

NEFF RESIDENCE REMODEL

20665 VIEW OAKS WAY SAN JOSE, CA 95120

STANDARD ABBREVIATIONS

&	and	ID	inside diameter
@	at	IN	inches
C.L.	centerline	INT	interior
Ø	diameter	INSUL	insulation
PLT	plate	JAN	janitor
#	pound/number	JD	joint
(E)	existing	KT	kiln dried
(N)	new		
AB	anchor bolt		
AC	air conditioner		
AGG	aggregate	LAM	laminated
ALT	alternate	LAV	lavatory
ALUM	aluminum		
APPROX	approximate	MAT	material
ARCH	architect	MAX	maximum
ASB	asbestos	MC	medicine cabinet
ASPH	asphalt	MDF	medium density fiberboard
AVE	avenue	MECH	mechanical
AVG	average	MEMB	membrane
		MET	metal
BD	board	MFGR	manufacture(r)
BITUM	bituminous	MH	manhole
BLDG	building	MIN	minimum
BLK	block	MIR	mirror
BVLD	boulevard	MISC	miscellaneous
BM	benchmark/beam	MO	masonry opening
		MOD	module/modular
CAB	cabinet	MUL	mullion
CB	catch basin		
CEM	cement		
CI	cast iron	NIC	not in contract
CJ	control joint	NO	number
CLG	ceiling	NOM	nominal
CLK	caulking	NTS	not to scale
CLR	clear		
CNTR	counter	OC	on center
CO	cleanout	OD	outside diameter
COL	column	OFF	office
CONC	concrete	OPNG	opening
CONN	connection	OPP	opposite
CONST	construction		
CONT	continuous	PART	partition
CORR	corridor	PBO	provided/supplied by owner
CTR	center	PERP	perpendicular
CYL	cylinder	PG	plate glass
		PL	property line
DBL	double	PLYWD	plywood
DEPT	department	PR	pair
DF	Douglas Fir/drinking fountain	PT	pressure treated
DIA	diameter	QT	quarry tile
DIM	dimension		
DISP	dispenser	R	rise/radius
DN	down	RD	roof drain
DS	downspout	REINF	reinforce/reinforcing
DW	dishwasher	REF	reference
DWG	drawing	REFR	refrigerator
		REQ	required
EA	each	RESIL	resilient
EJ	expansion joint	REV	revision
EL	elevation	RM	room
ELEC	electrical	RO	rough opening
ELEV	elevator	RWD	redwood
EMER	emergency	RWL	rain water leader
ENCL	enclosure		
EP	electric panelboard		
EQ	equal	SECT	section
EQUIP	equipment	SEL	select
EXIST	existing	SD	soap dispenser
EXP	exposed	SG	sheet glass
EXT	exterior	SH	shelf
		SHT	sheet
FA	fire alarm	SHWR	shower
FD	floor drain	SIM	similar
FDN	foundation	SPEC	specification
FE	fire extinguisher	SQ	square
FEC	fire extinguisher cabinet	SS	stainless steel
FHC	fire hose cabinet	STD	standard
FIN	finish	STL	steel
FL	floor	STRUCT	structural
FLASH	flashing	SUSP	suspend(ed)
FOC	face of concrete	SYM	symmetrical
FOF	face of finish		
FOS	face of stud	TB	towel bar
FPRF	fire proof	TEL	telephone
FS	full size	TER	terrazzo
FT	foot/feet	T&G	tongue & groove
FTG	footing	TOC	top of curb
FURN	furnish	TOP	top of plate
FURR	furring	TP	top of pavement
FUT	future	TPG	tempered plate glass
		TV	television
GA	gauge	TW	top of wall
GB	grab bar	TYP	typical
GALV	galvanized		
GL	glass	VENT	ventilation
GRD	grade	VERT	vertical
GYP	gypsum	VEST	vestibule
		VGDF	vertical grain Douglas Fir
		VOL	volum
HB	hose bib		
HC	hollow core	W/	with
HD	hot dipped	WC	water closet
HDWE	hardware	WD	wood
HDWD	hardwood	WF	wide flange
HM	hollow metal	WIN	window
HORIZ	horizontal	W/O	without
HR	hour	W/P	waterproof(ing)
HT	height	WSCT	wainscot
HTG	heating	WT	weight
HTR	heater		

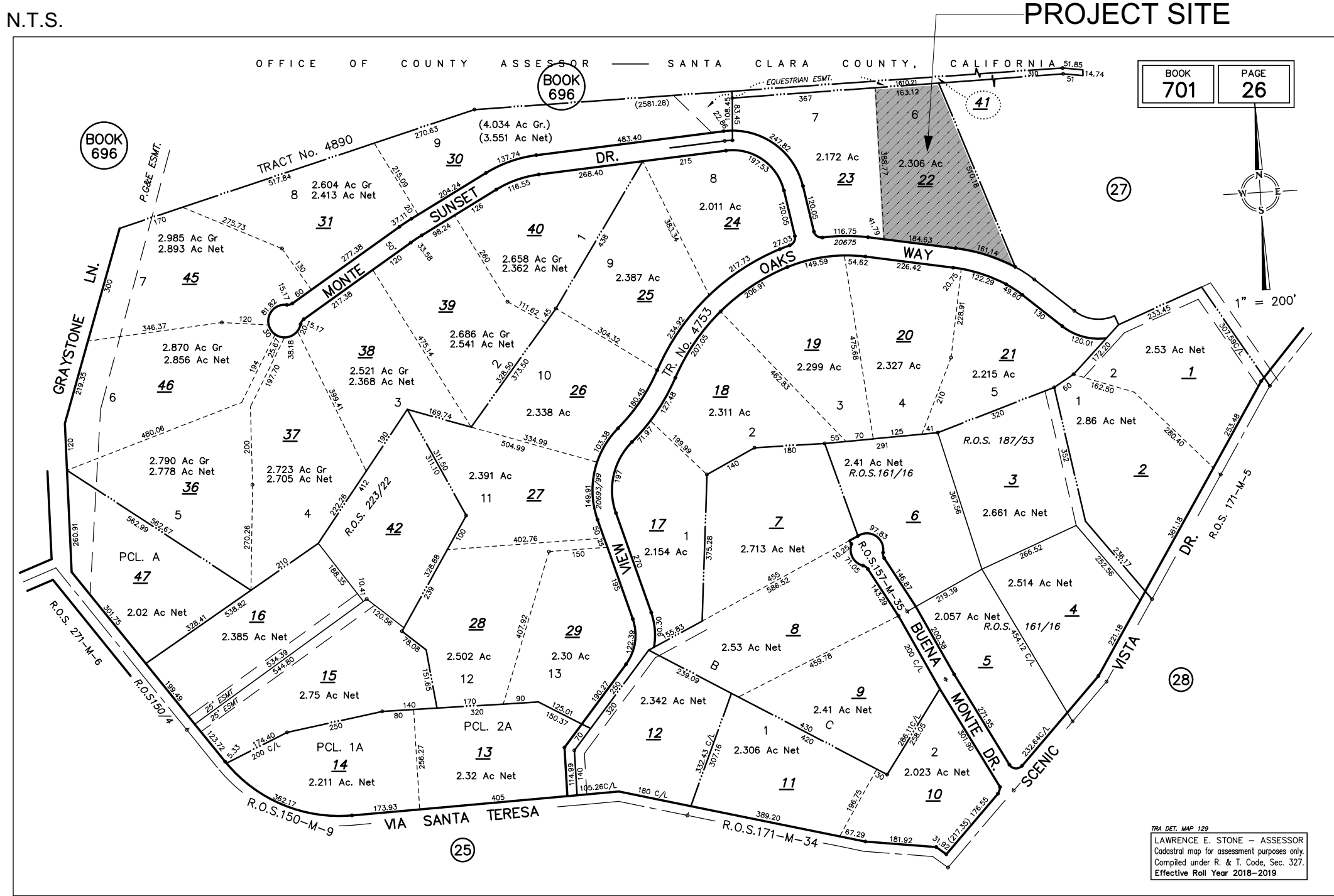
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JULY 17, 2020

