

USE PERMIT FOR:
CHRISTOPHER RANCH

305 BLOOMFIELD AVENUE
GILROY, CA 95020

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MATERIALS

	EARTH
	ROCK/ GRAVEL/ AGGREGATE (OR AS SPECIFICALLY NOTED)
	CONCRETE (OR AS SPECIFICALLY NOTED)
	SAND/ MORTAR/ PLASTER (OR AS SPECIFICALLY NOTED)
	ASPHALTIC CONCRETE PAVING (OR AS SPECIFICALLY NOTED)
	LANDSCAPING AREA (OR AS SPECIFICALLY NOTED)

ABBREVIATIONS

∠	AND				
L	ANGLE				
AT	AT				
CL	CENTERLINE				
Ø	DIAMETER OR ROUND				
⊥	PERPENDICULAR				
(E)	ROUND OR NUMBER				
(N)	EXISTING				
NEH	NEH				
ARCH.	ARCHITECTURAL				
ASPH.	ASPHALT				
BD.	BOARD				
BLDG.	BUILDING				
BLK.	BLOCK				
BLKG.	BLOCKING				
BM.	BEAM				
BOT.	BOTTOM				
BTWN.	BETWEEN				
CEN.	CENT				
C.I.	CAST IRON				
C.J.	CONSTRUCTION JOINT				
CLG.	CEILING				
CLR.	CLEAR				
C.M.U.	CONCRETE MASONRY UNIT				
COL.	COLUMN				
CONC.	CONCRETE				
CONT.	CONTINUOUS				
CTR.	CENTER				
DBL.	DOUBLE				
DEPT.	DEPARTMENT				
DET.	DETAIL				
DIA.	DIAMETER				
DIM.	DIMENSION				
DN.	DOWN				
DR.	DOOR				
DS.	DOWNSPOUT				
DWG.	DRAWING				
EAST	EAST				
EACH	EACH				
E.A.	EXPANSION JOINT				
E.L.	ELEVATION				
ELEC.	ELECTRICAL				
ELEV.	ELEVATOR				
EMER.	EMERGENCY				
EQ.	EQUAL				
EXIST.	EXISTING				
EXT.	EXTERIOR				
F.A.	FIRE ALARM				
F.D.	FLOOR DRAIN				
F.E.	FIRE EXTINGUISHER				
F.E.C.	FIRE EXTINGUISHER CABINET				
FIN.	FINISH				
FLOOR	FLOOR				
F.O.C.	FACE OF CONCRETE				
F.O.F.	FACE OF FINISH				
F.O.M.	FACE OF MASONRY				
F.O.S.	FACE OF STRUCTURE				
FT.	FOOT OR FEET				
FTG.	FOOTING				
GA.	GAUGE				
GALV.	GALVANIZED				
GL.	GLASS				
GYP.	GYP.SUM				
H.C.	HOLLOW CORE				
HDR.	HEADER				
HDWD.	HARDWOOD				
HDNE.	HARDWARE				
H.M.	HOLLOW METAL				
HORIZ.	HORIZONTAL				
HR.	HOUR				
HGT.	HEIGHT				
I.B.C.	INSTALLED BY CONTRACTOR				
I.D.	INSIDE DIAMETER (DIM)				
I.M.P.	INSULATED METAL PANEL				
IN.	INCH				
INSUL.	INSULATION				
INT.	INTERIOR				
JT.	JOINT				
LAM.	LAMINATE				
LAV.	LAVATORY				
LT.	LIGHT				
MAX.	MAXIMUM				
MECH.	MECHANICAL				
MET.	METAL				
MFR.	MANUFACTURER				
MIN.	MINIMUM				
MISC.	MISCELLANEOUS				
MTD.	MOUNTED				
N.	NORTH				
N.I.C.	NOT IN CONTRACT				
NO. OR #	NUMBER				
N.T.S.	NOT TO SCALE				
O.C.	ON CENTER				
OPNG.	OPENING				
PRCST.	PRECAST				
PL.	PLATE				
P. LAM.	PLASTIC LAMINATE				
PLYWD.	PLYWOOD				
P.S.I.	POUNDS PER SQUARE INCH				
PR.	PAIR				
PT.	POINT				
RAD.	RADIUS				
R.D.	ROOF DRAIN				
REINF.	REINFORCED				
REQ.	REQUIRED				
RESIL.	RESILIENT				
RM.	ROOM				
R.O.	ROUGH OPENING				
S.	SOUTH				
SCHED.	SCHEDULE				
SECT.	SECTION				
SHT.	SHEET				
SIM.	SIMILAR				
SPEC.	SPECIFICATION				
SO.	SQUARE				
STD.	STANDARD				
STL.	STEEL				
T.C.	TOP OF CURB				
TYP.	TYPICAL				
U.O.N.	UNLESS OTHERWISE NOTED				
VERT.	VERTICAL				
VEST.	VESTIBULE				
W/	WITH				
W.C.	WATER CLOSET				
W/O	WITHOUT				

GENERAL NOTES

- CONTRACTOR SHALL BECOME COMPLETELY FAMILIAR WITH THE CONSTRUCTION DOCUMENTS PRIOR TO STARTING CONSTRUCTION.
- THE ARCHITECT SHALL BE NOTIFIED OF ANY OMISSIONS OR DISCREPANCIES IN THE WORKING DRAWINGS AND/OR SPECIFICATIONS BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
- ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE SHOWN ON THE PLANS, SECTIONS AND DETAILS.
- SPECIFIC DETAILS AND NOTES TAKE PRECEDENCE OVER STRUCTURAL AND TYPICAL DETAILS.
- WHERE SPECIFIC DETAILS ARE NOT PROVIDED, CONSTRUCTION CAN FOLLOW DETAILS FOR SIMILAR CONDITIONS, UNLESS CONFLICT OCCURS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN INSTALLATION AND MAINTENANCE OF ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS FINALIZED.
- THE CONTRACTOR SHALL PERIODICALLY REMOVE DEBRIS AND CLEAN THE AREA WHERE THEY ARE WORKING.
- THE CONTRACTOR SHALL TURN OVER TO THE OWNER A CLEAN AND COMPLETE JOB. ANY WORK NOT SPECIFICALLY CALLED FOR OR SPECIFIED, BUT NECESSARY TO COMPLY WITH THE INTENT OF QUALITY AND COMPLETENESS SHALL BE PERFORMED AS PART OF THIS PROJECT.
- FIRE EXTINGUISHERS SHALL BE INSTALLED PER UNIFORM FIRE CODE STANDARDS.
- ALL GYP. BD. SHALL BE 5/8" U.O.N.
- EXTRA EXIT SIGNS MAY BE REQUIRED DURING FINAL INSPECTION. EXACT LOCATION OF EXIT SIGNS MAY BE ALTERED DURING FINAL INSPECTION.

CODES: 2019 CBC - CALIFORNIA BUILDING CODE 2019 CEC - CALIFORNIA ELECTRICAL CODE
2019 CPC - CALIFORNIA PLUMBING CODE 2019 CFC - CALIFORNIA FIRE CODE
2019 CMC - CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA TITLE 24 ENERGY REQUIREMENTS
2019 CALGREEN 2019 CALIFORNIA AMENDMENTS

PROJECT TEAM

OWNER CHRISTOPHER RANCH CONTACT: JASON CHRISTOPHER PHONE: (408) 848-9282	GENERAL CONTRACTOR SSE CONSTRUCTION CONTACT: MATT HUMPHREYS PHONE: (831) 424-1647	ARCHITECT BELL ARCHITECTURAL GROUP CONTACT: LINO BELL PHONE: (831) 424-4620 FAX: (831) 424-4408
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PROJECT DATA

AP NUMBER:	841-33-009
PROJECT ADDRESS:	305 BLOOMFIELD AVE. GILROY, CA 95020
OWNER:	CHRISTOPHER RANCH LLC BILL CHRISTOPHER 305 BLOOMFIELD AVE. GILROY, CA
PARCEL AREA:	5,773,077 S.F. 132.53 ACRES
ALLOWABLE FLOOR AREA RATIO:	MAX: 100% = 5,773,077 S.F. MAX. ALLOWABLE PROPOSED: TO REMAIN THE SAME
LANDSCAPE REQUIREMENT:	(E) TO REMAIN. ADD (N) LANDSCAPING AT DRIVEWAY ENTRIES.
HEIGHT LIMIT:	NOT TO EXCEED 35'

(E) OCCUPANCY GROUP: S-1, F-1, B

(N) OCCUPANCY GROUP: S-1, F-1, B

CONSTRUCTION TYPE: VARIES, SEE A1.0

NUMBER OF STORIES: 1 STORY

ZONING: A-40Ac-sr (99.9%)

CURRENT USE: Ag PROCESSING, Ag STORAGE, AND SUPPORTING FACILITIES.

PROPOSED USE: SAME

OPERATION: Ag PROCESSING AND STORAGE: SORTING,
CHOPPING, PACKAGING OF Ag PRODUCTS

EMPLOYEES: 785 (ENTIRE SITE)

EMPLOYEE PARKING: EXISTING 510 SPACES
PROPOSED: SAME (UPGRADE PARKING AS
REQUIRED DURING BUILDING PERMIT PROCESS).
NO NEW TRAFFIC GENERATED. NO ADDITIONAL
PARKING STALLS REQUIRED.

TRUCK TRAFFIC: NO INCREASE IN TRAFFIC

SEWER SERVICE PROVIDER: SEPTIC ON SITE

WATER SERVICE PROVIDER: PRIVATE WELLS ON SITE

BUILDING HEIGHTS (VARIES): EXISTING TO REMAIN

PROJECT DESCRIPTION

SITE HISTORY:

THE ENTIRE SITE IS USED FOR Ag PROCESSING AND STORAGE, WITH ASSOCIATED OFFICES TO SERVE THE Ag PROCESSING AND STORAGE FUNCTIONS.

GENERAL REASON FOR PROJECT:

IN ORDER TO MAKE PROGRESS ON THE CURRENT COMPLIANCE AGREEMENT, CHRISTOPHER RANCH HAS AGREED TO INCREMENTALLY BRING AG EXHIBIT STRUCTURES INTO COMPLIANCE. ADDITIONALLY, EXISTING BREAK ROOM AND RESTROOMS ARE INADEQUATE AND NEED TO BE UPGRADED TO PROVIDE ADEQUATE AND SAFE EMPLOYEE SERVICES (BREAK ROOM AND RESTROOMS) FOR EXISTING EMPLOYEES ON SITE.

DESCRIPTION/EXTENT OF WORK TO BE PERFORMED, INCLUDING DEMOLITION OF EXISTING ELEMENTS:

- DEMOLISH THE FOLLOWING EXISTING BUILDINGS ON SITE, INCLUDING:

(E) Ag PROCESSING SHED BUILDING 'L'	8,200 SF
(E) OFFICE BUILDING NEXT TO BUILDING 'L'	1,781 SF
(E) OFFICE/CONFERENCE BUILDING, NEXT TO BUILDING 'L'	1,151 SF
(E) GARLIC GRADING BUILDING 'M'	12,800 SF
(E) STORAGE BUILDING 'N' (NORTH PERIMETER OF PROPERTY)	3,886 SF
(E) TRAILER (NORTH PERIMETER OF PROPERTY)	648 SF
(E) RESIDENCE (NORTH PERIMETER OF PROPERTY)	715 SF

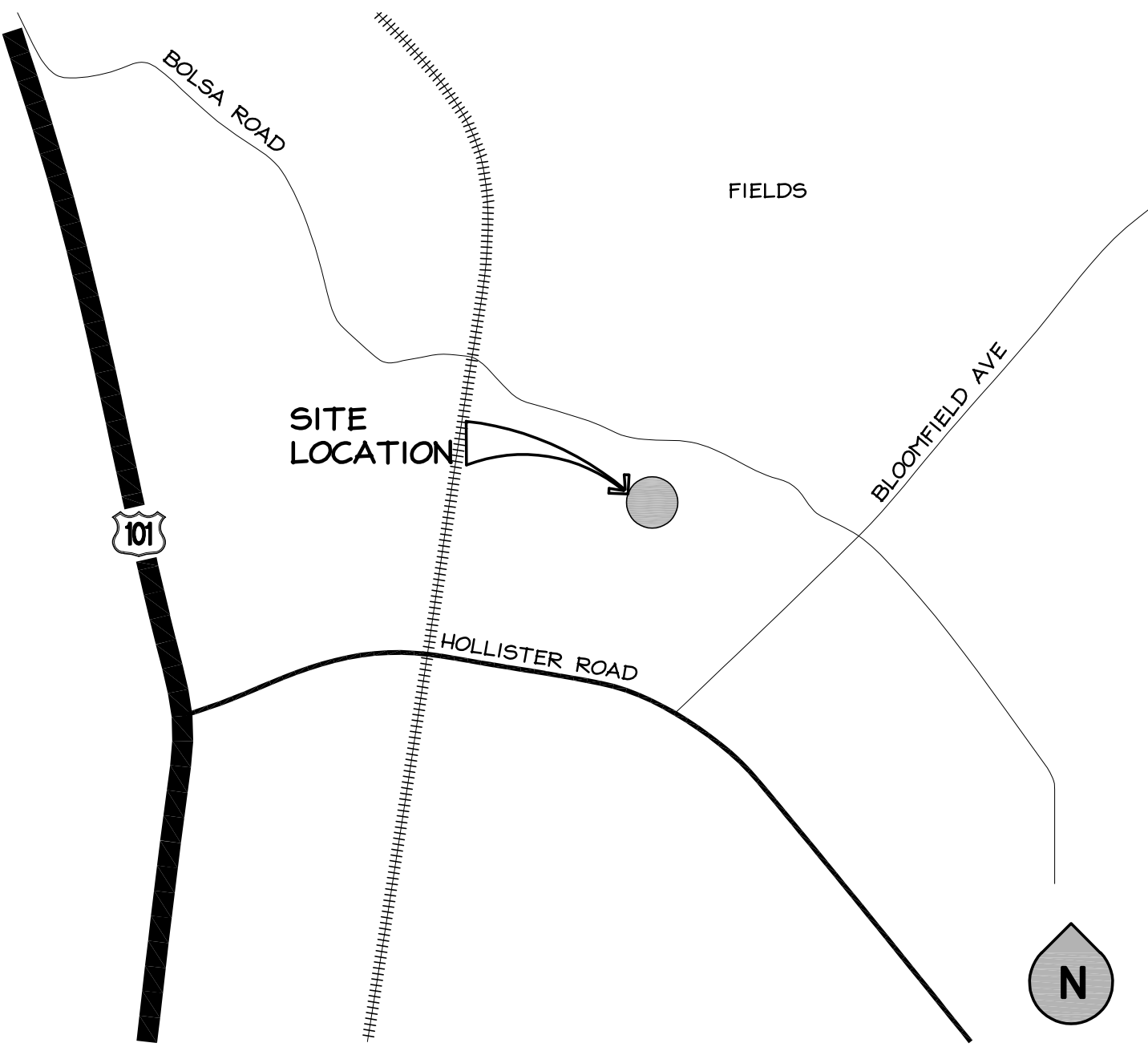
TOTAL DEMO SF	29,181 SF (DEMO)
FUTURE SF	29,181 SF

NOTE: CHRISTOPHER RANCH WOULD LIKE TO REQUEST THE RIGHT TO EVENTUALLY BUILD-BACK THE SAME AMOUNT OF SF THAT'S BEING DEMOLISHED.

- OBTAIN PROPER BUILDING PERMITS AND CERTIFICATE OF OCCUPANCY FOR BUILDINGS IDENTIFIED IN COMPLIANCE AGREEMENT

MATERIALS AND FINISHES:

METAL BUILDINGS WITH CORRUGATED METAL WALL PANELS AND METAL PANEL ROOFING



VICINITY MAP

SYMBOLS

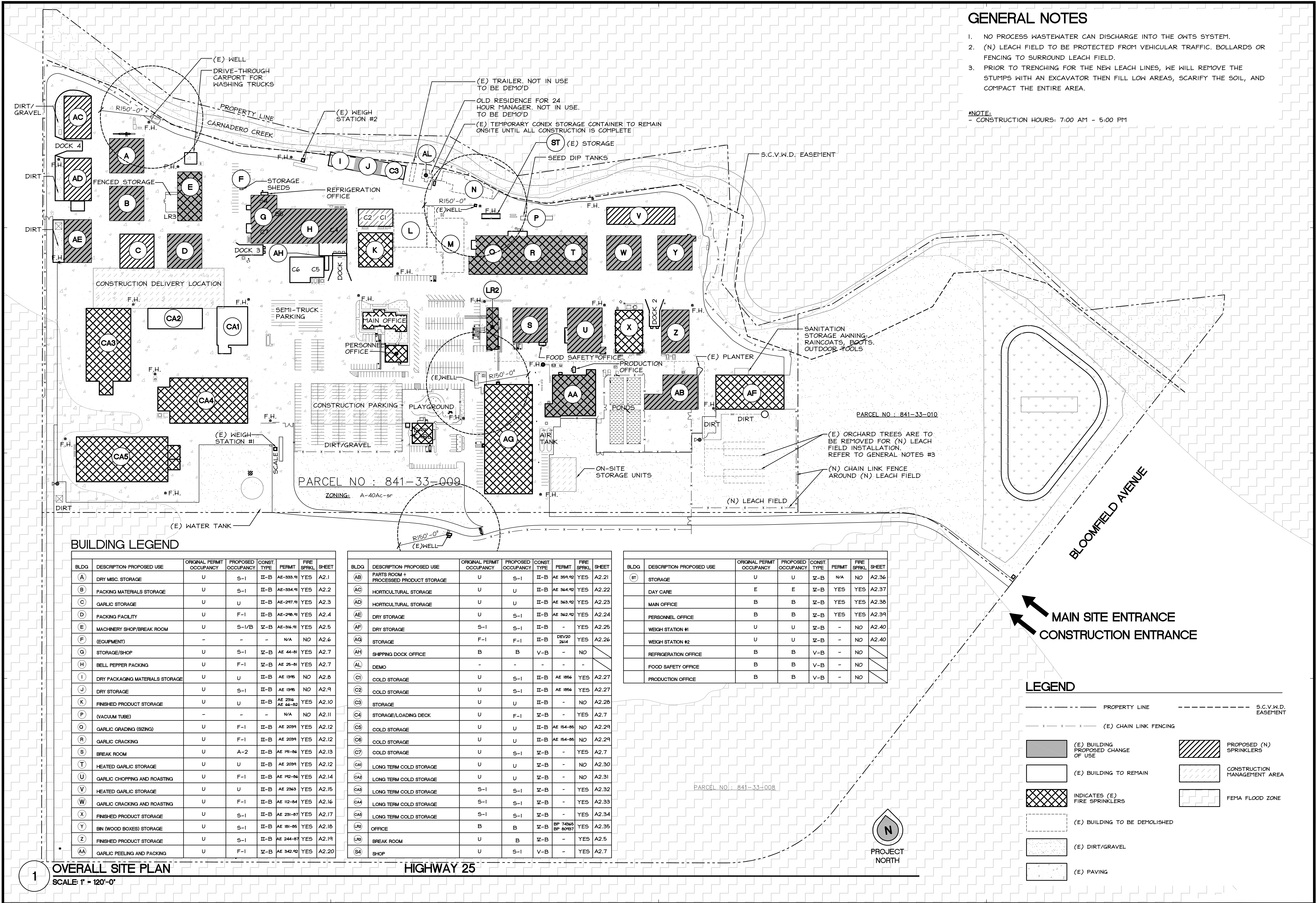
	COLUMN LINE		ROOM IDENTIFICATION ROOM NAME ROOM NUMBER
	DOOR SYMBOL DOOR NUMBER		NEW OR EXISTING FINISH GRADE (GRADE SHOT)
	WINDOW TYPE		NEW OR FINISHED CONTOURS
	LOUVER TYPE SKIP LETTERS "I" AND "O"		EXISTING CONTOUR
	REVISIONS PROVIDED FOR PLAN CHECK CHANGES		PROPERTY LINE
	MATCH LINE SHADED PORTION IS THE SIDE UNDER CONSIDERATION		WATER LINE
	WORK POINT, CONTROL POINT OR DATUM POINT		GAS LINE
	BUILDING SECTION DRAWING OR DETAIL NUMBER		TELEPHONE
	WALL SECTION DRAWING OR DETAIL NUMBER		IRRIGATION
	DETAIL NUMBER DRAWING OR DETAIL NUMBER		SANITARY SEWER
	INTERIOR ELEVATION ELEVATION IDENTIFICATION (ELEVATIONS UNFOLD CLOCKWISE NO ARROW INDICATES NO ELEVATION SHOWN.)		OVERHEAD POWER LINE
			INDUSTRIAL WASTE
			ELECTRIC
			STORM DRAIN, INDUSTRIAL
			STORM DRAIN
			SITE FENCING
			DESCRIPTION OF DIMENSION POINT -REFER TO ABBREVIATION LIST
			DIMENSION POINT TAKEN FROM CENTERLINE OF OBJECT
			PROVIDE DIMENSION CLEAR FROM OBSTRUCTIONS

REVISIONS	DATE	BY	DESCRIPTION

BELL ARCHITECTURAL GROUP 831. 424 . 4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLACG.COM



TITLE SHEET	OVERALL SITE - BUILDING USES
DATE	09/17/21
SCALE	NONE
DRAWN	JN/YP
JOB	18055
SHEET	T1.1
OF	SHEETS



LANDSCAPE NOTES

- (N) LANDSCAPING TO BE ADDED AT BOTH ENTRANCES TO THE SITE (PER SANTA CLARA COUNTY'S ASA GUIDELINES)
- NO PROPOSED (N) LANDSCAPE AREAS WITHIN THE SITE DUE TO POSSIBLE RODENT ATTRACTION.
- FOOD SAFETY REQUIRES MINIMAL LANDSCAPE AREAS NEAR RAW PRODUCT FACILITIES.
- OVERALL LANDSCAPE % AT SITE: 66% (3,820,981 SF / 5,773,077 SF)
- PARKING LOT LANDSCAPE % AT SITE: 0.17% (10,048 SF / 5,773,077 SF)
- 14% OF PARKING LOT AREA (10,048 SF / 72,311 SF)

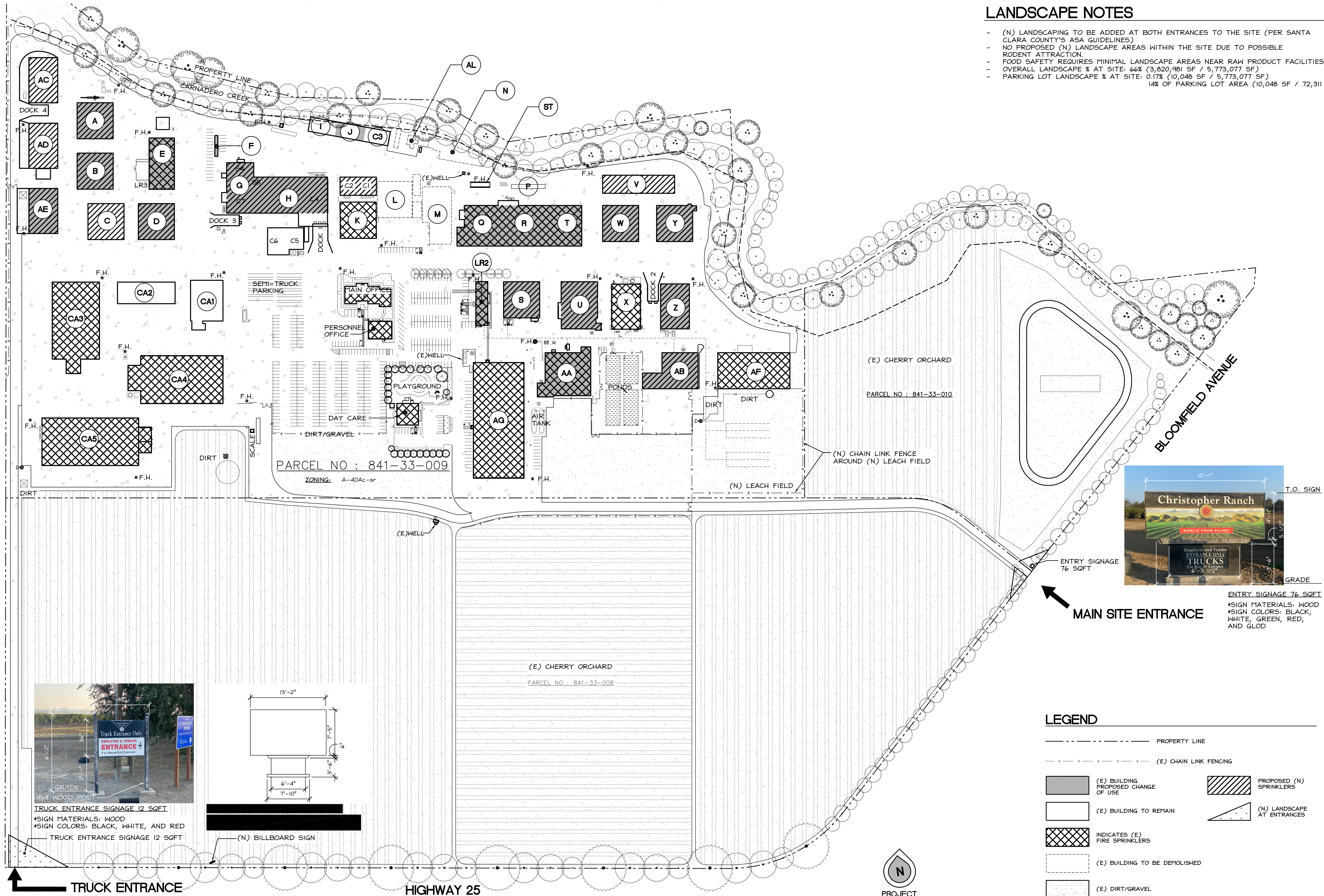
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SIGNAGE / LANDSCAPE SITE PLAN
OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE 09/17/21
SCALE AS NOTED
DRAWN JN/YP
JOB 18055
SHEET A1.1
OF SHEETS



ENTRY SIGNAGE 76 SQFT
*SIGN MATERIALS: WOOD
*SIGN COLORS: BLACK, WHITE, GREEN, RED, AND GOLD

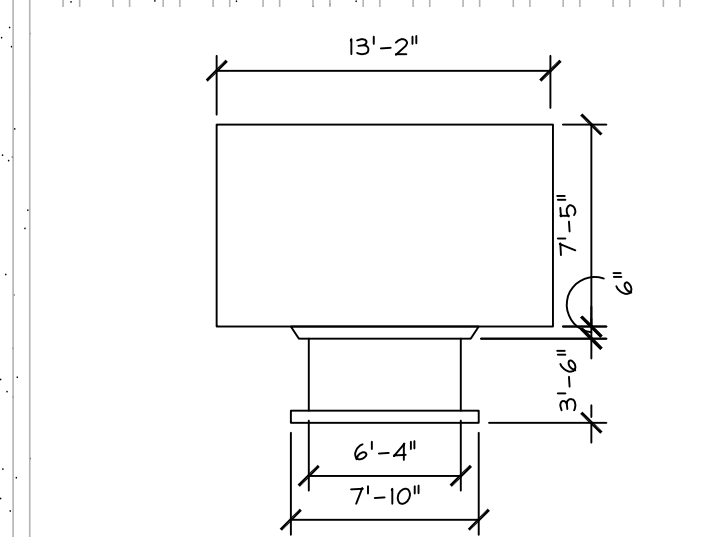
MAIN SITE ENTRANCE

LEGEND

- PROPERTY LINE
- (E) CHAIN LINK FENCING
- (E) BUILDING PROPOSED CHANGE OF USE
- (E) BUILDING TO REMAIN
- INDICATES (E) FIRE SPRINKLERS
- (E) BUILDING TO BE DEMOLISHED
- (E) DIRT/GRAVEL
- (E) PAVING
- PROPOSED (N) SPRINKLERS
- (N) LANDSCAPE AT ENTRANCES



TRUCK ENTRANCE SIGNAGE 12 SQFT
*SIGN MATERIALS: WOOD
*SIGN COLORS: BLACK, WHITE, AND RED

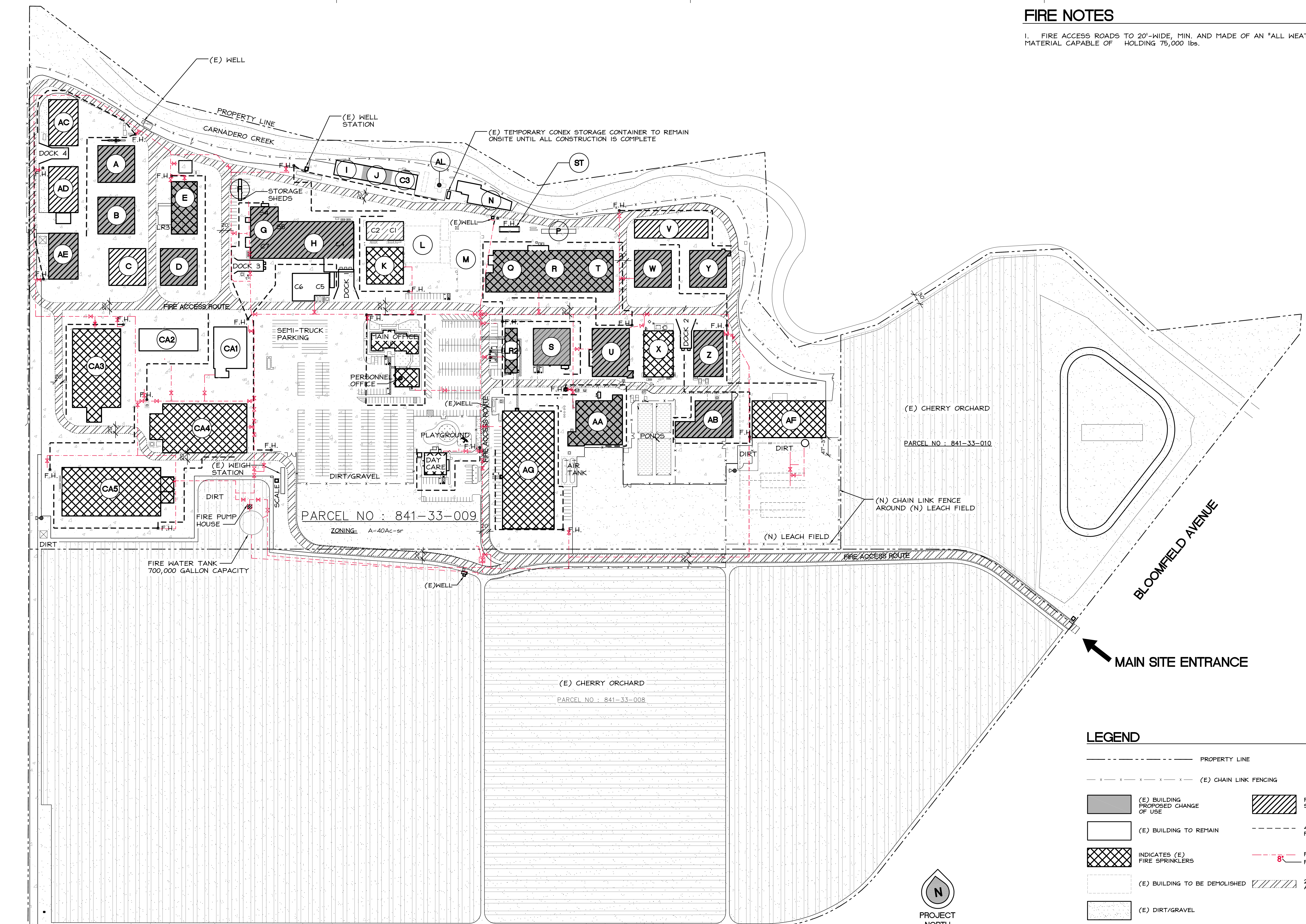


(N) BILLBOARD SIGN

1 SIGNAGE / LANDSCAPE SITE PLAN
SCALE: 1" = 120'-0"

FIRE NOTES

1. FIRE ACCESS ROADS TO 20'-WIDE, MIN. AND MADE OF AN "ALL WEATHER" MATERIAL CAPABLE OF HOLDING 75,000 lbs.

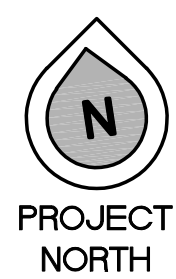


LEGEND

- PROPERTY LINE
- (E) CHAIN LINK FENCING
- (E) BUILDING PROPOSED CHANGE OF USE
- (E) BUILDING TO REMAIN
- INDICATES (E) FIRE SPRINKLERS
- (E) BUILDING TO BE DEMOLISHED
- (E) DIRT/GRAVEL
- (E) PAVING
- PROPOSED (N) SPRINKLERS
- 400 LINEAR FEET FIRE HYDRANT ACCESS
- FIRE LINE 8" FIRE LINE SIZE
- 20' WIDE MIN. FIRE ACCESS ROUTE

1 FIRE ACCESS SITE PLAN
SCALE: 1" = 120'-0"

HIGHWAY 25



REVISIONS

DATE	BY	DESCRIPTION

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FIRE ACCESS SITE PLAN

OVERALL SITE - BUILDING USES

CHRISTOPHER RANCH

305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE	09/17/21
SCALE	AS NOTED
DRAWN	JN/YP
JOB	18055
SHEET	A1.2
OF	SHEETS

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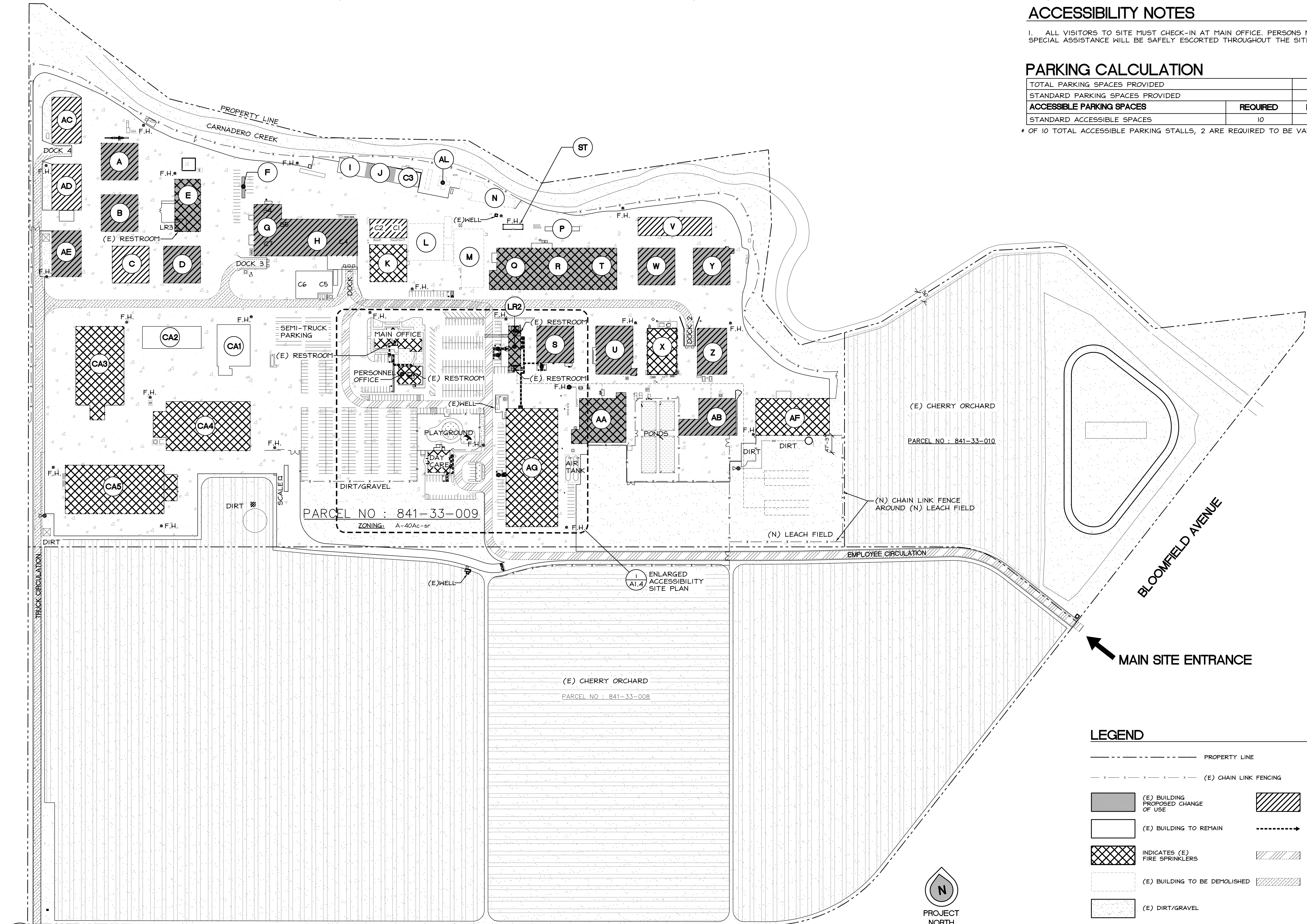
ACCESSIBILITY NOTES

1. ALL VISITORS TO SITE MUST CHECK-IN AT MAIN OFFICE. PERSONS NEEDING SPECIAL ASSISTANCE WILL BE SAFELY ESCORTED THROUGHOUT THE SITE.

PARKING CALCULATION

TOTAL PARKING SPACES PROVIDED		510
STANDARD PARKING SPACES PROVIDED		500
ACCESSIBLE PARKING SPACES	REQUIRED	PROVIDED
STANDARD ACCESSIBLE SPACES	10	10

* OF 10 TOTAL ACCESSIBLE PARKING STALLS, 2 ARE REQUIRED TO BE VAN ACCESSIBLE

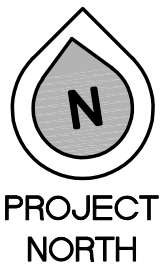


LEGEND

- PROPERTY LINE
- (E) CHAIN LINK FENCING
- (E) BUILDING PROPOSED CHANGE OF USE
- (E) BUILDING TO REMAIN
- INDICATES (E) FIRE SPRINKLERS
- (E) BUILDING TO BE DEMOLISHED
- (E) DIRT/GRAVEL
- (E) PAVING
- PROPOSED (N) SPRINKLERS
- ACCESSIBLE PATH OF TRAVEL
- EMPLOYEE CIRCULATION
- TRUCK CIRCULATION

1 ACCESSIBILITY SITE PLAN
SCALE: 1" = 120'-0"

HIGHWAY 25



REVISIONS

DATE

BY

DESCRIPTION

ACCESSIBILITY SITE PLAN

OVERALL SITE - BUILDING USES

CHRISTOPHER RANCH

305 BLOOMFIELD AVENUE

GILROY, CA 95020

DATE

09/17/21

SCALE

AS NOTED

DRAWN

JN/YP

JOB

18055

SHEET

A13

OF

SHEETS

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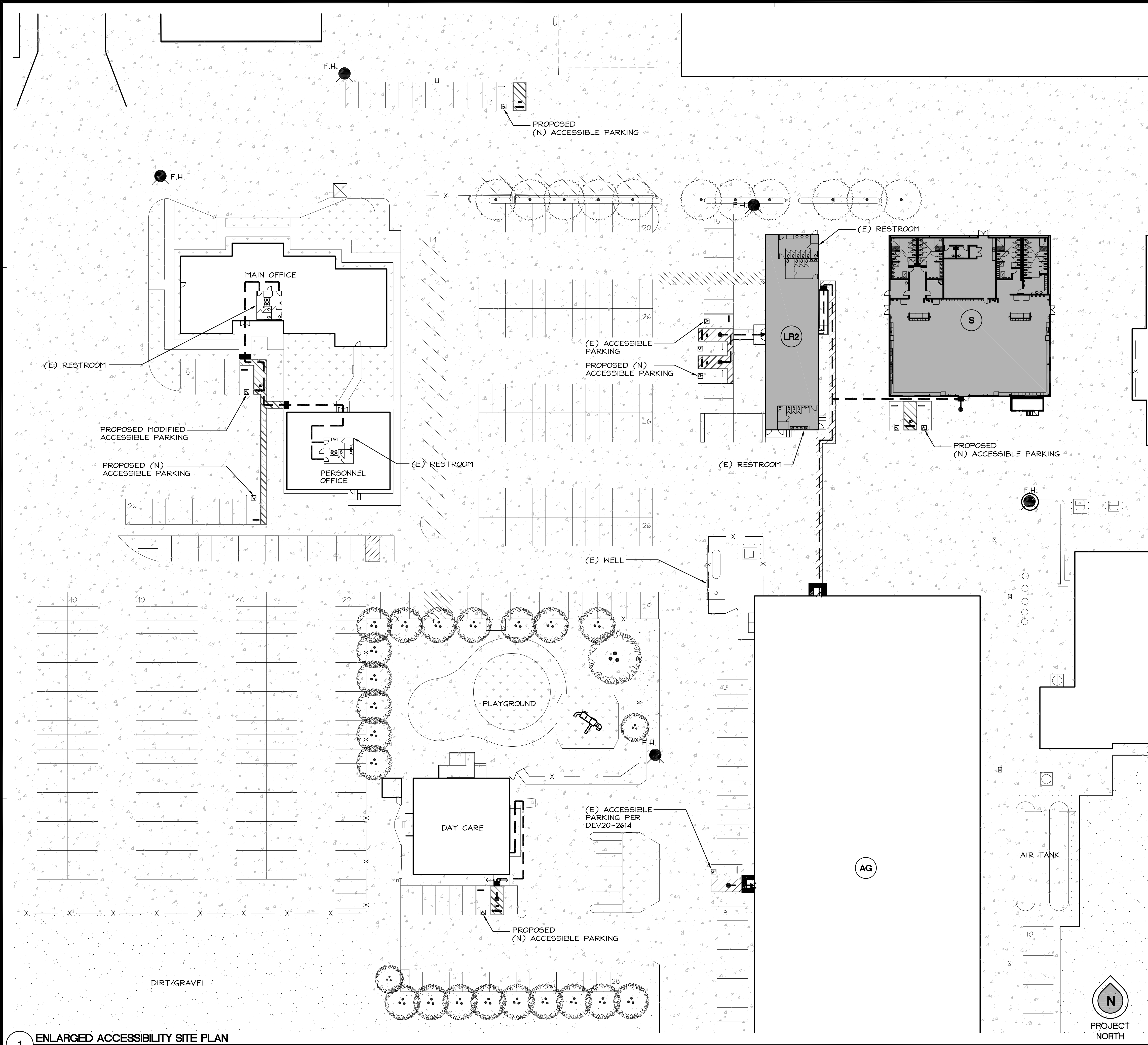
architectural group

BELLI ARCHITECTURAL GROUP 831.424.4620

235 MONTEREY STREET, SUITE B, SALINAS, CA 93901

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LEGEND

- (travel distance) 400' ACCESSIBLE PATH OF TRAVEL
- (E) BUILDING PROPOSED CHANGE OF USE
- (E) BUILDING TO REMAIN
- (E) LANDSCAPE
- (E) PAVING
- (E) DIRT/GRAVEL
- A BUILDING LEGEND DESIGNATION

PATH OF TRAVEL

ACCESSIBLE ROUTE OF TRAVEL AS INDICATED ON PLAN IS A BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAX SLOPE, OR VERTICAL LEVEL CHANGE NOT EXCEEDING 1/4" MAX AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM, AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 1:48 (2%) AND SLOPE IN DIRECTION OF TRAVEL IS LESS THAN 1:20 (5%) UNLESS OTHERWISE INDICATED. ACCESSIBLE ROUTE OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE ROUTE OF TRAVEL.

REVISIONS

DATE

BY

DESCRIPTION

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ENLARGED ACCESSIBILITY SITE PLAN

OVERALL SITE - BUILDING USES

CHRISTOPHER RANCH

305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE

09/17/21

SCALE

AS NOTED

DRAWN

YP/JN

JOB

18055

SHEET

A1.4

OF

SHEETS

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PROPOSED

BUILDING A

28'-0"

24'-0"

GRADE 0'-0"

EXISTING ELEVATION - NORTH

EXISTING ELEVATION - EAST

28'-0"

24'-0"

14'-0"

GRADE 0'-0"

6 EXISTING ELEVATION - SOUTH

EXISTING ELEVATION - WEST

PROPOSED ELEVATION - NORTH

Elevation drawing of a building facade. The main window has a height of 28'-0". A smaller window below it has a height of 14'-0". The ground level is marked as GRADE 0'-0".

PROPOSED ELEVATION - EAST

PROPOSED ELEVATION - SOUTH

PROPOSED ELEVATION - WEST

BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
(A)	U	10,000	1/300	33.3	2	6.66"

BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
(A)	S-1	10,000	1/500	20	2	6.66"

REMOVE UNPERMITTED MEZZANINE

REMOVE UNPERMITTED MEZZANINE

(E)
MEZZANINE
TO BE
REMOVED

4. EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING A

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
(A)	S-1	10,000	1/500	20	2	4"

-PERMIT (E) BUILDING PER CURRENT (2019) CBC

-PERMIT (E) BUILDING PER CURRENT (2019) CBC
FOR PROPOSED S-I OCCUPANCY.

-INSTALL NEW FIRE SPRINKLERS.

PROJECT
NORTH

PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING A (DRY MISC. STORAGE)

REVISIONS	DATE	BY	DESCRIPTION

235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
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Bolt
architectural group

EXISTING & PROPOSED LOOK PLANET: - BUILDING A
OVERALL SITE BUILDING LIGES

CHRISTOPHER RANCH
805 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE	09/17/21
SCALE	AS NOTED
DRAWN	JN/YP
NO	18055
SHEET	

A2.1

SHEETS

PROPOSED

BUILDING B



BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
⑧	U	10,000	1/300	33.3	2	36"

BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
⑧	S-1	10,000	1/500	20	2	36"

NO DEMO WORK PROPOSED



BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
⑧	S-1	10,000	1/500	20	2	36"

- PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR PROPOSED S-I OCCUPANCY
- INSTALL NEW FIRE SPRINKLERS



שם	מס' זיהוי	שם	מס' זיהוי

235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
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OVERALL SITE - BUILDING USES

CHRISTOPHER RANCH
805 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE	09/17/21
SCALE	AS NOTED
DRAWN	JN/YP
NO	18055
SHEET	

2.2

PROPOSED

BUILDING C

Elevation drawing of a building facade. The drawing shows a large window with a height of 26'-2" and a smaller door with a height of 14'-0". The ground level is marked as GRADE 0'-0".

A **ELEVATION - NORTH**
SCALE: 1" = 20'-0"

24'-0"

26'-2"

14'-0"

GRADE 0'-0"

B **ELEVATION - EAST**
SCALE: 1" = 20'-0"

C ELEVATION - SOUTH
SCALE 1" = 20'-0"

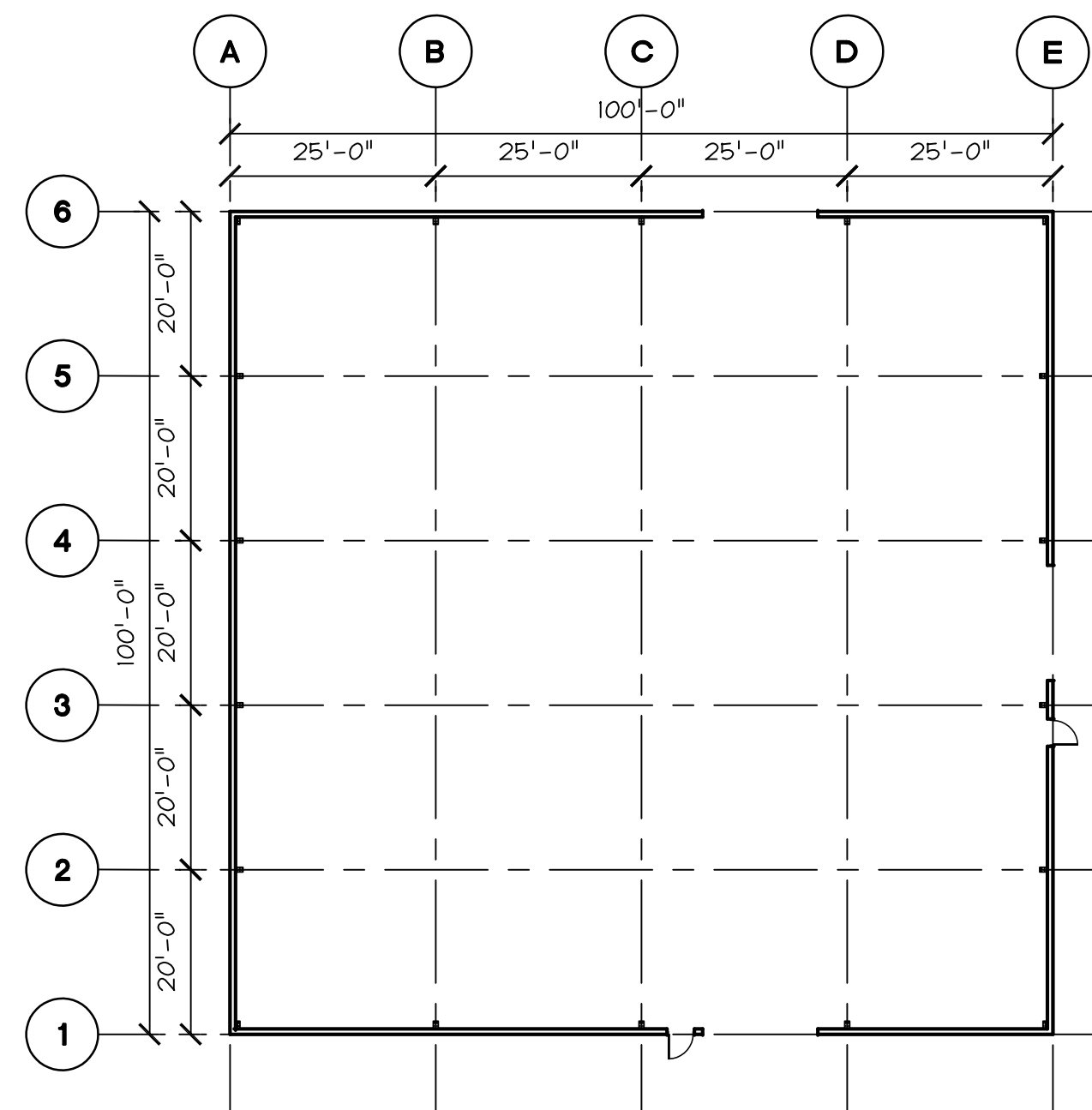
A cross-section diagram of a bridge deck. The deck width is labeled as 24'-0". The total height of the structure is labeled as 26'-2". The ground level is indicated by a horizontal line at the bottom, labeled "GRADE 0'-0" on the right side. The structure consists of a central rectangular section with vertical hatching, topped by a curved, trapezoidal section.

D **ELEVATION - WEST**
SCALE: 1" = 20'-0"

BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
Ⓒ	U	10,000	1/300	33.3	2	36"

BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
③	U	10,000	1/300	33.3	2	36"

NO DEMO WORK PROPOSED



1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING C
SCALE: 1" = 20'-0"

A cross-section diagram of a bridge deck. The total width of the deck is labeled as 26'-2". A central lane is labeled as 14'-0" wide. The deck is shown above a horizontal line representing the ground level, which is labeled "GRADE 0'-0".

A **ELEVATION - NORTH**
SCALE: 1" = 20'-0"

24'-0"

26'-2"

14'-0"

GRADE 0'-0"

B **ELEVATION - EAST**
SCALE: 1" = 20'-0"

Side elevation drawing of a building. The building features a flat roof and vertical siding. The main section is 26'-2" high. A smaller section on the right is 14'-0" high. The ground line is labeled "GRADE 0'-0".

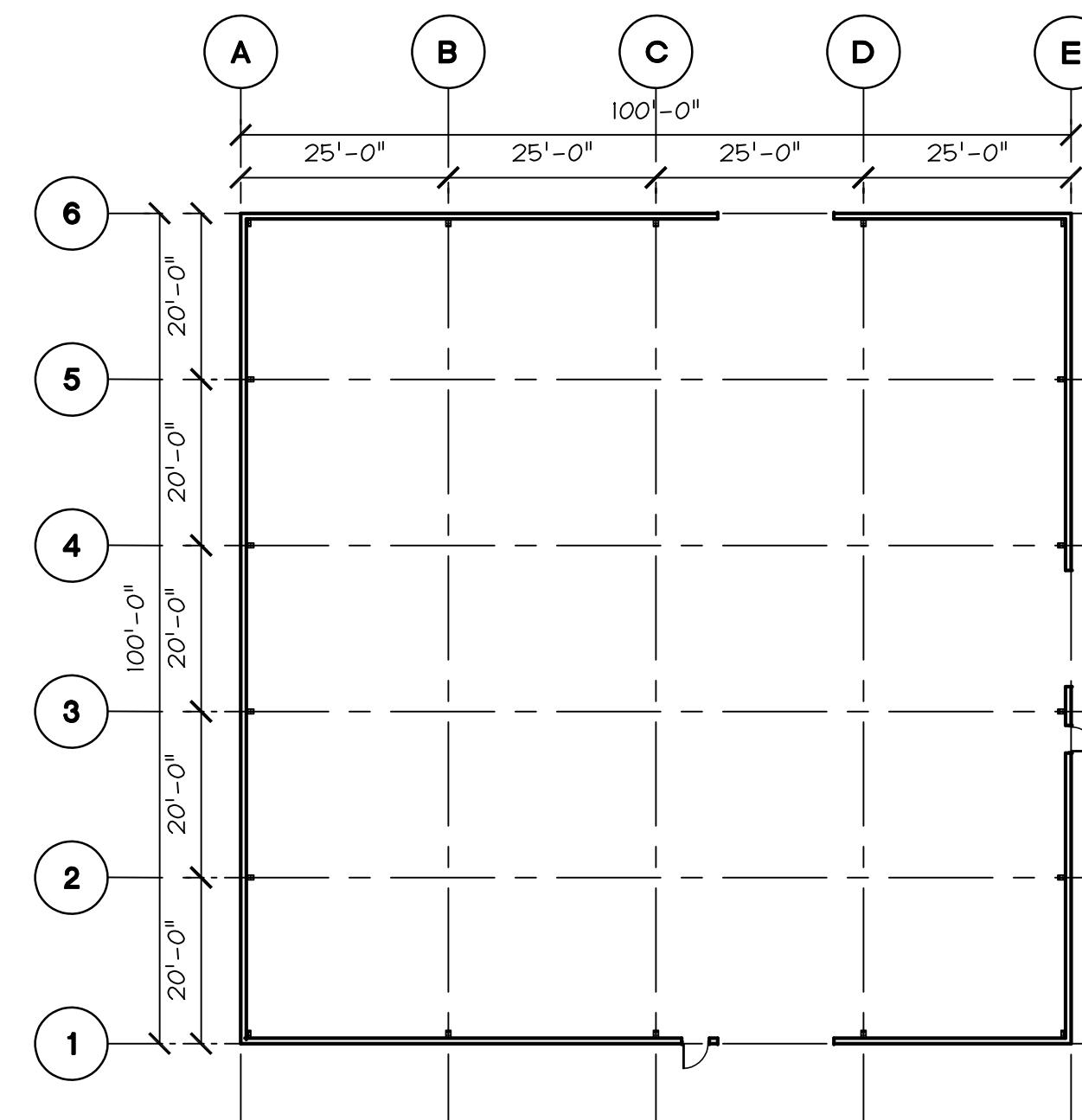
C ELEVATION - SOUTH
SCALE: 1" = 20'-0"

A cross-section diagram of a bridge deck. The deck width is labeled as 24'-0". The total height of the structure is labeled as 26'-2". The ground level is indicated by a horizontal line at the bottom, labeled "GRADE 0'-0\"". The structure consists of a central rectangular section with vertical hatching, topped by a curved arch. The arch is supported by a base that is wider than the central section.

