

## County of Santa Clara

Department of Planning and Development  
Planning Office

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STAFF REPORT  
Zoning Administration  
April 8, 2021

## Continued Hearing Item No. 1

Staff Contact: Xue Ling, Associate Planner  
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### File: PLN20-102

### Design Review (Tier 2) and Grading Approval for a New Single-Family Residence

**Summary:** Request for a concurrent land use entitlement for a Design Review (Tier 2) and Grading Approval for a 10,879-square foot new single-family residence with attached garages, and associated improvements of the existing driveway and septic system. Grading consists of 226 cubic yards of cut and 245 cubic yards of fill (total 471 cubic yards). No tree removal is proposed for the subject project.

**Owner:** Ben M. Charnota

**Applicant:** Amanda Musy-Verdel

**Address:** 2546 Butch Drive, Gilroy

**APN:** 830-17-046

**Supervisory District:** 1

**Gen. Plan Designation:** Hillsides

**Zoning:** HS-d1

**Lot Size:** 10 acres

**Present Land Use:** Single-family Residence

**HCP:** in HCP Area

### RECOMMENDED ACTIONS

- A. Accept a Categorical Exemption, under Section 15303 (Class3)(a) of the CEQA Guidelines, outlined in Attachment A; and
- B. Grant Design Review Approval and Grading Approval, pursuant to Conditions of Approval outlined in Attachment B.

### ATTACHMENTS INCLUDED

Attachment A – CEQA Determination  
Attachment B – Preliminary Conditions of Approval  
Attachment C – Plans and Vicinity Map  
Attachment D – Color Samples  
Attachment E – 5976-95G (Grading Approval for a barn)  
Attachment F – Tract Map No. 6335  
Attachment G – March 11, 2021 ZA Hearing Continuance Memo

## **PROJECT DESCRIPTION**

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The proposed project includes a request for Design Review Approval (Tier 2) and Grading Approval for a concurrent land use entitlement to construct a new 10,879 square-foot single-family residence with an attached garage. The maximum height of the proposed two (2)-story residence is twenty-eight (28) feet tall, whereby the Zoning Ordinance allows a maximum height of thirty-five (35) feet. The proposed residence would utilize the existing building pad and driveway created for a barn located to the north of the proposed new residence. Both the driveway and the barn were constructed under a Grading Approval granted in 1995 (Attachment E) and subsequently issued Grading Permit and Building Permit. However, multiple other unpermitted structures on the lot are indicated to remain, including two detached barns and one detached garage. One of the unpermitted detached barns is located within the 35-foot riparian setback of Skillet Creek. The current application would not legalize any unpermitted structures that exist on the property and not part of the proposed project scope. A Condition of Approval (No. 3) has been added to the project draft conditions recognizing that this approval does not legalize any unpermitted structures. Existing open fencing located within the 25-foot wide Bridle Path Slope Easement and 50-foot wide PG&E Utility Easement (Attachment F) are proposed to remain in place with confirmation from the beneficial holders of said easements. The portion of the existing fencing within Bridle Path road rights-of-way would be removed per Land Development Engineering standards as conditioned in Attachment B.

The site is located in the Santa Clara Valley Habitat Plan Area. As the property is in Area 2-Rural Development Equal to or Greater than 2 Acres, a biological report was required to determine whether the proposed project is subject to Habitat Plan Coverage. According to the submitted biological report, the project would not impact any sensitive habitat or species, as there is no suitable habitat within the proposed development area. The development area also meets the 35-foot creek setback, as measured from the top of bank. Therefore, the project is not subject to Habitat Plan coverage.

### **Setting/Location Information**

The 10-acre parcel is currently developed with multiple agricultural accessory structures, among which only one of the barns to the north of the proposed residence on the approved building pad was constructed with the 1995 Grading Approval and a Building Permit. The subject property is an approved building site, as it was legally created through a 41-lot subdivision in 1979 (County file 22S77.26) (see Attachment F). The Subdivision Tract Map (refer to Attachment F) identifies a 'Y' shaped Skillet Creek and its tributary cutting across the site at the northern portion of the lot, a 50-foot wide PG&E Utility Easement bisecting the property, and a 25-foot wide slope easement along the access road Bridal Path. The subject property is located in the Golden Hills Estates community in Gilroy, which is comprised of single-family residences on similar sized lots.

## **REASONS FOR RECOMMENDATIONS**

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### **A. Environmental Review and Determination (CEQA)**

The proposed project's environmental impacts were analyzed, resulting in a Categorical Exemption (See Attachment A). The aesthetic impacts of the proposed project are addressed through the required design review process. Landscaping and other design



measures, including Light Reflectivity Value (LRV), contribute to avoiding aesthetic impacts. The project will not create any new environmental impacts since new development is occurring in the location that has been approved for “future” structures in the 1995 Grading Approval. Also, there are no special status species or habitats mapped on the site. As such, the project qualifies for a Class 3, Section 15303 (a) new single-family residence Exemption from CEQA.

## B. Project/Proposal

### 1. General Plan: Hillsides

2. **Approved Building Site:** The site is an approved building site per a subdivision recorded on October 9, 1979 (File 22S77.26, Tract Map No. 6335, Lot 6) (refer to Attached F).

3. **Zoning Standards:** The Zoning Ordinance specifies the required development standards for HS-d1 Zoning District, as summarized below, followed by Table A, noting the project’s conformance with Section 3.20.040 “-d1” Combing District:

<b>Setbacks (HS):</b>	30-feet from all property lines (front, side, and rear)
<b>Height:</b>	35-feet
<b>Stories:</b>	3-stories

**Table A: Compliance with Development Standards for -d1 Combining District.**

STANDARDS & REQUIREMENTS	CODE SECTION	Assessed (Y)*
Siting	§ 3.20.040 (A)(2)(b)	Y
Story Poles	§ 3.20.040 (A)(2)(c)	Y
Color & LRV	§ 3.20.040 (B)	Y
Building Form & Massing	§ 3.20.040 (C)	Y
Retaining Walls	§ 3.20.040 (D)	N/A
Ridgeline Development	§ 3.20.040 (E)	N/A
Design Review Guidelines	§ 3.20.040 (F)	Y

NOTE: Further discussion of the compliance with Section 3.20.040 is provided throughout the Design Review Findings Sections of this report.

## C. Design Review Findings

All Design Review applications are subject to the scope of review (Findings) as listed in §5.50.040 of the County Zoning Ordinance, as well as describing compliance with §3.20.040 when making such findings. The overall purpose of design review is to encourage quality design and mitigate potential adverse visual impacts of development. In the following discussion, the scope of review criteria is in **bold**, and an explanation of how the project meets the required standard is in plain text below.

### 1. Mitigation of any adverse visual impacts from proposed structures, grading, vegetation removal and landscaping;

The County GIS system identifies the building site is proposed within an area of medium-high visibility, with the front of the home exposed to the valley floor. However, according to the staff's site visit, the proposed structure might not be visible from multiple spots that are one to two miles away, to the east and south of the property. In addition, existing homes on the butte to the west of the property, and the dense shrubbery landscape immediately on the slope to the front of the building pad, provide additional screening to decrease the visibility of the residence to the valley floor. There are no trees on or adjacent to the existing building pad, and no tree removal is proposed on the subject property. To provide additional screening to the residence, staff recommends a final landscape plan consistent with the preliminary landscape plan submitted on February 24, 2021 to be approved prior to the issuance of a Grading Permit. A Condition of Approval (No. 18) has been included with the recommended draft Conditions (refer to Attachment B).

The proposed residence utilizes the existing building pad created with the previous 1995 Grading Approval for a barn, which was approved prior to the Design Review (-d1) ordinance being effectuated. Given that the viewshed analyses were not in place at the time of the previous approval, the building pad location may not have been considered or reviewed regarding minimizing the adverse visual impacts to the valley floor. However, no grading has been proposed beyond what has been previously approved other than improving the existing developed area to meet the current engineering standards, thereby not creating any new adverse visual impacts. The new two (2)-story home incorporates a tiered design approach with varied rooflines consistent with the County *Design Review Guidelines*. Natural colors and materials with a Light Reflectivity Value (LRV) of 45 or less are proposed to blend with the surrounding landscape. Although the trim and minor accent color is proposed to have an LRV of 65, it only takes a small percentage of the exterior façade, as shown on the submitted front elevation rendering drawing (Sheet BS.T, Attachment C).

For the reasons stated above, no new adverse impacts related to the proposed residence and grading would occur in the same general location as the previously existing, legal residence proposed for demolition. No trees would be removed, and a landscape plan consistent with the conceptual landscape plan submitted on February 24, 2021, would be required to be submitted and approved by the Planning Department to mitigate the adverse visual impacts of the residence and grading. Therefore, this finding can be made.

## **2. Compatibility with the natural environment;**

The majority of the site is covered by grasses with dense shrubs located on the slope to the west of the existing building pad. There are clusters of trees located adjacent to the east property line to the rear of the residence and along the Skillet Creek riparian corridor. The proposed development is located 100 feet away from Skillet Creek, on a previously graded flat portion of the site, with no additional vegetation removal on other areas of the property. The site design preserves the existing natural features by utilizing

the existing building pad and driveway and maintaining the terrain surrounding the proposed construction.

A proposed Condition of Approval (No.18) would require additional screening landscape to the west of the home to blend the proposed structure into the natural environment. Thus, with the required condition of approval, the proposed residence is designed to be compatible with the natural environment, and this finding can be made.

### **3. Conformance with the “Design Review Guidelines,” adopted by the Board of Supervisors;**

The proposed building design is consistent with the County Design Review Guideline by setting back the second story from the first floor. A 24-foot tall great room and grand foyer connect different volumes of living space, storage space, and garage, creating undulating façades and varied roof heights. Details such as covered balconies and porches, semi-enclosed grand stairs, and outdoor kitchen break down the bulk of building massing and produce patterns of light and shadow. In addition, the proposed exterior facades utilize multiple materials, such as stone veneer and earth-toned colors. Exterior colors for the house façades and roof materials have a Light Reflective Value (LRV) of 45 or less, with the trim and accent color having an LRV of 65.

The existing open wood fences in white color along the edge of the building pad and Bridal Path road right-of-way are proposed to remain. The fencing design can be found along the private roads in the community and is consistent with the County *Design Review Guideline*. No new retaining walls are proposed, and the existing one (1)-foot retaining wall to the rear of the residence is hidden from the valley floor. As discussed above, additional landscape screening to the west of the home is required in the Conditions of Approval to provide additional screening to the residence. Therefore, the project conforms with the County *Design Review Guidelines*, and this finding can be made.

### **4. Compatibility with the neighborhood and adjacent development;**

The subject property is located in the Golden Hills Estates community, which consists of single-family residences ranging in size between 3,000 to 9,000 square feet. The majority of residences within the immediate neighborhood are two (2)-story buildings. Although larger than the existing homes within the community, the 10,879 square-foot residence is a Mediterranean design, which is also found in the neighborhood. Additionally, as described in Finding No. 3 above, the design incorporates various materials (such as earth-toned colors and stone veneer) along the structure facades to help break up the structure’s appearance. The subject property has open white wood fences that are of the same style found along the private roads of the Golden Hills Estate community. As such, the project will not be obtrusive or stand out compared to other developed parcels in the immediate vicinity and is compatible with the immediate neighborhood. For these reasons, this finding can be made.

**5. Compliance with applicable zoning district regulations; and**

Single-family residences are allowed uses within the Hillside (HS) zoning district. As proposed, the project complies with the HS zoning regulations, including required height and setbacks (30-feet from all property lines or easement). The maximum height of the proposed two (2)-story residence is twenty-eight (28) feet, whereby the Zoning Ordinance allows a maximum height of thirty-five (35) feet. The proposed architectural design is in keeping with the Santa Clara Design Review standards outlined in §3.20.040 in that the proposed maximum horizontal length of a continuous wall plane is fifty (50) feet, and the proposed maximum height of a wall plane is sixteen (16) feet. Both are under the allowed maximum continuous wall length of eighty (80) feet and maximum wall plane height of twenty-four (24) feet per the Zoning Ordinance. Building massing and exterior colors of less than 45 LRV with minor accent color of 65 are proposed to minimize visual impacts. As noted previously, the residence is proposed on previously graded areas and designed to use the existing driveway. The existing one (1)-foot tall retaining wall to the rear of the residence is hidden from the valley floor, thereby blending in with the natural contours of the surrounding landscaping. A summary of conformance with the County's Design Review development standards can be found in Section B(2) of this Staff Report. As such, the project is in compliance with applicable zoning district regulations, and this finding can be made.

**6. Conformance with the general plan, any applicable specific plan, or any other applicable guidelines.**

The General Plan Growth and Development Chapter for Rural Unincorporated Areas contains specific policies under Strategy No. 3, to *Ensure Environmentally Safe and Aesthetic Hillside Development*. R-GD17 requires "*Design Review Zoning Districts, including Design Review Guidelines, shall apply to primary viewshed areas most immediately and directly visible from the valley floor, lands up to and including the first ridge, or those within approximately one to two miles distance from the edge of the valley floor.*" Design Review is required in this case since the project is located in the Design Review (-d1) zoning districts. Natural colors and materials with an LRV below 45 and minor accent color with an LRV exceeding 45 are shown on the colored rendering to blend the residence with the surrounding environment. As conditioned, additional landscape is required in the Conditions of Approval to blend the proposed development with the natural environment. The proposed exterior materials and screening landscape are consistent with the County *Design Review Guidelines*.

R-GD 24(a) requires "*Where an existing parcel contains multiple possible building or development sites, and where one or more possible site requires less grading, with less overall environmental and visual impacts, greater economy of access roads or other site improvements, and better achieves matters of public health and safety, grading approval may be granted only for the alternative which minimizes grading amounts and is deemed otherwise suitable with respect to other development issues, regulations, and conditions of reviewing agencies.*" Given the lot's natural topography and the location of Skillet creek and onsite easements, the proposed building site is the most suitable area for

development on the subject parcel. Utilizing the building pad and driveway minimizes the amount of grading and potential adverse environmental impacts. Creating a new building pad on another area of the property that has less visual impacts to the valley floor would require excessive grading and might impact riparian habitats. Staff has evaluated the project and potential impacts and has determined that keeping the proposed residence in the same general location as the previous, legal residence, is the highest and best location. Thus, the project will be in conformance with the General Plan and this finding can be made.

#### **D. Grading Findings:**

Pursuant to Section C12-433, all Grading Approvals are subject to specific findings. In the following discussion, the scope of review findings are listed in **bold**, and an explanation of how the project meets the required standard is in plain text below.

**1. The amount, design, location, and the nature of any proposed grading is necessary to establish or maintain a use presently permitted by law on the property.**

The proposed residence utilizes the existing permitted improvements constructed prior to establishing of the (-d1) Design Review Combining Zoning District to avoid an excessive amount of grading required for a new building pad and driveway. Minimal grading is proposed to improve the existing driveway and building pad in accordance with current engineering standards, with no grading proposed to enlarge the building pad, thereby not creating new impacts to the adjacent hillside or creek areas. The proposed grading quantities for the project include 226 cubic yards of cut and 245 cubic yards of fill (total 471 cubic yards). The grading design balances the total cut and fill volume and is appropriate to establish the single-family residence, which is permissible in the HS zoning district. For these reasons, this finding can be made.

**2. The grading will not endanger public and/or private property, endanger public health and safety, will not result in excessive deposition of debris or soil sediments on any public right-of-way, or impair any spring or existing watercourse.**

The proposed project will not create any export, given more fill than the cut being proposed. Standard Conditions of Approval and requirements of final grading plans will ensure that grading around the building pad will not result in slope instability or erosion. Grading is proposed at 100 feet away from the Skillet Creek top of the bank to avoid negative impacts on the watercourse. The approval would not legalize the existing unpermitted detached barn located within the creek's 35-foot riparian setback measured from the top of the bank. Therefore, the grading will not endanger the public and/or private property, public health, and safety, nor result in excessive deposition of debris or soil sediments on any public right-of-way, or impair any spring or existing watercourse, and this finding can be made.

**3. Grading will minimize impacts to the natural landscape, scenic, biological and aquatic resources, and minimize erosion impacts.**

The proposed project would utilize the existing driveway and building pad situated on the most suitable and flattest portion of the lot. No new grading has been proposed beyond the areas that were developed consistent with the previously approved Grading Approval. The grading quantity of improving the existing building pad and driveway is relatively small, with no new retaining walls or additional grading proposed in the sloped areas adjacent to the building pad or near Skillet Creek.

The grading will not impose any significant impacts on the natural landscape, biological, or aquatic resources, as the proposed development is located at a minimum of 100 feet away from the Skillet Creek top of bank. According to the submitted biological report required by the Habitat Plan review, the project would not impact any sensitive habitat and species as there are no special status habitats within the proposed development area. No tree or vegetation removal is proposed. Therefore, the proposed grading will minimize impacts to the natural landscape and resources and minimize erosion impacts, and this finding can be made.

**4. For grading associated with a new building or development site, the subject site shall be one that minimizes grading in comparison with other available development sites, taking into consideration other development constraints and regulations applicable to the project.**

The proposed grading is related to improving the existing building pad and driveway for the new residence, which follows the previously granted Grading Approval (refer to Attachment E). As discussed above, the existing building pad is located on the flattest portion of the lot, away from Skillet Creek, and outside the recorded easements, compared to other alternative building sites on the subject property. Given the development history and constraints mentioned above, the project would require less grading than creating a new building pad on other available development sites, and this finding can be made.

**5. Grading and associated improvements will conform with the natural terrain and existing topography of the site as much as possible, and should not create a significant visual scar.**

The proposed grading follows the design of the previously granted Grading Approval and conforms with the existing natural terrain and topography. The proposed two (2)-story residence is twenty-eight (28) feet tall, lower than the allowable thirty-five (35) feet height limit per the Zoning Ordinance. No new retaining walls are proposed, and no retaining walls would be exposed to the valley floor. In addition, the required additional trees and shrubs immediately to the front of the home as conditioned would decrease the visibility of the residence and mitigate the potential visual scar. As such, the proposed grading meets this finding.

**6. Grading conforms with any applicable general plan or specific plan policies; and**

The proposed grading is in conformance with specific findings and policies identified in the County General Plan. The proposed project utilizes the existing building pad and driveways and is situated in an area that requires minimal necessary grading. Such design reduces visual impacts from hillside development in keeping with General Plan policies R-GD 25 and 26, which requires '*Grading associated with roads, bridges, retaining walls, or similar improvements related to access requirements should not create a significant visual scar or impact to the environment,*' and discourages '*excessive, non-essential grading.*' No specific plan applies to the project. For these reasons, this finding can be made.

**7. Grading substantially conforms with the adopted "*Guidelines for Grading and Hillside Development*" and other applicable guidelines adopted by the County.**

The proposed grading is in conformance with the adopted "*Guidelines for Grading and Hillside Development,*" in particular, the specific guidelines for siting, road design, building form, and design. The residence utilizes the existing building pad and driveway in keeping with "*proposed development in areas with level lands or gentler slopes, adjacent to existing infrastructure, minimizing the need for grading and longer driveways into hillside areas,*" and "*where feasible, use existing access roads and driveways, instead of creating new and multiple driveways.*" In addition, no new contours or retaining walls are proposed, and no existing retaining walls would be exposed to the valley floor. Therefore, the proposed development follows the design of the existing driveway and building pad, minimizes grading, reduces visual impacts of the hillside development, and is in keeping with General Plan policies.

## **BACKGROUND**

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On September 3, 2020, the property owner submitted the Design Review Approval (Tier 2) and Grading Approval applications for a concurrent land use entitlement. The initial incomplete letter was issued on October 2, 2020, outlining issues with the completeness of the site plan, floor area calculation, grading, driveway improvement, drainage, and septic system concerns.

The applicant resubmitted on several occasions and made the final resubmittal on January 15, 2021. The project was subsequently deemed complete for processing on February 5, 2021. On March 11, 2021, the Zoning Administration Hearing Officer continued the project to the April 1, 2021 hearing, at the request of the applicant, in order to allow additional time for the applicant to install the required story poles (refer to Attachment G).

Due to a schedule conflict, the April 1, 2021 Zoning Administration Hearing was rescheduled to be held on April 8, 2021. On March 25, 2021, the applicant granted a one-time 90-day Streamline Act extension to extend the 60-day time frame from April 6, 2021 to July 6, 2021 for the County to render a decision on the application. On March 25, 2021, a public notice was mailed to all property owners within a 300 radius and was also published in the Post Records on March 25, 2021.

## STAFF REPORT REVIEW

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Prepared by: Xue Ling, Associate Planner



Reviewed by: Leza Mikhail, Principal Planner & Zoning Administrator






# Attachment A

## Statement of Exemption from the California Environmental Quality Act (CEQA)

## Attachment A

# STATEMENT OF EXEMPTION

### from the California Environmental Quality Act (CEQA)

<b>FILE NUMBER</b> PLN20-102	<b>APN(S)</b> 830-17-046	4/1/2021	
<b>PROJECT NAME</b> Single-Family Residence; 2546 Butch Drive, Gilroy, CA, 95020	<b>APPLICATION TYPE</b> Design Review Approval (Tier 2) and Grading Approval		
<b>OWNER</b> Ben M. Charnota	<b>APPLICANT</b> Amanda Musy-Verdel		
<b>PROJECT LOCATION</b> 2546 Butch Drive, Gilroy, CA, 95020			
<b>PROJECT DESCRIPTION</b> <p>The subject project is a concurrent land use entitlement for a Design Review (Tier 2) and Grading Approval for a 10,879-square foot new single-family residence with attached garages, and associated improvements of the existing driveway and septic system. Grading consists of 226 cubic yards of cut and 245 cubic yards of fill (total 471 cubic yards). No tree removal is proposed for the subject project. Proposed development is located more than 100 feet away from the 35-foot riparian setback measured from Skillet Creek top of the bank.</p> <p>All discretionary development permits processed by the County Planning Office must be evaluated for compliance with the California Environmental Quality Act (CEQA) of 1970 (as amended). Projects which meet the criteria listed under CEQA may be deemed exempt from environmental review. The project described above has been evaluated by Planning Staff under the provisions of CEQA and has been deemed to be exempt from further environmental review per the provision(s) listed below.</p>			
<b>CEQA (GUIDELINES) EXEMPTION SECTION</b> Section 15303(a) - Class 3(a): One single-family residence, or a second dwelling unit in a residential zone.			
<b>COMMENTS</b> <p>The subject property is located in a rural area of similar sized lots and developed with single-family residences of similar size. The new residence and associated improvements will utilize existing driveways and building pads. As proposed, new development would be located more than 100 feet away from the 35-foot riparian setback measured from Skillet Creek top of the bank. No trees would be removed. No special status species or habitat exist on the site, and the project will not create any impacts to a watercourse or sensitive or protected wildlife or plant species. This project is not a Habitat Plan Covered project.</p>			
<b>APPROVED BY:</b> Xue Ling, Associate Planner  Signature			 03/04/2021 Date

# Attachment B

## Preliminary Design Review (Tier II) And Grading Approval Conditions of Approval

**ATTACHMENT B**  
**PRELIMINARY DESIGN REVIEW (TIER II) AND GRADING APPROVAL**  
**CONDITIONS OF APPROVAL**

**Date:** April 8, 2021

**Owner/Applicant:** Ben M. Charnota

**Location:** 2546 Butch Drive, Gilroy, CA (APN: 830-17-046)

**File Number:** PLN20-102

**CEQA:** Categorically Exempt – Section 15303, Class 3(a)

**Project Description:** Concurrent Land Use Entitlement for Design Review Approval (Tier 2) and Grading Approval for a new 10,879 square-foot single-family residence with an attached garage and associated improvements of the existing driveway and septic system. Grading consists of 226 cubic yards of cut and 245 cubic yards of fill (total 471 cubic yards). No tree removal is proposed.

The site is an approved building site, pursuant to Tract Map No. 6335. The project is not a covered project by the Santa Clara Valley Habitat Plan.

If you have any question regarding the following final conditions of approval, call the person whose name is listed below as the contact for that agency. She/he represents a specialty and can provide details about the conditions of approval.

Agency	Name	Phone	E-mail
Planning	Xue Ling	(408) 299- 5784	<a href="mailto:xue.ling@pln.sccgov.org">xue.ling@pln.sccgov.org</a>
Environmental Health	Darrin Lee	(408) 299 – 5748	<a href="mailto:darrin.lee@cep.sccgov.org">darrin.lee@cep.sccgov.org</a>
Land Development Engineering	Darrell Wong	(408) 299 - 5735	<a href="mailto:darrell.wong@pln.sccgov.org">darrell.wong@pln.sccgov.org</a>
Fire Marshal	Christina DaSilva	(408) 299-5767	<a href="mailto:christina.dasilva@sccfd.org">christina.dasilva@sccfd.org</a>
CalFire	Marcus Hernandez		<a href="mailto:marcus.hernandez2@fire.ca.gov">marcus.hernandez2@fire.ca.gov</a>
Geology	Jim Baker	(408) 299 - 5774	<a href="mailto:jim.baker@pln.sccgov.org">jim.baker@pln.sccgov.org</a>
Building Inspection		(408) 299 - 5700	

**STANDARD CONDITIONS OF APPROVAL**

**Building Inspection**

1. For detailed information about the requirements for a building permit, obtain a Building Permit Application Instruction handout from the Building Inspection Office or visit the website at [www.sccbuilding.org](http://www.sccbuilding.org).

