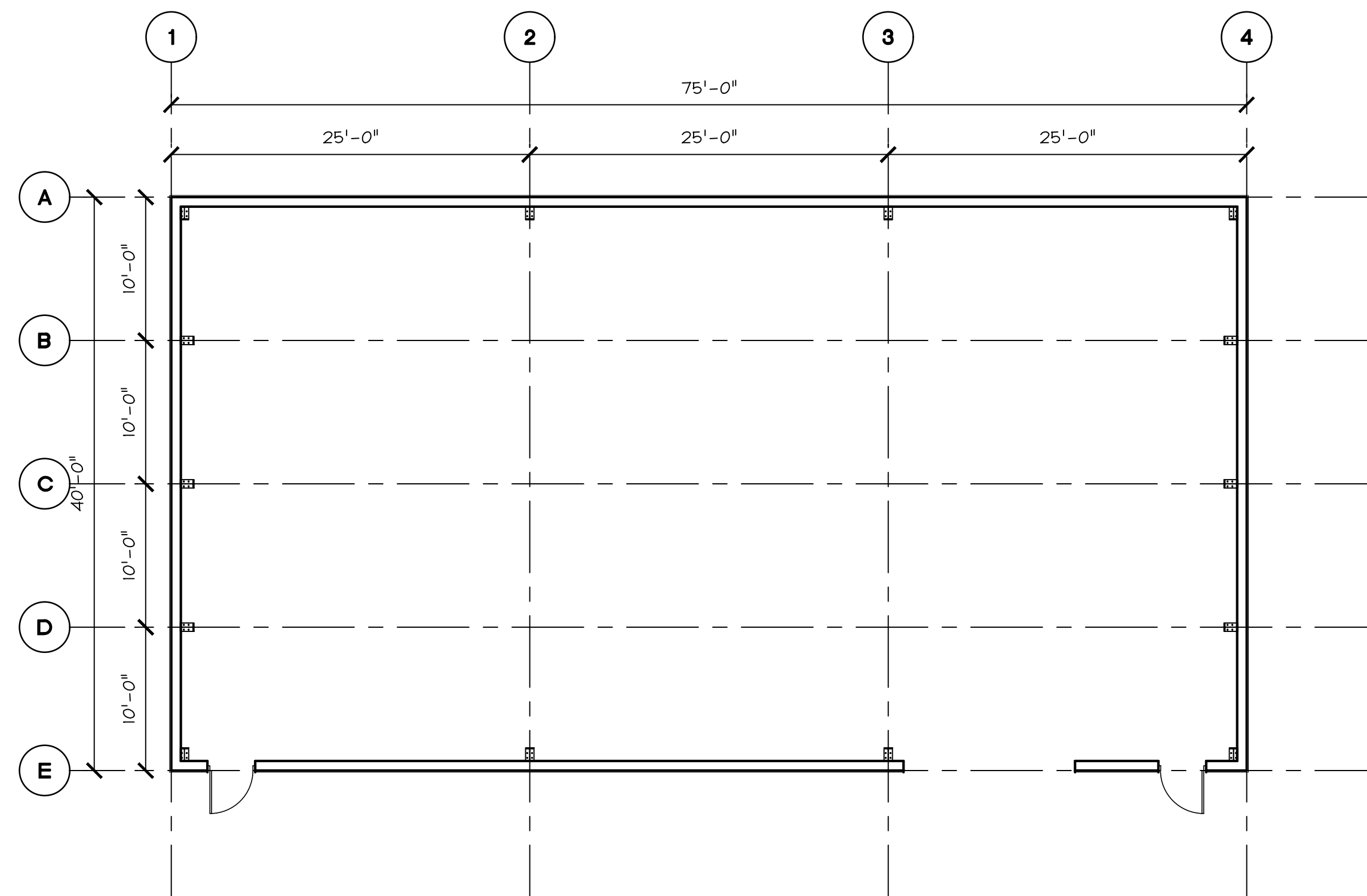
NO DEMO WORK PROPOSED

ORIGINAL PERMIT

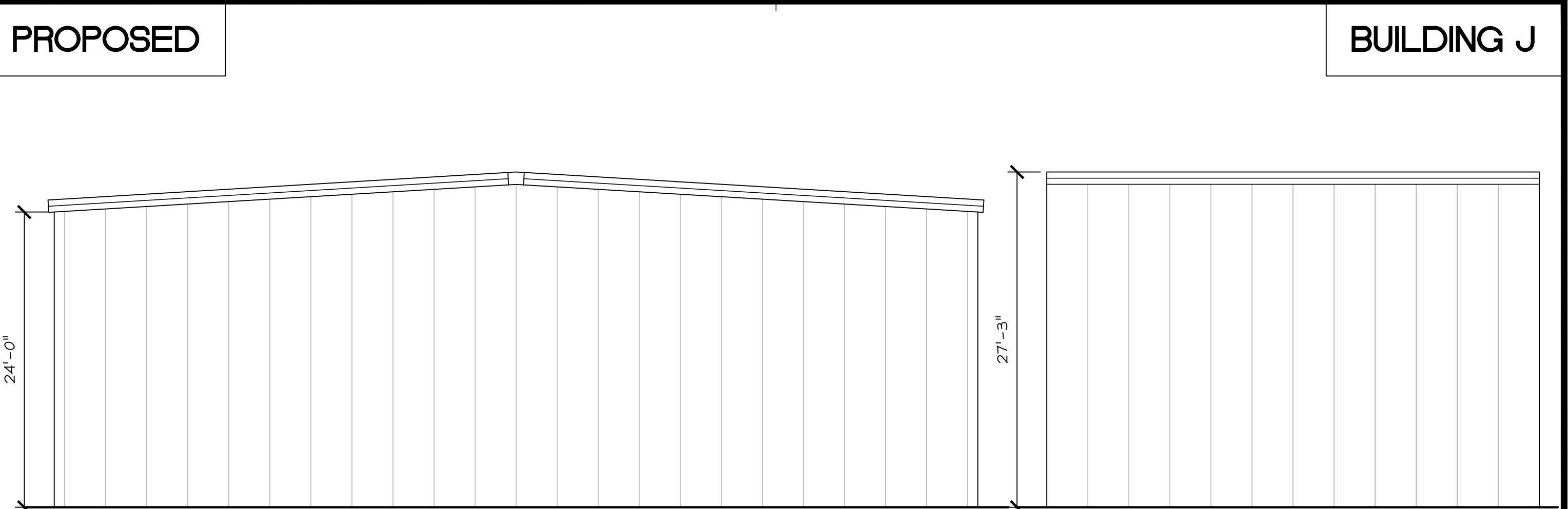
BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
J	U	3,000	1/300	10	2	36"

EXISTING

BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
J	S-1	3,000	1/500	6	2	1.2"

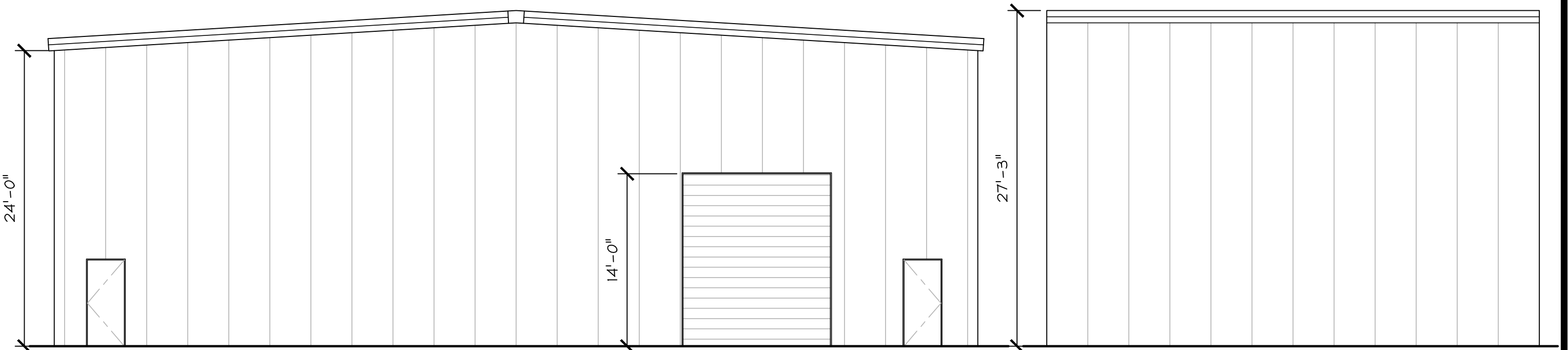


1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING J
SCALE: 1/8" = 1'-0"



A PROPOSED ELEVATION - NORTH
SCALE: 1/8" = 1'-0"

B PROPOSED ELEVATION - EAST
SCALE: 1/8" = 1'-0"



C PROPOSED ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"

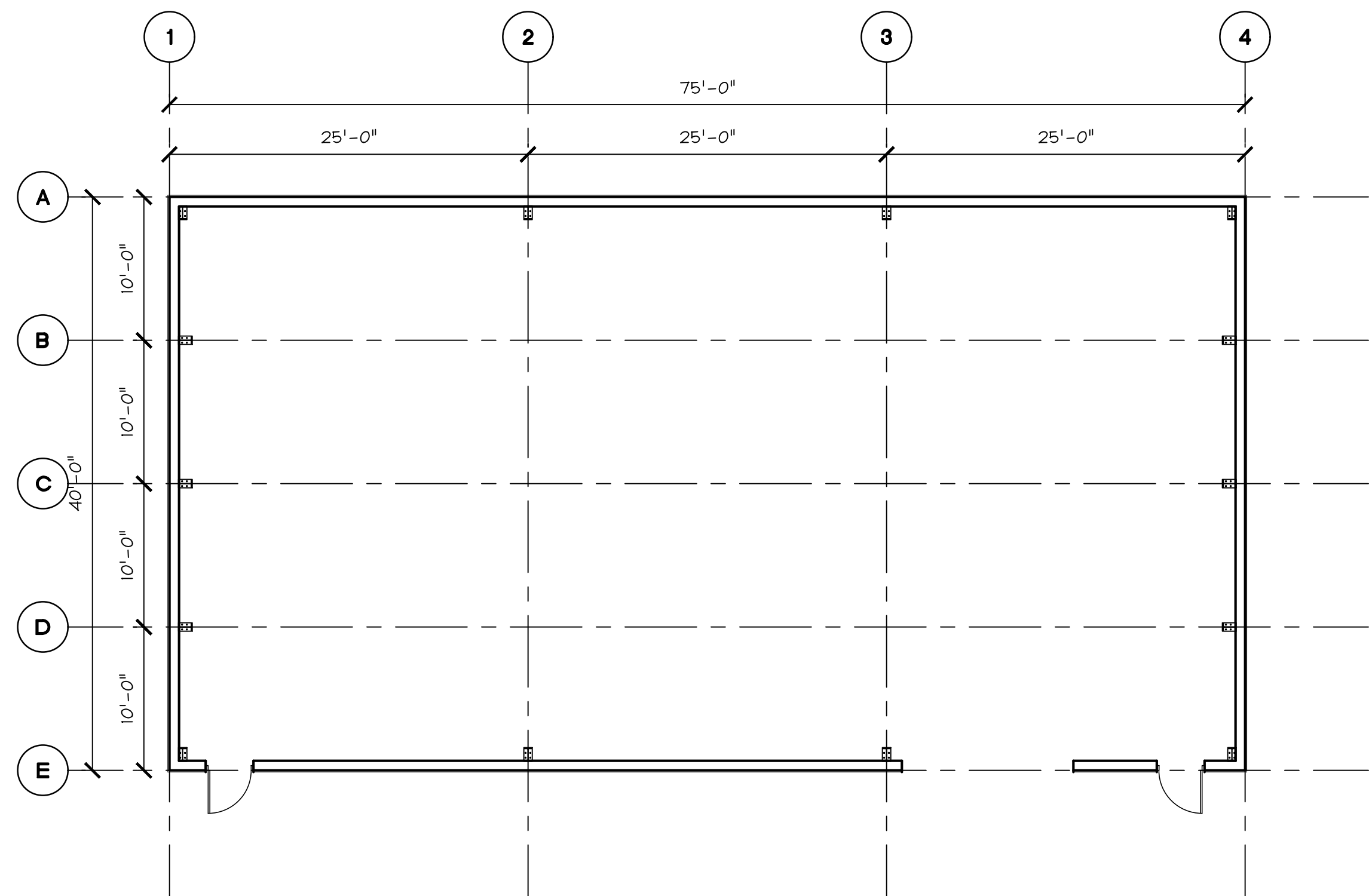
D PROPOSED ELEVATION - WEST
SCALE: 1/8" = 1'-0"

SCOPE OF WORK

PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR PROPOSED S-1 OCCUPANCY

PROPOSED

BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
J	S-1	3,000	1/500	6	2	1.2"



2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING J (DRY STORAGE)
SCALE: 1/8" = 1'-0"



BUILDING J

REVISIONS	DATE	BY	DESCRIPTION

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235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLTAG.COM

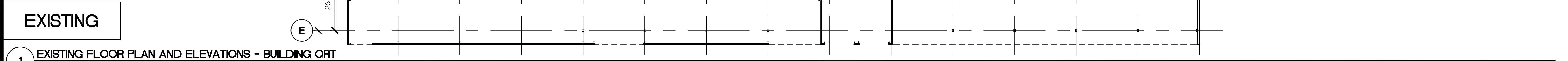
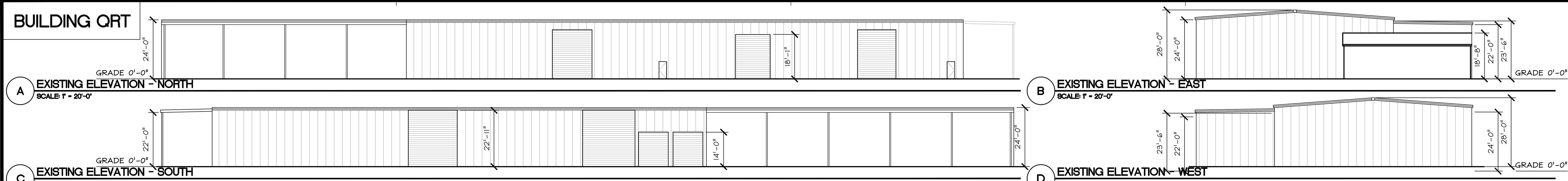


EXISTING & PROPOSED FLOOR PLAN/ELEV. - BUILDING J

OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE	07/08/20
SCALE	AS NOTED
DRAWN	JN/YP
JOB	18055
SHEET	A2.7
OF	SHEETS

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ORIGINAL PERMIT

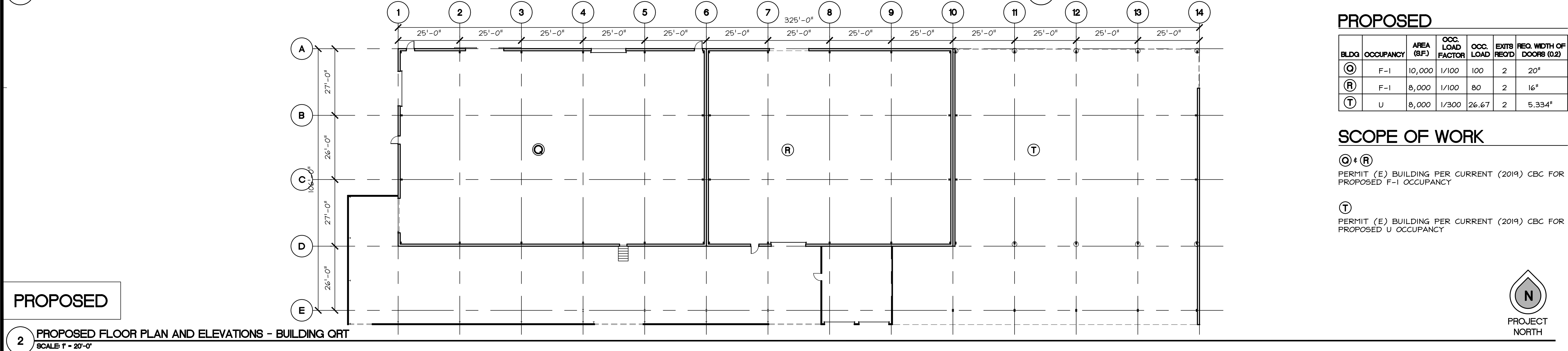
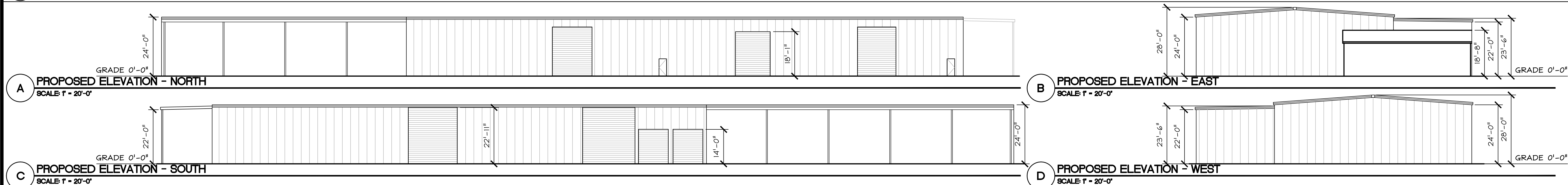
BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
QRT	U	37,392	1/300	124.64	2	36"

EXISTING

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
Q	F-1	10,000	1/100	100	2	20"
R	F-1	8,000	1/100	80	2	16"
T	U	8,000	1/300	26.67	2	5.334"

SCOPE OF DEMOLITION

NO DEMO WORK PROPOSED



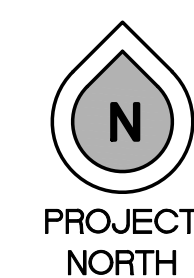
PROPOSED

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
Q	F-1	10,000	1/100	100	2	20"
R	F-1	8,000	1/100	80	2	16"
T	U	8,000	1/300	26.67	2	5.334"

SCOPE OF WORK

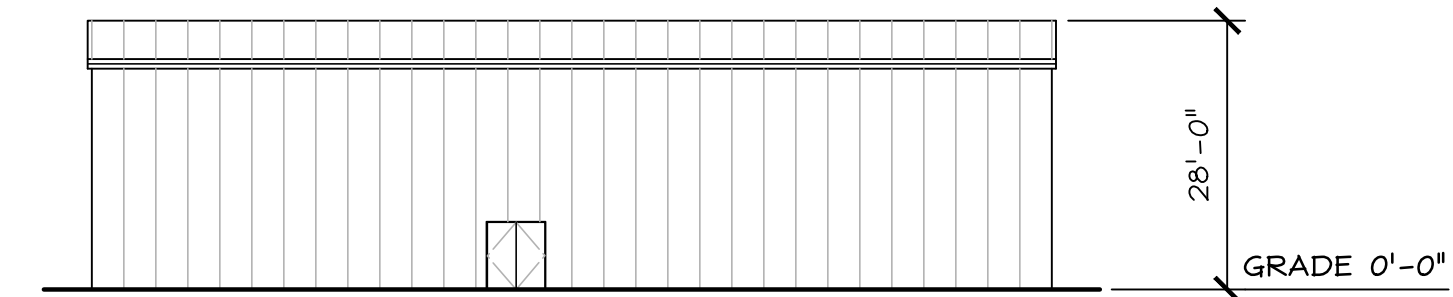
Q & R
PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR PROPOSED F-1 OCCUPANCY

