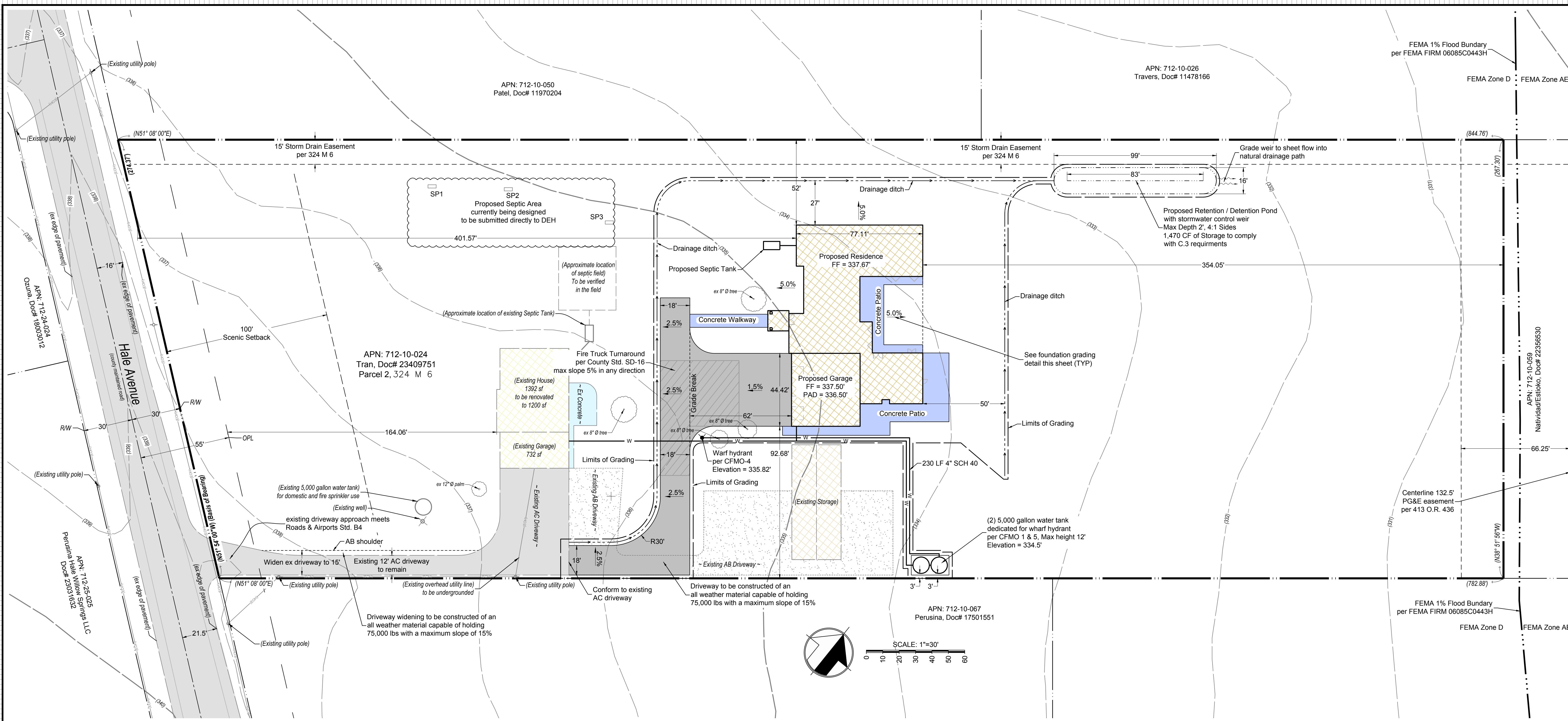


FOR PLANCHECK ONLY

**MH Engineering Co.**  
Morgan Hill, CA 95037  
16075 Vineyard Boulevard

**Tran - Site Plan**  
**19950 Hale Ave - APN 712-10-024**

DATE: 7/14/2020  
SCALE: 1" = 30'  
DRAWN BY: DF  
CHECKED BY: ATA  
JOB NO: **217003**  
SHEET: **1**  
OF: **1**



**Applicant/Owner:**  
Max Tran  
19950 Hale Avenue  
Morgan Hill, CA 95037

**Engineer:**  
Allen Andrade LS7741, RCE 58384  
MH Engineering  
16075 Vineyard Blvd.  
Morgan Hill, CA 95037  
408.779.7381  
allena@mhengineering.com

**Project Information:**  
APN 783-17-008  
Present Use: Residential  
Proposed Use: Residential  
Present Zoning: A-20Ac-sr  
Proposed Zoning: A-20Ac-sr  
Sanitary Sewer: Ex Septic System  
Gas and Electric: P&E  
Water: Existing Well  
Telephone: Verizon  
Existing Improvements: As Shown  
Area: 4.98 ac