**Planning**

2. Development must take place in substantial conformance with the approved plans, submitted

on January 15, 2021 and the Conditions of Approval. Any changes to the proposed project, or any increase in grading quantities, or modification to the grading or design may require a Design Review or Grading Approval modification and associated fees, as may result in additional environmental review, pursuant to the California Environmental Quality Act.

3. The scope of the subject project includes a new single-family residence and improvement of existing driveway and building pad for the residence. This approval does not otherwise legalize any unpermitted structures that exist on the property and are not part of the proposed project scope. All structures and grading located within Santa Clara County jurisdiction that require a permit are subject to compliance with and issuance of County permits.
4. Building and grading permits shall be submitted concurrently.
5. Existing zoning is HS-d1 (Hillsides - Combined Design Review District). Maintain the following minimum dwelling setbacks (Zoning Ordinance Sections 2.20.030):  
Front: 30 feet                      Sides: 30 feet                      Rear: 30 feet  
The maximum height of dwellings is 35 feet and shall not exceed three (3) stories.
6. Two (2) off-street parking spaces are required, one (1) of which must be covered.
7. With the exception of trim and minor details, the exterior surfaces of the house shall be painted muted colors with a light reflectivity value (LRV) of 45 or lower with exception of one accent exterior color having LRV of 65. The exterior materials shall be consistent with the submitted color samples and the rendering drawing of the approved plans (Sheet BS.T, Attachment C).

#### *Archaeological Resources*

8. In the event that human skeletal remains are encountered, the applicant is required by County Ordinance No. B6-18 to immediately notify the County Coroner. Upon determination by the County Coroner that the remains are Native American, the coroner shall contact the California Native American Heritage Commission, pursuant to subdivision (c) of section 7050.5 of the Health and Safety Code and the County Coordinator of Indian affairs. No further disturbance of the site may be made except as authorized by the County Coordinator of Indian Affairs in accordance with the provisions of state law and this chapter. If artifacts are found on the site a qualified archaeologist shall be contacted along with the County Planning Office. No further disturbance of the artifacts may be made except as authorized by the County Planning Office.

#### Land Development Engineering

9. Property owner is responsible for the adequacy of any drainage facilities and for the continued maintenance thereof in a manner that will preclude any hazard to life, health or damage to adjoining property.

#### Environmental Health

10. At the time of application for a building permit, submit a plot plan to scale (1" = 20') on a grading and drainage plan showing the house, driveway, accessory structures, septic tank and

required drainlines to contour, in order to obtain a septic system permit. Maintain all setbacks as outlined within County of Santa Clara Onsite Manual. The original plans must be submitted to the Department of Environmental Health prior to the issuance of the septic system permit and submitted as the final grading plan to Land Development Engineering when a grading permit is required. Contact Jeff Camp at 408-918-3473 for septic system sign-off.

11. The proposed development intends to connect to the existing onsite wastewater treatment system (OWTS); therefore, obtain an OWTS repair/ modification permit from the Department of Environmental Health. (Note: The OWTS repair/modification permit shall be issued concurrently with the building permit.)
12. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m. on weekdays and Saturdays, or at any time on Sundays for the duration of construction.

### **CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO FINAL GRADING AND BUILDING PERMIT ISSUANCE**

#### **Planning**

13. **Prior to issuance of any permits**, the applicant shall pay all reasonable costs associated with the work by the Department of Planning and Development.
14. **Prior to issuance of a building permit**, and pursuant to Zoning Ordinance Section 5.20.125 record a Notice of Permit and Conditions with the County Office of Clerk-Recorder to ensure that successor property owners are aware that certain conditions of approval shall have enduring obligation.
15. **Prior to issuance of a building permit**, submit final color samples for the house facade, trim and roof indicating the Light Reflectivity Value (LRV) is less than or equal to 45 LRV, pursuant to Zoning Ordinance Section 3.20.040B, with exception of one accent exterior color having LRV of 65. The exterior materials shall be consistent with the project color samples and plans approved at the March 11, 2021 Zoning Administration Hearing.

#### ***Tree Protection***

16. No trees will be removed as proposed. Per County Municipal Code Division C16-3(e), any tree that was required to be planted or retained by these Conditions of Approval of any land use entitlement are protected trees, regardless the size. The project trees are subject to tree removal and replacement trees. Irrigation system is highly recommended to increase the tree's survival.
17. For all trees to be retained with a canopy in the development area, or that interfaces with the limits of grading for any proposed development on-site, the trees shall be protected by the placement of five (5)-foot tall rigid tree protective fencing, as shown on final grading and final building plans and must include the following:

- a. Fencing should be placed along the outside edge of the dripline of the tree or grove of trees.
- b. The fencing should be maintained throughout the site during the entire construction period and should be inspected periodically for damage and proper functions.
- c. Fencing should be repaired as necessary to provide a physical barrier from construction activities.
- d. The following sign shall be placed on all tree protection fencing and must remain until final occupancy. The sign must read: "Warning. This fencing shall not be removed without permission from the Santa Clara County Planning Office. County of Santa Clara tree protection measures may be found at: <http://www.sccplanning.gov>, or call 408-299-5770 for additional details."
- e. Protection measures must be in place **prior to construction activity** commencing.
- f. Evidence of tree protective fencing can be provided by taking photos and emailing to the project planner.

#### *Landscape Plan/Permit*

18. **Prior to issuance of any permits**, provide a landscape plan utilizing trees, vines, shrubbery or planters to reduce the apparent height of the residence to blend the structure with the surrounding landscape and soften the impact of development, as seen from the valley floor. The landscape plan shall be consistent with the preliminary landscape plan approved by the Hearing Officer at Zoning Administration Hearing on March 11, 2021.

19. The requirements of Division B33 of the County Ordinance Code (Sustainable Landscape Ordinance) shall apply. Calculate square footage of new landscaped area and if it equals or exceeds 500 sq. feet, then a landscaping permit is required. The landscape ordinance and supporting information can be found on the following web page:  
<https://www.sccgov.org/sites/dpd/PlansOrdinances/Landscape/Pages/welo-apply.aspx>

#### Land Development Engineering

20. Obtain a Grading Permit from Land Development Engineering (LDE) **prior to beginning any construction activities**. Issuance of the grading permit is required **prior to LDE clearance of the building permit** (building and grading permits may be applied for concurrently). The process for obtaining a grading permit and the forms that are required can be found at the following web page:  
[www.sccplanning.org](http://www.sccplanning.org) > I Want to.. > Apply for a Permit > Grading Permit  
 Please contact LDE at (408-299-5734) for additional information and timelines.

21. Final plans shall include a single sheet which contains the County standard notes and certificates, as shown on County Standard Cover Sheet. Plans shall be neatly and accurately drawn, at an appropriate scale that will enable ready identification and recognition of submitted information.

22. Final improvement plans shall be prepared by a licensed civil engineer for review and approval by LDE and the scope of work shall be in substantial conformance with the conditionally approved preliminary plans on file with the Planning Office. Include plan,

profile, typical sections, contour grading for all street, road, driveway, structures and other improvements as appropriate for construction. The final design shall be in conformance with all currently adopted standards and ordinances. The following standards are available on-line:  
§ Standard Details Manual, September 1997, County of Santa Clara, Roads and Airports Department available at:

[www.sccgov.org/sites/rda](http://www.sccgov.org/sites/rda) > Published Standards, Specifications, Documents and Forms

§ March 1981 Standards and Policies Manual, Volume 1 (Land Development)

[www.sccplanning.org](http://www.sccplanning.org) > Plans & Ordinances > Land Development Standards and Policies

§ 2007 Santa Clara County Drainage Manual

[www.sccplanning.org](http://www.sccplanning.org) > Plans & Ordinances > Grading and Drainage Ordinance

23. Survey monuments shall be shown on the improvement plan to provide sufficient information to locate the proposed improvements and the property lines. Existing monuments must be exposed, verified and noted on the grading plans. Where existing monuments are below grade, they shall be field verified by the surveyor and the grade shall be restored and a temporary stake shall be placed identifying the location of the found monument. If existing survey monuments are not found, temporary staking delineating the property line may be placed prior to construction and new monuments shall be set prior to final acceptance of the improvements. The permanent survey monuments shall be set pursuant to the State Land Surveyor's Act. The Land Surveyor / Engineer in charge of the boundary survey shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.
24. The improvement plans shall include an Erosion and Sediment Control Plan that outlines seasonally appropriate erosion and sediment controls during the construction period. Include the County's Standard Best Management Practice Plan Sheets BMP-1 and BMP-2 with the Plan Set.
25. All applicable easements affecting the parcel(s) with benefactors and recording information shall be shown on the improvement plans.

#### *Drainage*

26. Provide a drainage analysis prepared by a licensed civil engineer in accordance with criteria as designated in the 2007 County Drainage Manual (see Section 6.3.3 and Appendix L for design requirements). The on-site drainage will be controlled in such a manner as to not increase the downstream peak flow for the 10-year and 100-year storm event or cause a hazard or public nuisance. The mean annual precipitation is available on the on-line property profile.

#### *Utilities*

27. All new on-site utilities, mains and services shall be placed underground and extended to serve the proposed development. All extensions shall be included in the improvement plans. Off-site work should be coordinated with any other undergrounding to serve other properties in the immediate area.

#### *Stormwater Treatment – Central Coast*



28. Fill out and submit the forms in the Post Construction Requirements (PCR) Applicant's Packet. Comply with all requirements of the current Central Coast NPDES Permit requirements.
29. Include one of the following site design measures in the project design: (a) direct hardscape and/or roof runoff onto vegetated areas, (b) collect roof runoff in cisterns or rain barrels for reuse, or (c) construct hardscape (driveway, walkways, patios, etc.) with permeable surfaces. Though only one site design measure is required, it is encouraged to include multiple site design measures in the project design.

#### *Soils and Geology*

30. Submit **one copy** of the signed and stamped of the geotechnical report for the project.
31. Submit a plan review letter by the Project Geotechnical Engineer certifying that the geotechnical recommendation in the above geotechnical report have been incorporated into the improvement plan.

#### *Notice of Intent*

32. Indicate on the improvement plans the land area that will be disturbed. If one acre or more of land area will be disturbed, file a Notice of Intent (NOI) with the State Water Resources Control Board (SWRCB) for coverage under the State General Construction Permit. The SWRCB will issue a Waste Discharge Identification number (WDID). The WDID number shall be shown on the on the final improvement plans. The SWRCB web site is at: [www.waterboards.ca.gov](http://www.waterboards.ca.gov) > Water Issues > Programs > Stormwater

#### *Dedications and Easements*

33. Remove/relocate all fencing from the dedicated right of way. This will include any gates along the driveway.

#### Environmental Health

34. **Prior to issuance of the Grading Permit**, obtain and provide a water will serve letter from Golden Heights Water Mutual Company.

#### Fire Marshal

##### *Fire Protection Water*

35. Important: Fire protection water system shall be installed, functioning and inspected **prior to approval of the foundation**. System shall be maintained in good working order and accessible throughout construction. A stop work order may be placed on the project if the required hydrant systems are not installed, accessible, and/or functioning.

##### *Fire Department Access*

36. General Requirements:
- These are minimum Fire Marshal standards. Should these standards conflict with any other local, state or federal requirement, the most restrictive shall apply.
  - Construction of access roads and driveways shall use good engineering practice.
  - All required access roads, driveways, turnarounds, and turnouts shall be installed, and

serviceable **prior to approval of the foundation**, and shall be maintained throughout construction. A stop work order may be placed on the project if required driving surfaces are not installed, accessible, and/or maintained at all times.

37. Driveways (roads serving only one lot) shall comply with the following when the distance between the centerline of the access road and any portion of the structure exceeds 150 ft. (measured along the path of travel).
- a. Width: Clear width of drivable surface of 12 feet plus 1-foot shoulder each side.
  - b. Vertical Clearance: Minimum vertical clearance of 15 feet shall be maintained between the access road and the building site (trim or remove, tree limbs, electrical wires, structures, and similar improvements).
  - c. Curve Radius: Inside turn radius for curves shall be a minimum of 42 feet.
  - d. Grade: Maximum grade shall not exceed 15%. The Fire Marshal may permit grades up to a maximum of 20% if no other method is practicable and if consistent with good engineering practices. In no case shall the portion exceeding 15% gradient be longer than 300 feet in length, unless there is at least 100 feet at 15% or less gradient between each 300-foot section. Grades exceeding 15% shall be paved in compliance with County Standard SD5.
  - e. Surface: All driving surfaces shall be all-weather and capable of sustaining 75,000-pound gross vehicle weight.
  - f. Turnarounds: Turnaround shall be provided for driveways in excess of 150 feet as measured along the path of travel from the centerline of the access road to the structure. Acceptable turnarounds shall be hammerhead, or bulb of 40-foot radius complying with County Standard SD-16. All turnarounds shall have a slope of not more than 5% in any direction.
  - g. Gates: Gates shall not obstruct the required width or vertical clearance of the driveway and may require a Fire Department Lock Box/Gate Switch to allow for fire department access. Installation shall comply with CFMO-A3.

*Miscellaneous:*

38. Property is located within the Santa Clara County Fire Department response area and the State Response Area (served by Cal Fire).
39. This property is located in the Wildland/Urban Interface Fire Area. All of the following conditions shall apply:
- a. A Class "A" roof assembly is required. Detail shall be included in plans submitted for building permit.
  - b. Provide a 1/2 inch spark arrester for the chimney.
  - c. Remove significant combustible vegetation within 30 feet of the structure to minimize risk of wildfire casualty. Maintain appropriate separation of vegetative fuels in areas between 30 and 100 feet from the structure.
40. Fire department access roads, driveways, turnouts, and turnarounds shall be maintained free and clear and accessible at all times for fire department use. Gates shall be maintained in good working order and shall remain in compliance with Fire Marshal Standard CFMO-A3 at all times.

#### CalFire

41. This property will need to comply with the vegetation maintenance requirements of Public Resource Code (PRC) 4291.

§ 1276.01. Setback for Structure Defensible Space.

(c) Structures constructed in the SRA are required to comply with the defensible space regulations in Title 14. Natural Resources Division 1.5. Department of Forestry and Fire Protection Chapter 7. Fire Protection Subchapter 3. Fire Hazard.

#### Geology

Note: Earth Systems' "Geotechnical Engineering and Geologic Landslide Hazard Report" (dated 12-7-2017) combined with PGE's "Geologic Feasibility Evaluation Letter Report(dated 2-16-1995) satisfy my requirement for a geologic report. Therefore, the application may be deemed complete with Conditions:

42. **Prior to permit issuance**, submit a Plan Review Letter that confirms the plans conform with the recommendations presented in the approved reports; and

43. **Prior to Final Inspection**, submit a Construction Observations Letter that verifies the work was completed in accordance with the approved plans.

#### **CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO OCCUPANCY OR ONE YEAR FROM THE DATE OF THE LAND DEVELOPMENT AGREEMENT, WHICHEVER COMES FIRST.**

#### Planning

44. **Prior to final inspection**, contact Xue Ling, Associate Planner, **at least two weeks in advance** to schedule a site visit to verify the approved exterior colors and landscaping have been installed, as approved.

#### Land Development Engineering

45. Existing and set permanent survey monuments shall be verified by inspectors **prior to final acceptance of the improvements** by the County. Any permanent survey monuments damaged or missing shall be reset by a licensed land surveyor or registered civil engineer authorized to practice land surveying and they shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.

46. Construct the improvements. Construction staking is required and shall be the responsibility of the developer.

#### Environmental Health

47. To the existing OWTS (under septic permit #60736), install the following:

- a) 86 lineal feet of Infiltrator chambers to dispersal field #1 (upper leach field) and
- b) 105 lineal feet of Infiltrator chambers to dispersal field #2 (lower leach field).

48. Provide proof of garbage service at the time of final occupancy sign-off. Garbage service in the unincorporated areas of Santa Clara County is mandatory.

Fire Marshal

49. Fire Sprinkler System: An approved residential fire sprinkler system complying with CFMO-SP6 shall be installed throughout the structure (including existing residences when square footage is added).

Note: The fire sprinkler system shall be installed and finalized by this office **prior to occupancy**. A separate permit shall be obtained from this office by a state licensed C-16 contractor prior to installation. Please allow for a minimum of 30 days for plan review of fire sprinkler plans by this office.

# Attachment C

## Plans and Vicinity Map



## General Construction Specifications

1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY \_\_\_\_\_ AND DATED \_\_\_\_\_. THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY. DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
3. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
4. DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
5. DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA.
6. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
7. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
8. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
9. UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION 18-118).
10. THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
11. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES, THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACKSLOPE.
2. EXISTING UTILITY STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE DEVELOPER OR ENGINEER AND LICENSED LAND SURVEYOR.
3. PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.
4. PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.
5. IN ACCORDANCE WITH THE CALIFORNIA PROFESSIONAL LAND SURVEYORS' ACT (BUSINESS AND PROFESSIONS CODE) CHAPTER 15 SECTIONS 8771 AND 87251, CALIFORNIA PENAL CODE 605, AND CALIFORNIA GOVERNMENT CODE 27581, ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING ROADWAY/STREET MONUMENT, PROPERTY CORNER, OR ANY OTHER PERMANENT SURVEYED MONUMENT AND/OR AS SHOWN ON THIS TENTATIVE MAP SHALL ENSURE THAT THE CORNER RECORDS AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS. ALL DISTURBED OR DESTROYED MONUMENTS SHALL BE RESET AND FILED IN COMPLIANCE WITH SECTION 8771.

1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
2. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
3. INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE STRUCTURAL ASPECTS OF CONSTRUCTION, OR THE QUALITY OF PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
4. DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
5. THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR COMMENCEMENT OF THE BUILDING FOUNDATION.

1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:

A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)

B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.

2. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

CONTRACTOR SHALL NOTIFY UTA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.

ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.

ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE, UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.

TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE TRENCH SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.

TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR BACKFILL AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.

BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.
2. SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE Hauled AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IT SHALL BE STRIPPED OF ALL VEGETATION. TO ACHIEVE PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEYED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL, THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION. THE FILL AREA SHALL BE KEPT MOIST (80-100% WET) TO MOISTEN THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
2. EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE.
3. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
4. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF THE PROJECT AREA.
5. THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
6. MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE.

EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.

7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.

8. ALL MATERIALS FOR FILL SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.

9. THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%

10. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.

11. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.

12. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.

13. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.

14. TOTAL DISTURBED AREA FOR THE PROJECT \_\_\_\_\_SF.

15. WIDB NO. \_\_\_\_\_

16. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
  - A. FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRUPLINE OF THE TREE OR THE TRUNK OF TREES.
  - B. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.
  - C. FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
  - D. SIGNAGE STATING, "WARNING- THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT <http://www.sccplanning.gov>" SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY.
2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACED AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
3. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
5. ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC..

1. PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
2. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
3. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
4. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
5. SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
6. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MANAGEMENT TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
7. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.
8. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
9. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT, VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
  - A. 15 MILES PER HOUR (MPH) SPEED LIMIT
  - B. 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
10. TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAINT HOTLINE OF 1-800-334-6367.
11. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
12. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
13. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDB.
14. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. EROSION DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
15. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL EFFECTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
16. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
17. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.
18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT AND ELIGIBLE DISCHARGE ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE SIGN AND SITUATIONALLY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAG0612008 / WDO. R. K2-2009-0047 AND NPDES PERMIT CAG000047 / NPDES NO. 2013-00100-000.
2. DROP INLETS SHALL BE CONSTRUCTED TO MEET TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS, WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
3. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SLOPE OR TO AN OPEN AREA FOR SHEET FLOW. UNDER INSTALLATION OF DRAINAGE CONDUITS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
5. THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (\_\_\_ WERE) (\_\_\_ WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (\*). THERE (\_\_\_ WERE) (\_\_\_ WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL Δ.

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER  
PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE  
FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.



1. THE LANDOWNER/CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES.
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY.
3. THE LANDOWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD OR/AND RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS AND RESET PERMANENT MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT COULD BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.

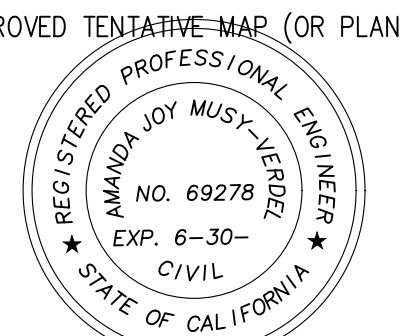


1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT-OF-WAY WITHOUT AN ENCRoACHMENT PERMIT, INCLUDING THE STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.

**PRELIMINARY PLANS**  
**NOT FOR CONSTRUCTION**

PRELIMINARY PLANS  
NOT FOR CONSTRUCTION



ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITEE OR ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE \_\_\_\_\_ CHRISTOPHER L. FREITAS  
R.C.E. NO. 42107  
EXPIRES 3/31/



1. THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE EROSION CONTROL PLAN. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE DESIGN OF THE EROSION CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSION CONTROL PLANS TO PREVENT ILLICIT DISCHARGES FROM THE SITE DURING CONSTRUCTION.

2. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND CERTIFIED ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGICAL REPORTS SHALL BE SUBMITTED PRIOR TO GRADING COMPLETION AND RELEASE OF BOND.
3. NO TREES ARE TO BE REMOVED
4. CLEAR AND GRUB DRIVEWAY AND BUILDING SITE
5. CONSTRUCT DRIVEWAY AND BUILDING PAD
6. CONSTRUCT TURNOUT
7. NO LANDSCAPING PROPOSED

1	COVER SHEET
2	EXISTING TOPOGRAPHY AND SITE PLAN
3	PRELIMINARY GRADING & DRAINAGE PLAN
4	SECTIONS, DETAILS, NOTES, ABBREVIATIONS AND LEGEND
5	EXISTING ROAD WIDTHS TO PROJECT SITE
6	EROSION CONTROL PLAN
BMP1&2	BEST MANAGEMENT PRACTICES
9	PRELIMINARY LANDSCAPE PLAN

ENGINEER'S NAME: HANNA & BRUNETTI

ADDRESS: 7651 EIGLEBERRY STREET, GILROY CA 95020

PHONE NO. 408 842-2173

FAX NO. 408 842-3662

# PRELIMINARY IMPROVEMENT PLANS

FOR THE

## HOME GRADING AND DRAINAGE

## ON THE LANDS OF CHARNOTA

2546 BUTCH DRIVE, GILROY

LOT 6, AS DELINEATED UPON THAT CERTAIN MAP ENTITLED

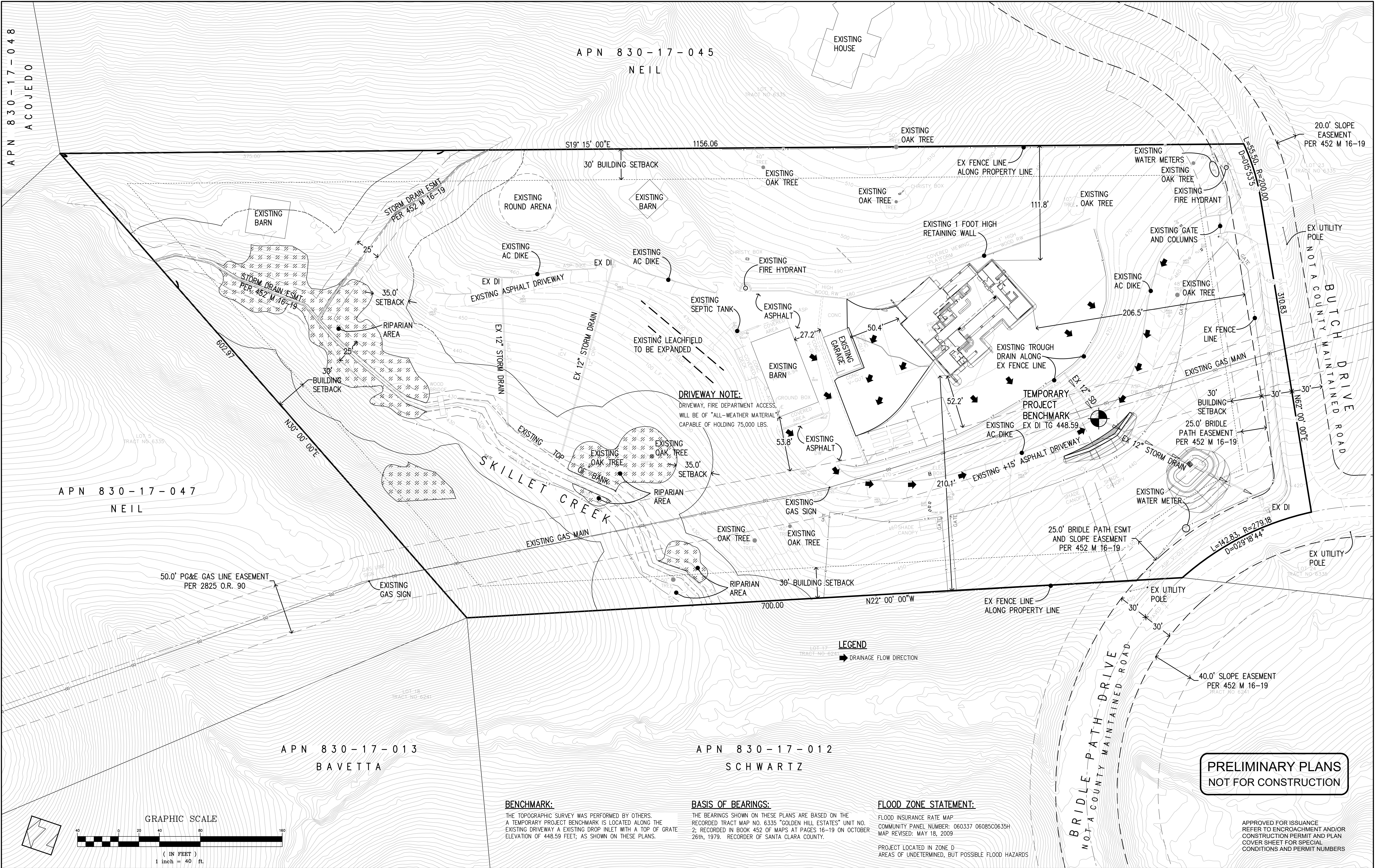
TRACT NO. 6335 - GOLDEN HILL ESTATES - UNIT NO. 2

SANTA CLARA COUNTY CALIFORNIA

JANUARY 2021			NO SCALE
Revision 1	Date	APN 830-17-046	Sheet 1 of 9
Revision 2	Date	Co. File	
Revision 3	Date	PLN20-102	



THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS IN THE ENGINEER WITHOUT PREJUDICE.