D ELEVATION - WEST
SCALE: 1" = 20'-0"

BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
③	U	10,000	1/500	20	2	36"

INSTALL NEW FIRE SPRINKLERS



2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING C (GARLIC STORAGE)
SCALE: 1" = 20'-0"



REVISIONS	DATE	BY	DESCRIPTION

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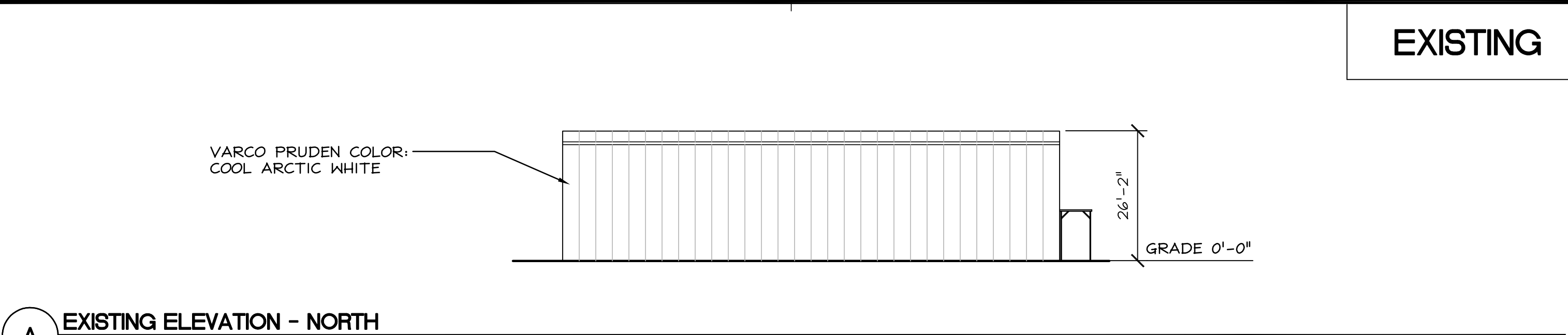
EXISTING & PROPOSED FLOOR PLAN/VELE. - BUILDING C

OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

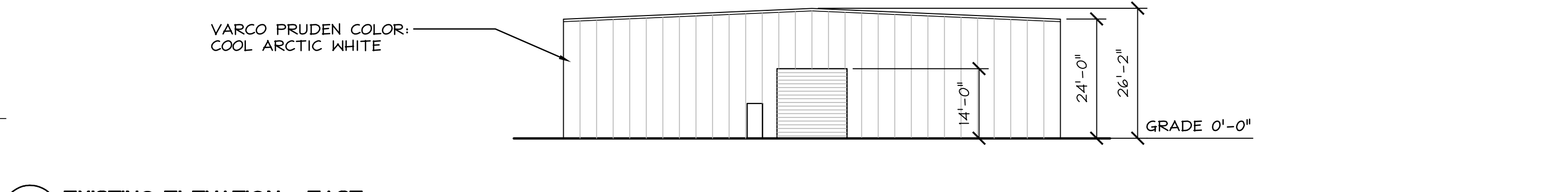
DATE	09/17/21
SCALE	AS NOTED
DRAWN	JN/YP
JOB	18055
SHEET	

A2.3

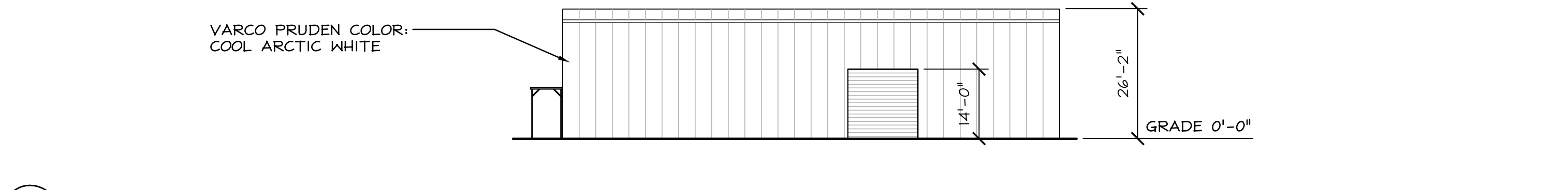
OF SHEETS



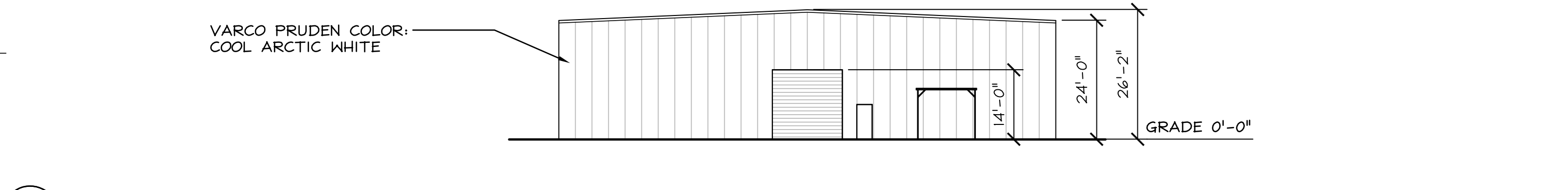
A EXISTING ELEVATION - NORTH
SCALE: 1" = 20'-0"



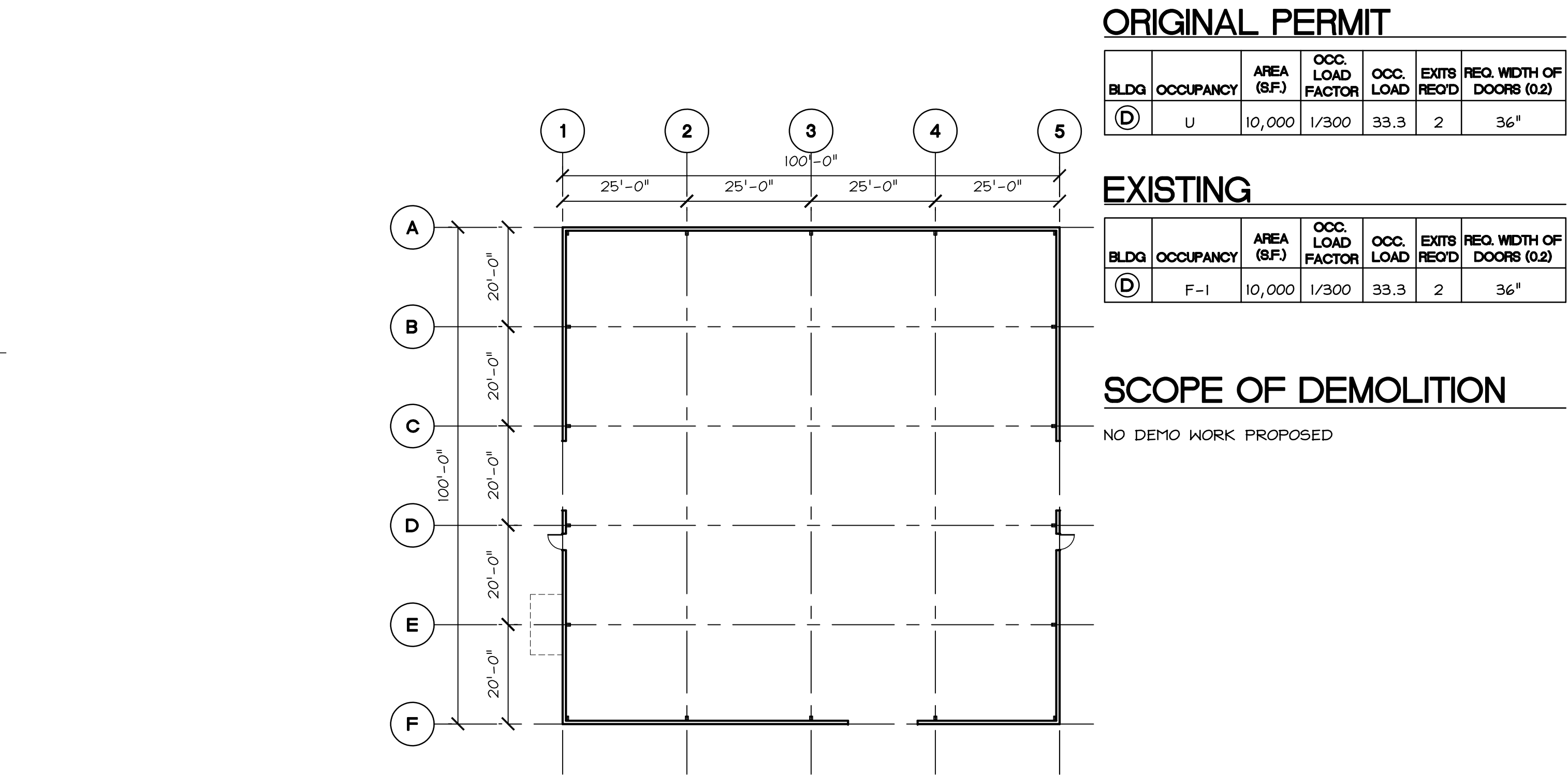
B EXISTING ELEVATION - EAST
SCALE: 1" = 20'-0"



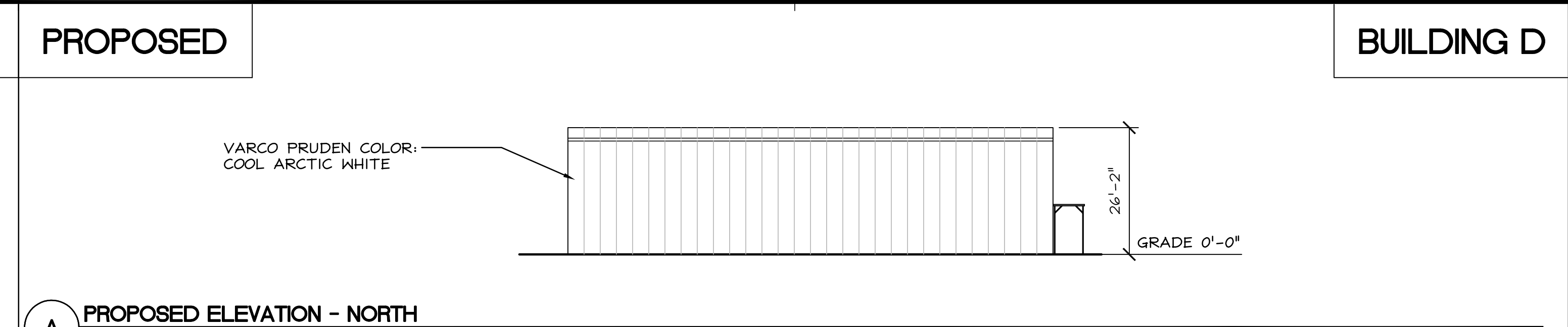
C EXISTING ELEVATION - SOUTH
SCALE: 1" = 20'-0"



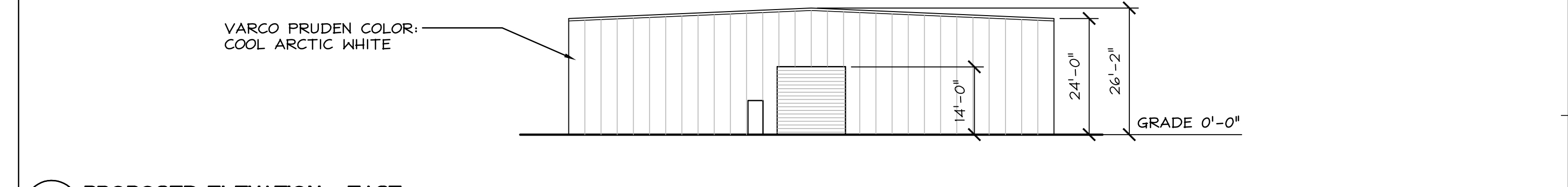
D EXISTING ELEVATION - WEST
SCALE: 1" = 20'-0"



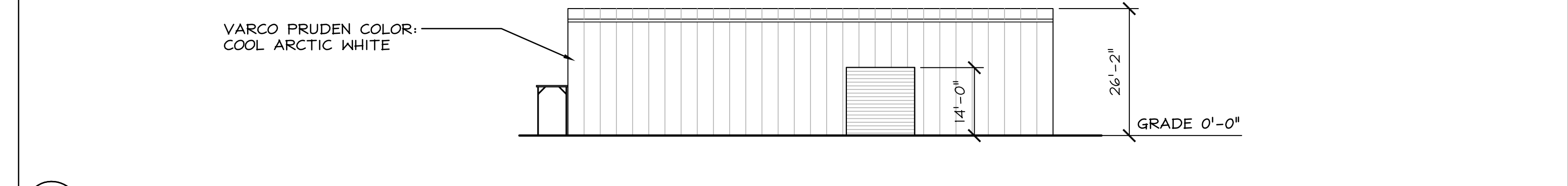
1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING D
SCALE: 1" = 20'-0"



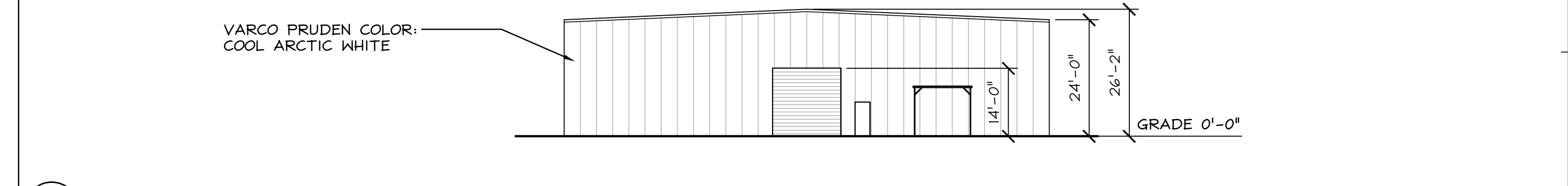
A PROPOSED ELEVATION - NORTH
SCALE: 1" = 20'-0"



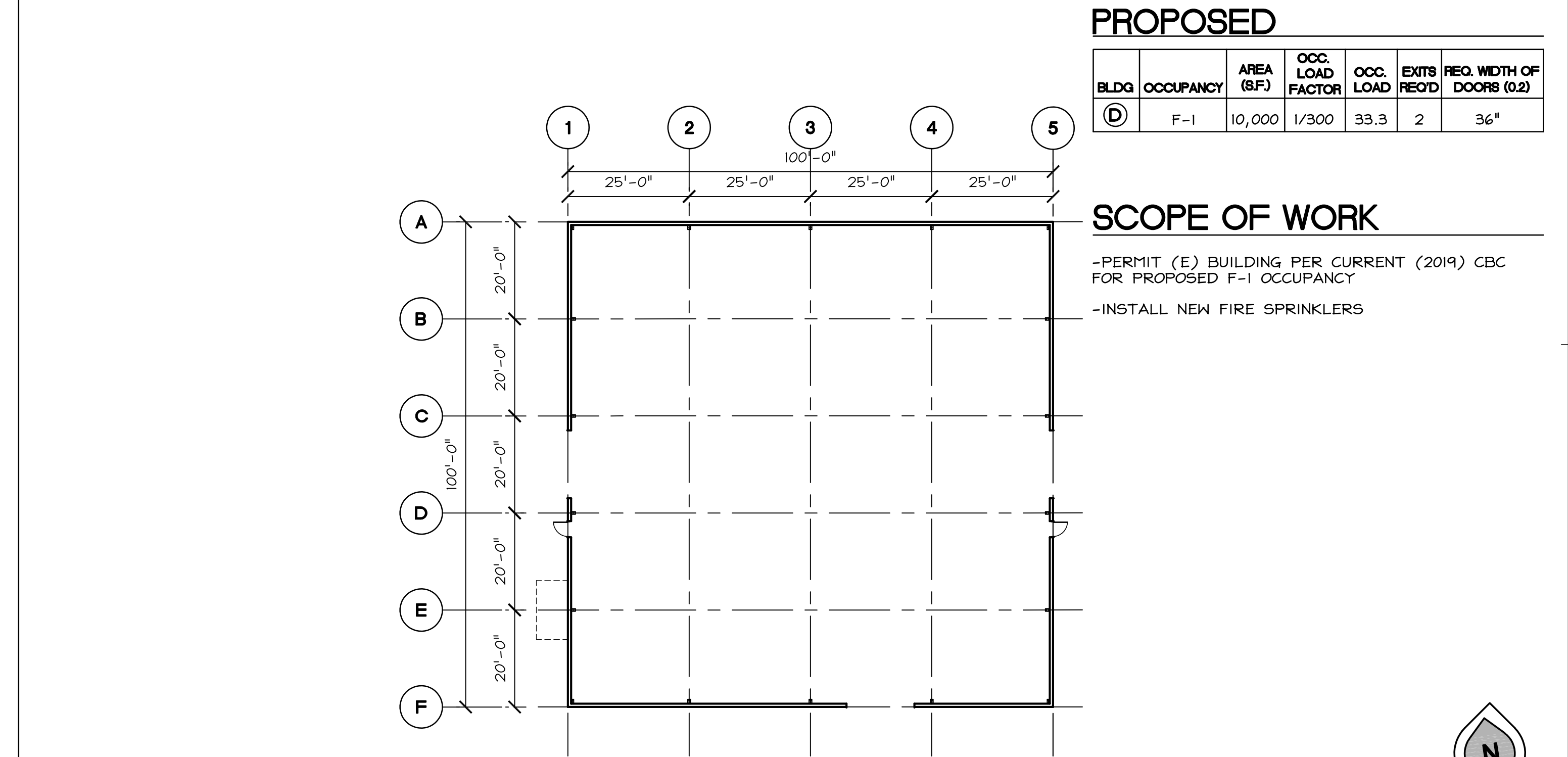
B PROPOSED ELEVATION - EAST
SCALE: 1" = 20'-0"



C PROPOSED ELEVATION - SOUTH
SCALE: 1" = 20'-0"



D PROPOSED ELEVATION - WEST
SCALE: 1" = 20'-0"



2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING D (PACKING FACILITY)
SCALE: 1" = 20'-0"

BUILDING D

REVISIONS	DATE	BY	DESCRIPTION

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Belli architectural group

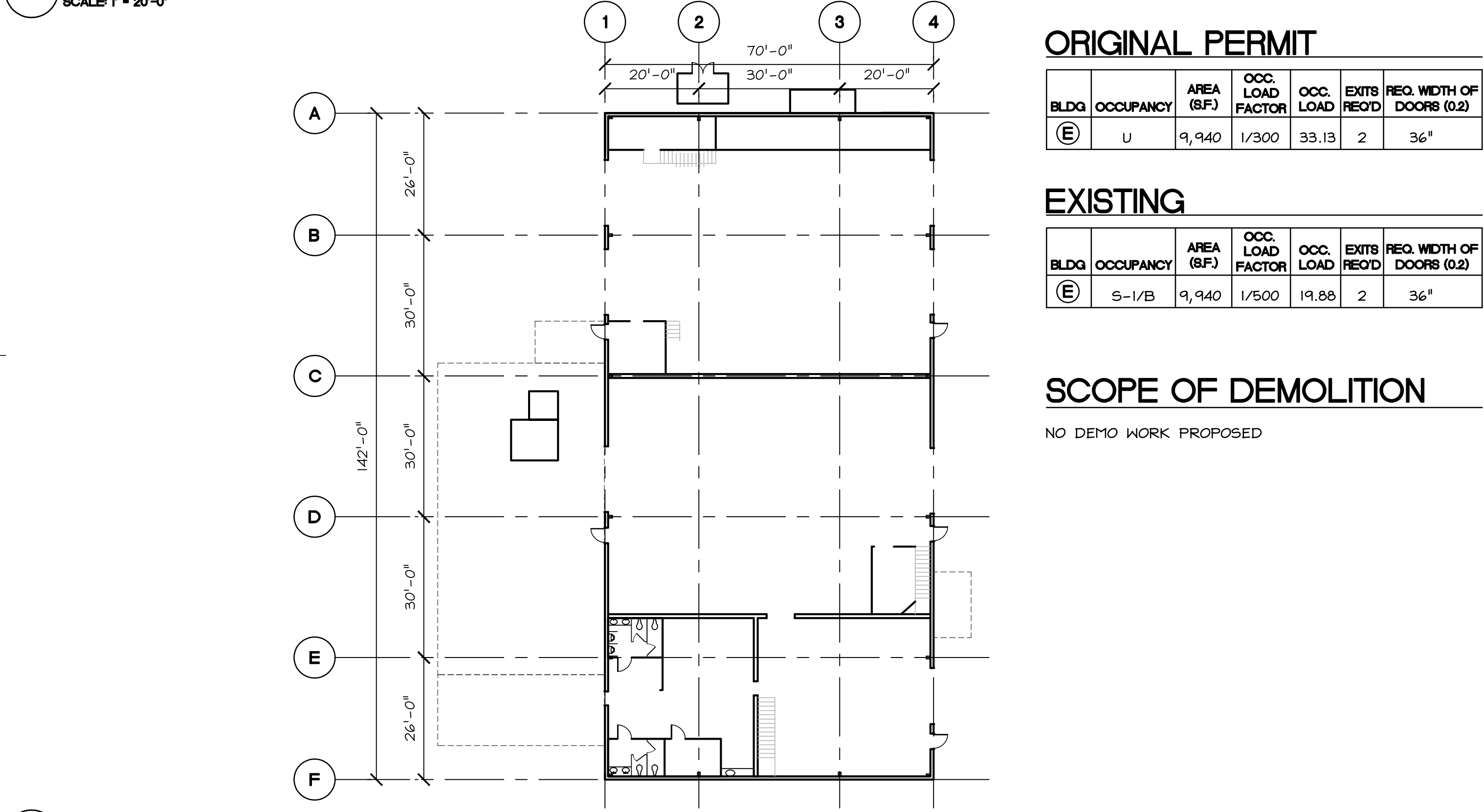
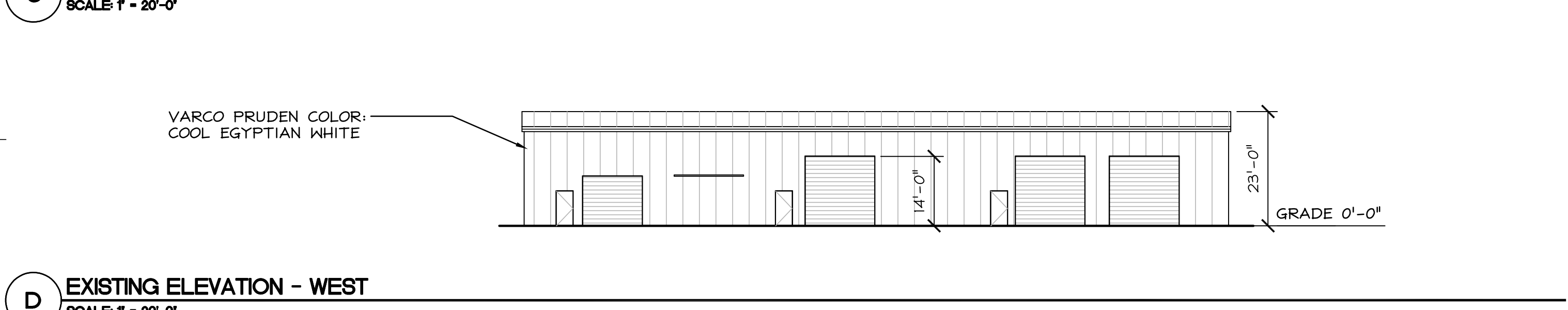
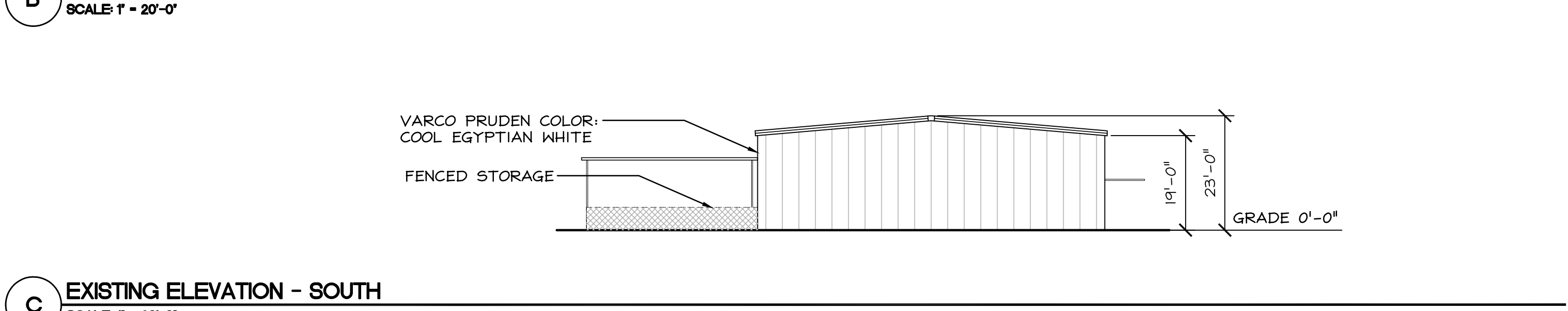
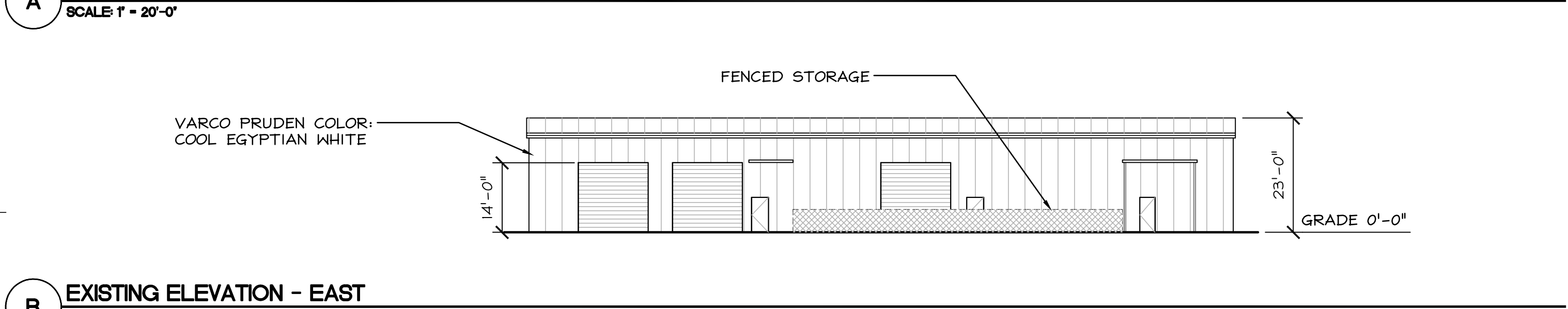
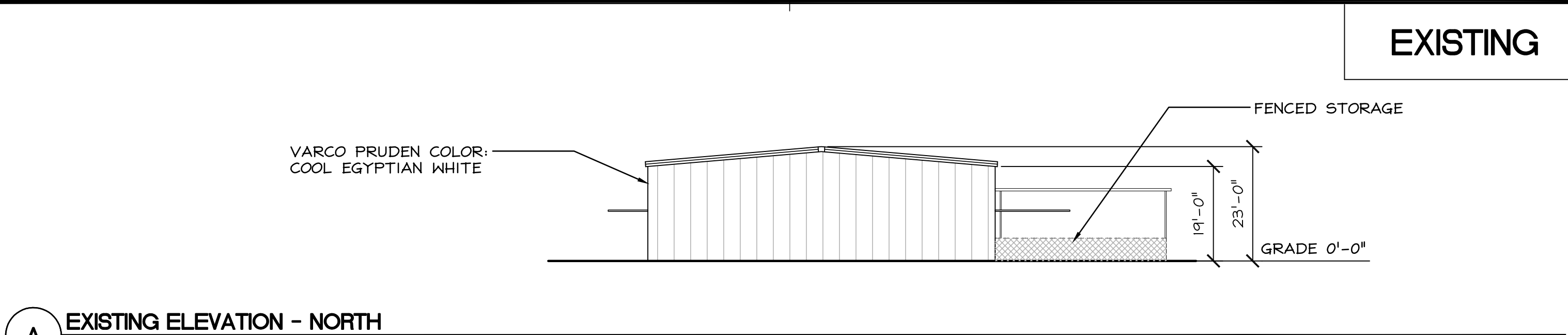
EXISTING & PROPOSED FLOOR PLANELE. - BUILDING D

OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

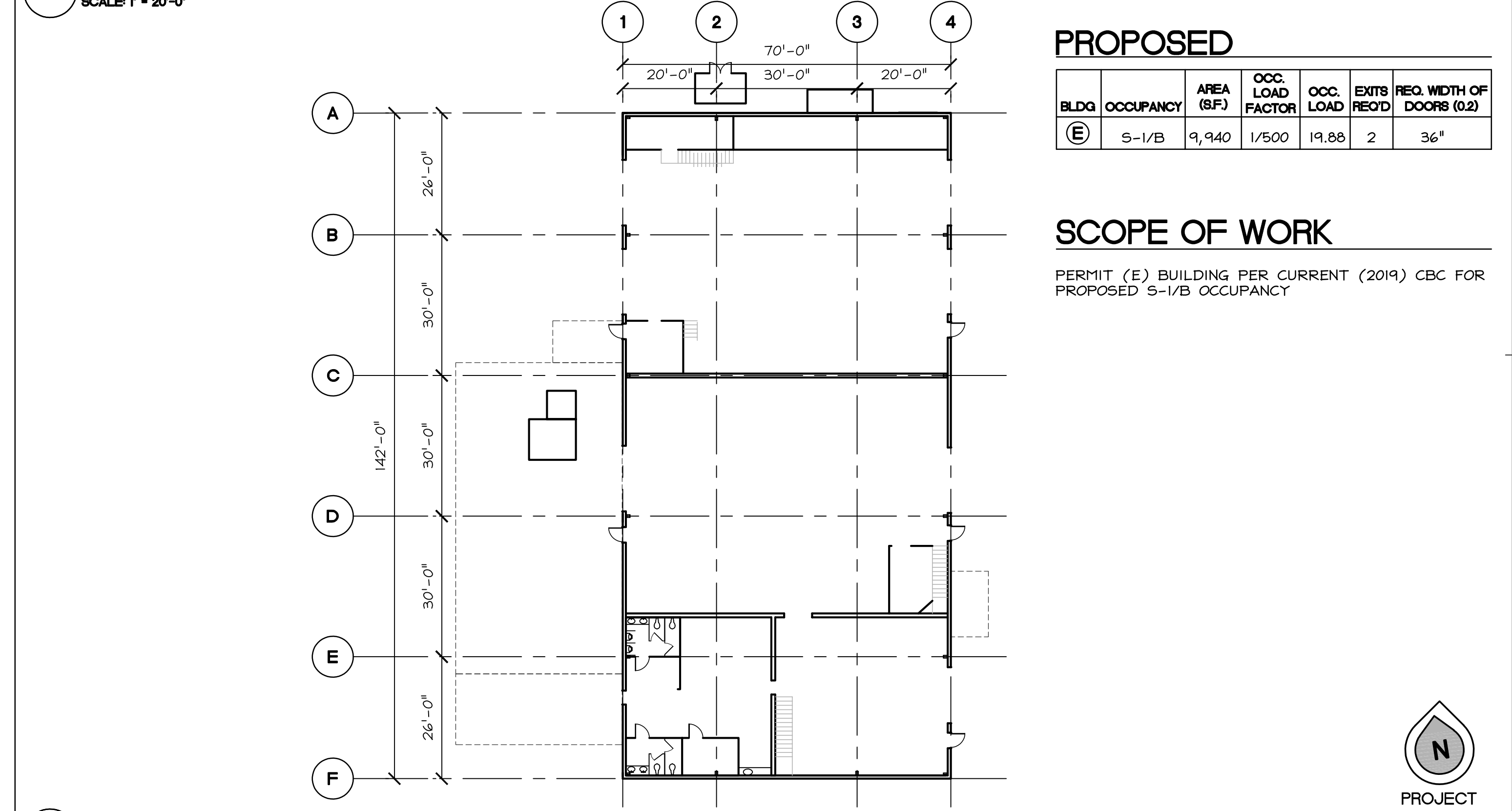
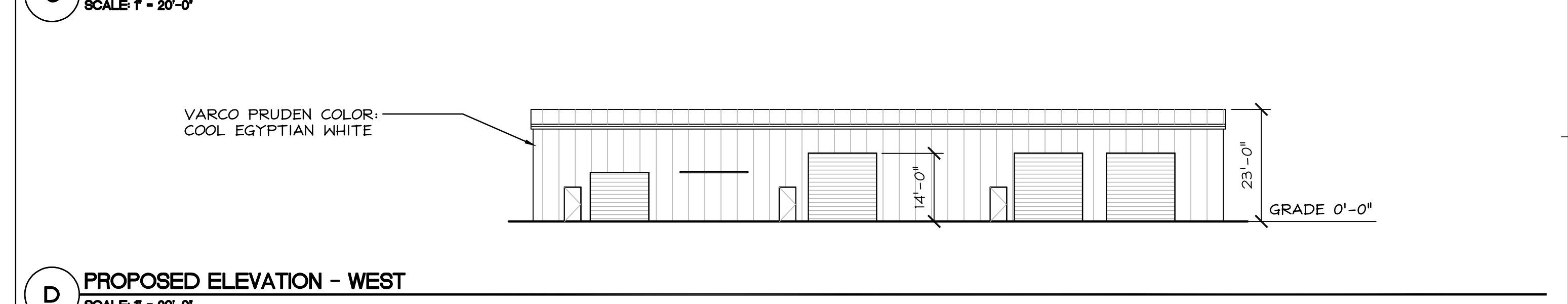
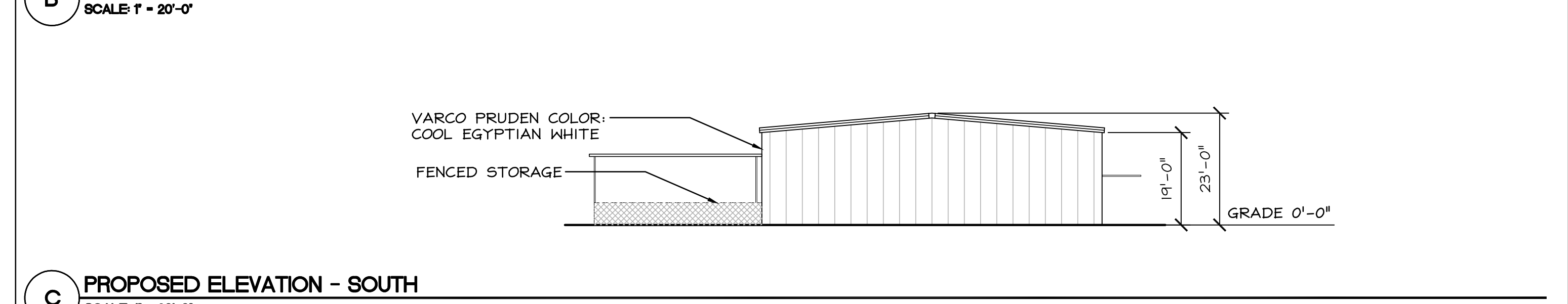
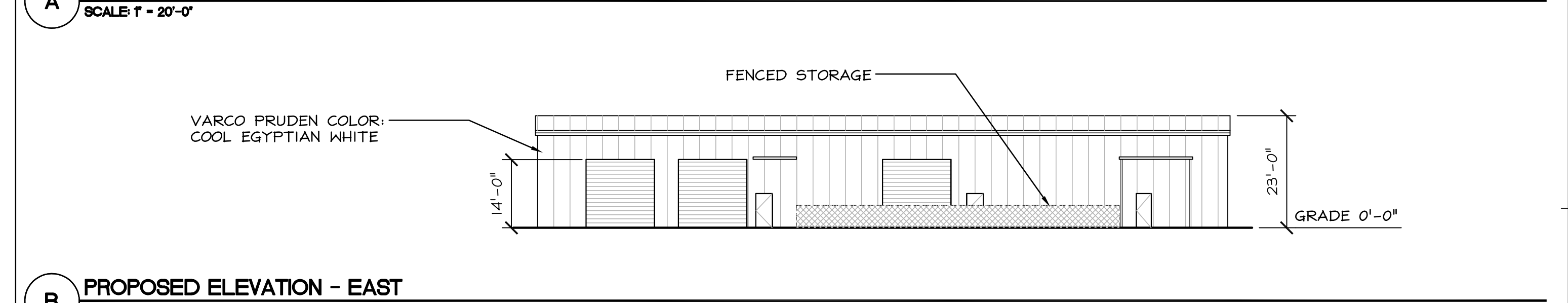
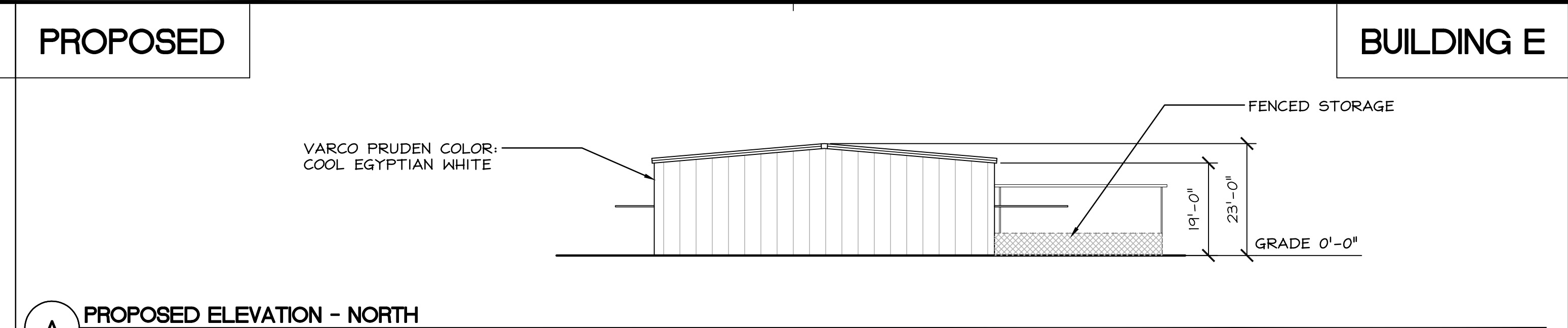
DATE 09/17/21
SCALE AS NOTED
DRAWN JN/YP
JOB 18055
SHEET
A2.4
OF SHEETS

PROJECT NORTH

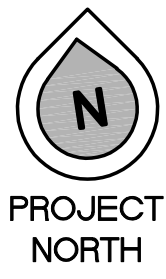
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES INFRA VIOLATION OF THESE RESTRICTIONS.



1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING E
SCALE 1" = 20'-0"



2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING E (MACHINERY SHOP/BREAKROOM)
SCALE 1" = 20'-0"



REVISIONS	DATE	BY	DESCRIPTION

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Belli architectural group

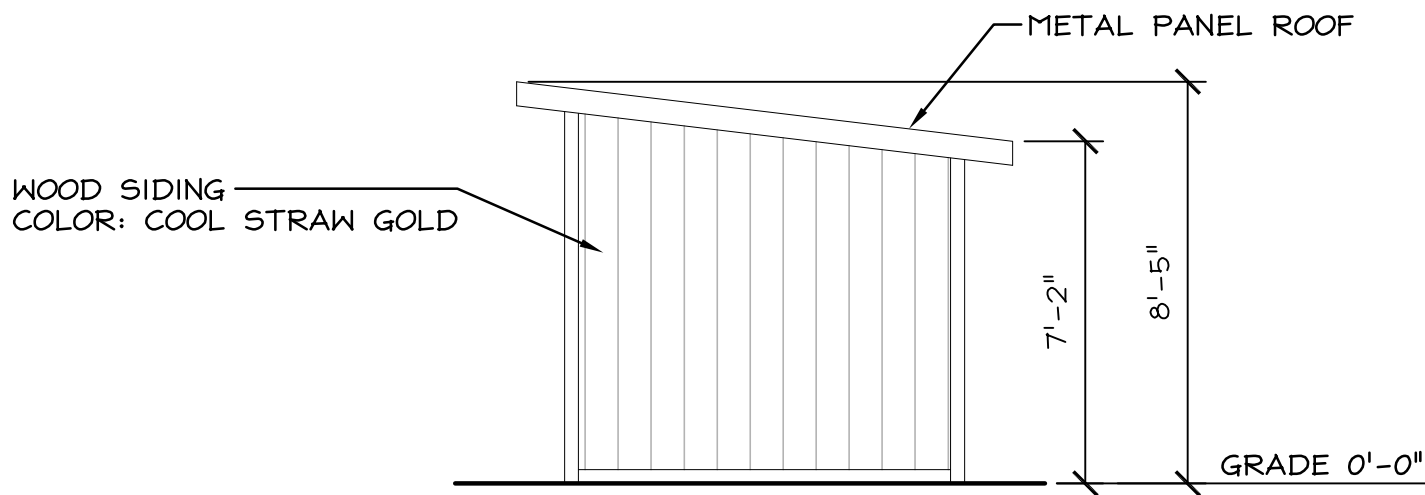
EXISTING & PROPOSED FLOOR PLANELE. - BUILDING E
OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE 09/17/21
SCALE AS NOTED
DRAWN JN/YP
JOB 18055
SHEET
A2.5
OF SHEETS

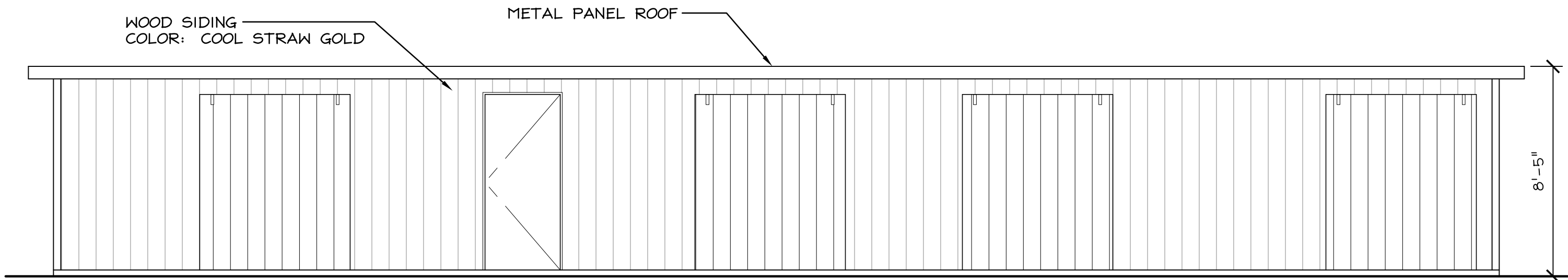
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EXISTING BUILDING F

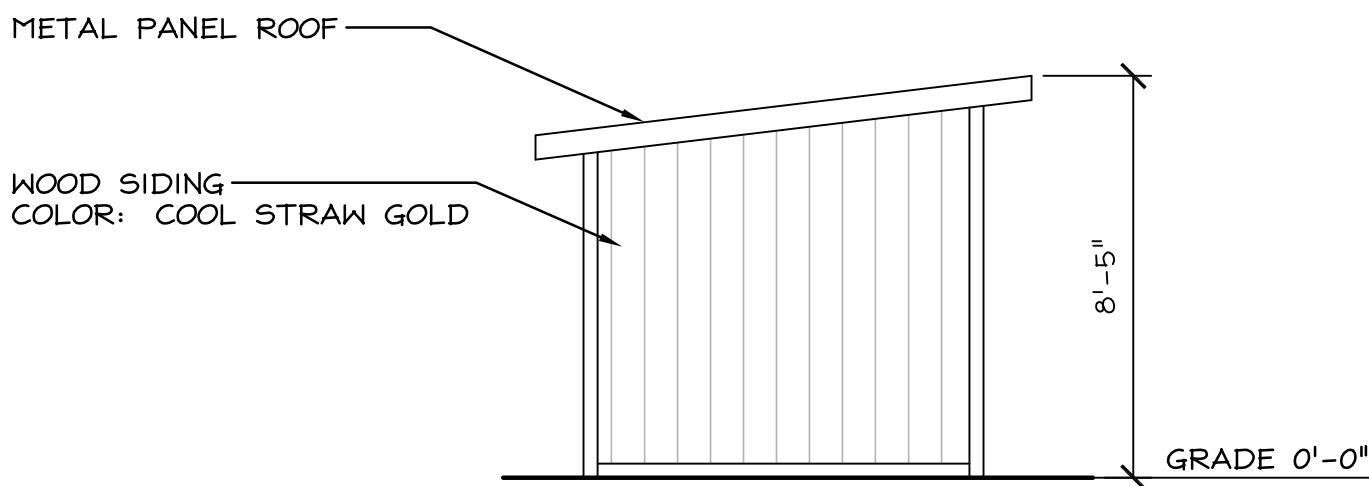
A ELEVATION - NORTH
SCALE: 1/4" = 1'-0"



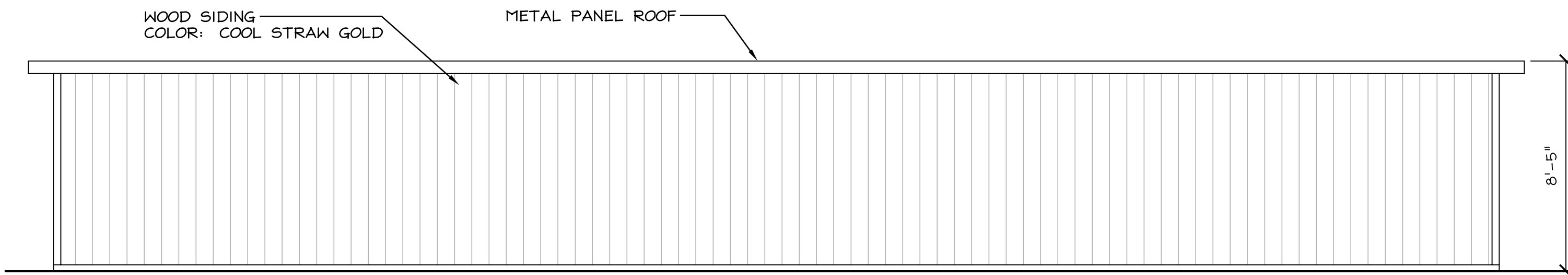
B ELEVATION - EAST
SCALE: 1/4" = 1'-0"



C ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"



D ELEVATION - WEST
SCALE: 1/4" = 1'-0"



EXISTING

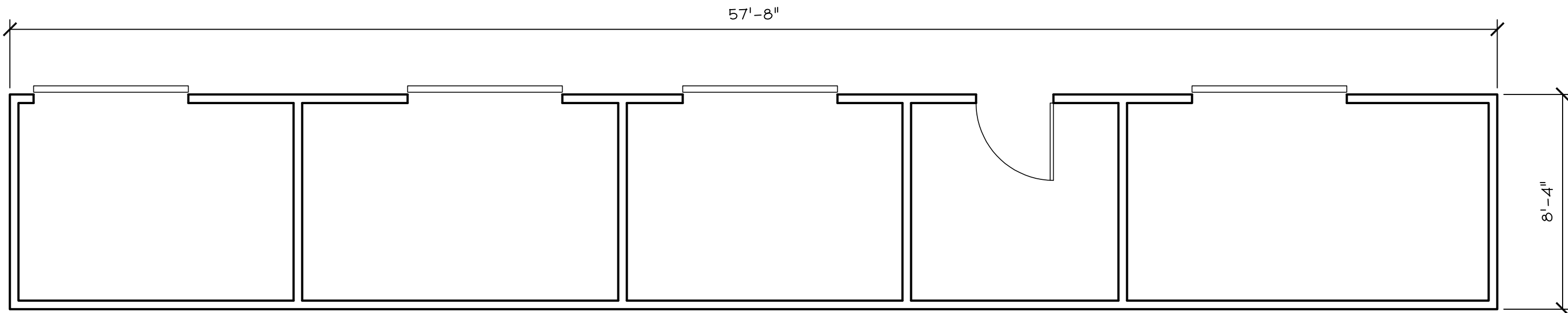
BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
F	U	480	N/A	-	-	-

ORIGINAL PERMIT

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
F	U	480	N/A	-	-	-

SCOPE OF WORK

EXISTING TO REMAIN



1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING F
SCALE: 1/4" = 1'-0"



PROJECT
NORTH

REVISIONS

DATE	BY	DESCRIPTION

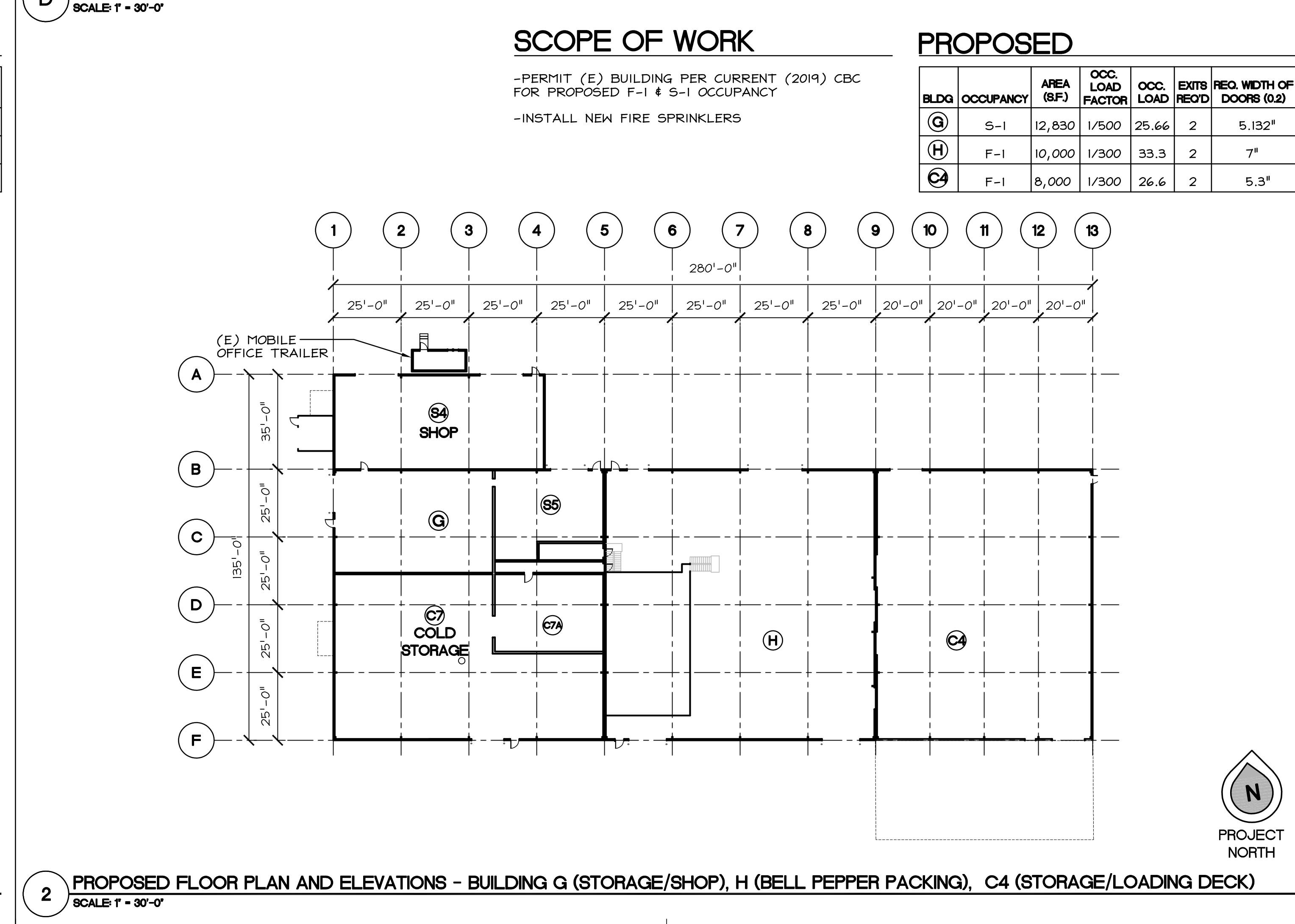
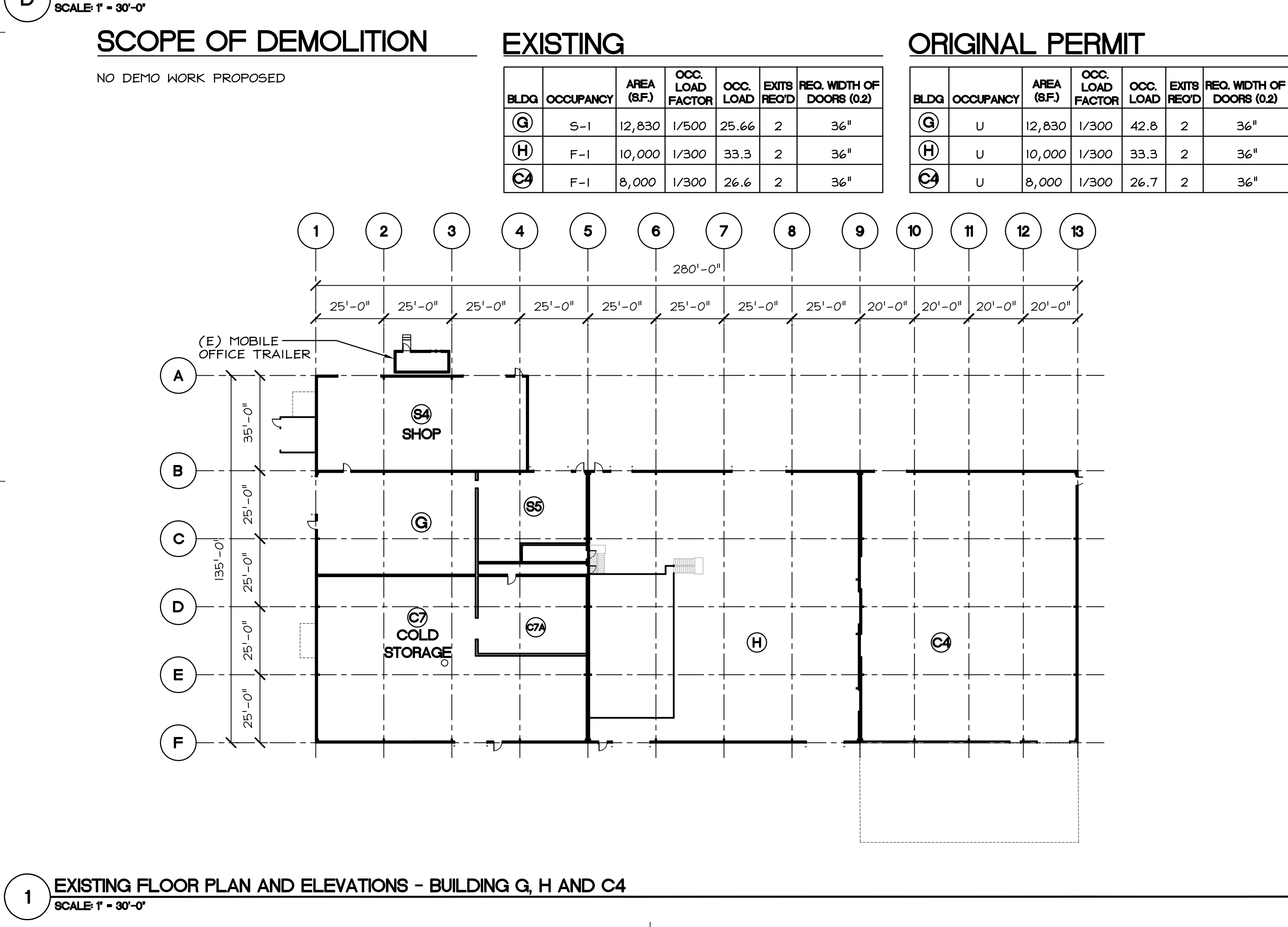
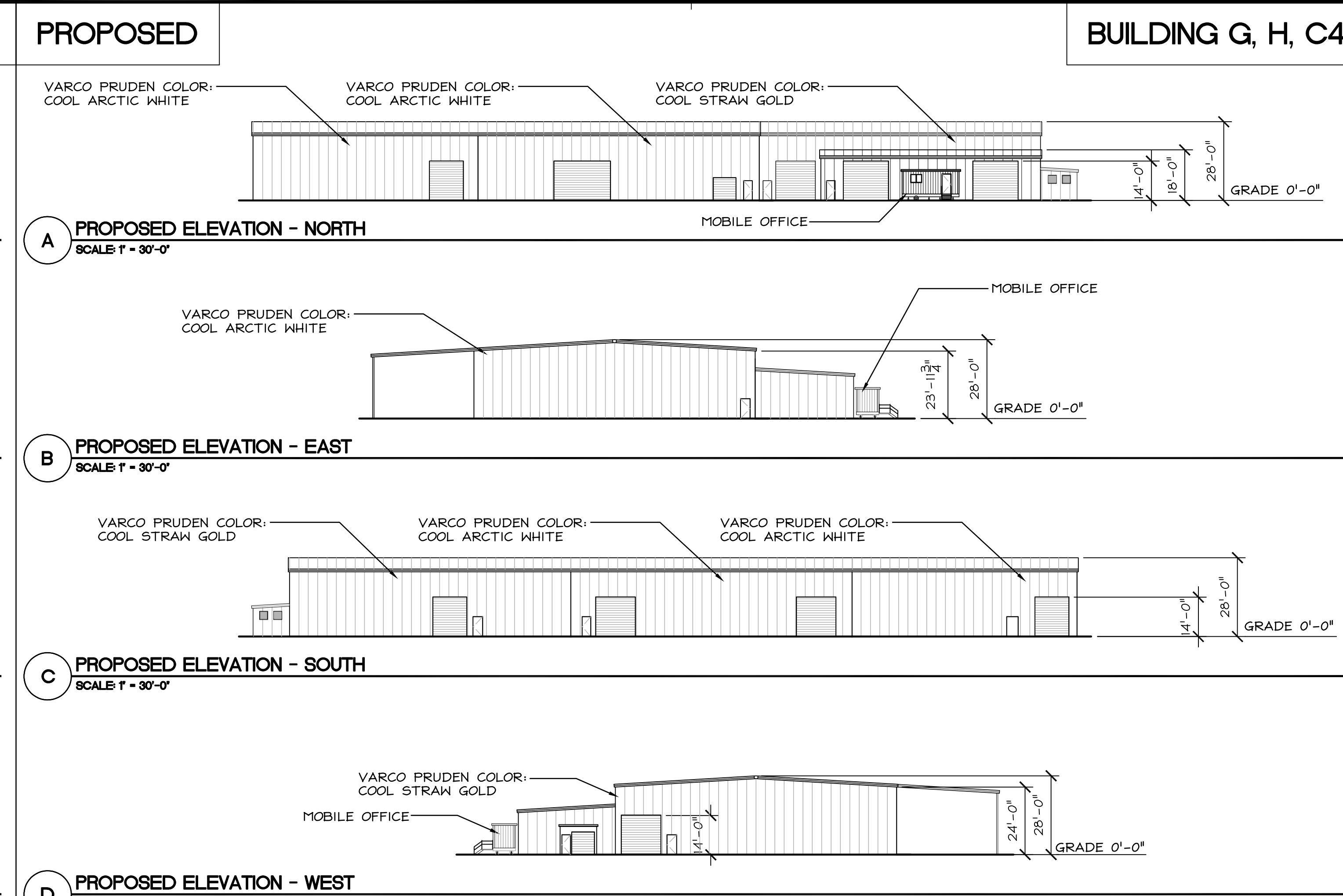
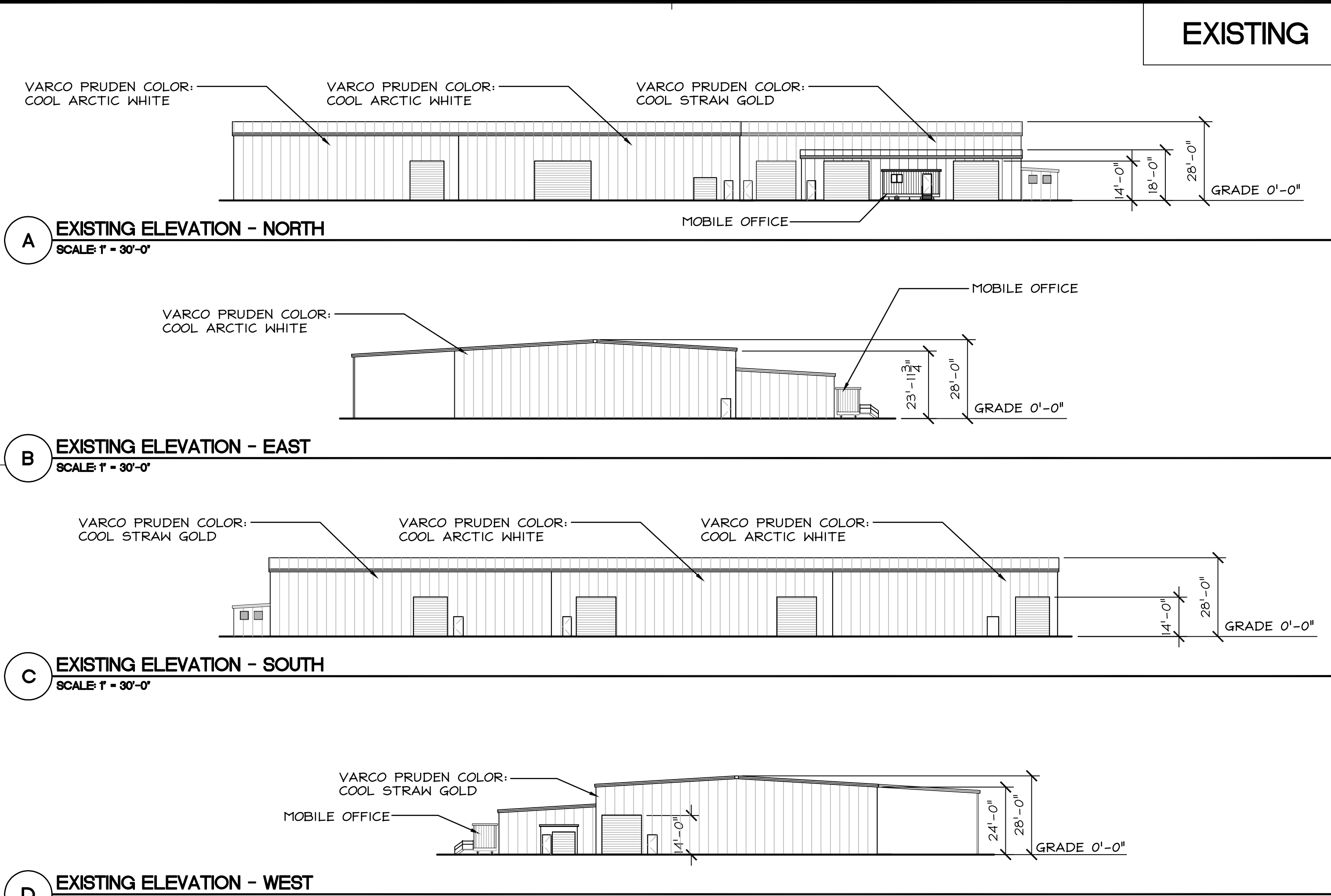
BELLI ARCHITECTURAL GROUP 831. 424 . 4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
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architectural group

EXISTING FLOOR PLANELEVATIONS - BUILDING F
OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE 09/17/21
SCALE AS NOTED
DRAWN JN/YP
JOB 18055
SHEET
A2.6
OF SHEETS

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REVISIONS	DATE	BY	DESCRIPTION

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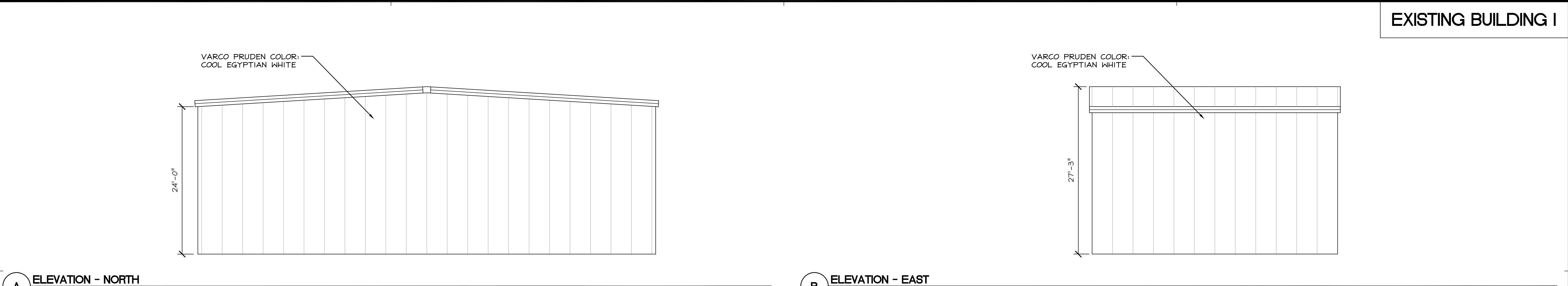
EXISTING & PROPOSED FLOOR PLAN/ELEV. - BLDG G, H, C4

OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE 09/17/21
SCALE AS NOTED
DRAWN JN/YP
JOB 18055
SHEET **A2.7**

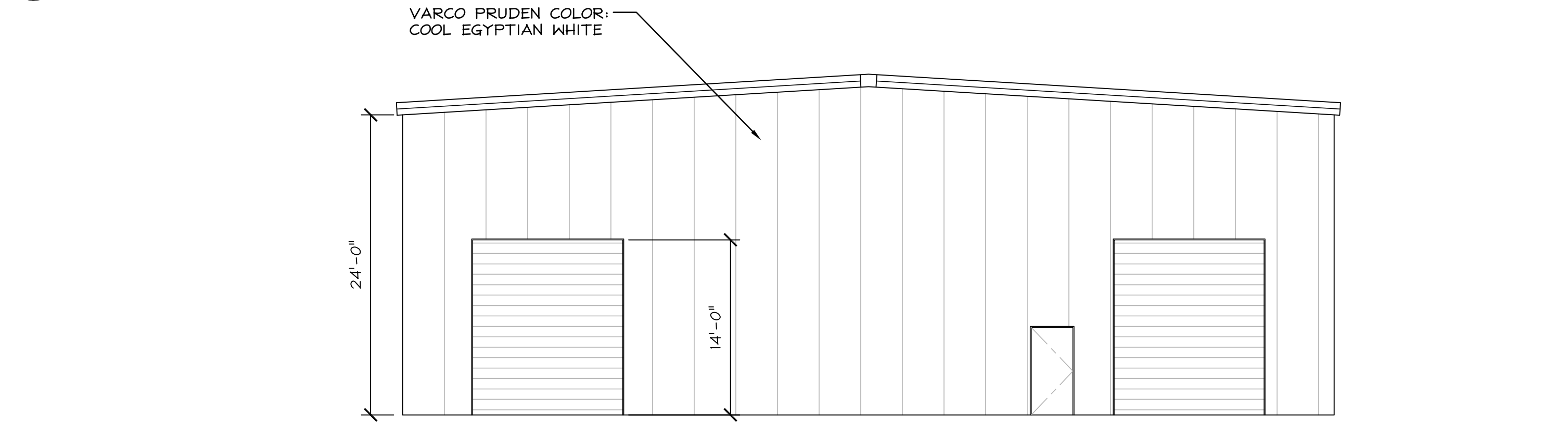
OF SHEETS

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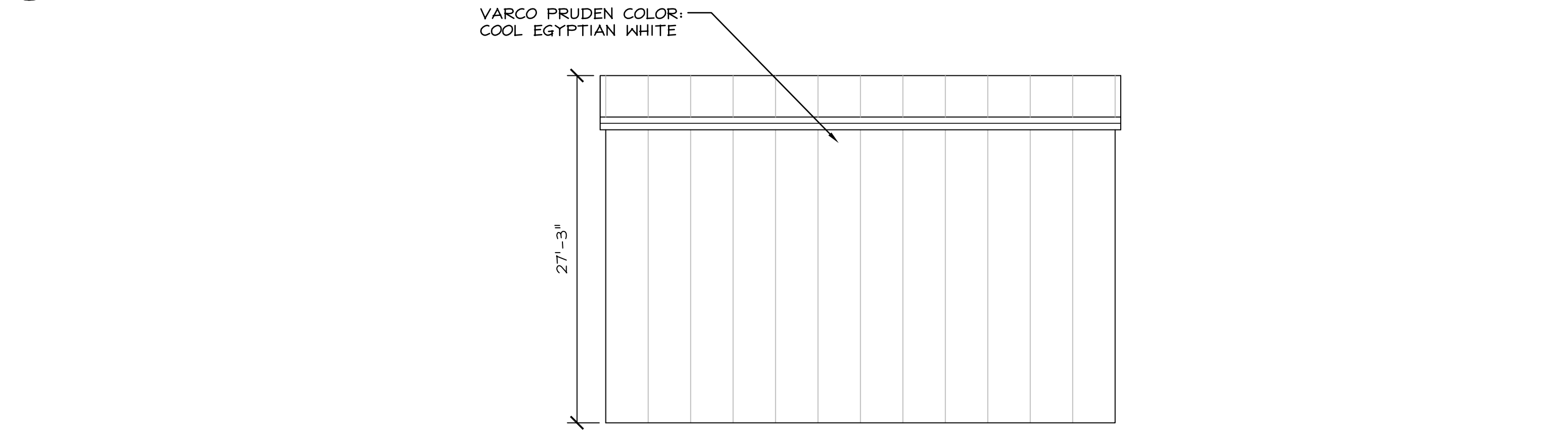