**Impervious Area Summary**

Proposed Residence & Garage	7,386 SF
Proposed Driveway	7,087 SF
Proposed Patios	2,848 SF
<b>Total New Impervious Area</b>	<b>17,321 SF</b>

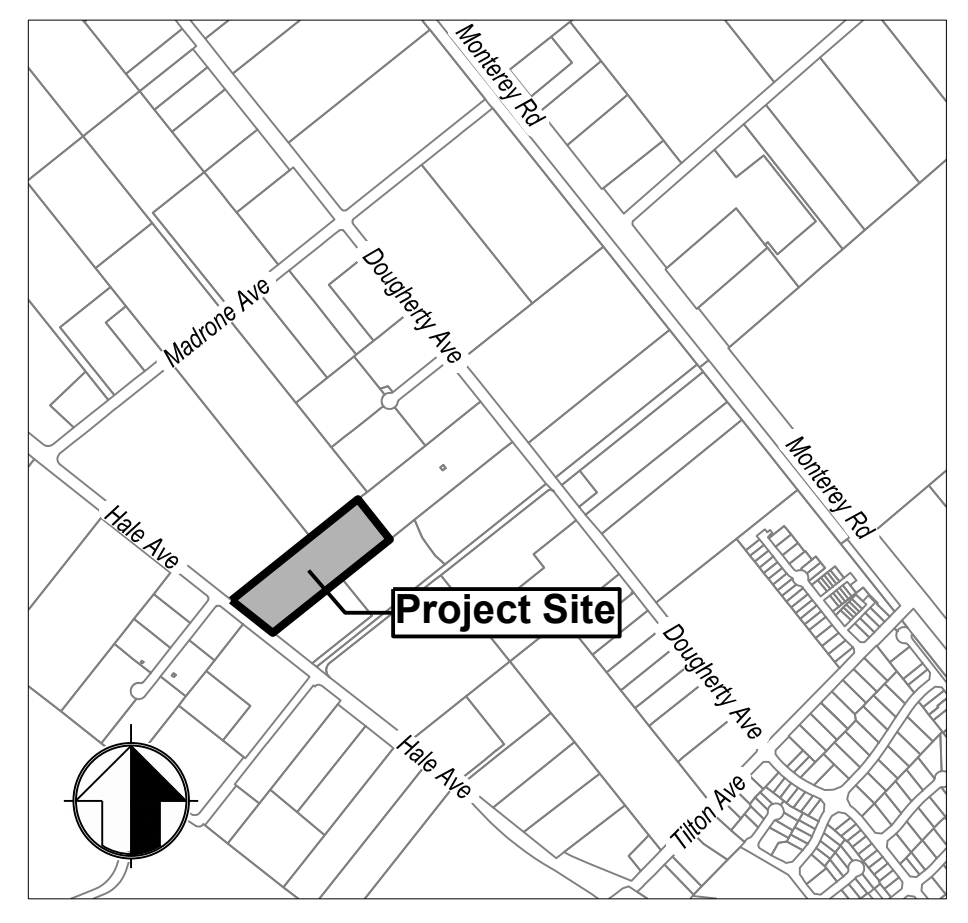
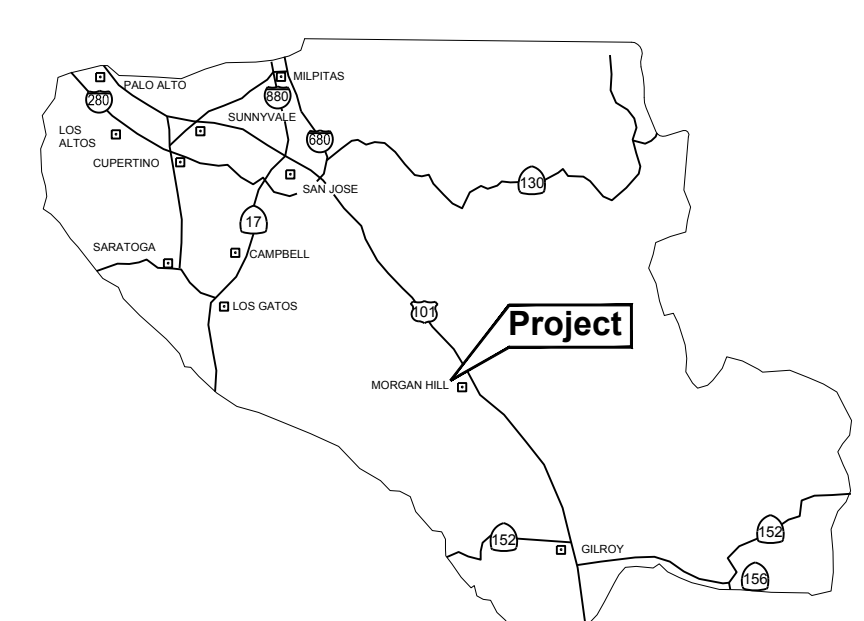
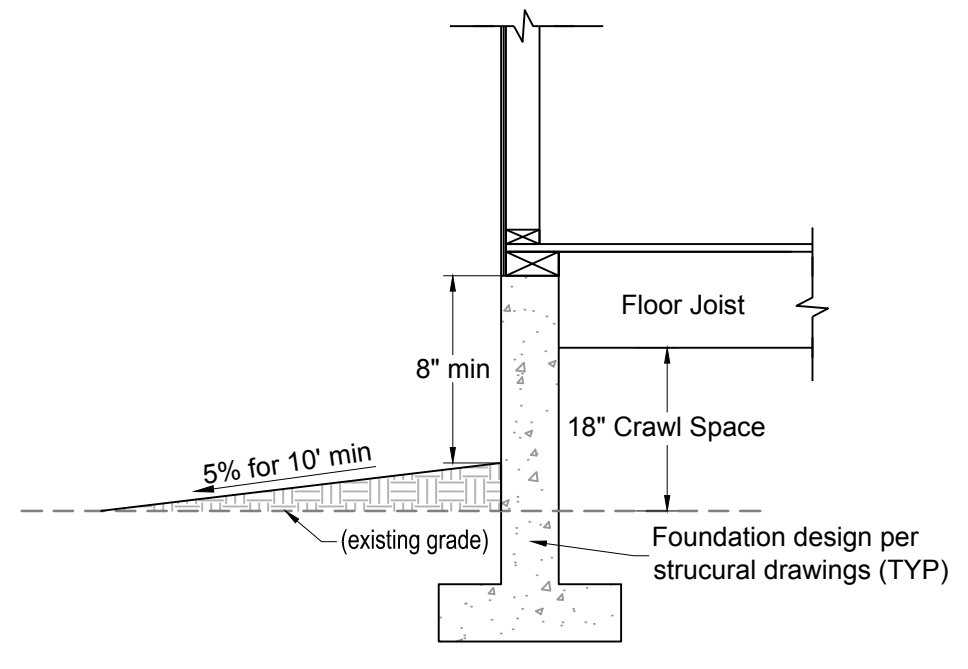
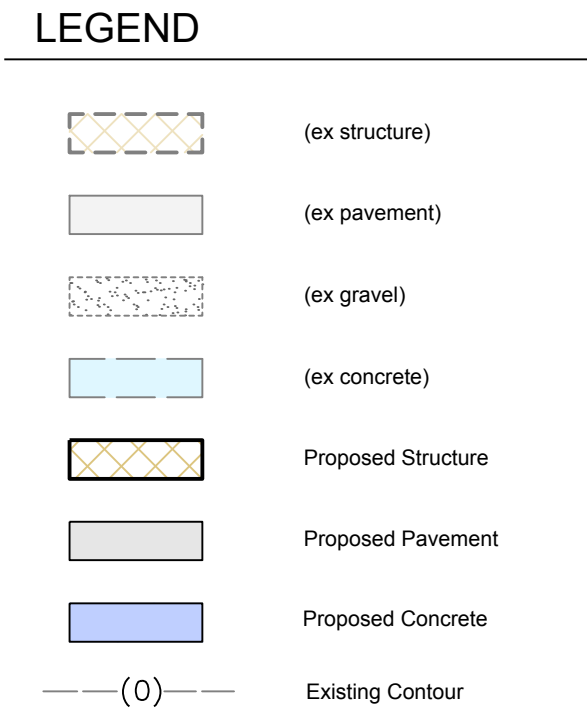
**Earthwork Quantities**

