

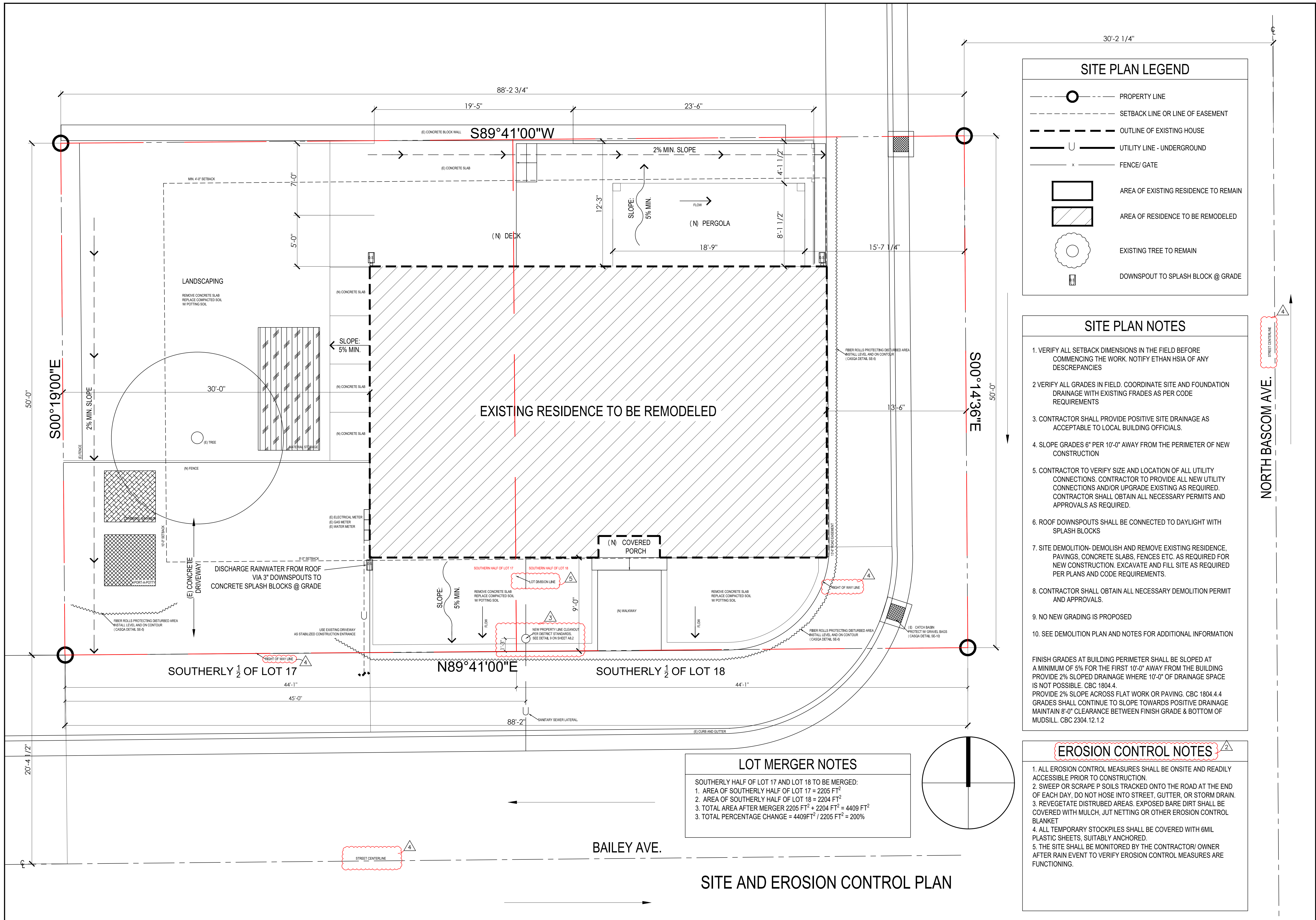
REVISIONS	BY
03-20-2020	ESH
04-21-2020	ESH
05-01-2020	ESH
06-02-2020	ESH
06-24-2020	ESH
07-28-2020	ESH

Ethan Hsia Design  
 Ethan S. Hsia, Designer  
 Cell: (408) 623-6391  
 E-mail: ethan@ethanshia.co