A ELEVATION - NORTH
SCALE: 1/8" = 1'-0"

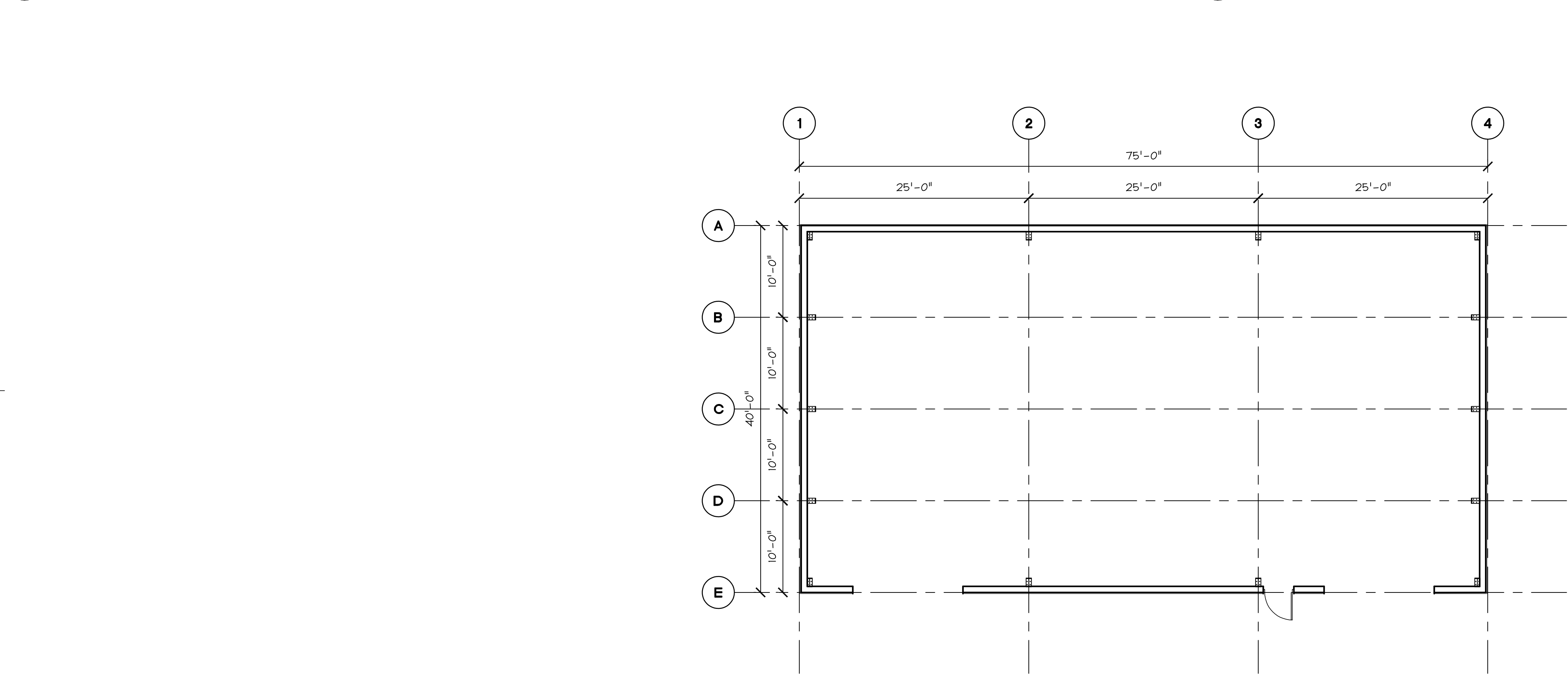
B ELEVATION - EAST
SCALE: 1/8" = 1'-0"



C ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



D ELEVATION - WEST
SCALE: 1/8" = 1'-0"



1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING I
SCALE: 1/8" = 1'-0"

ORIGINAL PERMIT

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
①	U	3,000	1/300	10	2	36"

EXISTING

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
①	U	3,000	1/300	10	2	36"

SCOPE OF WORK

EXISTING TO REMAIN. NO WORK PROPOSED



REVISIONS

DATE	BY	DESCRIPTION

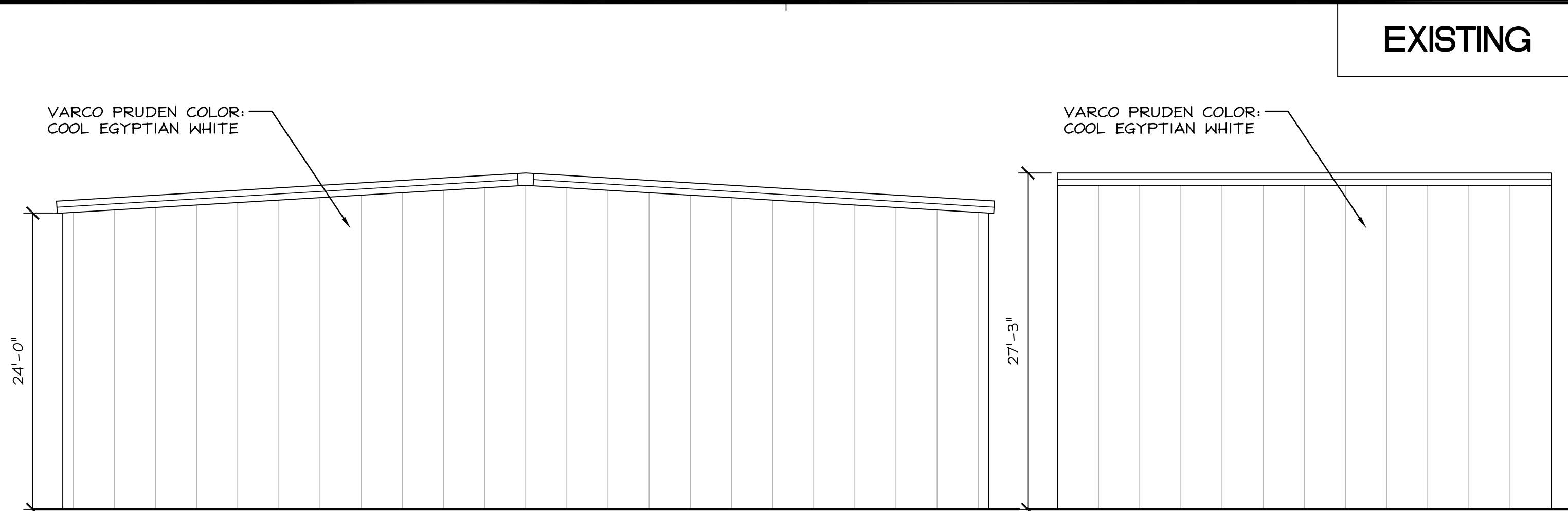
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235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
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EXISTING FLOOR PLANELEVATIONS - BUILDING I
OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

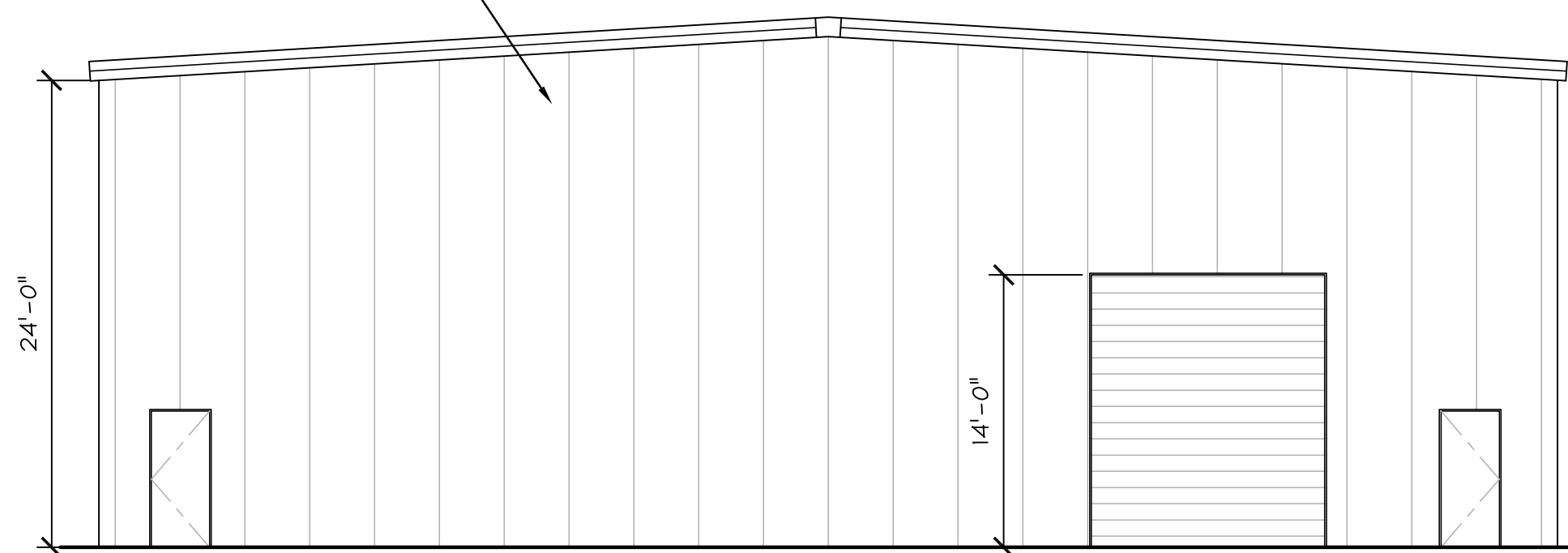
DATE	09/17/21
SCALE	AS NOTED
DRAWN	JN/YP
JOB	18055
SHEET	A28
OF	SHEETS

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A EXISTING ELEVATION - NORTH
SCALE: 1/8" = 1'-0"

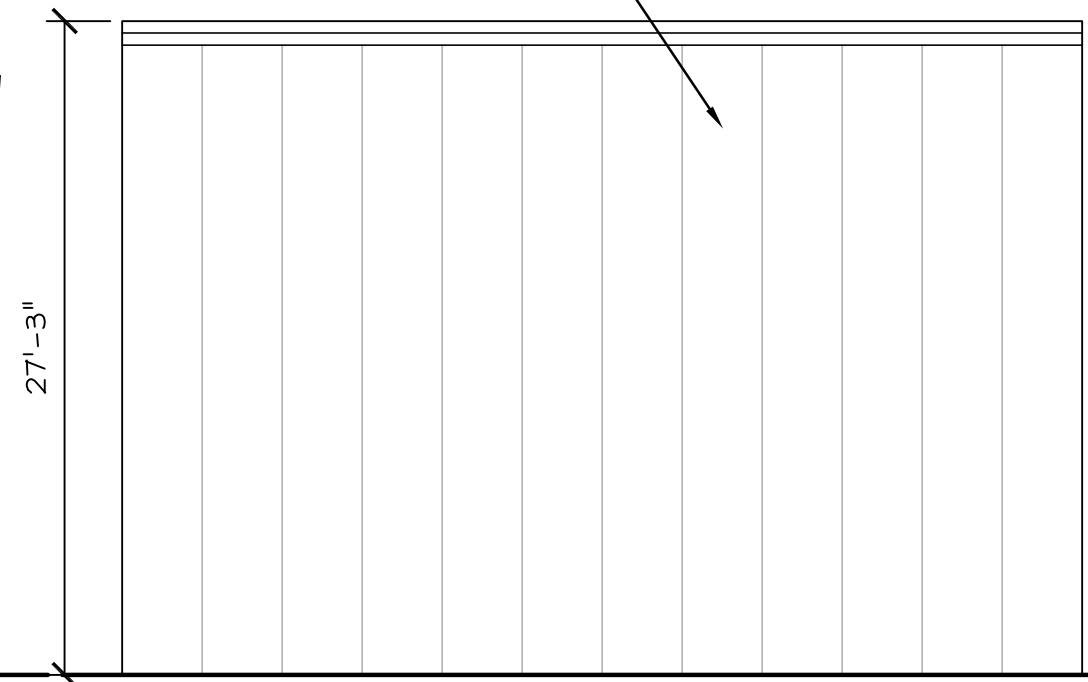
VARCO PRUDEN COLOR:
COOL EGYPTIAN WHITE



C EXISTING ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"

B EXISTING ELEVATION - EAST
SCALE: 1/8" = 1'-0"

VARCO PRUDEN COLOR:
COOL EGYPTIAN WHITE



D EXISTING ELEVATION - WEST
SCALE: 1/8" = 1'-0"

SCOPE OF DEMOLITION

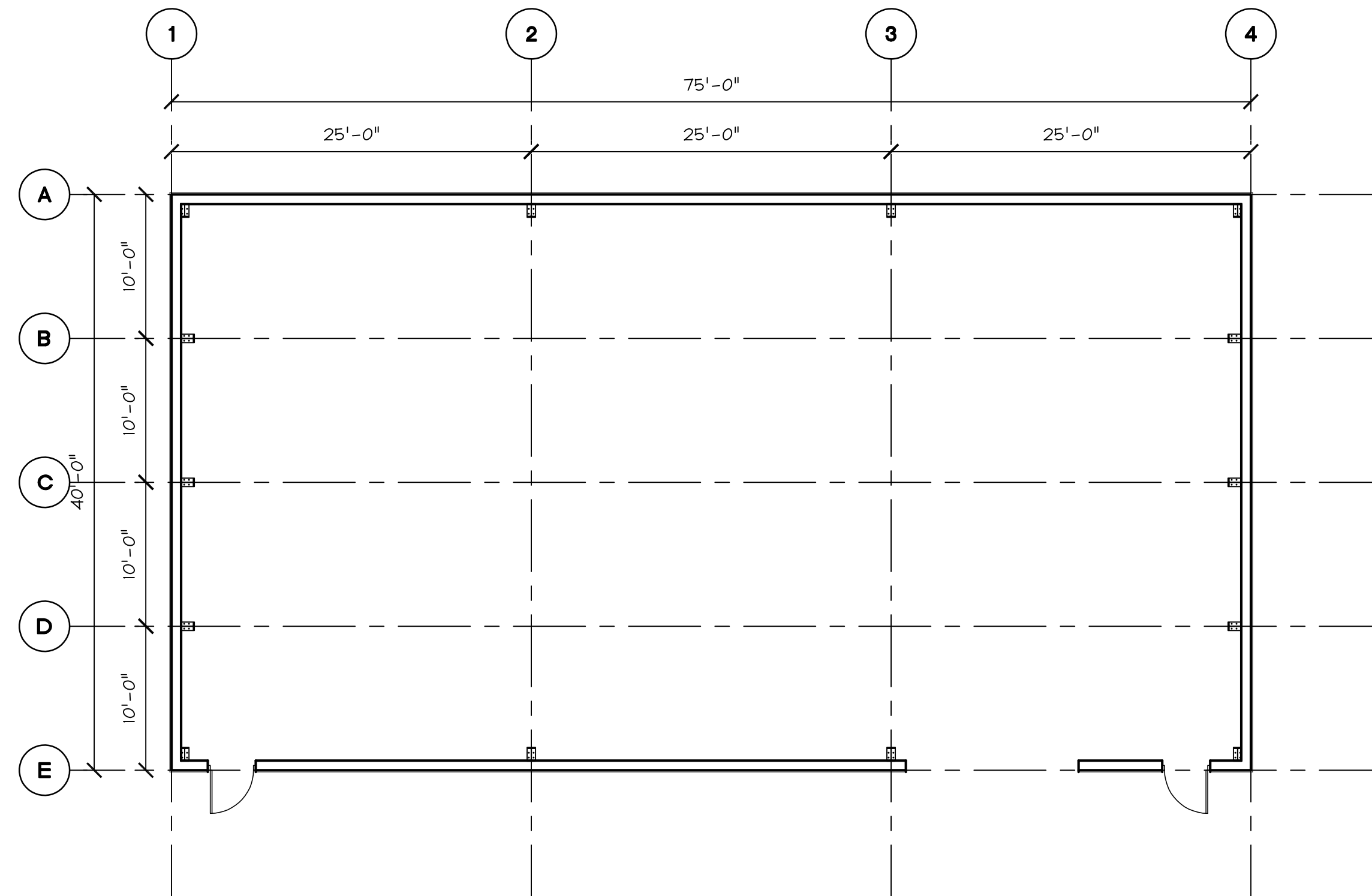
NO DEMO WORK PROPOSED

ORIGINAL PERMIT

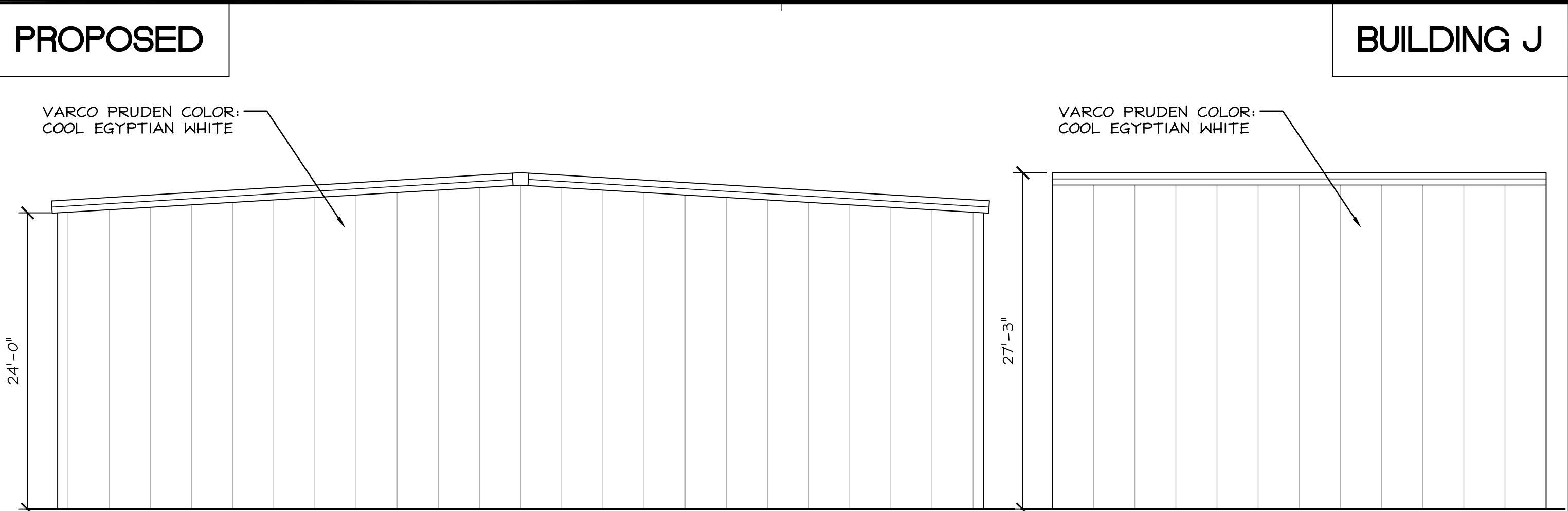
BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
J	U	3,000	1/300	10	2	36"

EXISTING

BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
J	S-1	3,000	1/500	6	2	36"

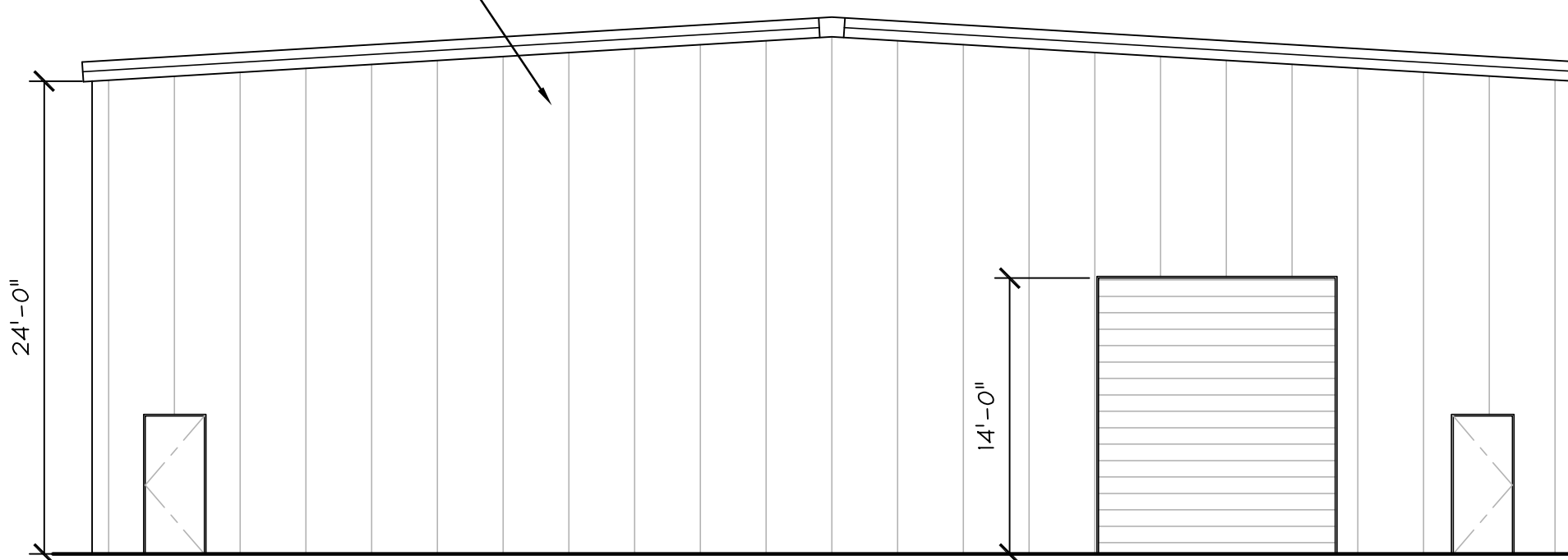


1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING J
SCALE: 1/8" = 1'-0"



A PROPOSED ELEVATION - NORTH
SCALE: 1/8" = 1'-0"

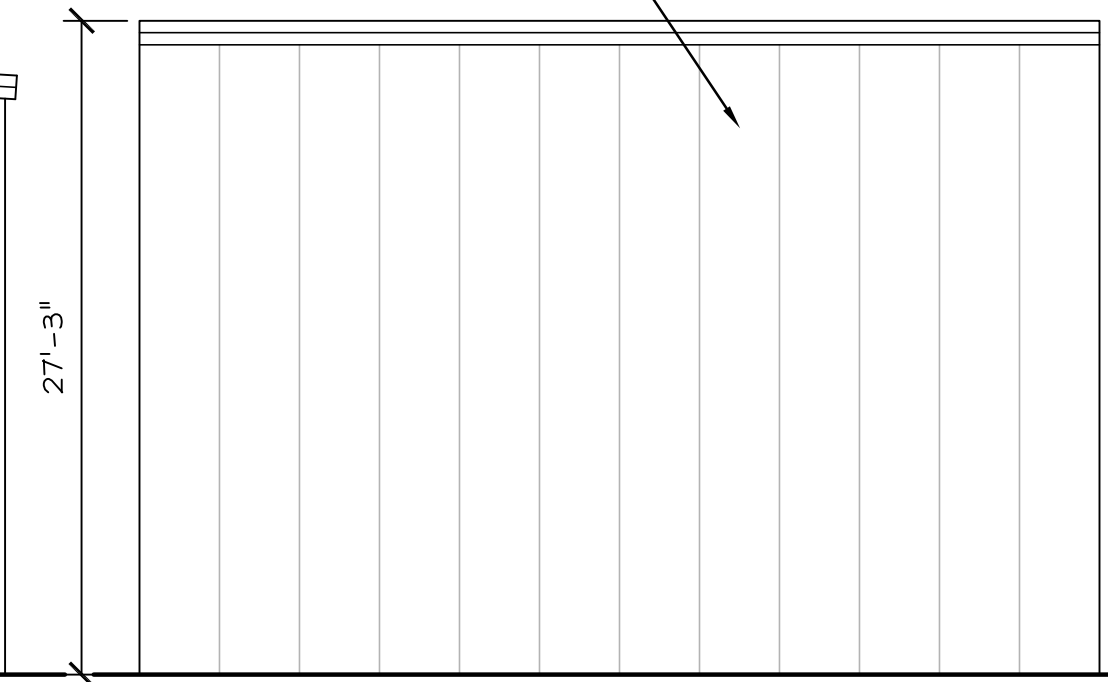
VARCO PRUDEN COLOR:
COOL EGYPTIAN WHITE



C PROPOSED ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"

B PROPOSED ELEVATION - EAST
SCALE: 1/8" = 1'-0"

VARCO PRUDEN COLOR:
COOL EGYPTIAN WHITE



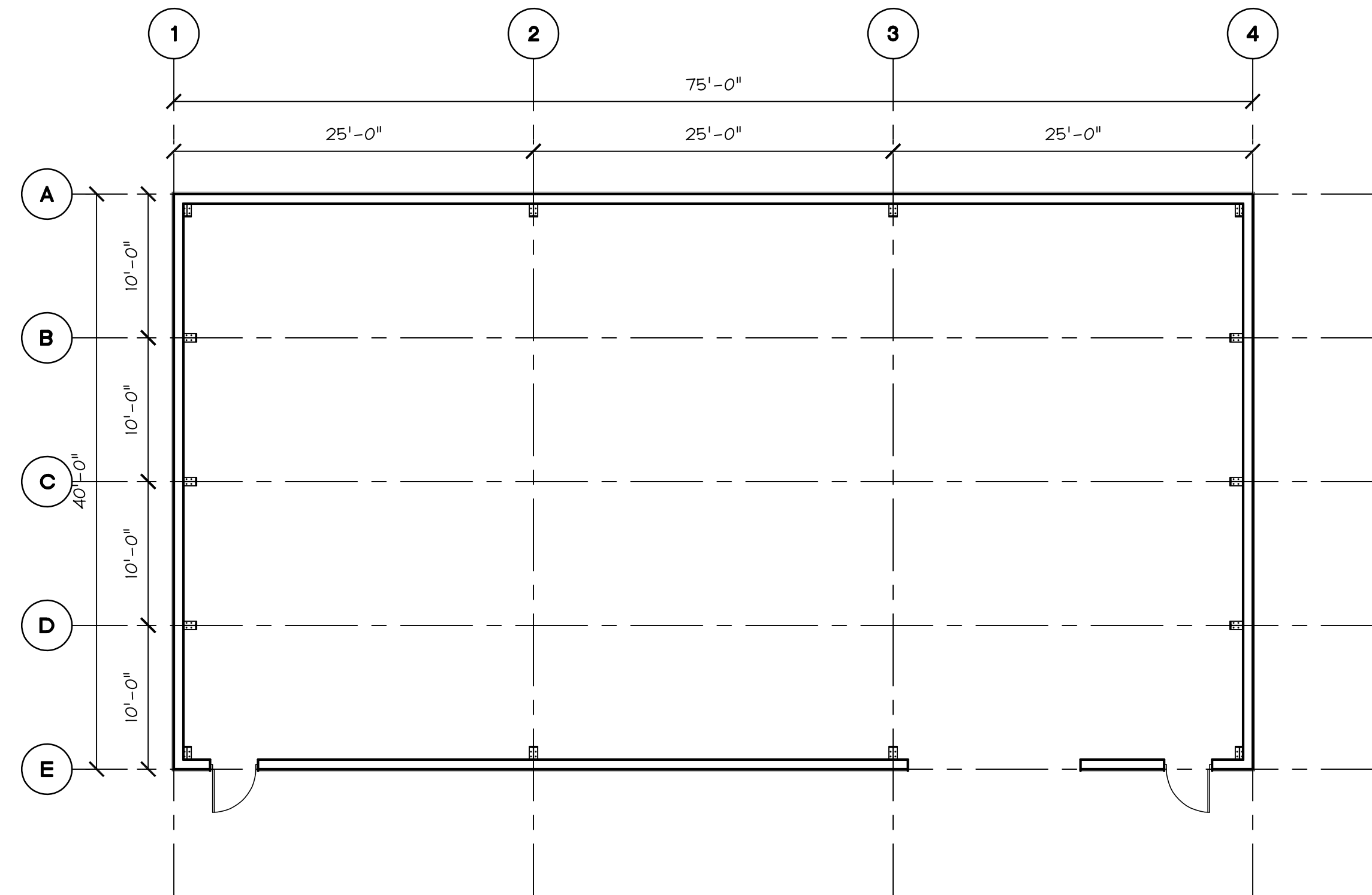
D PROPOSED ELEVATION - WEST
SCALE: 1/8" = 1'-0"

SCOPE OF WORK

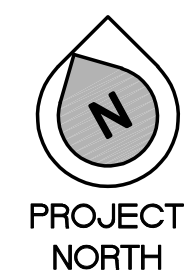
PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR PROPOSED S-1 OCCUPANCY

PROPOSED

BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
J	S-1	3,000	1/500	6	2	36"



2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING J (DRY STORAGE)
SCALE: 1/8" = 1'-0"



BUILDING J

REVISIONS	DATE	BY	DESCRIPTION

BELLI ARCHITECTURAL GROUP 831. 424. 4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIAAG.COM

Belli architectural group

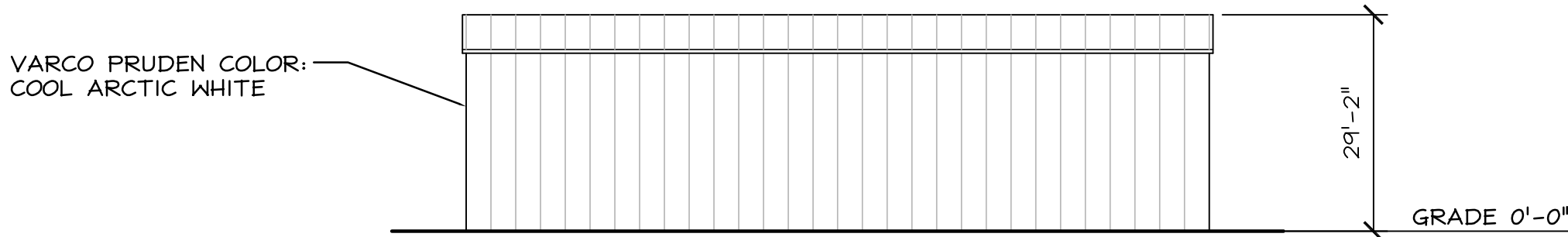
EXISTING & PROPOSED FLOOR PLAN/ELEV. - BUILDING J
OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE 09/17/21
SCALE AS NOTED
DRAWN JN/YP
JOB 18055
SHEET
A29
OF SHEETS

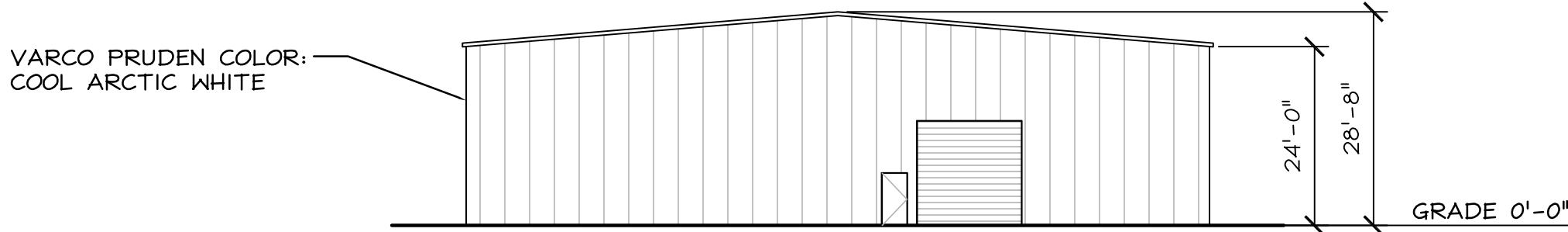
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EXISTING BUILDING K

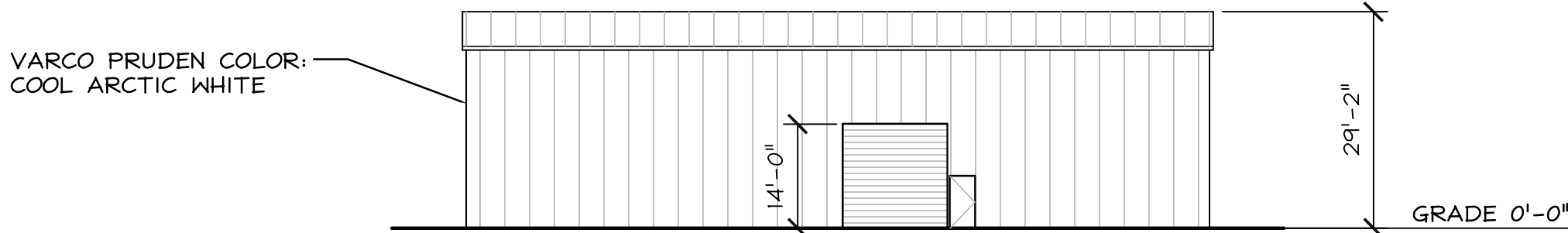
A ELEVATION - NORTH
SCALE: 1" = 20'-0"



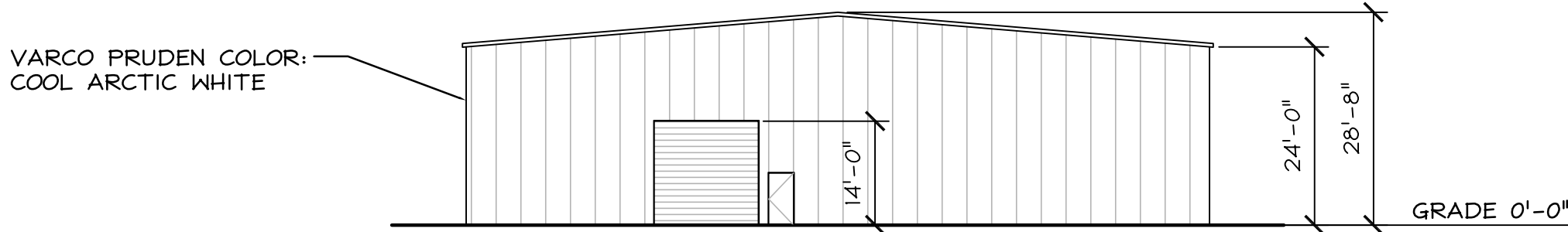
B ELEVATION - EAST
SCALE: 1" = 20'-0"



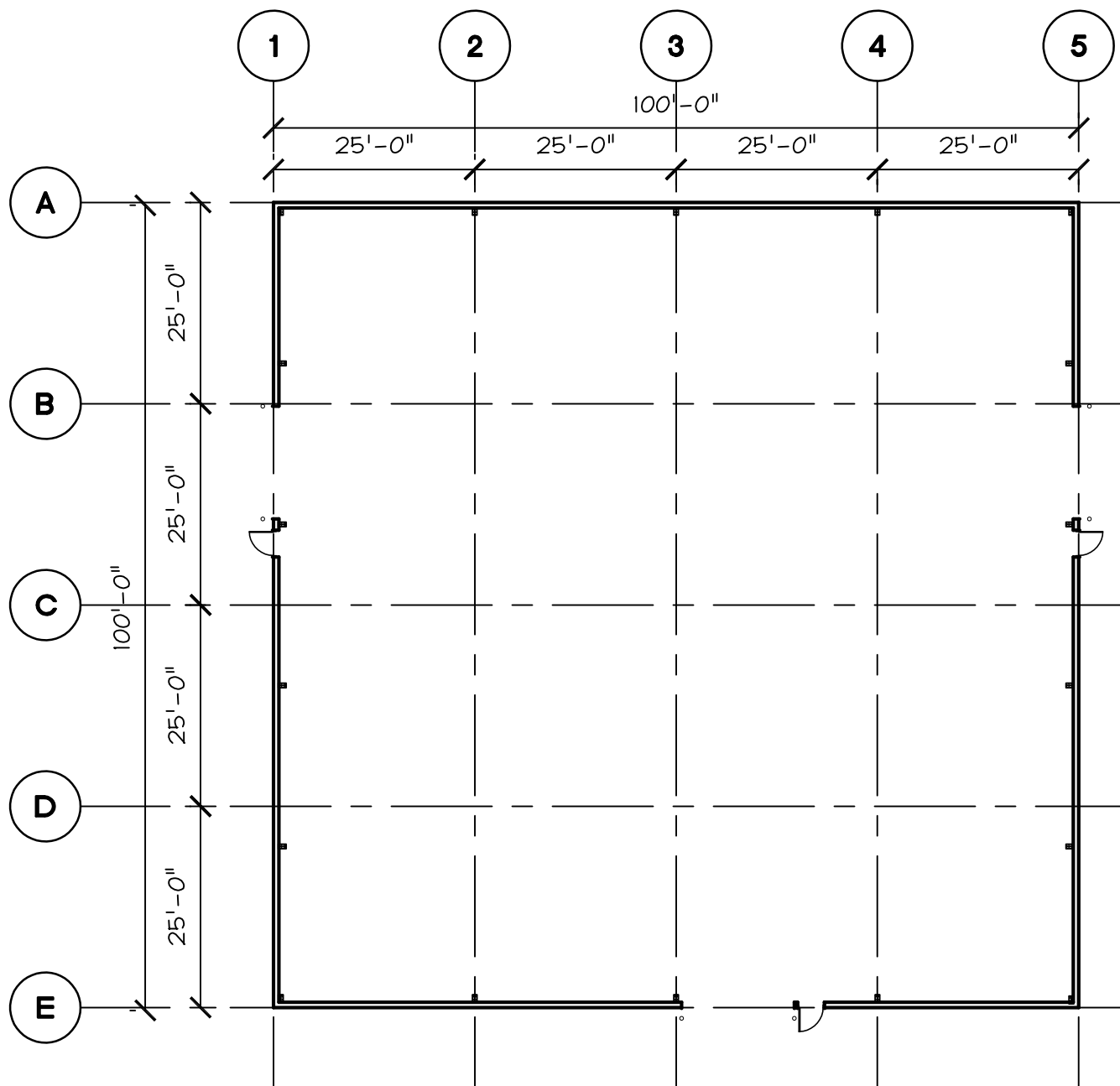
C ELEVATION - SOUTH
SCALE: 1" = 20'-0"



D ELEVATION - WEST
SCALE: 1" = 20'-0"



1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING K
SCALE: 1" = 20'-0"



ORIGINAL PERMIT

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
(K)	U	10,000	1/300	33.3	2	36"

EXISTING

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
(K)	U	10,000	1/300	33.3	2	36"

SCOPE OF WORK

EXISTING PERMITTED BUILDING. NO WORK PROPOSED



EXISTING FLOOR PLANELEVATIONS - BUILDING K

OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE 09/17/21
SCALE AS NOTED
DRAWN JN/YP
JOB 18055
SHEET

A2.10

OF SHEETS

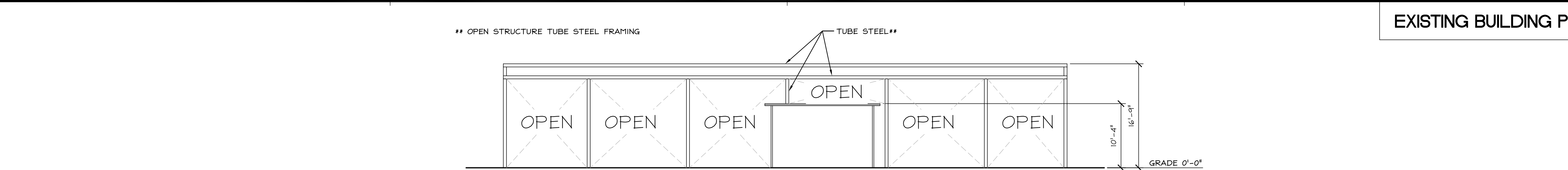
REVISIONS DATE BY DESCRIPTION

BELLI ARCHITECTURAL GROUP 831 . 424 . 4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIAQ.COM

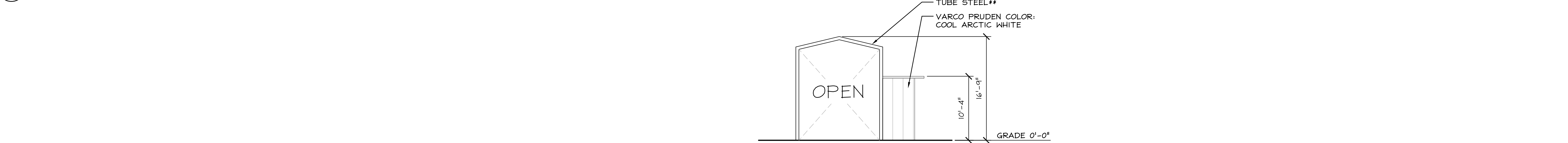


architectural group

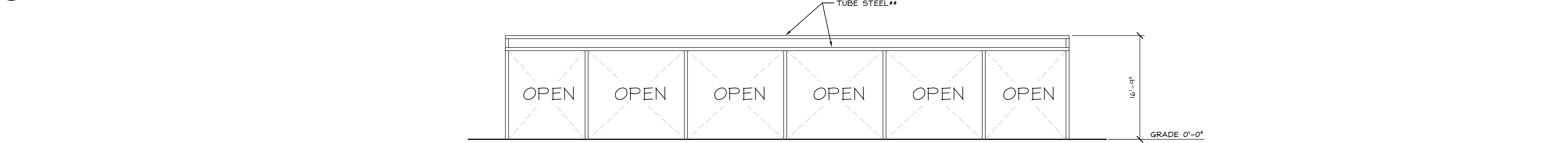
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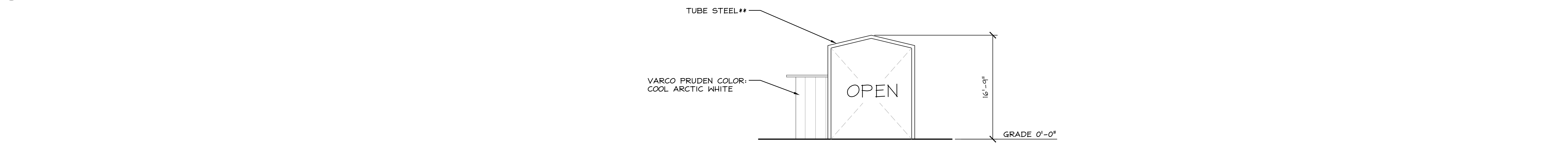
A ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



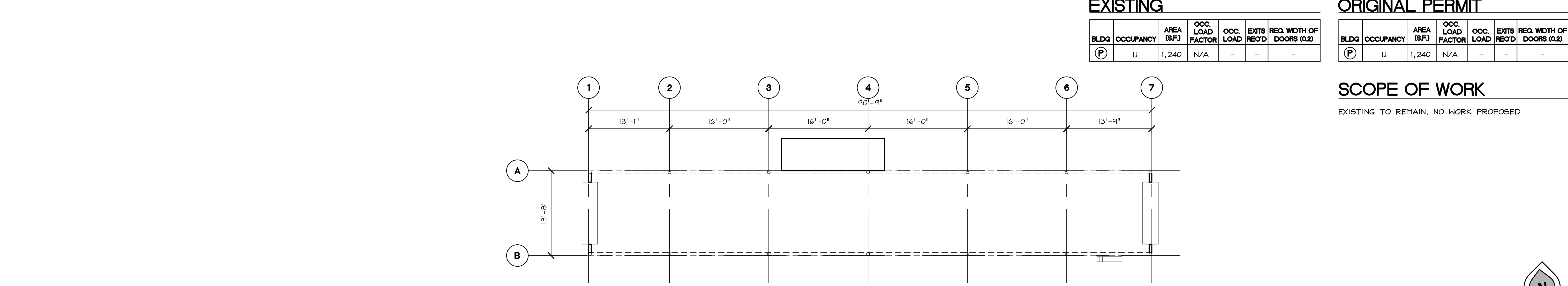
B ELEVATION - EAST
SCALE: 1/8" = 1'-0"



C ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



D ELEVATION - WEST
SCALE: 1/8" = 1'-0"



1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING P (VACUUM TUBE)
SCALE: 1/8" = 1'-0"

EXISTING BUILDING P

REVISIONS	DATE	BY	DESCRIPTION

BELLI ARCHITECTURAL GROUP 831. 424 . 4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLGAG.COM

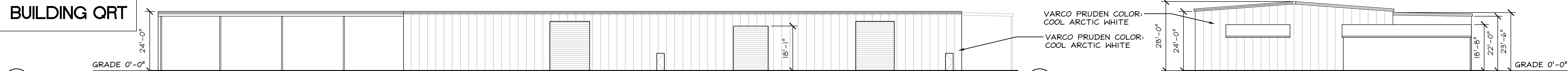

architectural group

EXISTING FLOOR PLANELEVATIONS - BUILDING P
OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

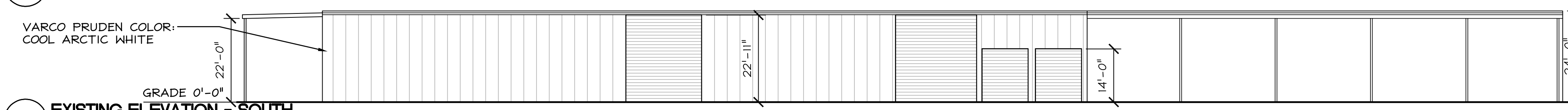
DATE	09/17/21
SCALE	AS NOTED
DRAWN	JN/YP
JOB	18055
SHEET	A2.11
OF	SHEETS

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES INFRA PACE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

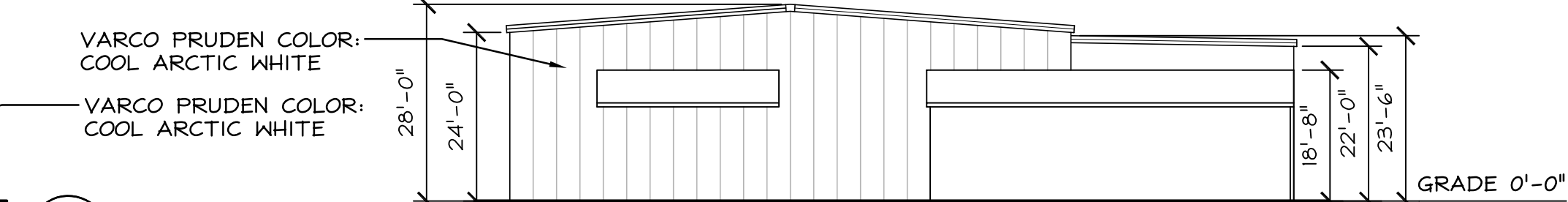
BUILDING QRT



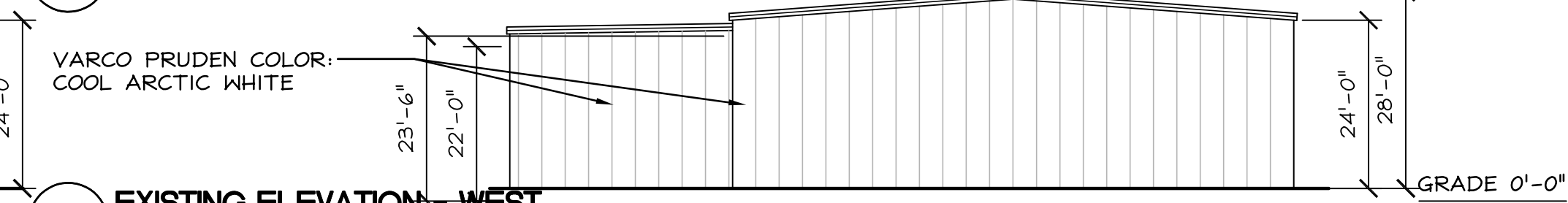
A EXISTING ELEVATION - NORTH
SCALE: 1" = 20'-0"



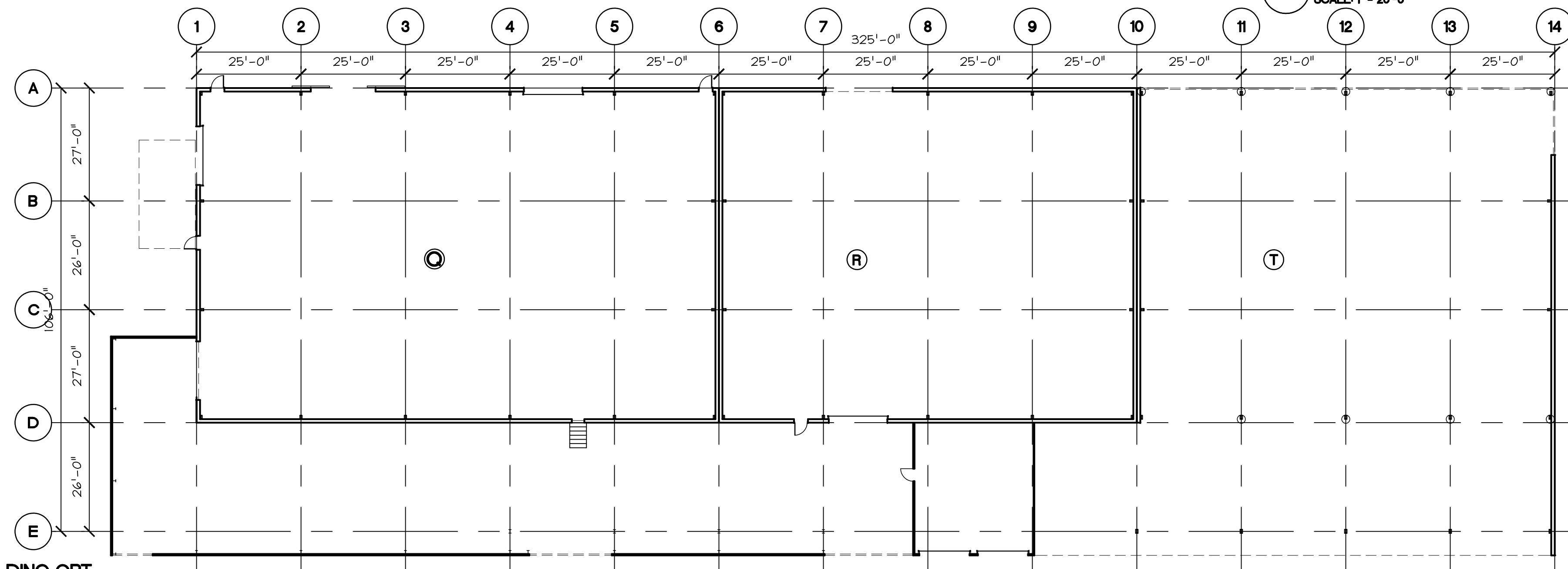
C EXISTING ELEVATION - SOUTH
SCALE: 1" = 20'-0"



B EXISTING ELEVATION - EAST
SCALE: 1" = 20'-0"



EXISTING ELEVATION - WEST
SCALE: 1" = 20'-0"



EXISTING

1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING QRT
SCALE: 1" = 20'-0"

ORIGINAL PERMIT

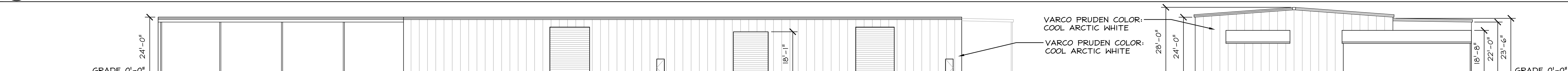
BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
QRT	U	37,392	1/300	124.64	2	36"

EXISTING

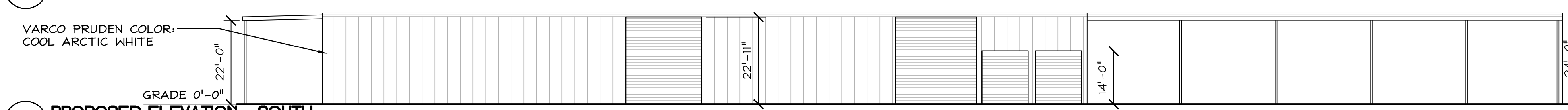
BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
①	F-I	10,000	1/300	33.3	2	36"
②	F-I	8,000	1/300	26.6	2	36"
③	U	8,000	1/300	26.67	2	36"

SCOPE OF DEMOLITION

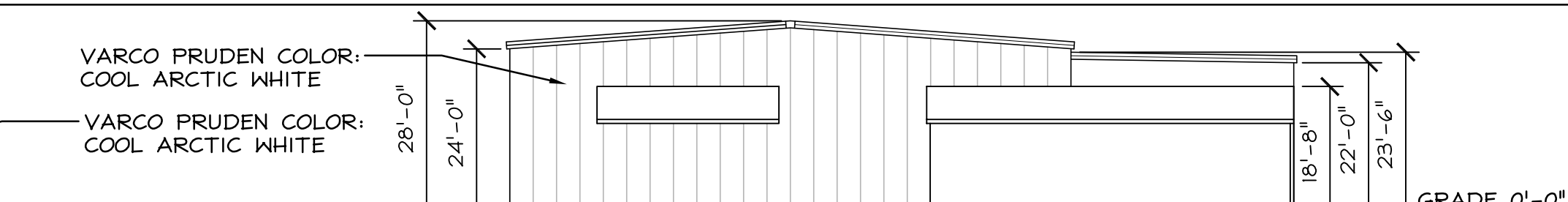
NO DEMO WORK PROPOSED



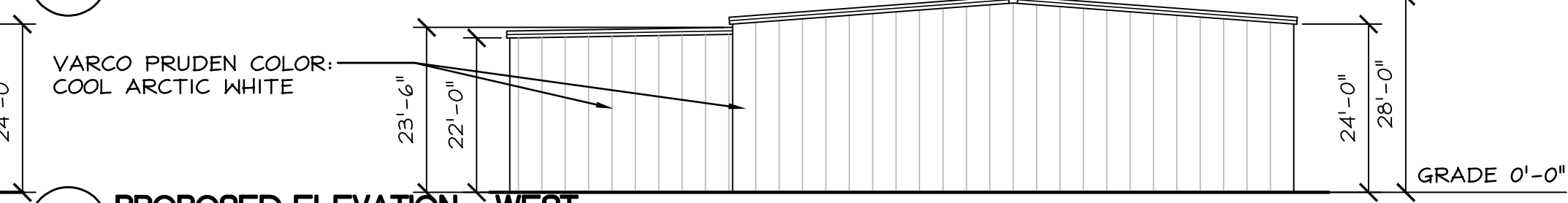
PROPOSED ELEVATION - NORTH
SCALE: 1" = 20'-0"



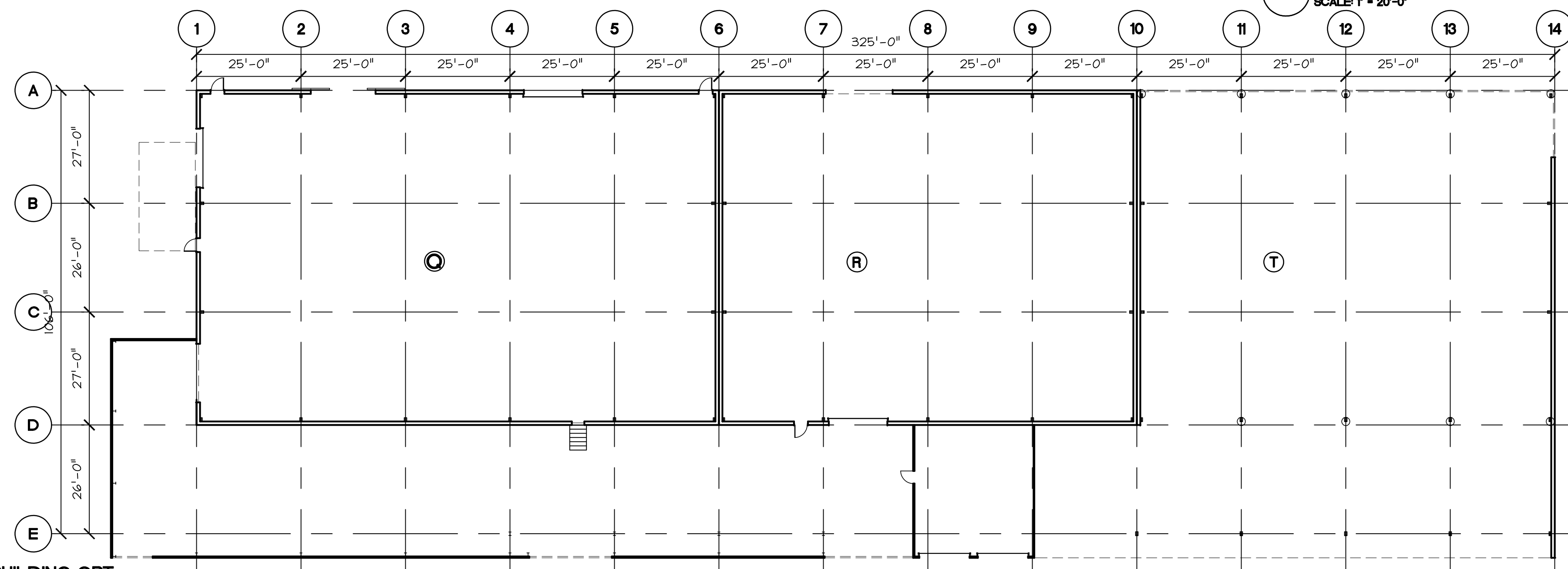
C **PROPOSED ELEVATION - SOUTH**
SCALE: 1" = 20'-0"



B PROPOSED ELEVATION - EAST
SCALE: 1" = 20'-0"



D PROPOSED ELEVATION - WEST
SCALE: 1" = 20'-0"



PROPOSED

2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING QRT
SCALE: 1" = 20'-0"

PROPOSED

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS RECD	REQ. WIDTH OF DOORS (0.2)
Q	F-1	10,000	1/300	33.3	2	36"
R	F-1	8,000	1/300	26.6	2	36"
T	U	8,000	1/300	26.67	2	36"

SCOPE OF WORK

PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR
PROPOSED F-1 OCCUPANCY

PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR
PROPOSED U OCCUPANCY



PROPOSED

BUILDING S

A **PROPOSED ELEVATION - NORTH**
SCALE: 1" = 20'-0"

Elevation drawing of a building with a gabled roof. The drawing shows a main structure with a gabled roof and a smaller rectangular section in the center. Dimensions are indicated: the main structure is 28'-0" high, the smaller section is 14'-0" high, and the main structure is 24'-0" high. The ground level is labeled "GRADE 0'-0"

B PROPOSED ELEVATION - EAST
SCALE: 1" = 20'-0"

PROPOSED ELEVATION - SOUTH
SCALE: 1" = 20'-0"

24'-0"

28'-0"

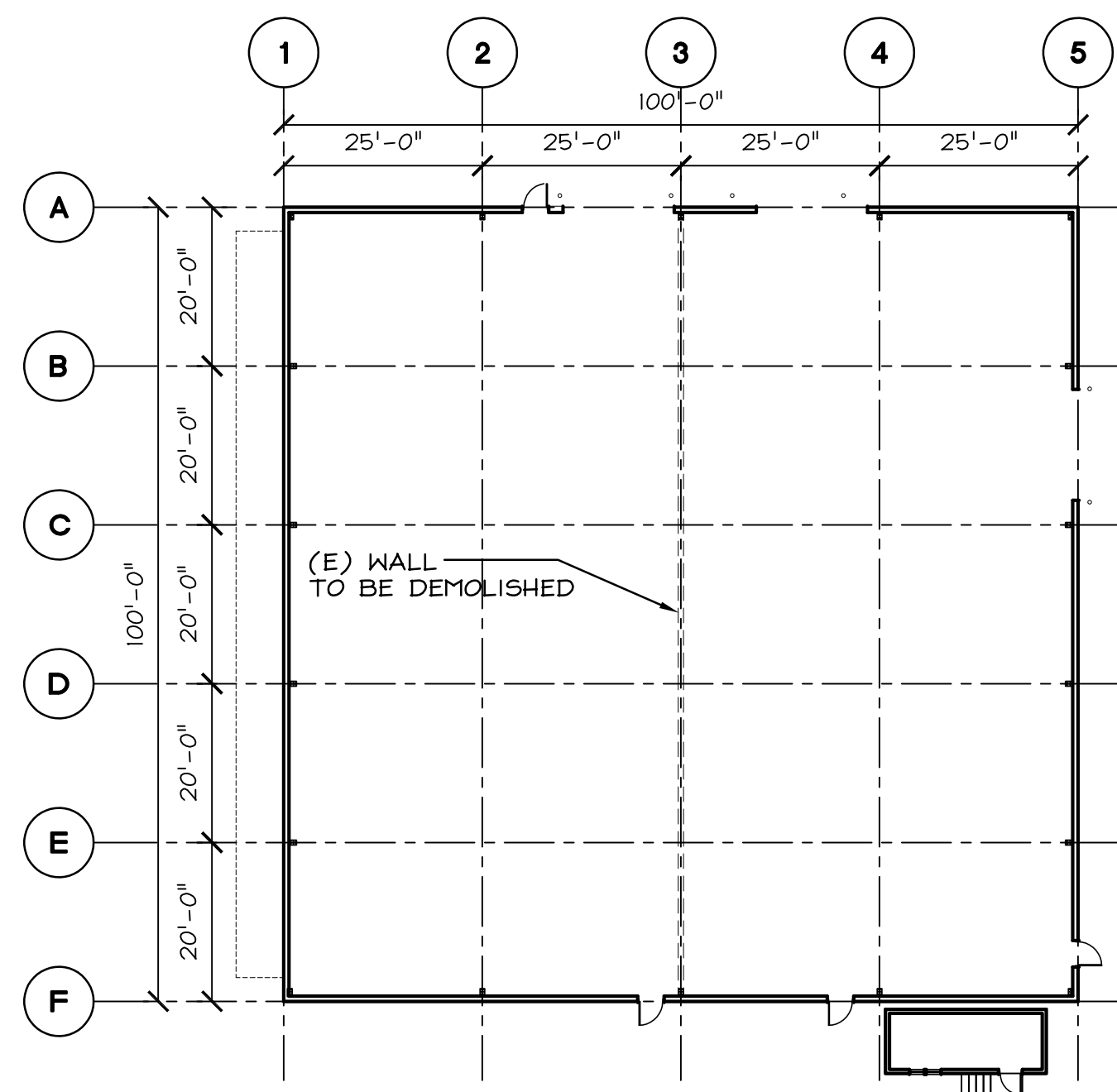
GRADE 0'-0"