	Cut	Fill	Max Cut	Max Fill
Building plus 5'	0 cy	124 cy	0.00'	1.25'
Site Grading	0 cy	25 cy	0.00'	0.50'
Driveway	81 cy	63 cy	1.00'	1.00'
Retention Pond	62 cy	0 cy	2.25'	0.00'
<b>Total</b>	<b>143 cy</b>	<b>88 cy</b>		

Note: Total earthwork quantities do not include earthwork from buildings. This grading is covered under the building permit.

**Proposed Floor Area**

Proposed Residence	5,529 SF
Proposed Attached Garage	1,857 SF
<b>Total Floor Area</b>	<b>7,386 SF</b>



**Area of Disturbance = 41,708 SF**

**Basis of Bearings:** The bearings shown upon this map are based on the northerly right-of-way line of Hale Avenue (formerly Orchard Avenue) as found monumented and recorded as North 51° 54'00" West on that map thereof recorded in Book 324 of Maps, at Page 6, Santa Clara County Records.

**Boundary Note:** Property lines shown on this plan are based on record data and boundary monumentation measured to date.

**Flood Zone:** The property lies wholly in Zone D, areas in which flood hazards are undetermined, but possible, per FEMA Firm Panels 06085C0440H and 06085C0443H, effective 5/18/2009.

**Note:** Fire sprinklers will be a deferred submittal.

**Note:** No trees are to be removed.