GENERAL CODE NOTES

- DOOR BETWEEN HOUSE & GARAGE SHALL BE TIGHT-FITTING, 1-3/8", 20 MIN. RATED, SOLID CORE, EQUIPPED WITH SELF-CLOSING AND SELF-LATCHING DEVICE OR IN COMPLIANCE W/ CRC SECT. R302.5.1.
- USEABLE AREA UNDER STAIRS SHALL BE PROTECTED WITH 5/8" TYPE "X" GYPSUM BOARD, MINIMUM REQUIREMENTS FOR R-3 OCCUPANCY IS 1/2" GYP. BOARD, CRC SECTION R302.7.
- HANDRAILS: HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF 4 OR MORE RISERS. HANDRAIL HEIGHT MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38". HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL. HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2". NON-CIRCULAR HANDRAILS SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6 1/4" WITH A MAX. CROSS SECTION DIMENSION OF 2 1/4". EDGES SHALL HAVE A MIN. RADIUS OF 0.01". CRC R311.7.8, R311.7.8.1, R311.7.8.3, R311.7.8.4 AND R311.7.8.5.
- GUARDRAILS (GUARDS), INTERIOR OR EXTERIOR SHALL COMPLY WITH R312.1.2 EXCEPTION- GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT OF NOT LESS THAN 34" AND NOT MORE THAN 38" MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS. GUARDS SHALL NOT HAVE AN OPENING FROM THE WALKWAY SURFACE TO THE REQUIRED HEIGHT WHICH ALLOW PASSAGE OF A 4" DIAMETER SPHERE. CRC R312.1.3
- EGRESS WINDOWS IN EACH BEDROOM SHALL COMPLY WITH CRC SECTION R310, OPERABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. ESCAPE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SF AND 5.0 SF AT GRADE FLOOR OPENINGS. MINIMUM NET CLEAR HEIGHT 24", WIDTH OF 20" MINIMUM, AND FINISHED SILL NOT MORE THAN 44" ABOVE THE FINISHED FLOOR.
- EACH HABITABLE ROOM SHALL COMPLY WITH MIN. AREA FOR NATURAL LIGHT AND VENTILATION OR MEET THE REQUIREMENTS FOR EXCEPTIONS, PER CRC SECTIONS R303.1. BATHROOMS SHALL COMPLY WITH MIN. AREA FOR NATURAL LIGHT OR MEET REQUIREMENTS FOR EXCEPTIONS, PER CRC SECT. R303.3. BATHROOMS AND LAUNDRY ROOMS SHALL BE PROVIDED WITH EXHAUST FANS THAT COMPLY WITH CRC SECT. R303.3.1 & R303.4 AND THE CALIFORNIA MECHANICAL CODE.
- SAFETY GLAZING, SUBJECT TO HUMAN IMPACT SHALL BE INSTALLED AT HAZARDOUS LOCATIONS PER CPC SECT. R308.1. AREAS TO BE DEFINED AS "HAZARDOUS LOCATIONS" ARE LISTED IN CRC SECT 308.4 AND INCLUDE: GLAZING IN DOORS, SLIDING DOOR ASSEMBLIES AND PANELS, SHOWER OR TUB ENCLOSURES AND IN WINDOWS WITHIN COMPARTMENTS WHERE EXPOSED EDGE OF GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET, GLAZING IN WINDOWS ADJACENT TO DOORS WITHIN 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
- SMOKE ALARMS SHALL BE INSTALLED PER CRC SECTION R314, AND HAVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND EQUIPPED WITH BATTERY BACKUP. LOCATE ALARMS IN EACH SLEEPING ROOM AND ON THE CEILING OR WALL OUTSIDE SLEEPING AREA IN IMMEDIATE VICINITY OF BEDROOMS.
- WATER HEATERS SHALL BE STRAPPED FOR SEISMIC BRACING, TOP AND BOTTOM PER CPC SECTION 507.2 AND SECURED TO THE STRUCTURE. LISTED WATER HEATERS SHALL BE INSTALLED IN ACCORDANCE WITH THEIR LISTINGS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS PER CPC 504.3.1. UNLISTED WATER HEATERS SHALL BE INSTALLED WITH A CLEARANCE OF 12" ON ALL SIDES AND REAR PER CPC 504.3.2. COMBUSTION AIR SHALL BE PROVIDED IN ACCORDANCE WITH CMC SECTION 701. WATER HEATER CLOSET OPENING SHALL HAVE A MINIMUM OF 1 SQ. IN. PER 1000 BTU INPUT, BUT NOT LESS THAN 100 SQ. IN. ONE OPENING SHALL COMMENCE WITHIN 12" OF THE TOP OF THE ENCLOSURE AND ONE OPENING SHALL COMMENCE WITHIN 12" OF THE BOTTOM OF THE ENCLOSURE PER CMC 701.5.
- GAS PIPE CONNECTION TO EACH APPLIANCES SHALL HAVE AN ACCESSIBLE SHUT-OFF VALVE AND BE INSTALLED WITH FLEX-CONNECTORS PER CPC 1212.6.
- GAS APPLIANCES INSTALLED IN THE GARAGE SHALL BE ELEVATED SO THAT PILOTS AND BURNERS ARE AT LEAST 18" ABOVE THE FLOOR PER CPC 507.13. PROTECT APPLIANCES FROM DAMAGE BY INSTALLING A PROTECTIVE STEEL POST, 3"DIA. X 24" HIGH, 12" IN FRONT OF APPLIANCE, UNLESS LOCATED OUTSIDE THE NORMAL PATH OF A VEHICLE.
- VENTING OF GAS APPLIANCES SHALL BE IN ACCORDANCE WITH CMC SECTION 802. VERIFY RUN, OFFSETS, SLOPES AND DIRECTION OF VENTS THROUGH FRAMING TO PROVIDE MINIMUM CLEARANCE TO COMBUSTIBLES FOR TYPE FLUE USED.
- SHOWER AND TUB-SHOWER VALVES SHALL BE PRESSURE BALANCED AND/OR THERMOSTATIC MIXING VALVES AND SHALL COMPLY WITH CPC SECTION 408.3.
- WATER HEATER PRESSURE RELIEF VALVES SHALL BE EQUIPPED WITH PIPING DIRECTLY TO THE EXTERIOR AND TERMINATING NOT LESS THAN 6" ABOVE GRADE. INSTALL HOSE BIBBS AT LOCATIONS NOTED HB. USE FAUCET TYPE EQUIPPED WITH BACKFLOW OR BACK SIPHONAGE PROTECTION PER CPC SECTION 603.5.7.
- INSTALL WATER CLOSETS (TOILETS) HAVING A 1.28 GALLONS/FLUSH MAXIMUM. PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CALGREEN SECTION 4.303.1.1 THE WATER CLOSET SPACE SHALL BE SET NO CLOSER THAN 15" FROM ITS CENTER TO A SIDE WALL AND NO CLOSER THAN 30" CENTER TO CENTER TO A SIMILAR FIXTURE. CLEARANCE IN FRONT OF WATER CLOSET SHALL BE NOT LESS THAN 24" PER CPC SECTION 402.5.
- INSTALL UNDERFLOOR ACCESS WITH ACCESSIBLE MINIMUM CLEARANCE 18" x 24" AND FREE FROM PIPES, DUCTS AND SIMILAR OBSTRUCTION, CRC SECTION R408.4.
- INSTALL ATTIC ACCESS WITH MINIMUM 22" x 30" ROUGH OPENING LOCATED IN HALLWAY OR OTHER READILY ACCESSIBLE LOCATION, HAVING A 30" MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE, ABOVE THE OPENING, CRC R807.1.
- WHIRLPOOL TUB SHALL COMPLY WITH CPC SECTION 409.0 AND THE CEC. ELECTRICAL POWER SOURCE SHALL BE EQUIPPED WITH GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION.
- LIGHT FIXTURES INSTALLED IN CLOSETS SHALL BE SURFACE MOUNTED FLUORESCENT, LOCATED ON THE WALL ABOVE THE DOOR AND HAVE MINIMUM CLEARANCES OF 12" TO STORAGE SHELVES, PER CEC SECTION 410.2.
- ELECTRICAL RECEPTACLES LOCATED IN THE GARAGE, (SEE EXCEPTIONS FOR SPECIFIC EQUIPMENT) EXTERIOR (WATERPROOF), CRAWL SPACE, BATHROOMS, KITCHEN COUNTERS AND WITHIN 6" AND WITHIN 6" EACH WAY FROM SINKS OR LAVATORIES, SHALL BE GROUND_FAULT CIRCUIT INTERRUPTER PROTECTED (GFI) IN ACCORDANCE WITH CEC SECTION 210.8.
- INSTALL LIGHT FIXTURES, LOCATED IN KITCHENS AND ROOMS HAVING WATER CLOSETS THAT DONOT EXCEED 40 LUMENS/WATT (FLUORESCENT TYPE) PER CALIFORNIA TITLE 24. INSTALL FIXTURES RATED FOR DAMP LOCATIONS (DL), EXTERIOR AND IN SHOWER OR TUB COMPARTMENTS. INSTALL FIXTURES RECESSED IN THE CEILINGS RATED FOR INSULATION PROTECTION (IC/AT) AND AIRTIGHT PER CEC SECTION 410.10.
- INSTALL SOLID BACKING AT WALLS AND WATERPROOF MEMBRANE AT SHOWER PAN, SEAMLESS TYPE "OATEY" UP 12" MIN WALLS AND OVER SHOWER CURB, SHAPE SHOWER PAN FLOOR USING 3/4" PLYWOOD SHIMMED TO FORM SLOPE TO DRAIN. INSTALL 4 X 4 PTDF CURB, PER CPC 408.5 - 408.7.
- INSTALL WATERPROOF MATERIAL SUCH AS TILE, ON SHOWER WALLS +72" MIN ABOVE THE FLOOR PER CRC R307.2
- FINISHED ROOFING MATERIAL SHALL BE INSTALLED AND COMPLETED PRIOR TO FRAME INSPECTION PER CRC SECT. R109.1.4.
- ALL SHOWER HEADS IN THE EXISTING RESIDENCE WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH A MAXIMUM 1.8 GPM SHOWER HEAD. FAUCETS WITH A FLOW RATE GREATER THAN 2.2 GPM WILL NEED TO BE REPLACED WITH MAXIMUM FLOW RATE OF 1.2 GPM FOR LAVATORY FAUCETS AND 1.8 GPM FOR KITCHEN FAUCETS PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CALGREEN SECTION 4.303.