D PROPOSED ELEVATION - WEST
SCALE: 1" = 20'-0"

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
(S)	U	10,000	1/300	33.3	2	36"

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
(S)	S-1	10,000	1/500	20	2	36"

DEMO (E) PARTITION WALL



1 DEMOLITION FLOOR PLAN AND ELEVATIONS - BUILDING S
SCALE: 1" = 20'-0"

28'-0"

GRADE 0'-0"

A **PROPOSED ELEVATION - NORTH**
SCALE: 1" = 20'-0"

B PROPOSED ELEVATION - EAST
SCALE: 1" = 20'-0"

PROPOSED ELEVATION - SOUTH
SCALE: 1" = 20'-0"

24'-0"

28'-0"

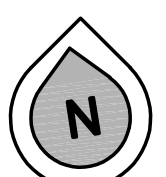
GRADE 0'-0"

D PROPOSED ELEVATION - WEST
SCALE: 1" = 20'-0"

BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
(S)	A-2					
	DINING	4,876	1/15	325.1	2	96.38"
	ACCESSORY AREA	2,945	N/A	N/A	N/A	N/A
	TOTAL	10,000				

PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR
PROPOSED A-2 OCCUPANCY

- TIME CLOCK MACHINES
- HAND DRYERS
- ☐ VENDING MACHINES
- ☐ REFRIGERATORS
- ☐ MICROWAVES
- WINDOWS



PROJECT
NORTH

2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING S (BREAKROOM/RESTROOM)
SCALE: 1" = 20'-0"

[illegible]

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235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIA.G.COM



EXISTING & PROPOSED FLOOR PLAN/ELEV. - BUILDING S	OVERALL SITE BUILDING USES

OVERALL SITE - BUILDING USES

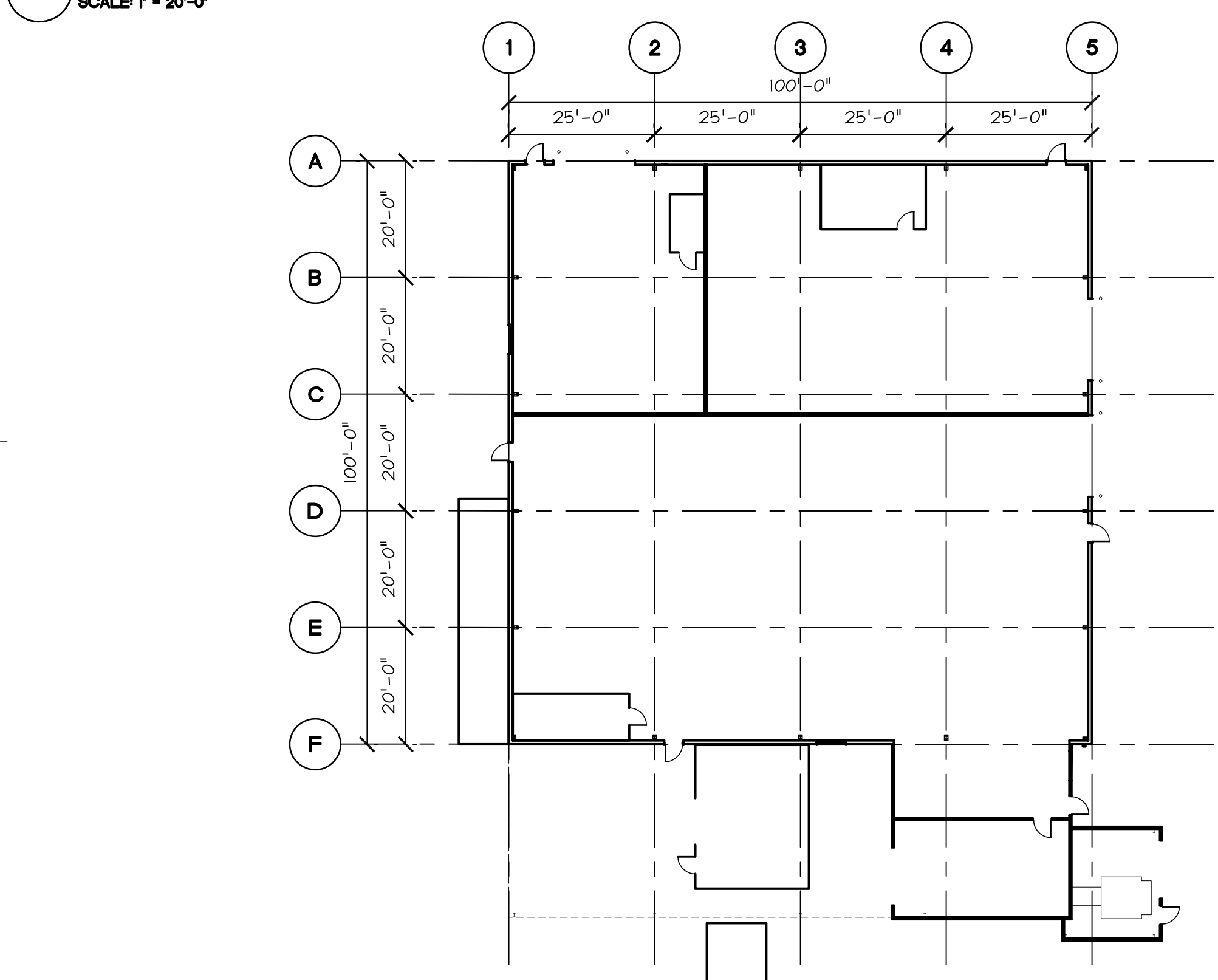
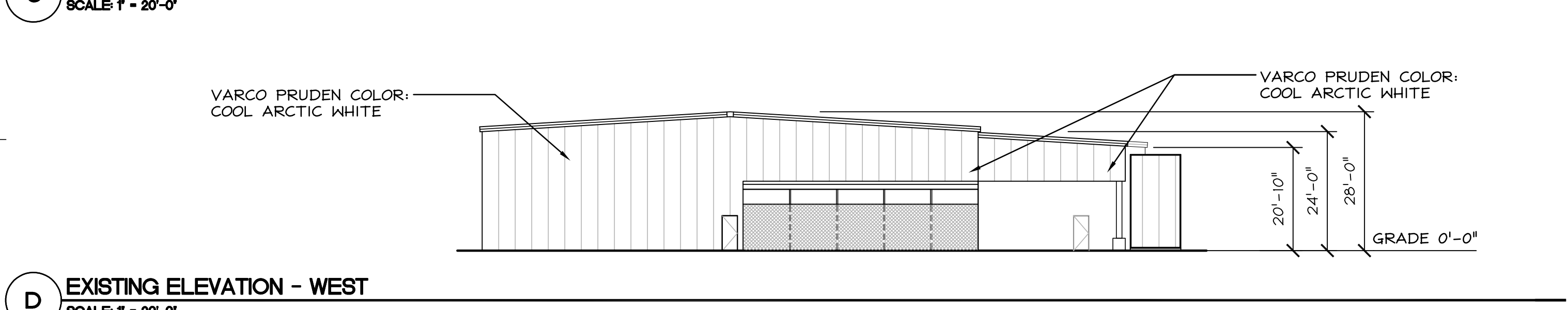
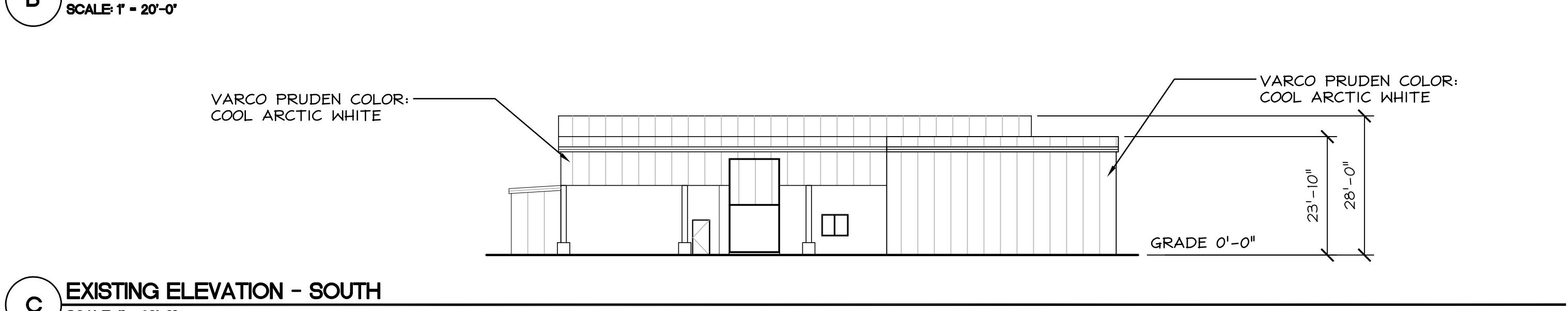
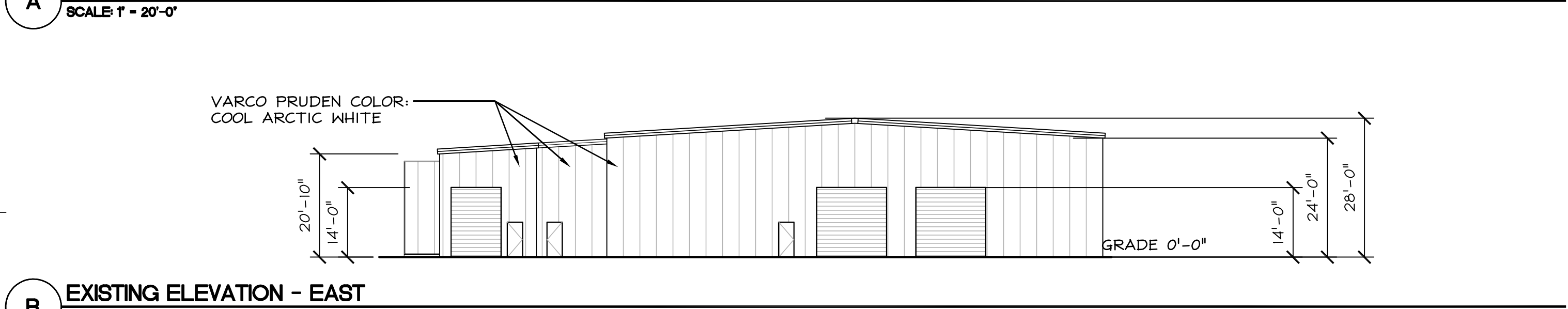
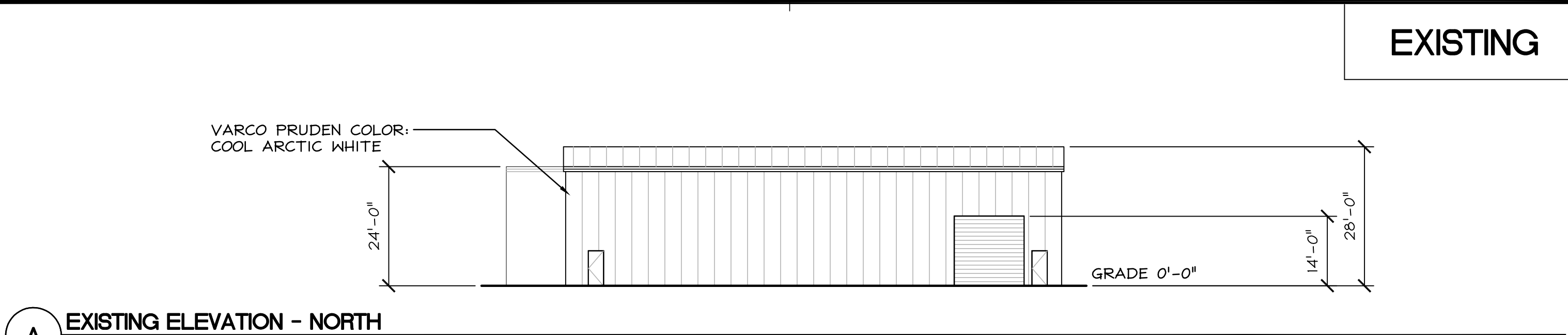
CHRISTOPHER RANCH

305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE	09/17/21
SCALE	AS NOTED
DRAWN	JN/YP
JOB	18055
SHEET	

A2.13

OF SHEETS



1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING U
SCALE: 1" = 20'-0"

ORIGINAL PERMIT

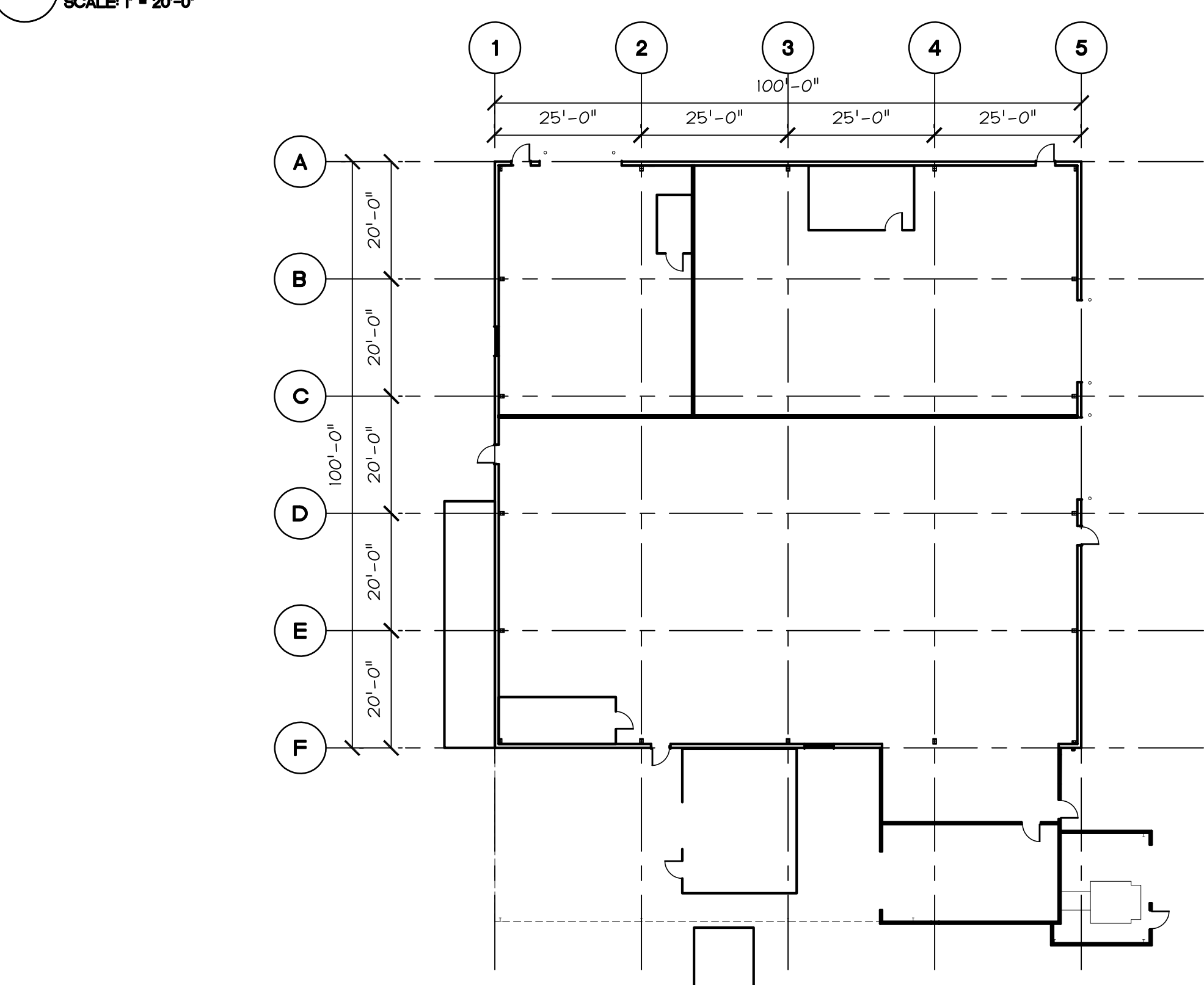
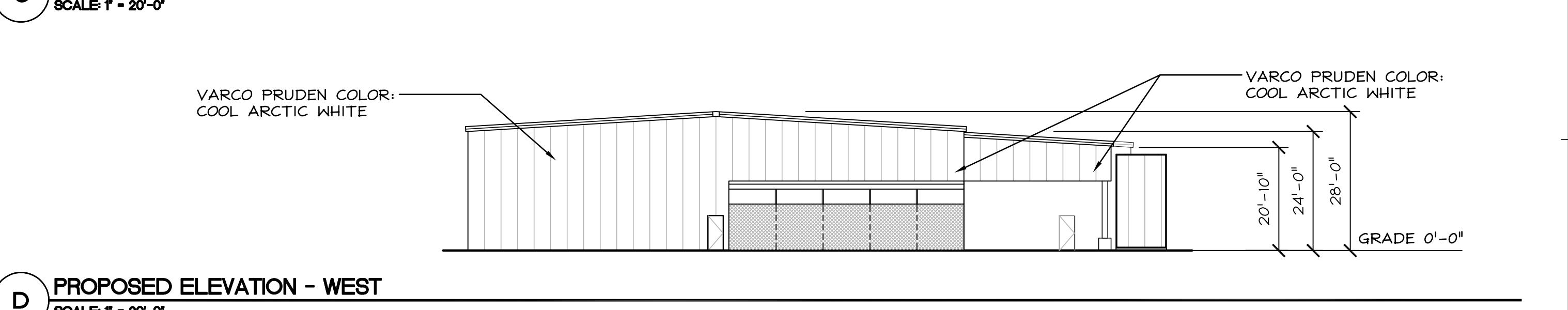
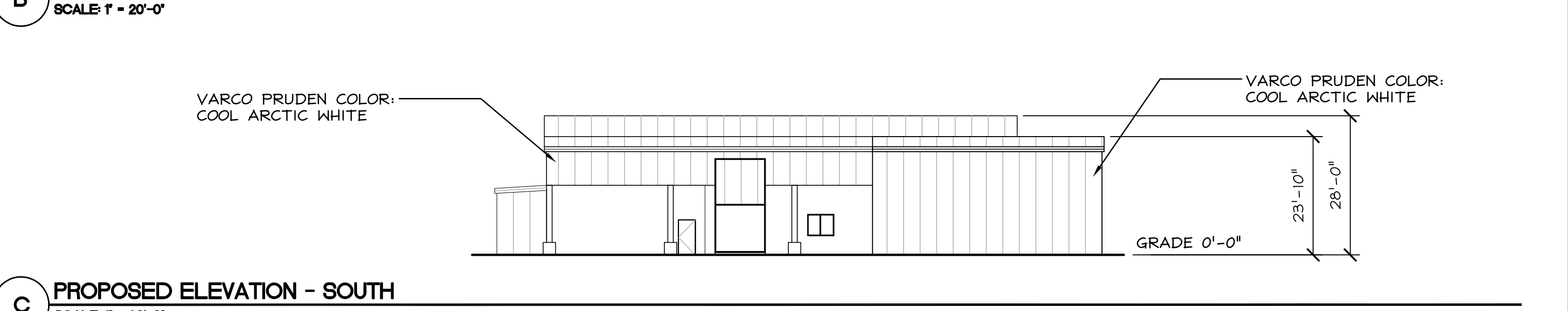
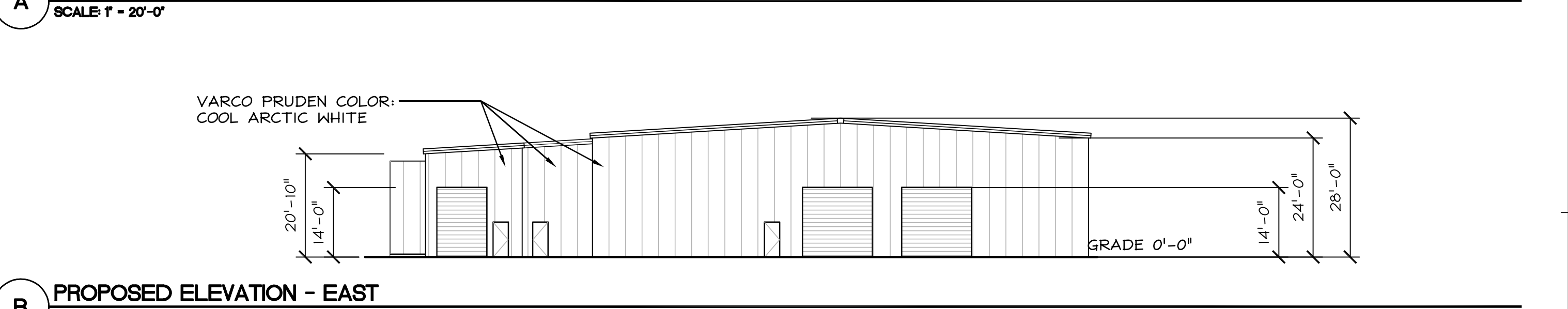
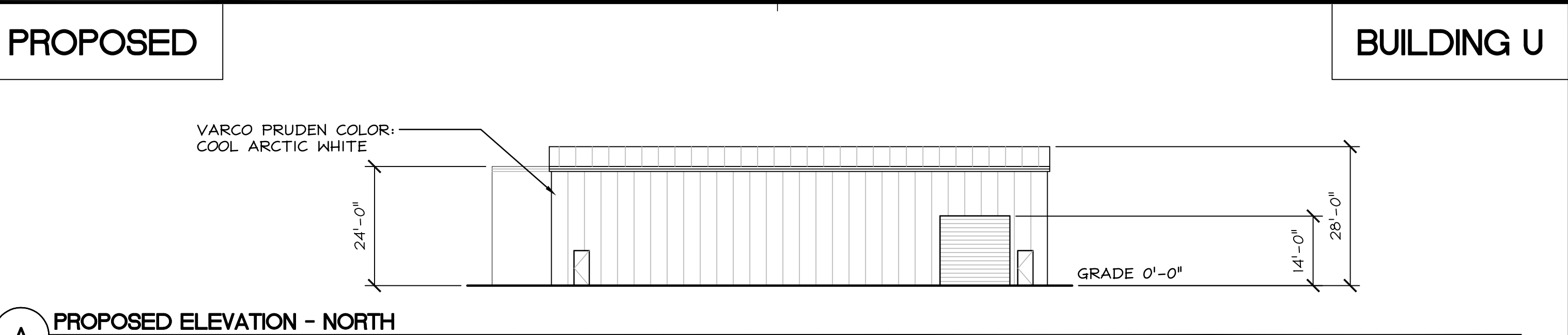
BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
U	U	13,644	1/300	45.48	2	36"

EXISTING

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
U	F-1	13,644	1/300	45.48	2	36"

SCOPE OF DEMOLITION

NO DEMO WORK PROPOSED



2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING U (GARLIC CHOPPING AND ROASTING)
SCALE: 1" = 20'-0"

PROPOSED

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
U	F-1	13,644	1/300	45.48	2	36"

SCOPE OF WORK

PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR PROPOSED F-1 OCCUPANCY



REVISIONS

DATE	BY	DESCRIPTION

Belli Architectural Group

831.424.4620

235 MONTEREY STREET, SUITE B, SALINAS, CA 93901

BELLAGROUP.COM

EXISTING & PROPOSED FLOOR PLAN/ELEV. - BUILDING U

OVERALL SITE - BUILDING USES

CHRISTOPHER RANCH

305 BLOOMFIELD AVENUE

GILROY, CA 95020

DATE

09/17/21

SCALE

AS NOTED

DRAWN

JN/YP

JOB

18055

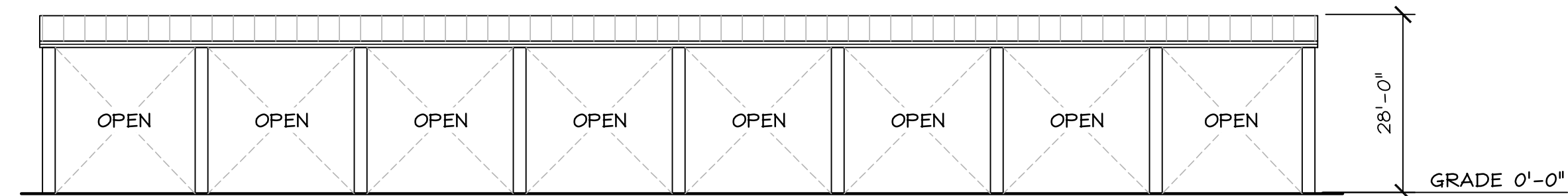
SHEET

A2.14

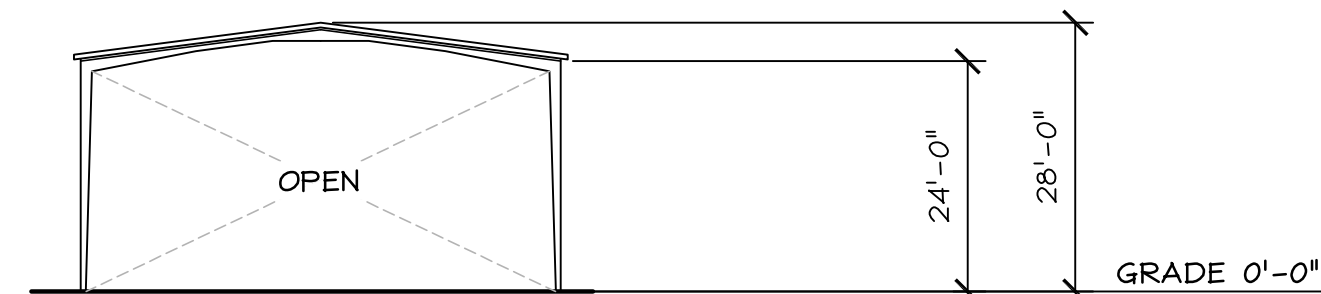
OF

SHEETS

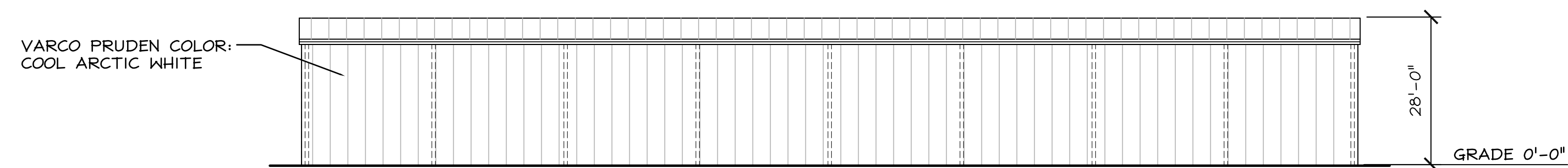
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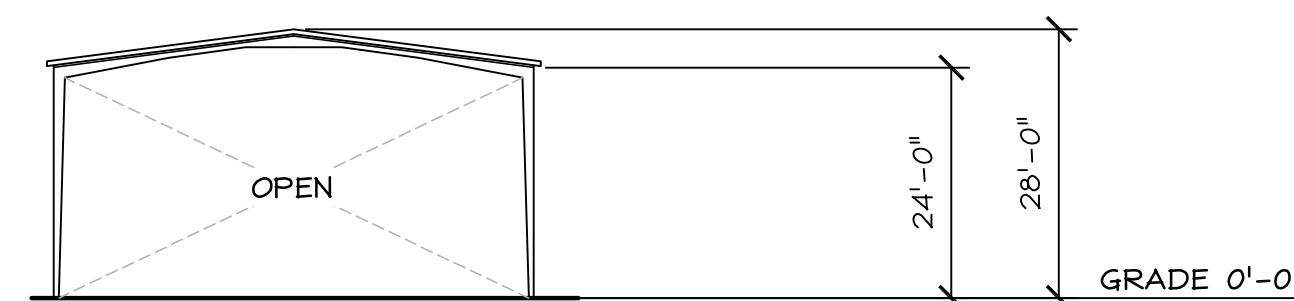
A **ELEVATION - NORTH**
SCALE: 1" = 20'-0"



B ELEVATION - EAST
SCALE: 1" = 20'-0"



C ELEVATION - SOUTH
SCALE: 1" = 20'-0"



D ELEVATION - WEST
SCALE: 1" = 20'-0"

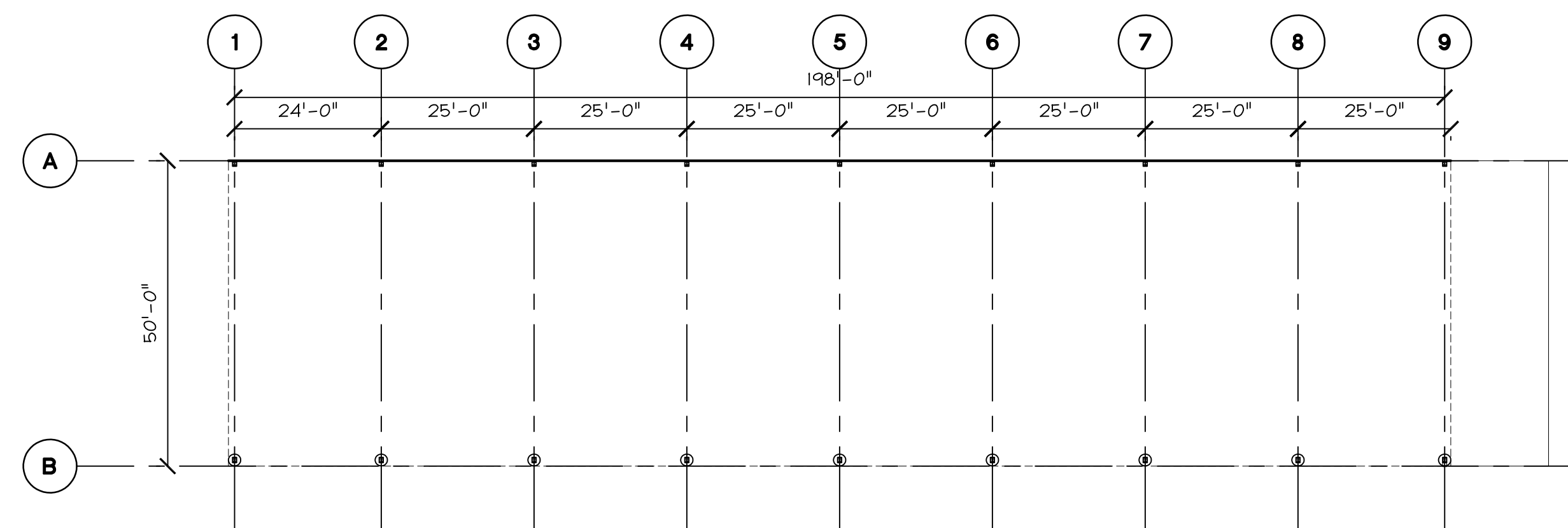
SCOPE OF DEMOLITION

NO DEMO WORK PROPOSED

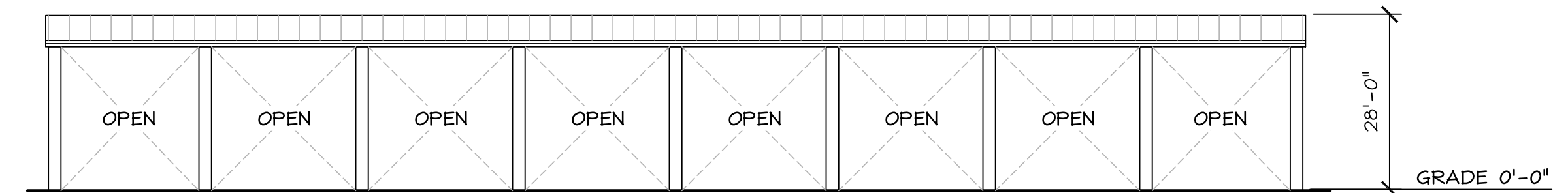
BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
(V)	U	10,000	1/300	33.33	2	36"

ORIGINAL PERMIT

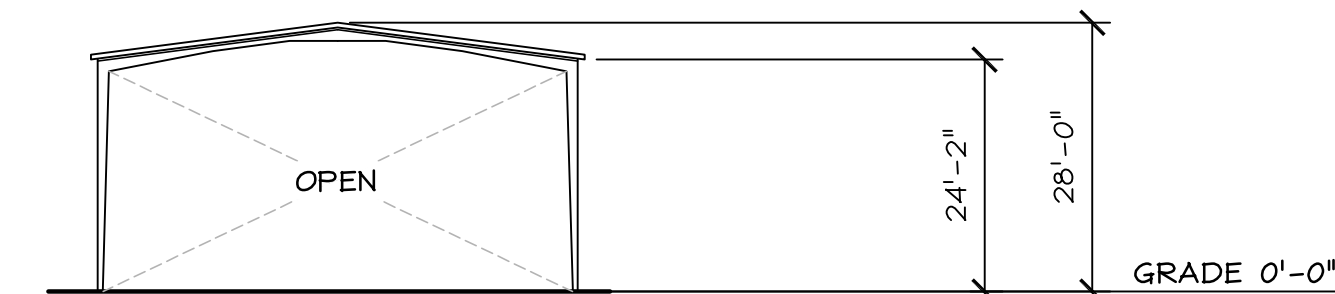
BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
⑤	U	10,000	1/300	33.33	2	36"



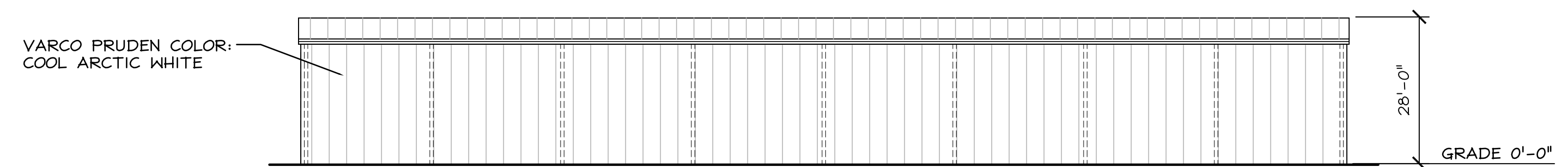
1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING V
SCALE: 1" = 20'-0"



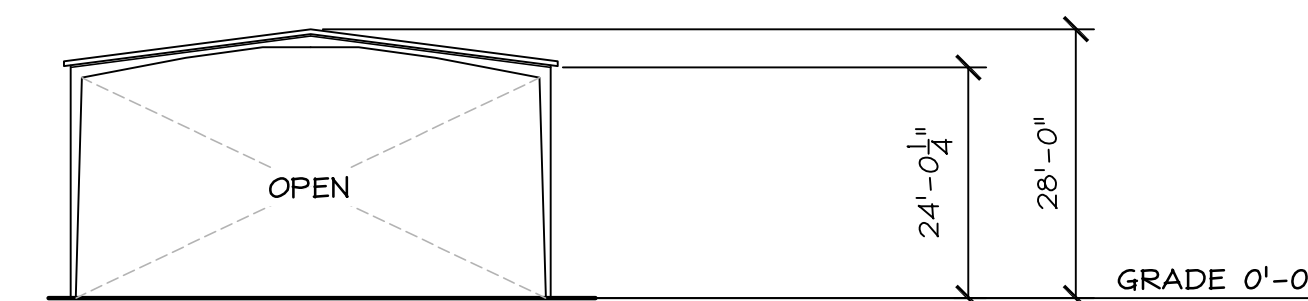
A **ELEVATION - NORTH**
SCALE: 1" = 20'-0"



B ELEVATION - EAST
SCALE: 1" = 20'-0"



C ELEVATION - SOUTH
SCALE: 1" = 20'-0"



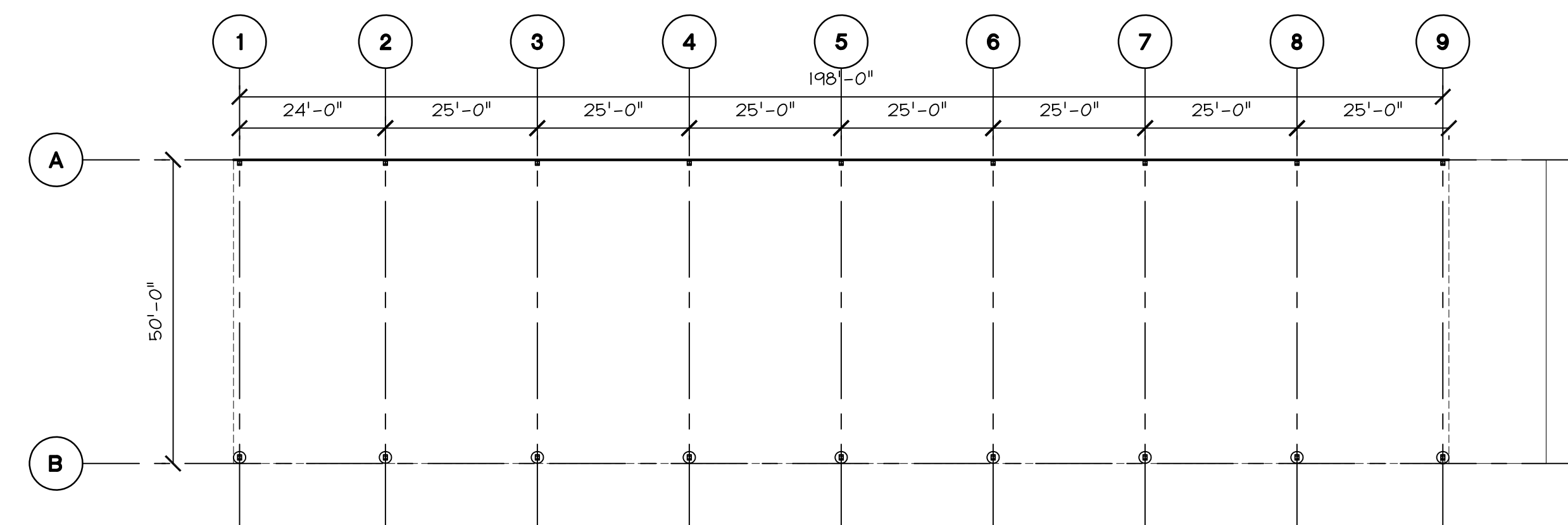
D ELEVATION - WEST
SCALE: 1" = 20'-0"

SCOPE OF WORK

INSTALL NEW FIRE SPRINKLERS

PROPOSED

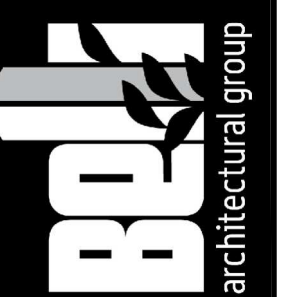
BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
⑤	U	10,000	1/300	33.33	2	36"



2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING V (HEATED GARLIC STORAGE)
SCALE: 1" = 20'-0"

[illegible]

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BELLIA.G.COM



EXISTING & PROPOSED FLOOR PLAN/ELEVATIONS - BUILDING V

OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE	09/17/21
SCALE	AS NOTED
DRAWN	JN/YP
JOB	18055
SHEET	

A2.15

OF SHEETS

PROPOSED

BUILDING W

28'-0"

GRADE 0'-0"

PROPOSED ELEVATION - NORTH
SCALE: 1" = 20'-0"

24'-0"

28'-0"

14'-0"

GRADE 0'-0"

B PROPOSED ELEVATION - EAST
SCALE: 1" = 20'-0"

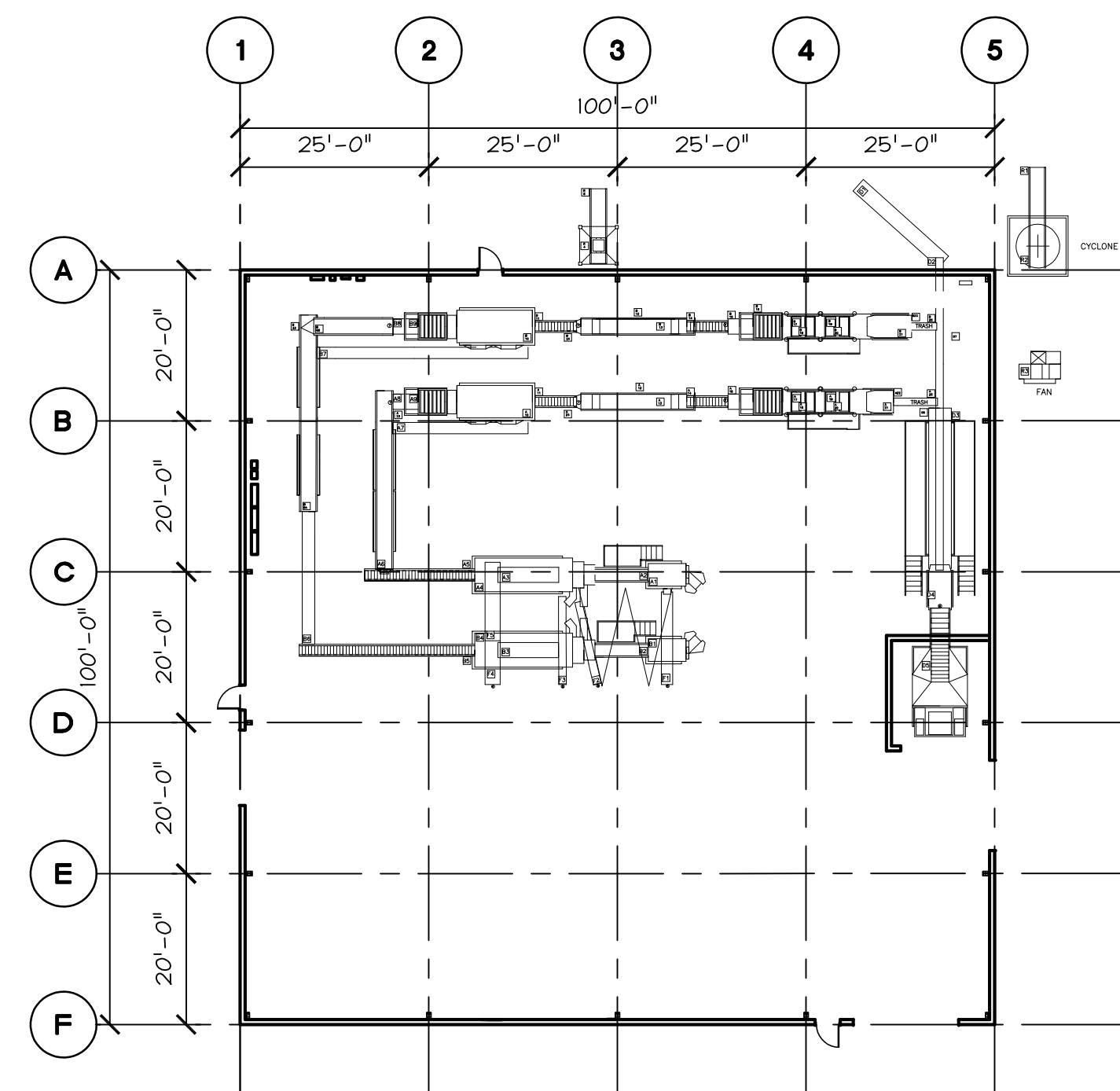
28'-0"

14'-0"

GRADE 0'-0"

PROPOSED ELEVATION - SOUTH
SCALE: 1" = 20'-0"

D PROPOSED ELEVATION - WEST
SCALE: 1" = 20'-0"

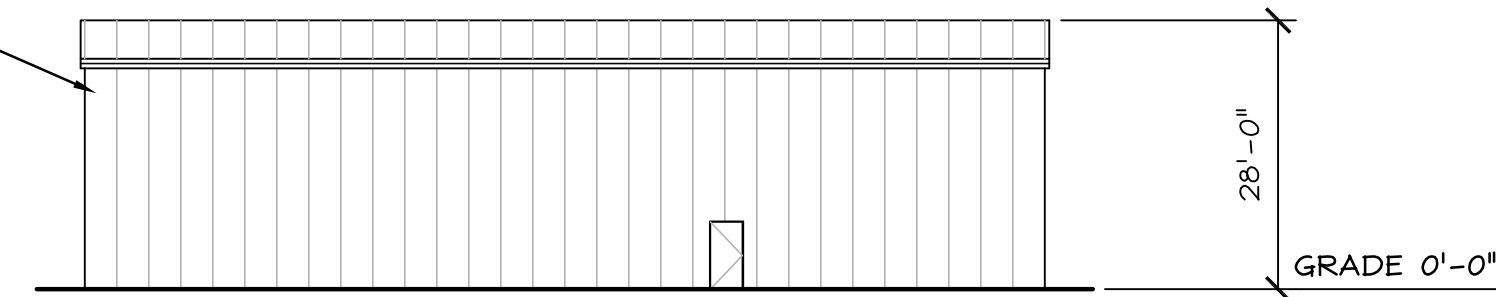


1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING W
SCALE: 1" = 20'-0"

BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
⑦	U	10,000	1/300	33.3	2	36"

BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
(W)	F-1	10,000	1/300	33.3	2	36"

NO DEMO WORK PROPOSED



PROPOSED ELEVATION - NORTH
SCALE: 1" = 20'-0"

24'-0"

28'-0"

14'-0"

GRADE 0'-0"

B PROPOSED ELEVATION - EAST
SCALE: 1" = 20'-0"

28'-0"

14'-0"

14'-0"

GRADE 0'-0"

PROPOSED ELEVATION - SOUTH
SCALE: 1" = 20'-0"

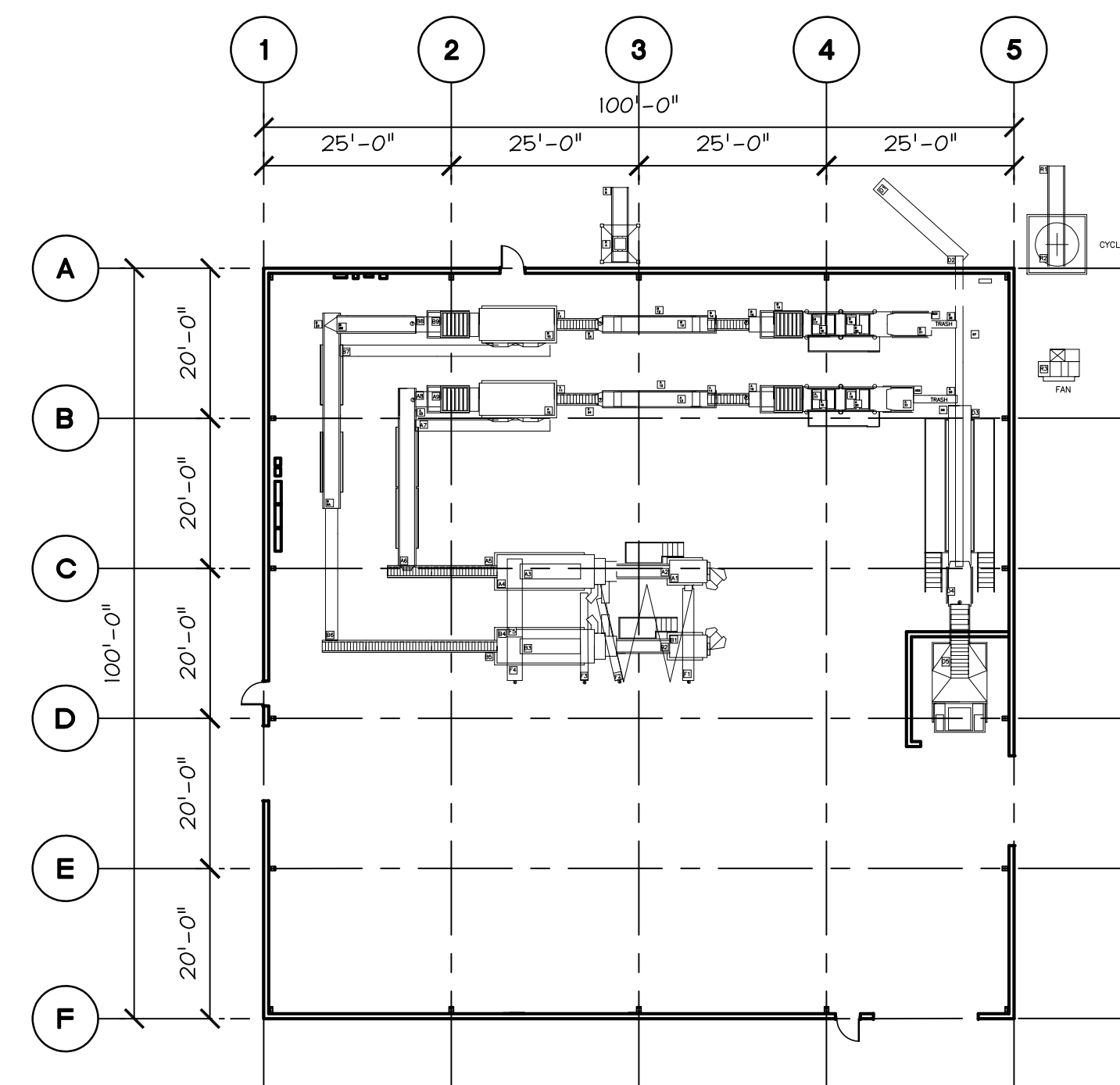
14'-0"

24'-0"

28'-0"

GRADE 0'-0"

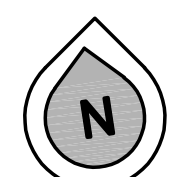
D PROPOSED ELEVATION - WEST
SCALE: 1" = 20'-0"



2 **PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING W (GARLIC CRACKING + SORTING)**
SCALE: 1" = 20'-0"

BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
W	F-1	10,000	1/300	33.3	2	36"

PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR
PROPOSED F-1 OCCUPANCY



PROJECT
NORTH

[illegible]

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BELLIA.G.COM



EXISTING & PROPOSED FLOOR PLAN/ELEV. - BUILDING W

OVERALL SITE - BUILDING USES

CHRISTOPHER RANCH

305 BLOOMFIELD AVENUE
GILROY, CA 95020

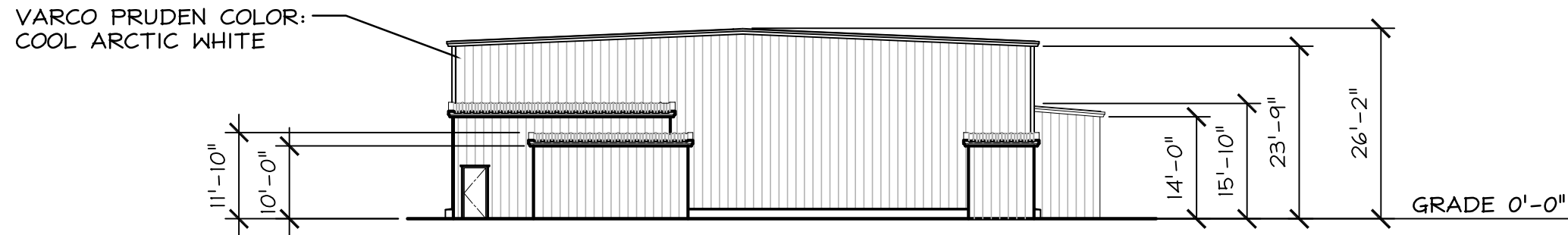
DATE	09/17/21
SCALE	AS NOTED
DRAWN	JN/YP
JOB	18055
SHEET	

A2.16

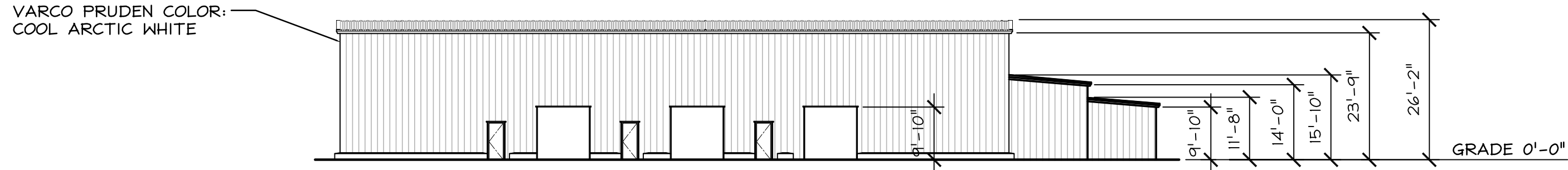
OF SHEETS

EXISTING BUILDING X

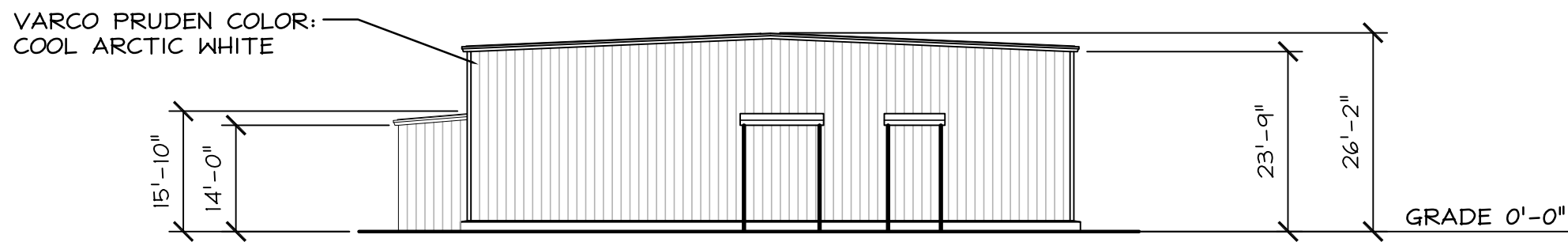
A ELEVATION - NORTH
SCALE: 1" = 20'-0"



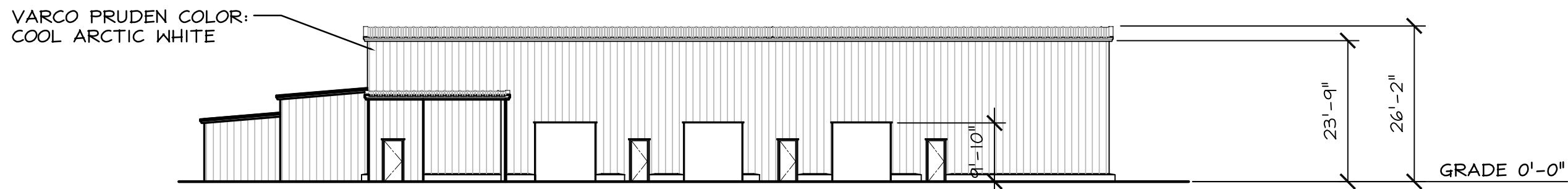
B ELEVATION - EAST
SCALE: 1" = 20'-0"



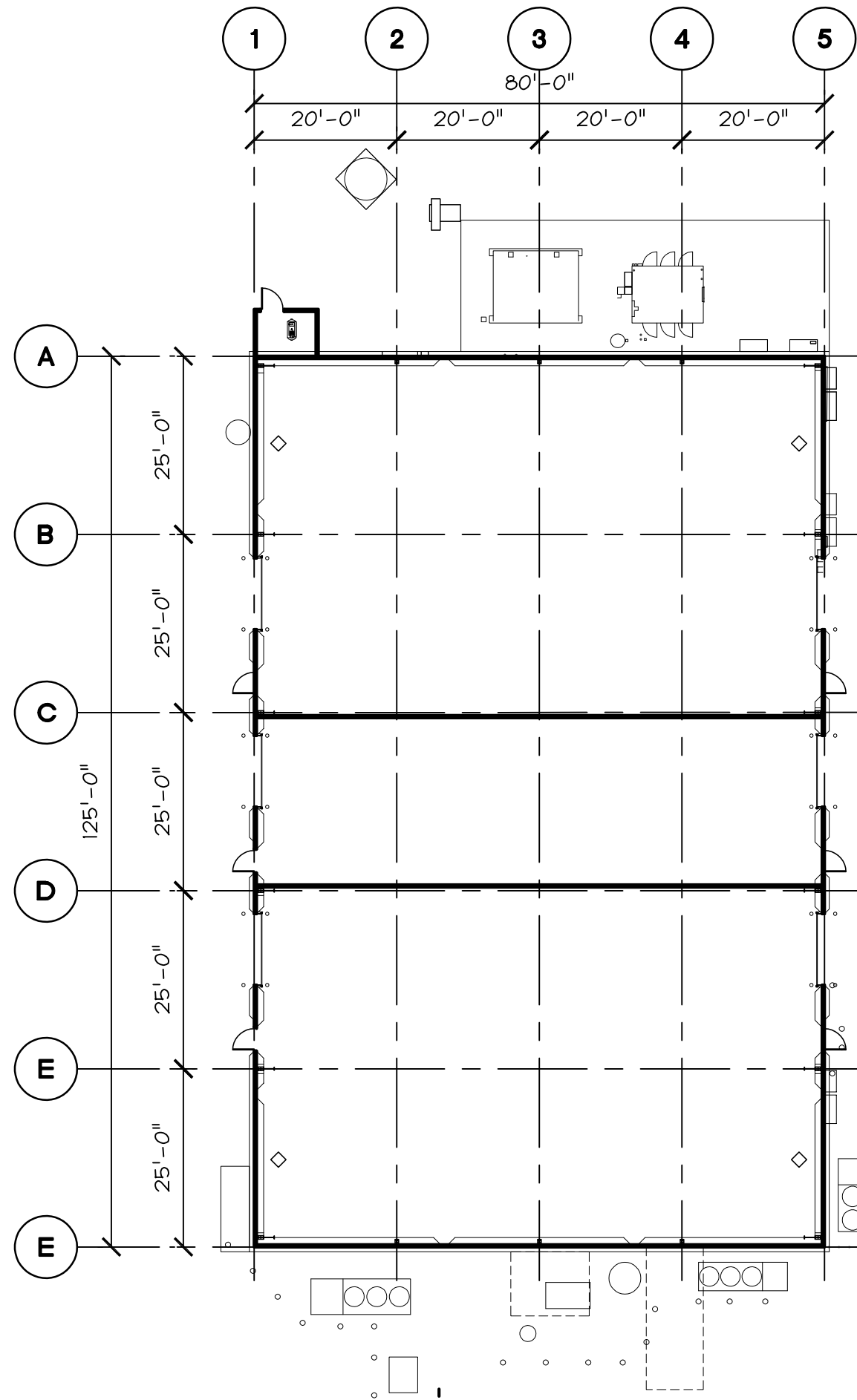
C ELEVATION - SOUTH
SCALE: 1" = 20'-0"



D ELEVATION - WEST
SCALE: 1" = 20'-0"



1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING X
SCALE: 1" = 20'-0"



ORIGINAL PERMIT

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
(X)	U	10,000	1/300	33.3	2	36"

EXISTING

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
(X)	S-1	10,000	1/500	20	2	36"

SCOPE OF WORK

EXISTING PERMITTED BUILDING. NO WORK PROPOSED



EXISTING FLOOR PLANELEVATIONS - BUILDING X

OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE 09/17/21
SCALE AS NOTED
DRAWN JN/YP
JOB 18055
SHEET

A2.17

OF SHEETS

REVISIONS DATE BY DESCRIPTION

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BELLIAAG.COM

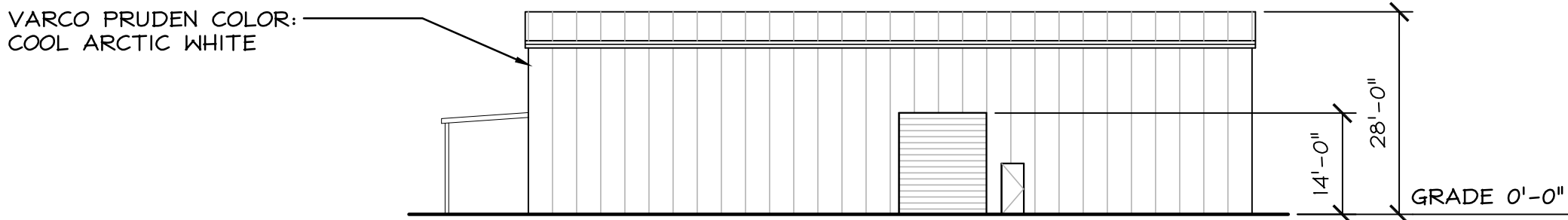


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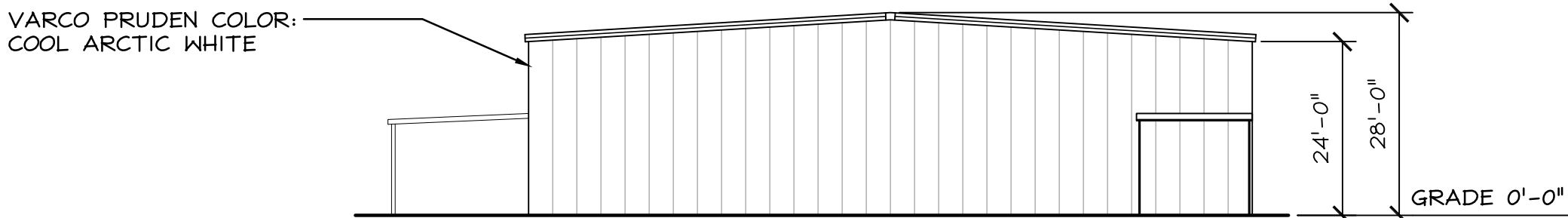
EXISTING