T
PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR PROPOSED U OCCUPANCY

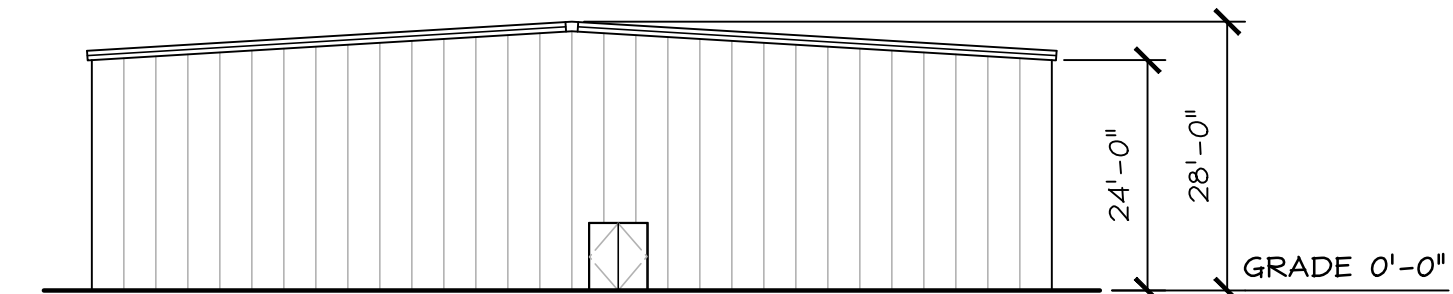


PROPOSED

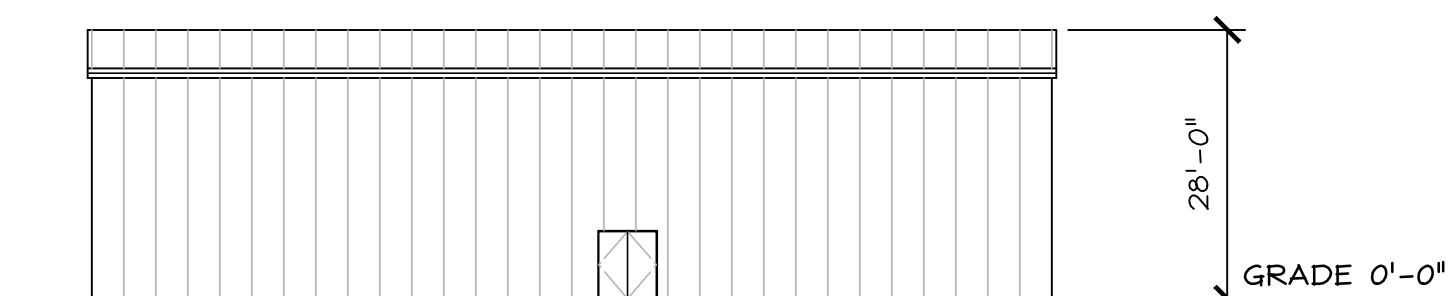
BUILDING S



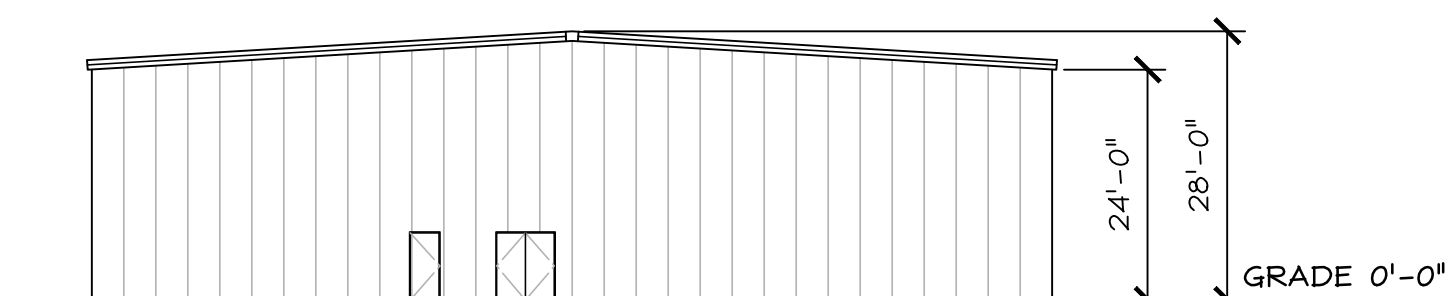
A **PROPOSED ELEVATION - NORTH**
SCALE: 1" = 20'-0"



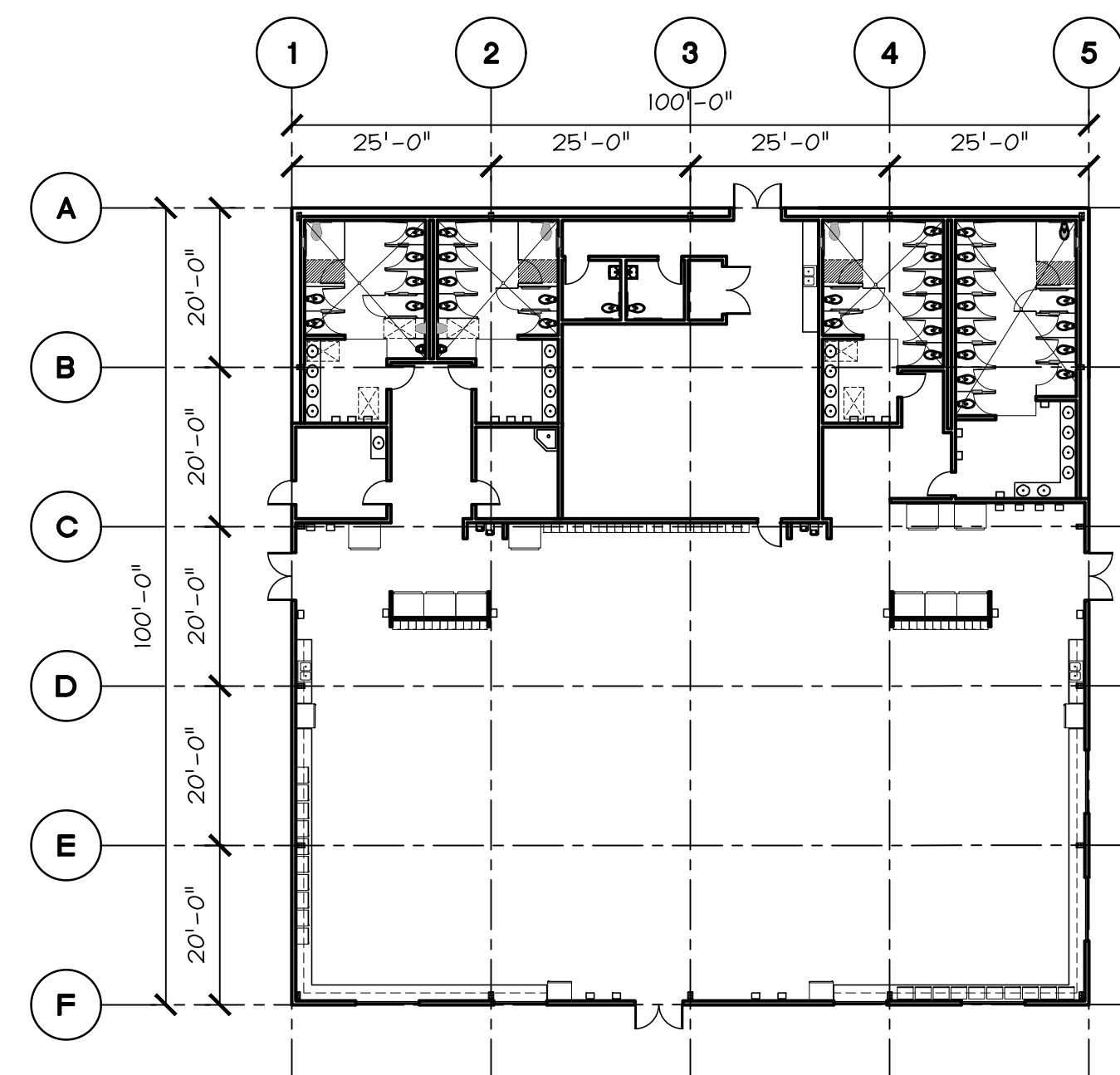
B PROPOSED ELEVATION - EAST
SCALE: 1" = 20'-0"



PROPOSED ELEVATION - SOUTH
SCALE: 1" = 20'-0"



D PROPOSED ELEVATION - WEST
SCALE: 1" = 20'-0"



2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING S (BREAKROOM/RESTROOM)
SCALE: 1" = 20'-0"

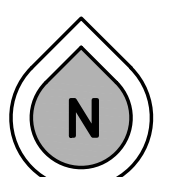
BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (02)
⑧	U	10,000	1/300	33.3	2	6.66 ¹¹

BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
⑧	S-1	10,000	1/500	20	2	4"

DEMO (E) PARTITION WALL

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
(S)	A-2					
	DINNING	7,055	1/15	481.9	2	96.38"
	ACCESSORY AREA	2,945	N/A	N/A	N/A	N/A
	TOTAL	10,000				

PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR
PROPOSED A-2 OCCUPANCY



PROJECT
NORTH

EXISTING & PROPOSED FLOOR PLAN/ELEV. - BUILDING 5

OVERALL SITE - BUILDING USES

CHRISTOPHER RANCH

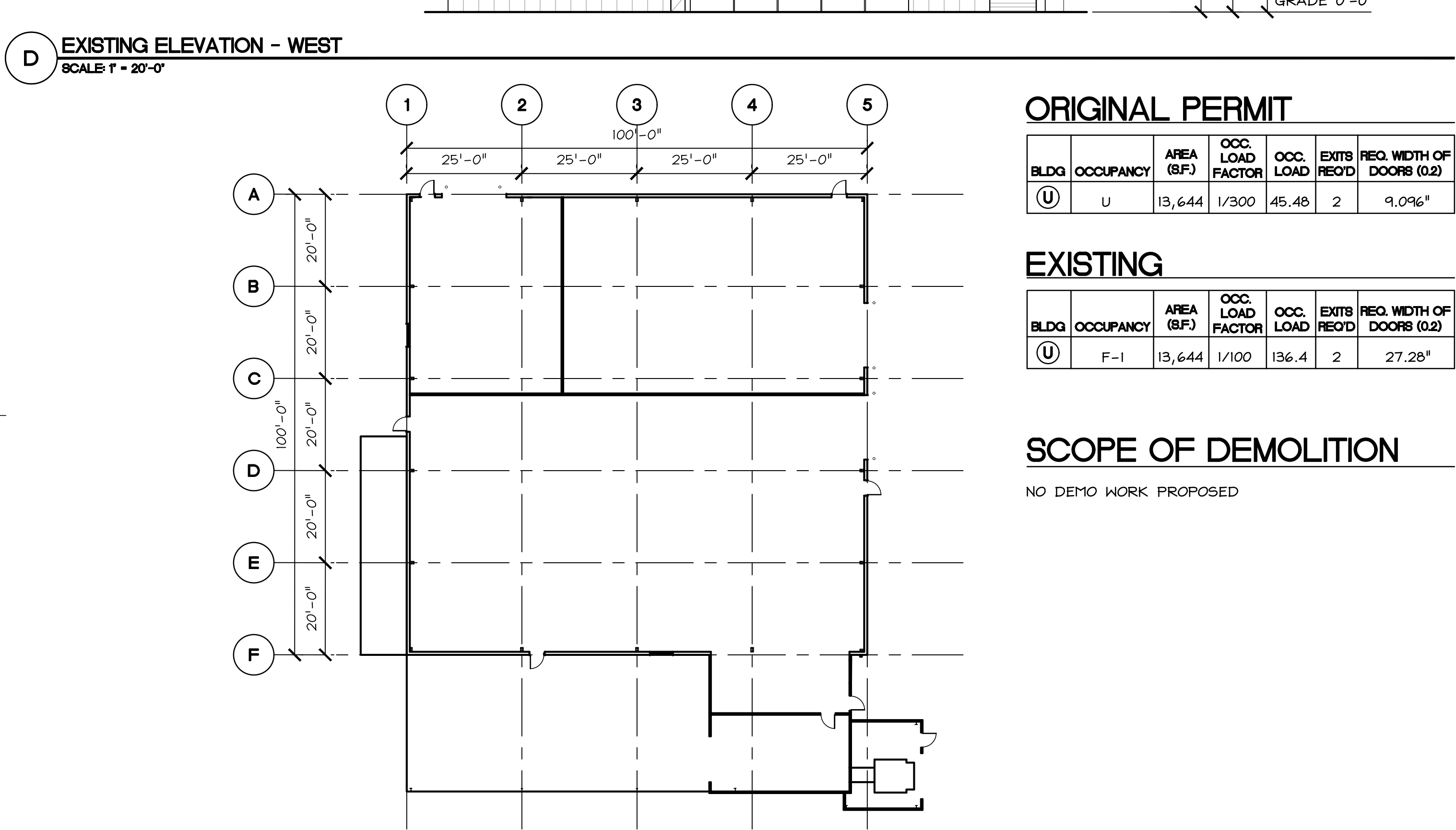
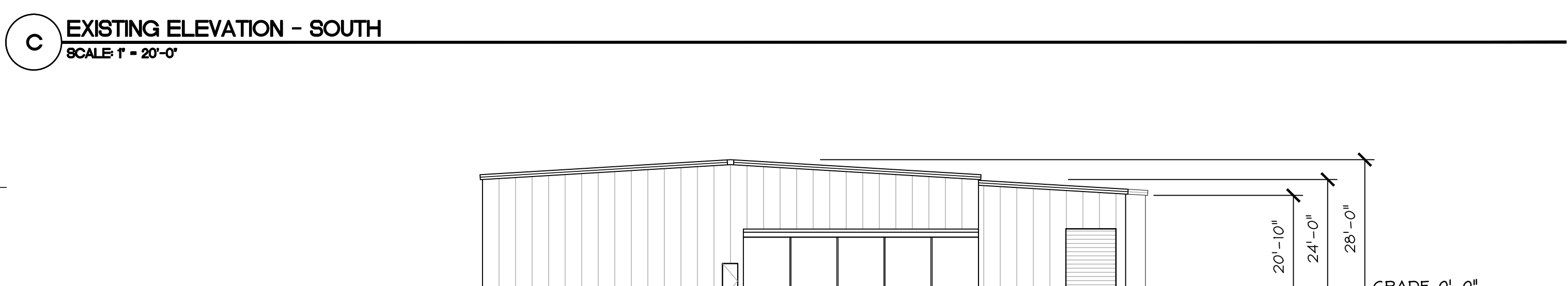
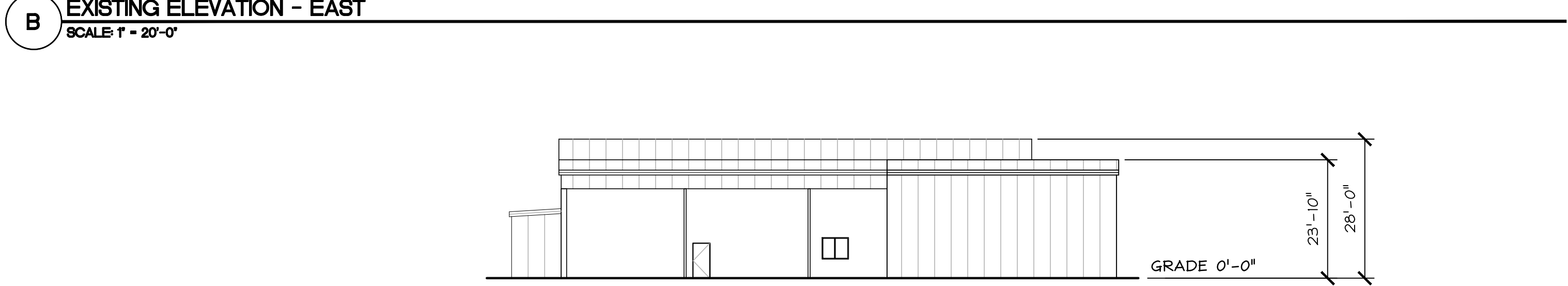
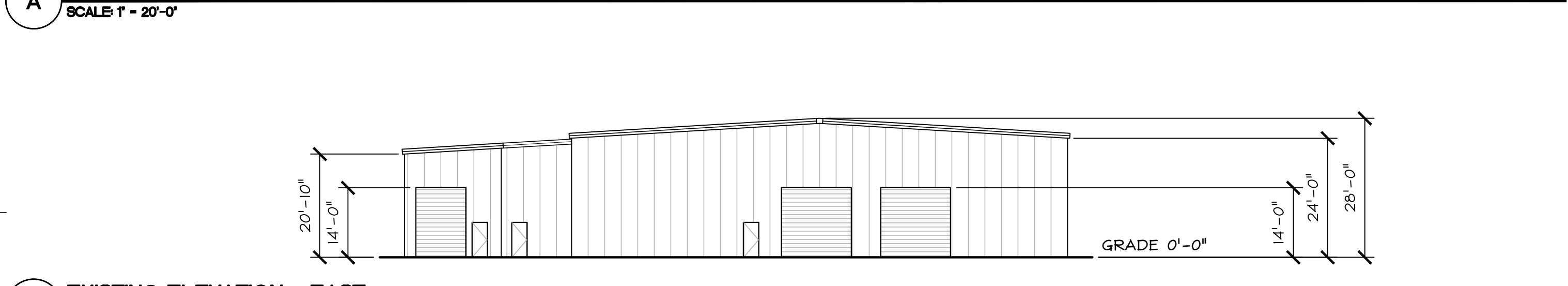
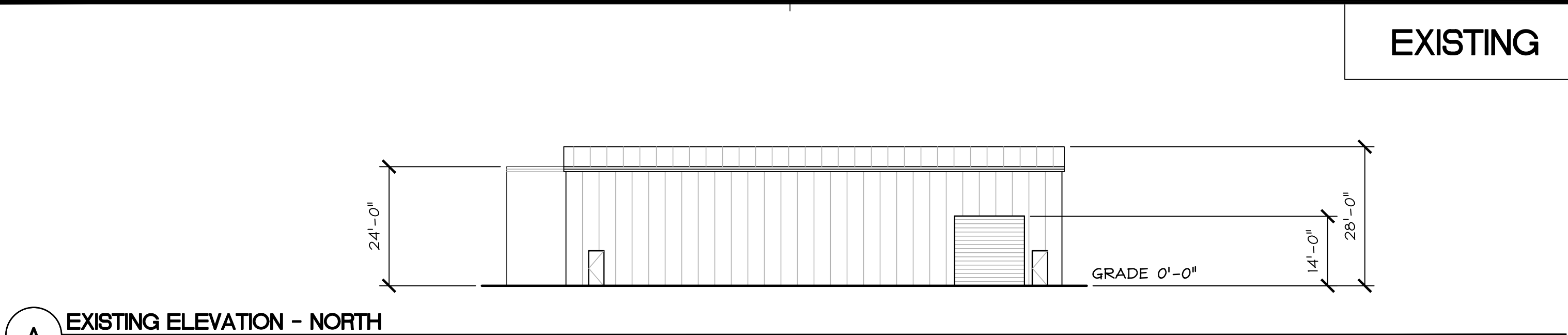
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE	07/08/20
SCALE	AS NOTED
DRAWN	JN/YP
JOB	18055
SHEET	A2.9
OF	SHEETS