APN MAP N.T.S.



SCOPE OF WORK

THE SCOPE OF WORK IS TO REPLACE THE EXISTING MULTI-LEVEL DECK AND ALL STAIRS/ RAILINGS WITH A NEW, LARGER DECK. THE NEW DECK WILL CONSIST OF MULTIPLE LEVELS INCLUDING THE FIRST (MAIN LEVEL) AND GROUND FLOORS OF THE RESIDENCE. THE GROUND FLOOR LEVEL ALSO INCLUDES A NEW CONCRETE PATIO AREA WITH CONCRETE RETAINING WALLS. THE REMAINDER OF THE NEW DECK WILL BE A TREX COMPOSITE SYSTEM WITH CABLE-STYLE RAILINGS. THERE WILL ALSO BE NEW DECK SKIRTING BELOW THE MAIN LEVEL OF THE DECK, CONCEALING A STORAGE AREA AT GRADE.

APPLICABLE CODES

2019 CALIFORNIA BUILDING CODE	2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA RESIDENTIAL CODE	2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA PLUMBING CODE	2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA MECHANICAL CODE	2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

OPERATIONAL MANUAL

- OPERATION AND MAINTENANCE MANUAL. AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING:
- DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
 - OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING: A. EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HV AC SYSTEMS, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT. B. ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS. C. SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS. D. LANDSCAPE IRRIGATION SYSTEMS. E. WATER REUSE SYSTEMS.
 - INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
 - PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
 - EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE.
 - INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
 - INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.
 - INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO, CAULKING, PAINTING, GRADING AROUND THE BUILDING, ETC.
 - INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
 - A COPY OF ALL SPECIAL INSPECTION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.

CALGREEN ENVIRONMENT AIR QUALITY

ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR PER CGBSC 4.504.2.4 VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:

- MANUFACTURER'S PRODUCT SPECIFICATION.
- FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS.

PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR ANY OWNER/BUILDER PROJECTS) MUST BE PROVIDED TO THE COUNTY OF SANTA CLARA BUILDING OFFICIAL, CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION AND ADHESIVES), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBSC SEC. 4.504.

PROJECT SITE

PROJECT INFORMATION

OWNER: KRIS AND LAURIE NEFF
PHONE: 408-705-3335
MAILING ADDRESS: 20665 VIEW OAKS WAY, SAN JOSE, CA 95120

APN# 701-26-022
ZONING: RR-2.6ac-d1
TYPE V-B; NON-SPRINKLERED
OCCUPANCY GROUP: R3/U

PROPOSED FLOOR AREA:
(E) 1ST FLOOR AREA (GROSS) = 5497 SQ. FT.
(E) LWR FLOOR AREA (GROSS) = 355 SQ. FT.
TOTAL (E) FLOOR AREA (GROSS) = 5852 SQ. FT.