REVISIONS:			<div>DATE: JANUARY 2021</div> <div>HORIZ. SCALE: 1"=40'</div> <div>VERT. SCALE: NONE</div> <div>DESIGNED BY: AM</div> <div>CHECKED BY: _____</div> <div>DRAWN BY: TM.</div>	<div>date: 6/30/20</div> <div>Hanna - Brunetti</div> <div>Amanda Joy Musy-Verdel</div> <div>R.C.E. # 69278</div> <div>expires: 6/30/</div> <div>REGISTERED PROFESSIONAL ENGINEER</div> <div>AMANDA JOY MUSY-VERDEL</div> <div>NO. 69278</div> <div>EXP. 6-30-</div> <div>CIVIL</div> <div>STATE OF CALIFORNIA</div>	REFERENCES	<div>UNINCORPORATED</div> <div>JANUARY 2021</div>	<div>Existing Topography &amp; Site Plan</div> <div>Lands of Charnota - 2546 Butch Drive - apn 830-17-046</div> <div>COUNTY FILE NO.: PLN20-102</div>	<div>SANTA CLARA COUNTY</div> <div>CALIFORNIA</div>	<div>APPLICANT: CHARNOTA</div> <div>ROAD: 2546 BUTCH DRIVE</div>	<div>2</div> <div>OF 9</div> <div>JOB NO. 20033</div>
DATE	DESCRIPTION	BY:								

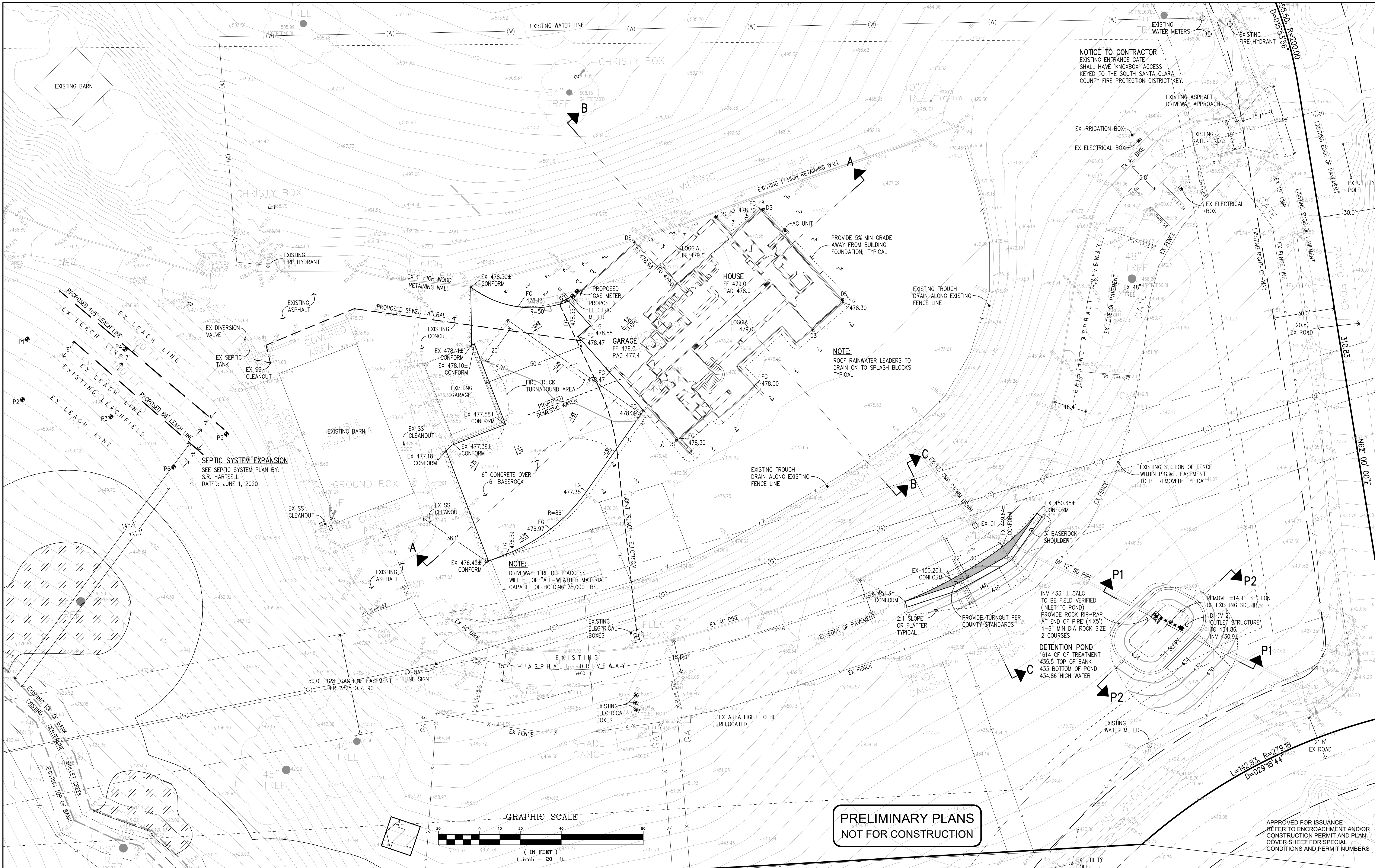
HANNA-BRUNETTI  
EST. 1980  
CIVIL ENGINEERS • LAND SURVEYORS  
CONSTRUCTION MANAGERS  
7651 EGGLEBERRY STREET • GILROY • 95020 • CALIFORNIA  
OFFICE (408) 842-2173 • FAX (408) 842-3662  
EMAIL: ENGINEERING@HANNABRUNETTI.COM

APPROVED FOR ISSUANCE  
REFER TO ENCROACHMENT AND/OR  
CONSTRUCTION PERMIT AND PLAN  
COVER SHEET FOR SPECIAL  
CONDITIONS AND PERMIT NUMBERS



PLAN # \_\_\_\_\_  
SHEET \_\_\_\_\_ OF \_\_\_\_\_

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REVISIONS:		
DATE	DESCRIPTION	BY:



**HANNA-BRUNETTI**  
EST. 1910

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DATE: JANUARY 2021  
HORIZ. SCALE: 1"=20'  
VERT. SCALE: NONE  
DESIGNED BY: AM  
CHECKED BY: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_ T.M.

date: \_\_\_\_\_20  
Hanna - Brunetti

---

Amanda Joy Musy-Verde

R.C.E. # 69278  
expires: 6/30/



## REFERENCES

UNINCORPORATED  
JANUARY 2021

# Preliminary Grading & Drainage Plan

Lands of Charnota - 2546 Butch Drive - apn 830-17-046

SANTA CLARA COUNTY  
CALIFORNIA

SHEET

3

OF

JOB NC

20033



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PROJECT NOTES:

- THE LOCATION OF THE BUILDING PADS AND/OR FOUNDATIONS ARE TO BE ESTABLISHED BY A PERSON AUTHORIZED TO PRACTICE LAND SURVEYING. A LETTER SIGNED AND SEALED BY THAT AUTHORIZED PERSON, STATING THAT HE/SHE HAS LOCATED THE BUILDING CORNERS, AND THEIR LOCATIONS CONFORM TO COUNTY BUILDING SETBACK REQUIREMENTS PER THE APPROVED BUILDING PLANS IS REQUIRED TO BE SUBMITTED TO THE COUNTY ENGINEER.
- "THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE GROUND WHICH ARE SHOWN TO BE REMOVED. ANY OTHER SUCH TREES ARE NOT TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED."
- NO TREES ARE TO BE REMOVED
- PRIOR TO GRADING COMPLETION AND RELEASE OF BOND, ALL GRADED AREAS SHALL BE RESEEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADED SLOPES AND REDUCE THE POTENTIAL FOR EROSION ON THE SUBJECT SITE.
- BOTH DRAINFIELDS MUST BE STAKED AND STRUNG PRIOR TO APPROVAL OF THE SEPTIC DESIGN TO VERIFY THAT THE PROPOSED SEPTIC DESIGN WILL ACTUALLY FIT INTO THE PROPOSED LEACHFIELD AREA, AND CONFORM TO ALL REQUIRED SETBACKS.
- IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 50 METERS (150 FEET) OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.
- NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
- ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
- IN THE EVENT THAT ARCHEOLOGICAL FEATURES SHOULD BE DISCOVERED AT ANY TIME DURING THE GRADING, SCRAPING OR EXCAVATION, ALL WORK SHOULD BE HALTED IN THE VICINITY OF THE FIND AND AN ARCHAEOLOGIST SHOULD BE CONTACTED IMMEDIATELY TO EVALUATE THE DISCOVERED MATERIAL TO ASSESS ITS AREAL EXTENT, CONDITION, AND SCIENTIFIC SIGNIFICANCE. IF THE DISCOVERED MATERIAL IS DEEMED POTENTIALLY SIGNIFICANT, A QUALIFIED ARCHAEOLOGIST SHOULD MONITOR ANY SUBSEQUENT ACTIVITY IN THE PROXIMITY.
- IN THE EVENT THAT HUMAN SKELETAL REMAINS ARE ENCOUNTERED, THE APPLICANT IS REQUIRED BY COUNTY ORDINANCE NO. B6-18 TO IMMEDIATELY NOTIFY THE COUNTY CORONER. UPON DETERMINATION BY THE COUNTY CORONER THAT THE REMAINS ARE NATIVE AMERICAN, THE CORONER SHALL CONTACT THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION, PURSUANT TO SUBDIVISION (c) OF SECTION 7050.5 OF THE HEALTH AND SAFETY CODE AND THE COUNTY COORDINATOR OF INDIAN AFFAIRS. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE COUNTY CHAPTER. IF ARTIFACTS ARE FOUND ON THE SITE A QUALIFIED ARCHAEOLOGIST SHALL BE CONTACTED ALONG WITH THE COUNTY PLANNING OFFICE. NO FURTHER DISTURBANCE OF THE ARTIFACTS MAY BE MADE EXCEPT AS AUTHORIZED BY THE COUNTY PLANNING OFFICE.
- THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
- UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%.
- ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION.
- ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THIS PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
- AN APPROVED RESIDENTIAL FIRE SPRINKLER SYSTEM COMPLYING WITH FIRE MARSHAL STANDARD CFMO-SP6 IS REQUIRED TO BE INSTALLED THROUGHOUT THE STRUCTURE.
- ALL NEW ON-SITE UTILITIES, MAINS AND SERVICES SHALL BE PLACED UNDERGROUND AND EXTENDED TO SERVE THE PROPOSED RESIDENCE.
- A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND CERTIFIED ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGICAL REPORTS SHALL BE SUBMITTED PRIOR TO GRADING COMPLETION AND RELEASE OF BOND.
- ALL ROOF RUNOFF SHALL BE DIRECTED TO LANDSCAPED OR NATURAL AREAS AWAY FROM BUILDING FOUNDATIONS, TO ALLOW FOR STORM WATER INFILTRATION INTO THE SOIL AND SHEET FLOW.

NOTE TO CONTRACTOR

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS AND OTHER SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKER'S DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

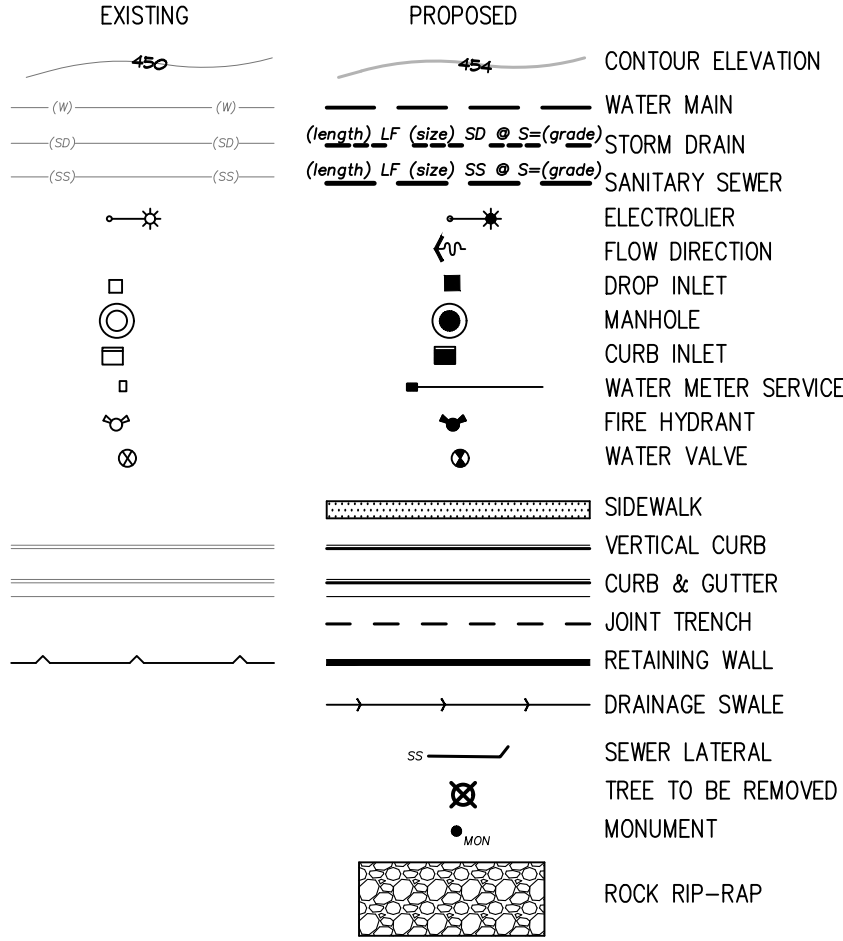
WHERE THE FIRM OF HANNA & BRUNETTI DOES NOT PROVIDE CONSTRUCTION STAKES, SAID FIRM WILL ASSUME NO RESPONSIBILITY WHATSOEVER FOR IMPROVEMENTS CONSTRUCTED THEREFROM.

CONTRACTOR TO VERIFY:

CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION OF BUILDING PAD, THE STRUCTURAL SECTION OF FOUNDATION TO DETERMINE BUILDING PAD ELEVATION.

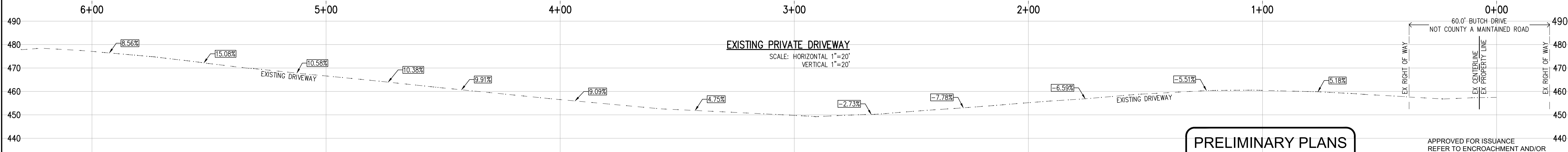
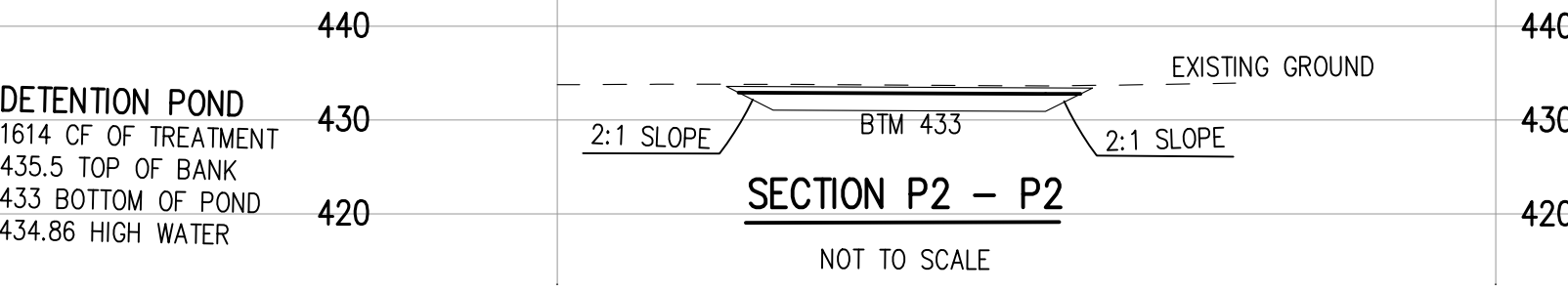
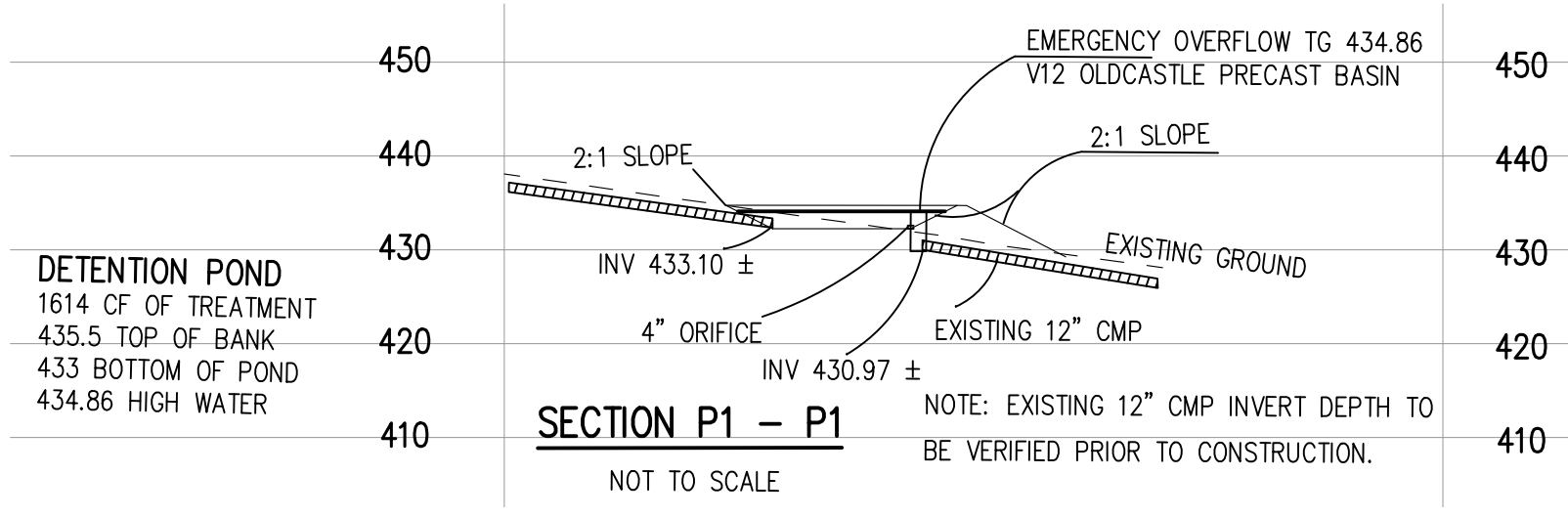
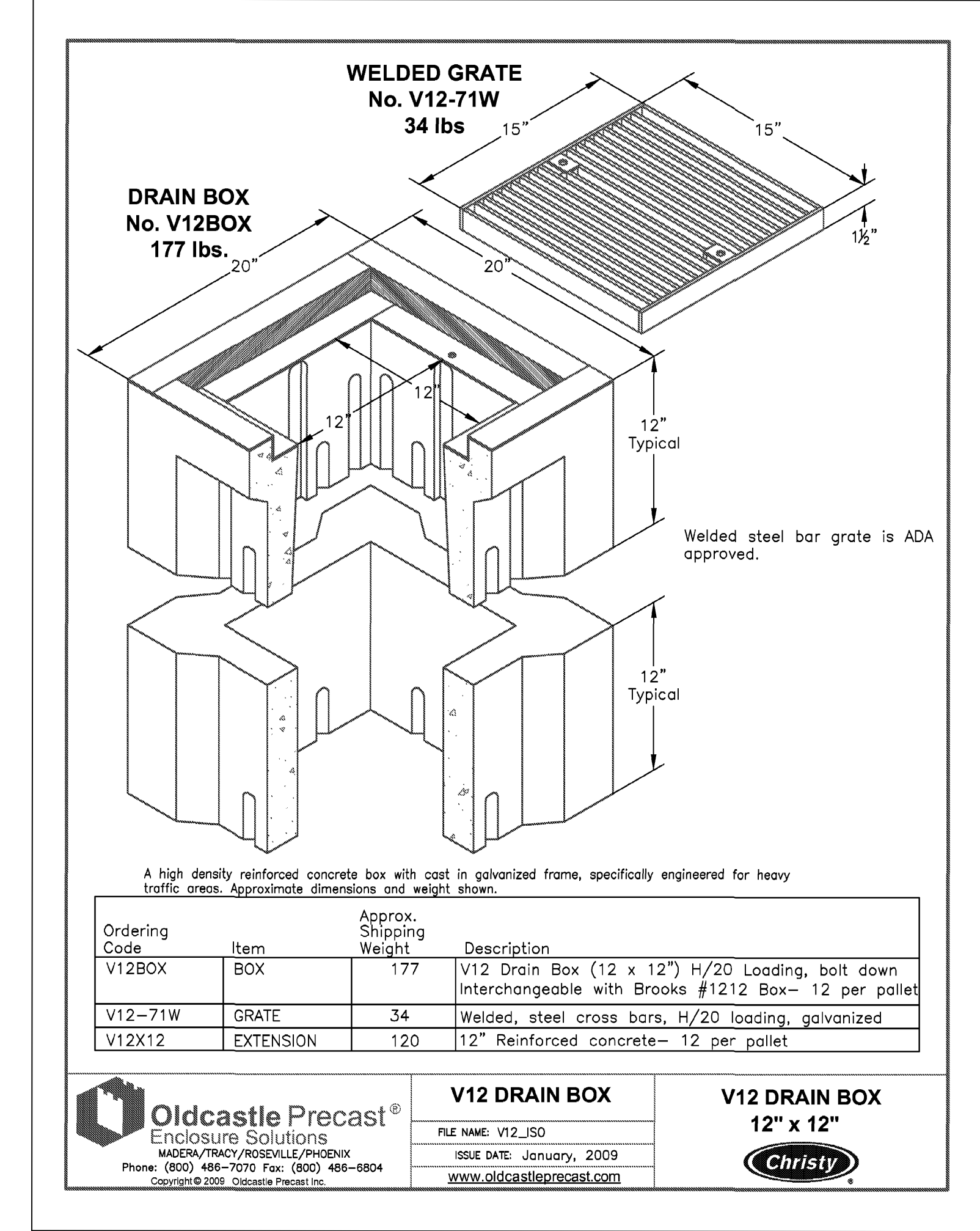
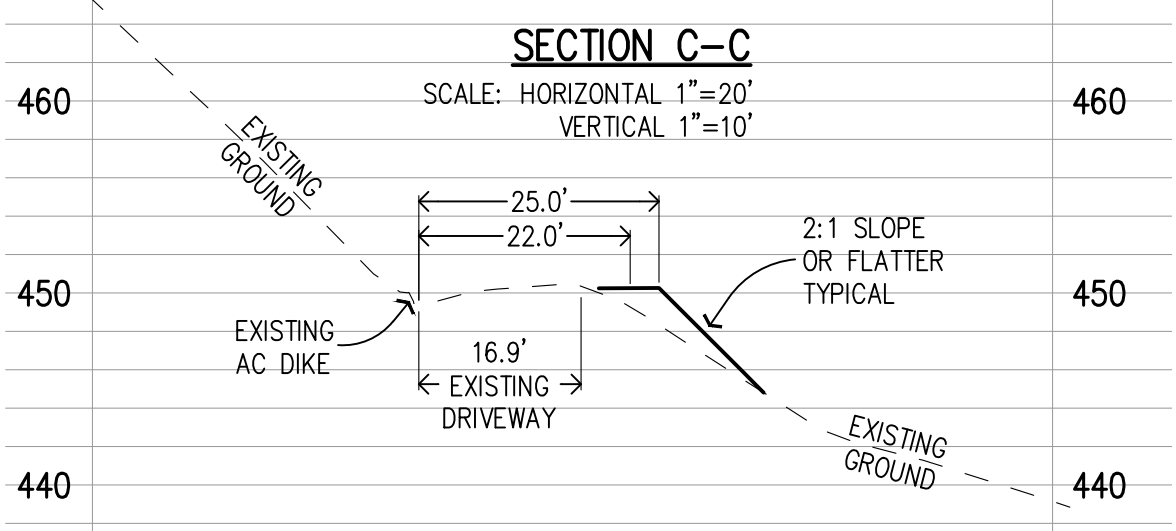
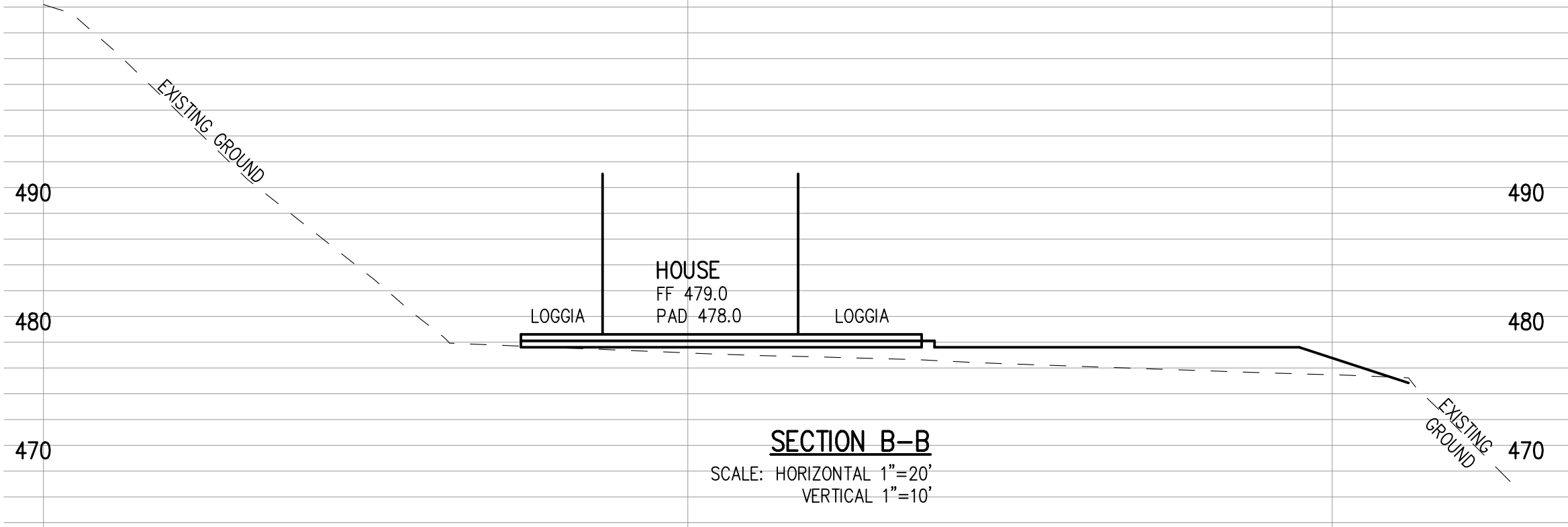
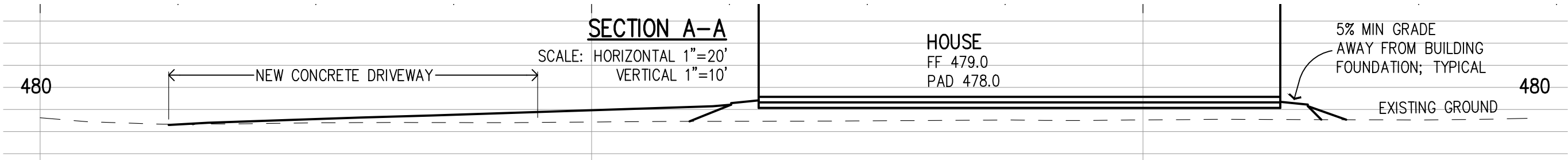
SEE SOILS REPORT AND/OR STRUCTURAL PLANS TO DETERMINE THE ELEVATION OF THE BUILDING FINISH FLOOR AND PAD.