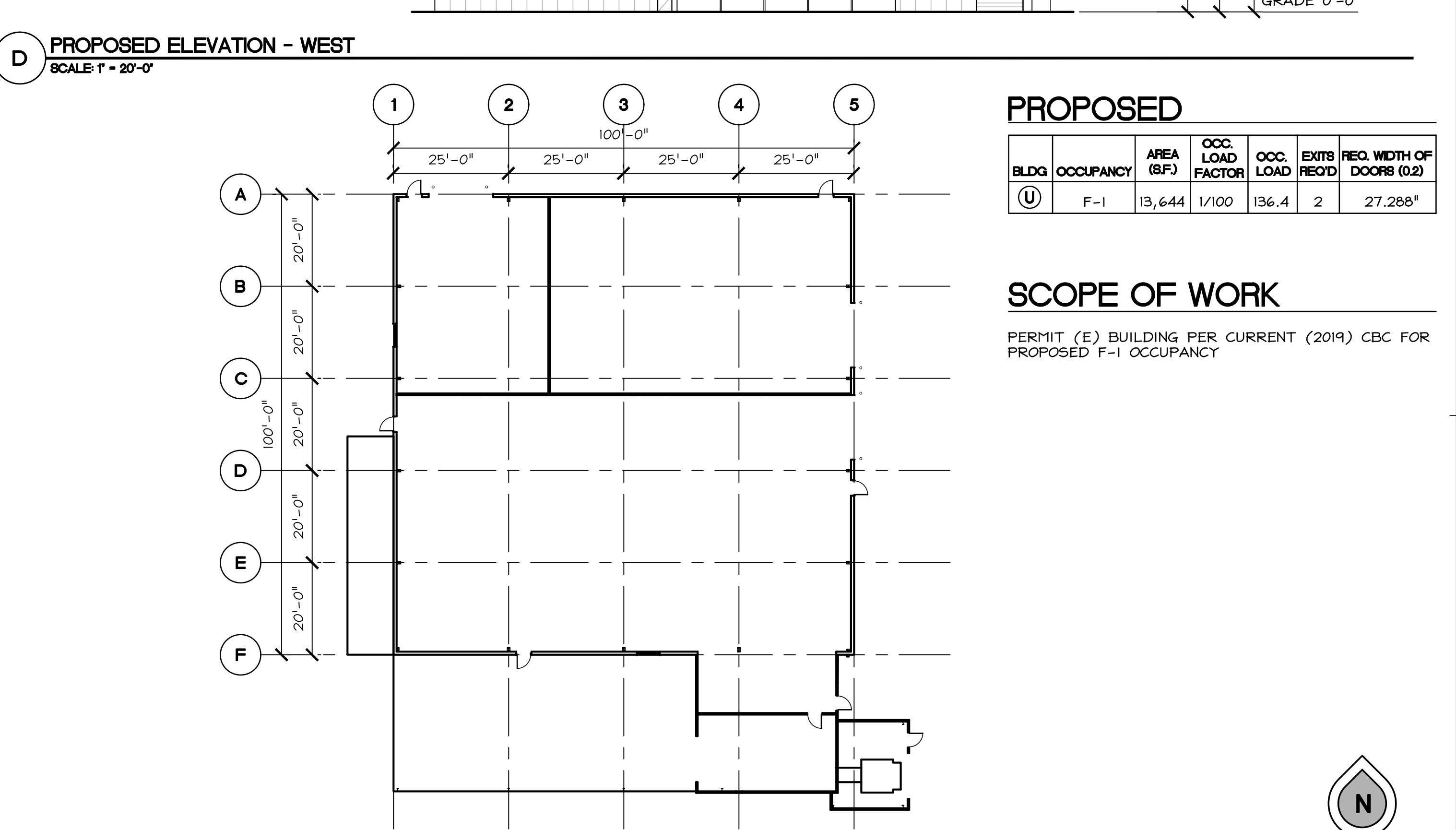
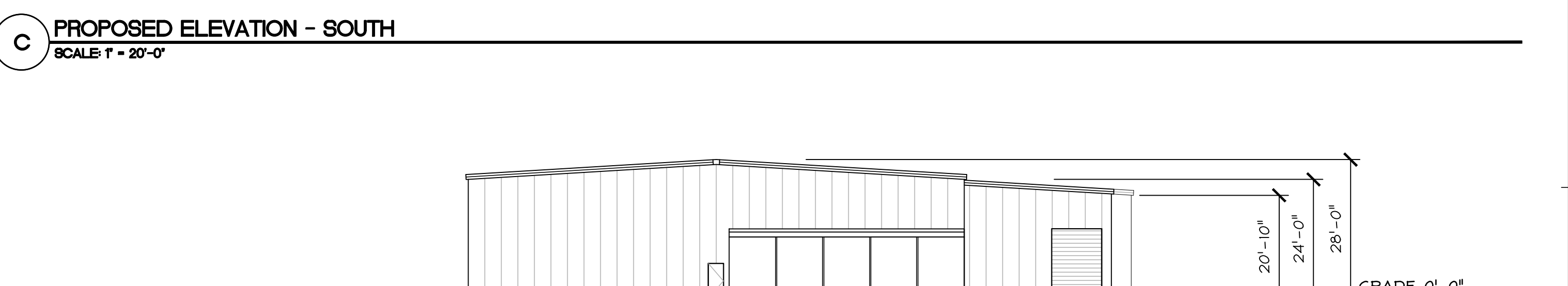
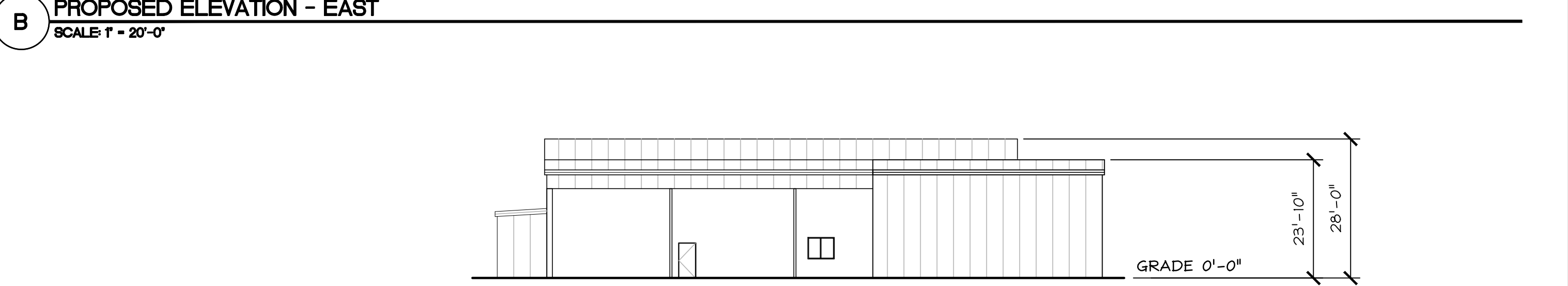
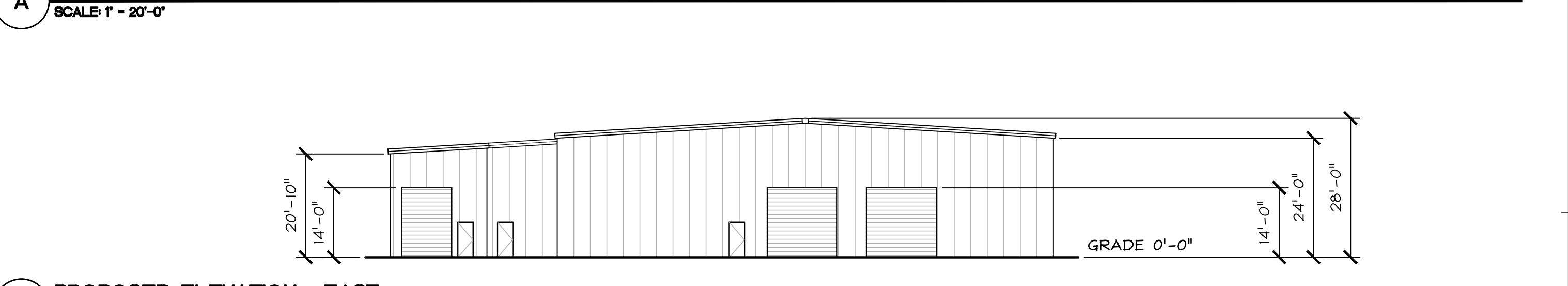
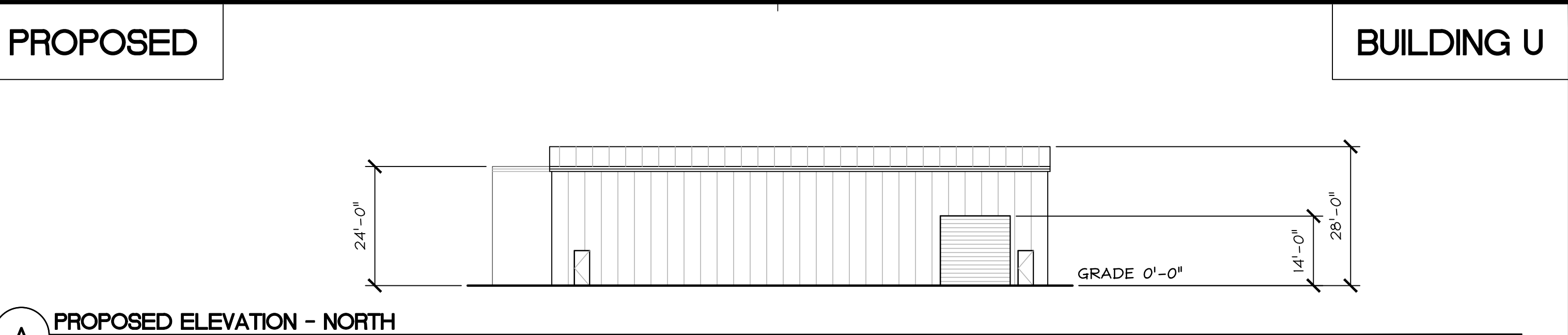
BELLI ARCHITECTURAL GROUP 831.424.4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIA.G.COM



BOL
architectural group



1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING U
SCALE 1" = 20'-0"



2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING U (GARLIC CHOPPING AND ROASTING)
SCALE 1" = 20'-0"

ORIGINAL PERMIT

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
U	U	13,644	1/300	45.48	2	9.096"

EXISTING

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
U	F-1	13,644	1/100	136.4	2	27.28"

SCOPE OF DEMOLITION

NO DEMO WORK PROPOSED

PROPOSED

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
U	F-1	13,644	1/100	136.4	2	27.28"

SCOPE OF WORK

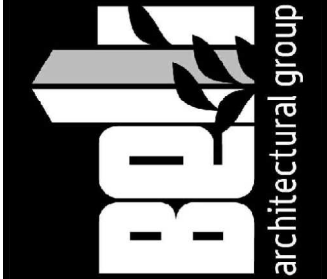
PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR PROPOSED F-1 OCCUPANCY



PROJECT NORTH

REVISIONS	DATE	BY	DESCRIPTION

BELLI ARCHITECTURAL GROUP 831.424.4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLAG.COM



EXISTING & PROPOSED FLOOR PLANELE: - BUILDING U

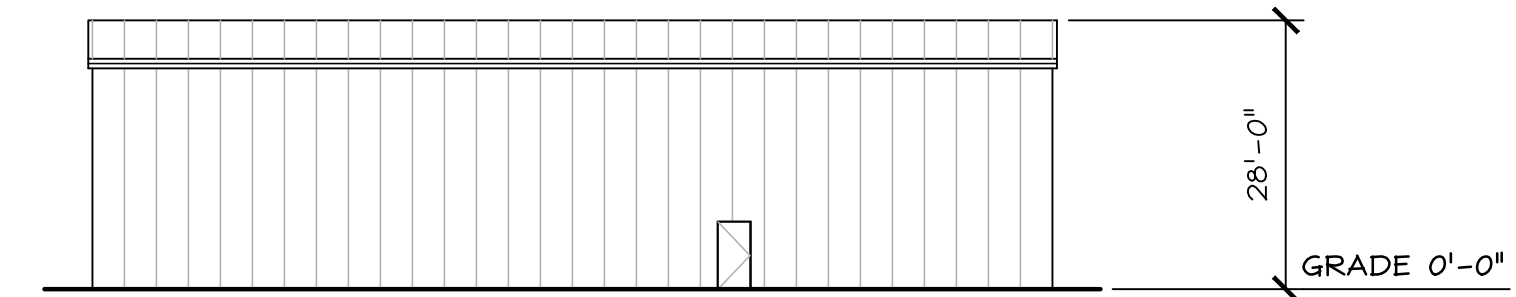
OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE	07/08/20
SCALE	AS NOTED
DRAWN	JN/YP
JOB	18055
SHEET	A2.10
OF	SHEETS

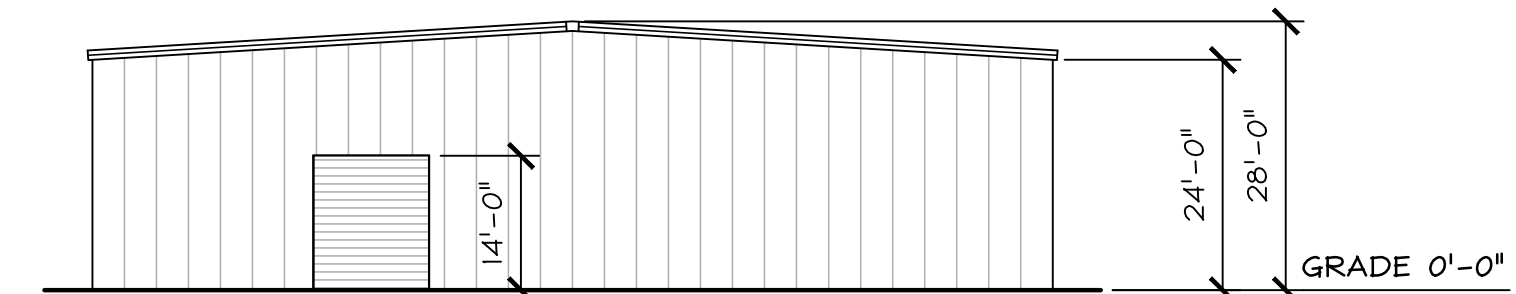
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PROPOSED

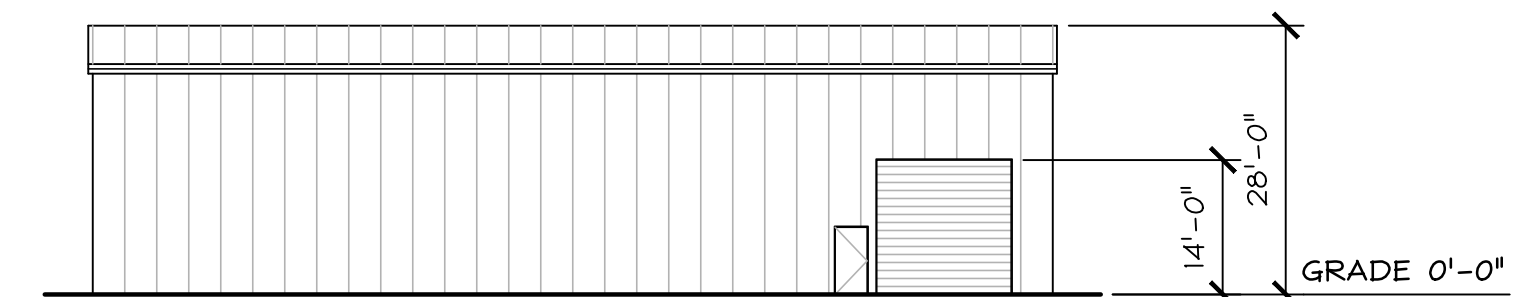
BUILDING W



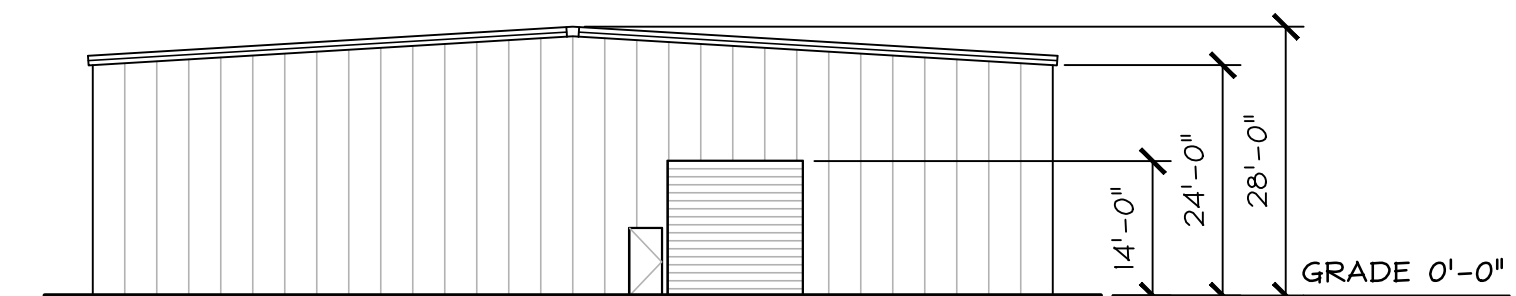
A **PROPOSED ELEVATION - NORTH**
SCALE: 1" = 20'-0"