TOTAL (N) FLOOR AREA (GROSS) = 5852 SQ. FT. (NO CHANGE)

(E) PATIO AREA = 201 SQ. FT.
(E) DECK AREA = 1633 SQ. FT.
(N) PATIO AREA = 623 SQ. FT.
(N) DECK AREA = 2045 SQ. FT.

JURISDICTION APPROVAL STAMP

TABLE OF CONTENTS

DR0.0	COVER SHEET
DR0.1	(E) TOPO SURVEY
DR1.0	(E) SITE PLAN
DR1.1	(N) SITE PLAN
DR2.0	(E) FLOOR PLANS
DR2.1	(N) FIRST FLOOR PLAN
DR2.2	(N) GROUND FLOOR PLAN
DR3.0	(E) ELEVATIONS
DR3.1	(N) ELEVATIONS

NEFF
RESIDENCE

20665 VIEW OAKS WAY
SAN JOSE, CA 95120

DO NOT SCALE PLANS
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COVER SHEET

NOT FOR CONSTRUCTION

JULY 17, 2020

STAMP



J. KRETSCHMER | ARCHITECT

101 OLD BOSSOM HILL ROAD
LOS GATOS, CA 95032
(408) 221-0771

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J. KRETSCHMER, ARCHITECT, AIA
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DR0.0

AVERAGE SLOPE

$$S = \frac{I \times L}{A} (100)$$
$$S = \frac{2 \times 10,816.99}{100,416.48 \text{ SF}} (100)$$
$$S = \frac{21,633.98}{100,416.48 \text{ SF}} (100)$$
$$S = 0.2154(100)$$
$$S = 21.54\%$$

S - IS THE AVERAGE SLOPE OF THE AREA IN PERCENT
I - IS THE CONTOUR INTERVAL IN FEET
L - IS THE COMBINED LENGTH OF CONTOUR LINES IN FEET
A - IS AREA IN SF

PARCEL A
36.3' W 47'
APN: 701-27-065

LOT 7
TRACT NO.4753
APN: 701-26-023

LEGEND

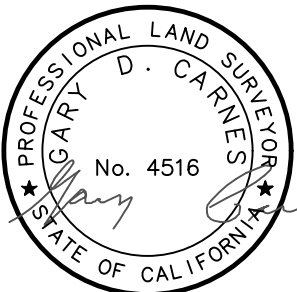
---	PROPERTY BOUNDARY
---	LOT LINE
---	CENTER LINE
---	EASEMENT LINE
---	PAVEMENT
---	CONCRETE/LIP OF GUTTER
---	FENCE
---	FLOW LINE

ABBREVIATIONS

AC	AIR CONDITIONER UNIT
DI	DRAIN INLET
DL	DRIP LINE
DW	DRY WELL
EM	ELECTRICAL METER
FF	FINISH FLOOR ELEVATION
FH	FIRE HYDRANT
GM	GAS METER
ICV	IRRIGATION CONTROL VALVE
PP	POWER POLE
R.O.W.	RIGHT OF WAY
SSCO	SANITARY SEWER CLEAN OUT
SSMH	SANITARY SEWER MANHOLE
SDMH	STORM DRAIN MANHOLE
WM	WATER METER
WV	WATER VALVE
RRW	ROCK RETAINING WALL
BRW	BLOCK RETAINING WALL
WRW	WOOD RETAINING WALL
S	STEP(S)
PL	PLANTER
RWF	ROCK WATER FALL
WPL	WOOD PLANTER
PI	PILLAR
FP	FIRE PIT
R	ROCK
BS	BLOCK STEPS

NOTES

- (1) A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY GARY D. CARNES, LAND SURVEYOR. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
- (2) TREE SPECIES AND DRIP LINES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
- (3) ALL DISTANCES & DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- (4) THE UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE APPROXIMATE AND BASED ON EVIDENCE AT THE SURFACE.
- (5) BUILDING DIMENSIONS SHOWN ON THIS MAP ARE MEASURED FROM THE TRIM, STUCCO OR SIDING AT RIGHT ANGLES TO THE PROPERTY LINES.



CARNES & ASSOCIATES

9505 SUGAR BABE DRIVE
GILROY, CALIFORNIA 95020
408-847-2013

TOPOGRAPHIC MAP
FOR KRISTOPHER NEFF
20665 VIEW OAKS WAY
CITY OF SAN JOSE, CALIF.

DATE : 07/19/2019

SCALE : 1" = 20'

DRAWN BY : J.H.

PROJ. MANAGER : G.C.

SHEET

DR0.1

Job No. 1958
DWG: NEFF 1958

20665 VIEW OAKS WAY
SAN JOSE, CA 95120

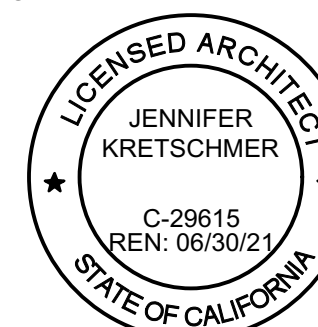
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(E) SITE PLAN