PROPOSED

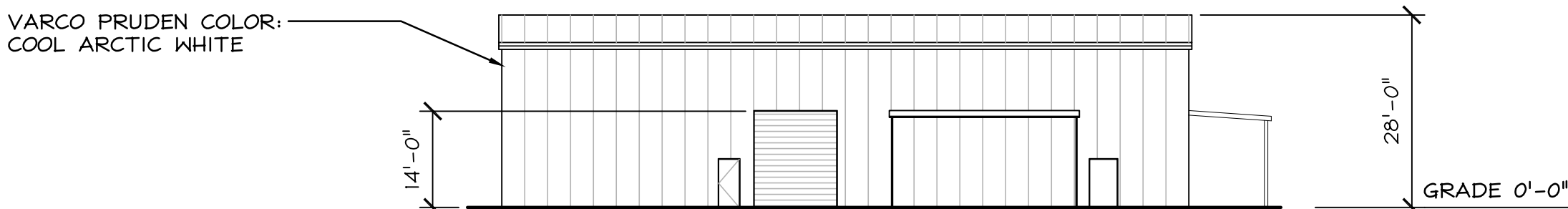
BUILDING Y



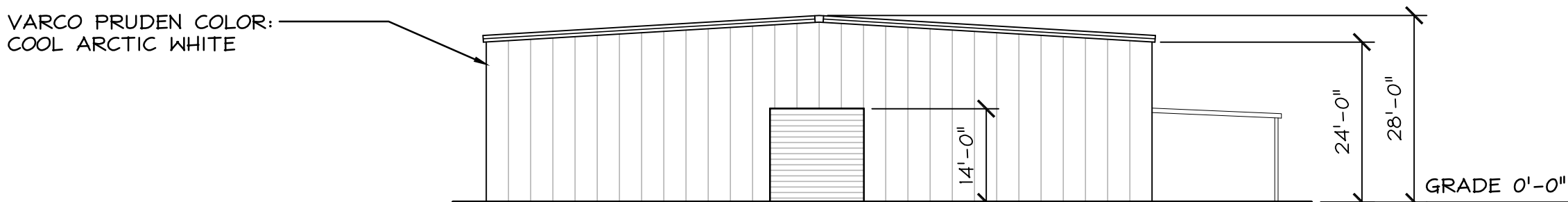
A EXISTING ELEVATION - NORTH
SCALE: 1" = 20'-0"



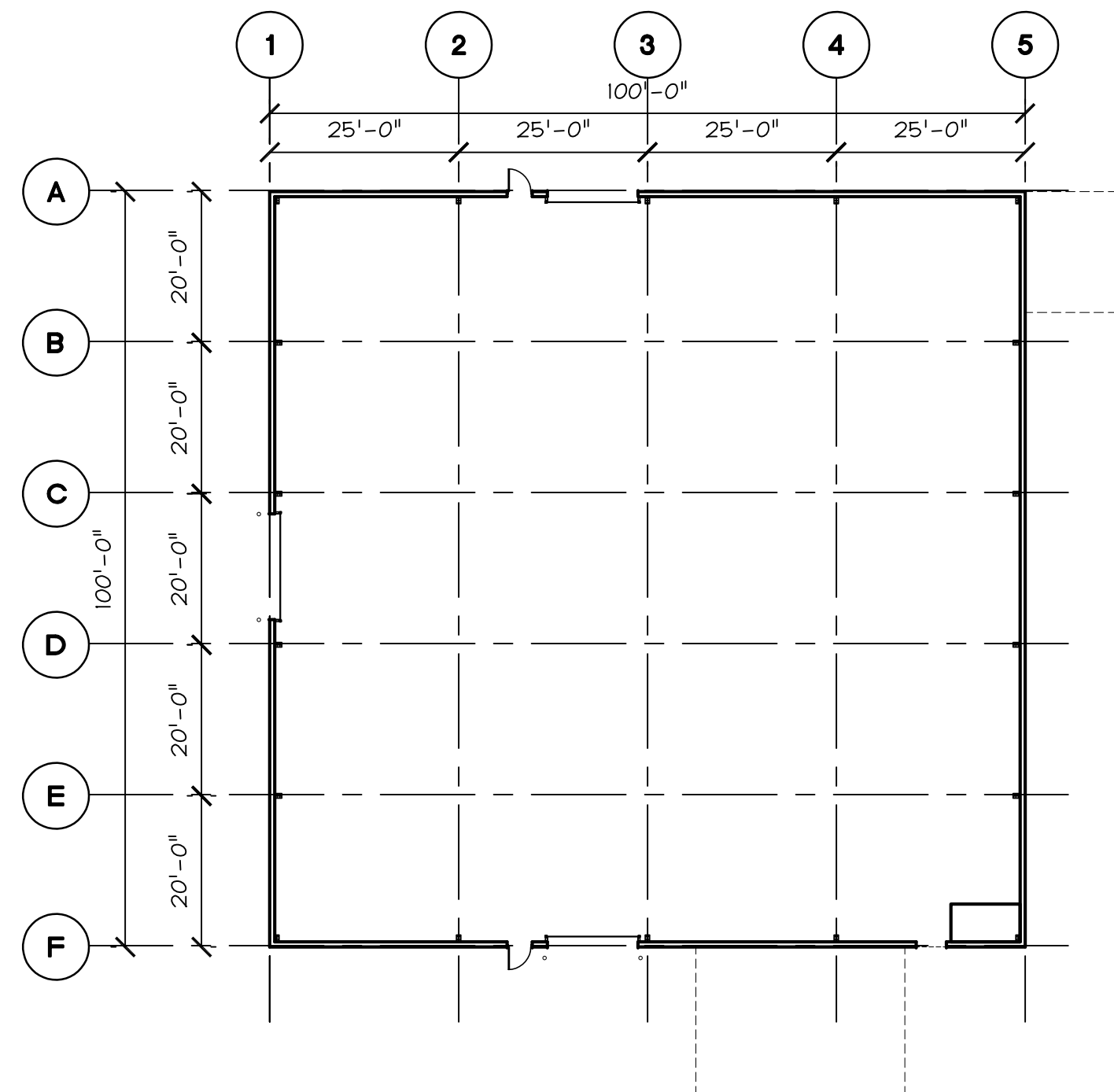
B EXISTING ELEVATION - EAST
SCALE: 1" = 20'-0"



C EXISTING ELEVATION - SOUTH
SCALE: 1" = 20'-0"



D EXISTING ELEVATION - WEST
SCALE: 1" = 20'-0"



1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING Y
SCALE: 1" = 20'-0"

ORIGINAL PERMIT

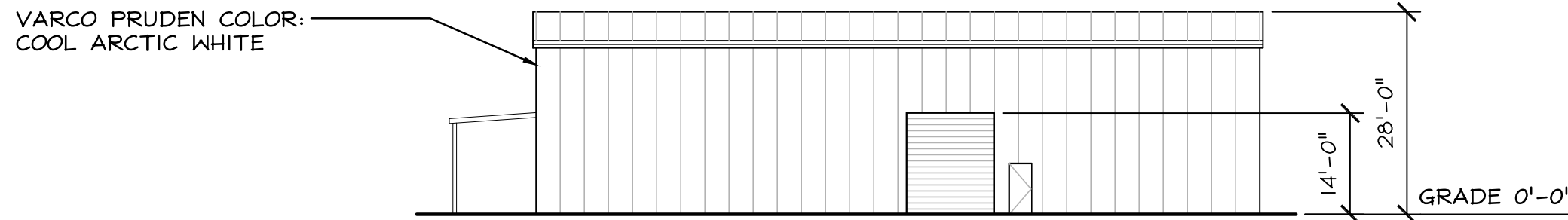
BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
Y	U	10,000	1/300	33.3	2	36"

EXISTING

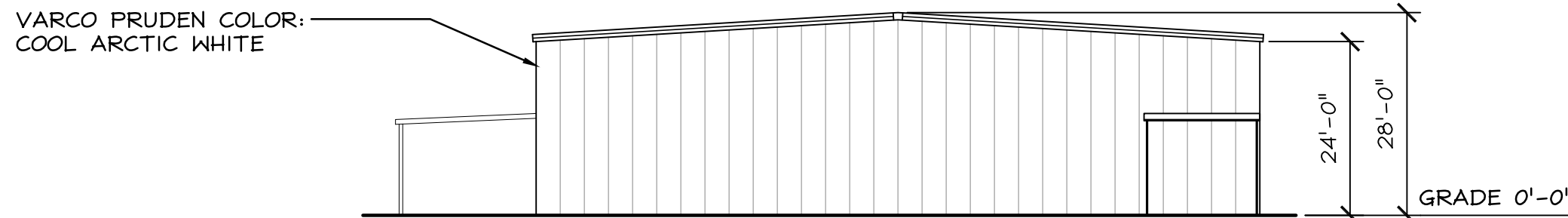
BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
Y	S-1	10,000	1/500	20	2	36"

SCOPE OF DEMOLITION

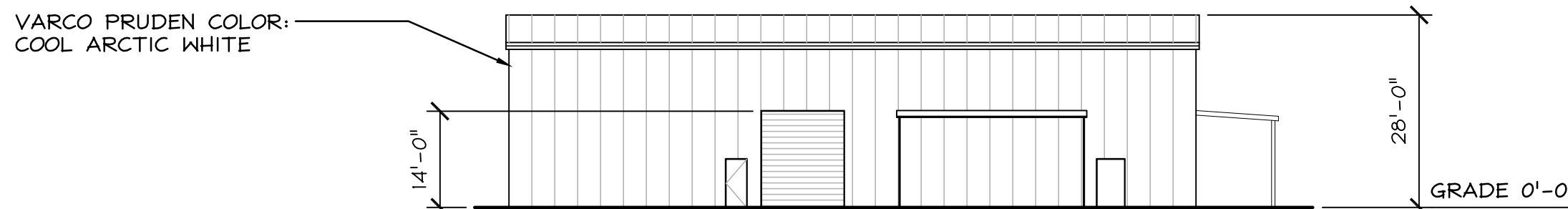
NO DEMO WORK PROPOSED



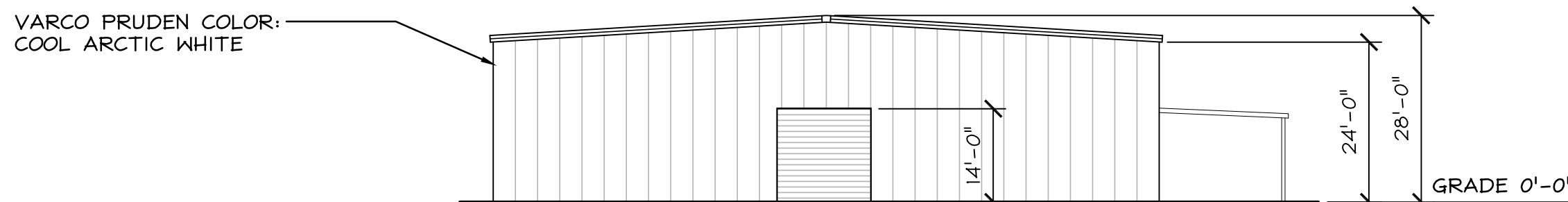
A PROPOSED ELEVATION - NORTH
SCALE: 1" = 20'-0"



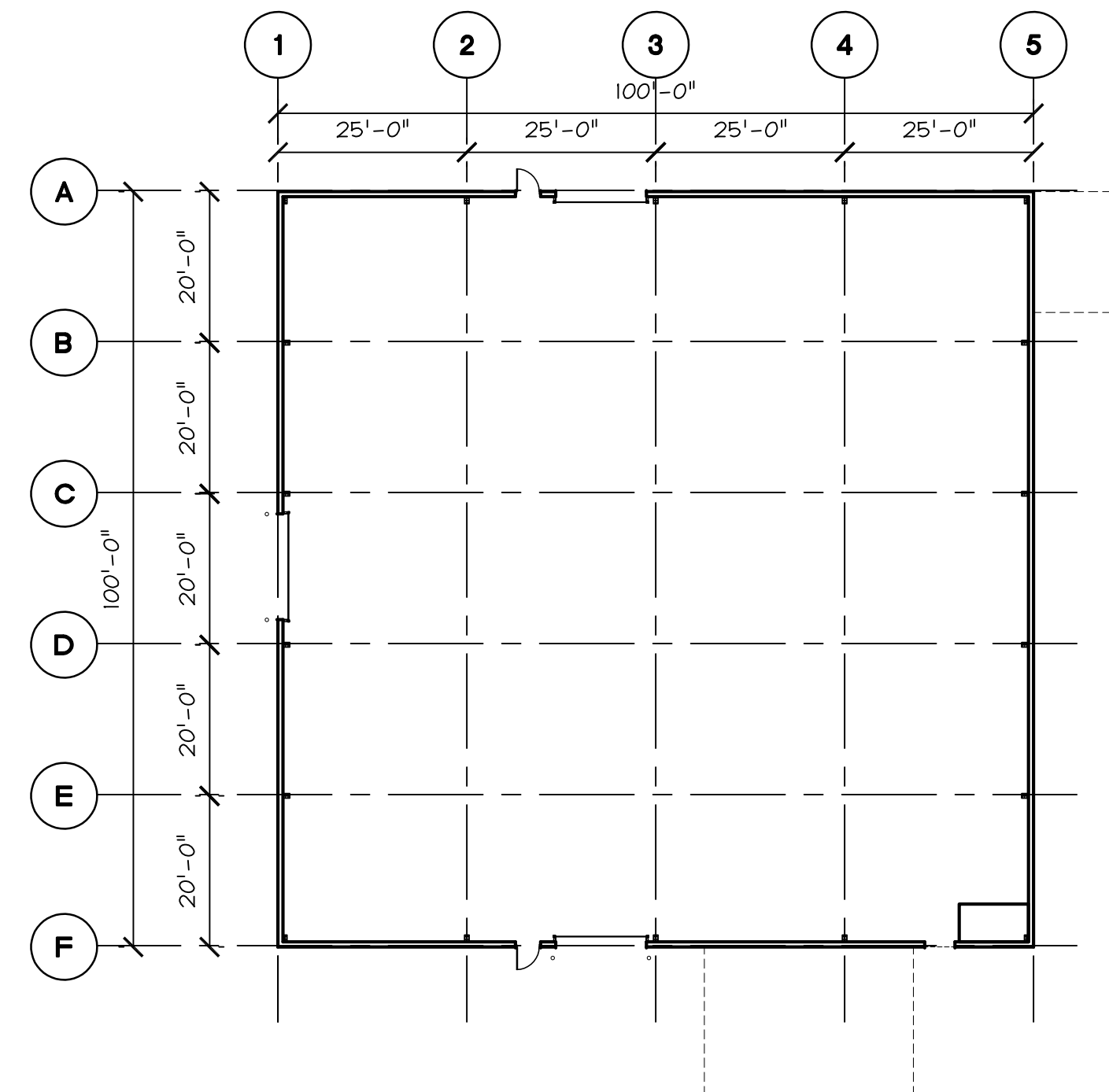
B PROPOSED ELEVATION - EAST
SCALE: 1" = 20'-0"



C PROPOSED ELEVATION - SOUTH
SCALE: 1" = 20'-0"



D PROPOSED ELEVATION - WEST
SCALE: 1" = 20'-0"



2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING Y (WOOD BOXES STORAGE)
SCALE: 1" = 20'-0"

PROPOSED

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
Y	S-1	10,000	1/500	20	2	36"

SCOPE OF WORK

PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR PROPOSED S-1 OCCUPANCY



PROJECT NORTH

REVISIONS DATE BY DESCRIPTION

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235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIA.GCOM



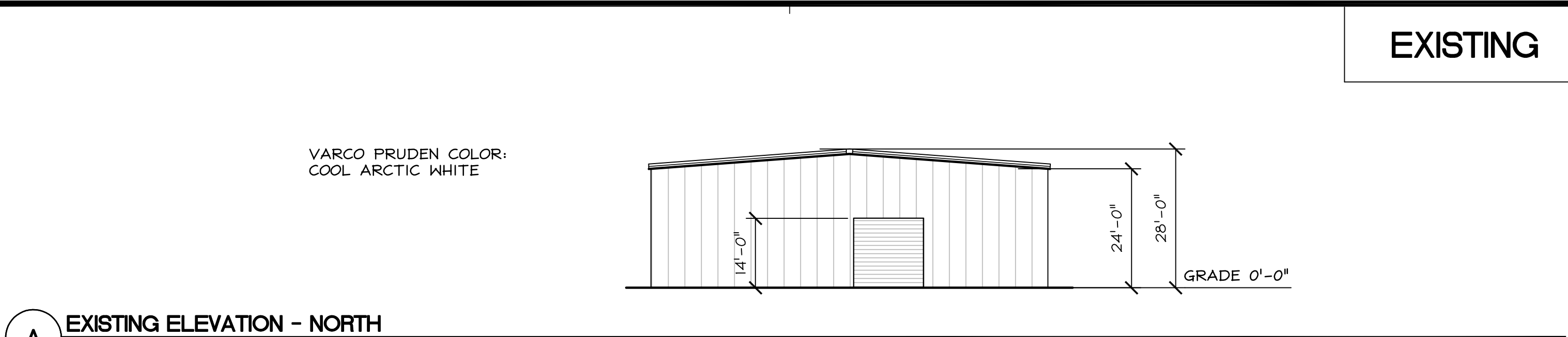
EXISTING & PROPOSED FLOOR PLANS - BUILDING Y

OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

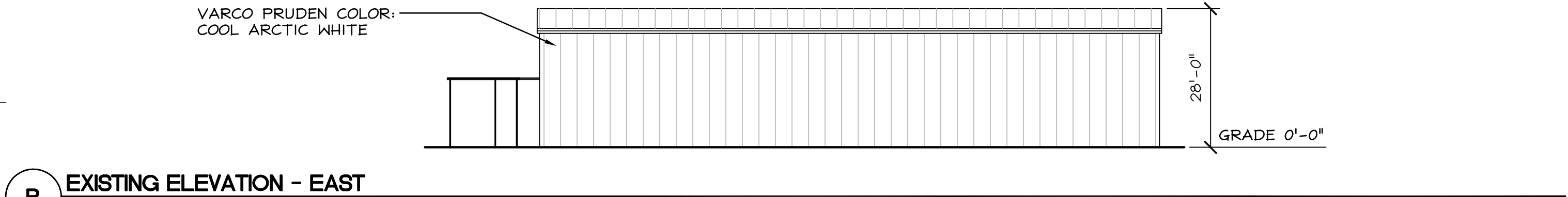
DATE 09/17/21
SCALE AS NOTED
DRAWN JN/YP
JOB 18055
SHEET

A2.18

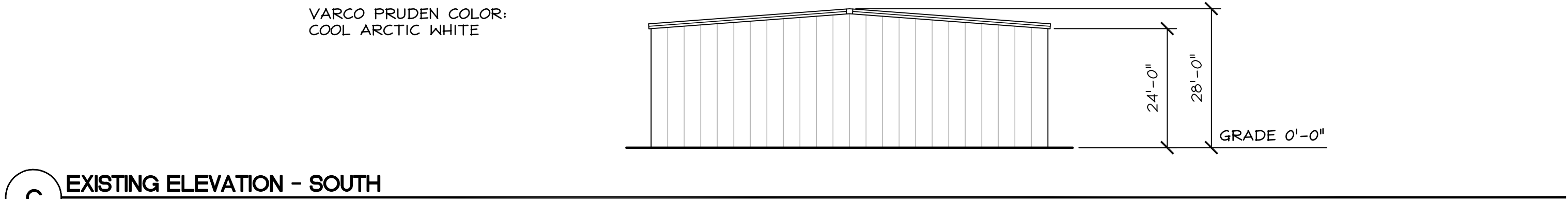
OF SHEETS



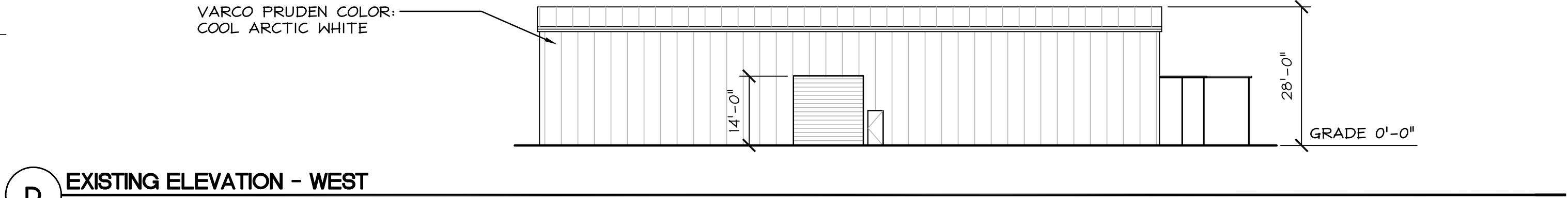
A EXISTING ELEVATION - NORTH
SCALE: 1" = 20'-0"



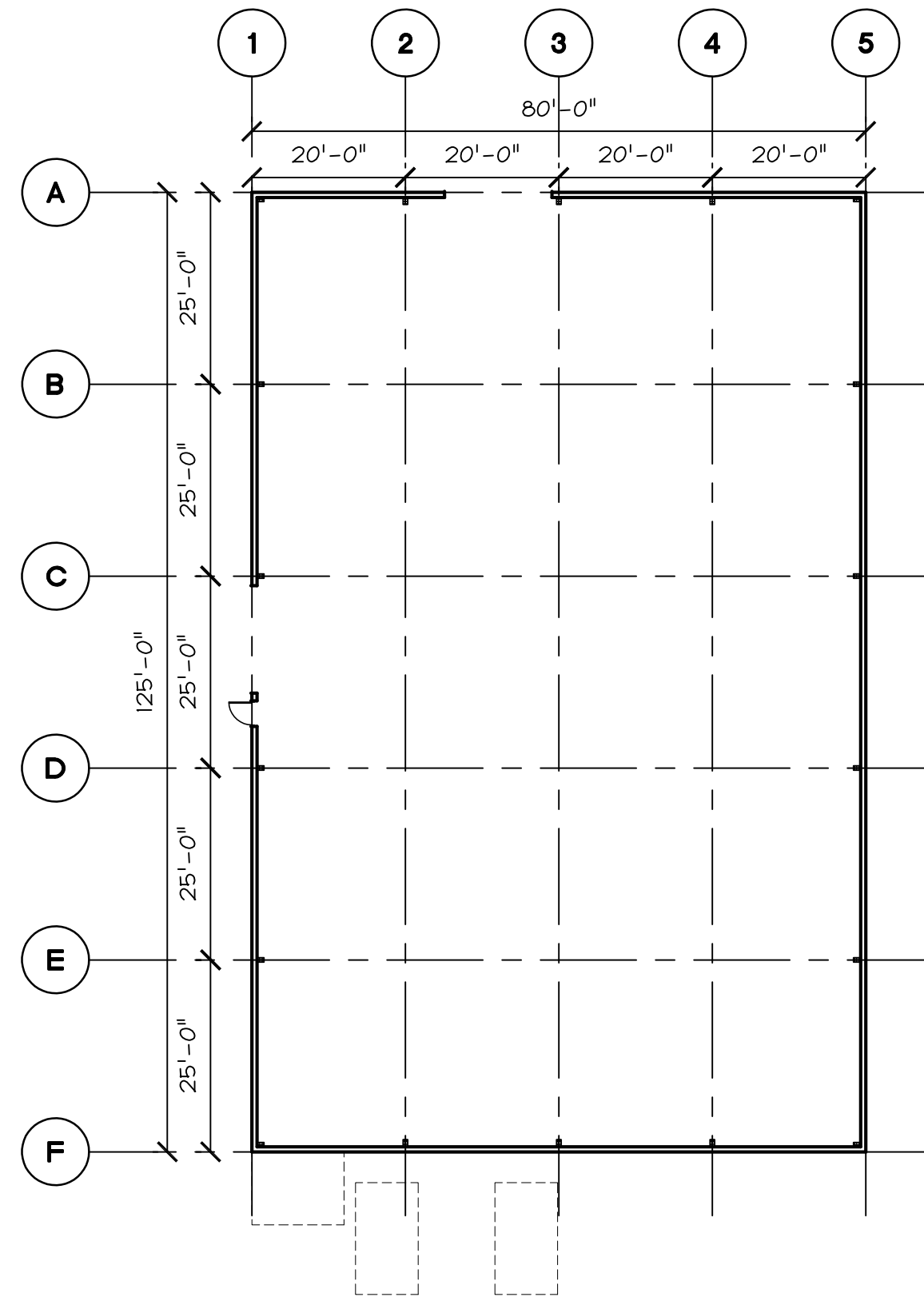
B EXISTING ELEVATION - EAST
SCALE: 1" = 20'-0"



C EXISTING ELEVATION - SOUTH
SCALE: 1" = 20'-0"



D EXISTING ELEVATION - WEST
SCALE: 1" = 20'-0"



1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING Z
SCALE: 1" = 20'-0"

ORIGINAL PERMIT

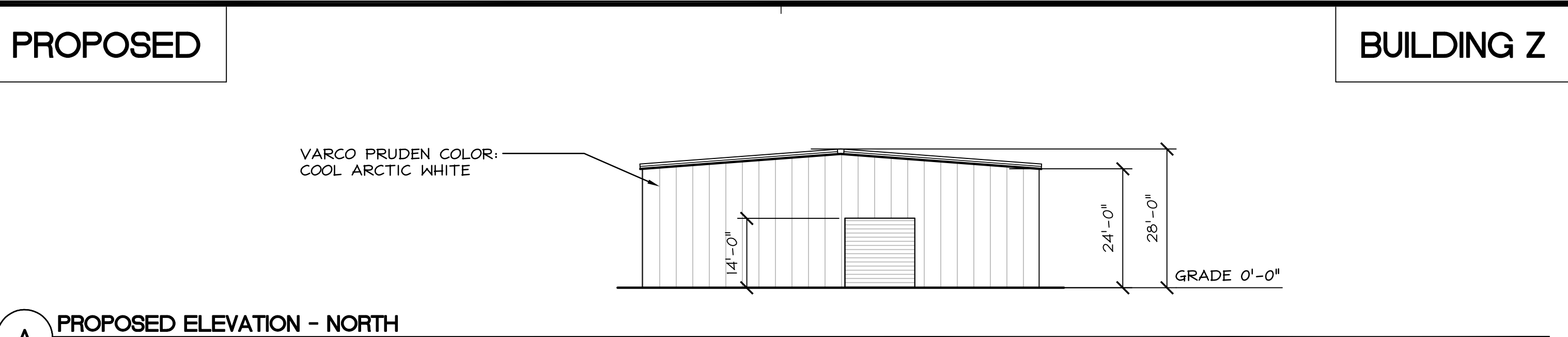
BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
②	U	10,000	1/300	33.3	2	36"

EXISTING

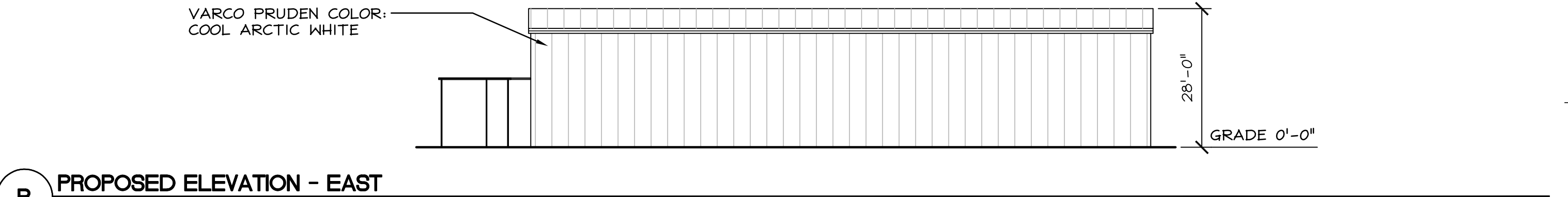
BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
②	S-1	10,000	1/500	20	2	36"

SCOPE OF DEMOLITION

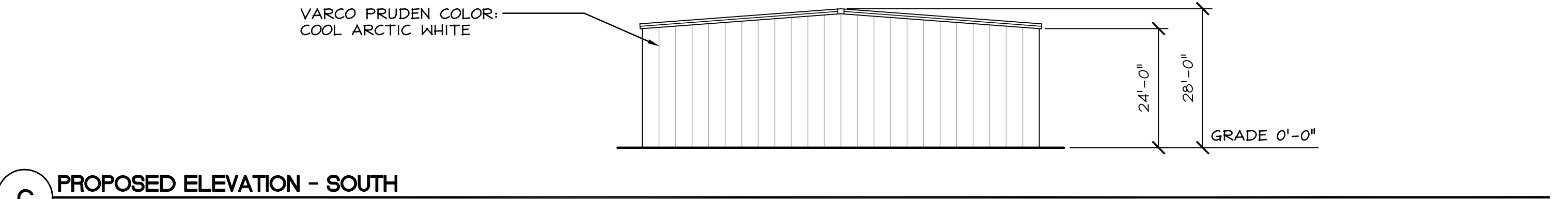
NO DEMO WORK PROPOSED



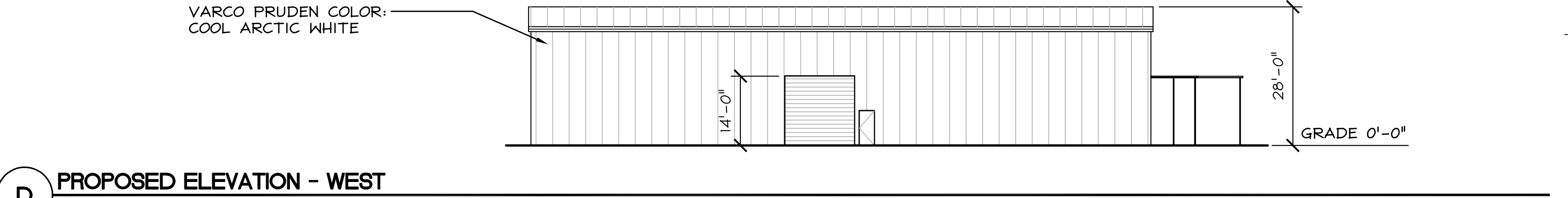
A PROPOSED ELEVATION - NORTH
SCALE: 1" = 20'-0"



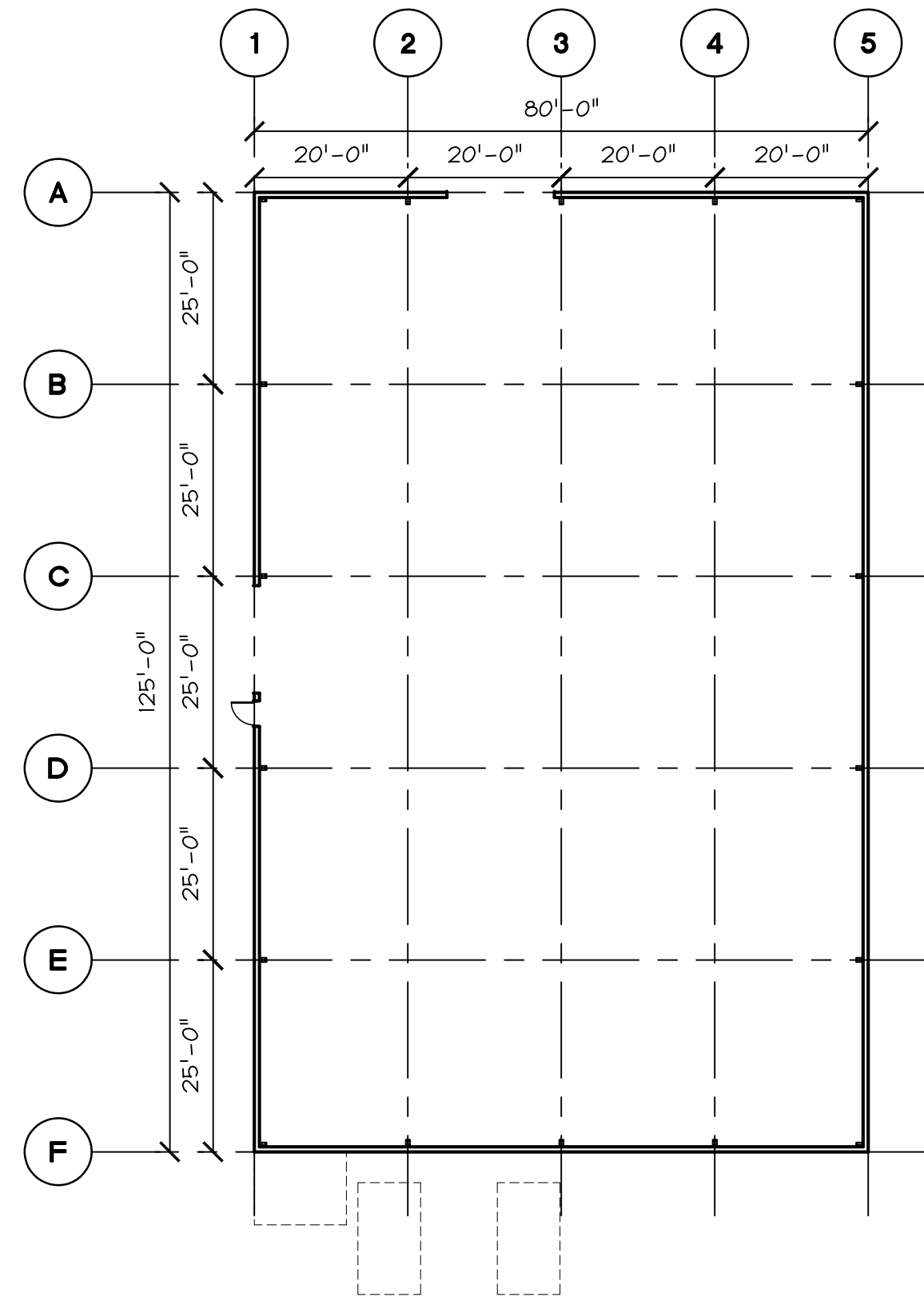
B PROPOSED ELEVATION - EAST
SCALE: 1" = 20'-0"



C PROPOSED ELEVATION - SOUTH
SCALE: 1" = 20'-0"



D PROPOSED ELEVATION - WEST
SCALE: 1" = 20'-0"



2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING Z (FINISHED PRODUCT STORAGE)
SCALE: 1" = 20'-0"

PROPOSED

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
②	S-1	10,000	1/500	20	2	36"

SCOPE OF WORK

PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR PROPOSED S-1 OCCUPANCY



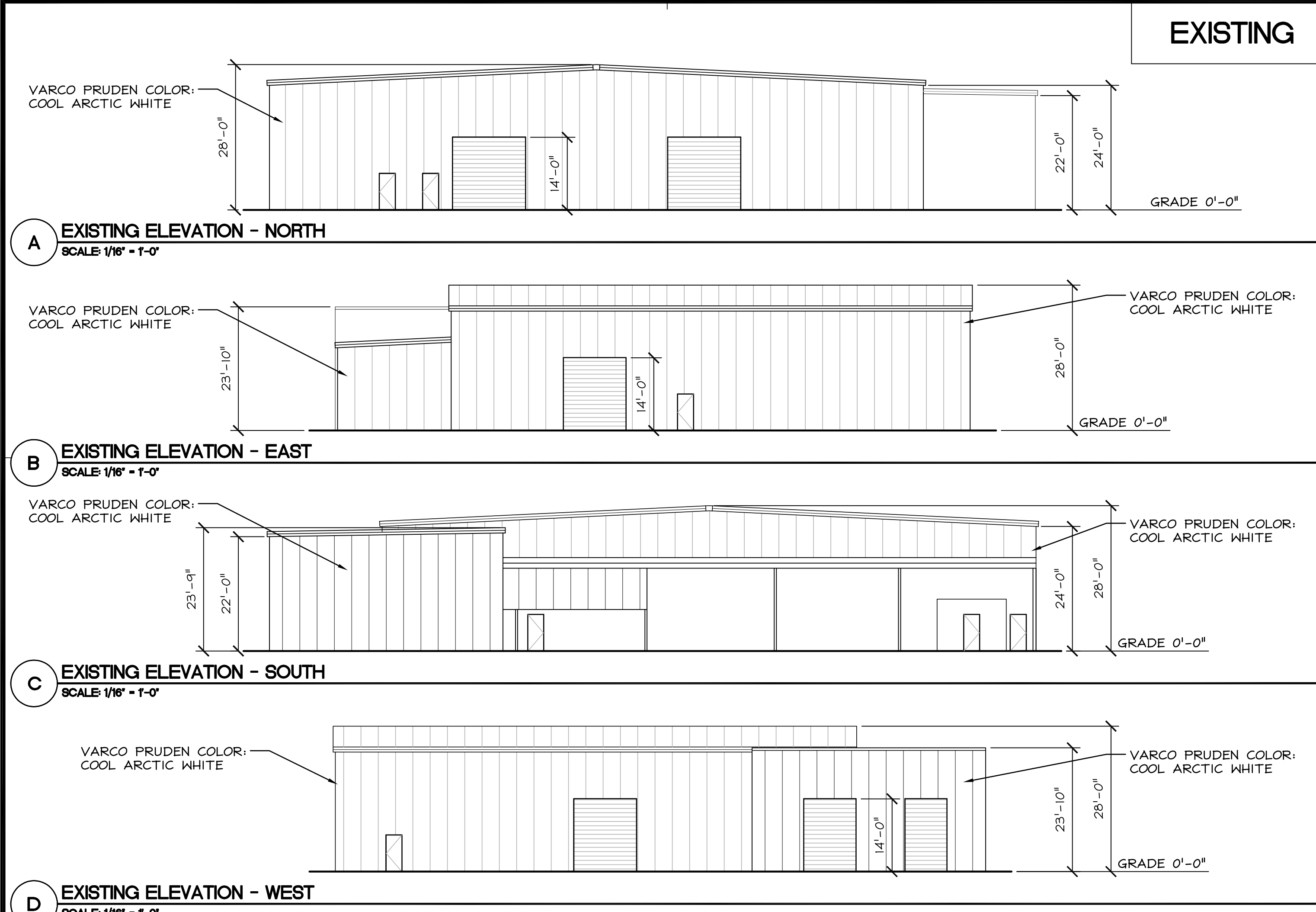
REVISIONS	DATE	BY	DESCRIPTION

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Belli architectural group

EXISTING & PROPOSED FLOOR PLANELE. - BUILDING Z
OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE 09/17/21
SCALE AS NOTED
DRAWN JN/YP
JOB 18055
SHEET
A2.19
OF SHEETS



ORIGINAL PERMIT

BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
AA	U	14,385	1/300	47.95	2	36"

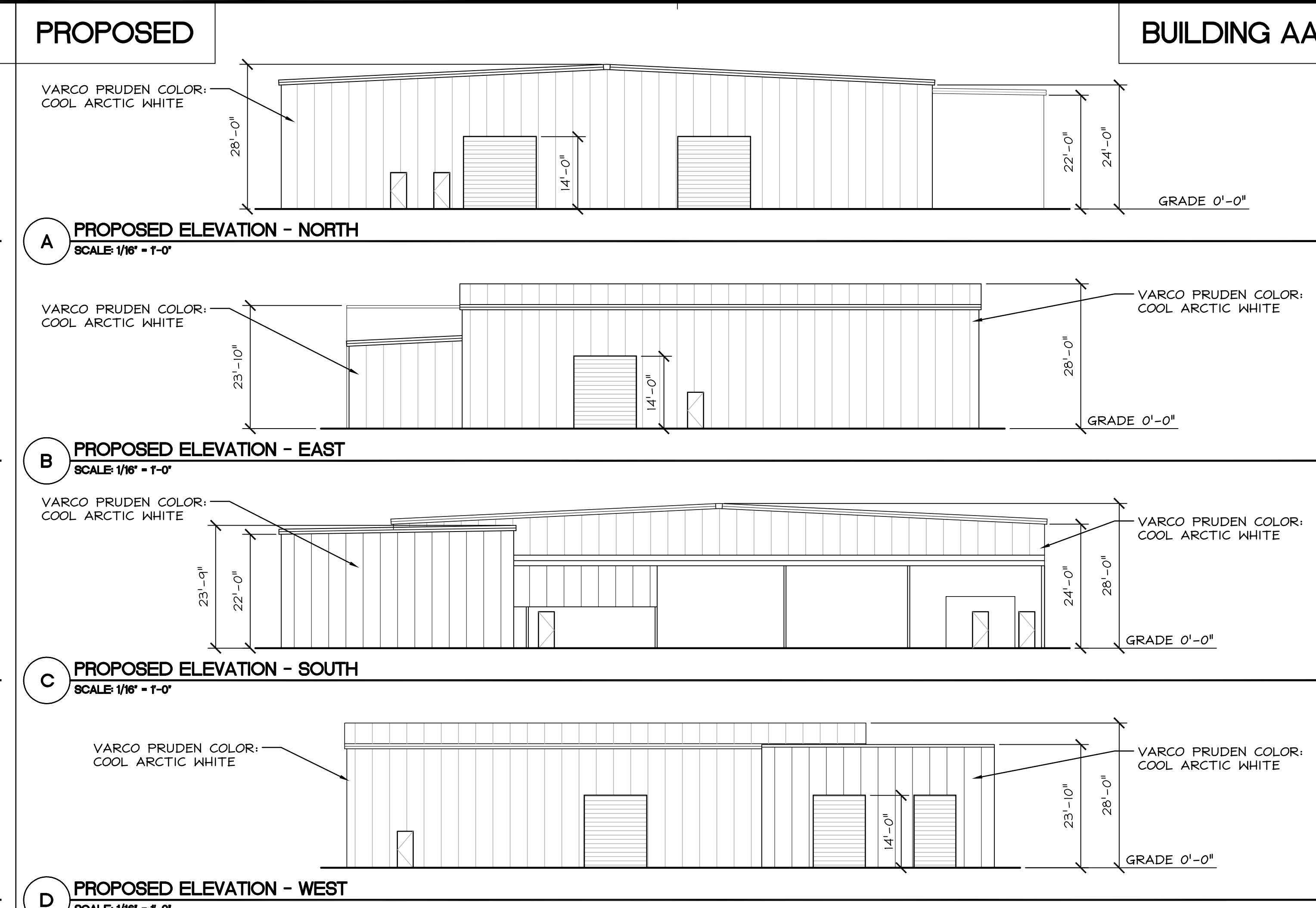
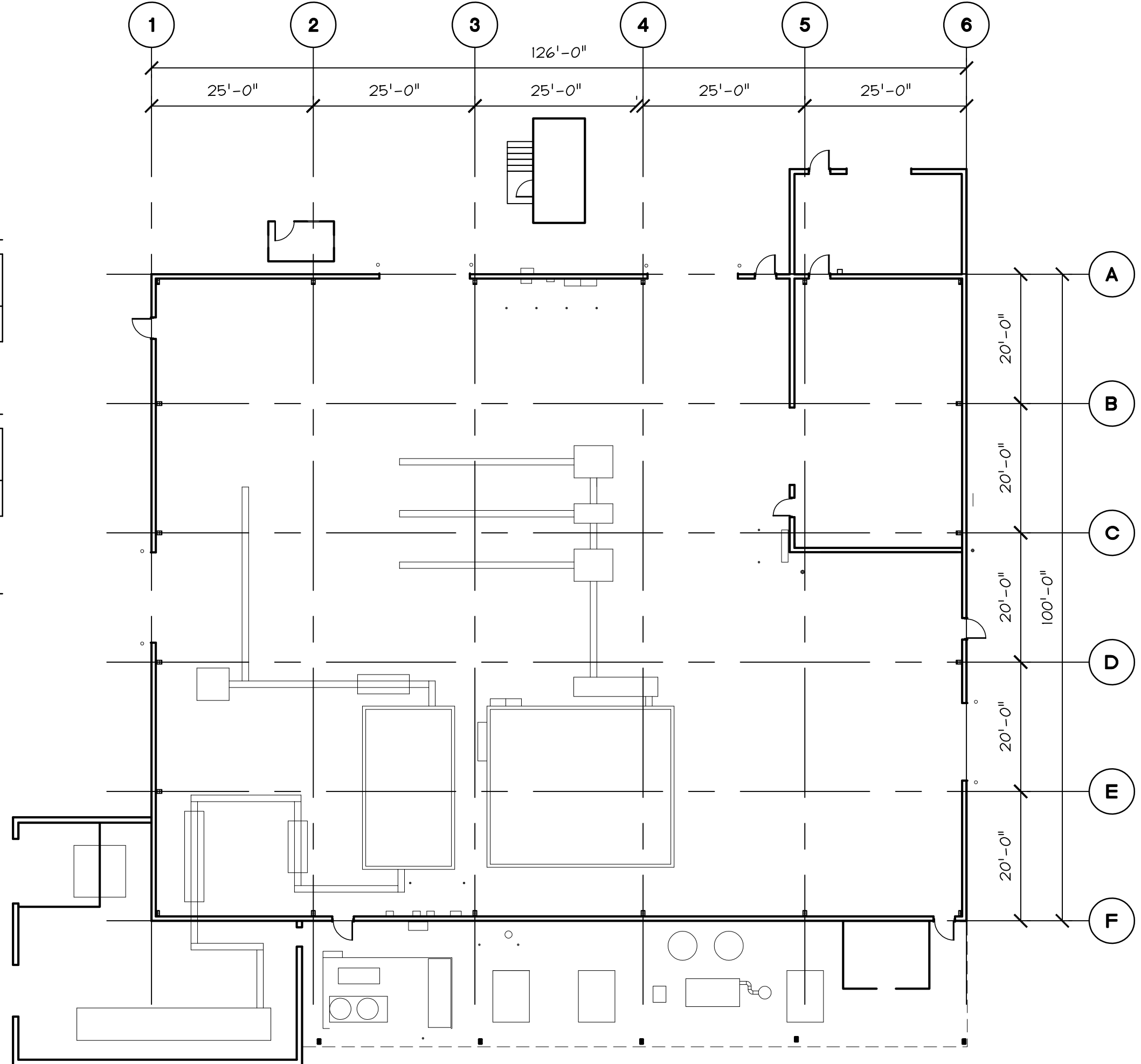
EXISTING

BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
AA	F-1	14,385	1/300	47.95	2	36"

SCOPE OF DEMOLITION

NO DEMO WORK PROPOSED

1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING AA
SCALE: 1/16" = 1'-0"



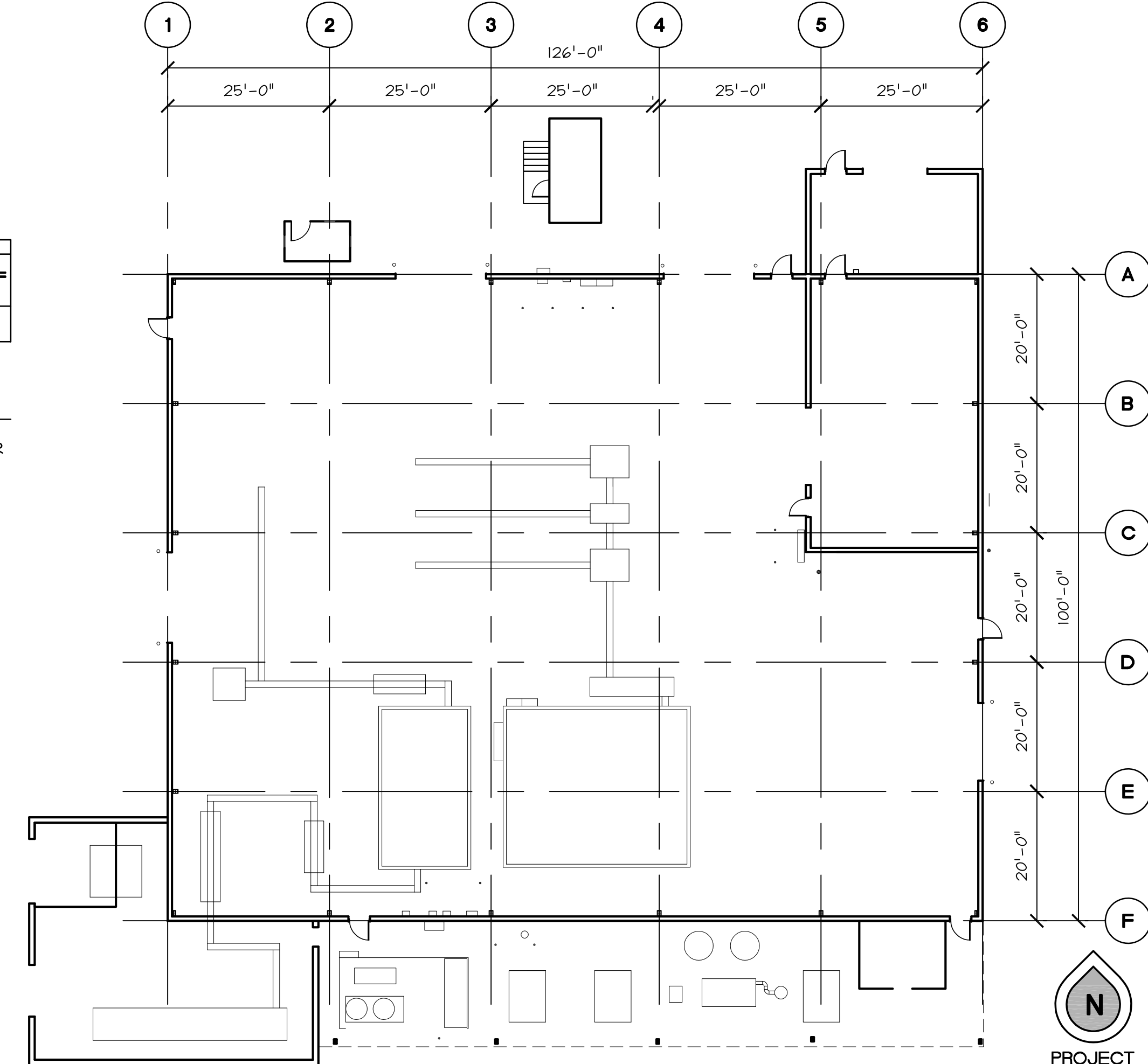
PROPOSED

BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
AA	F-1	14,385	1/300	47.95	2	36"

SCOPE OF WORK

PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR PROPOSED F-1 OCCUPANCY

2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING AA (GARLIC PEELING + PACKING)
SCALE: 1/16" = 1'-0"



BUILDING AA

REVISIONS	DATE	BY	DESCRIPTION

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BELLIAQ.COM

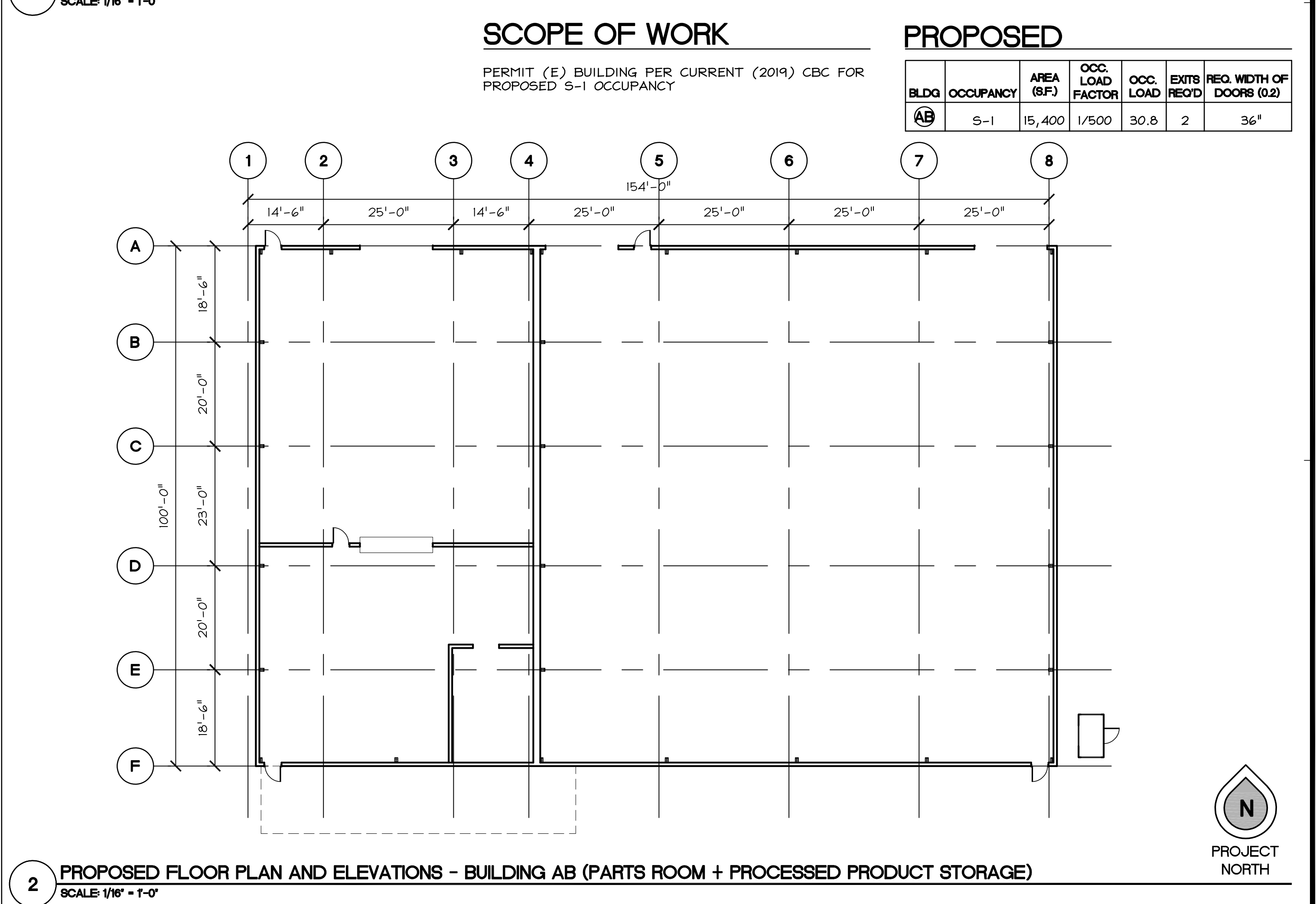
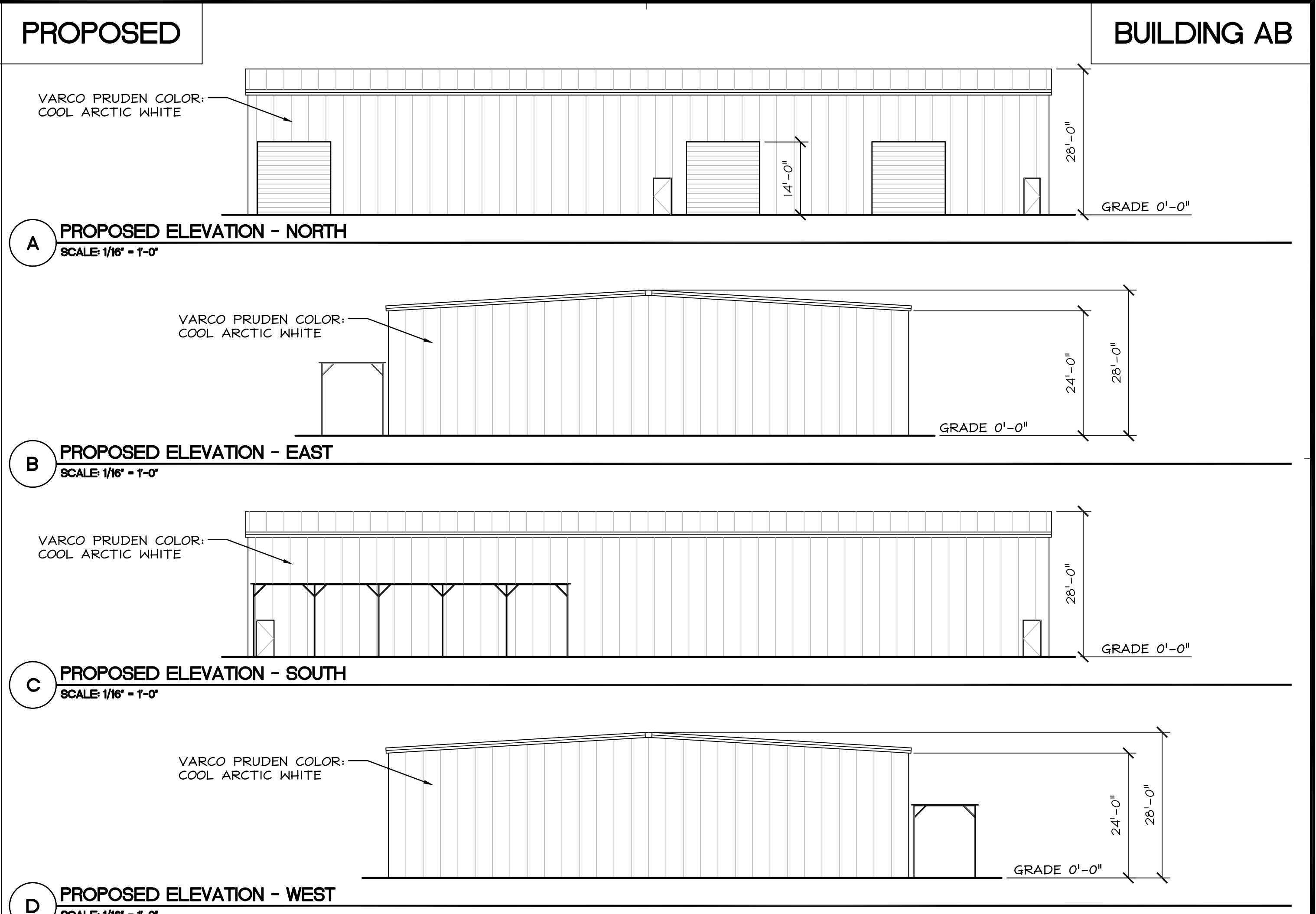
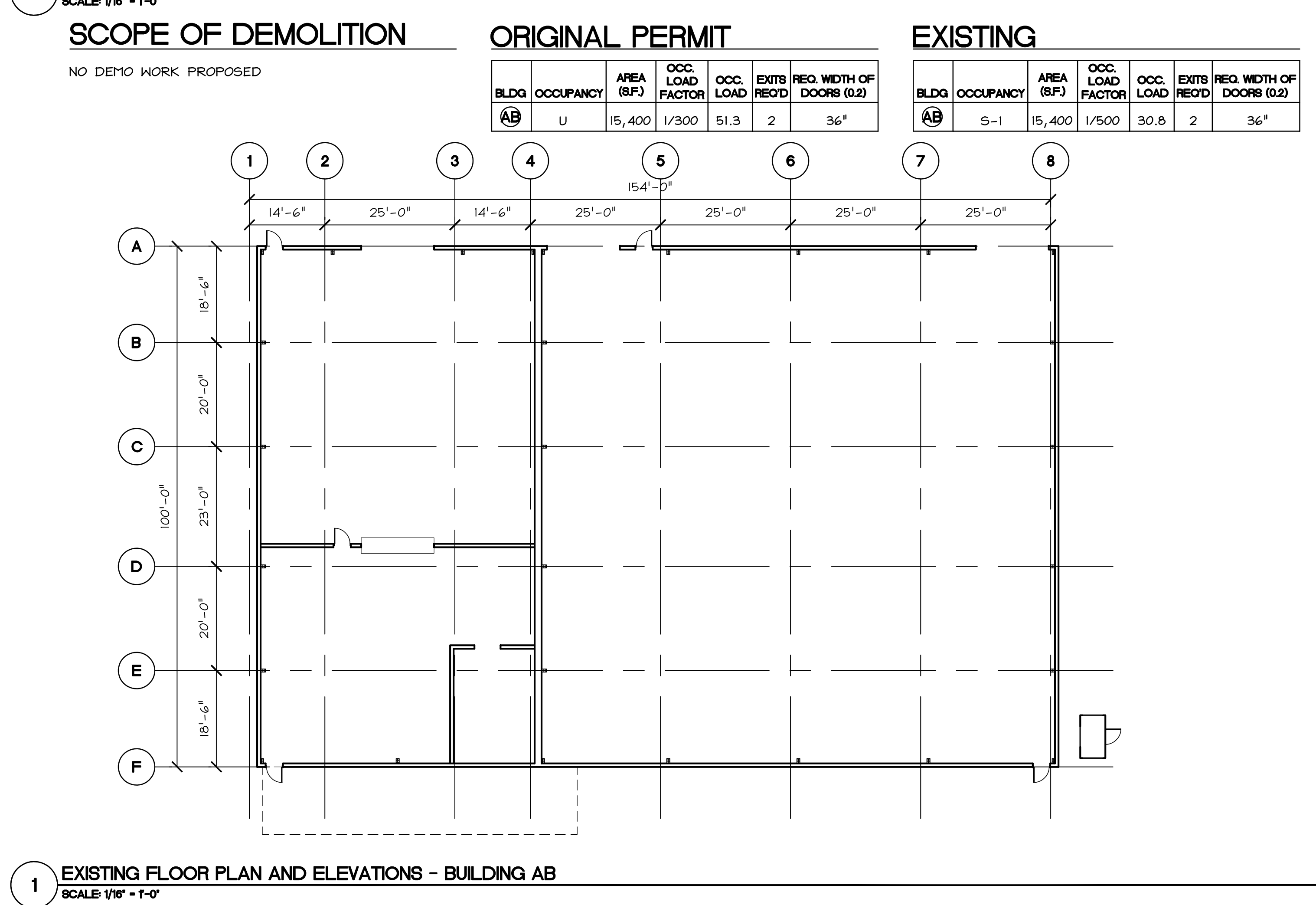
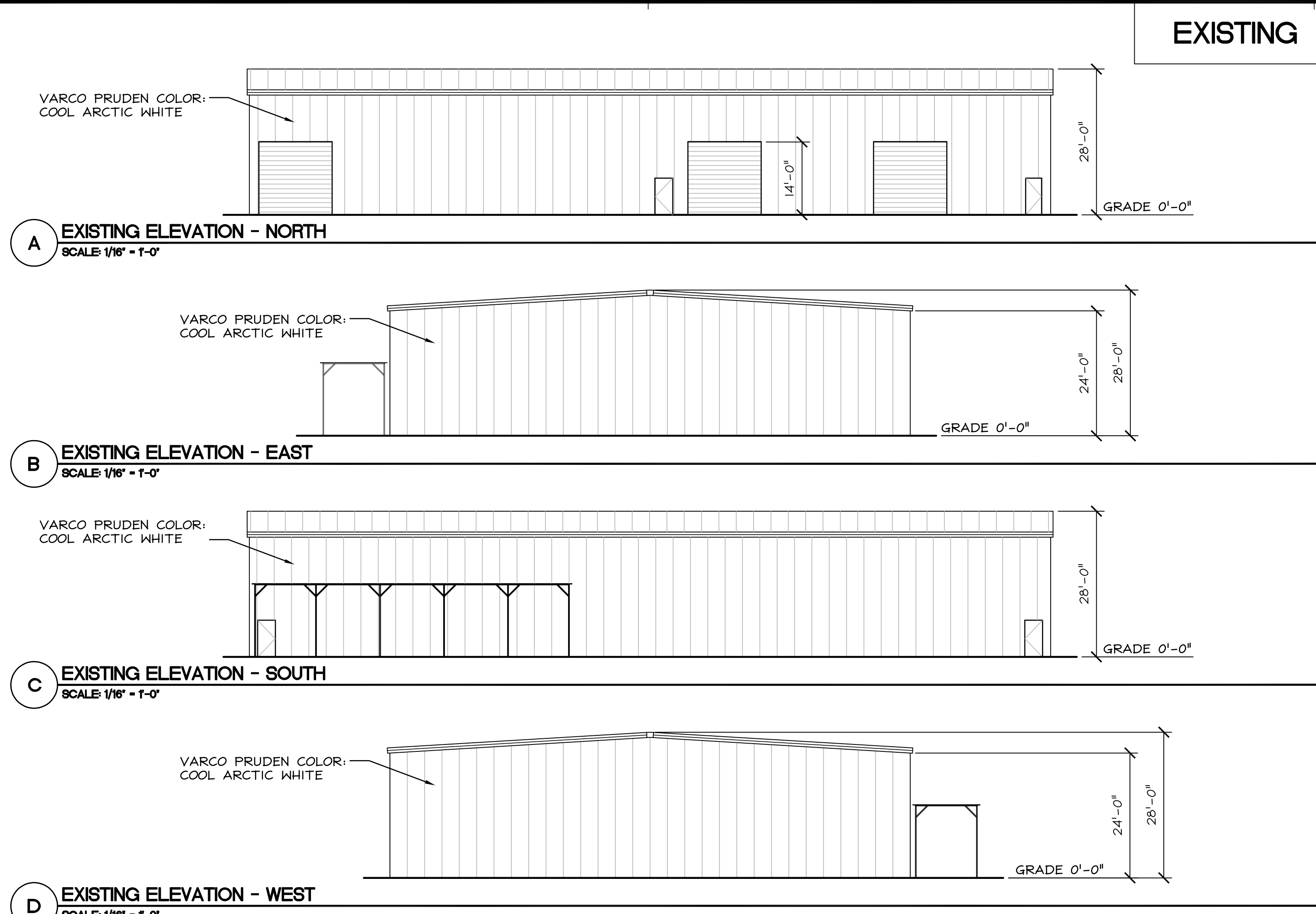
Belli architectural group