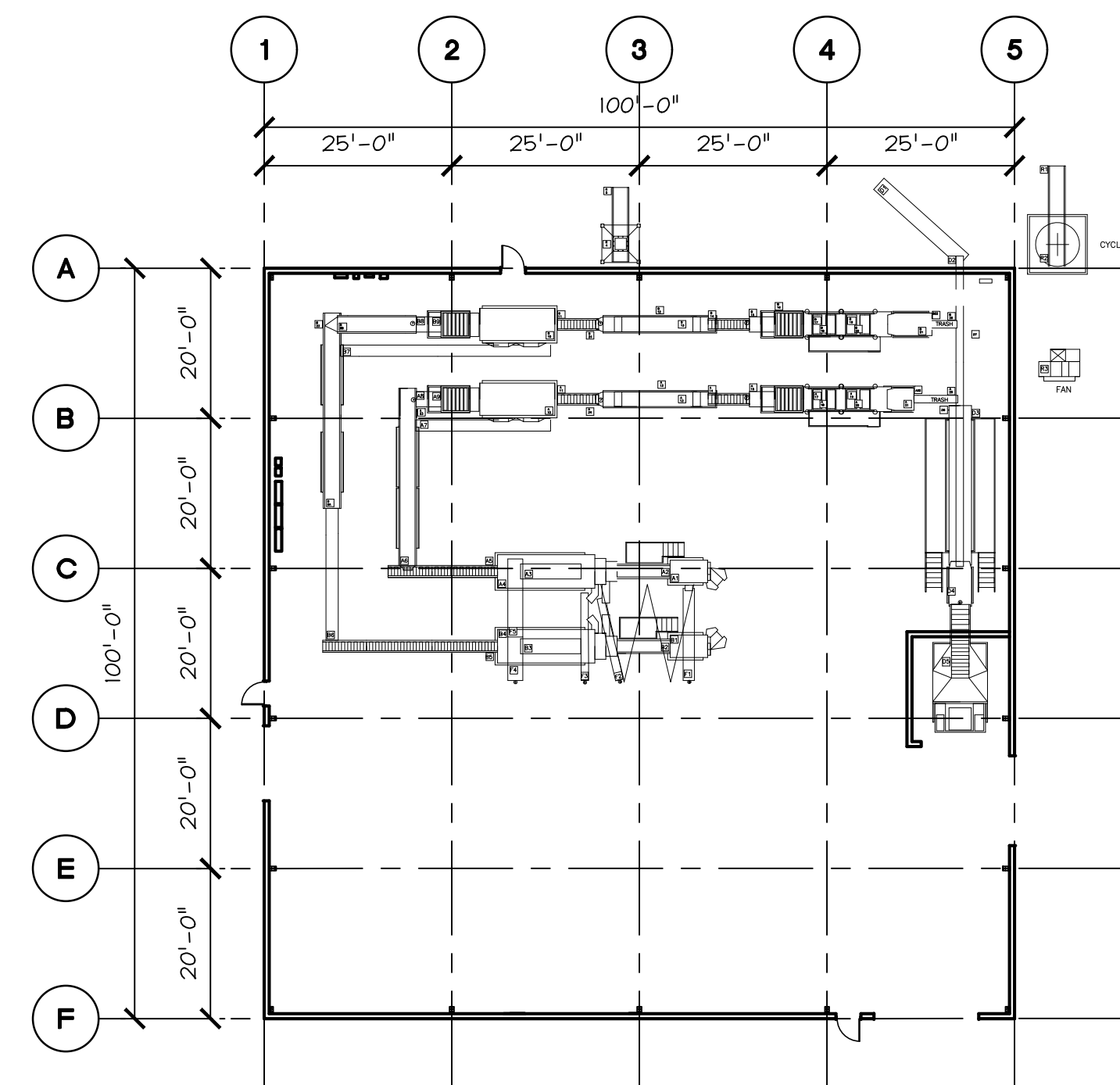
B PROPOSED ELEVATION - EAST
SCALE: 1" = 20'-0"



PROPOSED ELEVATION - SOUTH
SCALE: 1" = 20'-0"



D PROPOSED ELEVATION - WEST
SCALE: 1" = 20'-0"



PROPOSED

BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
⑦	F-1	10,000	1/100	100	2	20"

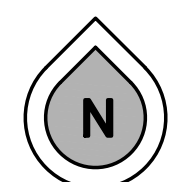
SCOPE OF WORK

SCOPE OF WORK

PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR
PROPOSED F-1 OCCUPANCY

PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR
PROPOSED F-1 OCCUPANCY

NO DEMO WORK PROPOSED



PROJECT
NORTH

2 **PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING W (GARLIC CRACKING + SORTING)**
SCALE: 1" = 20'-0"

REVISIONS	DATE	BY	DESCRIPTION

BELLI ARCHITECTURAL GROUP 831.424.4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIA.G.COM



EXISTING & PROPOSED FLOOR PLAN/ELE. - BUILDING W

OVERALL SITE - BUILDING USES

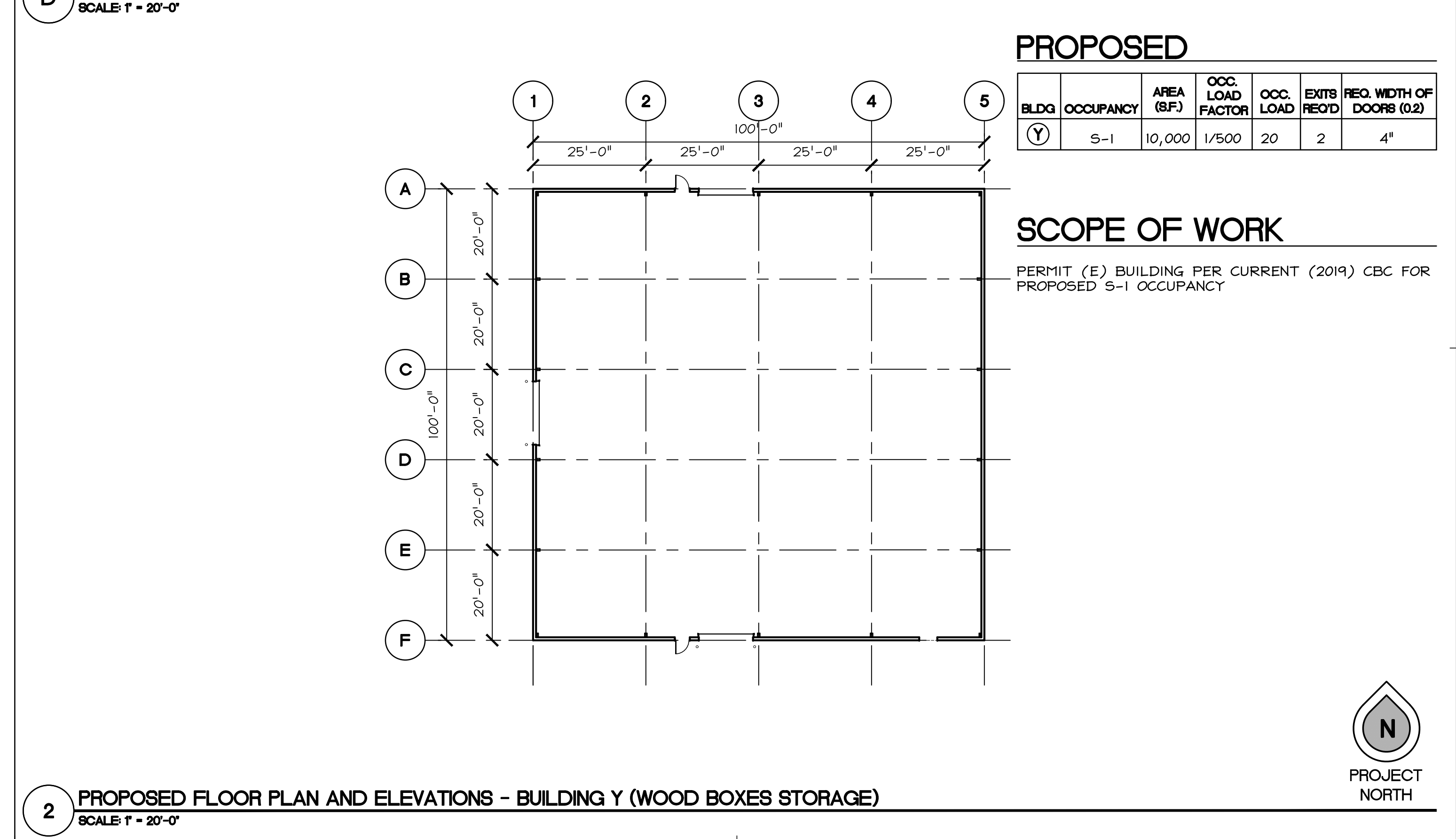
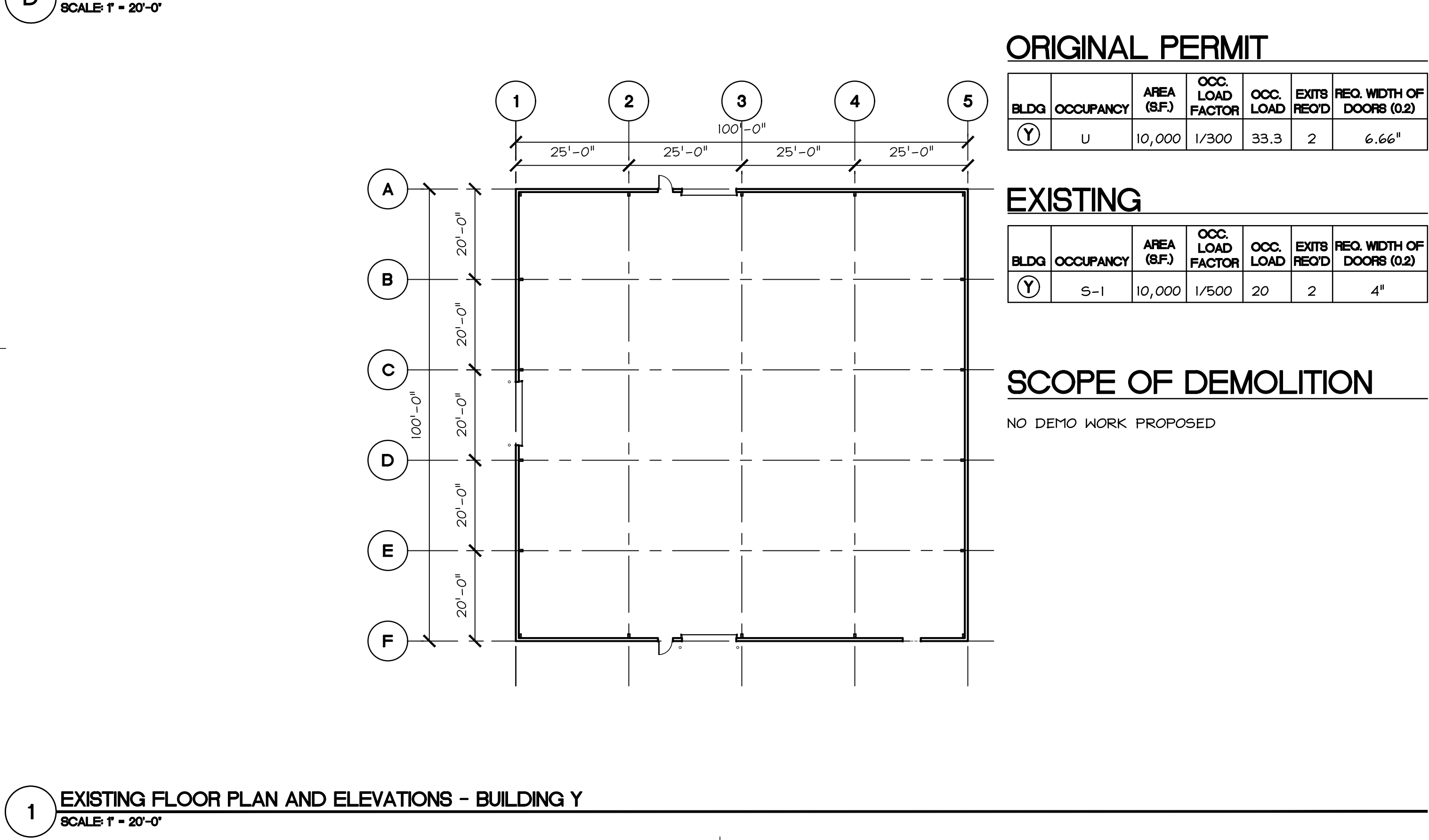
CHRISTOPHER RANCH

305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE	07/08/20
SCALE	AS NOTED
DRAWN	JN/YP
JOB	18055
SHEET	

A2.11

OF SHEETS



BUILDING Y

REVISIONS	DATE	BY	DESCRIPTION

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235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIA.G.COM

Belli architectural group

EXISTING & PROPOSED FLOOR PLANELE. - BUILDING Y
OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

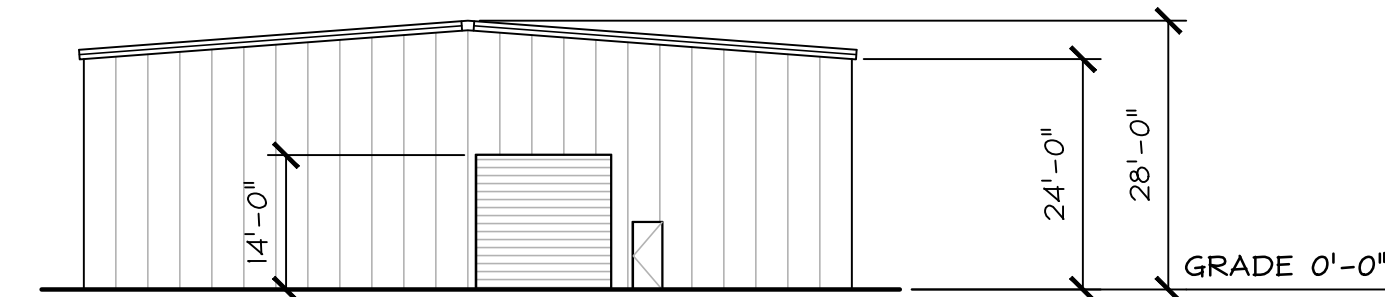
DATE 07/08/20
SCALE AS NOTED
DRAWN JN/YP
JOB 18055
SHEET
A2.12
OF SHEETS

PROJECT NORTH

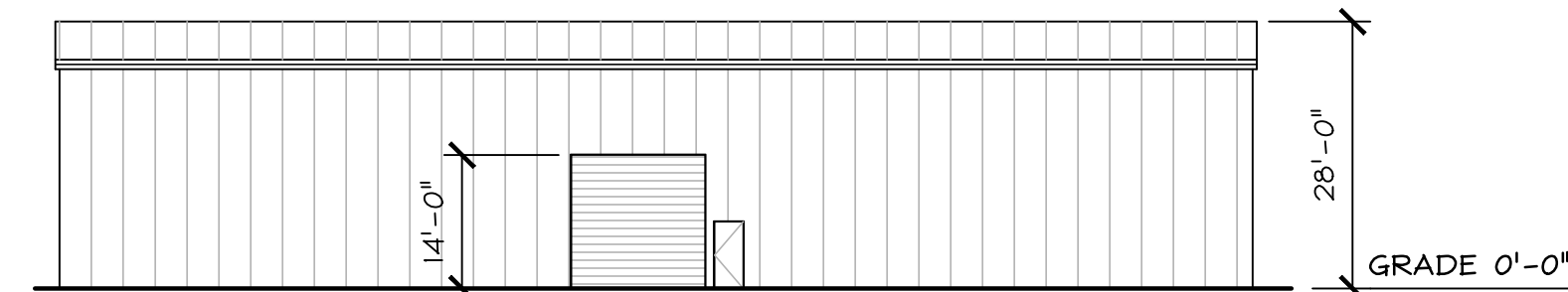
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PROPOSED

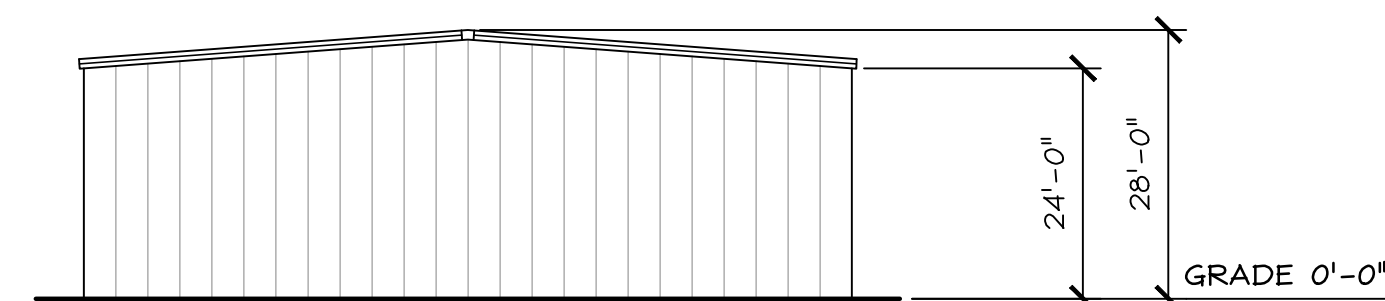
BUILDING Z



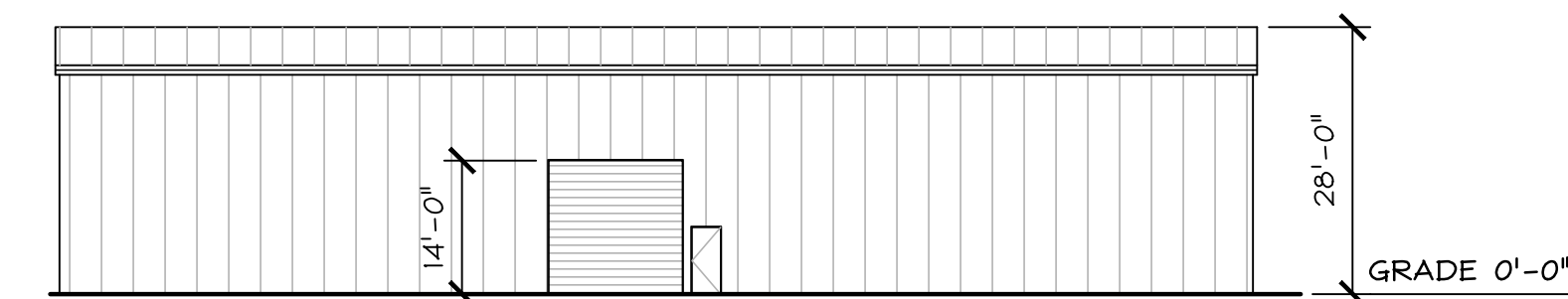
A **PROPOSED ELEVATION - NORTH**
SCALE: 1" = 20'-0"