NOT FOR CONSTRUCTION

JULY 17, 2020

STAM

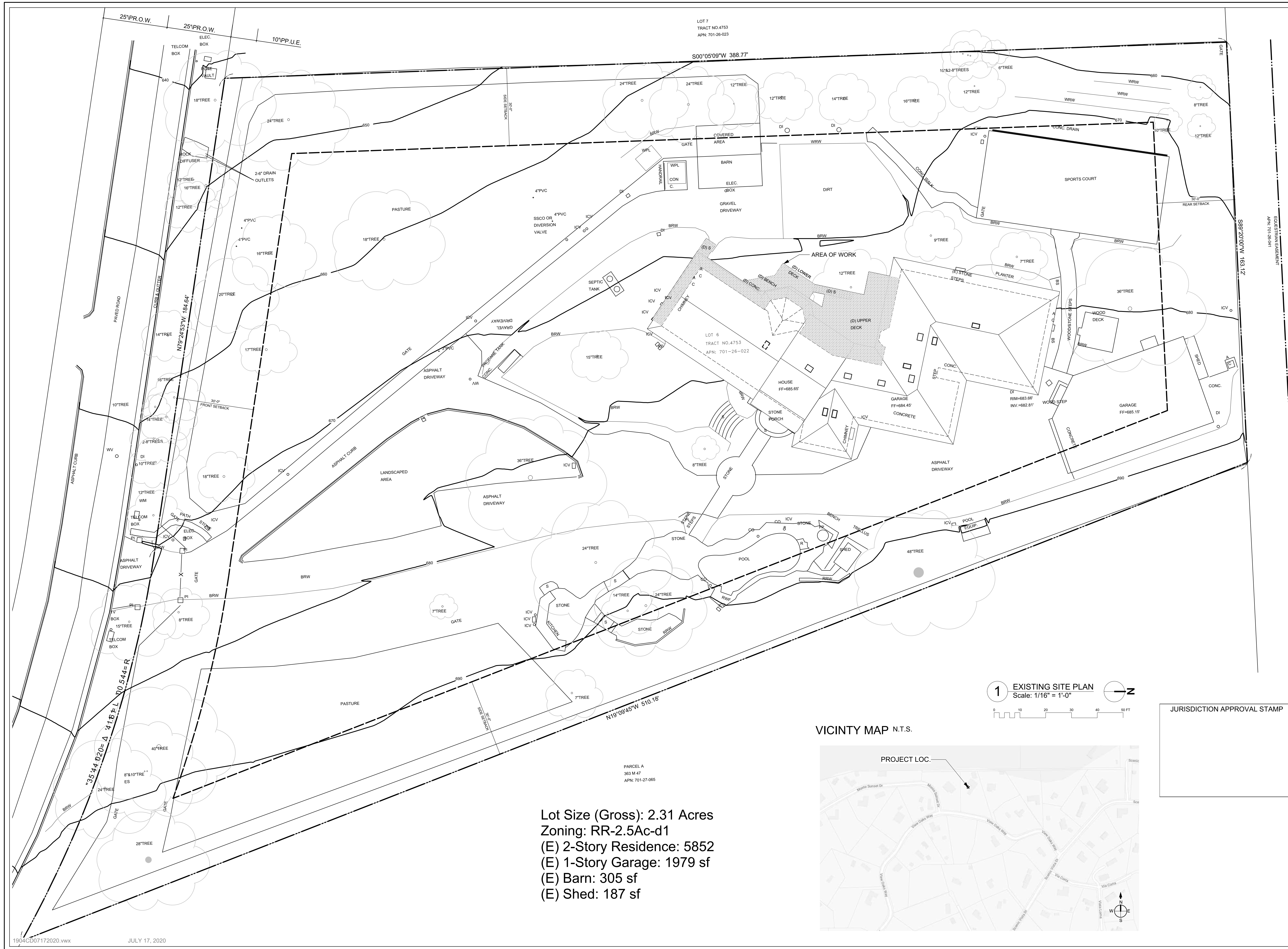


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101 OLD BLOSSOM HILL ROAD
LOS GATOS, CA 95032
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DR1.0



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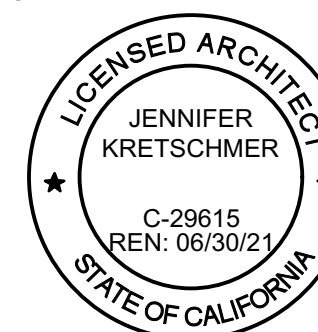
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(N) SITE PLAN