LEGEND



ABBREVIATIONS

AC	ASPHALT CONCRETE	FF	FINISH FLOOR	R	RADIUS
AB	AGGREGATE BASE	FG	FINISH GRADE	RCP	REINFORCED CONCRETE PIPE
AD	AREA DRAIN	FH	FIRE HYDRANT	R/W	RIGHT OF WAY
AGG	AGGREGATE	FL	FLOWLINE	RWL	RAINWATER LEADER
BC	BEGINNING OF CURVE	FOC	FACE OF CURB	S	SLOPE
BLDG	BUILDING	G	GAS LINE	SD	STORM DRAIN PIPE
BOC	BACK OF CURB	GM	GAS METER	SS	SANITARY SEWER PIPE
BO	BLOW OFF	GB	GRADE BREAK	STM	STORM DRAIN MANHOLE
BWF	BAREWIRE FENCE	GUY	GUY WIRE FOR POLE	SS MH	SANITARY SEWER MANHOLE
CATV	CABLE TELEVISION	GV	GATE VALVE	SP	SERVICE POLE
CB	CATCH BASIN	HDPE	HIGH DENSITY POLYETHYLENE	STD	STANDARD
C&G	CURB & GUTTER	HMA	HOT MIX ASPHALT	SQ	SQUARE
CI	CURB INLET	HP	HIGH POINT	SW	SIDEWALK
CL	CENTERLINE	INV	INVERT OF PIPE	T	TELEPHONE LINE
CMP	CORRUGATED METAL PIPE	IP	IRON PIPE	TBM	TEMPORARY BENCHMARK
CMU	CONCRETE MASONRY UNIT	JP	JOINT POLE	TC	TOP OF CURB
CO	CLEAN OUT	JT	JOINT TRENCH	TG	TOP OF GRATE
CONC	CONCRETE	LF	LINEAR FEET	TOB	TOP OF BANK
CONST	CONSTRUCTION	LP	LOW POINT	TOE	TOE OF BANK
DDCV	DOUBLE DETECTOR CHECK VALVE ASSEMBLY	MAX	MAXIMUM	TW	TOP OF WALL
DI	DROP INLET	MIN	MINIMUM	TYP	TYPICAL
DIP	DUCTILE IRON PIPE	N.I.C.	NOT IN CONTRACT	W	WATER LINE
DWY	DRIVEWAY	(N)	NEW	WM	WATER METER
E	ELECTRIC LINE	OHU	OVERHEAD UTILITY	WV	WATER VALVE
EC	END OF CURVE	PB	PULL BOX		
EG	EXISTING GRADE	PCC	PORTLAND CONCRETE CEMENT		
ELEV	ELEVATION	PL	PROPERTY LINE		
EP	EDGE OF PAVEMENT	PRC	POINT REVERSE CURVE		
ER	END OF RETURN	P.S.E.	PUBLIC SERVICE EASEMENT		
ESMT	EASEMENT	P.S.D.E.	PRIVATE STORM DRAIN EASEMENT		
(E)	EXISTING	P.U.E.	PUBLIC UTILITY EASEMENT		
EX	EXISTING	PVI	POINT OF VERTICAL INTERSECTION		
		PVC	POLYVINYL CHLORIDE PIPE		



PRELIMINARY PLANS  
NOT FOR CONSTRUCTION

APPROVED FOR ISSUANCE  
REFER TO ENCROACHMENT AND/OR  
CONSTRUCTION PERMIT AND PLAN  
COVER SHEET FOR SPECIAL  
CONDITIONS AND PERMIT NUMBERS


REVISIONS:			DATE: JANUARY 2021		REFERENCES		Notes, Details, Abbreviations & Legend		SHEET 4	
DATE	DESCRIPTION	BY:	HORIZ. SCALE: 1"=20'	VERT. SCALE: NONE						
			DESIGNED BY: AM	CHECKED BY: TM						
			DRAWN BY: TM							
HANNA-BRUNETTI CIVIL ENGINEERS • LAND SURVEYORS CONSTRUCTION MANAGERS 7651 EGGLEBERRY STREET • GILROY • 95020 • CALIFORNIA OFFICE (408) 842-2173 • FAX (408) 842-3682 EMAIL: ENGINEERING@HANNABRUNETTI.COM			date: Hanna - Brunetti Amanda Joy Musy-Verdel R.C.E. # 69278 expires: 6/30/20		UNINCORPORATED JANUARY 2021		Lands of Charnota - 2546 Butch Drive - apn 830-17-046		SANTA CLARA COUNTY CALIFORNIA	
APPLICANT: CHARNOTA			ROAD: 2546 BUTCH DRIVE		COUNTY FILE NO.: PLN20-102		JOB NO. 20033		JOB NO. 20033	




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DATE: JANUARY 2021
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date: \_\_\_\_\_ 20  
Hanna - Brunetti  
Amanda Joy Musy-Verdel  
R.C.E. # 69278  
expires: 6/30/

REFERENCES

**Existing Road Widths to Project Site**  
Lands of Charnota - 2546 Butch Drive - apn 830-17-046  
UNINCORPORATED  
JANUARY 2021

SANTA CLARA COUNTY  
CALIFORNIA

SHEET
<b>5</b>
OF 9
JOB NO.
<b>20033</b>



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EROSION CONTROL NOTES

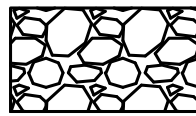
- EROSION CONTROL MEASURES SHALL BE EFFECTIVE FOR CONSTRUCTION DURING THE RAINY SEASON; OCTOBER 15 THROUGH APRIL 15.
- NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN INTO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM SYSTEM UNTIL SUITABLE EROSION CONTROL MEASURES ARE FULLY IMPLEMENTED. NO STORM WATER RUNOFF SHALL BE ALLOWED TO ENTER THE STORM DRAIN SYSTEM THAT IS NOT CLEAR, AND FREE OF SILTS.
- A FIBER ROLL BARRIER PER "DETAIL SE-5" SHALL BE INSTALL ALONG THE PERIMETER OF THE PROJECT SITE. THE LOCATION OF THE FIBER ROLL ALONG THE PERIMETER SHALL BE ADJUSTED TO ELIMINATE SEDIMENT LADEN RUNOFF FROM LEAVING THE SITE. A FIBER ROLL SHALL ALSO BE REQUIRED AROUND THE PERIMETER OF ANY STOCKPILE OR OTHER SITE OF BARE, LOOSE EARTH.
- ALL STORM DRAIN MANHOLES, CATCH BASINS, AND/OR DROP INLETS THAT ARE TO ACCEPT STORM WATER SHALL HAVE INLET PROTECTION MEASURES PER DETAIL SE-10. STORM WATER RUNOFF SHALL BE DIRECTED TO THESE INLETS ONLY. STORM DRAIN CATCH BASINS THAT ARE NOT COMPLETE, SHALL BE BLOCKED OFF COMPLETELY.
- THE NAME, ADDRESS, AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR THE IMPLEMENTATION OF THE EROSION CONTROL PLAN SHALL BE PROVIDED TO THE COUNTY.
- PRIOR TO GRADING, AN ENTRANCE SHALL BE CONSTRUCTED, CONSISTING OF A MINIMUM OF 50 LF. OF DRAIN ROCK, 3" IN DIAMETER, PLACED OVER MIRAFI 500X (OR EQUAL) PER DETAIL TC-1. THE ENTRANCE SHALL CONFORM TO "CONSTRUCTION ENTRANCE DETAIL TC-1". THERE SHALL BE ONLY ONE ENTRANCE/EXIT POINT TO THE SITE DURING THE RAINY SEASON. THE LOCATION SHALL BE AS SHOWN ON THESE PLANS, OR AT A LOCATION APPROVED BY THE COUNTY.
- ALL AREAS OF BARE, TURNED OR DISTURBED EARTH SHALL BE STABILIZED BY USE OF HYDROSEED PER THE TABLE BELOW. ALL STOCKPILES, AND/OR BORROW AREAS SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES SUCH AS A PERIMETER SILT FENCE, AND OTHER METHODS TO PREVENT ANY EROSION OR SILTS MIGRATION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THE EROSION CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS, BUT ONLY WITH THE APPROVAL OF, OR AT THE DIRECTION OF THE COUNTY INSPECTOR. THE STORM DRAIN SYSTEM SHALL MAINTAIN A FORM OF DRAIN INLET PROTECTION UNTIL COUNTY ACCEPTS THE FINAL STREET IMPROVEMENTS. THE DRAIN INLET PROTECTION SHALL BE MAINTAINED, EFFECTIVE AND SUBJECT TO COUNTY INSPECTOR'S APPROVAL.
- ALL PAVED STREET, AND AREAS ADJACENT TO THE SITE SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO ELIMINATE SEDIMENT LADEN RUNOFF FROM ENTERING THE STORM DRAIN SYSTEM.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND REPAIR ALL EROSION CONTROL FACILITIES AT THE END OF EACH DAY DURING THE RAINY SEASON. ANY DAMAGED STRUCTURAL MEASURES ARE TO BE REPAIRED BY END OF THE DAY. TRAPPED SEDIMENT IN "SD INLETS" (AND OTHER EROSION CONTROL MEASURES) SHALL BE REMOVED TO MAINTAIN TRAP EFFICIENCY. REMOVED SEDIMENT SHALL BE DISPOSED BY SPREADING ON SITE, WHERE IT WILL NOT MIGRATE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREVENT THE FORMATION OF AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM A FAILURE TO DO SO.
- ALL DRAIN SWALES SHALL BE PER DETAIL EC-9.
- INCOMPLETE GRADING SHALL NOT BE ALLOWED. CONTRATOR SHALL MAINATIN A DRAIN PATH AS SHOWN ON THIS PLAN. SAID DRAIN PATH SHALL BE MAINTAINED LINED DRAIN SWALES, AND INLET PROTECTION AT A MINIMUM. IF PONDING DOES OCCUR ON THE SITE AFTER GRADING, THE WATER MUST BE FREE AND CLEAR OF SEDIMENT PRIOR TO DISCHARGE TO THE STORM DRAIN SYSTEM. THIS REQUIREMENT MAY NECESSITATE THE USE OF NATURAL AND/OR MECHANICAL DESILTING METHODS, SUBJECT TO APPROVAL BY THE COUNTY INSPECTOR.
- F THESE EROSION CONTROL MEASURE PROVE INADEQUATE, STRAW MULCH, TACKIFIER, AND ADDITIONAL HYDROSEEDING MAY BE REQUIRED.

HYDROSEED TABLE

ITEM	LBS/ACRE
COMMON BARLEY	45
ANNUAL RYEGRASS	45
CRIMSON CLOVER	10
FERTILIZER 7-2-3	400
FIBER MULCH	2000
TACKIFIER	100

- ALL GRADING WORK BETWEEN OCTOBER 15th AND APRIL 15th IS AT THE DISCRETION OF THE SANTA CLARA COUNTY BUILDING OFFICIAL.
- PROVIDE SHRUBS AND/OR TREES REQUIRED ON SLOPES GREATER THAN 15 FEET IN VERTICAL HEIGHT.
- THE OWNER/OWNER'S CONTRACTOR, AGENT, AND/OR ENGINEER SHALL INSTALL AND MAINTAIN THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL WITHIN THE SANTA CLARA COUNTY MAINTAINED ROAD RIGHT OF WAY AND ANY PORTION OF THE SITE WHERE STORM WATER RUN-OFF IS DIRECTLY FLOWING INTO THE SANTA CLARA COUNTY MAINTAINED ROAD RIGHT OF WAY BEST MANAGEMENT PRACTICES (BMP'S) TO PREVENT CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, WASTE MATERIALS, AND SEDIMENT CAUSED BY EROSION FROM CONSTRUCTION ACTIVITIES ENTERING THE STORM DRAIN SYSTEM, WATERWAYS, AND ROADWAY INFRASTRUCTURE. BMP'S SHALL INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING PRACTICES APPLICABLE TO THE PUBLIC ROAD AND EXPRESSWAY FACILITIES:
  - REDUCTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN/STAGING AREAS.
  - PREVENTION OF TRACKING OF MUD, DIRT AND CONSTRUCTION MATERIALS ONTO PUBLIC ROAD RIGHT OF WAY.
  - PREVENTION OF DISCHARGE OF WATER RUNOFF DURING DRY AND WET WEATHER CONDITIONS ONTO PUBLIC ROAD RIGHT OF WAY
- THE OWNER/OWNER'S CONTRACTOR, AGENT, AND/OR ENGINEER SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY MAINTAINED ROAD RIGHT OF WAY AND ANY PORTION OF THE SITE WHERE STORM WATER RUN-OFF IS DIRECTLY FLOWING INTO THE SANTA CLARA COUNTY MAINTAINED ROAD RIGHT OF WAY SHALL HAVE SEASONALLY APPROPRIATE BMP'S INSTALLED AND MAINTAINED AT ALL TIMES.

LEGEND



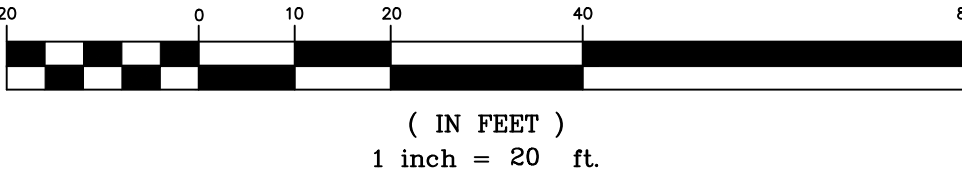
PROVIDE CONSTRUCTION ENTRANCE/EXIT PER DETAIL TC-1



PROVIDE FIBER ROLL SLOPE PROTECTION PER DETAIL SE-5

PRELIMINARY PLANS  
NOT FOR CONSTRUCTION

GRAPHIC SCALE



APPROVED FOR ISSUANCE  
REFER TO ENCROACHMENT AND/OR  
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REVISIONS:		
DATE	DESCRIPTION	BY:

**HANNA-BRUNETTI**  
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DATE: JANUARY 2021  
HORIZ. SCALE: 1"=20'  
VERT. SCALE: NONE  
DESIGNED BY: AM  
CHECKED BY:   
DRAWN BY: TM.

date: 1/20/21  
Hanna - Brunetti  
Amanda Joy Musy-Verdel  
R.C.E. # 69278  
expires: 6/30/26



REFERENCES

UNINCORPORATED  
JANUARY 2021

Erosion Control Plan

Lands of Charnota - 2546 Butch Drive - apn 830-17-046

SHEET

6

OF 9

JOB NO.

20033

SANTA CLARA COUNTY  
CALIFORNIA

JOB NO. 19071

APPLICANT: CHARNOTA

ROAD: 2546 BUTCH DRIVE

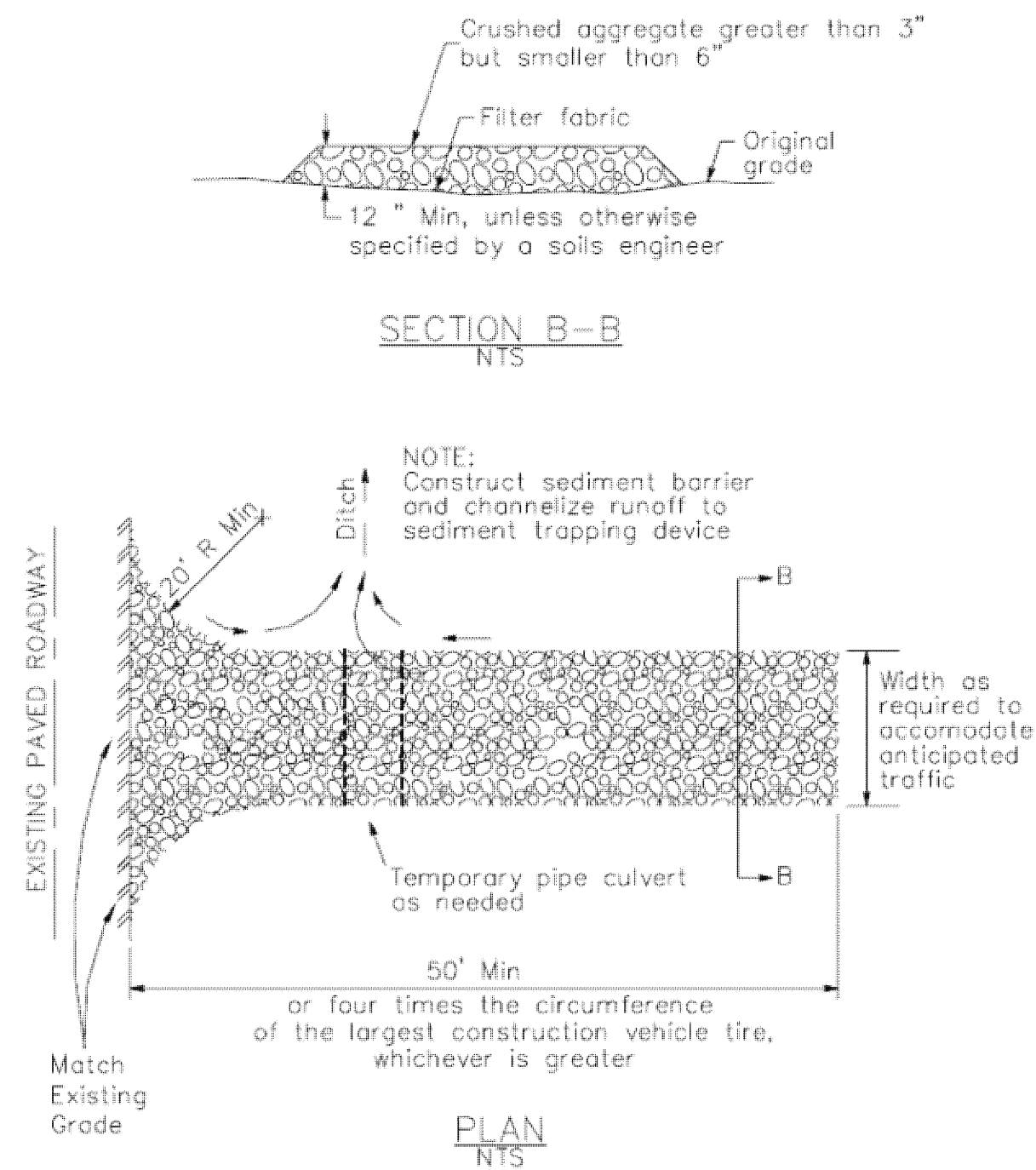
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3