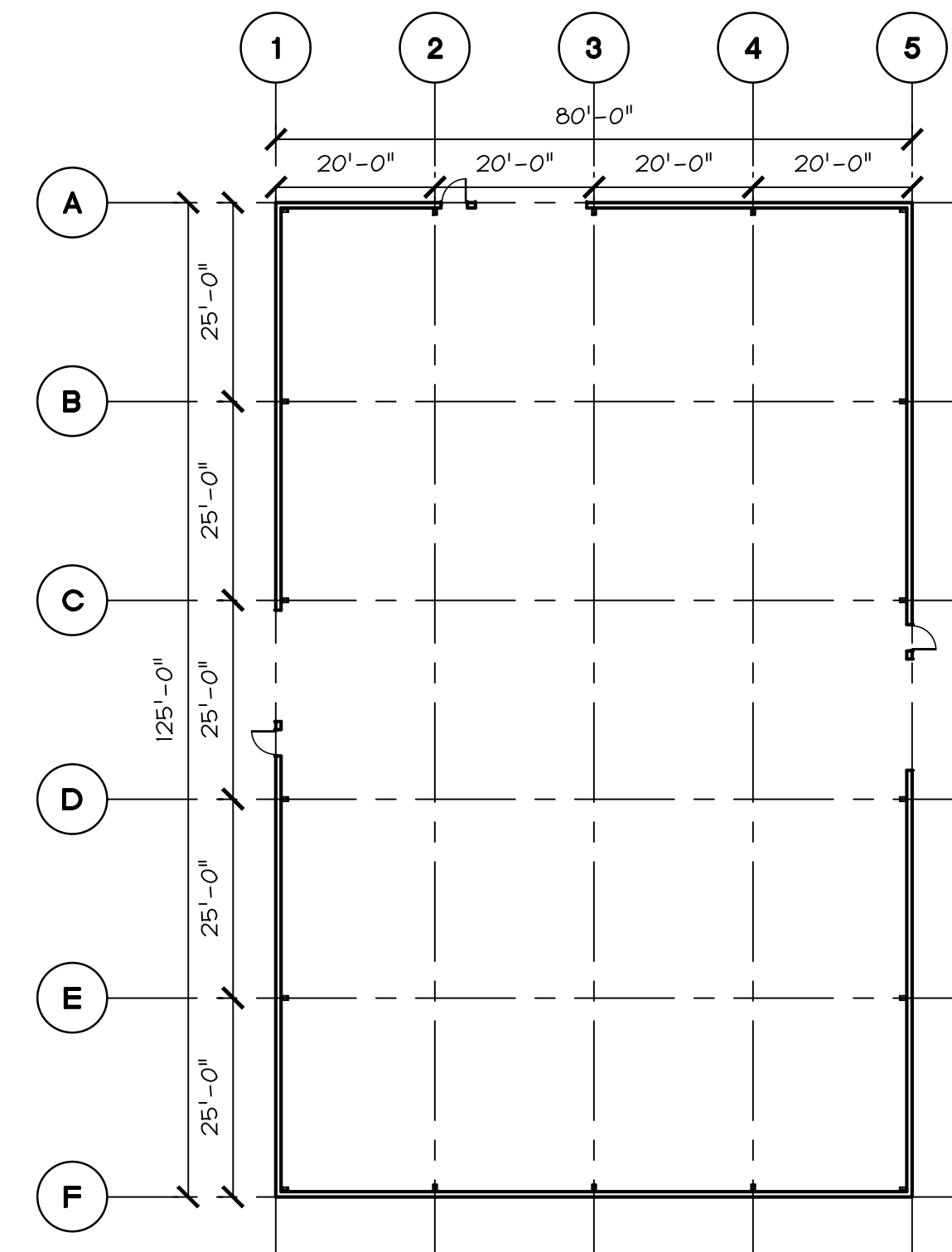
B PROPOSED ELEVATION - EAST
SCALE: 1" = 20'-0"



PROPOSED ELEVATION - SOUTH
SCALE: 1" = 20'-0"



D PROPOSED ELEVATION - WEST
SCALE: 1" = 20'-0"



PROPOSED

BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
(2)	S-I	10,000	1/500	20	2	4"

SCOPE OF WORK

SCOPE OF WORK

PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR PROPOSED S-1 OCCUPANCY

PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR
PROPOSED S-1 OCCUPANCY

NO DEMO WORK PROPOSED



2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING Z (FINISHED PRODUCT STORAGE)
SCALE: 1" = 20'-0"

REVISIONS	DATE	BY	DESCRIPTION

BELLI ARCHITECTURAL GROUP 831 . 424 . 4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIA.G.COM



EXISTING & PROPOSED FLOOR PLAN/ELEV. - BUILDING Z

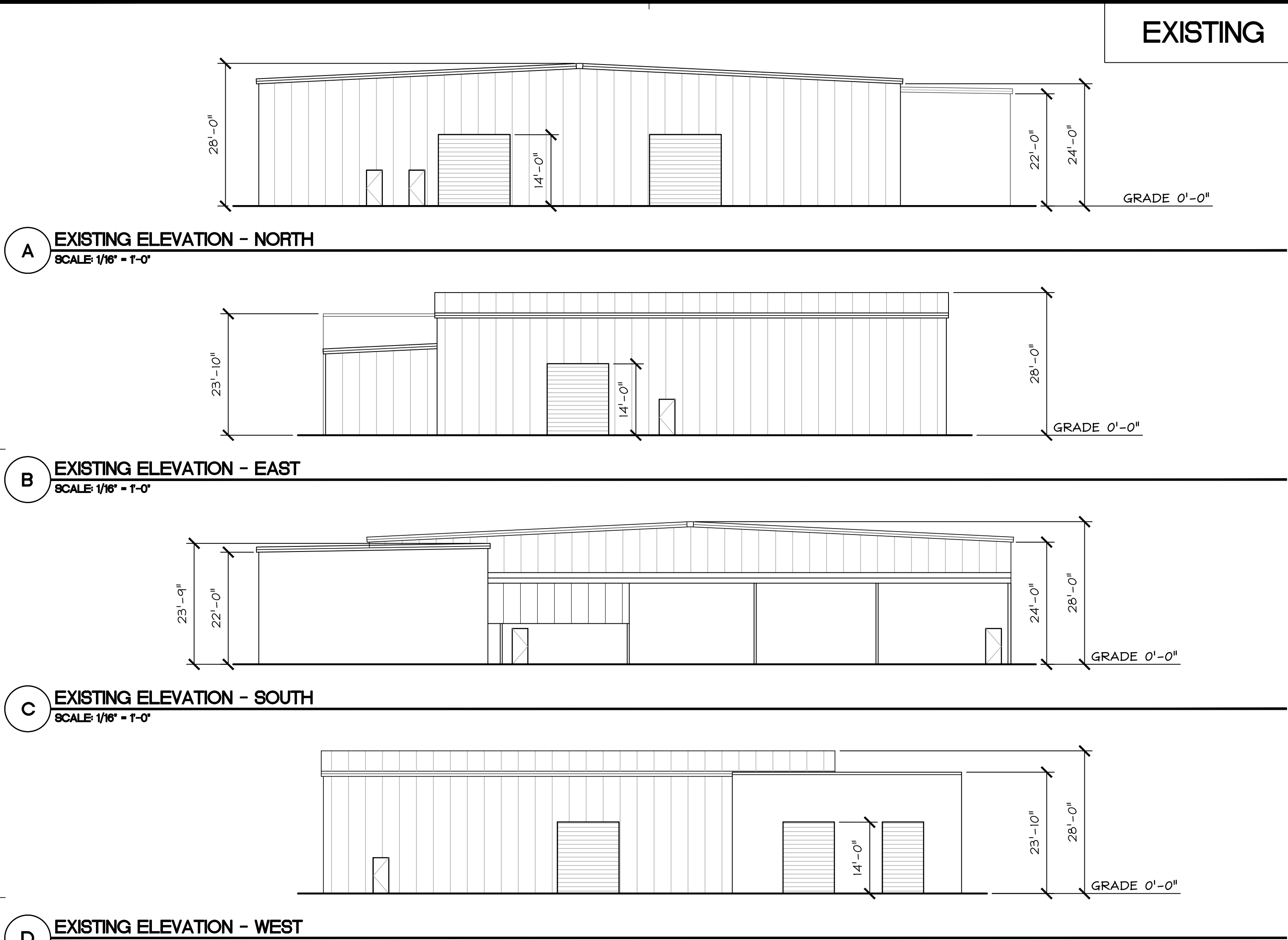
OVERALL SITE - BUILDING ONLY

CHRISTOPHER RANCH

305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE	07/08/20
SCALE	AS NOTED
DRAWN	JN/YP
JOB	18055
SHEET	

A2.13



ORIGINAL PERMIT

BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
AA	U	13,952	1/300	46.5	2	9.3'

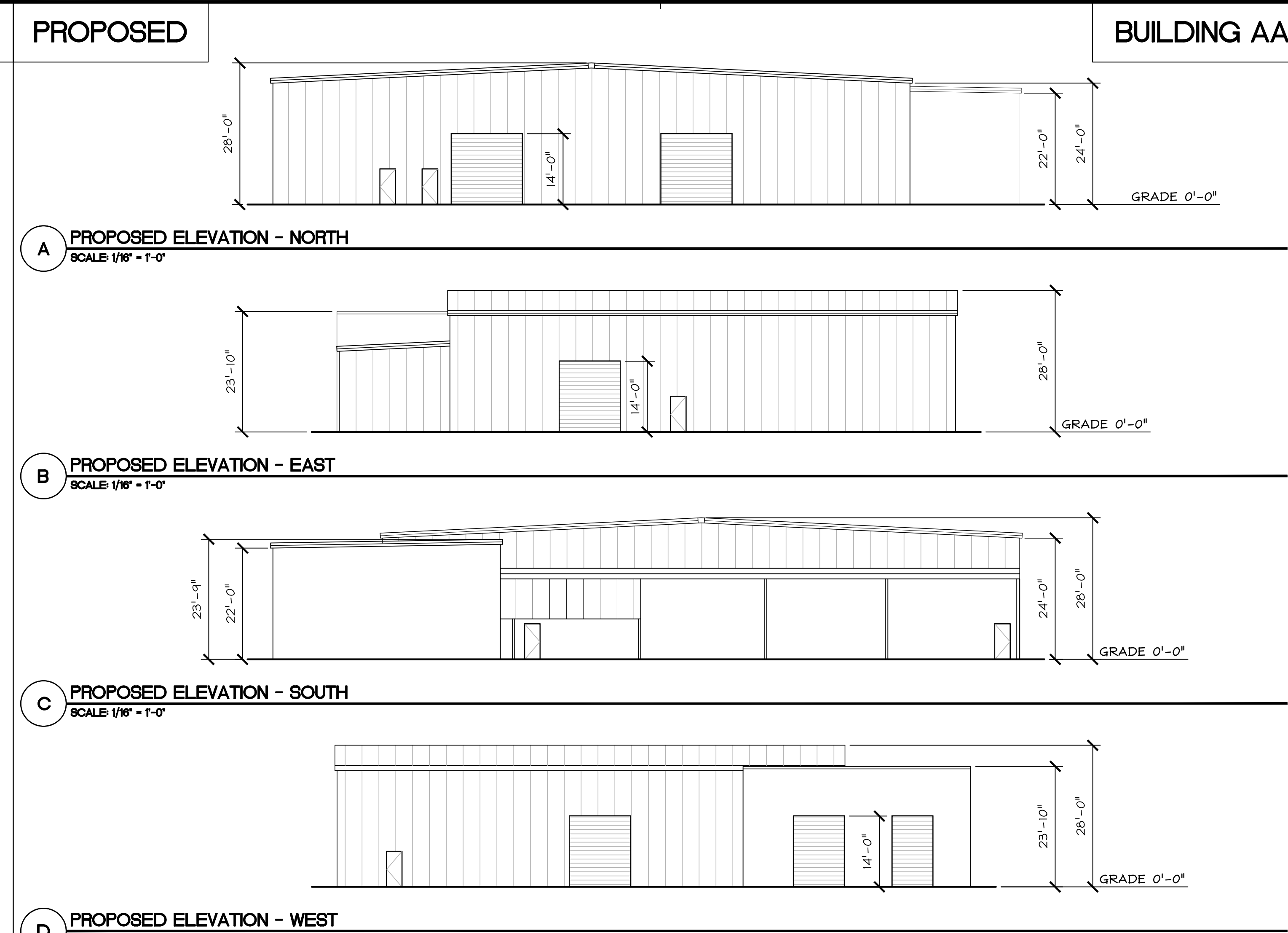
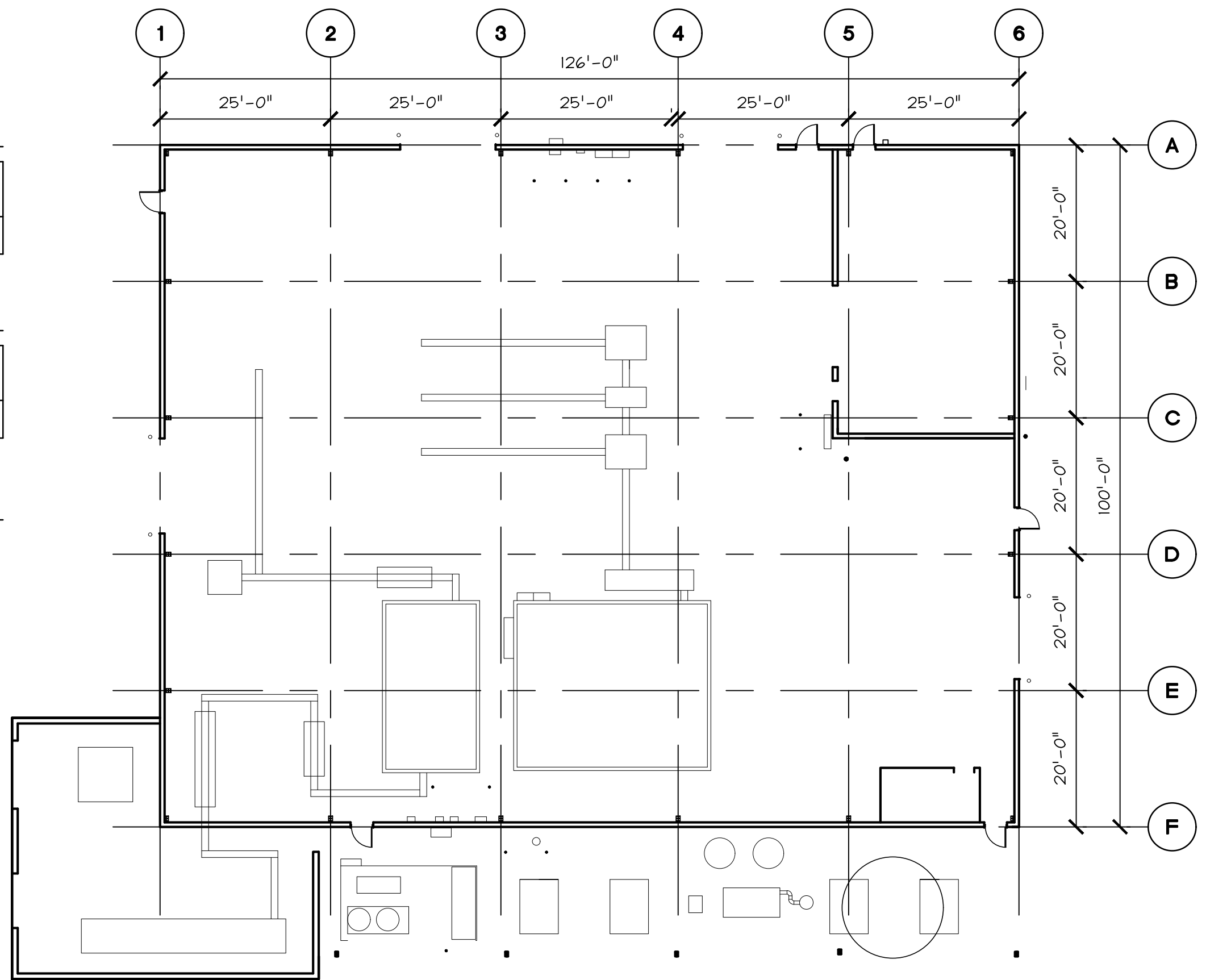
EXISTING

BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
AA	S-1	13,952	1/100	139.52	2	27.904'

SCOPE OF DEMOLITION

NO DEMO WORK PROPOSED

1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING AA
SCALE: 1/16" = 1'-0"



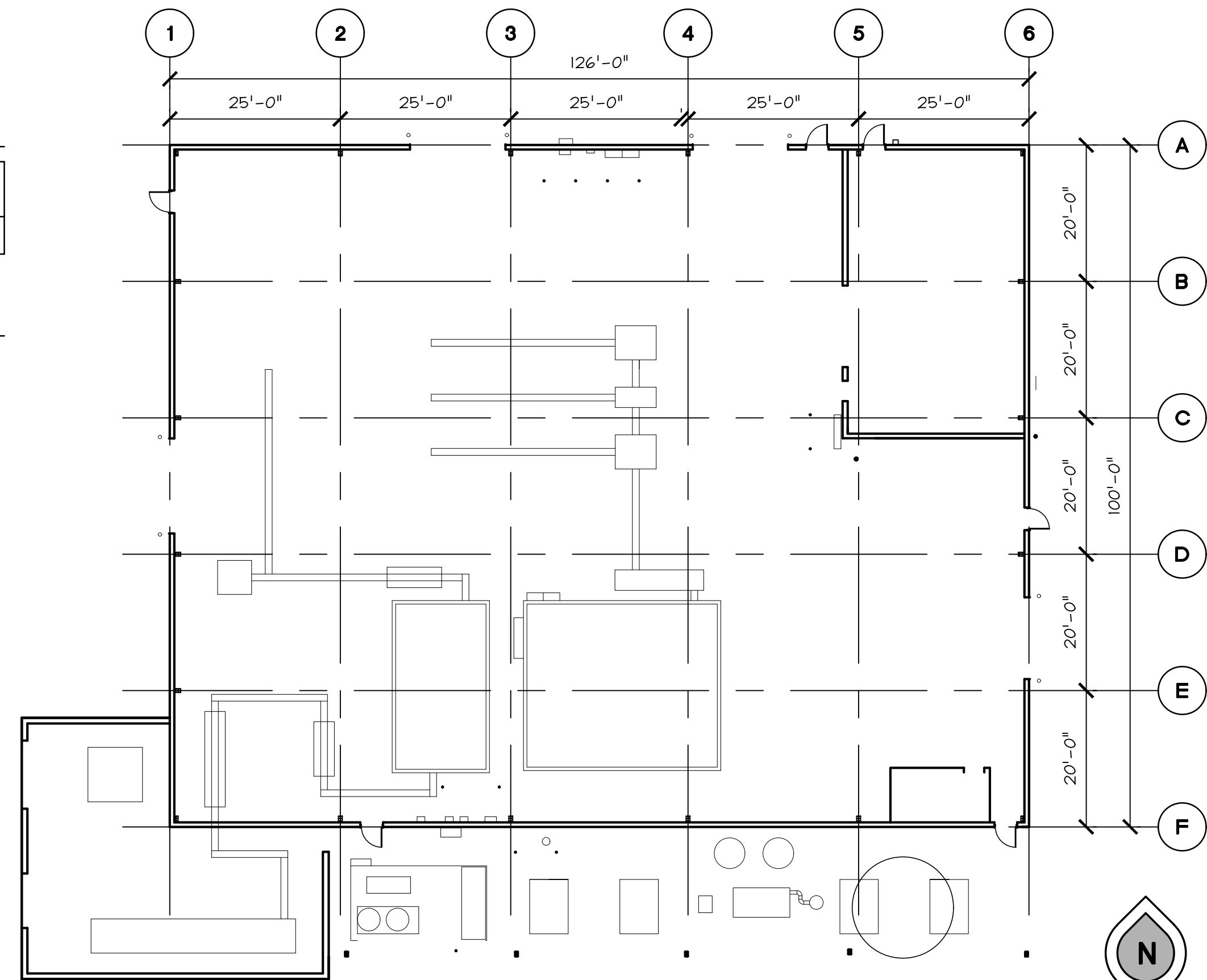
PROPOSED

BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
AA	F-1	13,952	1/100	139.52	2	27.904'

SCOPE OF WORK

PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR PROPOSED F-1 OCCUPANCY

2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING AA (GARLIC PEELING + PACKING)
SCALE: 1/16" = 1'-0"



BUILDING AA

REVISIONS	DATE	BY	DESCRIPTION

BELLI ARCHITECTURAL GROUP 831.424.4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIAAG.COM