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STAM

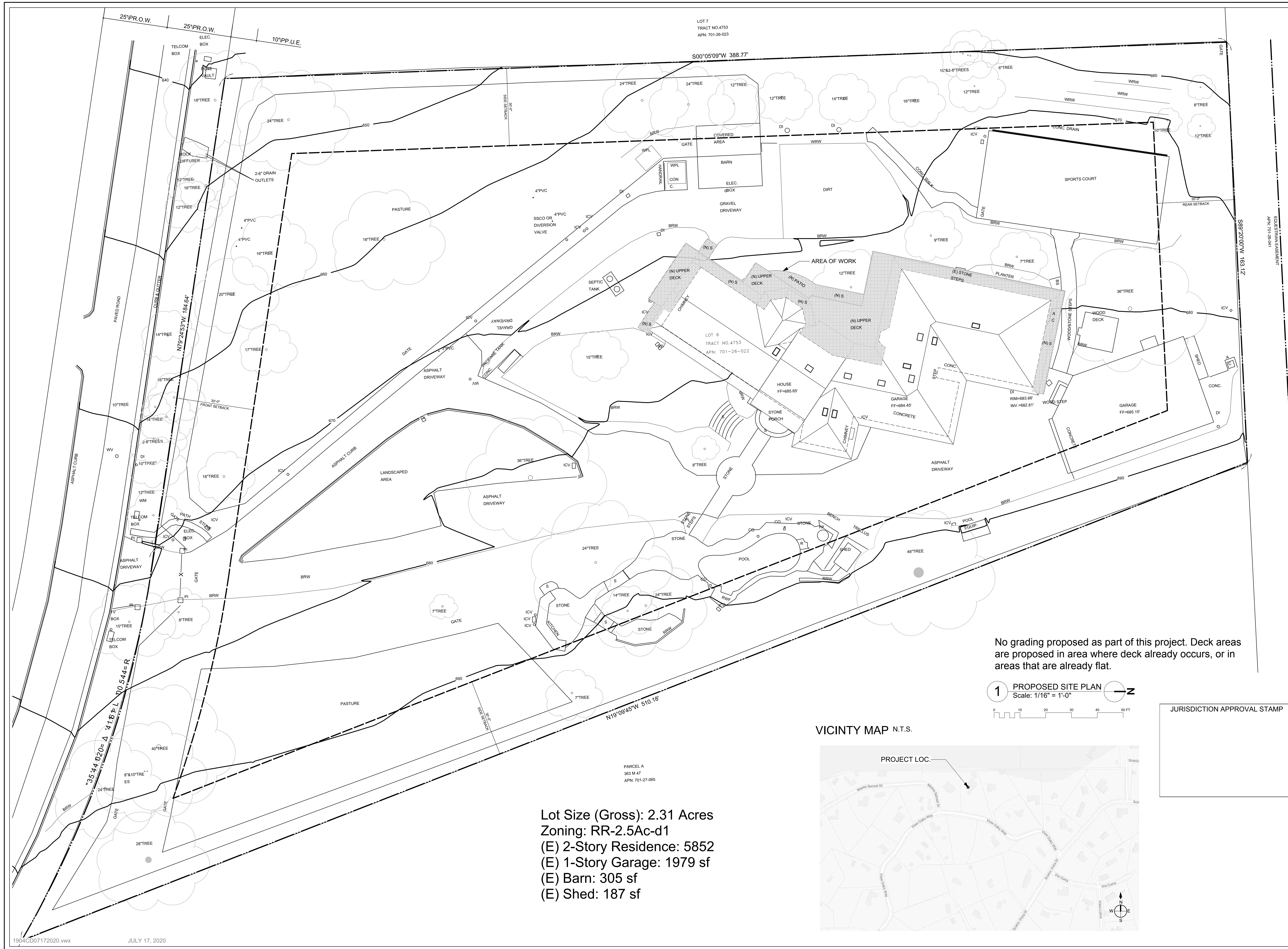


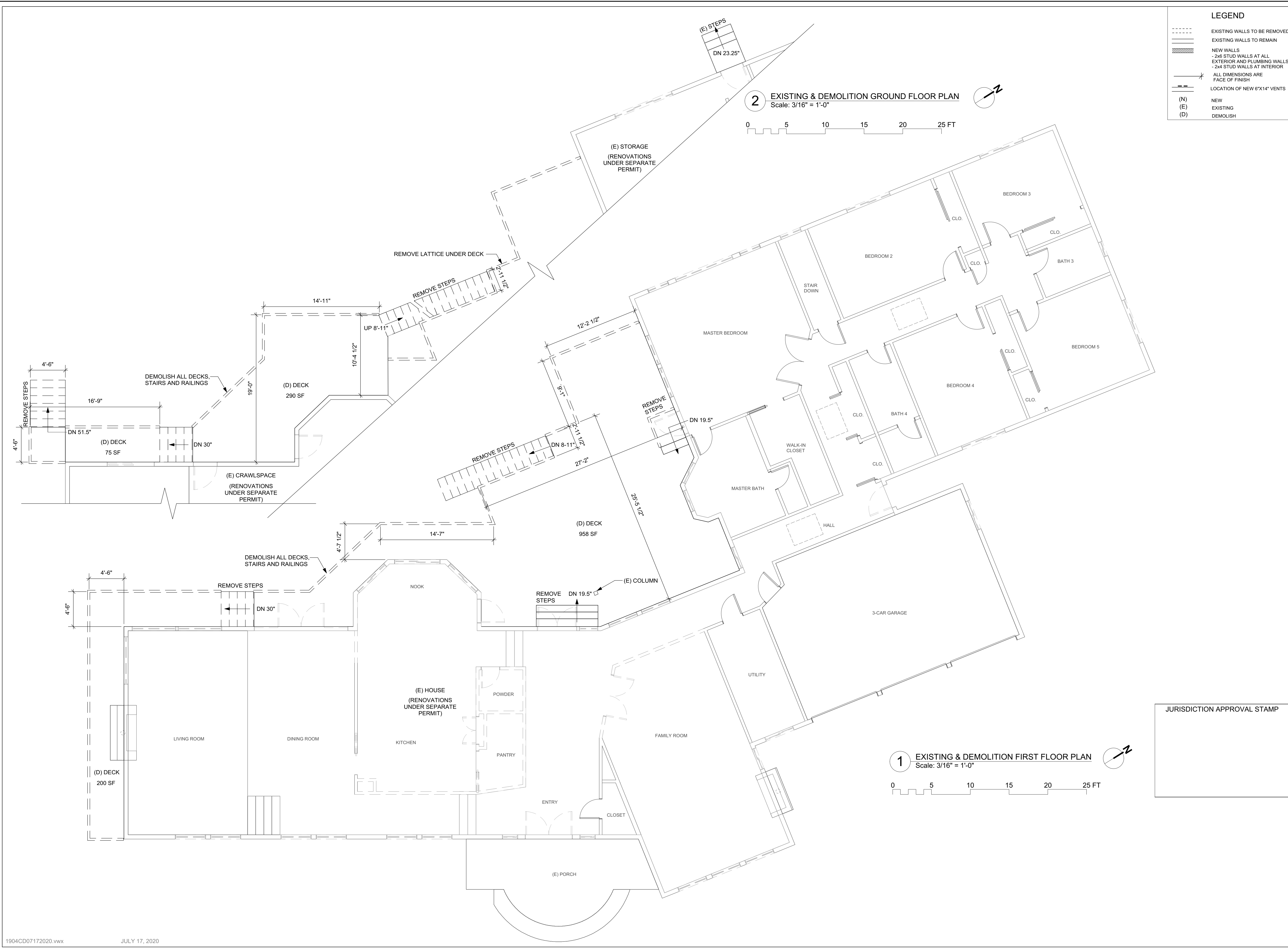
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LOS GATOS, CA 95032
(408) 221-0771

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(E) FLOOR PLANS

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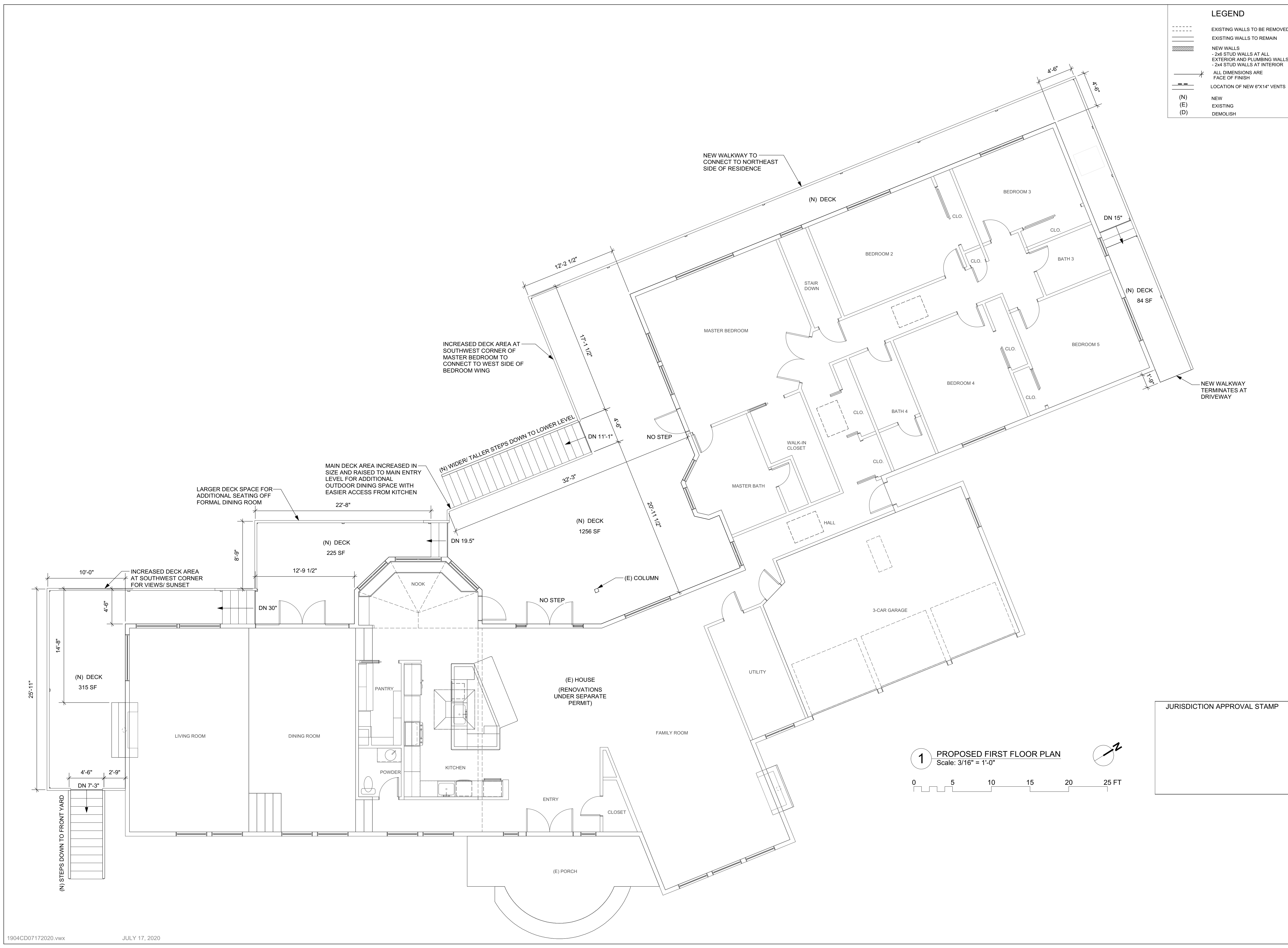
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(N) FIRST FLOOR PLAN