**Stabilized Construction Entrance/Exit**

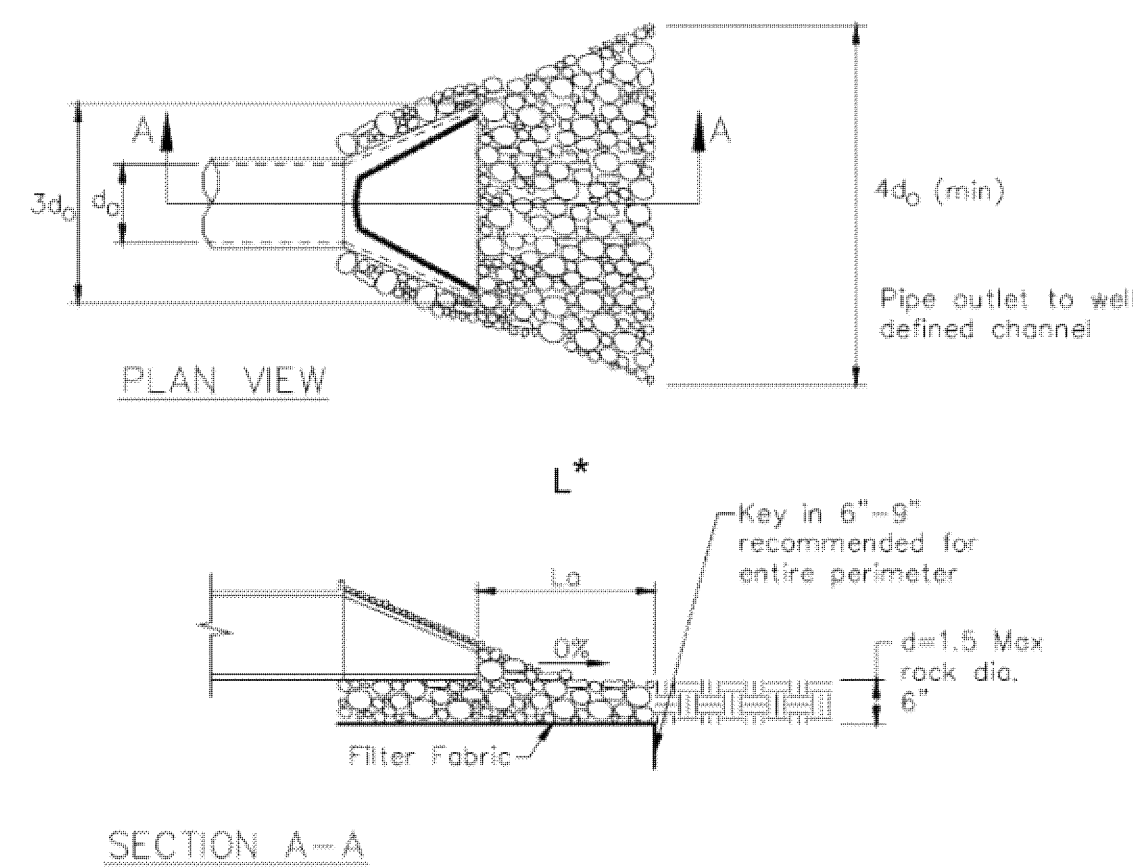
CASQA Detail TC-1



4

**Velocity Dissipation Devices**

CASQA Detail EC-10



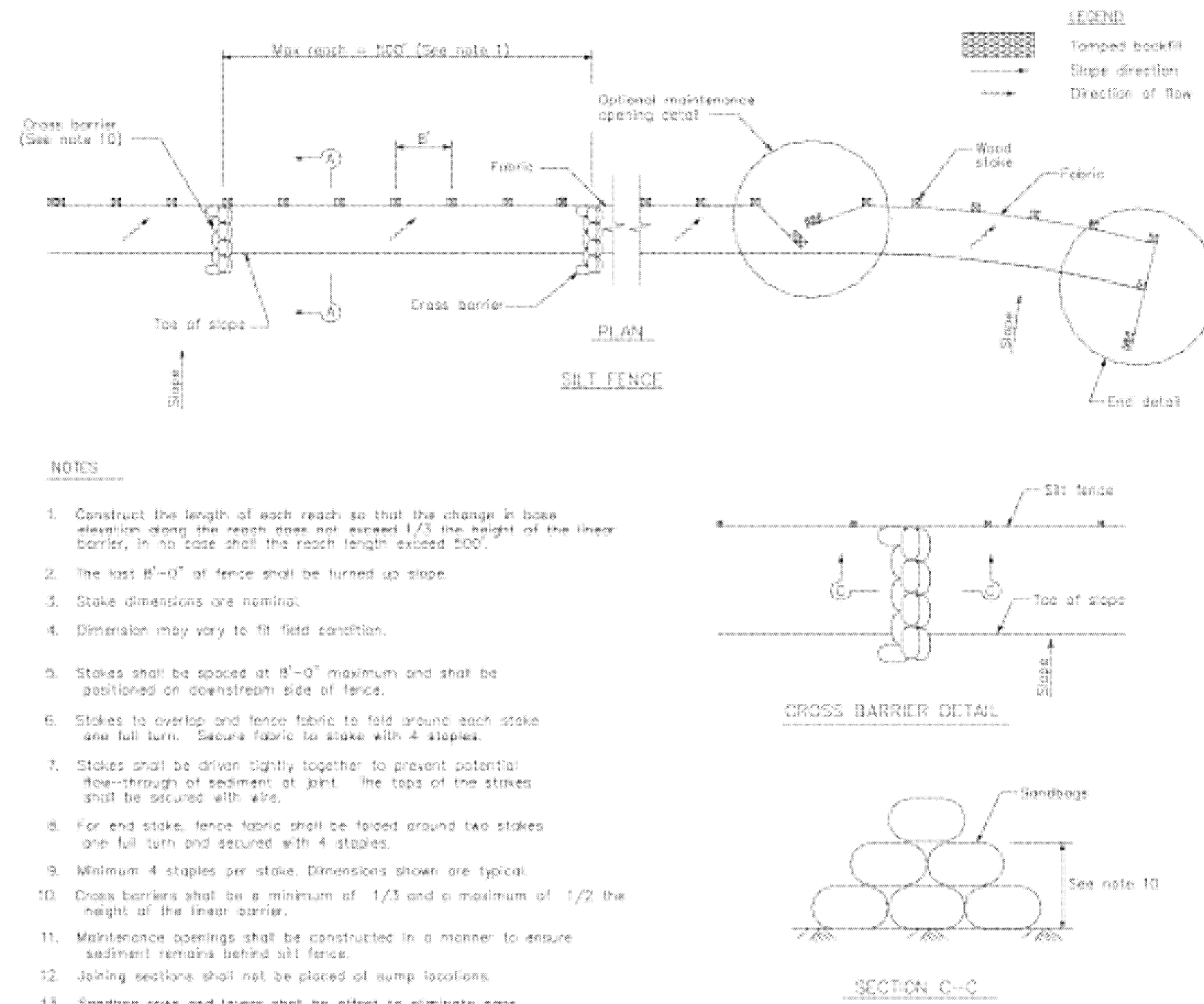
\* Length per ABAG Design Standards

Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.  
Available from [www.cabmphandbooks.com](http://www.cabmphandbooks.com).

1

**Silt Fence**

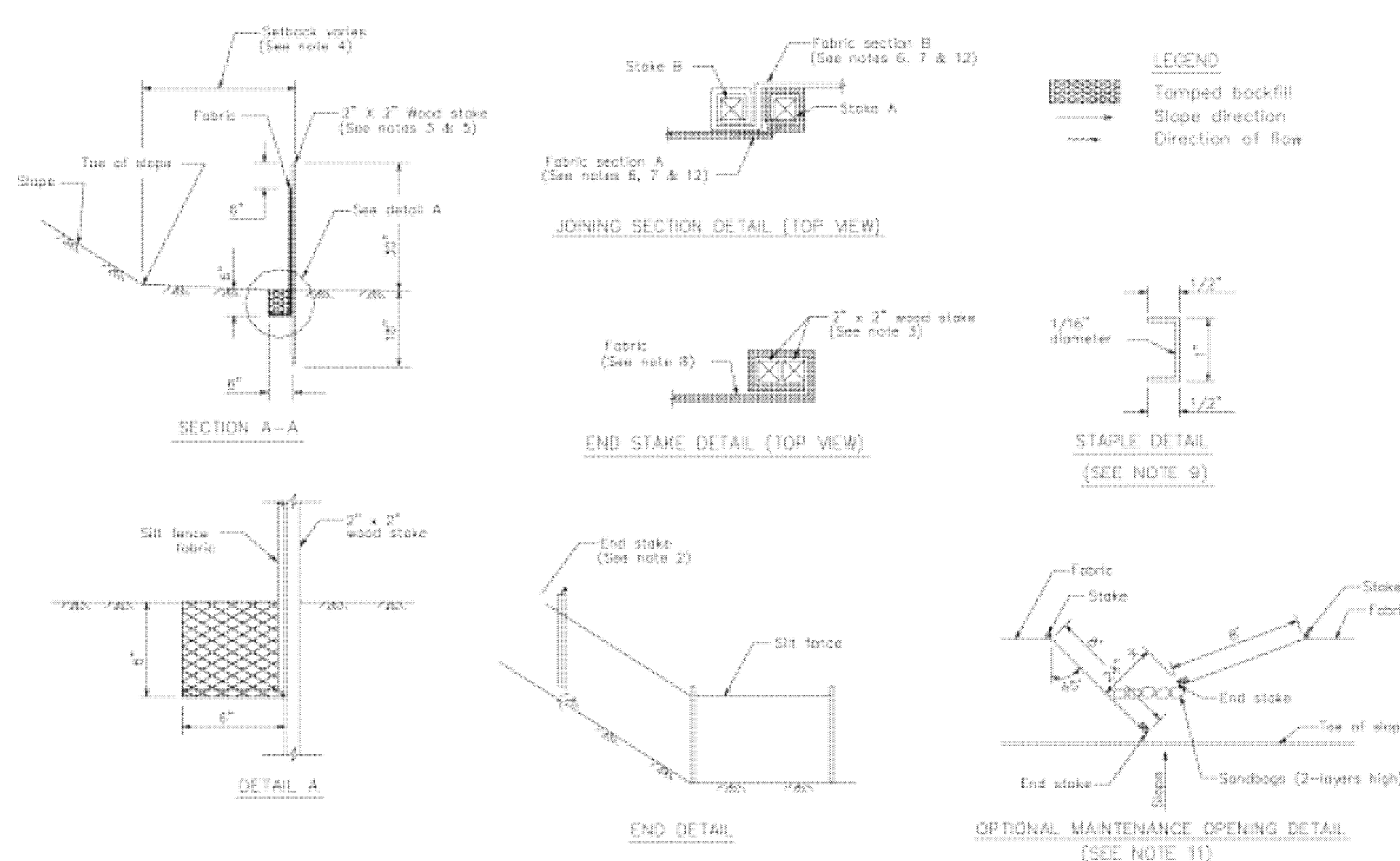
CASQA Detail SE-1



2

**Silt Fence**

CASQA Detail SE-1

**STANDARD BEST MANAGEMENT PRACTICE NOTES**

- Solid and Demolition Waste Management:** Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or latest.
- Hazardous Waste Management:** Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- Spill Prevention and Control:** Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
- Vehicle and Construction Equipment Service and Storage:** An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
- Material Delivery, Handling and Storage:** In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- Handling and Disposal of Concrete and Cement:** When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
- Pavement Construction Management:** Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- Contaminated Soil and Water Management:** Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
- Sanitary/Septic Water Management:** Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
- Inspection & Maintenance:** Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

**STANDARD EROSION CONTROL NOTES**

- Sediment Control Management:**

**Tracking Prevention & Clean Up:** Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.

**Storm Drain Inlet and Catch Basin Inlet Protection:** All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber roles or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.

**Storm Water Runoff:** No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.

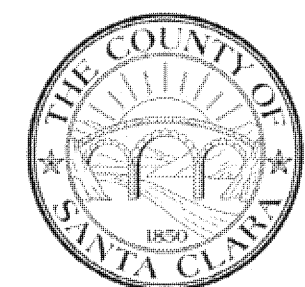
**Dust Control:** The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.

**Stockpiling:** Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures (tarps, straw bales, silt fences, etc.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.
- Erosion Control:** During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
- Inspection & Maintenance:** Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- Project Completion:** Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