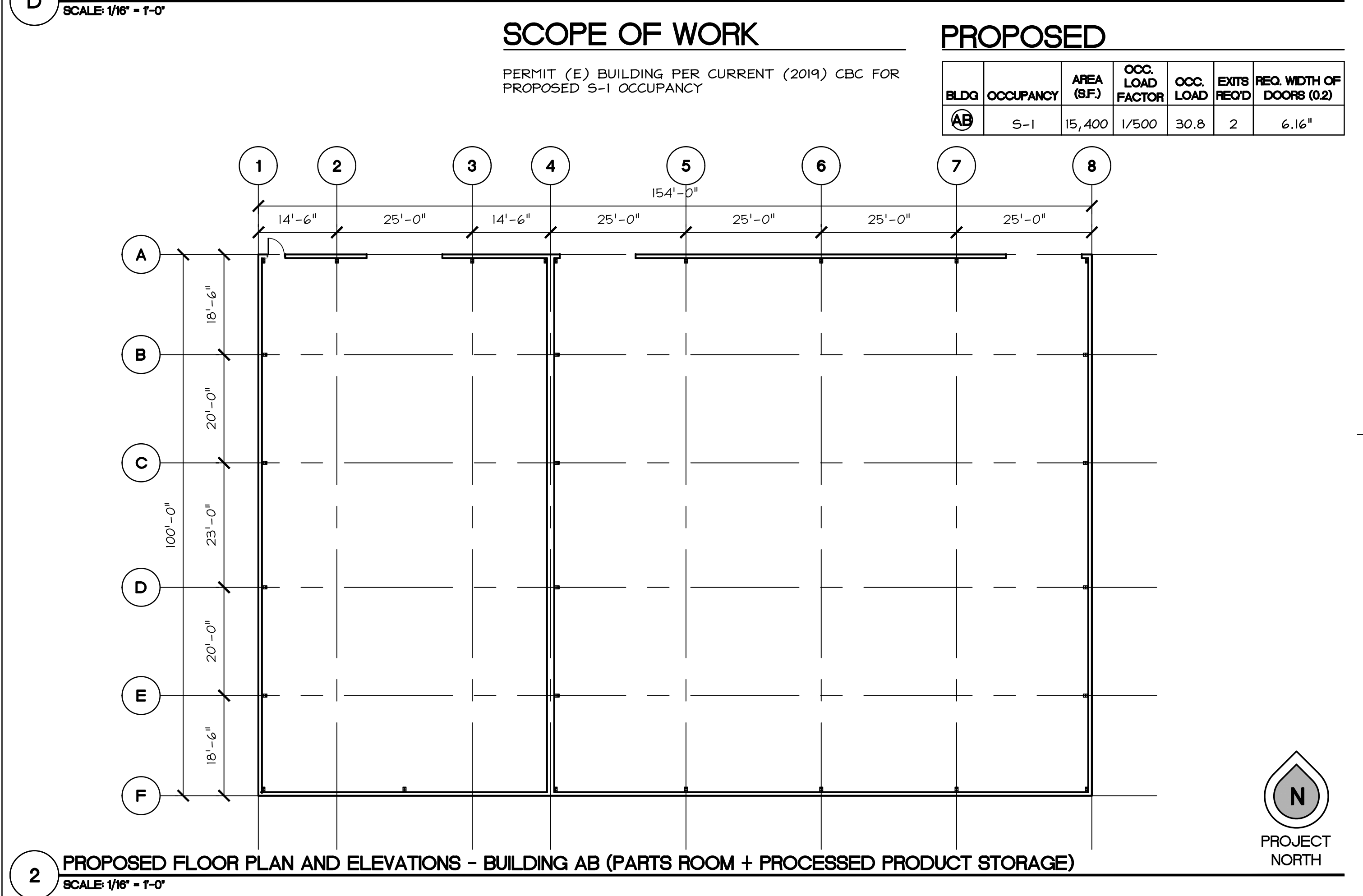
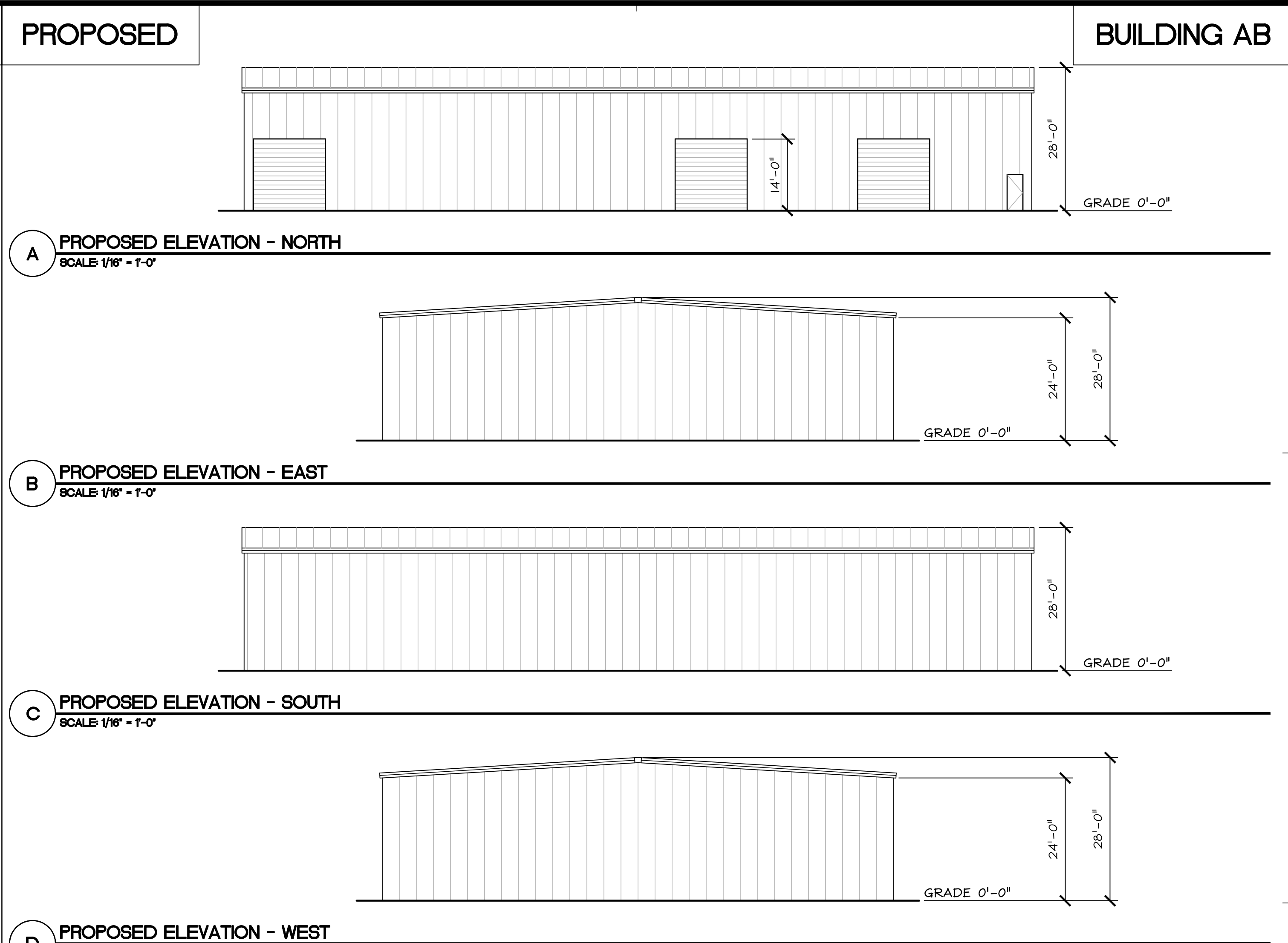
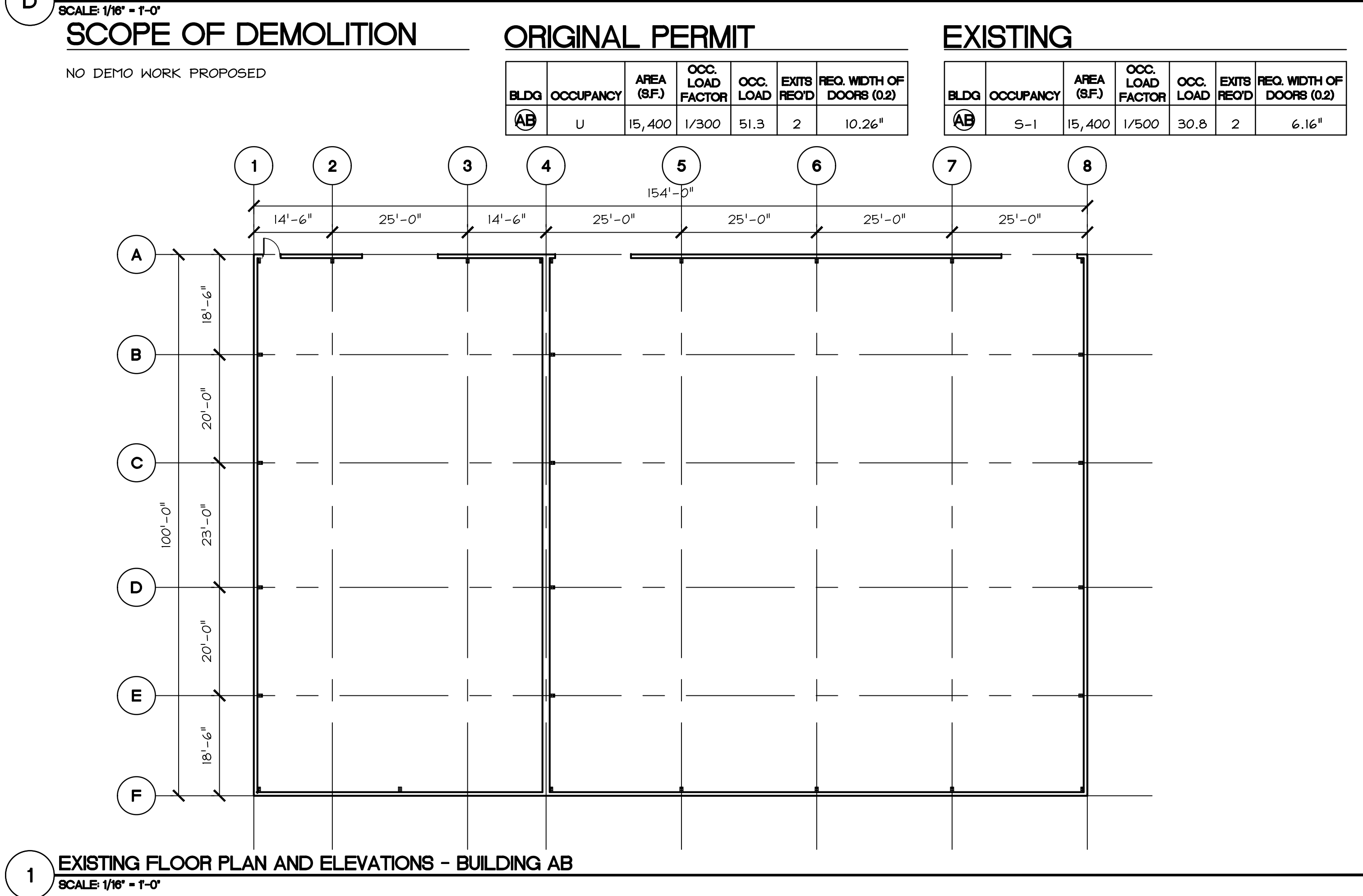
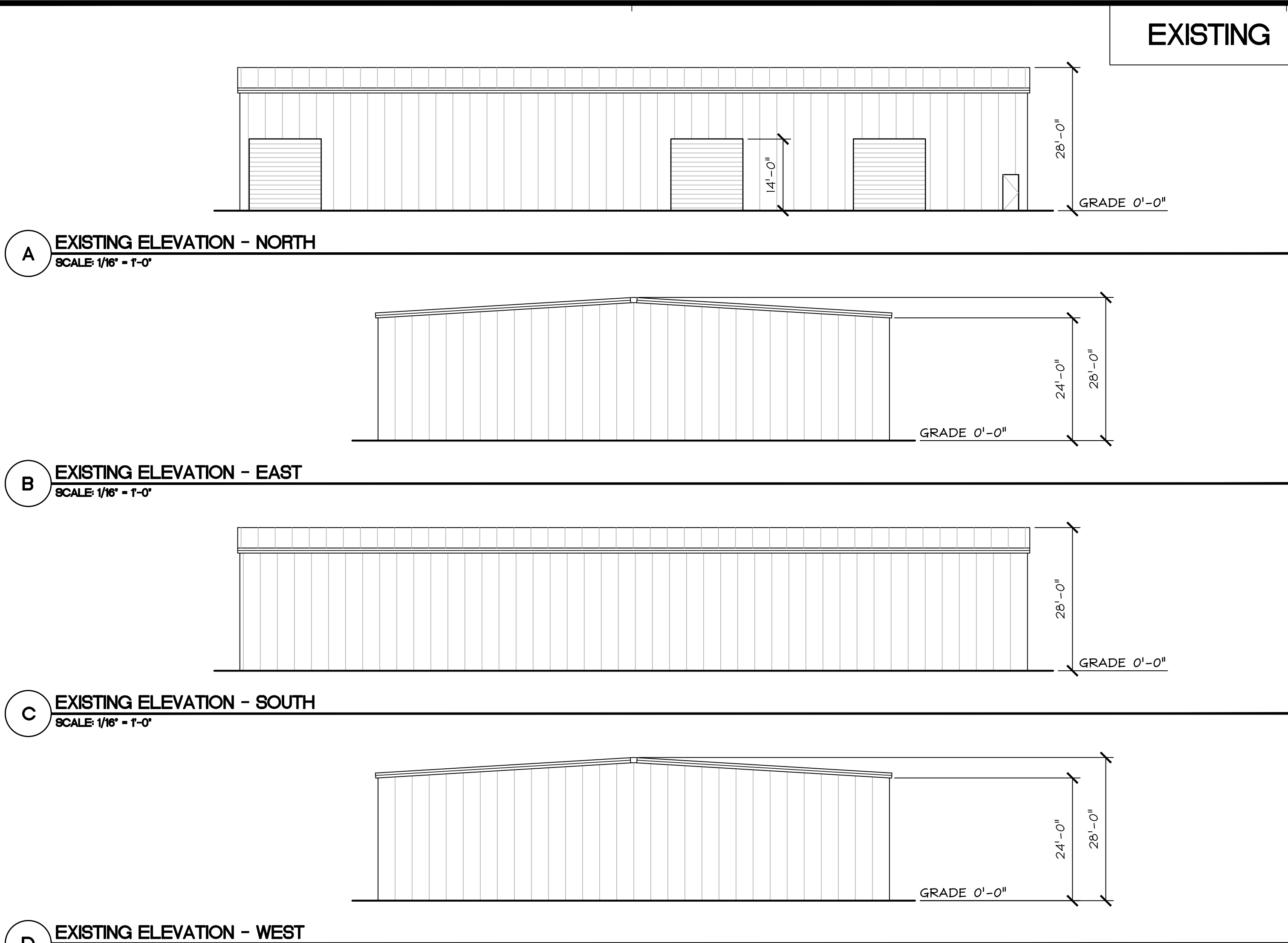
Belli architectural group

EXISTING & PROPOSED FLOOR PLAN/ELEVATIONS - BUILDING AA

OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE 07/08/20
SCALE 1/16" = 1'-0"
DRAWN JN/YP
JOB 18055
SHEET
A2.14
OF SHEETS

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REVISIONS	DATE	BY	DESCRIPTION

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235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLTAG.COM

EXISTING & PROPOSED FLOOR PLAN/ELEVATIONS - BUILDING AB

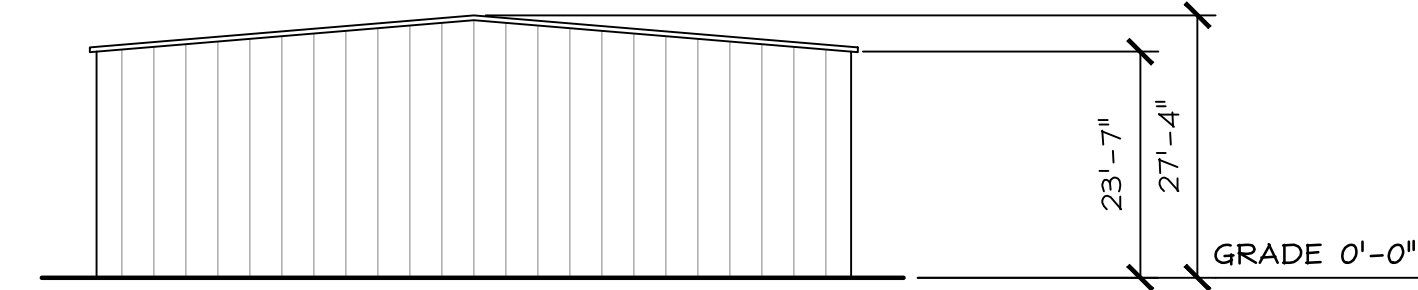
OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE 07/08/20
SCALE 1/16" = 1'-0"
DRAWN JN/YP
JOB 18055
SHEET
A2.15
OF SHEETS

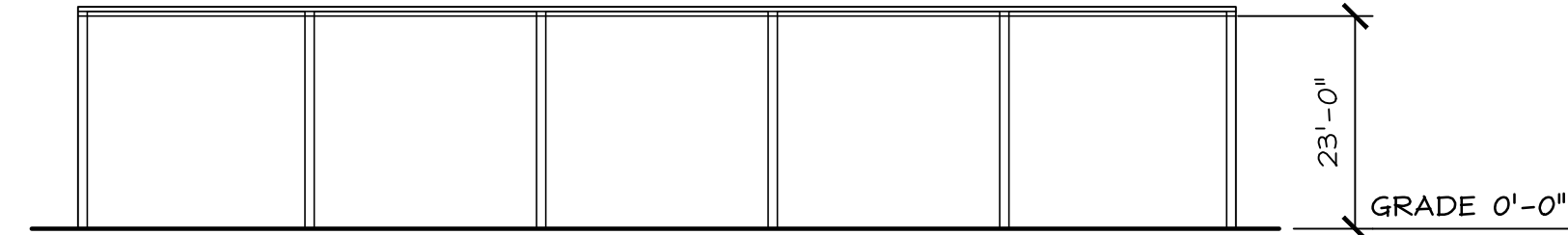
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PROPOSED