EXISTING & PROPOSED FLOOR PLAN/ELEVATIONS - BUILDING AA

OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE 09/17/21
SCALE 1/16" = 1'-0"
DRAWN JN/YP
JOB 18055
SHEET
A2.20
OF SHEETS

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REVISIONS	DATE	BY	DESCRIPTION

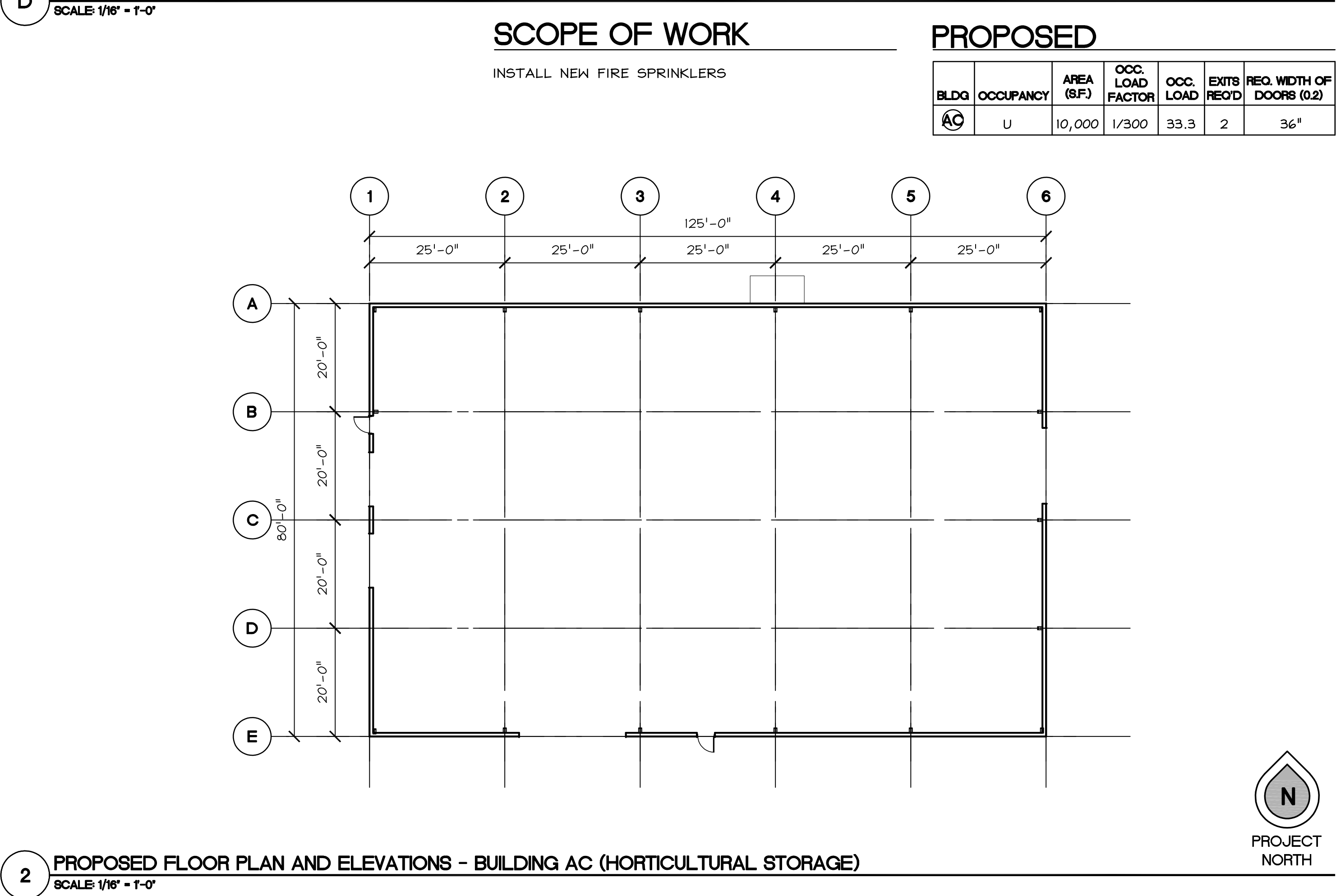
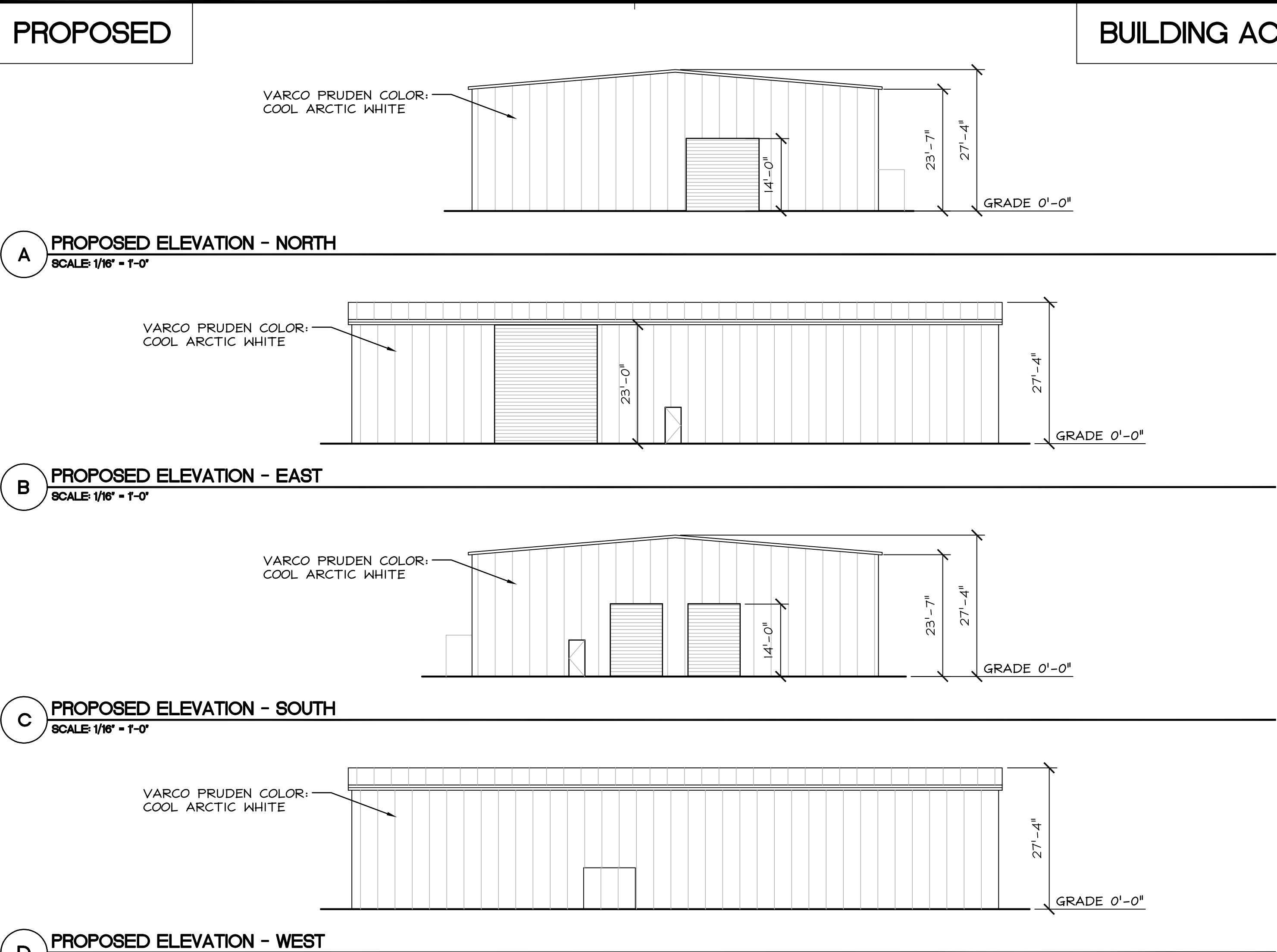
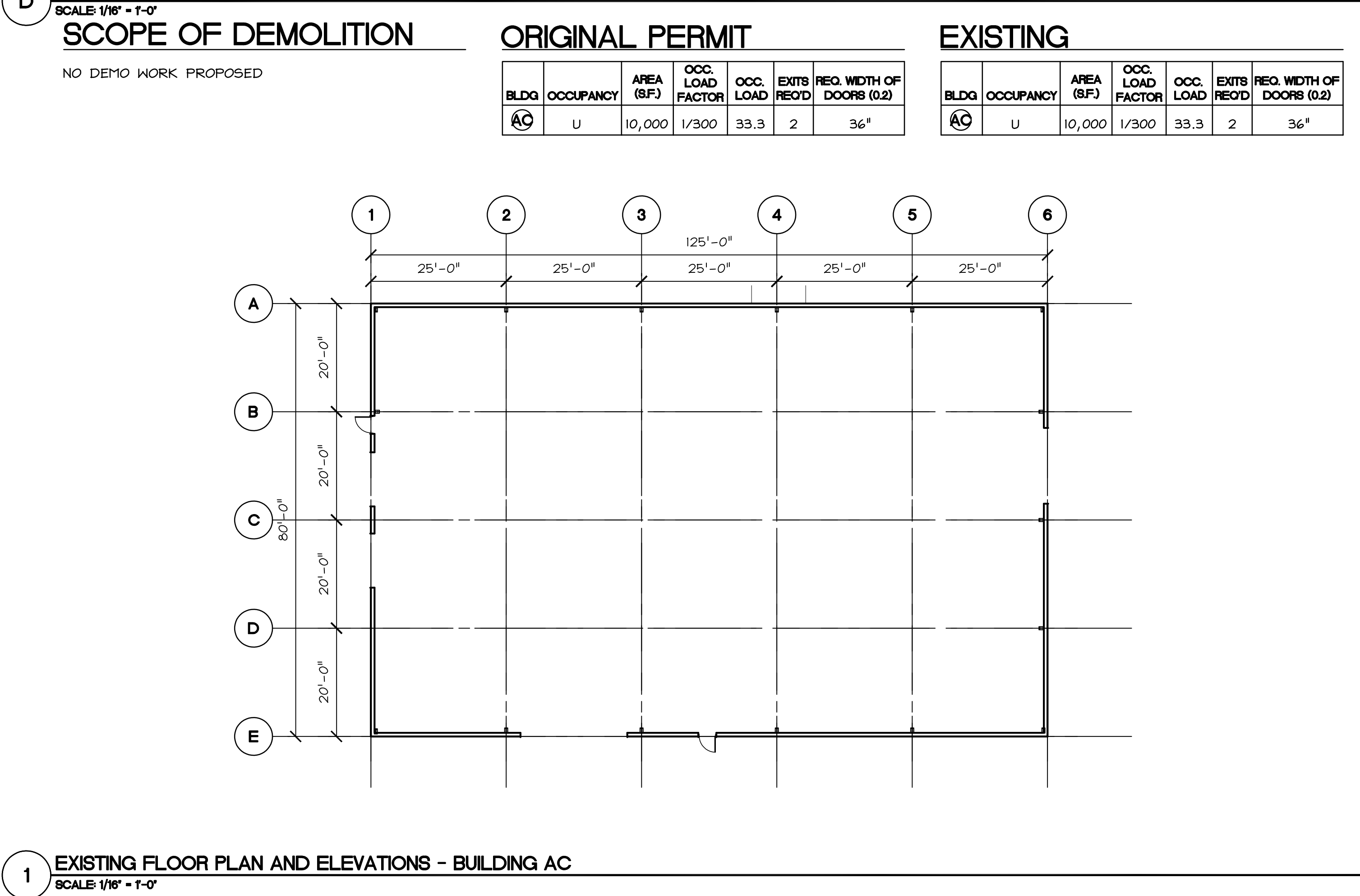
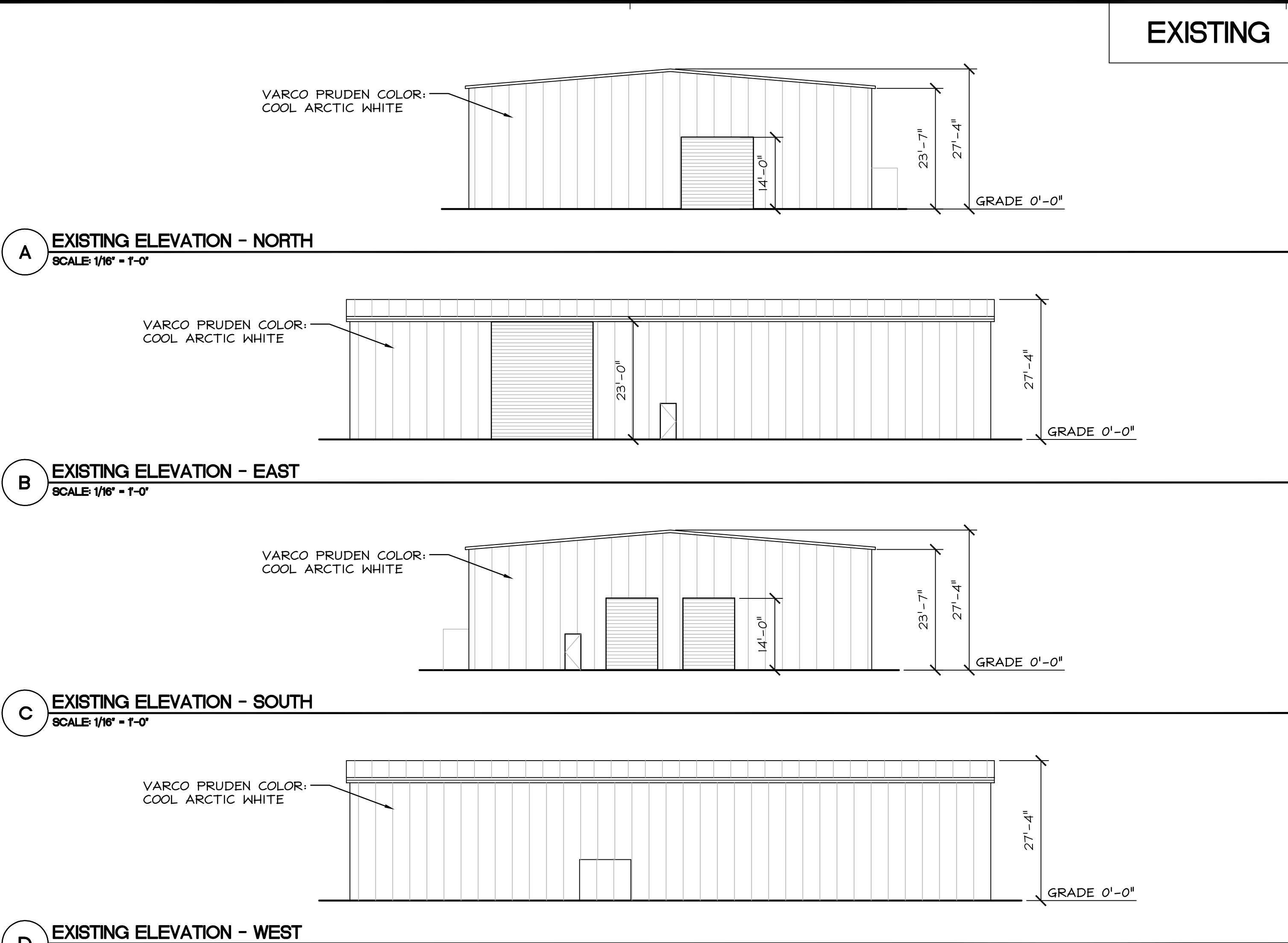
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235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLTAG.COM

EXISTING & PROPOSED FLOOR PLAN/ELEV. - BUILDING AB

OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE 09/17/21
SCALE 1/16" = 1'-0"
DRAWN JN/YP
JOB 18055
SHEET
A2.21
OF SHEETS

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BUILDING AC

REVISIONS	DATE	BY	DESCRIPTION

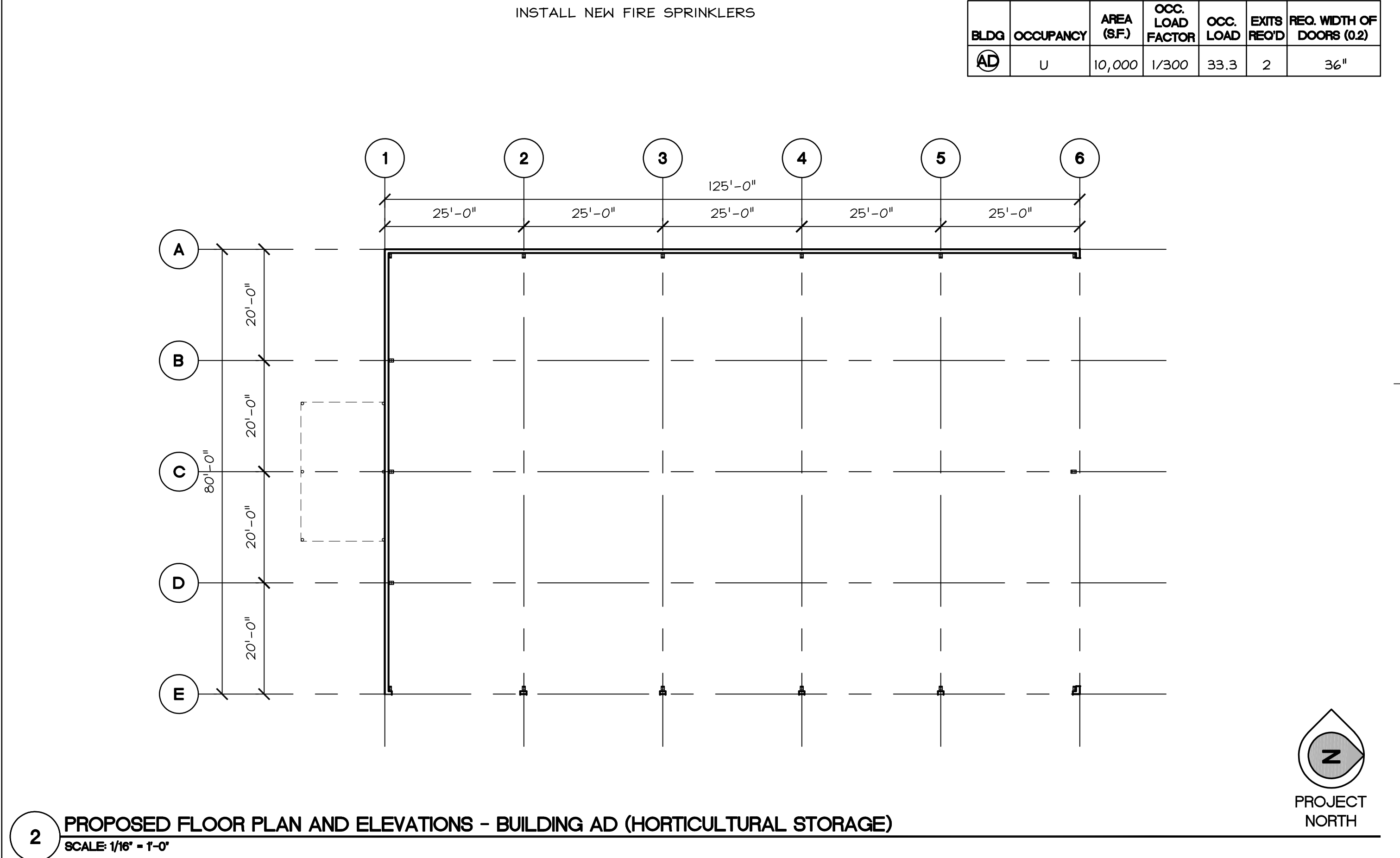
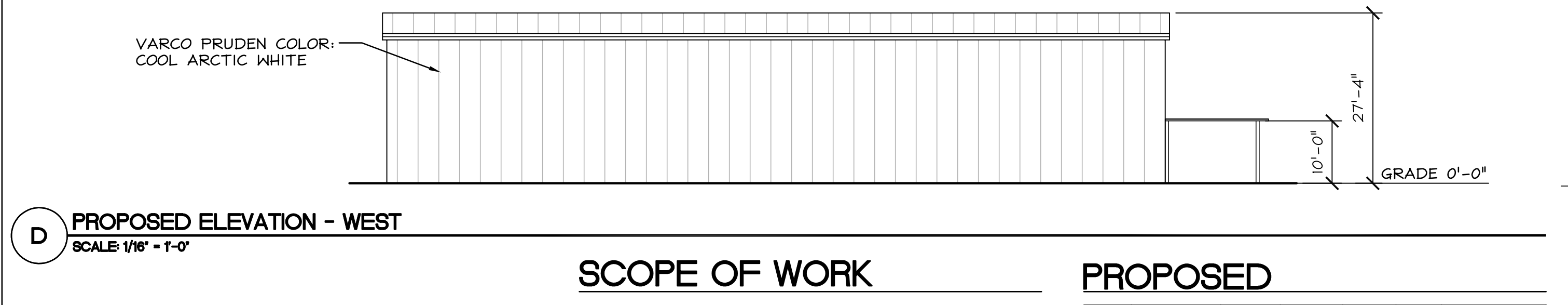
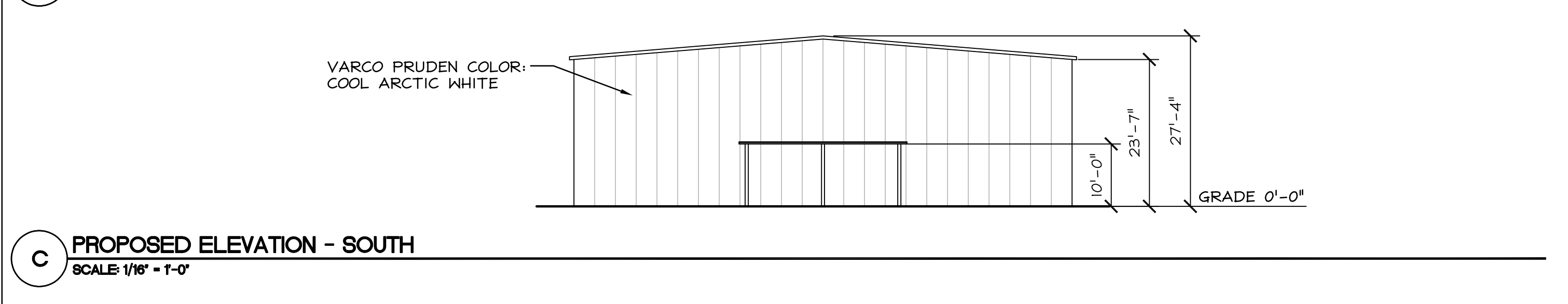
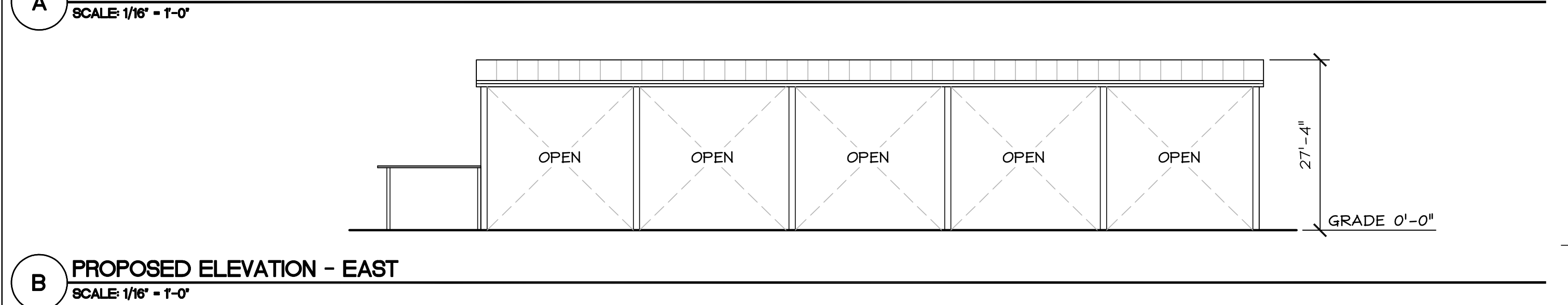
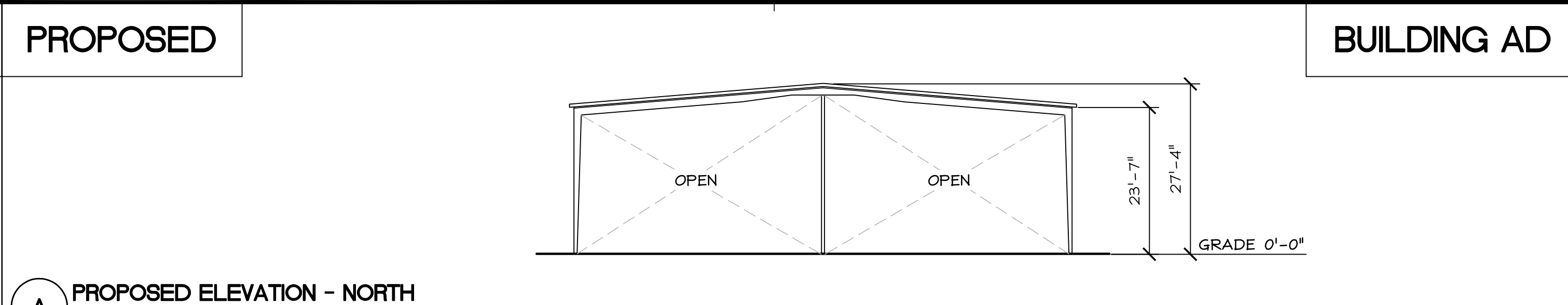
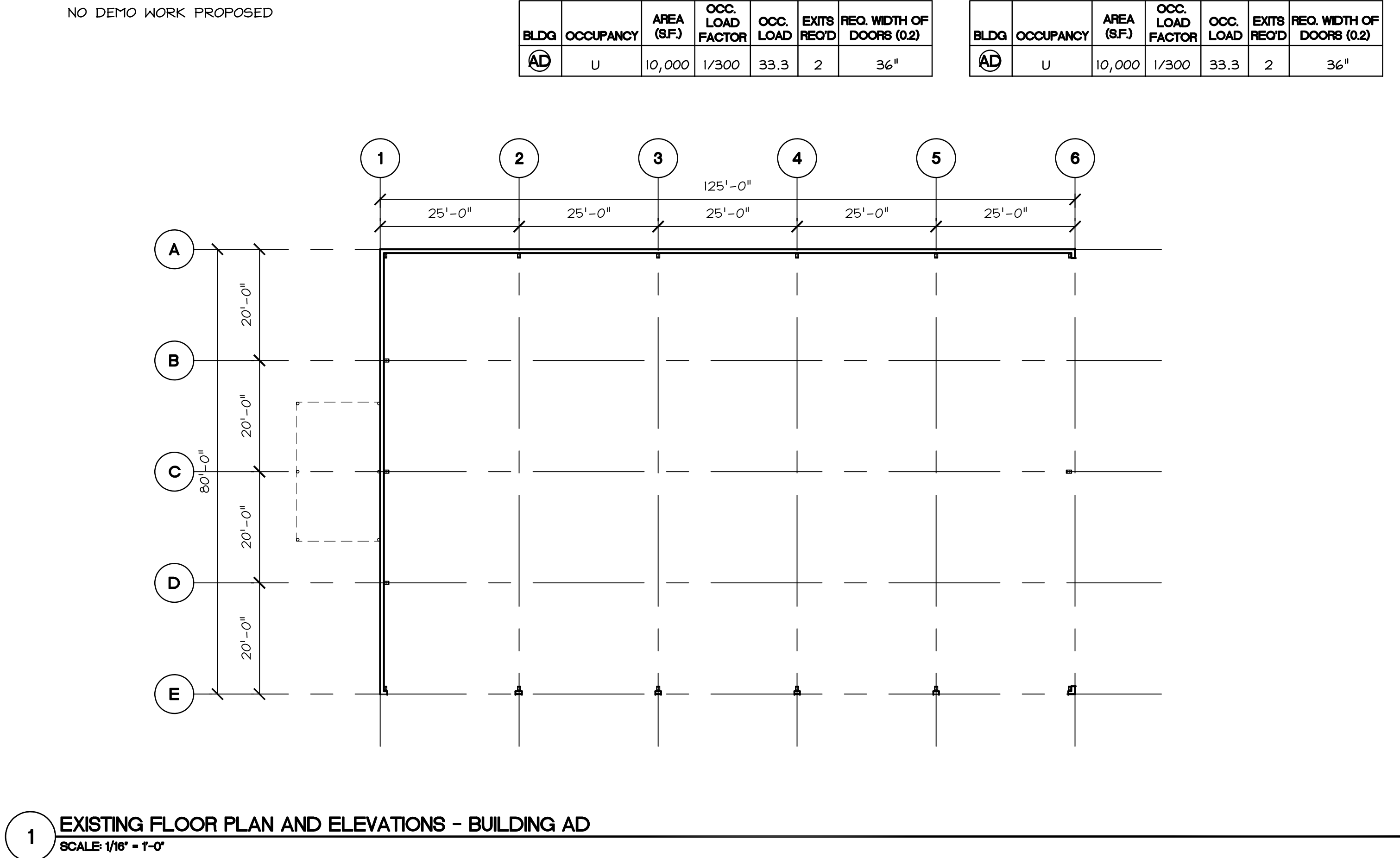
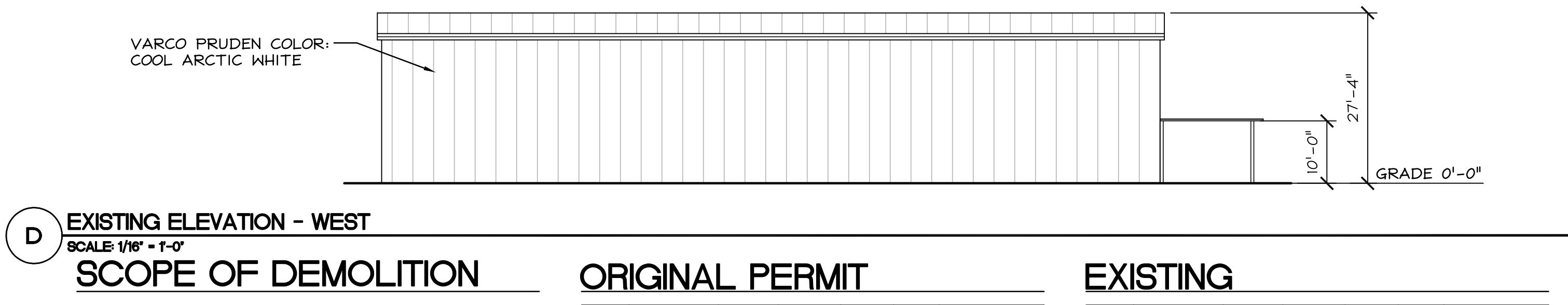
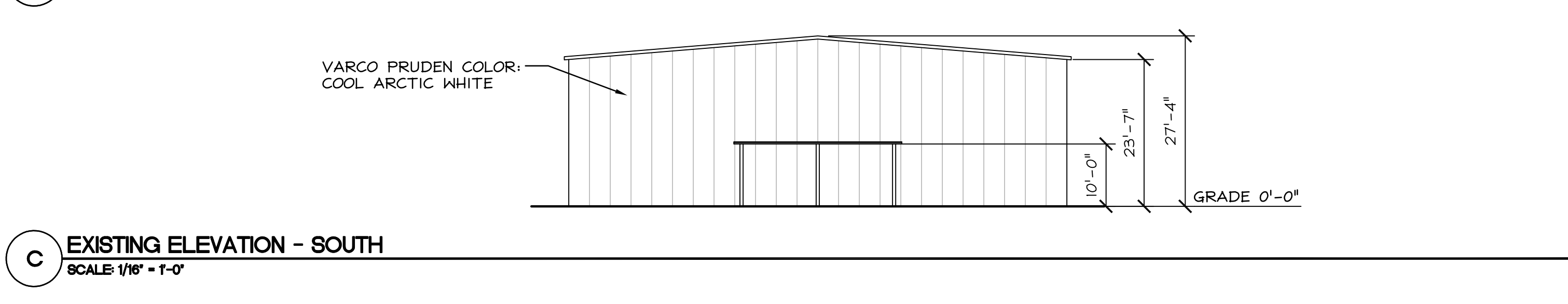
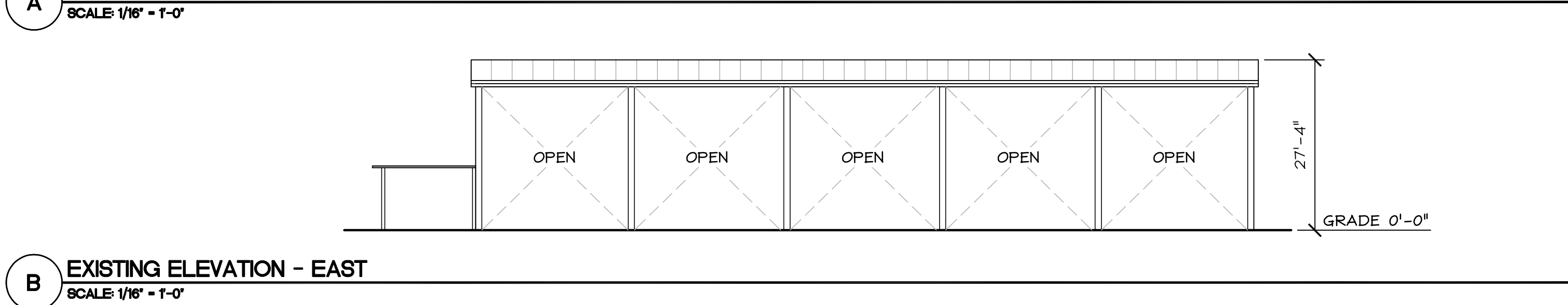
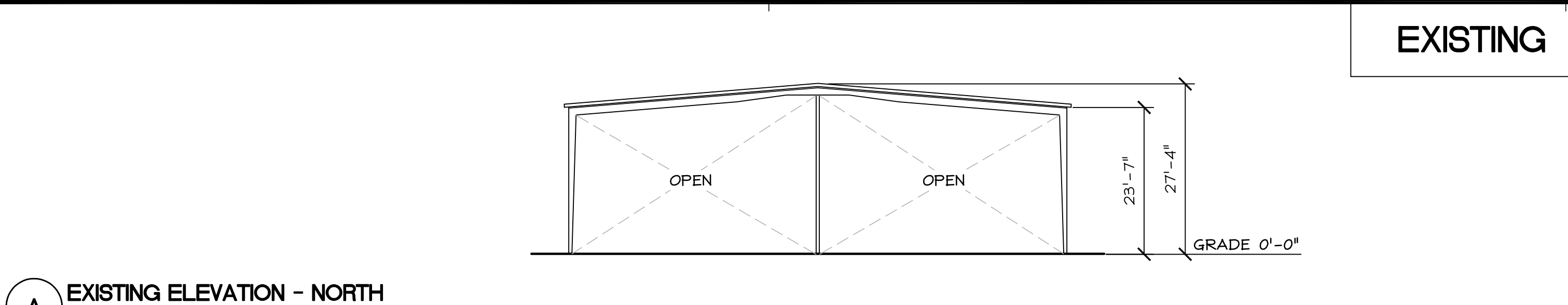
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235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIAQ.COM

Belli architectural group

EXISTING & PROPOSED FLOOR PLANS - BUILDING AC
OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE 09/17/21
SCALE 1/16" = 1'-0"
DRAWN JN/YP
JOB 18055
SHEET
A2.22
OF SHEETS

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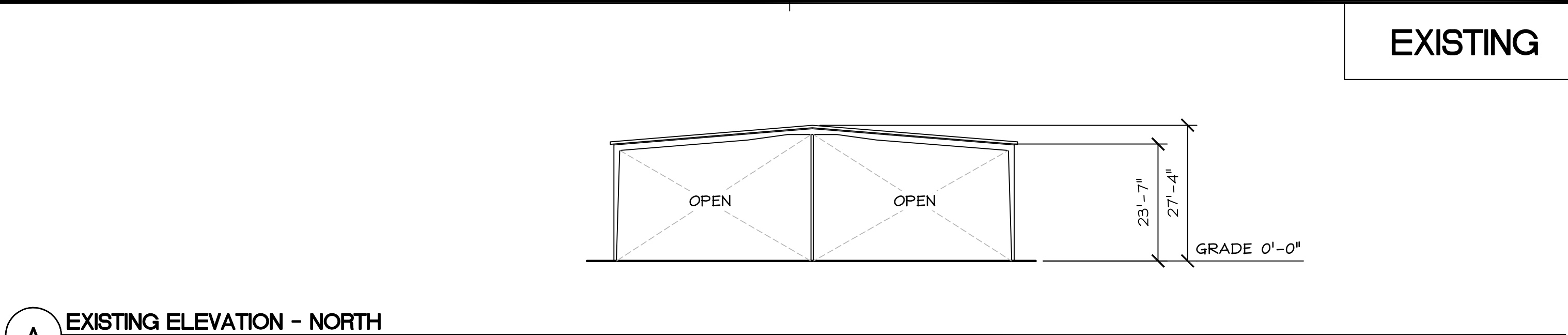
REVISIONS	DATE	BY	DESCRIPTION

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235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIAQ.COM

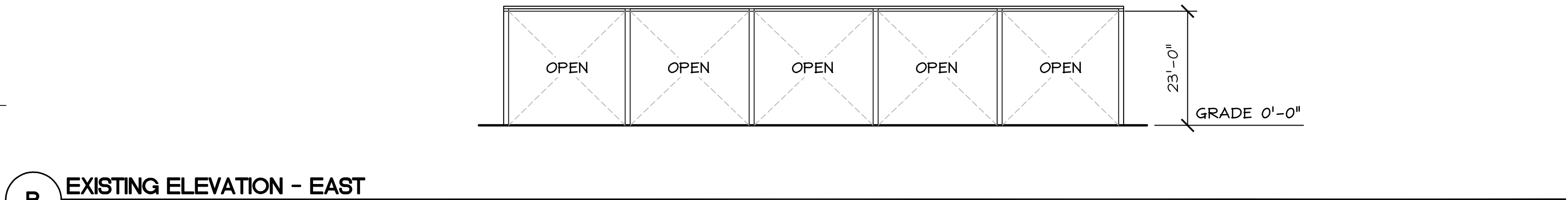
Belli architectural group

EXISTING & PROPOSED FLOOR PLANS: - BUILDING AD
OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

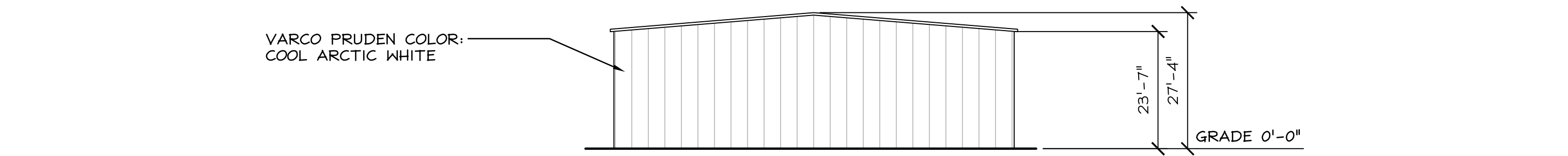
DATE 09/17/21
SCALE 1/16" = 1'-0"
DRAWN JN/YP
JOB 18055
SHEET
A2.23
OF SHEETS



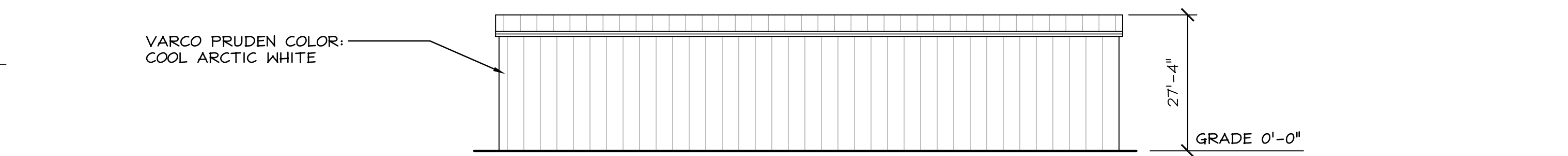
A EXISTING ELEVATION - NORTH
SCALE 1" = 20'-0"



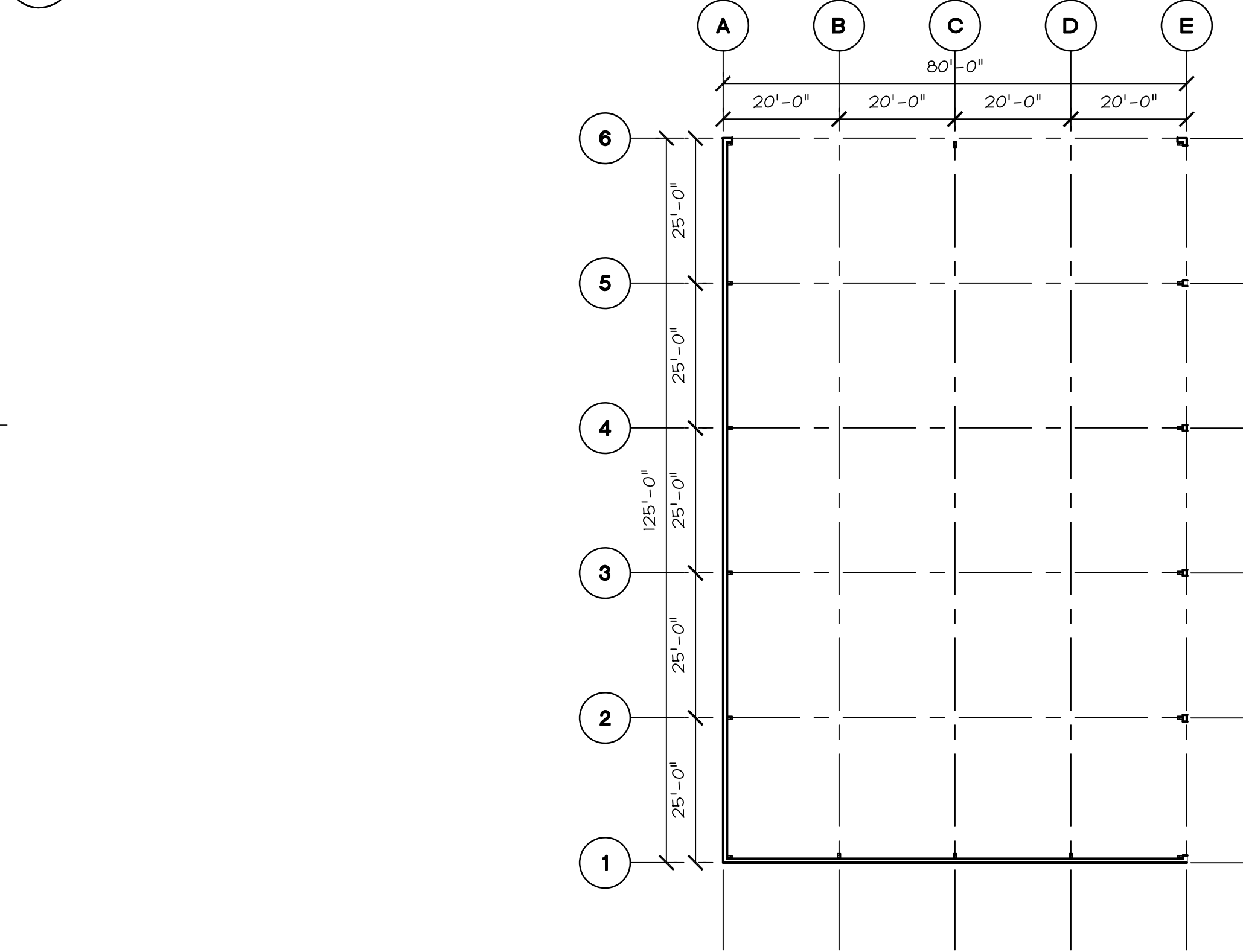
B EXISTING ELEVATION - EAST
SCALE 1" = 20'-0"



C EXISTING ELEVATION - SOUTH
SCALE 1" = 20'-0"



D EXISTING ELEVATION - WEST
SCALE 1" = 20'-0"



1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING AE
SCALE 1" = 20'-0"

ORIGINAL PERMIT

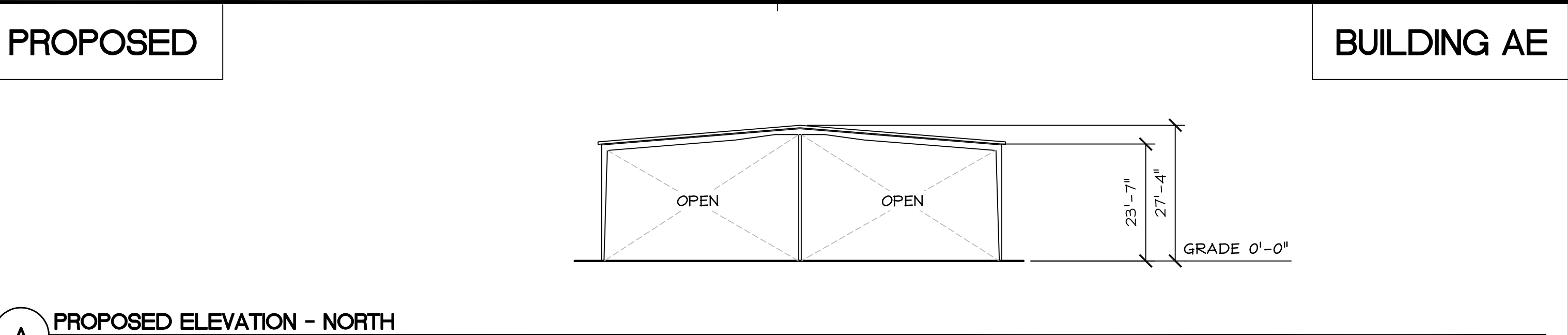
BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
AE	U	10,000	1/300	33.3	2	36"

EXISTING

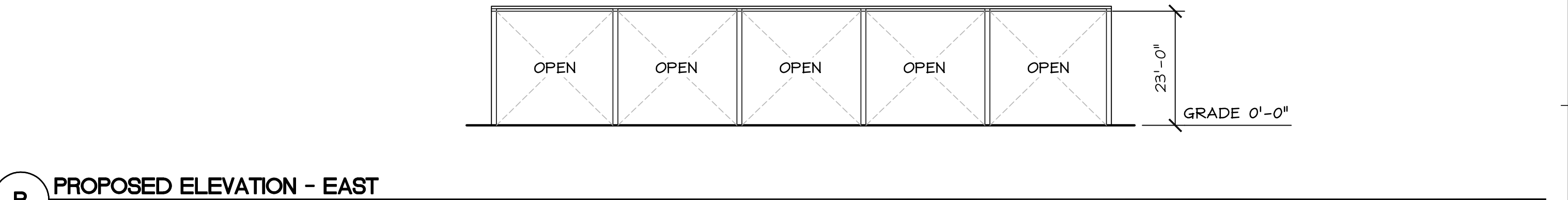
BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
AE	S-1	10,000	1/500	20	2	36"

SCOPE OF DEMOLITION

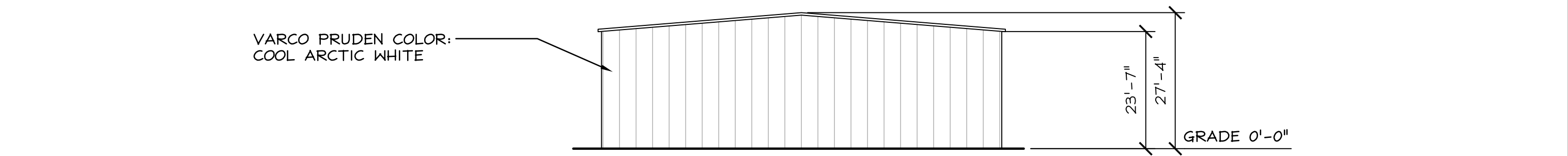
NO DEMO WORK PROPOSED



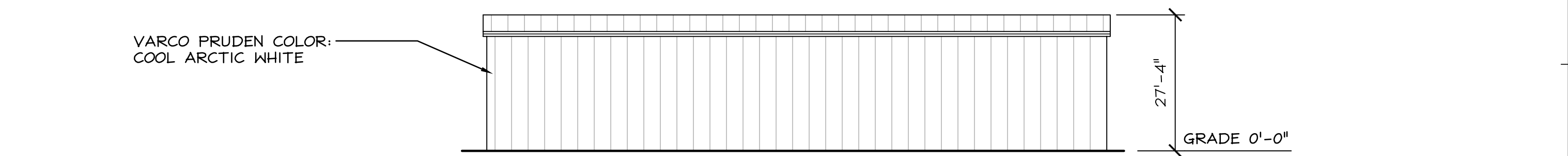
A PROPOSED ELEVATION - NORTH
SCALE 1" = 20'-0"



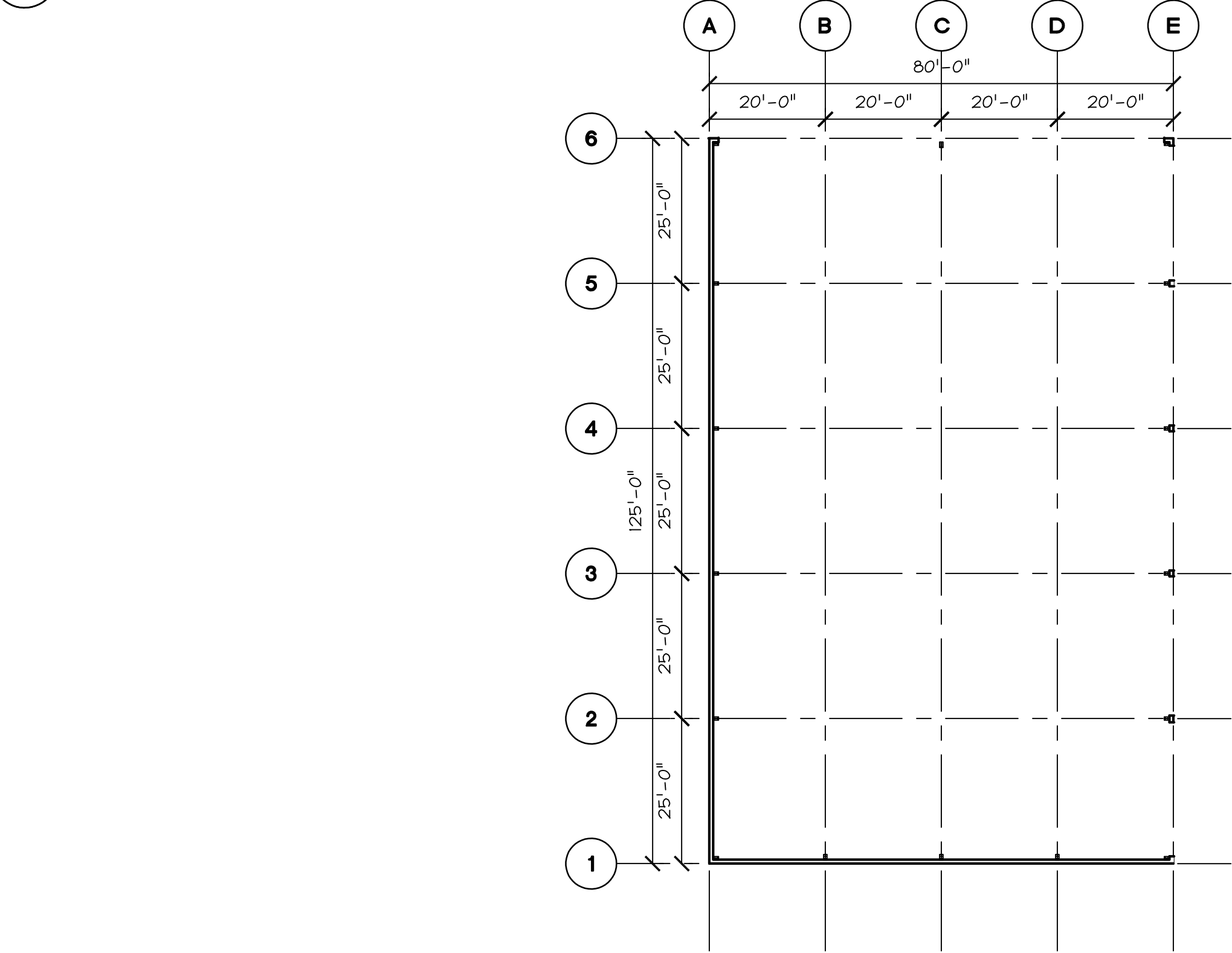
B PROPOSED ELEVATION - EAST
SCALE 1" = 20'-0"



C PROPOSED ELEVATION - SOUTH
SCALE 1" = 20'-0"



D PROPOSED ELEVATION - WEST
SCALE 1" = 20'-0"



2 PROPOSED FLOOR PLAN AND ELEVATIONS - BUILDING AE (DRY STORAGE)
SCALE 1" = 20'-0"

PROPOSED

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
AE	S-1	10,000	1/500	20	2	36"

SCOPE OF WORK

- PERMIT (E) BUILDING PER CURRENT (2019) CBC FOR PROPOSED S-1 OCCUPANCY
- INSTALL NEW FIRE SPRINKLERS



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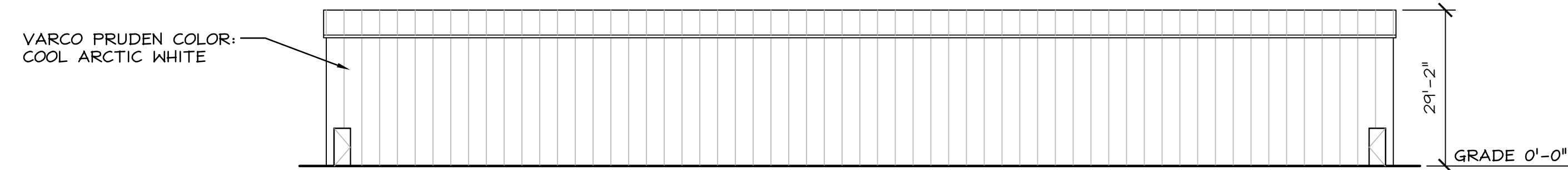
Belli architectural group

EXISTING & PROPOSED FLOOR PLANS: - BUILDING AE
OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

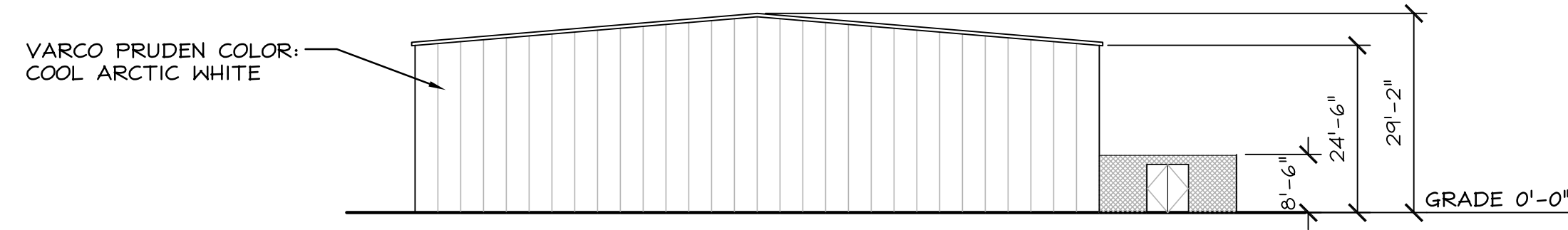
DATE 09/17/21
SCALE AS NOTED
DRAWN JN/YP
JOB 18055
SHEET
A2.24
OF SHEETS

EXISTING BUILDING AF

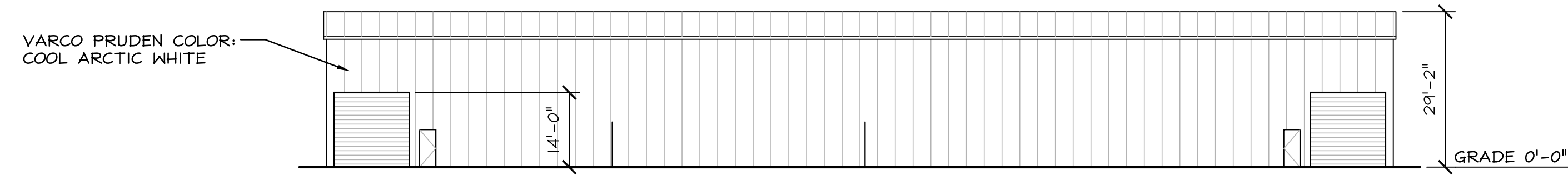
A ELEVATION - NORTH
SCALE: 1" = 20'-0"



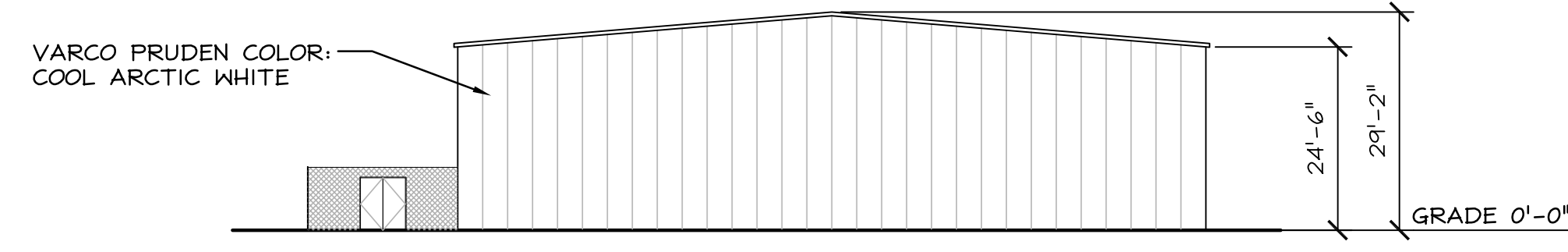
B ELEVATION - EAST
SCALE: 1" = 20'-0"