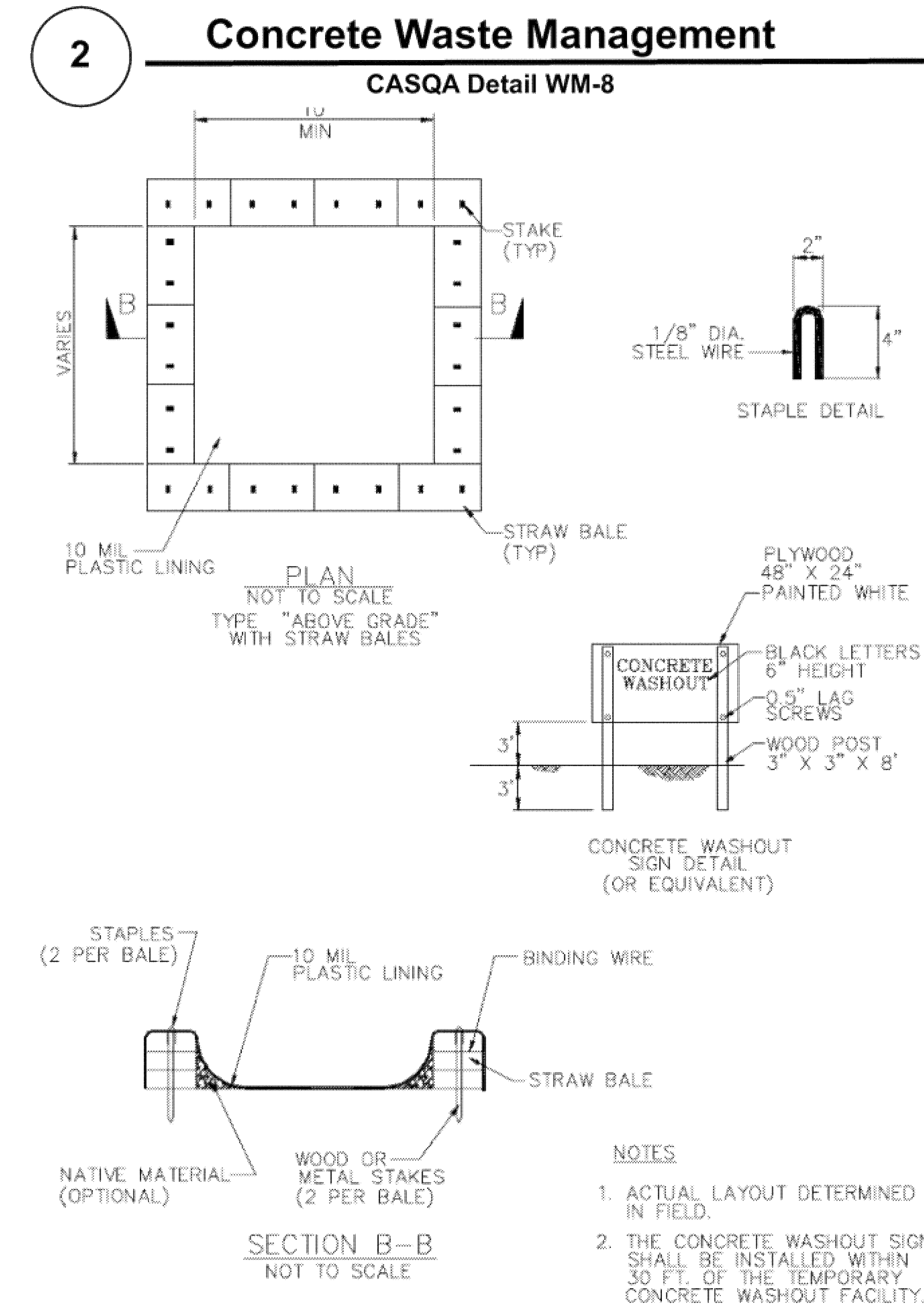
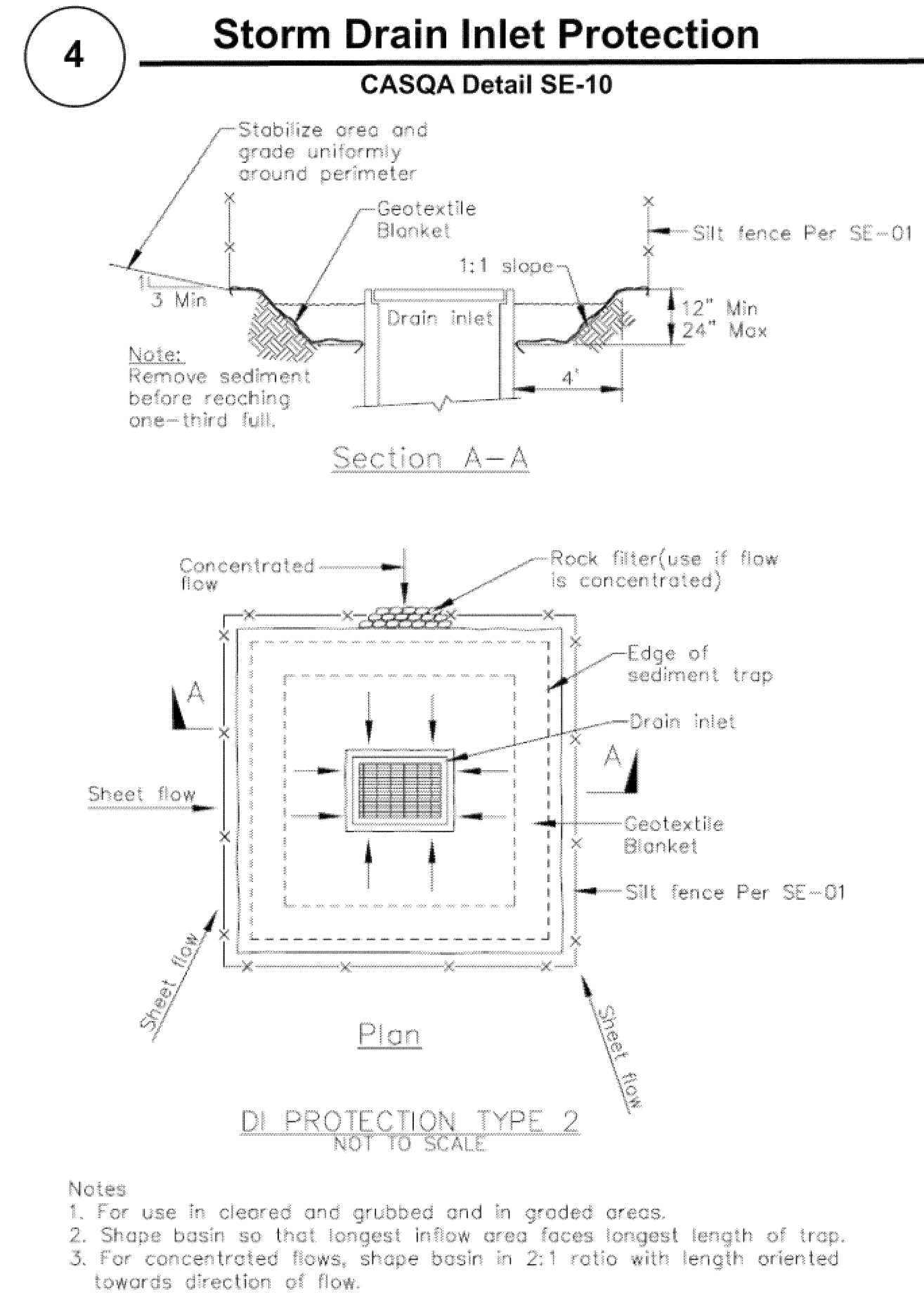
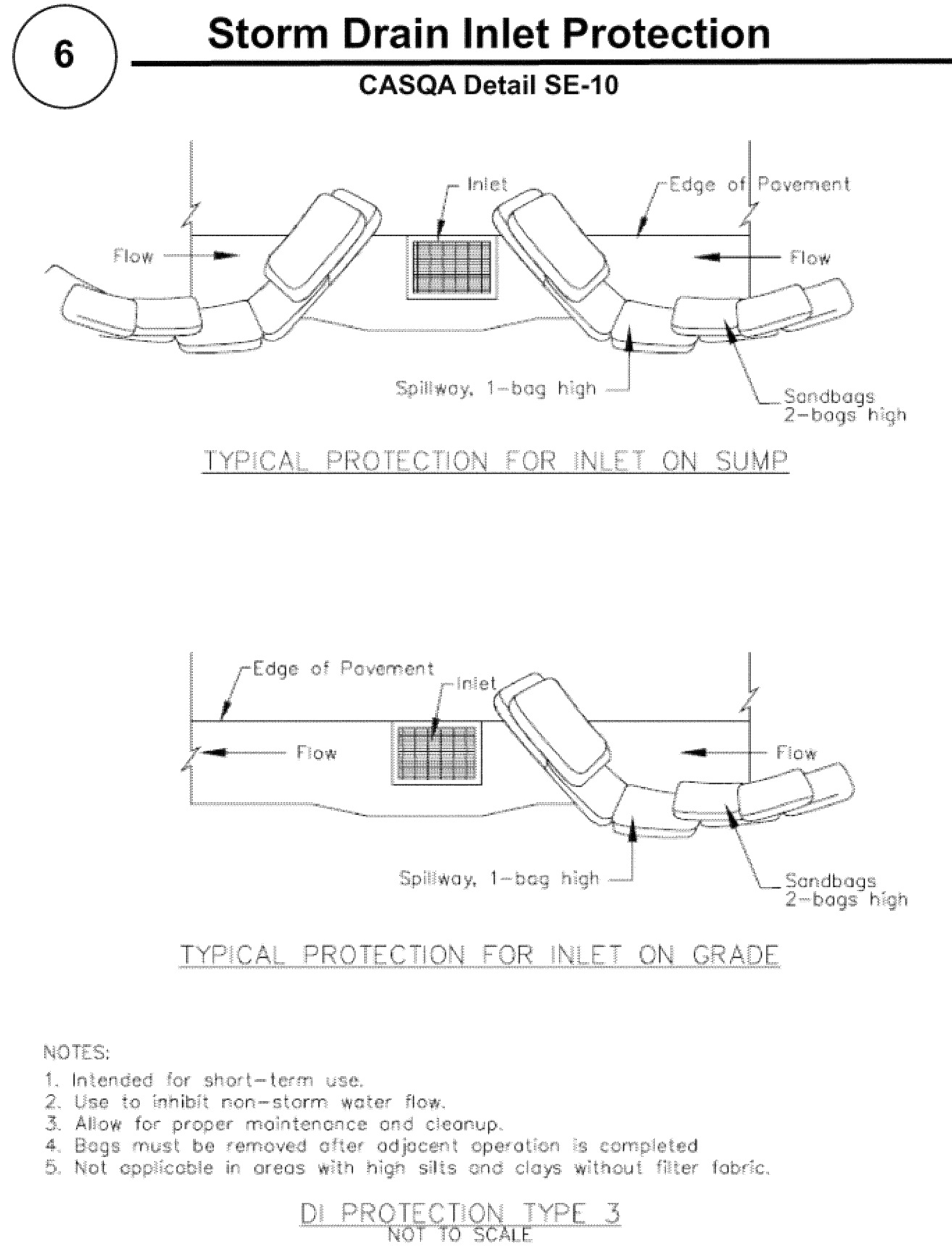
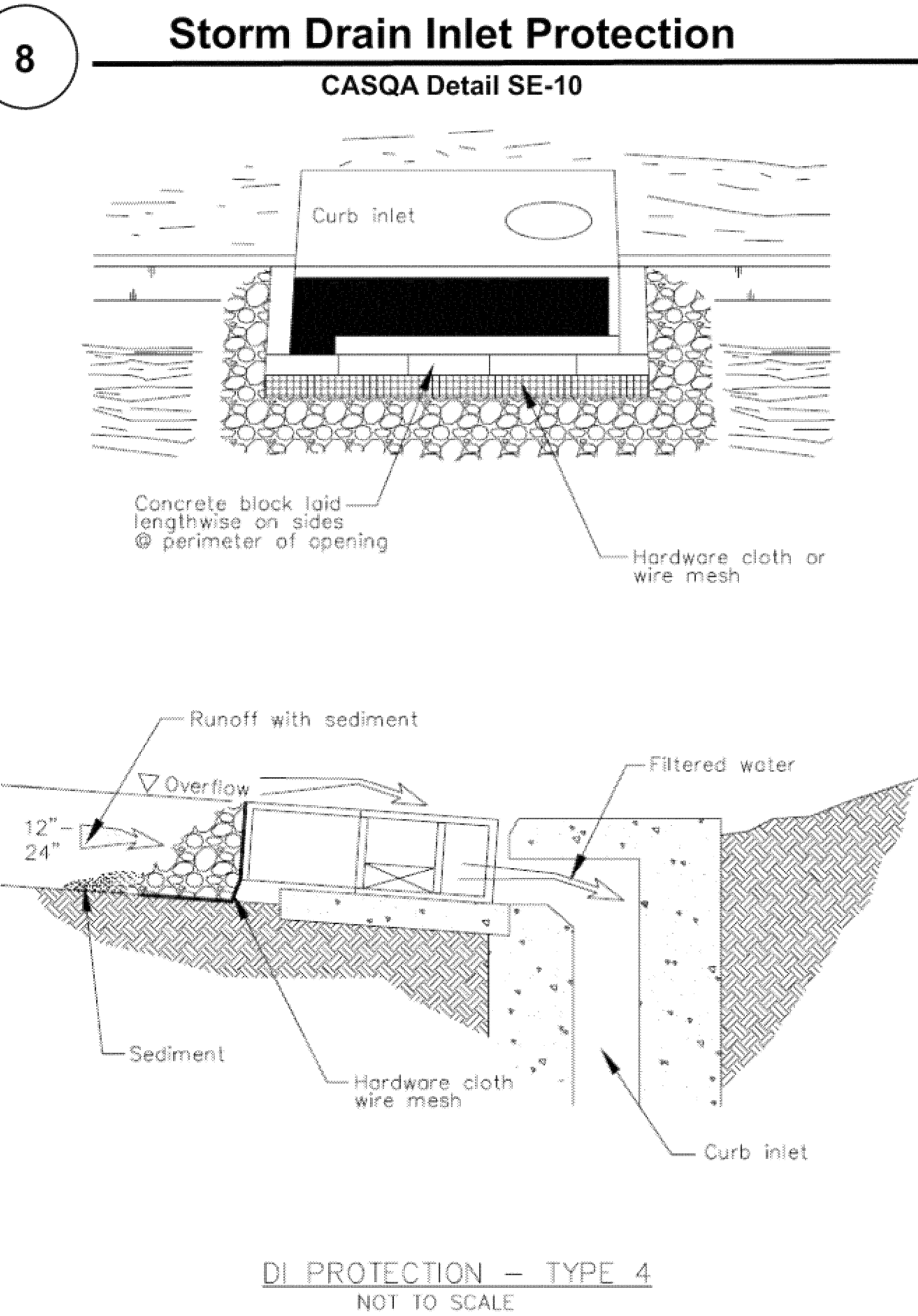
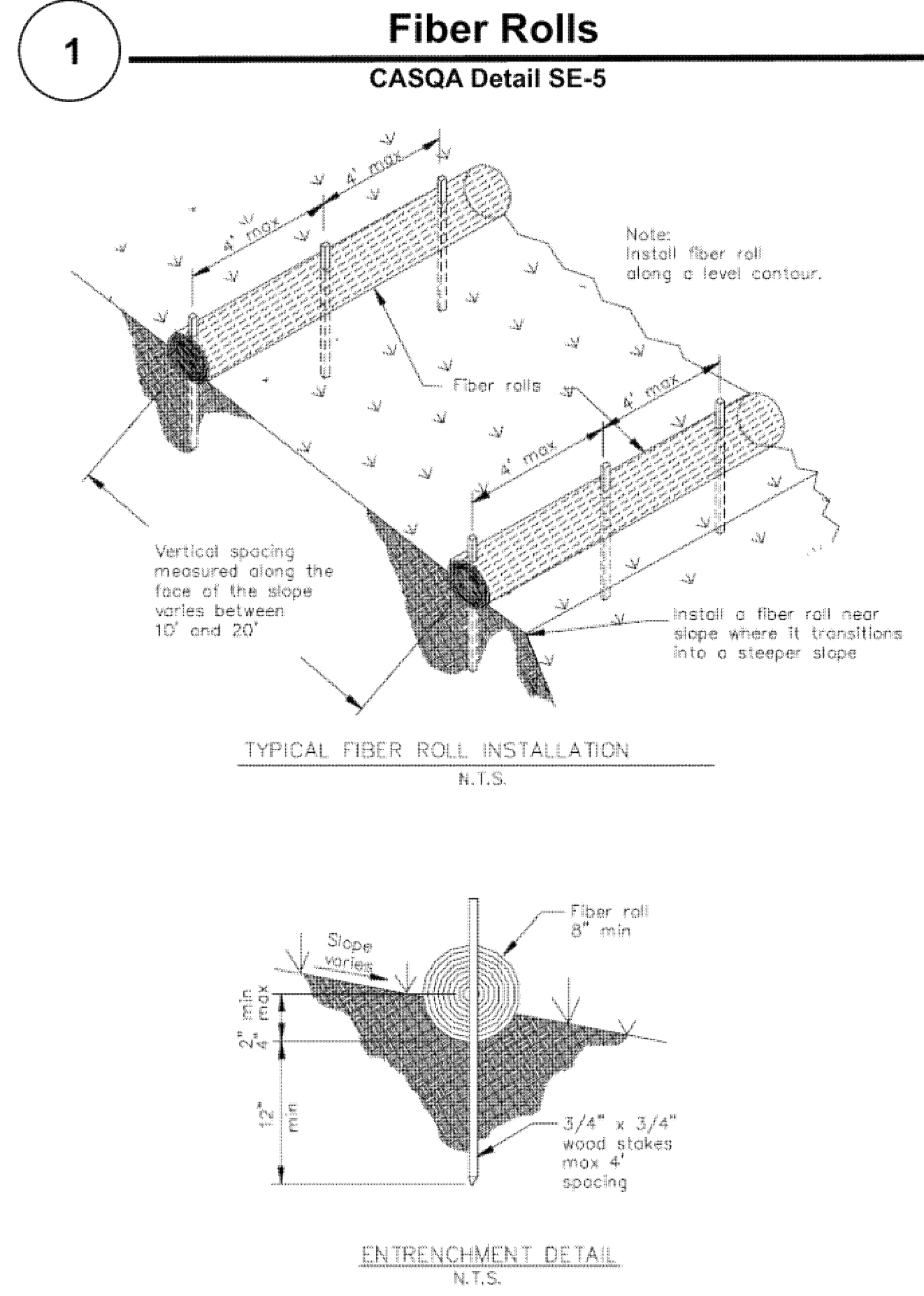
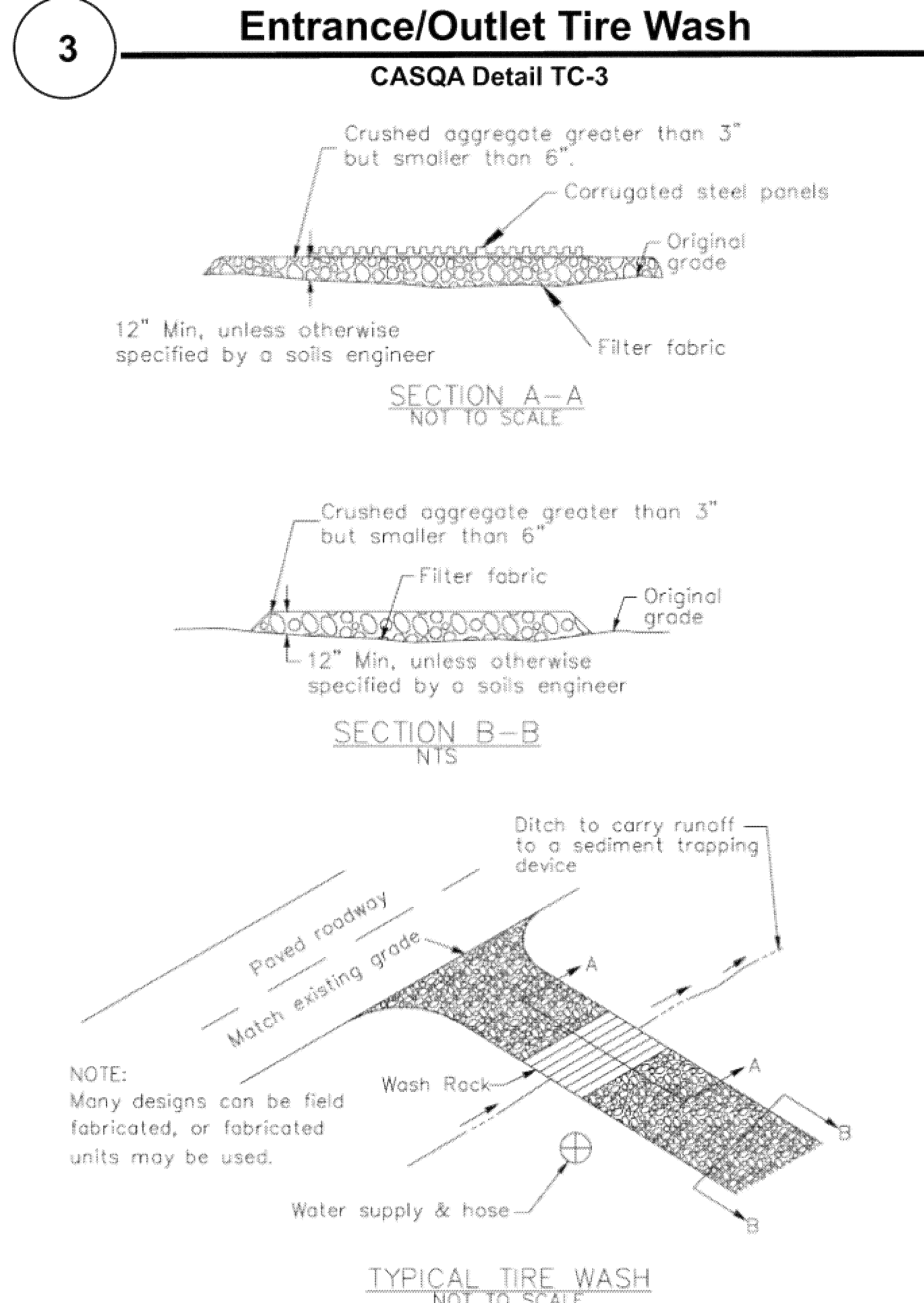
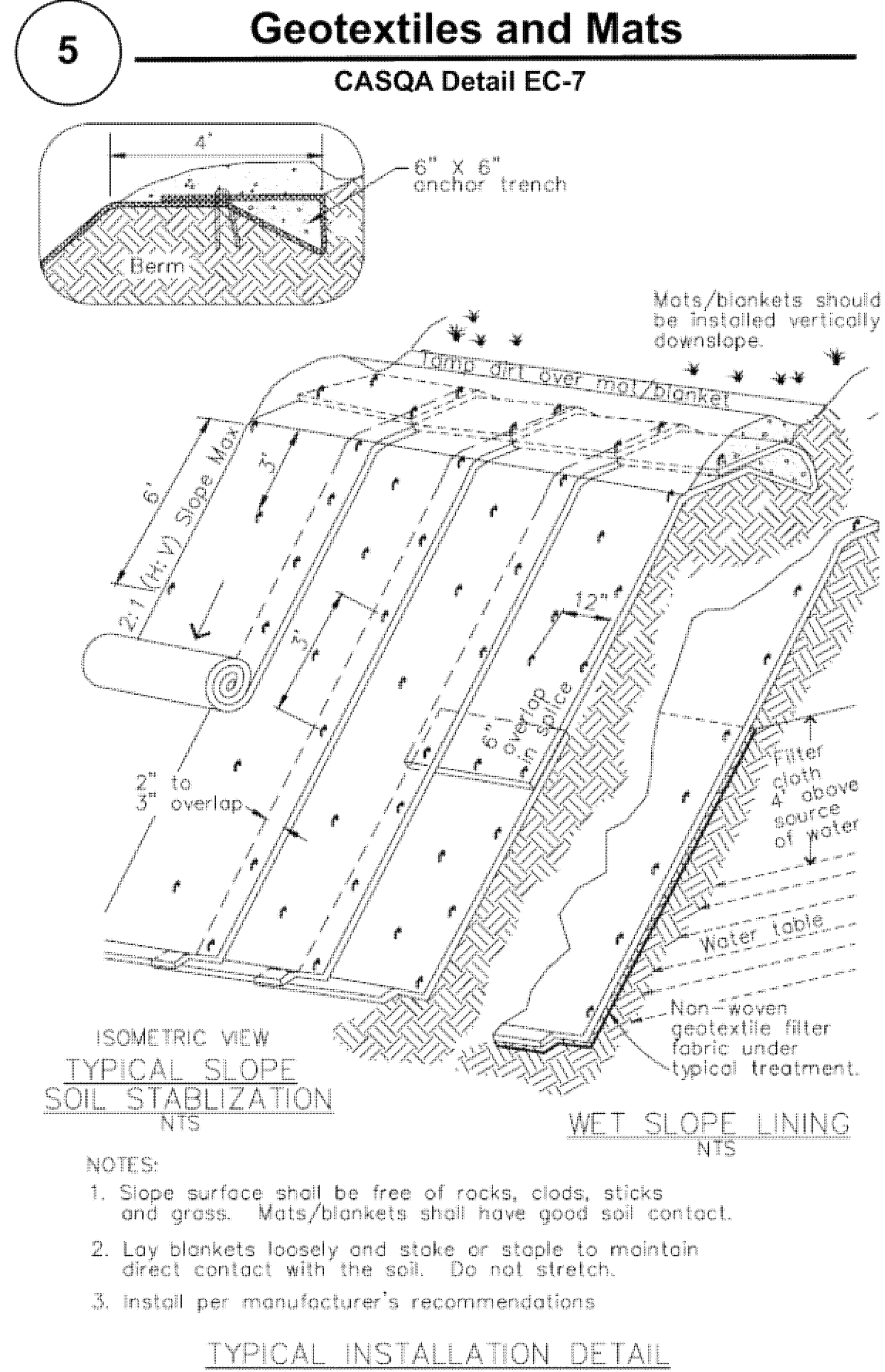
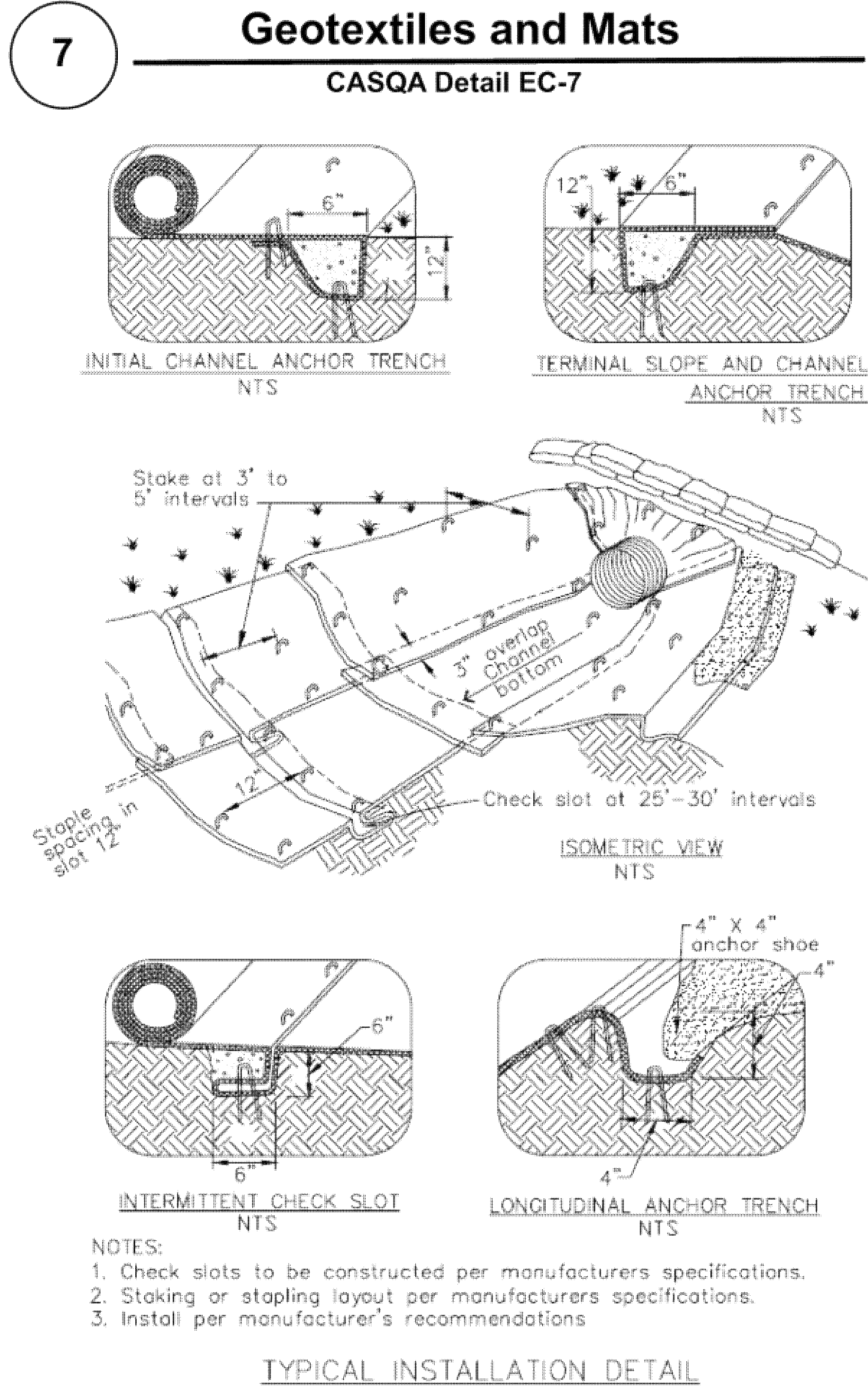
**IMPROVEMENT PLANS**

FOR THE  
HOME GRADING AND DRAINAGE  
ON THE LANDS OF CHARNOTA  
2546 BUTCH DRIVE, GILROY

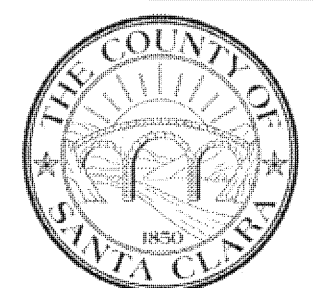
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TRACT NO. 6335 - GOLDEN HILL ESTATES - UNIT NO. 2  
FILED OCTOBER 26, 1979 IN BOOK 452 OF MAPS, AT PAGES 16 TO 19  
SANTA CLARA COUNTY, CALIFORNIA  
A.P.N.: 830-17-046

**Project Information**





Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.  
Available from [www.cabmphandbooks.com](http://www.cabmphandbooks.com).





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REVISIONS:			DATE: JANUARY 2021	HORIZ. SCALE: 1"=10'	VERT. SCALE: NONE	DESIGNED BY:	CHECKED BY:	DRAWN BY:	REFERENCES	UN INCORPORATED FEBRUARY 2021	Preliminary Landscape Plan Lands of Charnota - 2546 Butch Drive - apn 830-17-046	SANTA CLARA COUNTY CALIFORNIA	SHEET 9 OF 9 JOB NO. 20033
DATE	DESCRIPTION	BY:											

**HANNA-BRUNETTI**  
CIVIL ENGINEERS - LAND SURVEYORS  
CONSTRUCTION MANAGERS  
7651 EIGLEBERRY STREET - GILROY - 95020 - CALIFORNIA  
OFFICE (408) 842-2173 • FAX (408) 842-3662  
EMAIL: ENGINEERING@HANNABRUNETTI.COM

APPLICANT: CHARNOTA

ROAD: 2546 BUTCH DRIVE

COUNTY FILE NO.: PLN20-102

JOB NO. 20033



Code Data:

APPLICABLE CODES:  
ASCE 7-10 AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE)  
ACI 318-11 AMERICAN CONCRETE INSTITUTE (ACI)  
CALIFORNIA BUILDING CODE - 2016 EDITION (C.B.C.)  
CALIFORNIA RESIDENTIAL CODE - 2016 EDITION (C.R.C.)  
CALIFORNIA MECHANICAL CODE - 2016 EDITION (C.M.C.)  
CALIFORNIA PLUMBING CODE - 2016 EDITION (C.P.C.)  
CALIFORNIA ELECTRICAL CODE - 2016 EDITION (C.E.C.)  
CALIFORNIA FIRE CODE - 2016 EDITION (C.F.C.)  
CALIFORNIA GREEN CODE - 2016 EDITION (C.G.C.)  
CALIFORNIA ENERGY CODE - 2016 EDITION (C.E.C.)  
CALIFORNIA GREEN BUILDING STANDARDS CODE - 2016 EDITION (C.G.C.)  
"ALONG WITH ANY OTHER LOCAL AND STATE LAWS AND REGULATIONS"

NOTE: THIS HOME IS LOCATED WITHIN THE CALIFORNIA "WILDLAND URBAN INTERFACE" ZONE. ALL CONSTRUCTION IS TO CONFORM TO STANDARDS AS DESIGNATED BY THE STATE OF CALIFORNIA FIRE DEPARTMENT AND THE COUNTY OF SANTA CLARA FIRE MARSHAL.

SITE DEVELOPMENT REVIEW PLANS

Charnota Residence

A New Single Family Residence w/ Attached 3 Car Garage  
2546 Butch Drive  
Gilroy, California ~ 95020  
County of Santa Clara

Owners & Project Consultants:

PROJECT OWNER:

MR. & MRS. BEN CHARNOTA  
2546 BUTCH DRIVE  
GILROY, CALIFORNIA - 95020  
(408)452.2132

PROJECT DESIGNER:

GARY MOORE & ASSOCIATES  
60 WEST MAIN AVENUE - SUITE 23A  
MORGAN HILL, CALIFORNIA - 95037  
(408) 779.1710

CIVIL ENGINEER:

HANNA / BRUNETTI CIVIL ENGINEERS  
7651 EIGLEBERRY STREET  
GILROY, CALIFORNIA - 95037  
(408)842.2173

residential design

60 west main avenue, morgan hill, ca. 95037  
408.779.1710  
email: moore@pacific.net

Project Development Data:

SITE DEVELOPMENT DATA:

A.P.N.  
PROPERTY ADDRESS:  
OCCUPANCY GROUP:  
CONSTRUCTION TYPE:  
LOT SIZE:  
GENERAL PLAN:  
ZONING:  
NUMBER OF STORIES:  
WILLIAMSON ACT:  
WILDLANDS INTERFACE AREA:  
BUILDING / HOUSE DATA:

830-17-046  
2546 BUTCH DRIVE  
GILROY, CALIFORNIA - 95020  
RS/J  
VB  
10.01 ACRES  
HILLSIDES  
HS-d1  
2  
NO  
YES

BUILDING HEIGHT:

MAXIMUM BUILDING HEIGHT: 27'-10"

PROJECT DESCRIPTION:

THE PURPOSE OF THESE DESIGN DOCUMENTS IS TO CONSTRUCT A NEW 2 STORY 3 BEDROOM, 4.5 BATHROOM SINGLE FAMILY RESIDENCE W/ ATTACHED 3 CAR GARAGE AND STORAGE AREA.

Exterior Finish Colors & Materials:

1.) 3 COAT (7/8") CEMENT PLASTER W/ SMOOTH TROWEL PLASTER SURFACE

2. ALL EXPOSED RAFTER TAILS, BARGE RAFTERS, HORIZONTAL AND VERTICAL TRIM TO BE 4X SURFACED (S4S) D.F. (UNLESS NOTED OTHERWISE W/ PAINT FINISH)

3. EXTERIOR WALL SURFACE PAINT IS TO BE BENJAMIN MOORE #1138 "TOFFEE CREAM" LRV - 45.3

4. EXTERIOR TRIM FINISH FOR ALL EXPOSED WOOD IS TO BE BENJAMIN MOORE # HC-68 "MIDDLEBURY BROWN" - LRV - 9.8

NOTE:  
ALL GUTTER AND DOWNSPOUTS (RAIN WATER LEADERS) ARE TO HAVE A PAINT FINISH THAT REFLECTS COMMON WALL OR TRIM PAINT FINISH.

5. EXTERIOR MASONRY VENEER WALL FINISH IS TO BE KONATURAL STONE "MONTEREY ESTATE BLEND" SAWN AND QUARRY CHOPPED LIMESTONE & SANDSTONE. 1" TO 1.5" THIN CUT VENEER, RANDOM HEIGHTS AND RANDOM LENGTHS. (A THIN VENEER BLEND)

6. ROOF FINISH MATERIAL IS TO BE REDLAND CLAY ROOFING TILE - 2 PIECE MISSION TILE (2000 SERIES) TERRA COTTA BLEND W/ 30% MUD BOOST.

7. UPPER FLOOR DECK BALLUSTRADS ARE TO BE MILLED KONATURAL STONE "MONTEREY ESTATE BLEND" SAND STONE. PATTERNED AS SHOWN.

8. ALL DECORATIVE METAL GRILL WORK, DECK RAILS AND GATE METAL MATERIALS ARE TO HAVE A BAKED ENAMEL PAINT FINISH - BENJAMIN MOORE #HCJ-120 "VAN ALAN GREEN" - LRV - 64.9.

9. ALL WINDOWS ARE TO BE AS SPECIFIED ON SHEET "T.2". - MILGARD "ESSENCE" SERIES VINYL CLAD WOOD WINDOWS - EXTERIOR COLOR FINISH IS TO BE "CLASSIC BROWN".