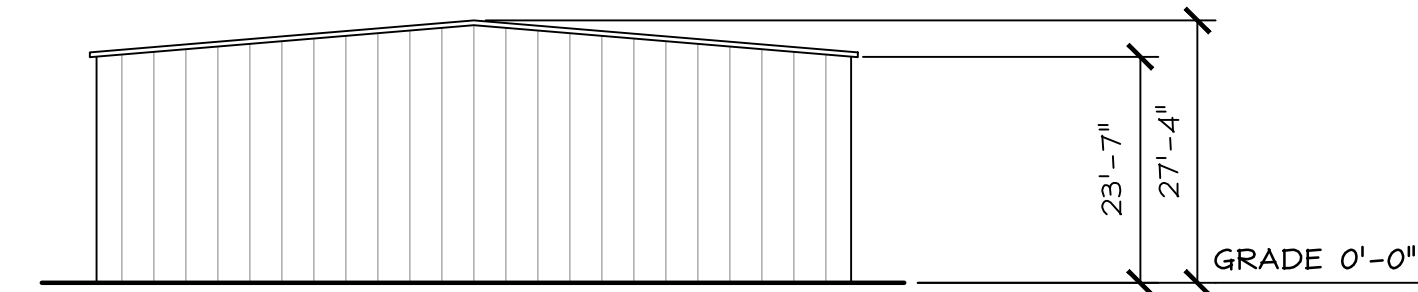
BUILDING AE



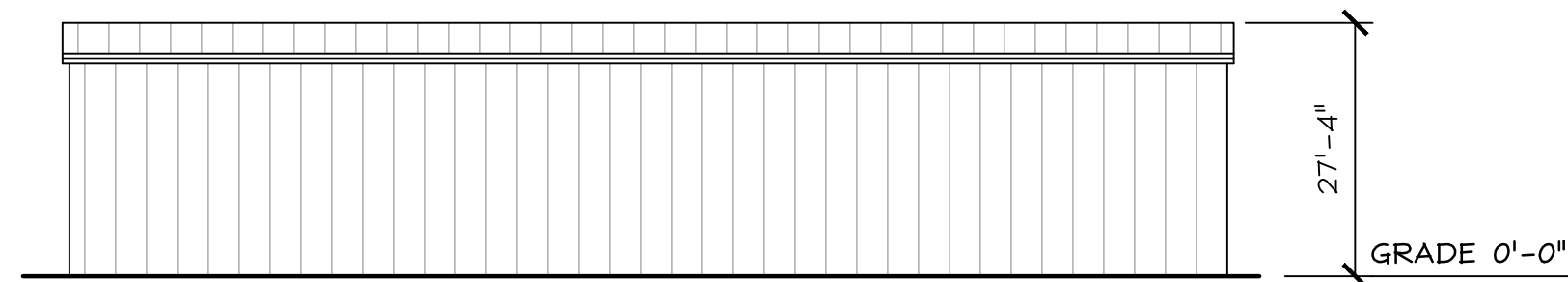
A **PROPOSED ELEVATION - NORTH**
SCALE: 1" = 20'-0"



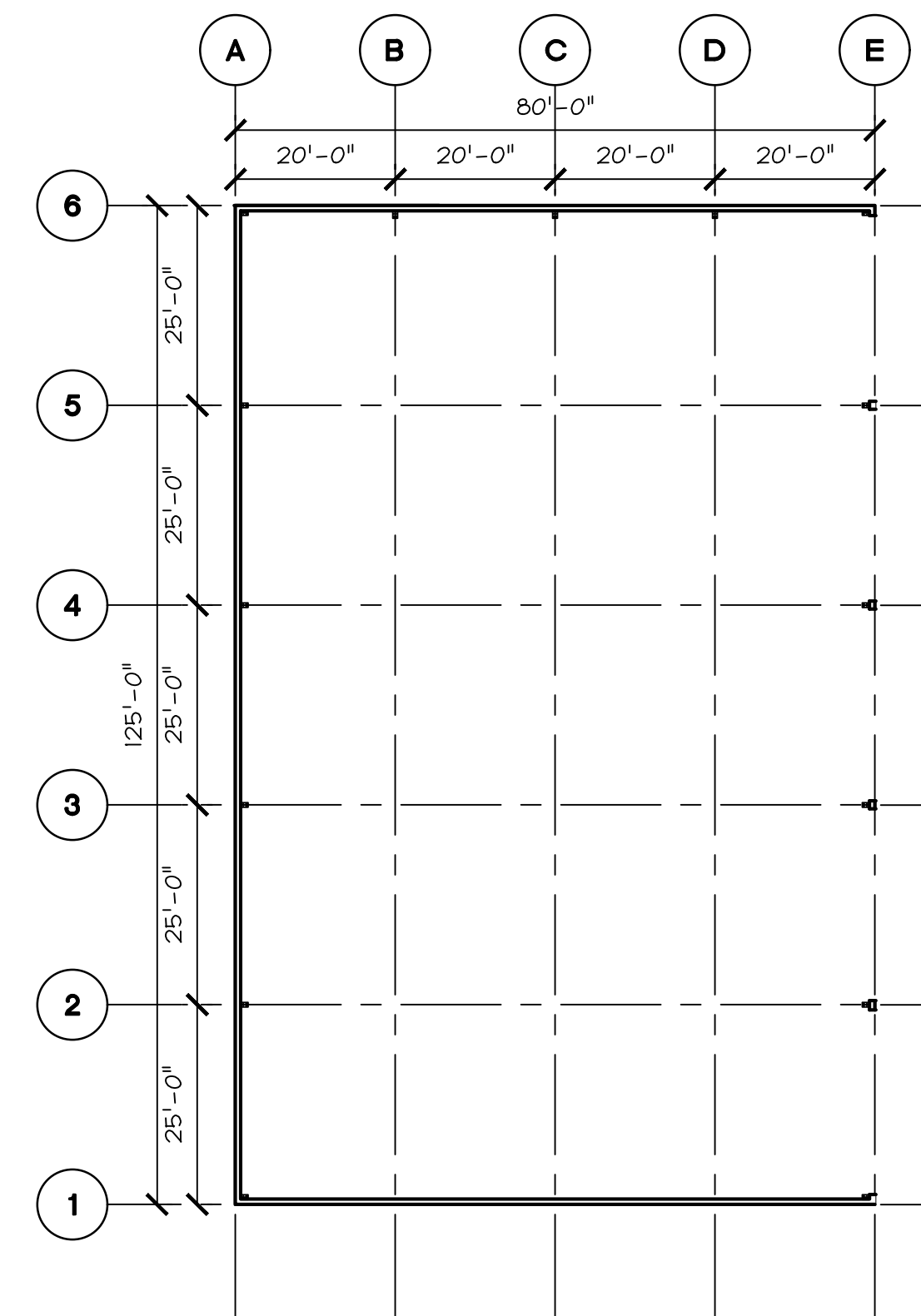
B PROPOSED ELEVATION - EAST
SCALE: 1" = 20'-0"



PROPOSED ELEVATION - SOUTH
SCALE: 1" = 20'-0"



D PROPOSED ELEVATION - WEST
SCALE: 1" = 20'-0"

PROPOSED

BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
AE	S-1	10,000	1/500	20	2	4"

SCOPE OF WORK

SCOPE OF WORK

PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR
PROPOSED S-I OCCUPANCY

PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR
PROPOSED S-I OCCUPANCY

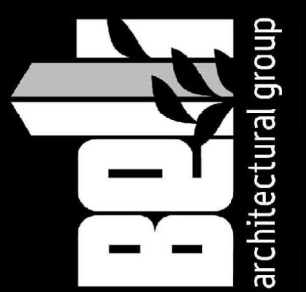
NO DEMO WORK PROPOSED



2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING AE (DRY STORAGE)
SCALE: 1" = 20'-0"

REVISIONS	DATE	BY	DESCRIPTION
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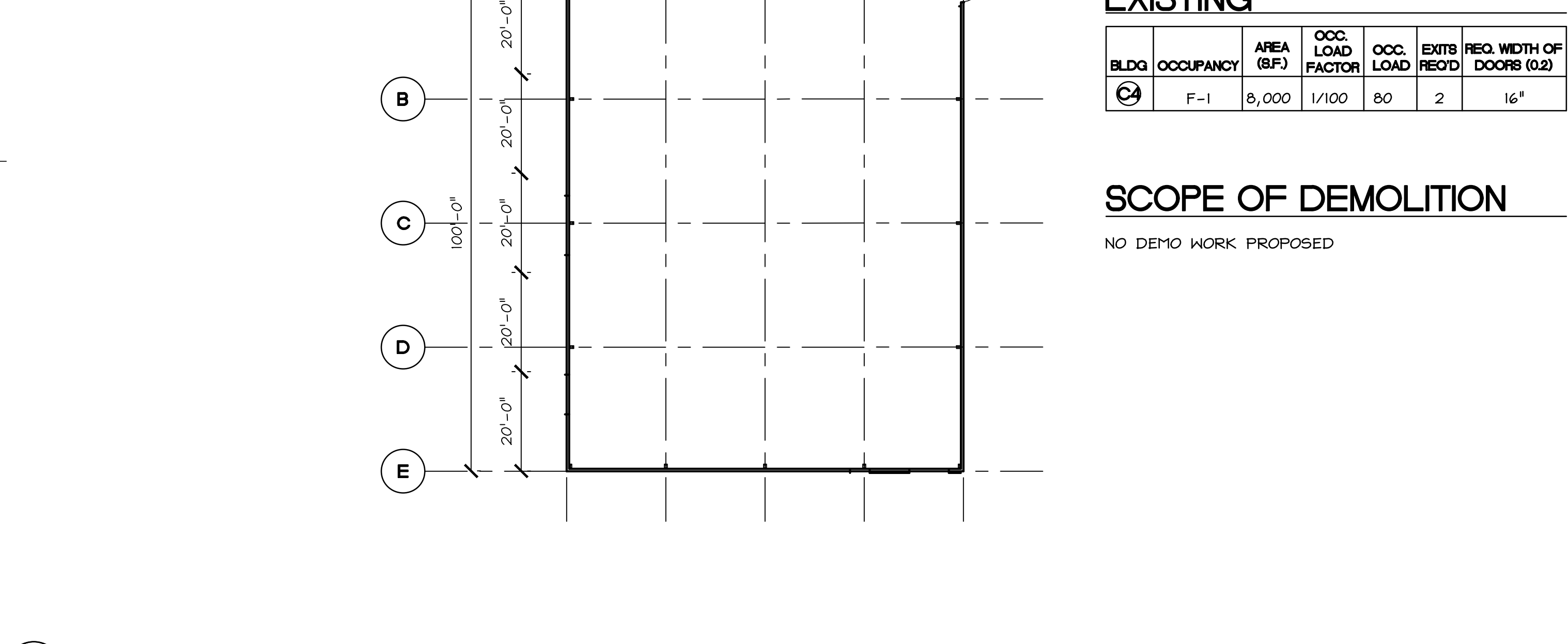
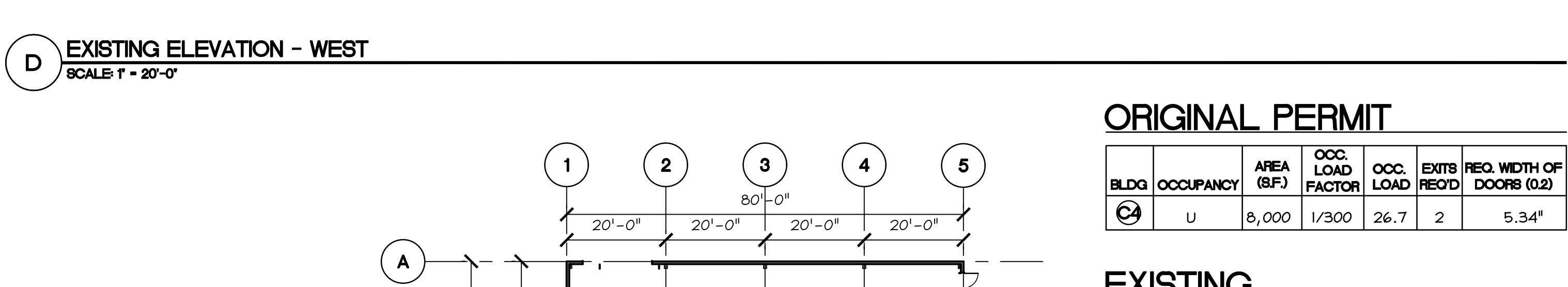
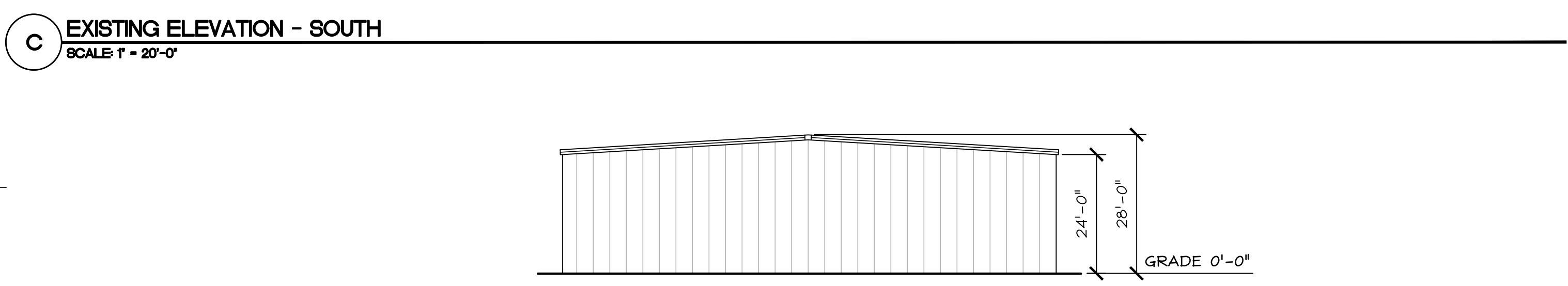
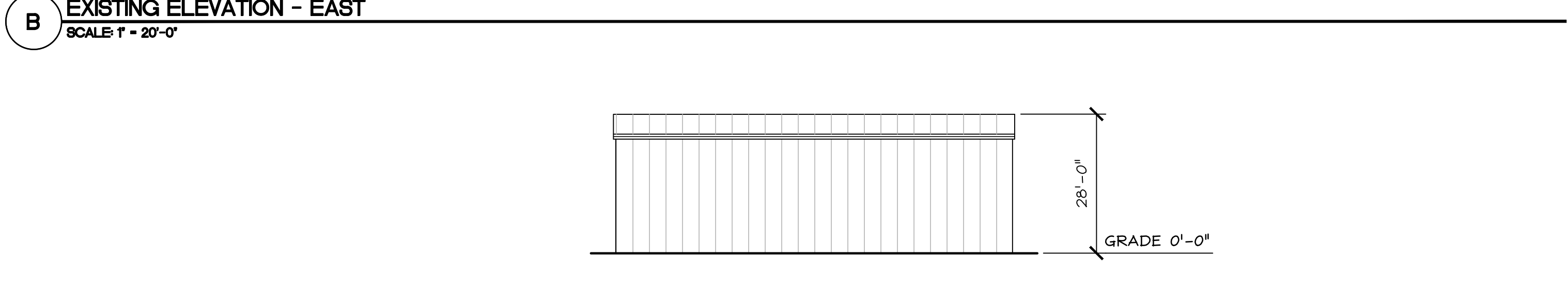
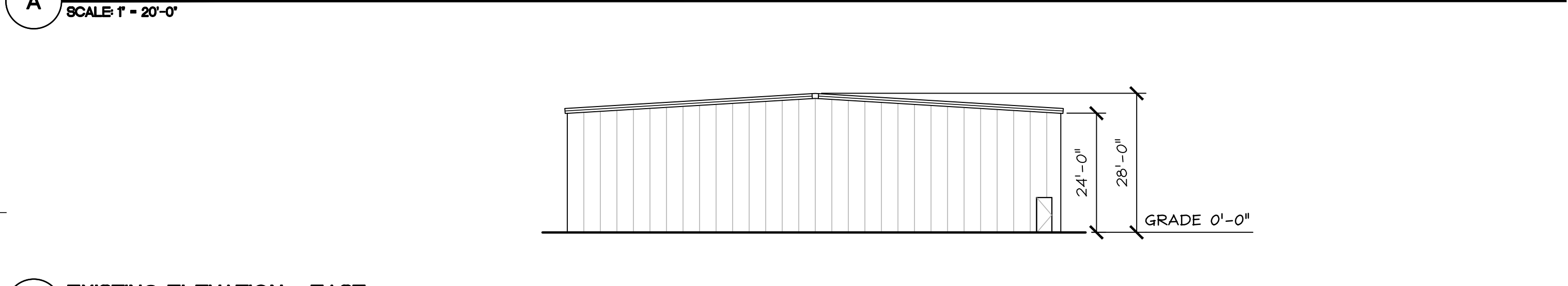
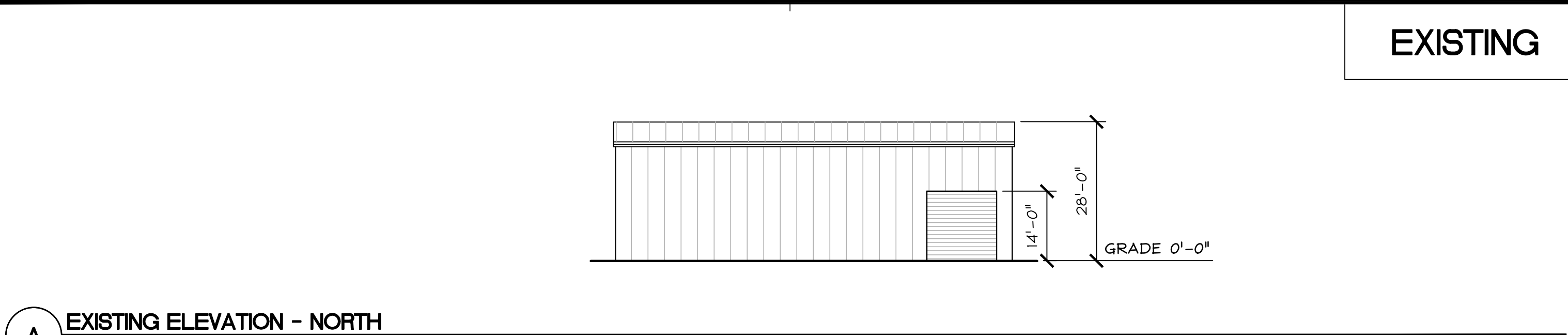
EXISTING & PROPOSED FLOOR PLAN/ELE. - BUILDING AE

OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

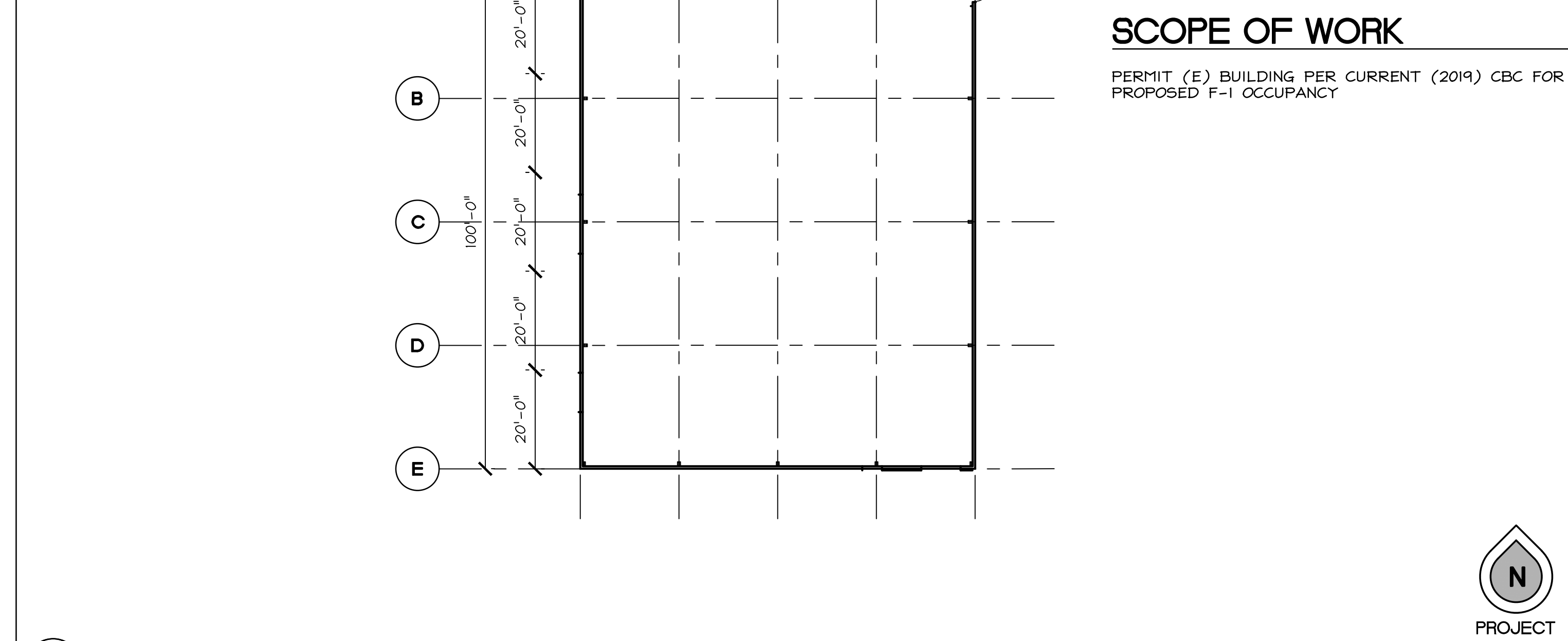
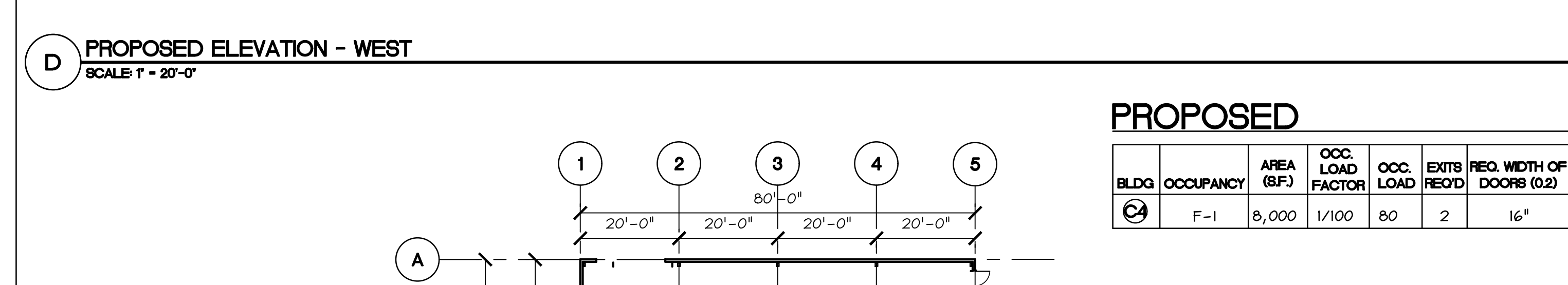
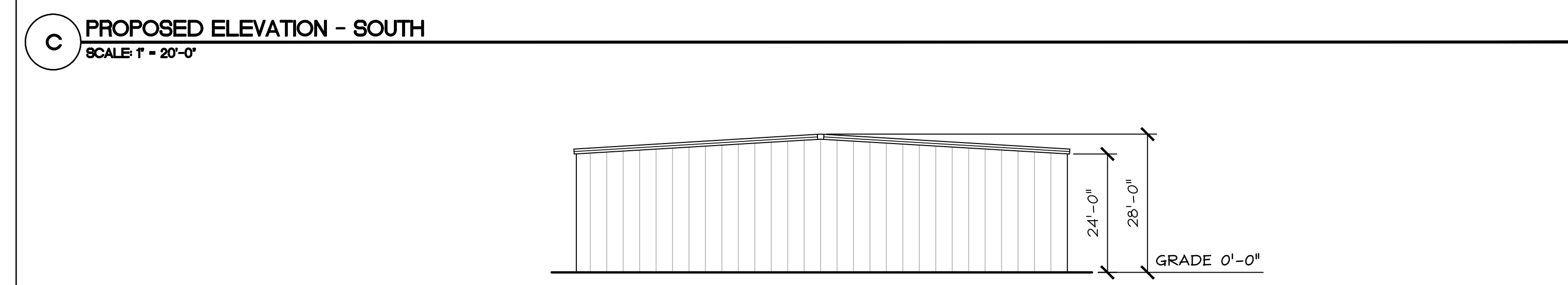
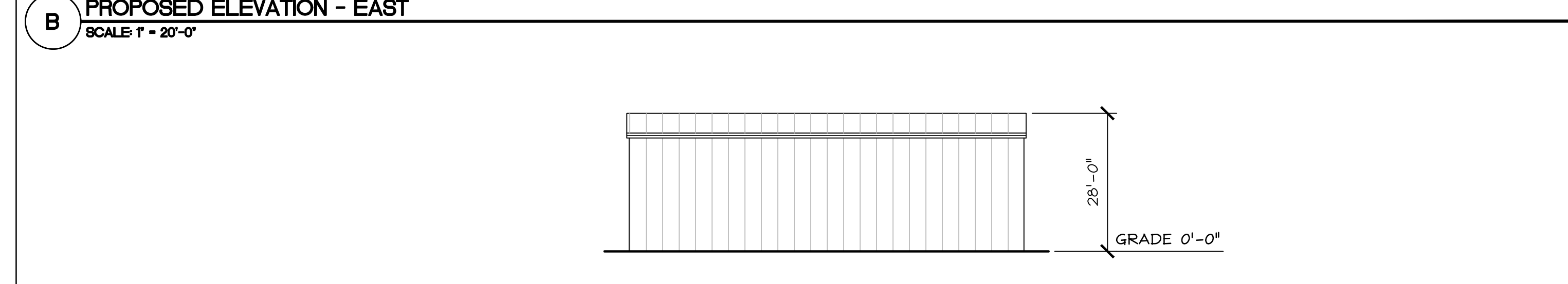
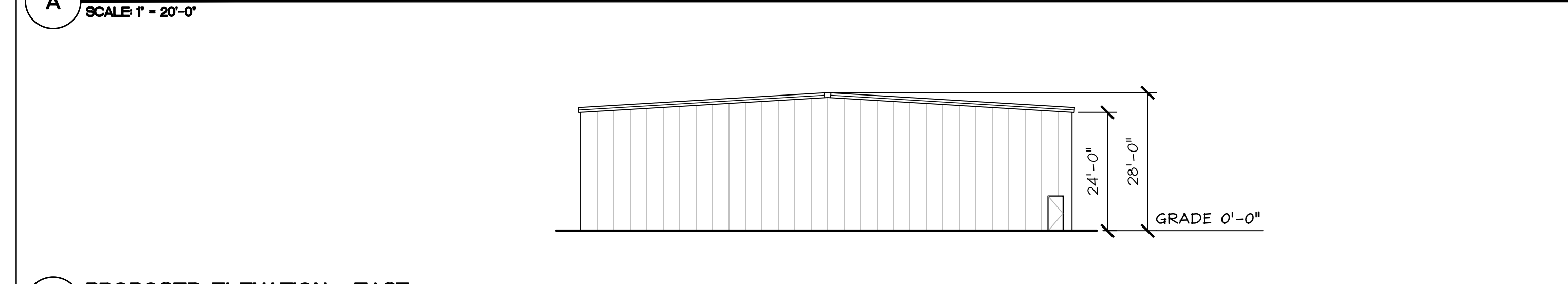
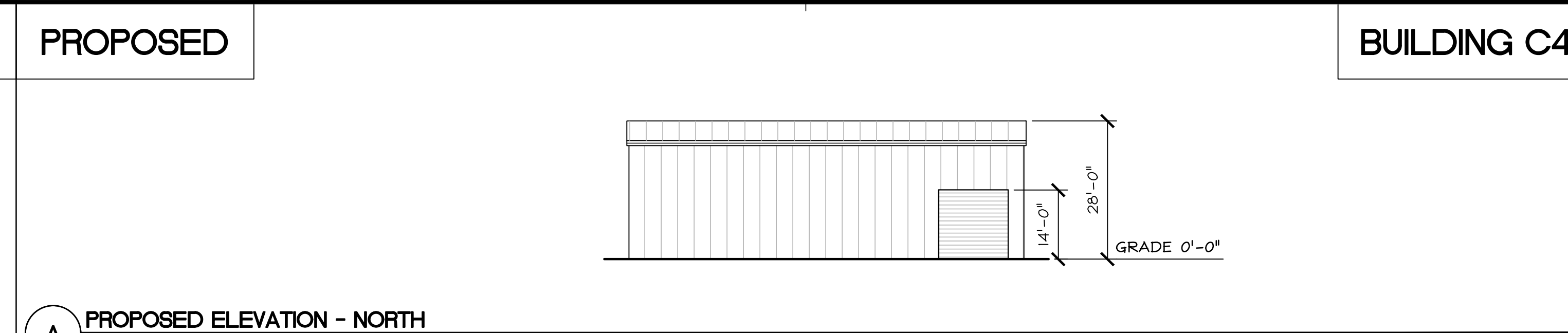
DATE	07/08/20
SCALE	AS NOTED
DRAWN	JN/YP
JOB	18055
SHEET	

A2.16

OF SHEETS



1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING C4
SCALE 1" = 20'-0"



2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING C4 (STORAGE/LOADING DECK)
SCALE 1" = 20'-0"

BUILDING C4

ORIGINAL PERMIT

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
C	U	8,000	1/300	26.7	2	5.34"

EXISTING

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
C	F-1	8,000	1/100	80	2	16"

SCOPE OF DEMOLITION

NO DEMO WORK PROPOSED

PROPOSED

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
C	F-1	8,000	1/100	80	2	16"

SCOPE OF WORK

PERMIT (F) BUILDING PER CURRENT (2019) CBC FOR PROPOSED F-1 OCCUPANCY



REVISIONS	DATE	BY	DESCRIPTION

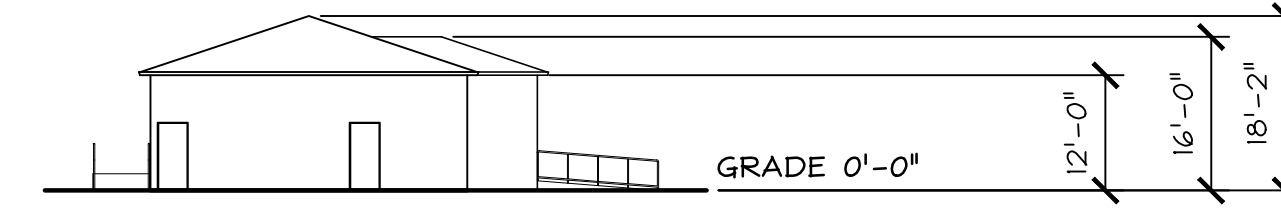
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235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
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Belli architectural group

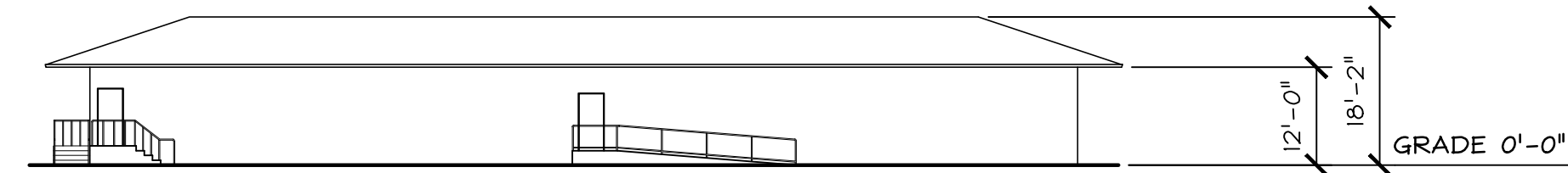
EXISTING & PROPOSED FLOOR PLANS - BUILDING C4
OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE 07/08/20
SCALE AS NOTED
DRAWN JN/YP
JOB 18055
SHEET
A2.17
OF SHEETS

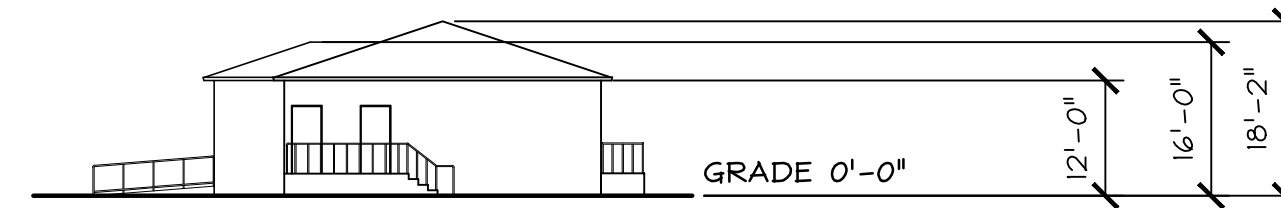
BUILDING LR2



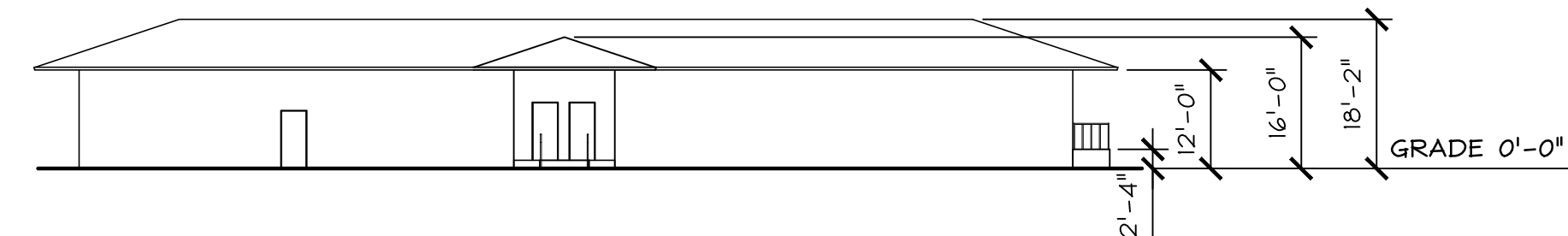
A **PROPOSED ELEVATION - NORTH**
SCALE: 1" = 20'-0"



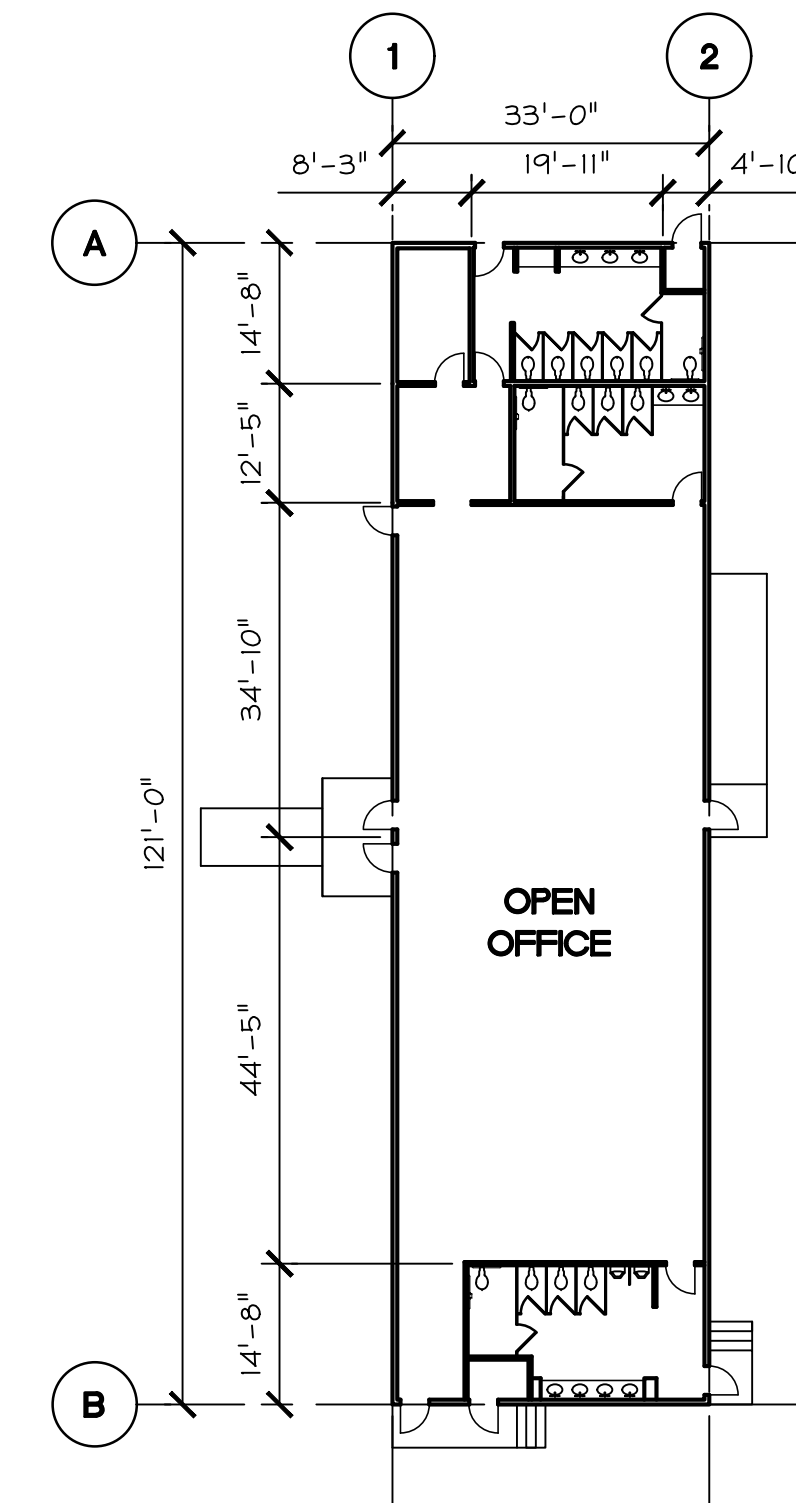
B PROPOSED ELEVATION - EAST
SCALE: 1" = 20'-0"



C **PROPOSED ELEVATION - SOUTH**
SCALE: 1" = 20'-0"



D PROPOSED ELEVATION - WEST
SCALE: 1" = 20'-0"



2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING LR2 (BREAKROOM)
SCALE: 1" = 20'-0"

PROPOSED

BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
LP2	B	396	1/100	3.96	2	.792"

SCOPE OF WORK

SCOPE OF WORK

PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR PROPOSED B OCCUPANCY

PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR
PROPOSED B OCCUPANCY

NO DEMO WORK PROPOSED



REVISIONS	DATE	BY	DESCRIPTION
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BELLIAQ.COM



EXISTING & PROPOSED FLOOR PLAN/VELE. - BUILDING LR2

OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE	07/08/20
SCALE	AS NOTED
DRAWN	JN/YP
JOB	18055
SHEET	

A2.18

OF SHEETS

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