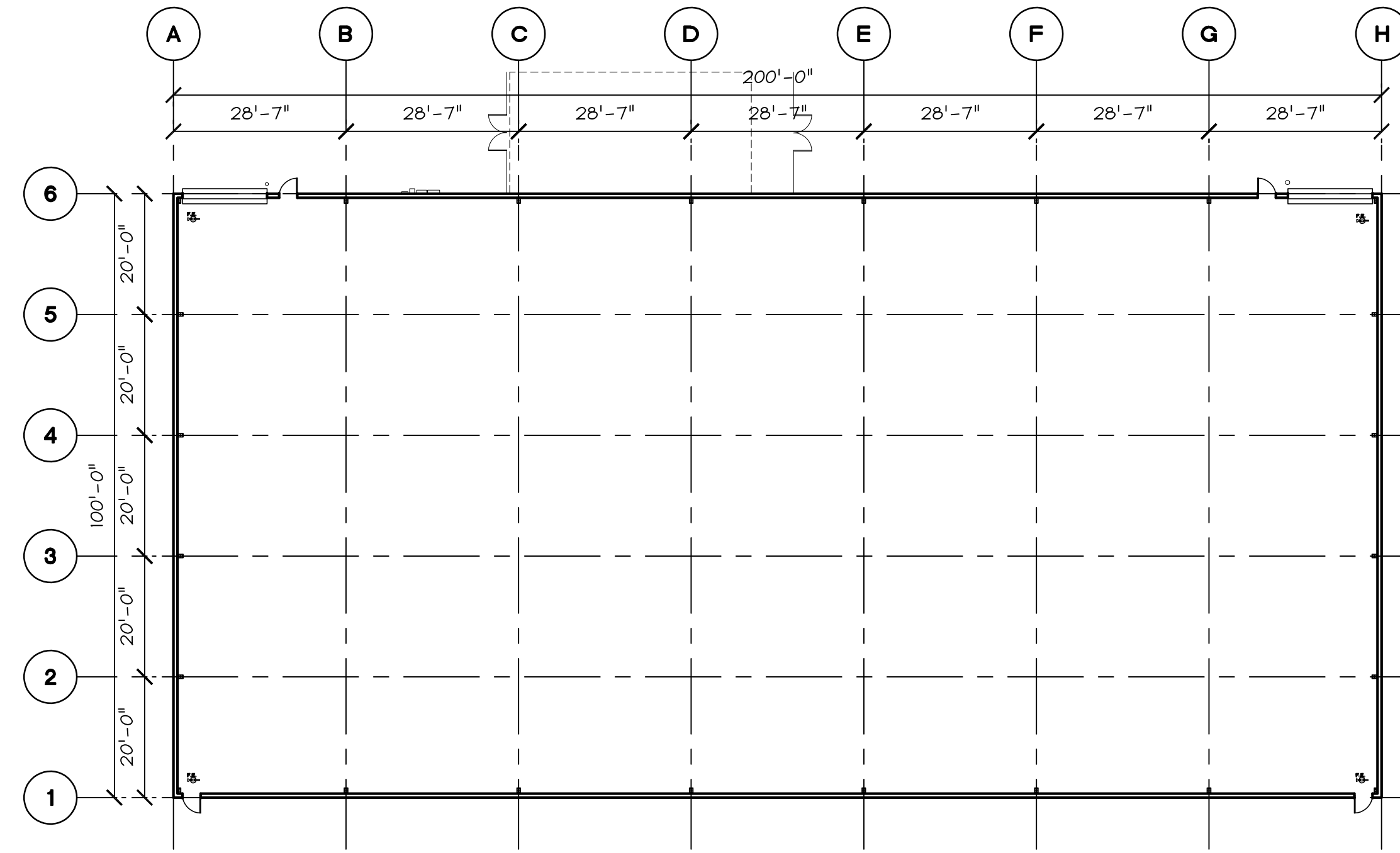
C ELEVATION - SOUTH
SCALE: 1" = 20'-0"



D ELEVATION - WEST
SCALE: 1" = 20'-0"



1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING AF
SCALE: 1" = 20'-0"



ORIGINAL PERMIT

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
AF	S-1	20,000	1/500	40	2	36"

EXISTING

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
AF	S-1	20,000	1/500	40	2	36"

SCOPE OF WORK

EXISTING PERMITTED BUILDING. NO WORK PROPOSED



REVISIONS

DATE	BY	DESCRIPTION

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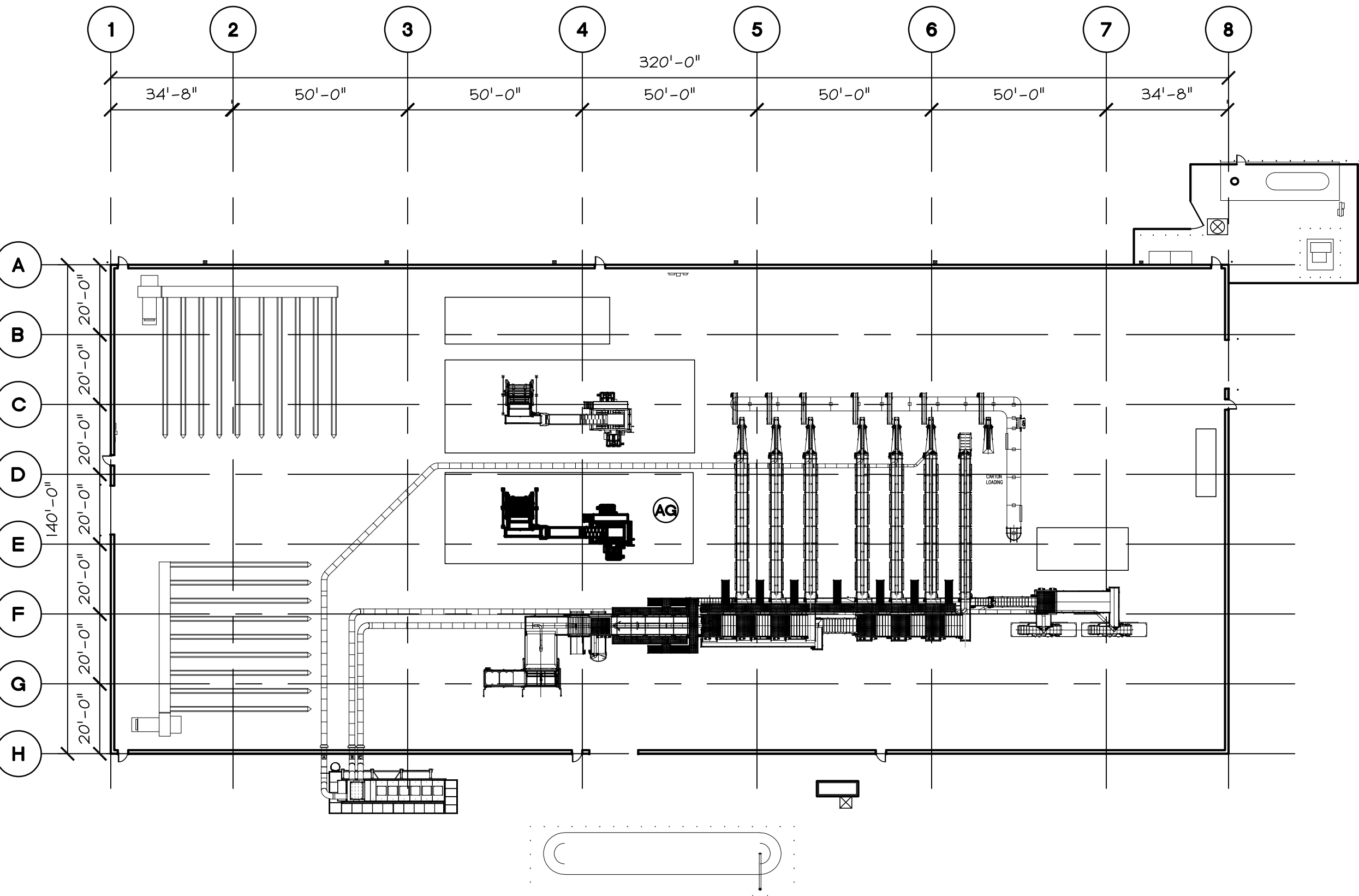
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EXISTING FLOOR PLANELEVATIONS - BUILDING AF
OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE 09/17/21
SCALE AS NOTED
DRAWN JN/YP
JOB 18055
SHEET
A2.25
OF SHEETS

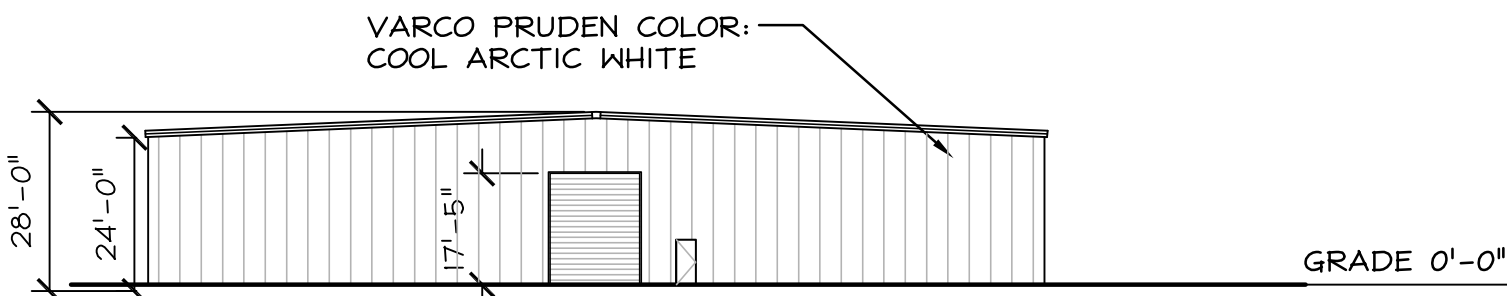
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EXISTING

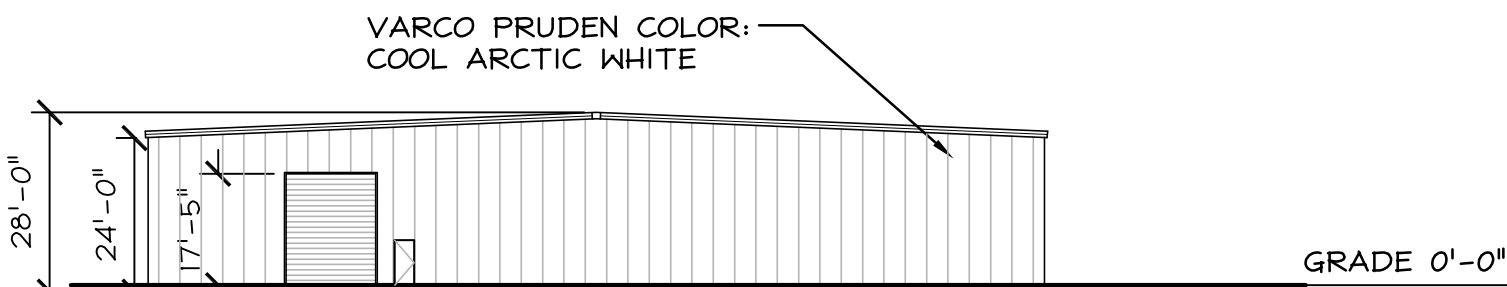


1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING AG
SCALE: 1" = 30'-0"

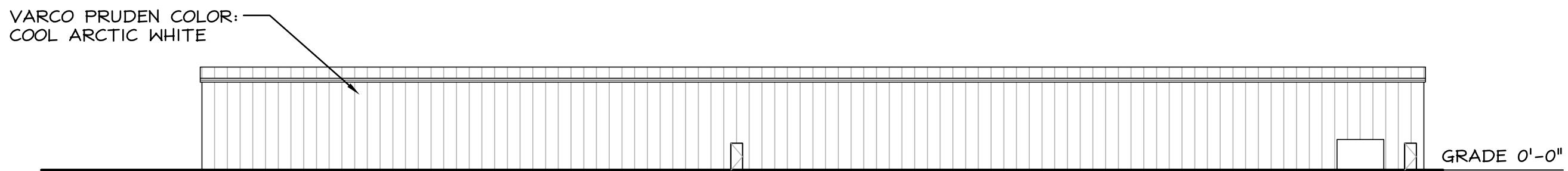
A ELEVATION - NORTH
SCALE: 1" = 30'-0"



B ELEVATION - SOUTH
SCALE: 1" = 30'-0"



C ELEVATION - WEST
SCALE: 1" = 30'-0"



D ELEVATION - EAST
SCALE: 1" = 30'-0"



ORIGINAL PERMIT

BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
AG	F-1	44,800	1/300	149.3	2	36"

EXISTING

BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
AG	F-1	44,800	1/300	149.3	2	36"

SCOPE OF WORK

EXISTING PERMITTED BUILDING. NO PROPOSED WORK

BUILDING AG

REVISIONS	DATE	BY	DESCRIPTION

EXISTING FLOOR PLAN/ELEVATIONS - BUILDING AG

OVERALL SITE - BUILDING USES

CHRISTOPHER RANCH

305 BLOOMFIELD AVENUE

GILROY, CA 95020

BELL

architectural group

DATE

09/17/21

SCALE

AS NOTED

DRAWN

YP

JOB

18055

SHEET

A2.26

OF

SHEETS

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PROPOSED

BUILDING C1/C2



BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
CVCS	U	5,000	1/300	16.6	2	36"

BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
CVCS	U	5,000	1/300	16.6	2	36"

DEMO (E) BUILDING COMPLETE.
(E) CONCRETE SLAB TO REMAIN



BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
CVCC	S-1	5,000	1/500	10	2	36"

RE-BUILD ENTIRE BUILDING.
UNDER SEPARATE PERMIT



REVISIONS	DATE	BY	DESCRIPTION

BELLI ARCHITECTURAL GROUP 831.424.4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIAQ.COM

EXISTING & PROPOSED FLOOR PLAN/ELE. - BUILDING C1/C2

OVERALL SITE - BUILDING USES

CHRISTOPHER RANCH

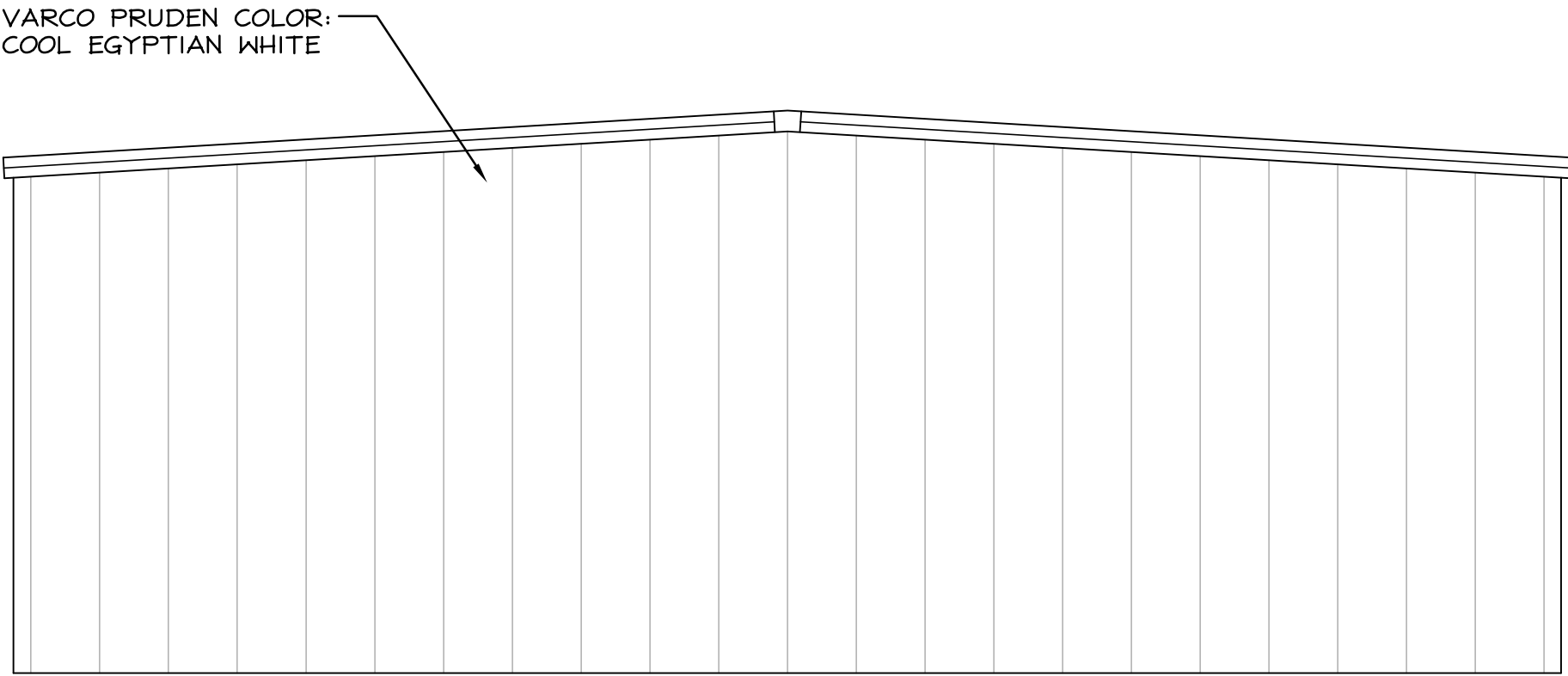
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE	09/17/21
SCALE	AS NOTED
DRAWN	JN/YP
JOB	18055
SHEET	

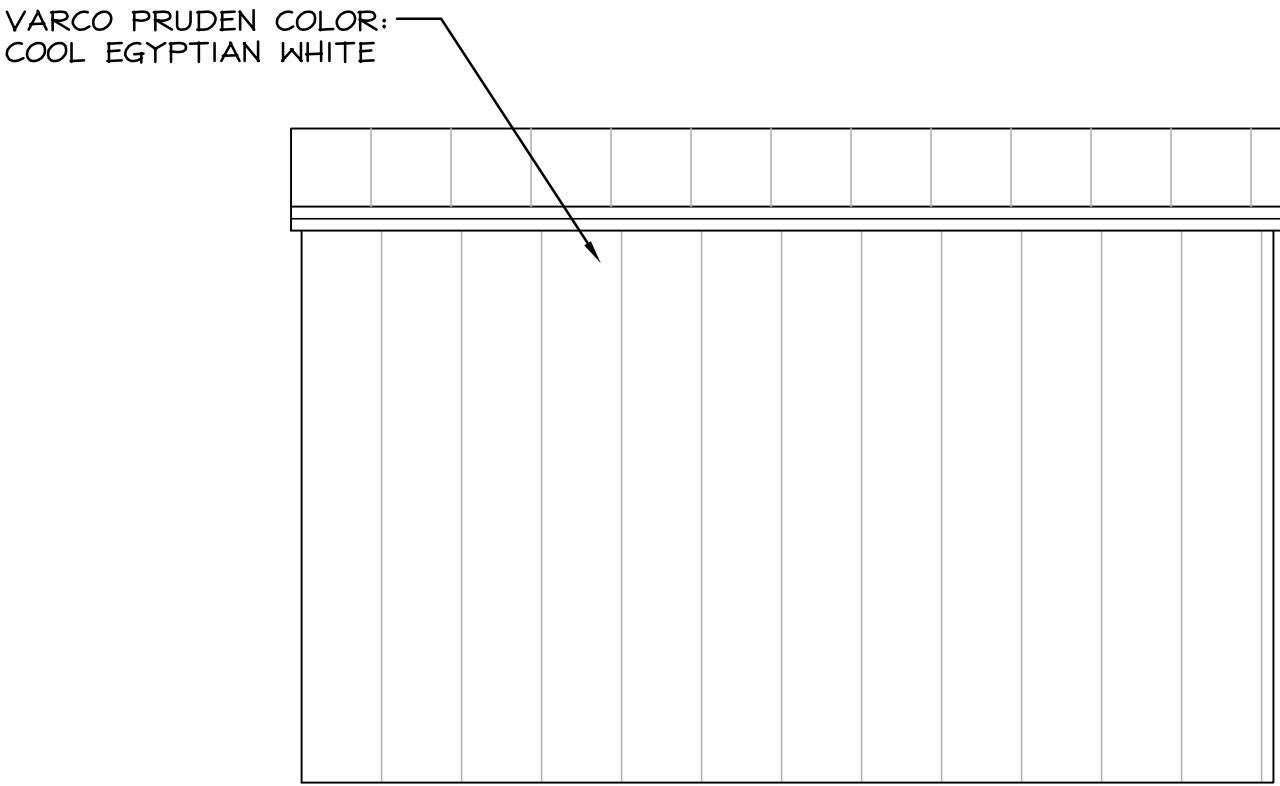
A2.27

OF SHEETS

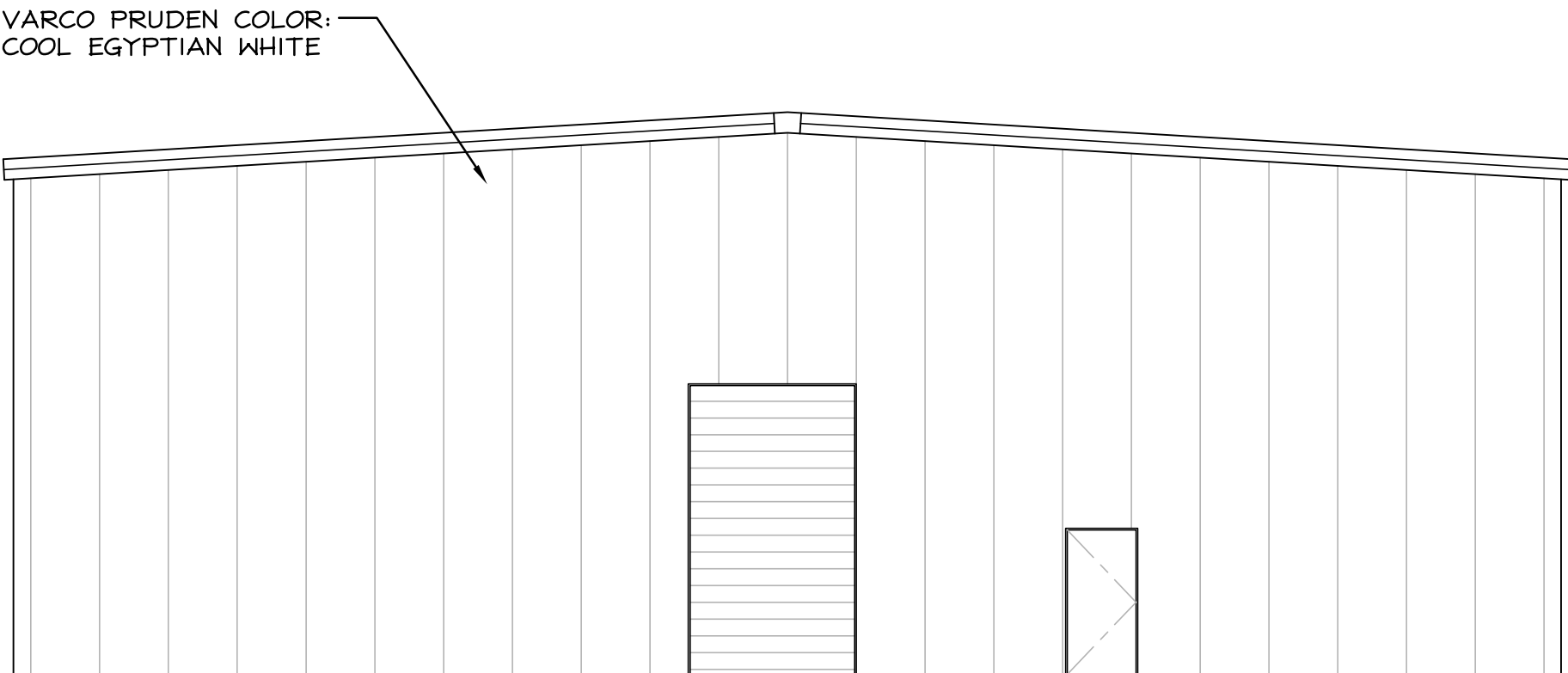
EXISTING BUILDING C3



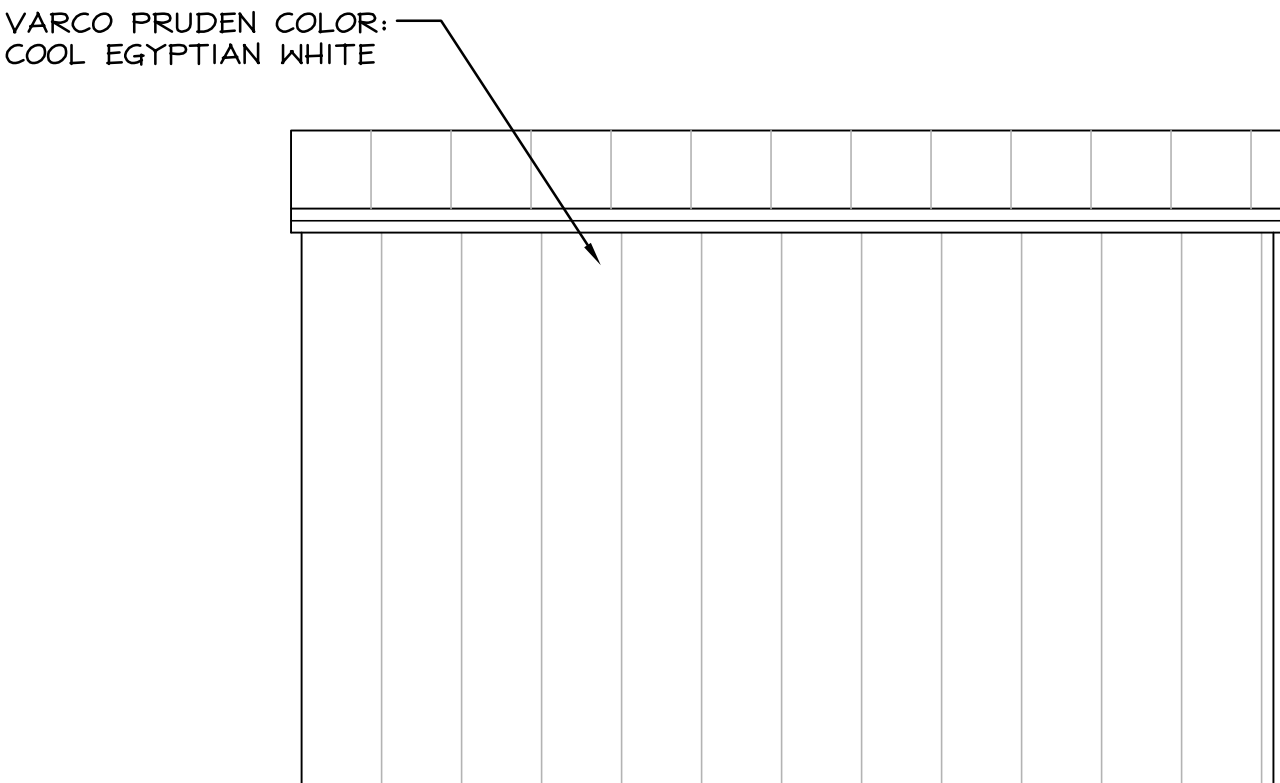
A ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



B ELEVATION - EAST
SCALE: 1/8" = 1'-0"



C ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



D ELEVATION - WEST
SCALE: 1/8" = 1'-0"

ORIGINAL PERMIT

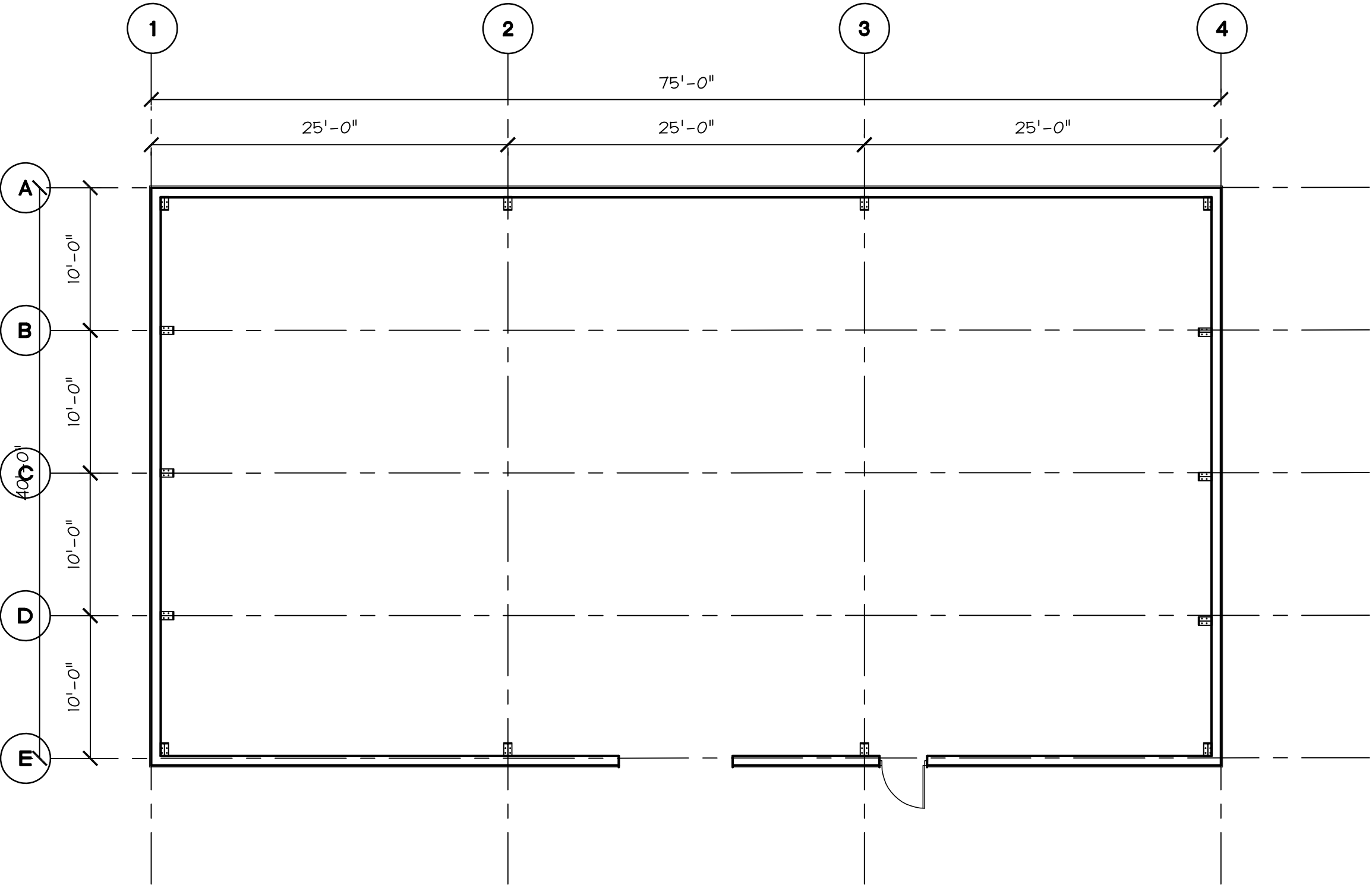
BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
C3	U	3,000	1/300	10	2	36"

EXISTING

BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
C3	U	3,000	1/300	10	2	36"

SCOPE OF WORK

EXISTING TO REMAIN. NO WORK PROPOSED



1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING C3
SCALE: 1/8" = 1'-0"



EXISTING FLOOR PLANELEVATIONS - BUILDING C3

OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE 09/17/21
SCALE AS NOTED
DRAWN JN/YP
JOB 18055
SHEET

A2.28

OF SHEETS

REVISIONS DATE BY DESCRIPTION

REVISIONS	DATE	BY	DESCRIPTION

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235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
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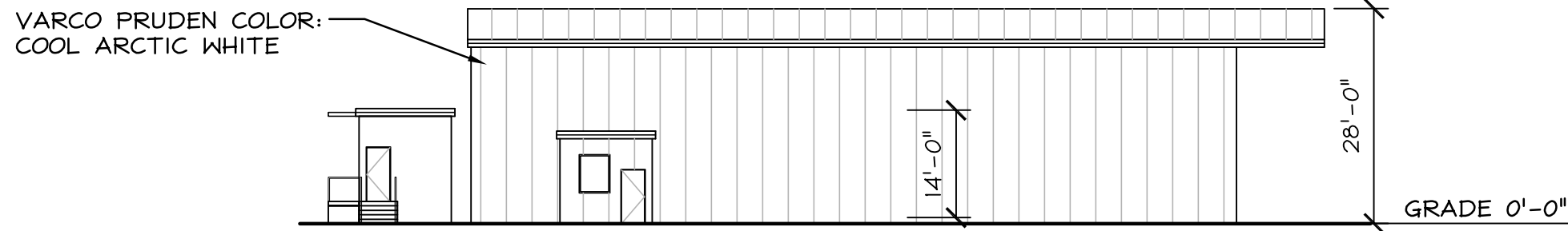


architectural group

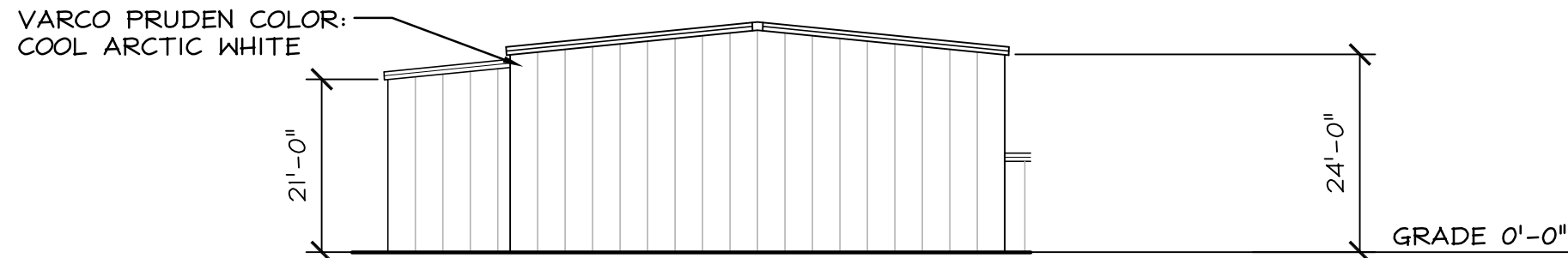
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EXISTING BUILDING C5/C6

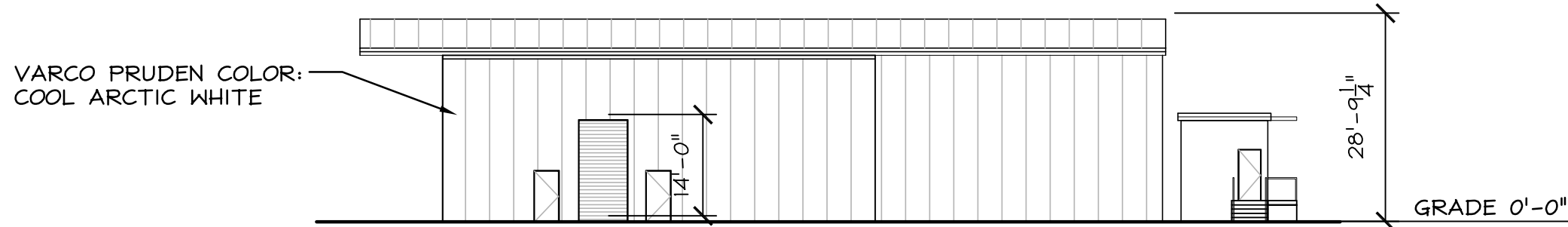
A ELEVATION - NORTH
SCALE: 1" = 20'-0"



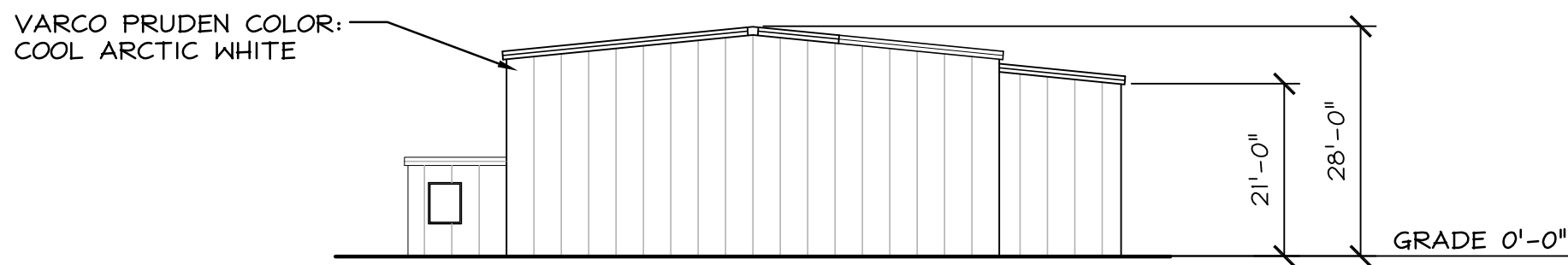
B ELEVATION - EAST
SCALE: 1" = 20'-0"



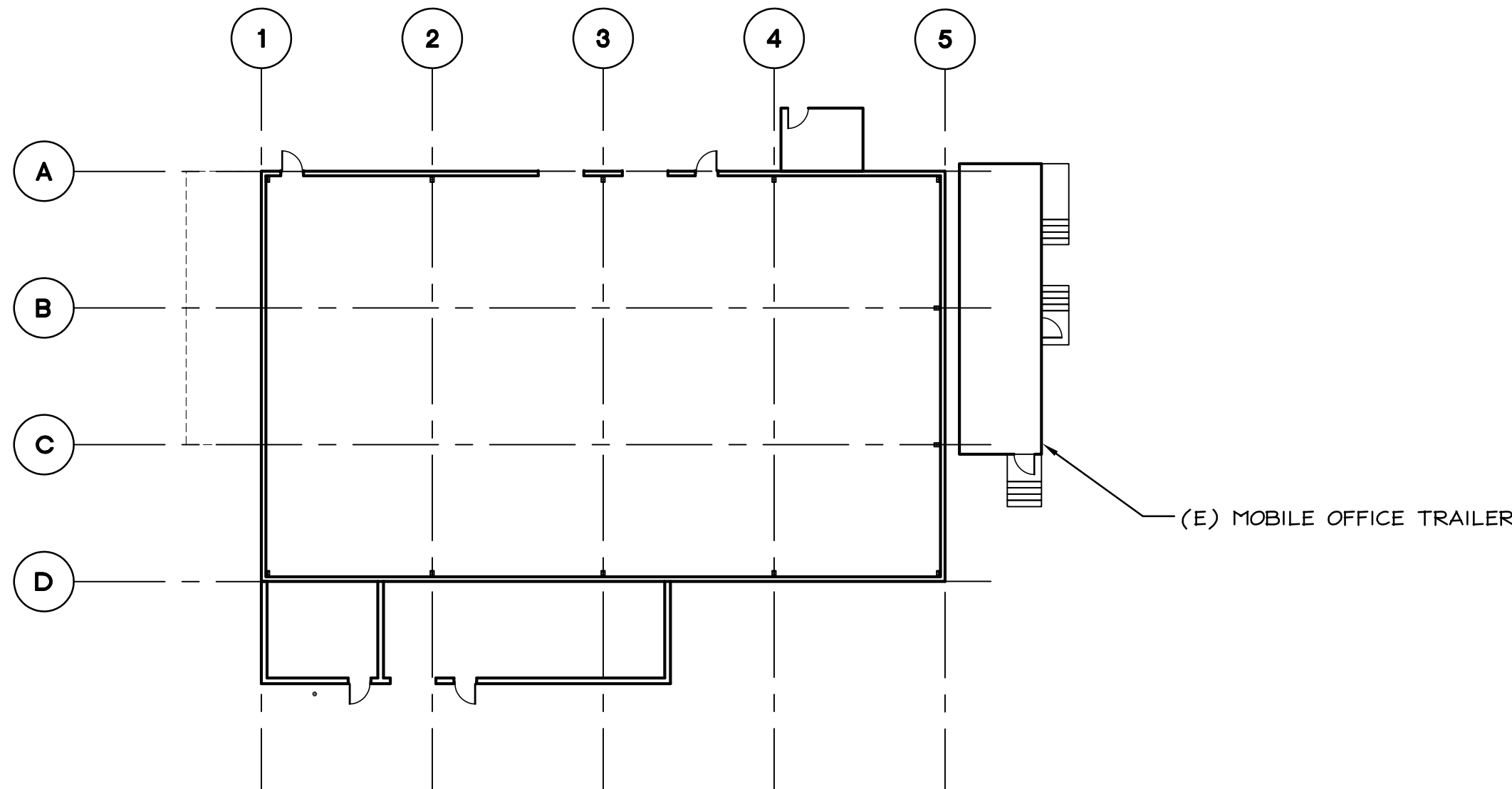
C ELEVATION - SOUTH
SCALE: 1" = 20'-0"



D ELEVATION - WEST
SCALE: 1" = 20'-0"



1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING C5/C6
SCALE: 1" = 20'-0"



ORIGINAL PERMIT

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
C5/C6	U	6,000	1/300	20	2	36"

EXISTING

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
C5/C6	U	6,000	1/300	20	2	36"

SCOPE OF WORK

EXISTING TO REMAIN. NO WORK PROPOSED



EXISTING FLOOR PLANE. - BUILDING C5/C6

OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE 09/17/21
SCALE AS NOTED
DRAWN JN/YP
JOB 18055
SHEET

A2.29

OF SHEETS

REVISIONS DATE BY DESCRIPTION

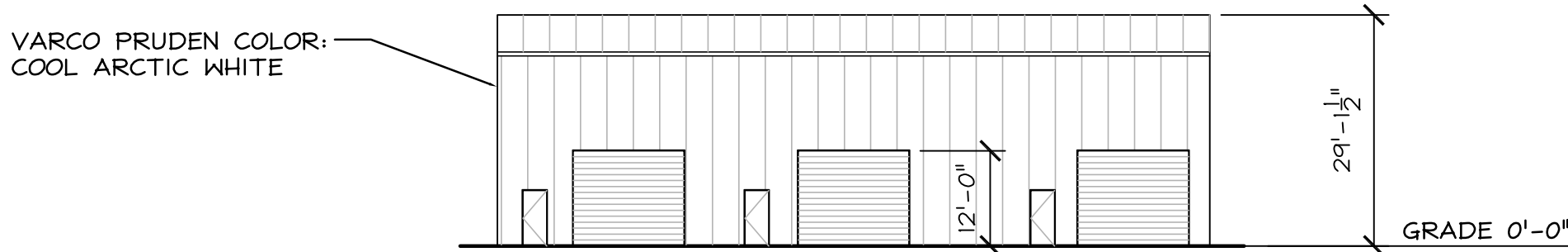
BELLI ARCHITECTURAL GROUP 831. 424 . 4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIAQ.COM



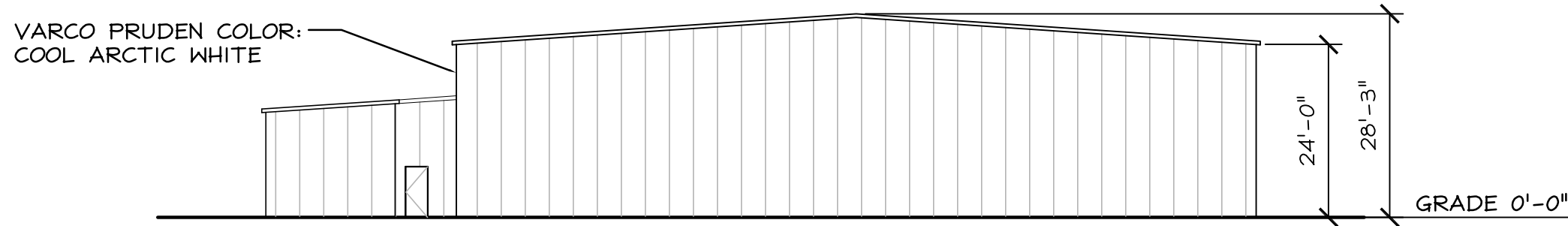
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EXISTING BUILDING CA1

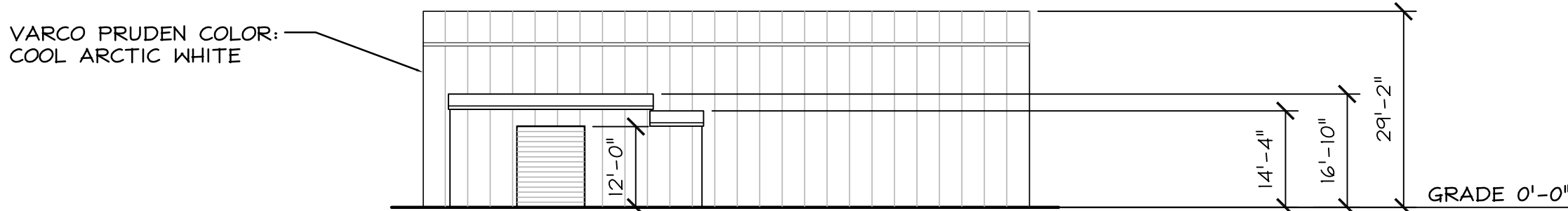
A ELEVATION - NORTH
SCALE: 1" = 20'-0"



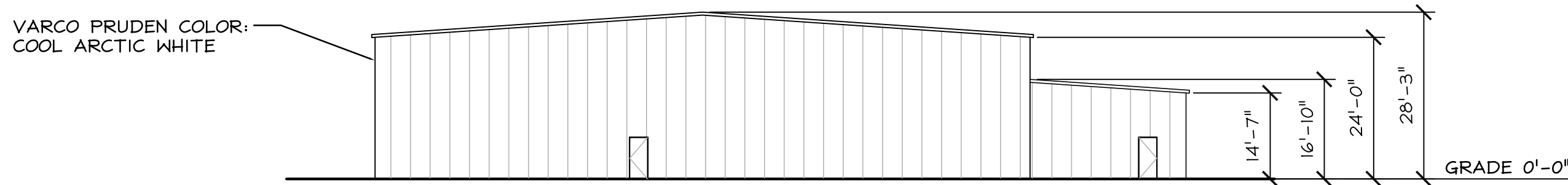
B ELEVATION - EAST
SCALE: 1" = 20'-0"



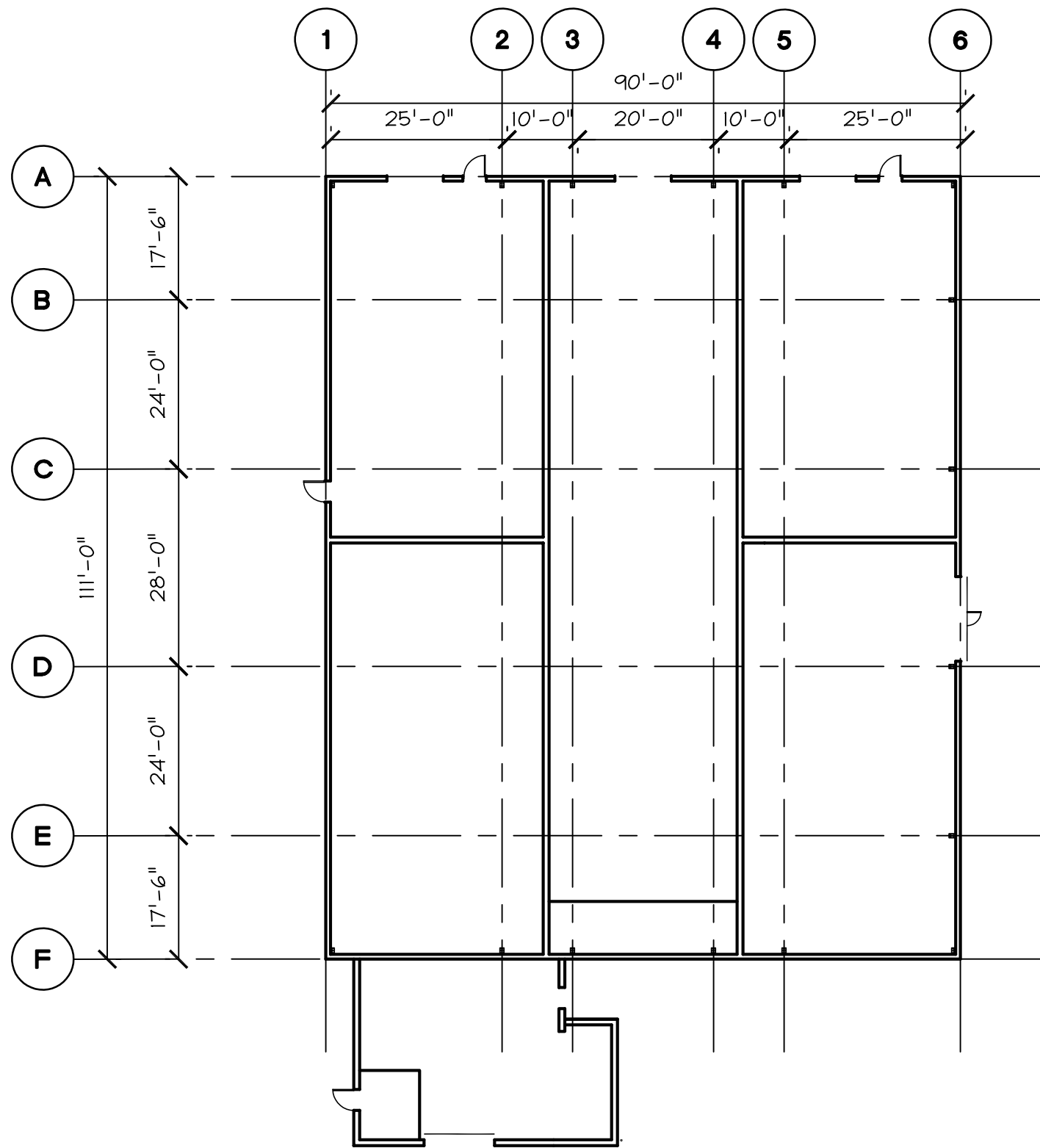
C ELEVATION - SOUTH
SCALE: 1" = 20'-0"



D ELEVATION - WEST
SCALE: 1" = 20'-0"



1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING CA1
SCALE: 1" = 20'-0"



ORIGINAL PERMIT

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
CA	U	9,990	1/300	33.3	2	36"

EXISTING

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
CA	U	9,990	1/300	33.3	2	36"

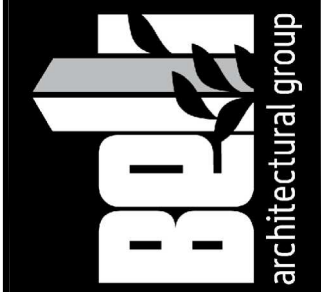
SCOPE OF WORK

EXISTING PERMITTED BUILDING. NO WORK PROPOSED



REVISIONS	DATE	BY	DESCRIPTION

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BELLIAAG.COM



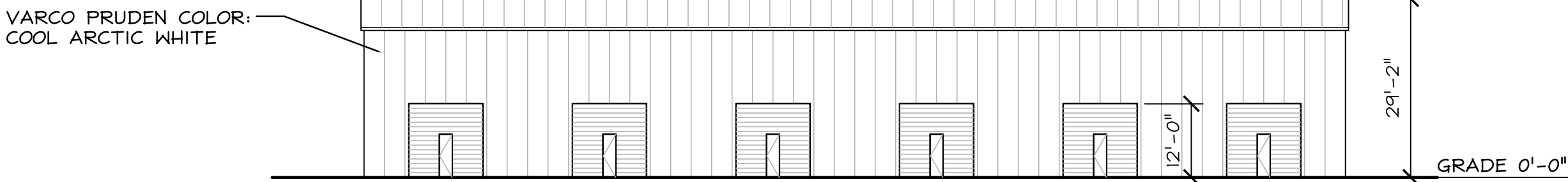
EXISTING FLOOR PLANELEVATIONS - BUILDING CA1

OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

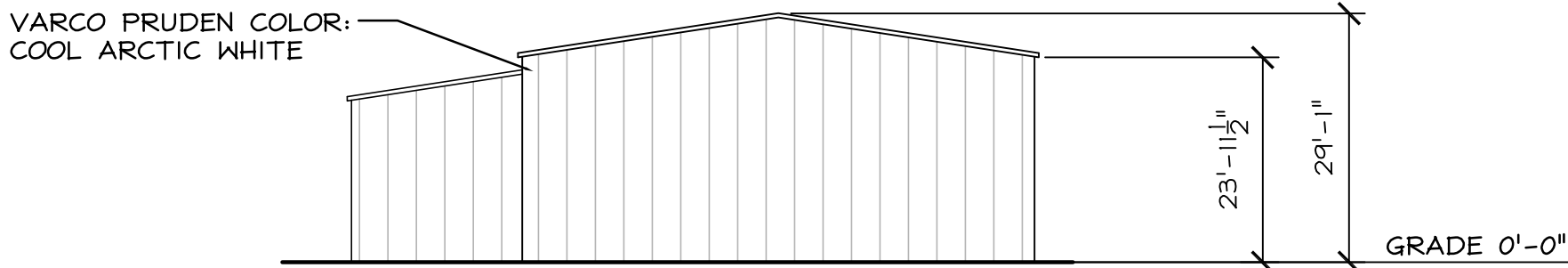
DATE	09/17/21
SCALE	AS NOTED
DRAWN	JN/YP
JOB	18055
SHEET	A2.30
OF	SHEETS

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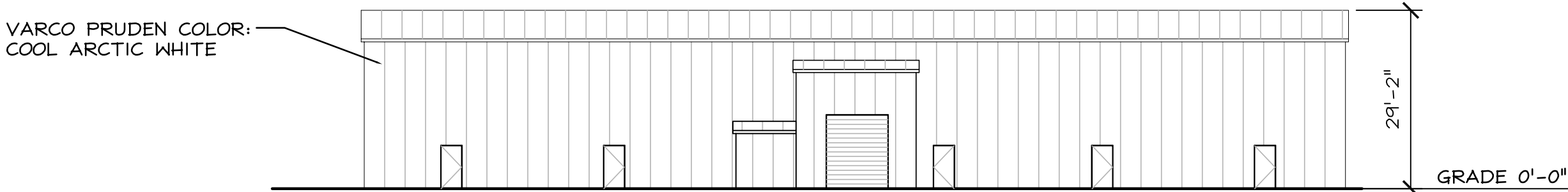
EXISTING BUILDING CA2



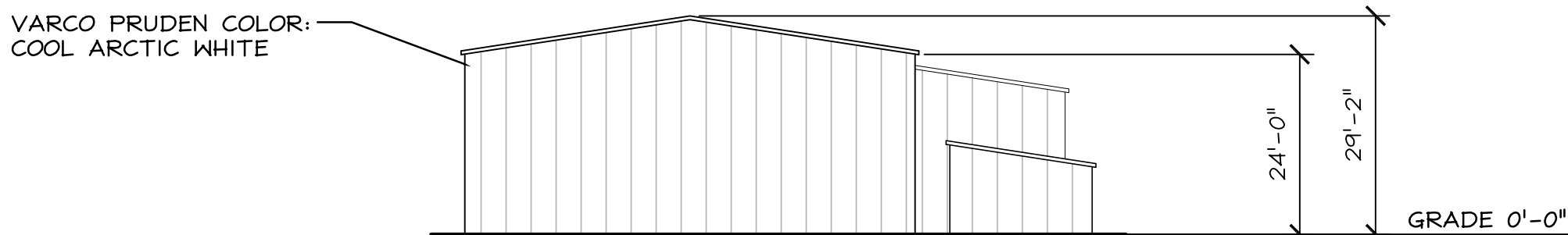
A ELEVATION - NORTH
SCALE: 1" = 20'-0"



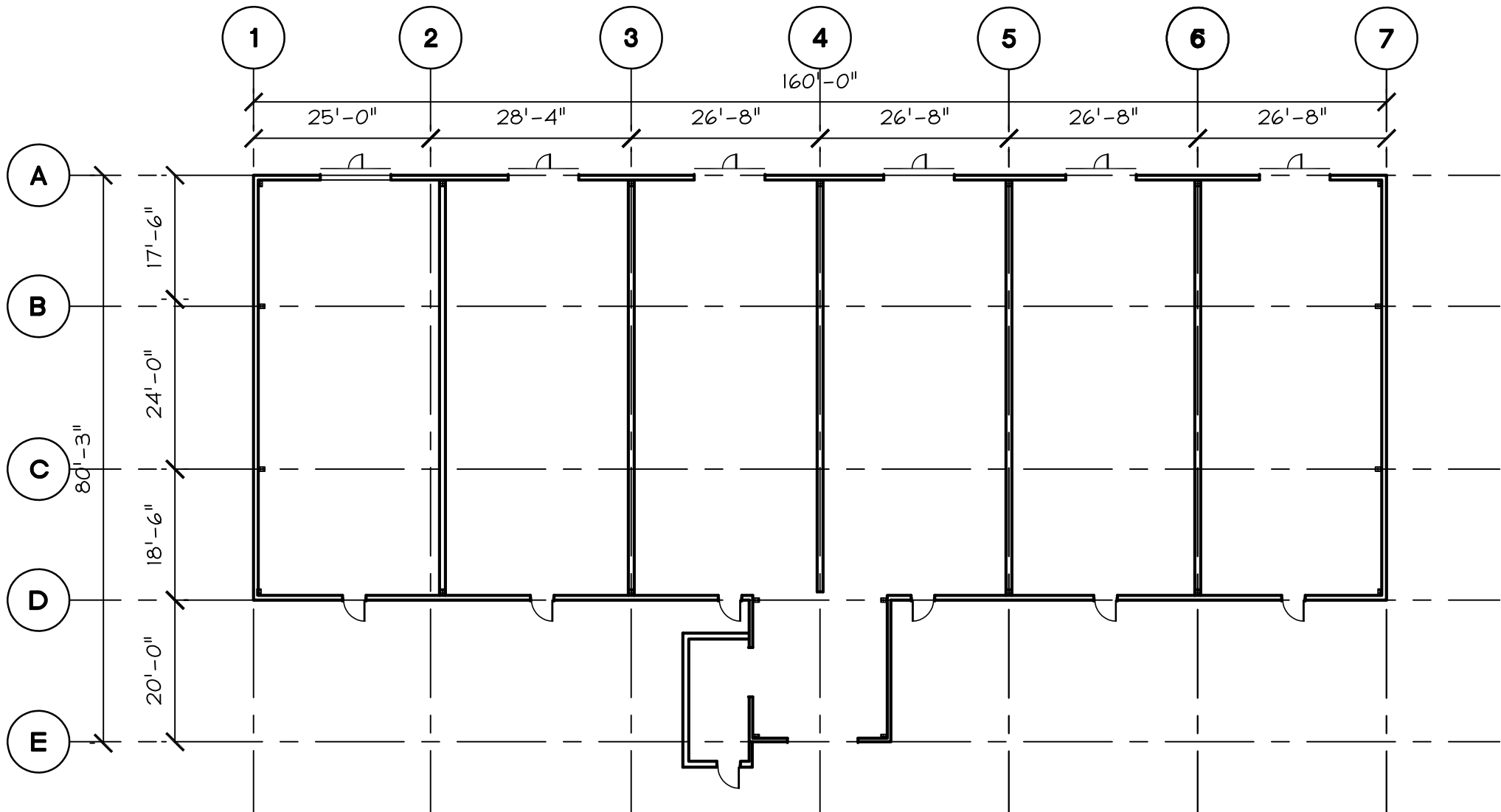
B ELEVATION - EAST
SCALE: 1" = 20'-0"



C ELEVATION - SOUTH
SCALE: 1" = 20'-0"



D ELEVATION - WEST
SCALE: 1" = 20'-0"



ORIGINAL PERMIT

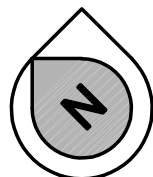
BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
CA2	U	10,179	1/300	33.93	2	36"

EXISTING

BLDG	OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
CA2	U	10,179	1/300	33.93	2	36"

SCOPE OF WORK

EXISTING PERMITTED BUILDING. NO WORK PROPOSED



PROJECT
NORTH

1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING CA2
SCALE: 1" = 20'-0"

REVISIONS	DATE	BY	DESCRIPTION

BELLI ARCHITECTURAL GROUP 831. 424. 4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIAQ.COM



EXISTING FLOOR PLAN ELEVATIONS - BUILDING CA2

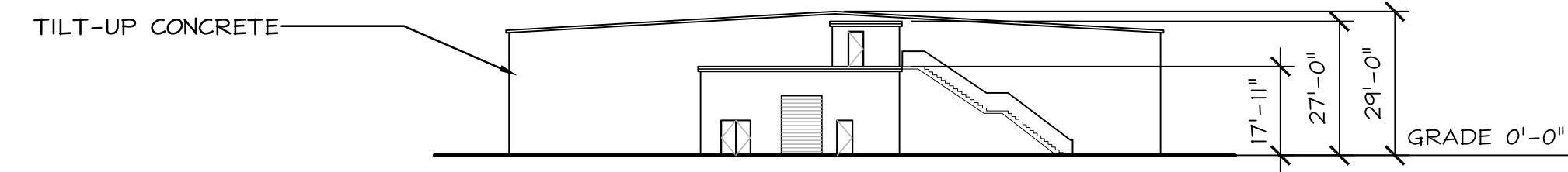
OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE	09/17/21
SCALE	AS NOTED
DRAWN	JN/YP
JOB	18055
SHEET	A2.31