10. ALL GABLE ROOF VENTS ARE TO BE TRUE CLAY 6" DIA. CUT TO FIT. VERIFY ACTUAL PIPE EXPOSURE AT JOB SITE.

Drawing Index:

BS.T

TITLE / COVER SHEET  
GENERAL NOTES & CONDITIONS

CIVIL ENGINEER SITE DEVELOPMENT PLANS:

1

COVER SHEET AND GENERAL NOTES

2

EXISTING TOPOGRAPHY AND SITE DEVELOPMENT PLAN

3

PRELIMINARY GRADING AND DRAINAGE PLAN

4

SECTION, DETAILS, NOTES, ABBREVIATIONS AND LEGEND

5

EROSION CONTROL PLAN

BMP.1

BEST MANAGEMENT PRACTICES - SHEET 1

BMP.2

BEST MANAGEMENT PRACTICES - SHEET 2

1 OF 1

SITE SEPTIC PLAN

DESIGN DOCUMENTS:

BS.0

FLOOR PLAN DESIGN DATA

BS.1

1ST LEVEL FLOOR PLAN

BS.2

2ND LEVEL FLOOR PLAN

BS.3

EXTERIOR ELEVATIONS

BS.4

EXTERIOR ELEVATIONS

BS.5

CROSS-SECTIONAL ELEAVATIONS

BS.6

CROSS-SECTIONAL ELEVATIONS & DETAILS

Colored Elevation:

right side elevation

DRAWING:  
Title Sheet, Site Plan, Location Map & Misc. Notes

PROJECT:

Charnota Residence  
2546 butch drive  
gilroy, california  
county of  
santa clara

OWNERS APPROVAL

THESE DRAWINGS ARE THE PROPERTY OF GARY MOORE & ASSOCIATES AND ARE INTENDED FOR USE SOLELY ON THE PROJECT TITLED "CHARNOTA RESIDENCE". THESE DRAWINGS ARE PROTECTED UNDER COPYRIGHT LAWS AND ARE NOT TO BE REPRODUCED IN WHOLE OR PART IN ANY MANNER WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE DESIGNER. USE OF THESE DRAWINGS IS LIMITED TO THE SITE INTENDED AND THEIR USE AT ANY OTHER SITE, OR ON OTHER PROJECTS IS PROHIBITED EXCEPT BY PRIOR WRITTEN CONSENT OF THE DESIGNER. ALL REPRODUCTIONS OF THESE DRAWINGS, IN WHOLE OR PART, REMAIN UNDER THE OWNERSHIP OF THE DESIGNER AND SHALL BE RETURNED UPON COMPLETION OF THE PROJECT OR UPON REQUEST OF THE DESIGNER.

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REVISIONS:

DATE: AUGUST 18, 2020

SCALE: AS NOTED

DRAWN BY: G.E. MOORE

PROJ. MGR. G.E. MOORE

PROJECT FILE: 0.19~  
CHARNOTA

DRAWING: BS.T





residential design

60 west main ave. 23a, morgan hill, ca. 95037  
408.778.770  
email: moore@specinc.net

DRAWING:  
**1st level floor plan**

PROJECT:  
**Charnota Residence**  
2546 butch drive  
gilroy, california  
county of  
santa clara

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REVISIONS:

DATE: AUGUST 18, 2020

SCALE: AS NOTED

DRAWN BY: G.E. MOORE

PROJ. MGR. G.E. MOORE

PROJECT FILE: **CHARNOTA**  
**BS.1**

DRAWING:

GENERAL KEYNOTES:

EXTERIOR:

- 400 AMP POWER BOX LOCATION W/ UPPER GROUND
- GAS METER CONNECTION LOCATION
- 12" WIDE SWAG WIND WALL (SEE EXTERIOR ELEVATIONS)
- WINDOW COMMON EXTERIOR WALL LINE BELOW SILL TRIM
- BUILT UP WINDOW SILL TRIM (SEE EXTERIOR ELEVATIONS FOR SILL MATERIAL AND FINISH)
- EXTERIOR EXIT / ENTRY DOOR BRONZE ANODIZED ALUMINUM DOOR THRESHOLD
- STEPPED WALL W/ DECORATIVE METAL GATE (SEE EXTERIOR ELEVATIONS)
- HEAVY DASHED LINE INDICATES UPPER LEVEL PERIMETER WALL (SHOWN FOR REFERENCE ONLY)
- EDGE OF PATIO / LOGGIA CONCRETE DECK (VERIFY ACTUAL SIZE AT JOB SITE W/ HOME OWNER)
- ASSUMED SWIMMING POOL LOCATION (VERIFY SIZE AND SHAPE WITH HOME OWNERS)
- 12" WIDE POOL COPING (VERIFY WITH HOME OWNERS)
- 24" WIDE LOGGIA / PATIO ARCHED SOFFIT (SEE EXTERIOR ELEVATIONS)
- 40" PRE-FABRICATED CONCRETE ISOKERN FIRE PLACE W/ GAS LOG APPLIANCE
- DRYER VENT LOCATION
- CONCRETE FRONT ENTRY STEPS TO GRADE AS REQUIRED W/ NON-SLIP TILE FINISH
- ENTRY PORCH UPPER EXTERIOR WALL LINE
- GARAGE CONCRETE FINISH FLOOR NOSING
- 3'-0" X 8'-0" CONCRETE LANDING W/ NON-SLIP BROOM FINISH
- MASONRY VENTUR EXTERIOR WALL FINISH (SEE EXTERIOR ELEVATIONS)
- EXTERIOR WALL NICHE W/ DECORATIVE TILE FINISH (SEE EXTERIOR ELEVATIONS)
- UNDERCOUNTER REFRIGERATION UNIT W/ ICE MAKER
- SINGLE COMPARTMENT SERVICE SINK W/ DISPOSAL UNIT
- GAS FIRED GRILLING UNIT
- OUTSIDE COMBUSTION AIR DUCT FOR GAS LOG APPLIANCE
- 12" WIDE STAIR WALL W/ CEMENT PLASTER FINISH W/ CAP SET 42" ABOVE COMMON STAIR TREAD NOSING (SEE EXTERIOR ELEVATIONS)
- STEPS TO VERANDA ABOVE W/ NON-SLIP TILE FINISH
- DECORATIVE METAL STAIR HANDRAIL SET 36" ABOVE COMMON STAIR TREAD NOSING
- AIR CONDITIONER (A/C) LOCATION
- 3'-0" X 3'-0" CONCRETE AIR CONDITIONER PAID LOCATION
- FUTURE POOL EQUIPMENT LOCATION - VERIFY WITH HOME OWNER
- WALL MOUNT POOL / LOGGIA TV LOCATION (VERIFY WITH HOME OWNER)
- FUTURE BENCH / SHOE STORAGE AREA CABINET (VERIFY WITH HOME OWNER)

GARAGE / SHOP:

- 200 AMP SECONDARY ELECTRICAL PANEL - WALL MOUNT
- SOLAR PANEL POWER CONVERSION PANEL, POWER STORAGE & SWITCH LOCATION
- WALL MOUNT TANKLESS GAS WATER HEATER LOCATION
- STAIR WELL TO ATTIC ACCESS DOOR ABOVE
- 42" HIGH STAIR WELL HALF WALL
- WALL MOUNT DECORATIVE METAL HANDRAIL SET 36" ABOVE COMMON STAIR TREAD NOSING
- UPPER LEVEL WALL LINE SHOWN FOR REFERENCE ONLY
- SLOPED CONCRETE DECK NOSING FROM GARAGE / HOUSE LANDING
- 3'-0" X 7'-0" CONCRETE LANDING W/ SLOPE TO FINISH GARAGE FLOOR (NON-SLIP SURFACE)
- WALL MOUNT SERVICE SINK LOCATION

GRAND FOYER:

- HATCH AREA AS SHOWN INDICATES AREA OF FRONT ENTRY TOWER LOCATION
- 30" WIDE TOWER WALL AREA ABOVE
- 12" WIDE BOXED CEILING SOFFIT (SEE REFLECTED CEILING PLAN)

POWDER ROOM / ENTRY CLST.

- DECK MOUNT PEDISTAL SINK LOCATION
- BATHROOM SINK LOCATION
- 2'-0" X 5'-0" ENAMEL CAST IRON TUB W/ SHOWER
- WALL MOUNT TUB FILLER, SHOWER HEAD AND HANDLE ASSEMBLY
- DECK MOUNT TOILET W/ MAX. FLUSH CAPACITY OF 128 GALLONS
- WALL MOUNT TOILET PAPER DISPENSER
- WALL MOUNT TOWEL BAR LOCATION
- CLOSET POLE AND SHELF ASSEMBLY (SEE INTERIOR ELEVATIONS)

LAUNDRY ROOM:

- SINGLE COMPARTMENT LAUNDRY SINK LOCATION
- CLOTHES WASHING MACHINE LOCATION
- CLOTHES DRYER LOCATION
- LOWER CABINET ASSEMBLY (SEE INTERIOR ELEVATIONS)
- UPPER CABINET ASSEMBLY (SEE INTERIOR ELEVATIONS)

BEDROOM #3 CLOSET:

- BEDROOM CLOSET & POLE ASSEMBLY (SEE INTERIOR ELEVATIONS)

BATHROOM #3:

- WALL MOUNT MED. CABINET W/ MIRROR FACE
- BATHROOM SINK LOCATION
- 2'-0" X 5'-0" ENAMEL CAST IRON TUB W/ SHOWER
- WALL MOUNT TUB FILLER, SHOWER HEAD AND HANDLE ASSEMBLY
- DECK MOUNT TOILET W/ MAX. FLUSH CAPACITY OF 128 GALLONS
- WALL MOUNT TOILET PAPER DISPENSER
- WALL MOUNT TOWEL BAR LOCATION
- SHOWER CURTAIN ROD
- TOP AND BOTTOM LINEN CABINET ASSEMBLY (SEE INTERIOR ELEVATIONS)

POOL BATHROOM:

- WALL MOUNT MIRROR LOCATION
- DECK MOUNT PEDISTAL SINK
- 2'-0" X 5'-0" CUSTOM SHOWER W/ TILE FINISH
- WALL MOUNT SHOWER HEAD AND HANDLE ASSEMBLY
- DECK MOUNT TOILET W/ MAX. FLUSH CAPACITY OF 128 GALLONS
- WALL MOUNT TOILET PAPER DISPENSER
- WALL MOUNT TOWEL BAR LOCATION
- TEMPERED GLASS SHOWER DOOR AND WALL ASSEMBLY

GREAT ROOM:

- FOLDING MAMA WALL PANEL STORAGE
- UPPER LEVEL BALCONY LINE (SHOWN FOR REFERENCE ONLY)
- FINISH CEILING LINE (SEE REFLECTED CEILING PLAN)
- 40" PRE-FABRICATED CONCRETE ISOKERN FIRE PLACE W/ GAS LOG APPLIANCE
- FULL FRONT BAR CABINET (SEE INTERIOR ELEVATIONS)
- FRONT BAR GATE AND FLAP
- UNDER COUNTER ICE MAKER
- SINGLE COMPARTMENT BAR SINK LOCATION
- BACK BAR BOTTOM CABINET ASSEMBLY (SEE INTERIOR ELEVATIONS)
- UPPER BAR CABINET ASSEMBLY (SEE INTERIOR ELEVATIONS)
- WINE COOLER LOCATION
- WALL MOUNT TV LOCATION
- UNDERCOUNTER REFRIGERATION UNIT LOCATION
- WALL MOUNT TV ABOVE FIREPLACE (VERIFY WITH HOME OWNER)
- UPRIGHT PIANO LOCATION (VERIFY WITH HOME OWNER)

GOURMET KITCHEN:

- SINGLE COMPARTMENT KITCHEN SINK
- 6 BURNER GAS DOWN DRAFT RANGE W/ SELF-CLEANING OVENS BELOW
- DISHWASHER LOCATION
- WALL MOUNT DOUBLE OVEN - MICRO-WAVE OVER W/ SELF-CLEANING CONVECTION OVEN BELOW
- BUILT IN FOOD WARMING DRAWER LOCATION
- BUILT-IN SIDE BY SIDE REFRIGERATOR AND FREEZER LOCATION
- KITCHEN SERVICE AND FOOD PREP ISLAND (SEE INTERIOR ELEVATIONS)
- LOWER KITCHEN CABINET ASSEMBLY (SEE INTERIOR ELEVATIONS)
- UPPER KITCHEN CABINET ASSEMBLY (SEE INTERIOR ELEVATIONS)
- UPPER ATTIC PERIMETER WALL LINE (SHOWN FOR REFERENCE ONLY)

MUD ROOM & PANTRY:

- MUD ROOM LOWER CABINET AND BENCH (SEE INTERIOR ELEVATIONS)
- MUD ROOM UPPER CABINET ASSEMBLY (SEE INTERIOR ELEVATIONS)
- 2X2 S4S D.F. PANTRY SHELVING (SEE INTERIOR ELEVATIONS)
- FUTURE CHEST FREEZER LOCATION (VERIFY WITH HOME OWNER)

VESTIBULE & SECRET ROOM:

- UPPER AND LOWER LINEN CABINET (SEE INTERIOR ELEVATIONS)
- SHALLOW UPPER AND LOWER CABINET ASSEMBLY W/ PRESSURE LATCH ACCESS DOOR TO SECRET ROOM
- SECRET ROOM UPPER AND LOWER CABINET ASSEMBLY (SEE INTERIOR ELEVATIONS)

BEDROOM #2 CLOSET:

- BEDROOM #2 CLOSET POLE AND SHELF ASSEMBLY (SEE INTERIOR ELEVATIONS)

BATHROOM #2:

- WALL MOUNT MIRROR LOCATION
- BATHROOM SINK LOCATION
- 2'-0" X 5'-0" ENAMEL CAST IRON TUB W/ SHOWER
- WALL MOUNT TUB FILLER, SHOWER HEAD AND HANDLE ASSEMBLY
- DECK MOUNT TOILET W/ MAX. FLUSH CAPACITY OF 128 GALLONS
- WALL MOUNT TOILET PAPER DISPENSER
- WALL MOUNT TOWEL BAR LOCATION
- SHOWER CURTAIN ROD

MASTER BEDROOM CLOSET:

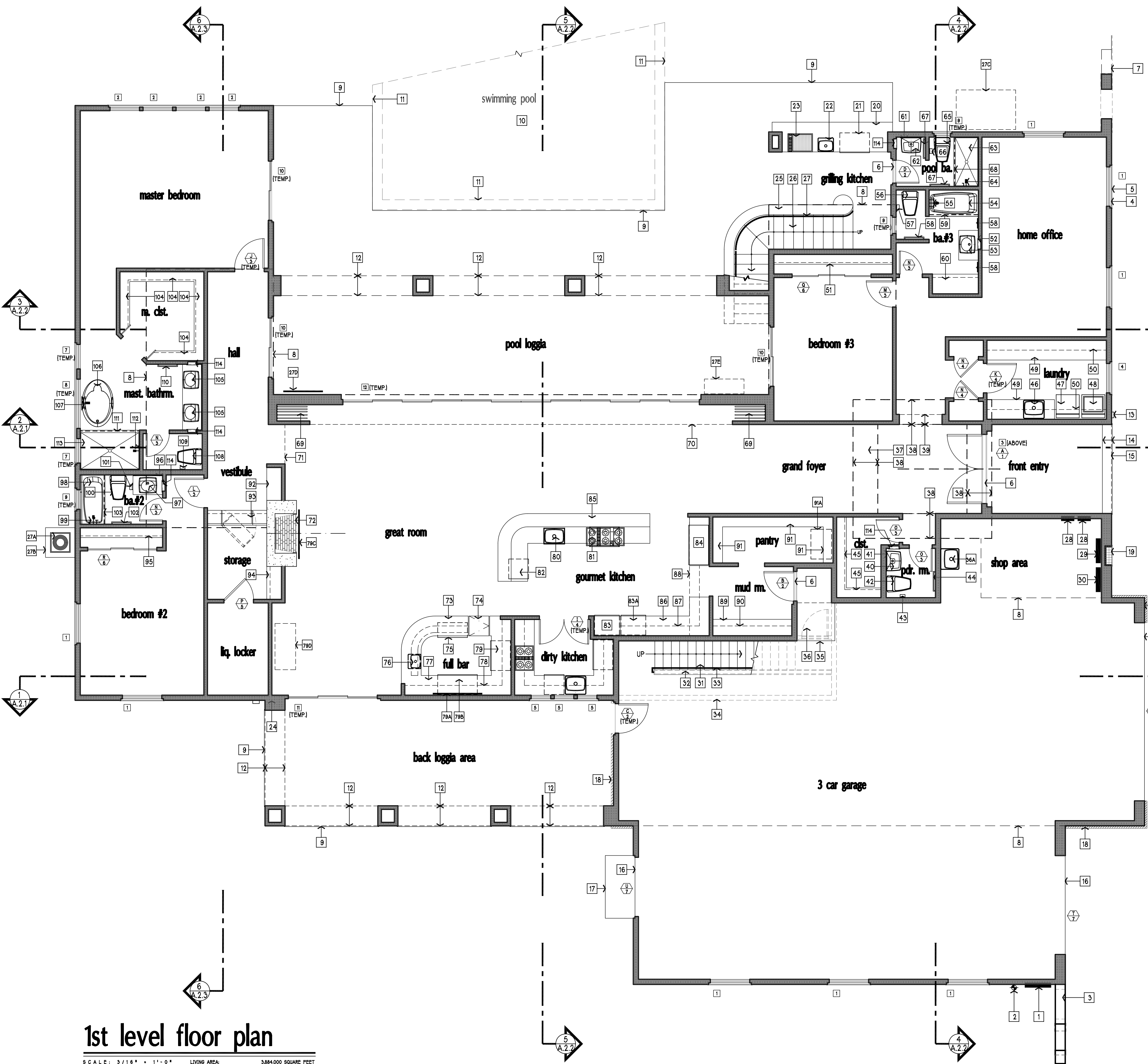
- CUSTOM CLOSET POLE AND SHELF ASSEMBLY (SEE INTERIOR ELEVATIONS)

MASTER BATHROOM:

- BATHROOM SINK LOCATION
- DECK MOUNT / FREE STANDING CAST IRON TUB W/ ENAMEL FINISH
- DECK MOUNT TUB FILLER AND HANDLE ASSEMBLY
- DECK MOUNT TOILET W/ MAX. FLUSH CAPACITY OF 128 GALLONS
- WALL MOUNT TOILET PAPER DISPENSER
- WALL MOUNT TOWEL BAR LOCATION
- TEMPERED GLASS SHOWER DOOR ASSEMBLY
- WALL MOUNT SHOWER HEAD AND HANDLE ASSEMBLY
- 4'-0" X 6'-0" CUSTOM SHOWER W/ NON-POROUS MOISTURE RESISTANT SHOWER WALL FINISH TO CEILING

MISC:

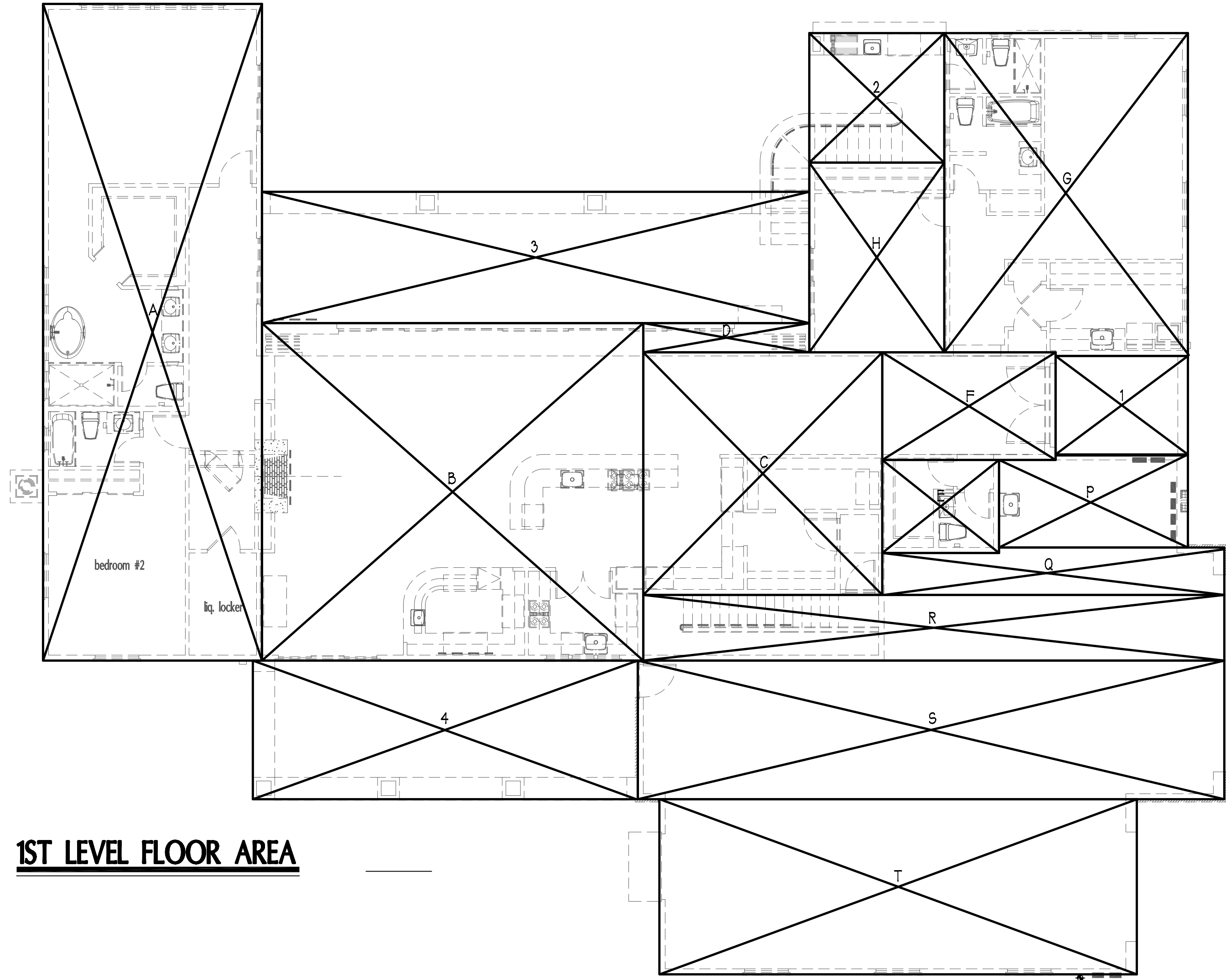
- WALL MOUNT MED. CABINET



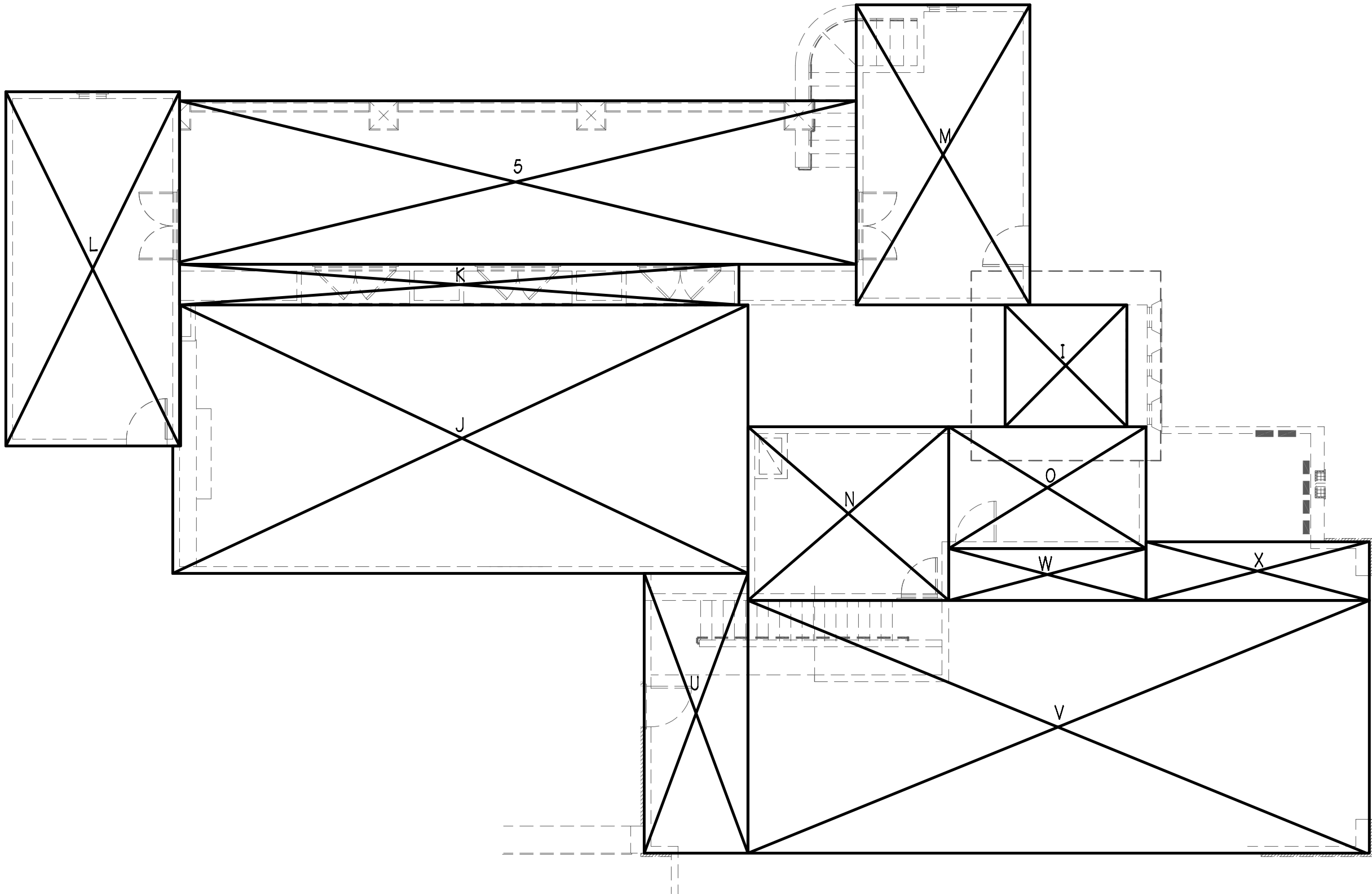
1st level floor plan

SCALE: 3/16" = 1'-0"  
LIVING AREA: 3884.000 SQUARE FEET  
VOLUME CEILING AREA: 104184.000 SQUARE FEET  
GARAGE AREA: 1968.000 SQUARE FEET  
OPEN AND COVERED LOGGIA AND PATIO AREAS: 1527.820 SQUARE FEET





1ST LEVEL FLOOR AREA



2ND LEVEL FLOOR PLAN & VOLUMN CEILING AREA

FLOOR AREA DATA TABLES:

POLYGON / AREA DESIGNATION	DIMENSIONS	AREA (LISTED IN SQUARE FEET)
1ST FLOOR LIVING AREAS:		
A	20'-0" X 60'-0"	1,200.000 SQ.FT.
B	30'-0" X 34'-10"	1,069.459 SQ.FT.
C	21'-10" X 22'-2"	480.972 SQ.FT.
D	2'-8" X 15'-2"	40.444 SQ.FT.
E	8'-6" X 10'-6"	90.667 SQ.FT.
F	9'-10" X 15'-10"	150.694 SQ.FT.
G	22'-3" X 29'-9"	645.986 SQ.FT.
H	12'-4" X 17'-4"	205.778 SQ.FT.
TOTAL 1ST FLOOR LIVING AREA: <small>LESS LIVING AREA WITH VOLUMN CEILING IN EXCESS OF 15'-0"</small>		3,884.000 SQ.FT.