**QURESHI RESIDENCE**  
 85 NORTH BASCOM AVENUE, SAN JOSE, CA 95125

DRAWN: ESH  
 SCALE: 1/4"=1'-0"  
 DATE: 7/28/2020

**A1.0**



### SITE PLAN LEGEND

- --- PROPERTY LINE
- SETBACK LINE OR LINE OF EASEMENT
- - - OUTLINE OF EXISTING HOUSE
- U --- UTILITY LINE - UNDERGROUND
- x --- FENCE/ GATE
- [Hatched Box] AREA OF EXISTING RESIDENCE TO REMAIN
- [Diagonal Lines Box] AREA OF RESIDENCE TO BE REMODELED
- (with cross) EXISTING TREE TO REMAIN
- [Rectangular Symbol] DOWNSPOUT TO SPLASH BLOCK @ GRADE

- ### SITE PLAN NOTES
1. VERIFY ALL SETBACK DIMENSIONS IN THE FIELD BEFORE COMMENCING THE WORK. NOTIFY ETHAN HSIA OF ANY DISCREPANCIES
  2. VERIFY ALL GRADES IN FIELD. COORDINATE SITE AND FOUNDATION DRAINAGE WITH EXISTING GRADES AS PER CODE REQUIREMENTS
  3. CONTRACTOR SHALL PROVIDE POSITIVE SITE DRAINAGE AS ACCEPTABLE TO LOCAL BUILDING OFFICIALS.
  4. SLOPE GRADES 6" PER 10'-0" AWAY FROM THE PERIMETER OF NEW CONSTRUCTION
  5. CONTRACTOR TO VERIFY SIZE AND LOCATION OF ALL UTILITY CONNECTIONS. CONTRACTOR TO PROVIDE ALL NEW UTILITY CONNECTIONS AND/OR UPGRADE EXISTING AS REQUIRED. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS AS REQUIRED.
  6. ROOF DOWNSPOUTS SHALL BE CONNECTED TO DAYLIGHT WITH SPLASH BLOCKS
  7. SITE DEMOLITION- DEMOLISH AND REMOVE EXISTING RESIDENCE, PAVINGS, CONCRETE SLABS, FENCES ETC. AS REQUIRED FOR NEW CONSTRUCTION. EXCAVATE AND FILL SITE AS REQUIRED PER PLANS AND CODE REQUIREMENTS.
  8. CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMIT AND APPROVALS.
  9. NO NEW GRADING IS PROPOSED
  10. SEE DEMOLITION PLAN AND NOTES FOR ADDITIONAL INFORMATION
- FINISH GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 5% FOR THE FIRST 10'-0" AWAY FROM THE BUILDING PROVIDE 2% SLOPED DRAINAGE WHERE 10'-0" OF DRAINAGE SPACE IS NOT POSSIBLE. CBC 1804.4.4  
 PROVIDE 2% SLOPE ACROSS FLAT WORK OR PAVING. CBC 1804.4.4  
 GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE MAINTAIN 8'-0" CLEARANCE BETWEEN FINISH GRADE & BOTTOM OF OF MUDSILL. CBC 2304.12.1.2

### LOT MERGER NOTES

SOUTHERLY HALF OF LOT 17 AND LOT 18 TO BE MERGED:

1. AREA OF SOUTHERLY HALF OF LOT 17 = 2205 FT<sup>2</sup>
2. AREA OF SOUTHERLY HALF OF LOT 18 = 2204 FT<sup>2</sup>
3. TOTAL AREA AFTER MERGER 2205 FT<sup>2</sup> + 2204 FT<sup>2</sup> = 4409 FT<sup>2</sup>
3. TOTAL PERCENTAGE CHANGE = 4409FT<sup>2</sup> / 2205 FT<sup>2</sup> = 200%

- ### EROSION CONTROL NOTES
1. ALL EROSION CONTROL MEASURES SHALL BE ONSITE AND READILY ACCESSIBLE PRIOR TO CONSTRUCTION.
  2. SWEEP OR SCRAPE P SOILS TRACKED ONTO THE ROAD AT THE END OF EACH DAY, DO NOT HOSE INTO STREET, GUTTER, OR STORM DRAIN.
  3. REVEGETATE DISTURBED AREAS. EXPOSED BARE DIRT SHALL BE COVERED WITH MULCH, JUT NETTING OR OTHER EROSION CONTROL BLANKET
  4. ALL TEMPORARY STOCKPILES SHALL BE COVERED WITH 6MIL PLASTIC SHEETS, SUITABLY ANCHORED.
  5. THE SITE SHALL BE MONITORED BY THE CONTRACTOR/ OWNER AFTER RAIN EVENT TO VERIFY EROSION CONTROL MEASURES ARE FUNCTIONING.

## SITE AND EROSION CONTROL PLAN