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DR2.1

LEGEND

----- EXISTING WALLS TO BE REMOVED
===== EXISTING WALLS TO REMAIN
===== NEW WALLS
- 2x6 STUD WALLS AT ALL EXTERIOR AND PLUMBING WALLS
- 2x4 STUD WALLS AT INTERIOR
ALL DIMENSIONS ARE FACE OF FINISH
---X--- LOCATION OF NEW 6"x14" VENTS
(N) NEW
(E) EXISTING
(D) DEMOLISH

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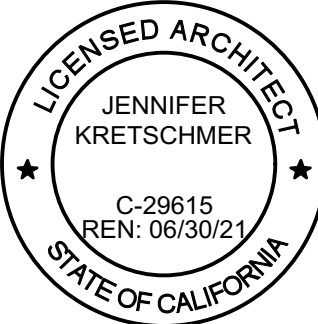
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(N) GROUND FLOOR
PLAN

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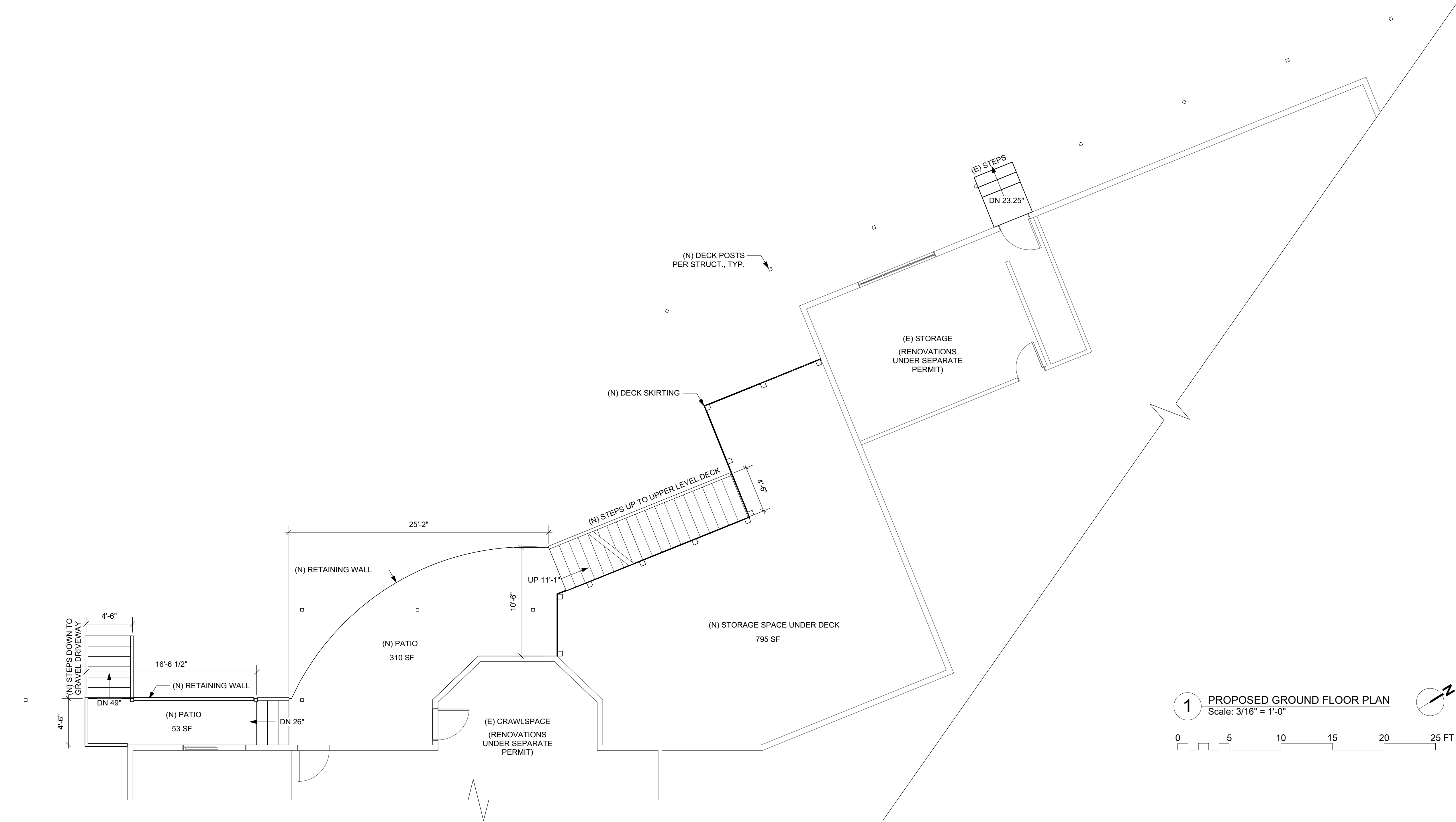
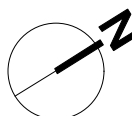
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1 PROPOSED GROUND FLOOR PLAN
Scale: 3/16" = 1'-0"



No grading is proposed as part of this project. The new patio will be located where an existing deck has been removed, was at grade and was located on flat ground.

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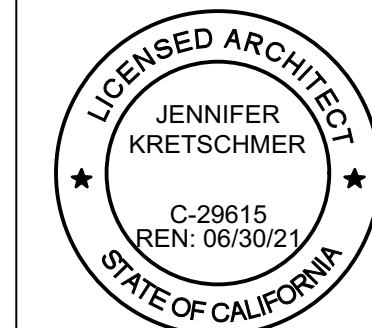
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(E) ELEVATIONS

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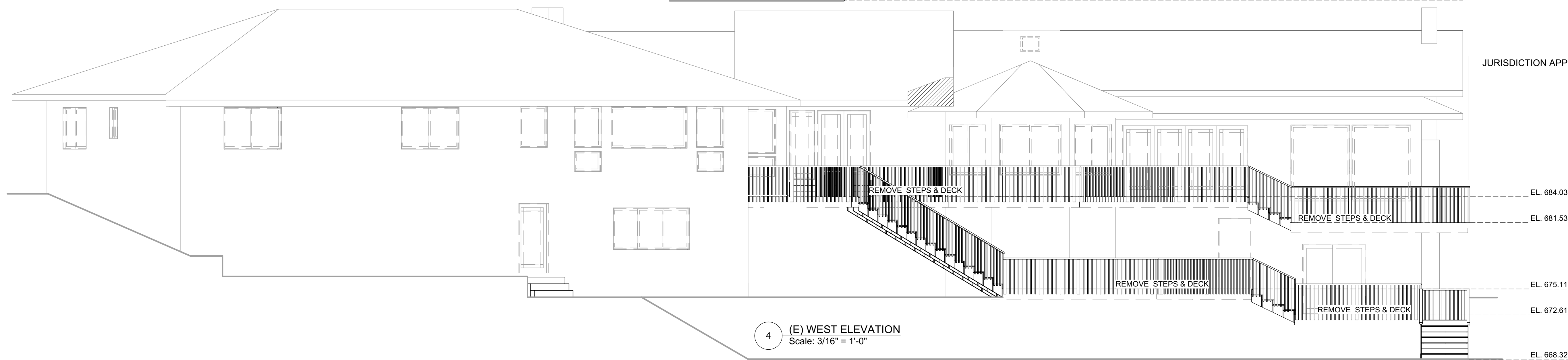
1 (E) NORTH ELEVATION
Scale: 3/16" = 1'-0"