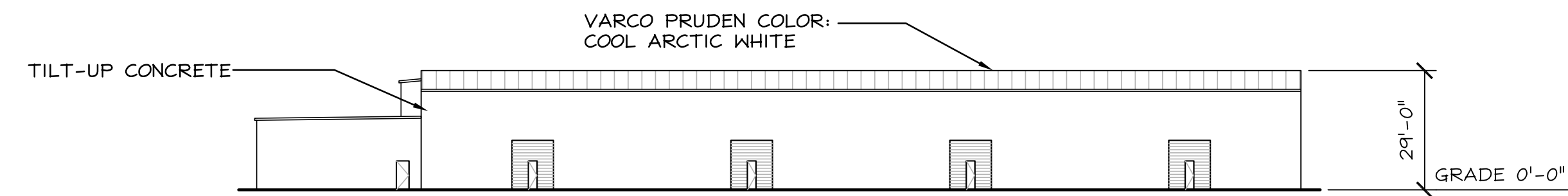
OF SHEETS

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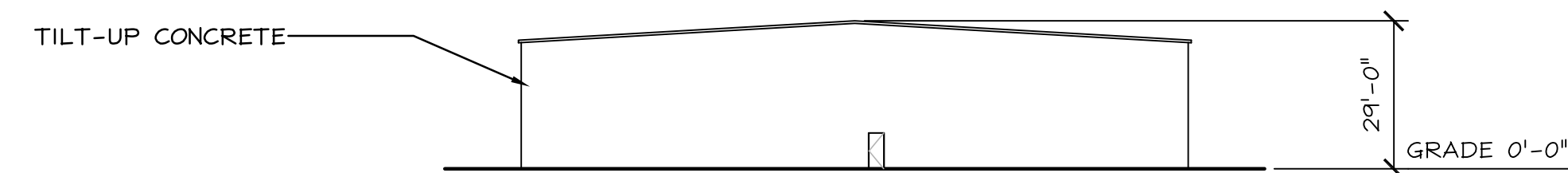
EXISTING BUILDING CA3



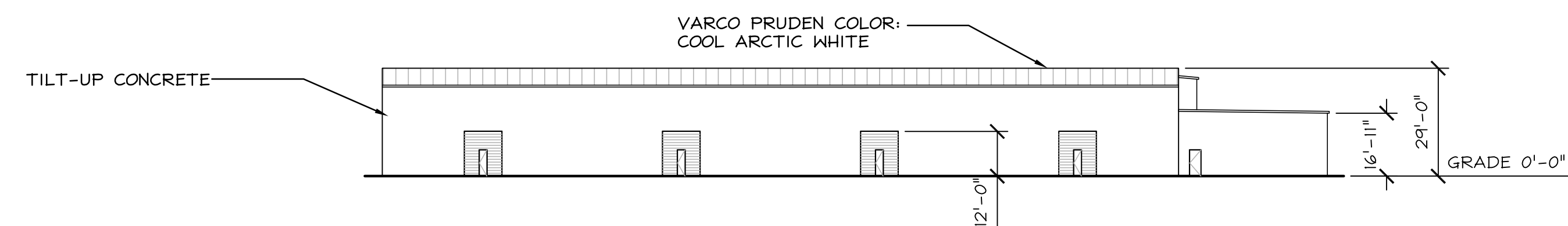
A EXISTING ELEVATION - NORTH
SCALE: 1" = 30'-0"



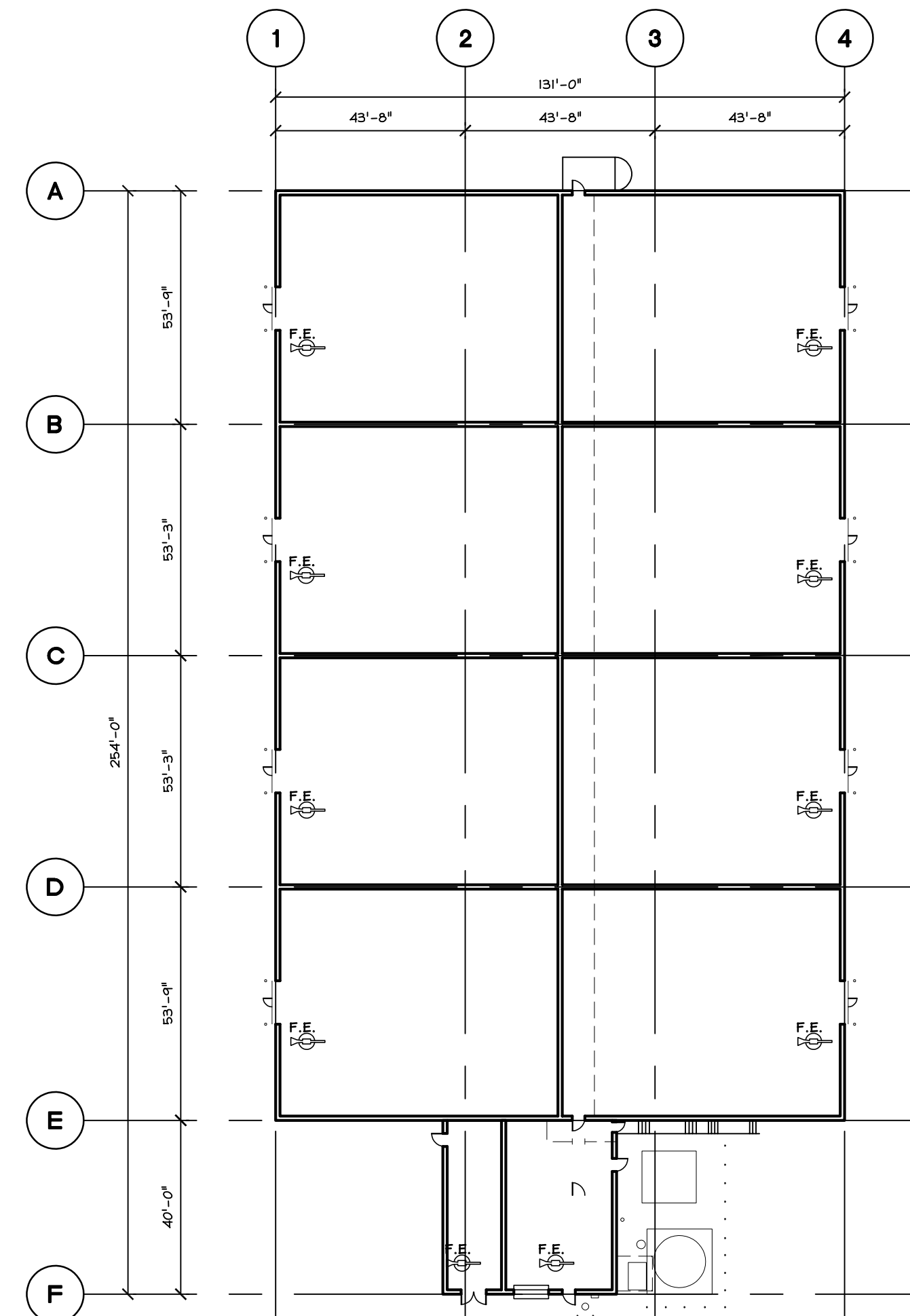
B EXISTING ELEVATION - EAST
SCALE: 1" = 30'-0"



C EXISTING ELEVATION - SOUTH
SCALE: 1" = 30'-0"



D EXISTING ELEVATION - WEST
SCALE: 1" = 30'-0"



1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING CA3
SCALE: 1" = 30'-0"

ORIGINAL PERMIT

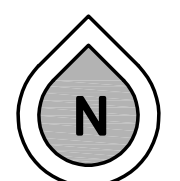
BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
CA3	S-1	29,634	1/500	59.26	2	36"

EXISTING

BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
CA3	S-1	29,634	1/500	59.26	2	36"

SCOPE OF WORK

EXISTING PERMITTED BUILDING. NO WORK PROPOSED



PROJECT
NORTH

EXISTING FLOOR PLAN/ELEVATION - BUILDING CA3

OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH

305 BLOOMFIELD A
GILROY, CA 95020

DATE 09/17/21

SCALE AS NOTED

DRAWN JN/YP

JOB	18055
-----	-------

SHEET

A2.32

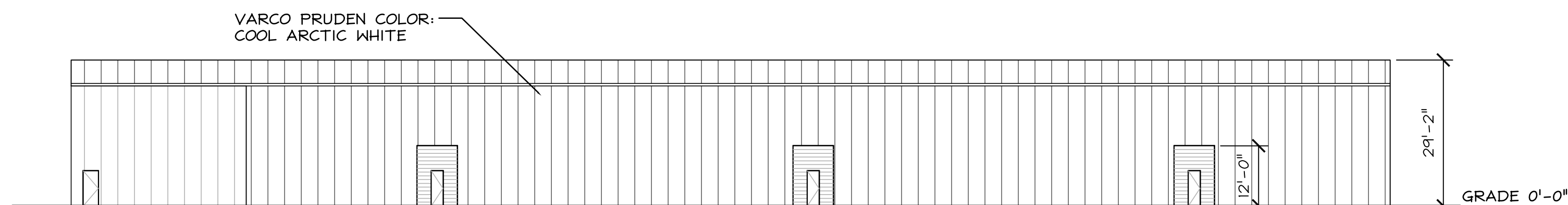
OF SHEETS

BELLI ARCHITECTURAL GROUP 831.424.4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIAG.COM

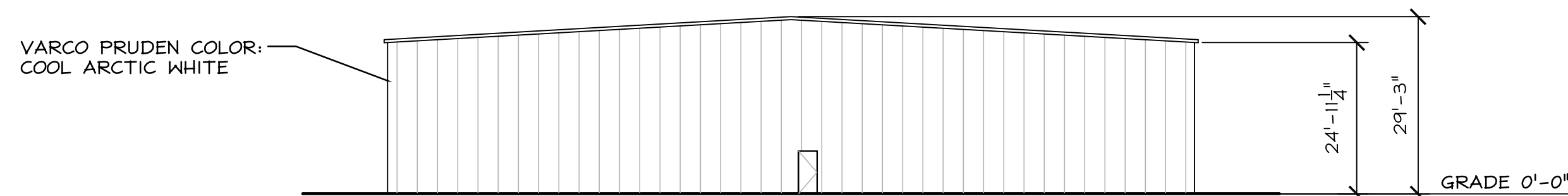
The logo for Bolt architectural group, featuring the word "Bolt" in a large, bold, sans-serif font, with a stylized leaf graphic integrated into the letter "t". The words "architectural group" are written in a smaller, lowercase, sans-serif font below "Bolt".

EXISTING BUILDING CA4

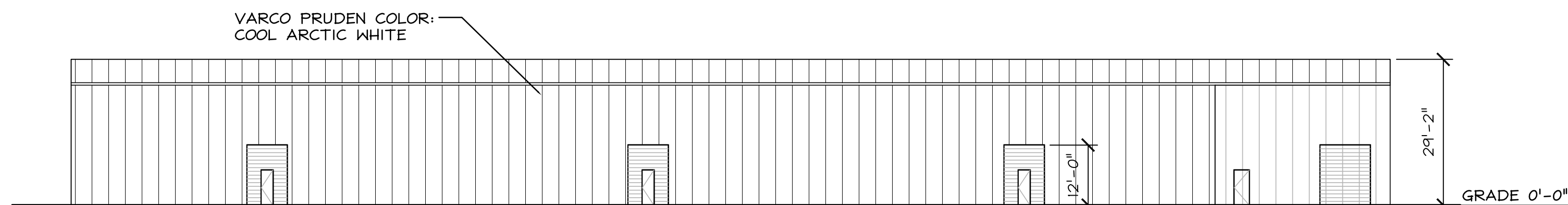
ELEVATION - NORTH
SCALE: 1" = 20'-0"



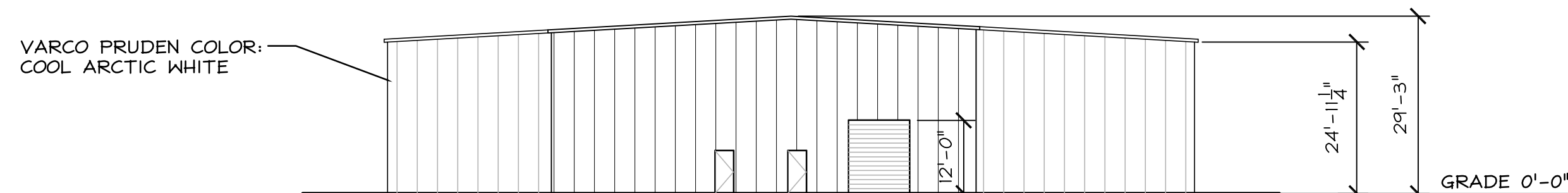
ELEVATION - EAST
SCALE: 1" = 20'-0"



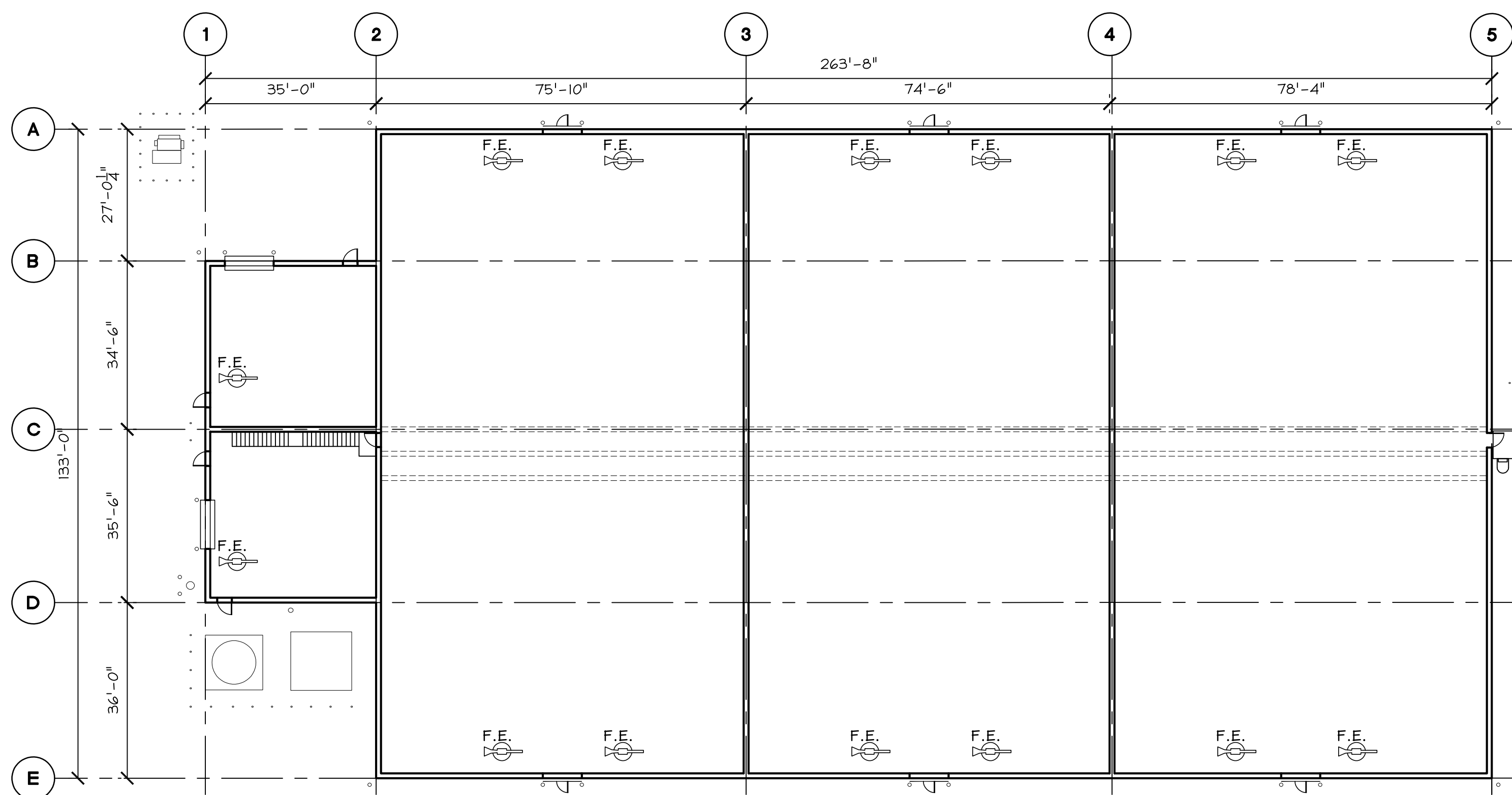
ELEVATION - SOUTH
SCALE: 1" = 20'-0"



ELEVATION - WEST
SCALE: 1" = 20'-0"



EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING CA4
SCALE: 1" = 20'-0"



ORIGINAL PERMIT

BLDG	OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
CA4	S-1	32,864	1/500	65.73	2	36"

EXISTING

BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
CA4	S-1	32,864	1/500	65.73	2	36"

SCOPE OF WORK

EXISTING PERMITTED BUILDING.
NO WORK PROPOSED.



EXISTING FLOOR PLAN/ELEVATIONS - BUILDING CA4

OVERALL SITE - BUILDING USES

CHRISTOPHER RANCH

305 BLOOMFIELD AVENUE
CLIFTON, CA 95019

DATE	09/17/21
SCALE	AS NOT
DRAWN	JN/YP
JOB	18055
SHEET	

A2.33

OF SHEETS

REVISIONS	DATE	BY	DESCRIPTION
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BELLI ARCHITECTURAL GROUP 831 . 424 . 4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
REF | IAG.COM

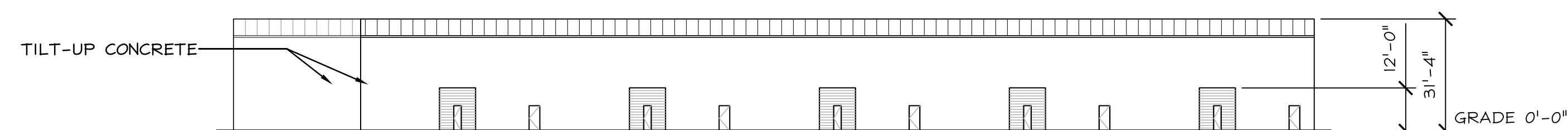
1100


 The logo for Bolt Architectural Group, featuring the word "Bolt" in a large, bold, sans-serif font, with a stylized leaf or branch graphic extending from the top of the letter "o". Below "Bolt" is the text "architectural group" in a smaller, lowercase, sans-serif font.

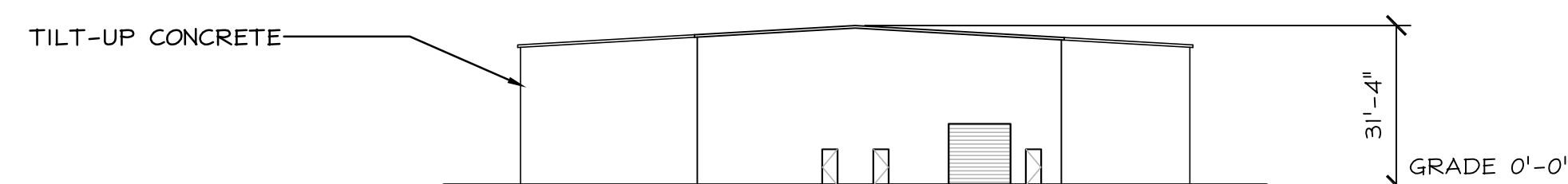
Electrical Group

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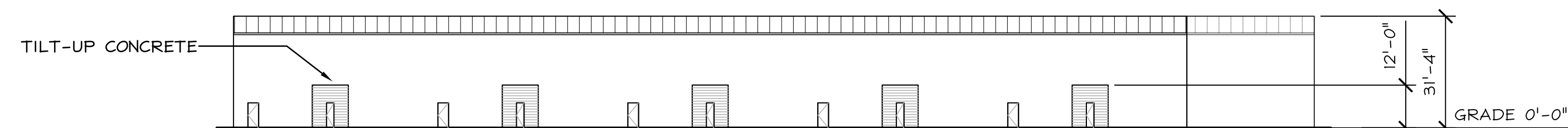
EXISTING BUILDING CA5



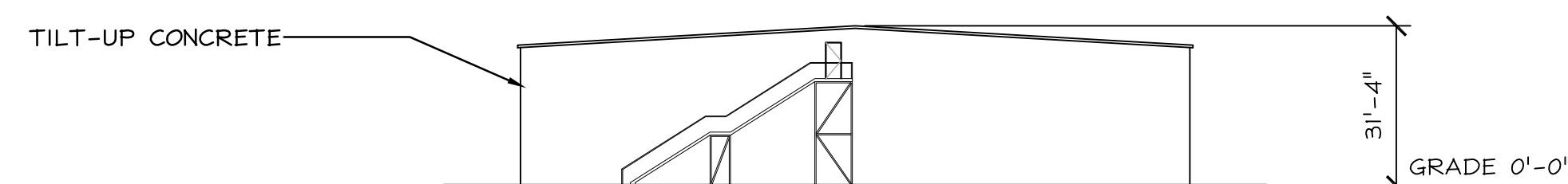
A EXISTING ELEVATION - NORTH
SCALE: 1" = 30'-0"



B EXISTING ELEVATION - EAST
SCALE: 1" = 30'-0"



C EXISTING ELEVATION - SOUTH
SCALE: 1" = 30'-0"



D EXISTING ELEVATION - WEST
SCALE: 1" = 30'-0"

ORIGINAL PERMIT

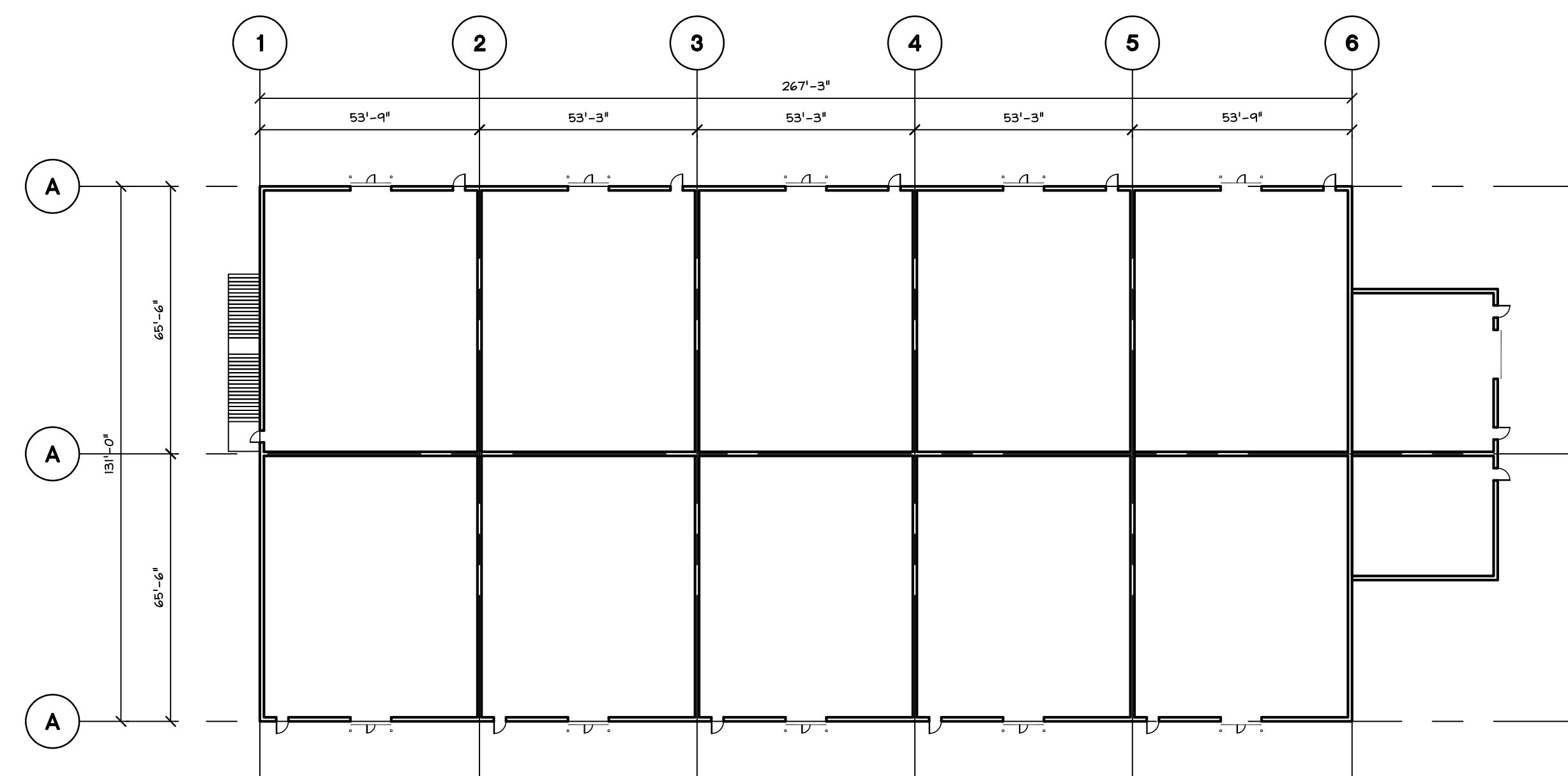
BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
CAS	S-1	37,551	1/500	75.102	2	36"

EXISTING

BLDG	OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
CAE	S-1	37,551	1/500	75.102	2	36"

SCOPE OF WORK

EXISTING PERMITTED BUILDING. NO WORK PROPOSED



1 EXISTING FLOOR PLAN AND ELEVATIONS - BUILDING CA5
SCALE: 1" = 30'-0"



PROJECT
NORTH

EXISTING FLOOR PLAN/ELE. - BUILDING CA5

OVERALL SITE - BUILDING USES

EXISTING | LOOK | LEARN
OVERALL SITE - BUILDING USES

305 BLOOMFIELD AVENUE

305 BLOOMFIELD AVE
GILROY, CA 95020

DATE 09/17/21

SCALE AS NOTED

DRAWN JN/YP

JOB	18055
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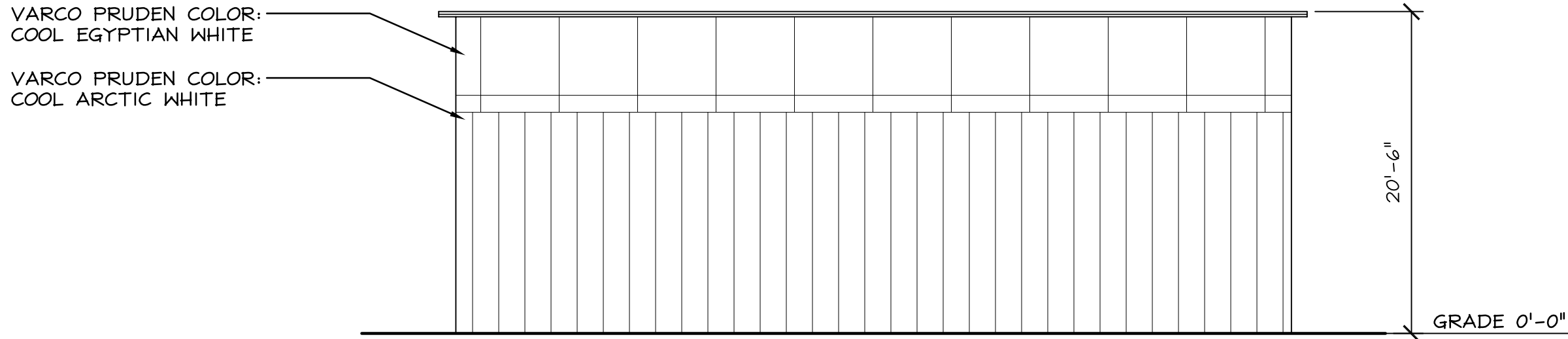
SHEET

A2.34

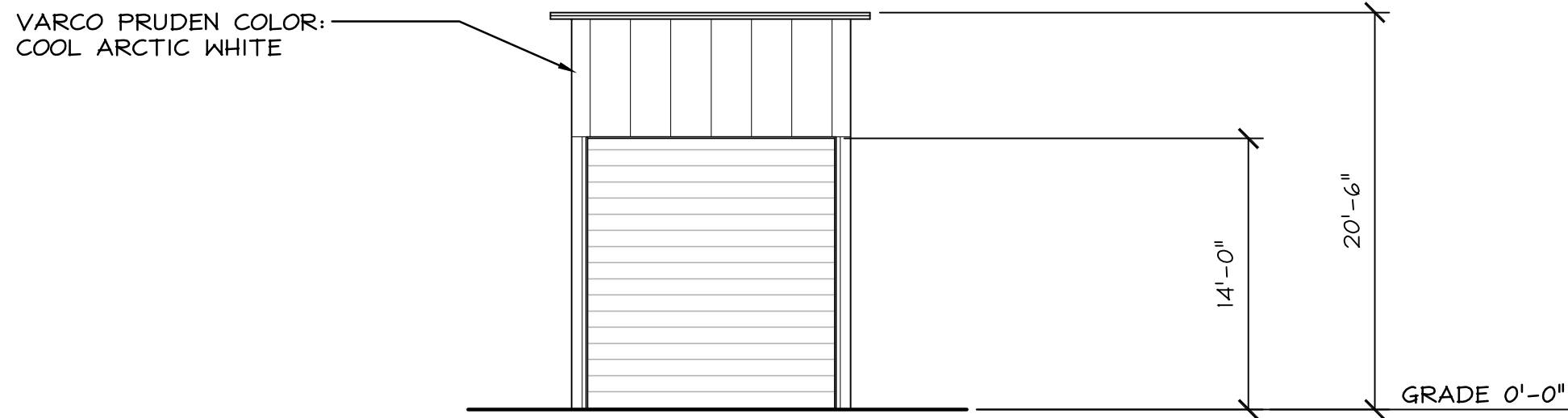
OF SHEETS

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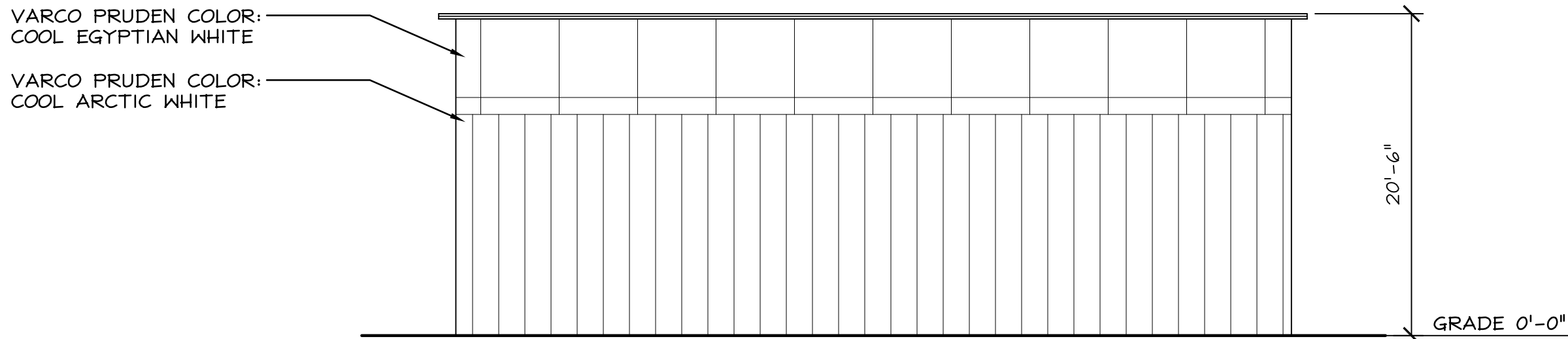
A ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



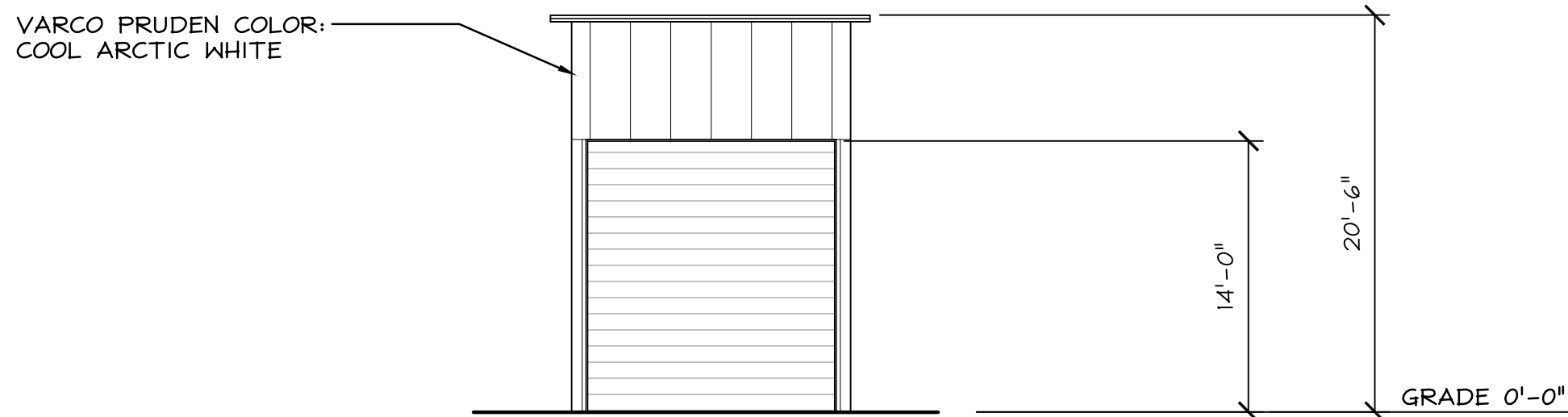
B ELEVATION - EAST
SCALE: 1/8" = 1'-0"



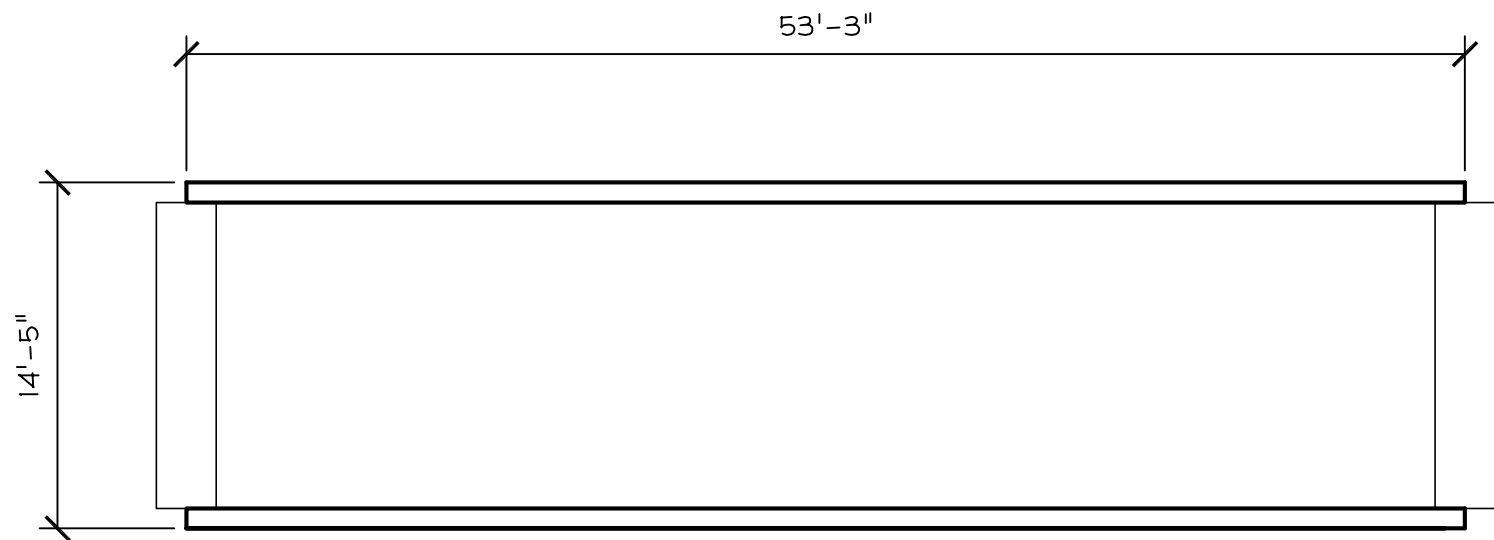
C ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



D ELEVATION - WEST
SCALE: 1/8" = 1'-0"



1 EXISTING FLOOR PLAN AND ELEVATIONS - ST - STORAGE
SCALE: 1/8" = 1'-0"



EXISTING

OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
U	768	N/A	-	-	-

ORIGINAL PERMIT

OCCUPANCY	AREA (S.F.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
U	768	N/A	-	-	-

SCOPE OF WORK

EXISTING TO REMAIN. NO PROPOSED WORK




EXISTING STORAGE

REVISIONS

DATE	BY	DESCRIPTION

BELLI ARCHITECTURAL GROUP 881. 424 . 4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIAQ.COM

architectural group

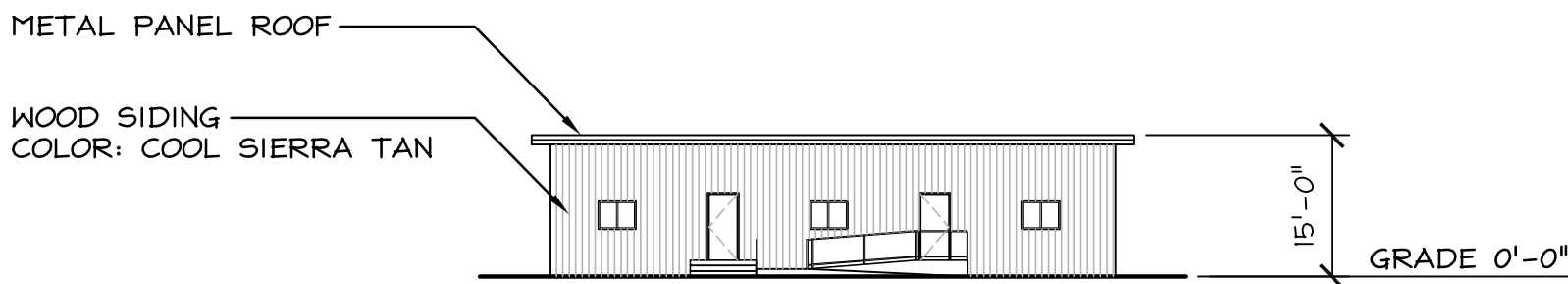
EXISTING FLOOR PLAN/ELEVATIONS - ST - STORAGE
OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE 09/17/21
SCALE AS NOTED
DRAWN JN/YP
JOB 18055
SHEET
A2.36
OF SHEETS

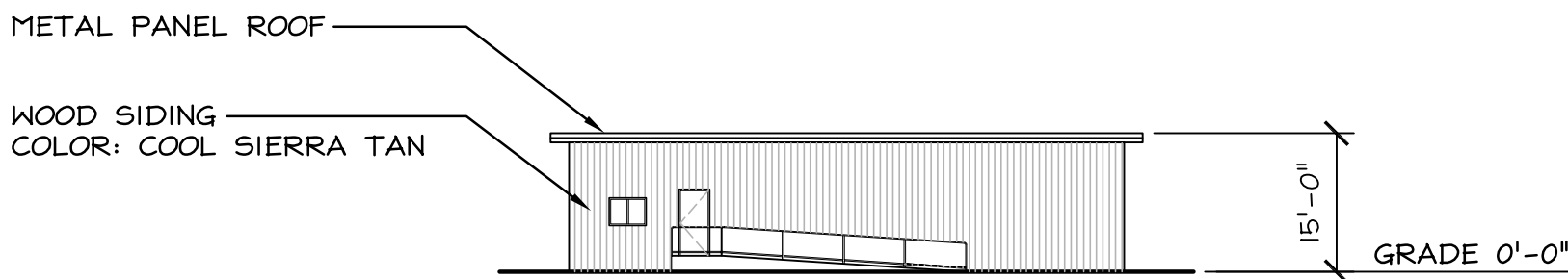
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EXISTING HEADSTART DAY CARE CENTER

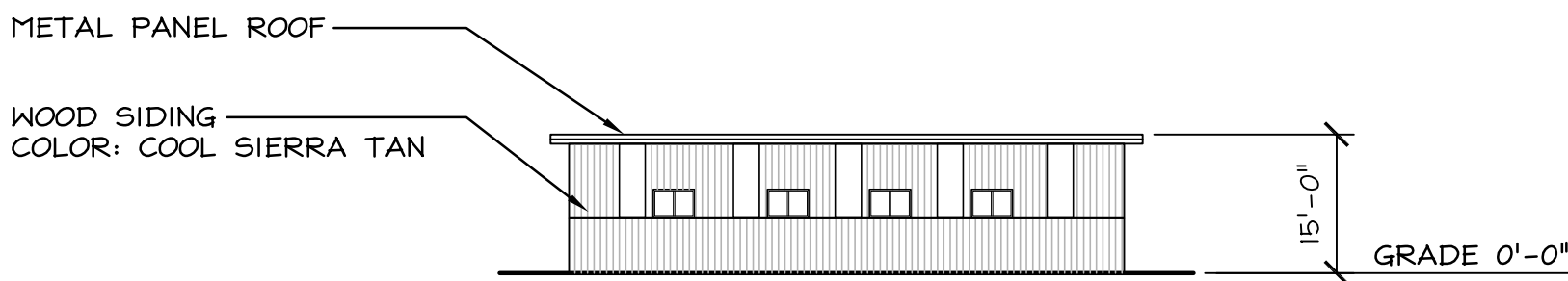
A ELEVATION - NORTH
SCALE: 1" = 20'-0"



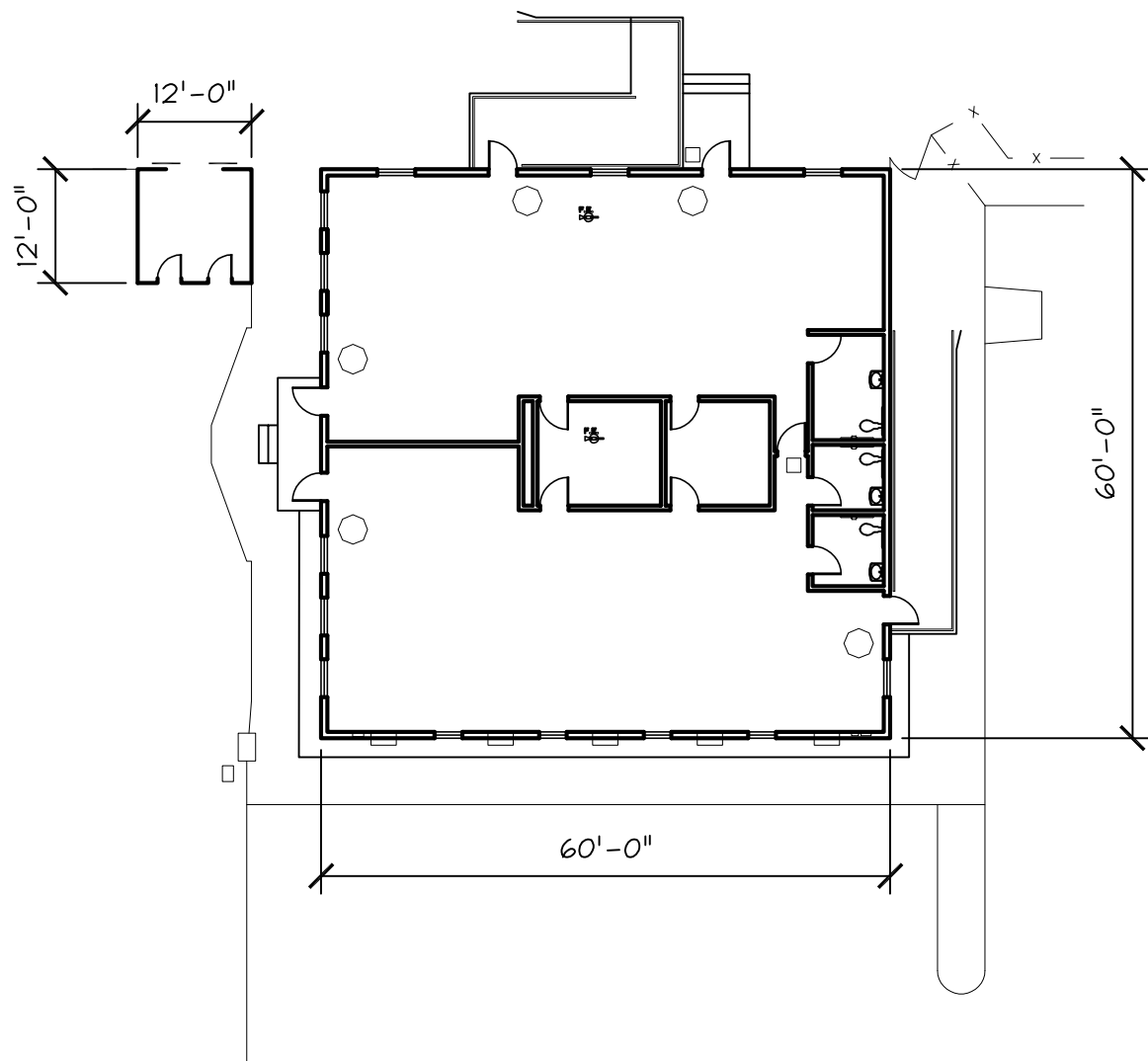
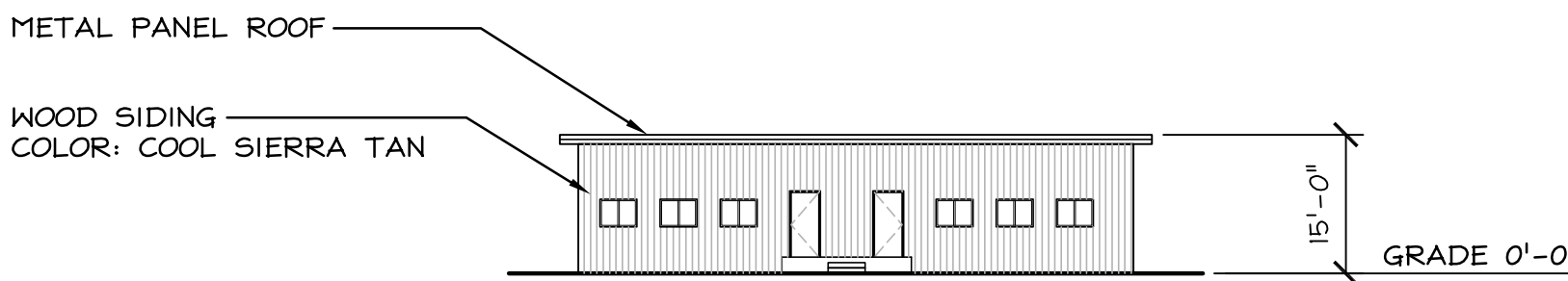
B ELEVATION - EAST
SCALE: 1" = 20'-0"



C ELEVATION - SOUTH
SCALE: 1" = 20'-0"



D ELEVATION - WEST
SCALE: 1" = 20'-0"



ORIGINAL PERMIT

OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
E	3,600	1/20	180	2	36"

EXISTING

OCCUPANCY	AREA (SF)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
E	3,600	1/20	180	2	36"

SCOPE OF WORK

EXISTING PERMITTED BUILDING. NO WORK PROPOSED




PROJECT NORTH

1 EXISTING FLOOR PLAN AND ELEVATIONS - HEADSTART DAY CARE CENTER
SCALE: 1" = 20'-0"

REVISIONS
DATE
BY
DESCRIPTION

BELLI ARCHITECTURAL GROUP 831. 424. 4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIA.G.COM

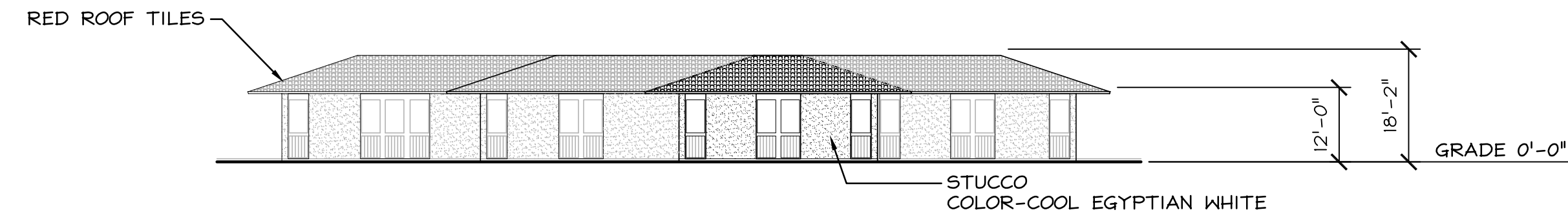
architectural group

EXISTING FLOOR PLANELEVATIONS - DAY CARE
OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

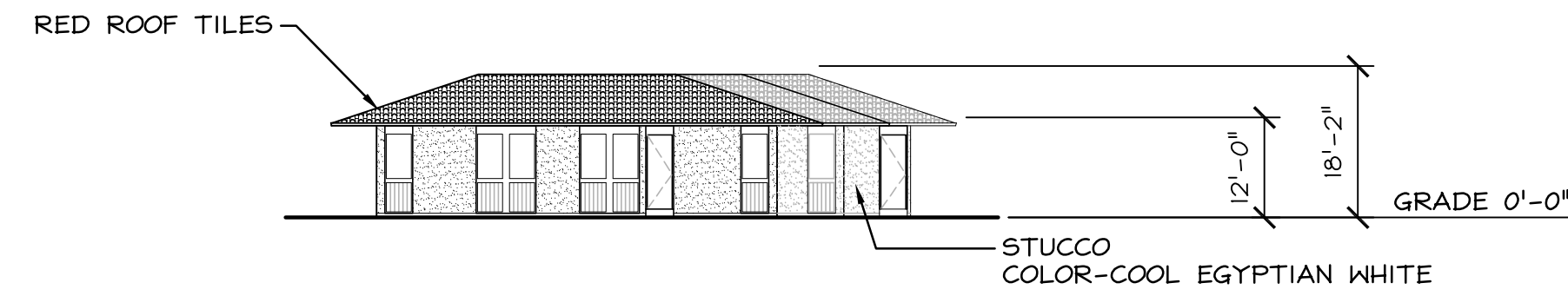
DATE 09/17/21
SCALE AS NOTED
DRAWN JN/YP
JOB 18055
SHEET
A2.37
OF SHEETS

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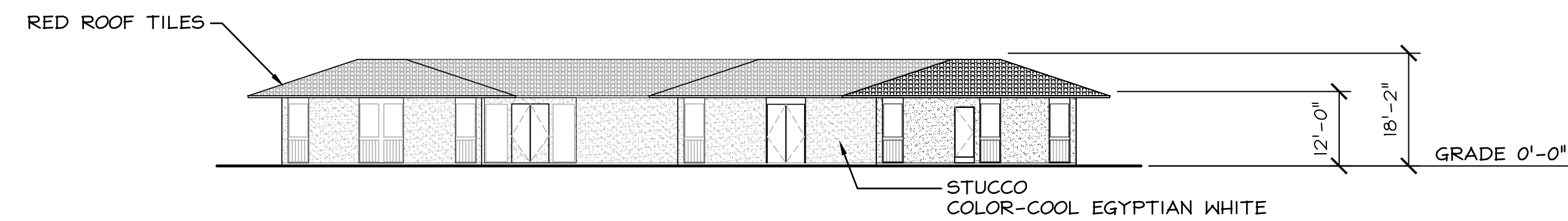
EXISTING MAIN OFFICE



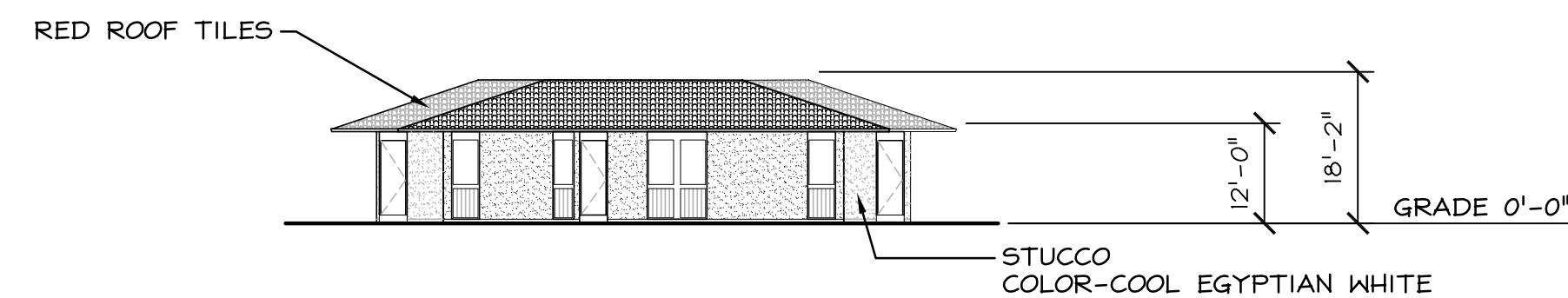
A **ELEVATION - NORTH**
SCALE: 1" = 20'-0"



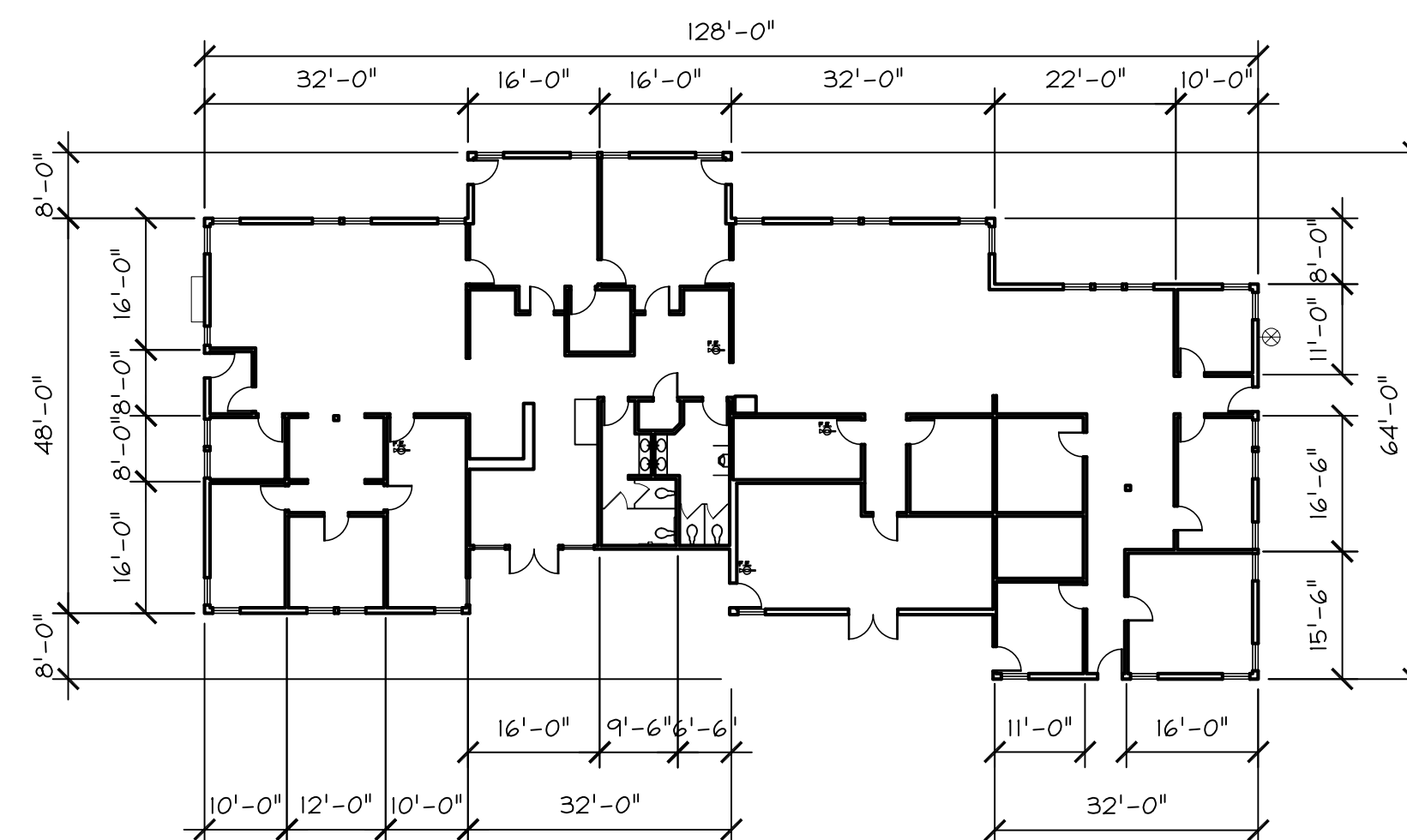
B ELEVATION - EAST
SCALE: 1" = 20'-0"



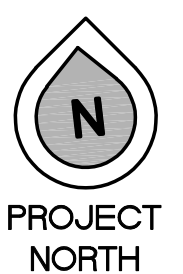
C ELEVATION - SOUTH
SCALE: 1" = 20'-0"



D ELEVATION - WEST
SCALE: 1" = 20'-0"



1 EXISTING FLOOR PLAN AND ELEVATIONS - MAIN OFFICE
SCALE: 1" = 20'-0"



ORIGINAL PERMIT

OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
B	6,161	1/150	41	2	36"

EXISTING

OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
B	6,161	1/150	41	2	36 ^{II}

SCOPE OF WORK

EXISTING PERMITTED BUILDING. NO WORK PROPOSED

OVERALL SITE - BUILDING USES

CHRISTOPHER RANCH
805 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE	09/17/21
SCALE	AS NOTED
DRAWN	JN/YP
JOB	18055
SHEET	

A2.38

BELLI ARCHITECTURAL GROUP 831.424.4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIA.G.COM



Bolt architectural group

EXISTING PERSONAL OFFICE

RED ROOF TILES

VARCO-PRUDEN COLOR MATCH:
COLOR-COOL EGYPTIAN WHITE

12'-0"

18'-2"

GRADE 0'-0"

RED ROOF TILES

VARCO-PRUDEN COLOR MATCH;
COLOR-COOL EGYPTIAN WHITE

12'-0"

18'-2"

GRADE 0'-0"

RED ROOF TILES

VARCO-PRUDEN COLOR MATCH:
COLOR-COOL EGYPTIAN WHITE

12'-0"

18'-2"

GRADE 0'-0"

ORIGINAL PERMIT

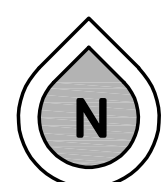
OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
B	3,072	1/150	20.48	2	4.096"

EXISTING

OCCUPANCY	AREA (SF.)	OCC. LOAD FACTOR	OCC. LOAD	EXITS REQ'D	REQ. WIDTH OF DOORS (0.2)
B	3,072	1/150	20.48	2	4.096"

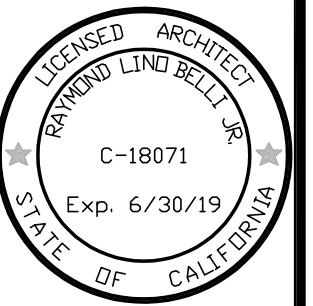
SCOPE OF DEMOLITION

NO DEMO WORK PROPOSED



PROJECT
NORTH

REVISIONS	DATE	BY	DESCRIPTION



BELLI ARCHITECTURAL GROUP 831.424.4620
235 MONTEREY STREET, SUITE B, SALINAS, CA 93901
BELLIA.G.COM



EXISTING & PROPOSED FLOOR PLAN/VELE. - PERSONAL OFF.

OVERALL SITE - BUILDING USES
CHRISTOPHER RANCH
305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE 09/17/21

SCALE AS NOTED

DRAWN JN/YP

JOB	18055
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SHEET

A2.39

OF SHEETS

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ROOF SHINGLES

WOOD SIDING
COLOR: COOL SIERRA TAN

7'-8"

8'-10"

GRADE 0'-0"

ROOF SHINGLES

WOOD SIDING
COLOR: COOL SIERRA TAN

8'-10"

GRADE 0'-0"

ROOF SHINGLES

WOOD SIDING
COLOR: COOL SIERRA TAN

8'-10"

7'-8"

GRADE 0'-0"

Technical drawing of a 10' x 10' shed. The drawing shows a side elevation with a gabled roof. The roof is labeled "ROOF SHINGLES". The walls are labeled "WOOD SIDING" and "COLOR: COOL SIERRA TAN". The height of the shed is indicated as "8'-10\"

Technical drawing of a door frame. The drawing shows a cross-section of the frame with a door. The width of the frame is labeled as 9'-3" and the height is labeled as 10'-2".



ROOF SHINGLES

VARCO-PRUDEN
COLOR MATCH
COLOR: COOL SIERRA TAN

8'-10"

GRADE 0'-0"

Technical drawing of a shed with the following dimensions and labels:


- ROOF SHINGLES**: Label pointing to the roof.
- 7'-11"**: Height of the main shed body.
- 8'-10"**: Total height including the roof.
- VARCO-PRUDEN**: Label pointing to the shed body.
- COLOR MATCH**: Label pointing to the shed body.
- COLOR: COOL SIERRA TAN**: Label pointing to the shed body.
- GRADE 0'-0"**: Label indicating the ground level.

Technical drawing of a Varco-Pruden shed. The drawing shows a side elevation of the structure. Key features and dimensions include:

- Roof:** Labeled "ROOF SHINGLES". The roofline is shown with a slight pitch.
- Dimensions:**
 - Overall height: 8'-10"
 - Height of the main body: 7'-4"
 - Ground level: GRADE 0'-0"
- Labels:**
 - VARCO-PRUDEN
 - COLOR MATCH
 - COLOR: COOL SIERRA TAN

Technical drawing of a shed with the following specifications:

- Roof:** ROOF SHINGLES
- Color:** VARGO-PRUDEN COLOR MATCH COLOR: COOL SIERRA TAN
- Dimensions:**
 - Overall height: 8'-10"
 - Interior height: 7'-11"
 - Base: GRADE 0'-0"



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EXISTING FLOOR PLAN/ELEVATIONS

OVERALL SITE - BUILDING USES

CHRISTOPHER RANCH

3305 BLOOMFIELD AVENUE
GILROY, CA 95020

DATE	09/17/21
SCALE	AS NOTED
DRAWN	JN/YP
JOB	18055
SHEET	A2.40
OF	SHEETS