2 (E) EAST (FRONT) ELEVATION
Scale: 3/16" = 1'-0"

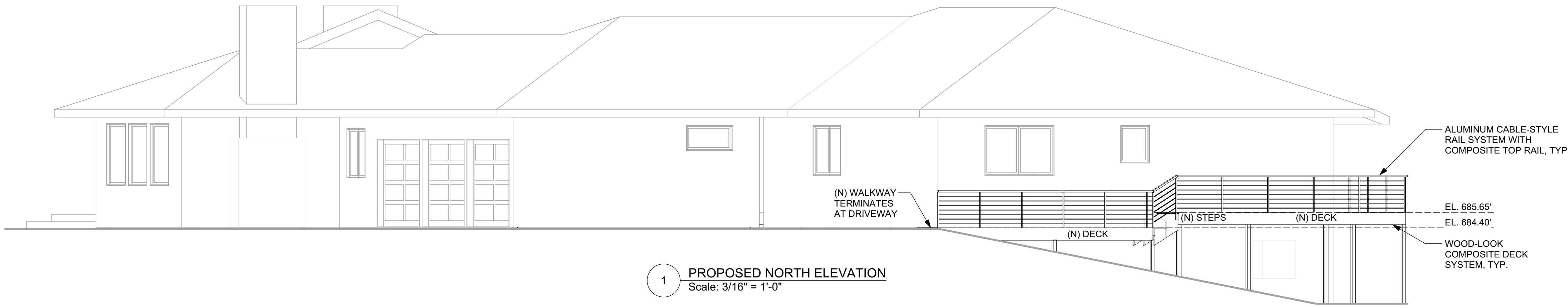
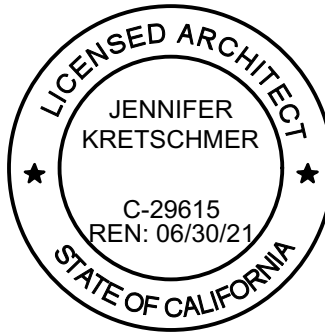


3 (E) SOUTH ELEVATION
Scale: 3/16" = 1'-0"



4 (E) WEST ELEVATION
Scale: 3/16" = 1'-0"

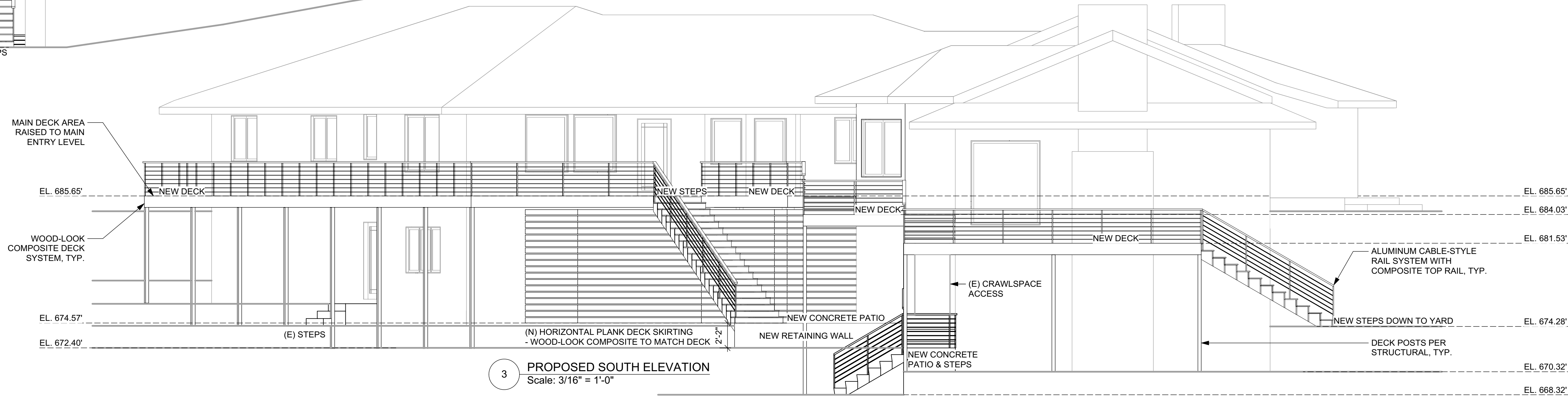
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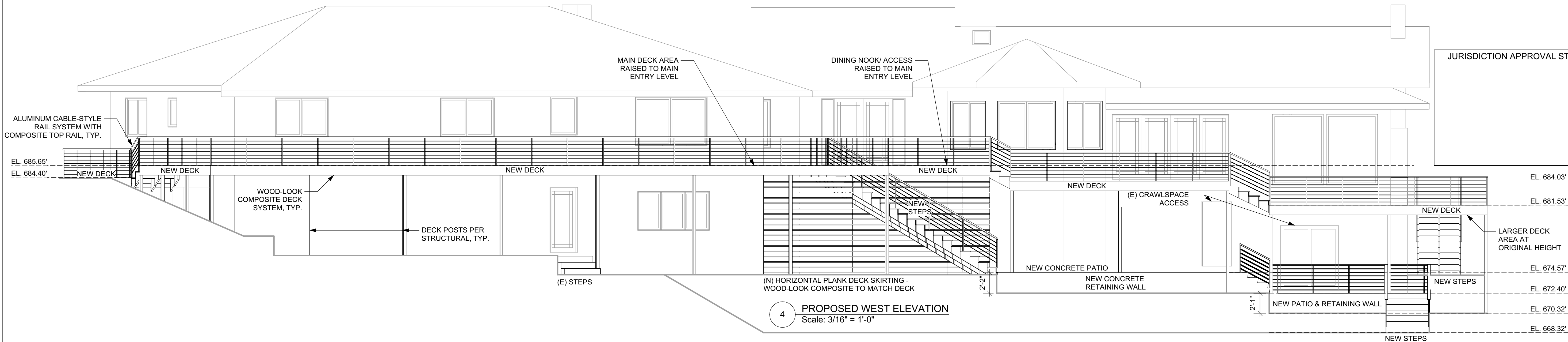
1 PROPOSED NORTH ELEVATION
Scale: 3/16" = 1'-0"



2 PROPOSED EAST (FRONT) ELEVATION
Scale: 3/16" = 1'-0"



3 PROPOSED SOUTH ELEVATION
Scale: 3/16" = 1'-0"



4 PROPOSED WEST ELEVATION
Scale: 3/16" = 1'-0"