HOUSE FLOOR AREA WITH A CEILING HEIGHT IN EXCESS OF 15'-0"		
I	9'-0" X 9'-0"	81.000 SQ.FT.
J	19'-10" X 42'-6"	836.840 SQ.FT.
K	3'-0" X 41'-4"	124.000 SQ.FT.
TOTAL HOUSE VOLUMN CEILING AREA: 1,041.840 SQ.FT.		
2ND FLOOR AREA: (UNCONDITIONED STORAGE AREA)		
<small>L</small> (9'-0" CEILING HGT.)	12'-10" X 26'-2"	335.806 SQ.FT.
<small>M</small> (9'-0" CEILING HGT.)	12'-10" X 22'-2"	284.472 SQ.FT.
<small>N</small> (9'-0" CEILING HGT.)	12'-10" X 14'-10"	190.351 SQ.FT.
<small>O</small> (9'-0" CEILING HGT.)	9'-0" X 14'-7"	131.250 SQ.FT.
TOTAL 2ND FLOOR UNCONDITIONED STORAGE AND MECHANICAL AREA:		941.879 SQ.FT.

POLYGON / AREA DESIGNATION	DIMENSIONS	AREA (LISTED IN SQUARE FEET)
ATTACHED 3 CAR GARAGE & STORAGE FLOOR AREAS:		
P	8'-5" X 17'-3"	143.035 SQ.FT.
Q	4'-4" X 31'-3"	130.083 SQ.FT.
R	6'-0" X 53'-1"	318.500 SQ.FT.
S	12'-8" X 53'-7"	678.722 SQ.FT.
T	16'-0" X 43'-8"	697.660 SQ.FT.
TOTAL ATTACHED 3 CAR GARAGE AND STORAGE AREA:		1,968.000 SQ.FT.
GARAGE & STORAGE FLOOR AREA WITH A CEILING HEIGHT IN EXCESS OF 15'-0"		
U	7'-8" X 20'-8"	158.444 SQ.FT.
V	18'-8" X 45'-1"	857.111 SQ.FT.
W	3'-10" X 14'-7"	55.903 SQ.FT.
X	4'-4" X 16'-6"	71.500 SQ.FT.
TOTAL GARAGE AND STORAGE AREAS: <small>IN EXCESS OF 15'-0"</small>		1,142.958 SQ.FT.

HOUSE COVERED DECK & ENTRY AREAS:		
POLYGON / AREA DESIGNATION	DIMENSIONS	AREA (LISTED IN SQUARE FEET)
1	9'-0" X 12'-1"	108.750 SQ.FT.
2	11'-10" X 12'-4"	145.994 SQ.FT.
3	12'-0" X 50'-0"	600.000 SQ.FT.
4	12'-8" X 35'-2"	445.444 SQ.FT.
TOTAL COVERED DECK & ENTRY AREAS:		1,300.188 SQ.FT.
UPPER FLOOR OPEN DECK AREA:		
5	12'-0" X 50'-0"	600.000 SQ.FT.

DEVELOPED FLOOR AREA SQUARE FOOTAGE:

1ST FLOOR HOUSE LIVING AREA: 3,884.000 SQUARE FEET  
HOUSE FLOOR AREA WITH CEILING HEIGHTS IN EXCESS OF 15'-0": 1,041.840 SQUARE FEET  
TOTAL ADJUSTED HOUSE LIVING AREA: 4,925.840 SQUARE FEET

2ND FLOOR UNCONDITIONED STORAGE AND MECHANICAL FLOOR AREA: 941.879 SQUARE FEET

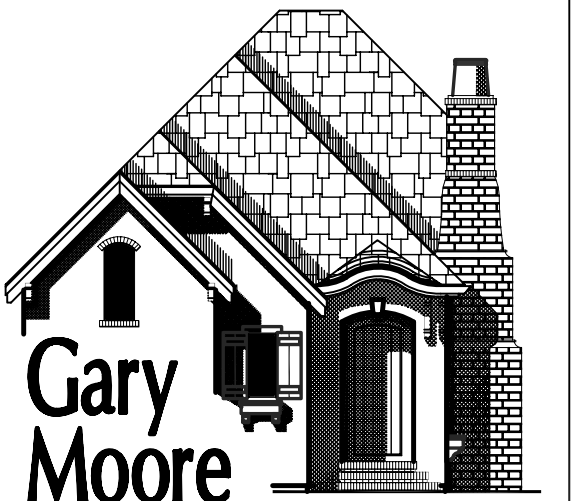
ATTACHED 3 CAR GARAGE & STORAGE FLOOR AREA: 1,968.000 SQUARE FEET  
3 CAR GARAGE AND STORAGE FLOOR AREA WITH CEILING HEIGHT IN EXCESS OF 15'-0": 1,142.958 SQUARE FEET  
TOTAL 3 CAR GARAGE AND STORAGE SPACE FLOOR AREA: 3,110.958 SQUARE FEET

1ST FLOOR COVERED DECK, PATIO & FRONT ENTRY FLOOR AREAS: 1,300.188 SQUARE FEET  
2ND FLOOR UNCOVERED PATIO DECK FLOOR AREA: 600.000 SQUARE FEET  
TOTAL COVERED DECK, PATIO, FRONT ENTRY AND UNCOVERED 2ND FLOOR PATIO FLOOR AREAS: 1,900.188 SQUARE FEET

10,878.89 sq.ft

FLOOR AREA DATA DRAWINGS

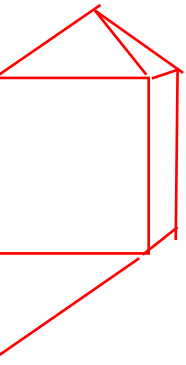
SCALE: 1/8" = 1'-0"



Gary Moore & Associates

residential design

60 west main ave. 2nd, morgan hill, ca. 95037  
408.778.1710  
email: moore@pacbell.net



DRAWING:  
Floor Plan Data

PROJECT:  
Charnota Residence  
2546 butch drive  
gilroy, california  
county of  
santa clara

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REVISIONS:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DATE: AUGUST 18, 2020

SCALE: AS NOTED

DRAWN BY: G.E. MOORE

PROJ. MGR. G.E. MOORE

PROJECT FILE: 019-  
CHARNOTA

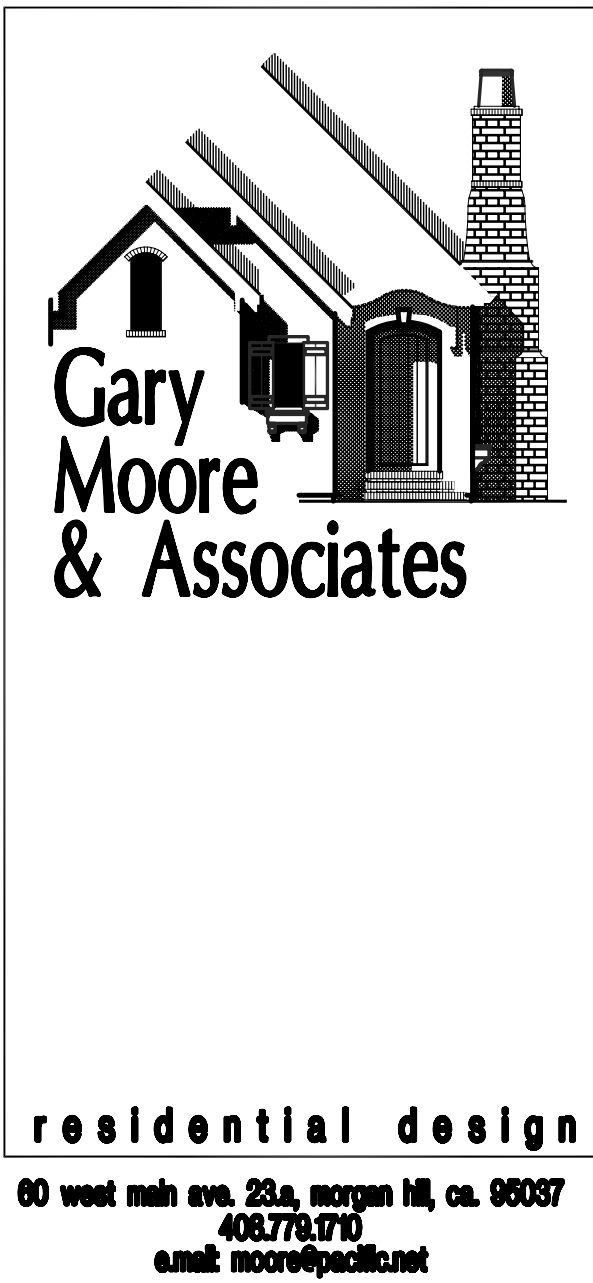
DRAWING: BS.0

CHARNOTA RESIDENCE

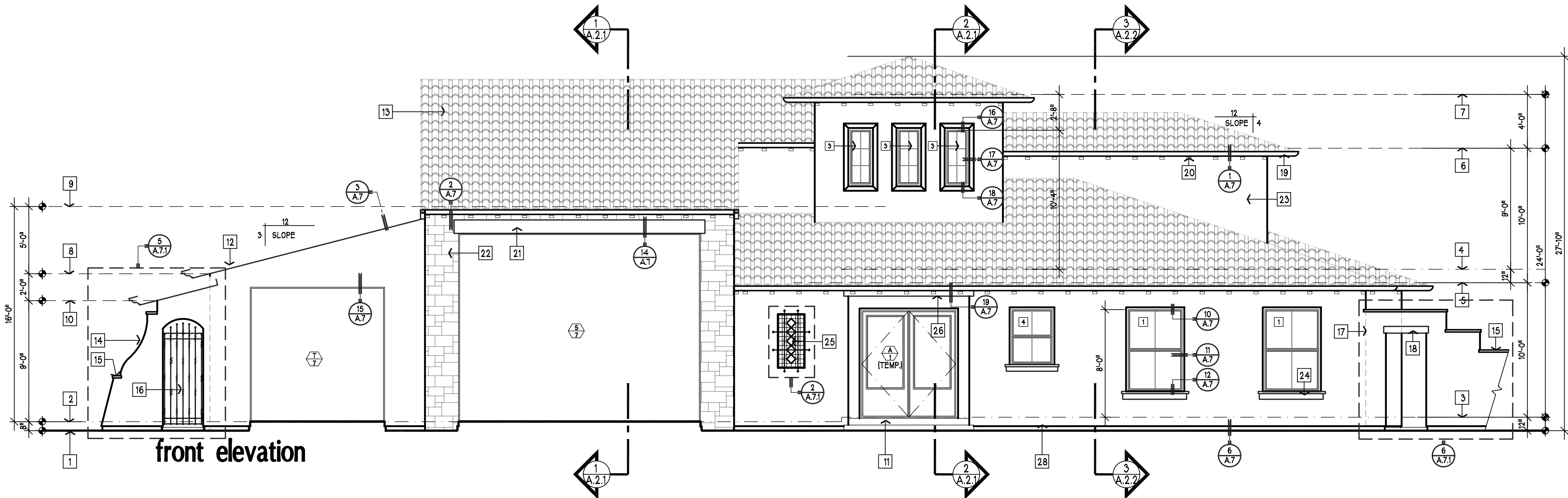


78.000 SQUARE FEET  
941.879 SQUARE FEET  
600.000 SQUARE FEET

- DRAWING: **BS.2**







GENERAL KEYNOTES:  
EXTERIOR:

- EXISTING / EXPECTED FINISH GRADE LINE
- GARAGE FINISH FLOOR LINE
- LIVING AREA ENTRY LEVEL FINISH FLOOR LINE
- 2ND LEVEL FINISH FLOOR LINE
- 10'-0" FIRST FLOOR PLATE LINE
- 8'-0" 2ND LEVEL PLATE LINE SET ABOVE 2ND LEVEL FINISH FLOOR
- 2'-4" TOWER PLATE LINE SET ABOVE COMMON ENTRY LEVEL FINISH FLOOR
- 10'-0" GARAGE PLATE LINE SET ABOVE COMMON GARAGE FINISH FLOOR
- 16'-0" GARAGE PLATE LINE SET ABOVE COMMON GARAGE FINISH FLOOR
- 8'-0" WIND WALL ROOF PLATE LINE SET ABOVE COMMON GARAGE FINISH FLOOR
- CONCRETE ENTRY PORCH W/ STEPS TO COMMON FINISH GRADE - NON-SLIP TILE FINISH SELECTION BY OWNER
- 4 X 12 RE-SAWN D.F. FLUSH MOUNT BARGE RAFTER W/ FANCY CUT TAIL
- 2 PC. PAN AND BARREL CLAY ROOF TILE BY U.S. TILE (OR EQ.) W/ 20% WIND ROOF
- STEPPED WIND WALL W/ CEMENT PLASTER FINISH TO MATCH HOUSE
- PRE-CAST CONCRETE WALL CAP AND TRIM
- DECORATIVE METAL ACCESS GATE W/ RADIUS TOP
- EXTERIOR WALL LINE BEYOND
- BUILT-UP 2X RESAWN D.F. PASS WAY HEADER (SEE WISC. FRAMING DETAILS)
- 4" DIA. HALF-ROUND COPPER ROOF GUTTER W/ LEAF GUARD (SEE SHEET 4-1-1)
- EXPOSED 4X8 RE-SAWN D.F. FANCY CUT RAFTER TAILS AT 24" O.C. (TYPICAL)
- EXPOSED 4 X 12 RE-SAWN D.F. GARAGE DOOR HEADER BEAM (SEE DETAILS)
- MASONRY VENEER EXTERIOR WALL FINISH SIMULATED STONE BY EL DORADO STONE
- 3 COAT DWP THIN CEMENT PLASTER EXTERIOR WALL FINISH SET O/ 17GA, PAPER BACKED, SELF-FURRED G.I. STUCCO NETTING W/ DR. LAYER OF TYPE "D" ASPHALT SATURATED BUILDING PAPER.

- 2 PC. WINDOW SILL TRIM (SEE DETAILS)
- DECORATIVE WALL NGIVE W/ SPANISH TILE FINISH AND DECORATIVE WROUGHT IRON GRILL (SEE DETAILS)
- EXPOSED 12 X 12 RE-SAWN D.F. ENTRY PORCH HEADER BEAM (SEE DETAILS)
- CONCRETE LOGGIA DECK W/ NON-SLIP OR SKID TILE FINISH SELECTION BY HOME OWNER
- G.I. STUCCO DRIP SCAFFOLD SET A MIN. 8" 4" ABOVE COMMON FINISH GRADE (TYP.)
- GARAGE ATTIC ACCESS STAIR CASE BEYOND VERIFY LOCATION AT JOB SITE
- 4" TAPERED WINDOW SILL W/ CEMENT PLASTER FINISH (SEE DETAILS)
- (8" DIA. SIMULATED CLAY GABLE ROOF VENTS NON-ACTIVE)
- 12" WIDE STEPPED WIND WALL W/ CEMENT PLASTER FINISH
- DECORATIVE WROUGHT IRON WINDOW GRILL (SEE DETAILS)
- PRE-CAST LIGHT WEIGHT CONCRETE BALUSTERS SET IN SUCH A MANNER SO AS TO PREVENT THE PASSAGE OF A 4" DIA. SPHERE
- LIGHT WEIGHT CONCRETE BALUSTER CAP AND BASE ASSEMBLY
- LIGHT WEIGHT CONCRETE PEDISTAL CAP
- 2X8 RE-SAWN D.F. EXPOSED DOOR HEADER TRIM
- WALL MOUNT DECORATIVE WROUGHT IRON STAIR HANDRAIL SET 36" ABOVE COMMON STAIR TREAD NOSING
- VERANDA ACCESS STAIR W/ NON-SLIP TILE FINISH
- GRILL / COOKING COUNTER TOP W/ NON-POROUS FINISH SELECTION BY OWNER - SEE INTERIOR ELEVATIONS
- SEGMENTAL ARCH W/ 7-8" RADIUS AND CEMENT PLASTER FINISH
- VERANDA ACCESS STAIR BEYOND
- SEGMENTAL ARCH W/ 8'-0" RADIUS AND CEMENT PLASTER FINISH



residential design

60 west main ave. 23a, morgan hill, ca. 95037  
408.778.3710  
email: moore@specinc.net

DRAWING:  
exterior elevations

PROJECT:  
Charnota Residence  
2546 butch drive  
gilroy, california  
county of  
santa clara

THESE DRAWINGS ARE THE PROPERTY OF GARY MOORE & ASSOCIATES AND ARE INTENDED FOR USE SOLELY ON THE PROJECT TITLED HEREON. THESE DRAWINGS ARE PROTECTED UNDER COPYRIGHT LAWS AND ARE NOT TO BE REPRODUCED IN WHOLE OR PART IN ANY MANNER WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE DESIGNER. USE OF THESE DRAWINGS IS LIMITED TO THE SITE INTENDED AND THEIR USE AT ANY OTHER SITE, INTENDED OR NOT, WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. ALL REPRODUCTIONS OF THESE DRAWINGS, IN WHOLE OR PART, REMAIN UNDER THE OWNERSHIP OF THE DESIGNER AND SHALL BE RETURNED UPON COMPLETION OF THE PROJECT OR UPON REQUEST OF THE DESIGNER.

REVISIONS:


DATE: AUGUST 18, 2020

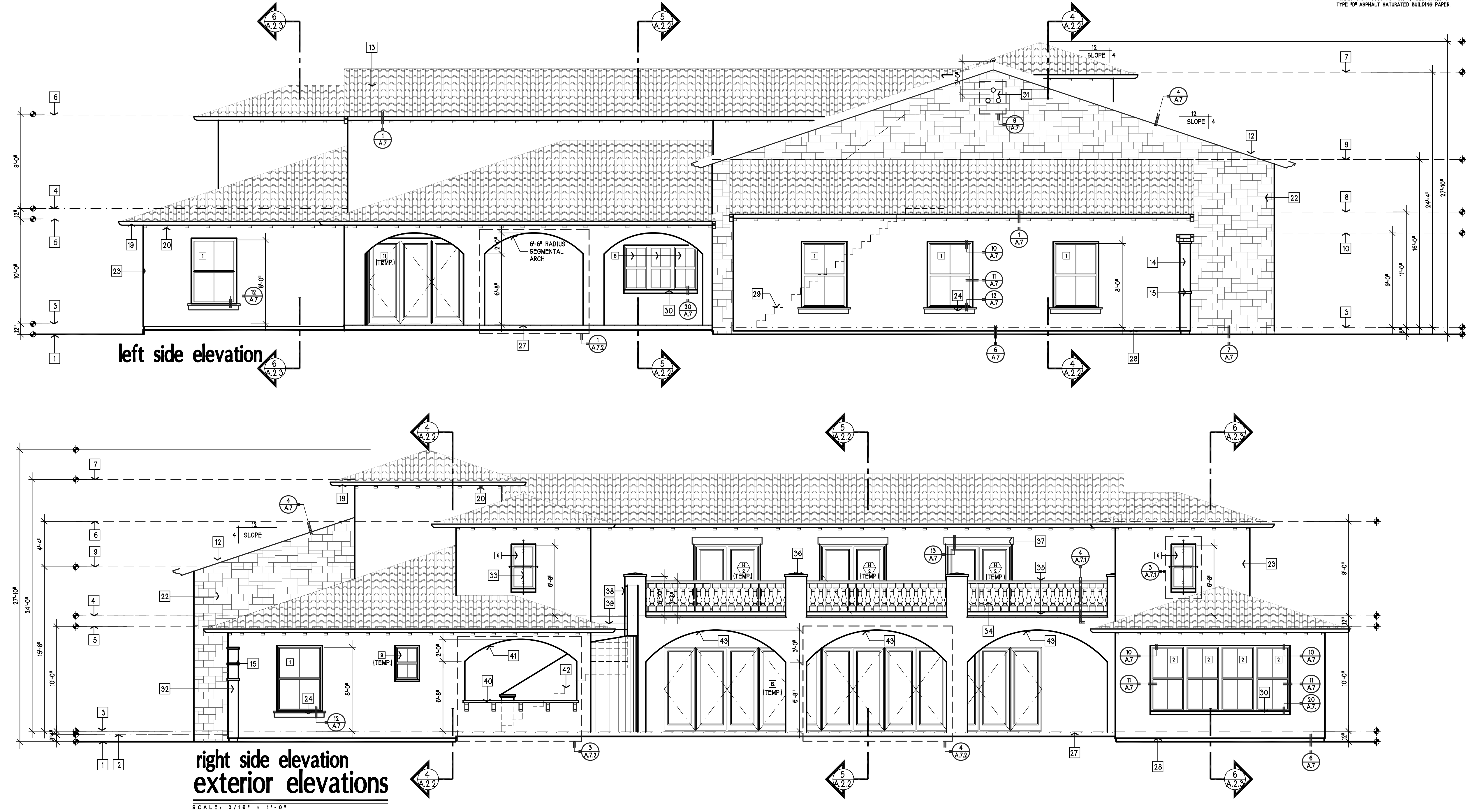
SCALE: AS NOTED

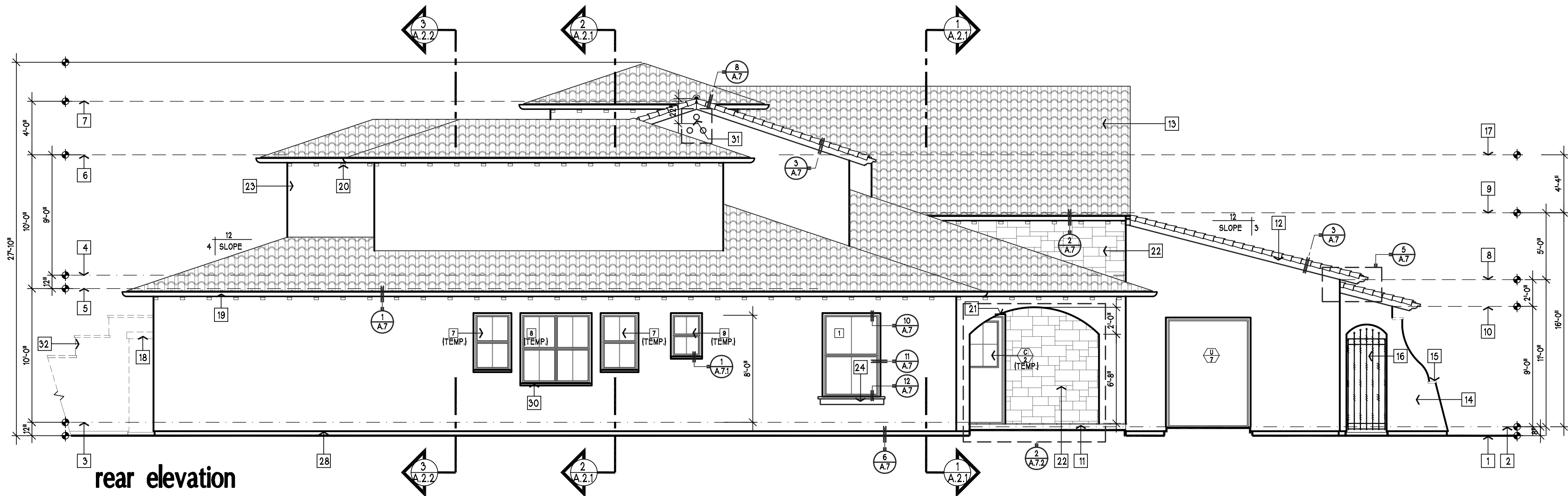
DRAWN BY: G.E. MOORE

PROJ. MGR. G.E. MOORE

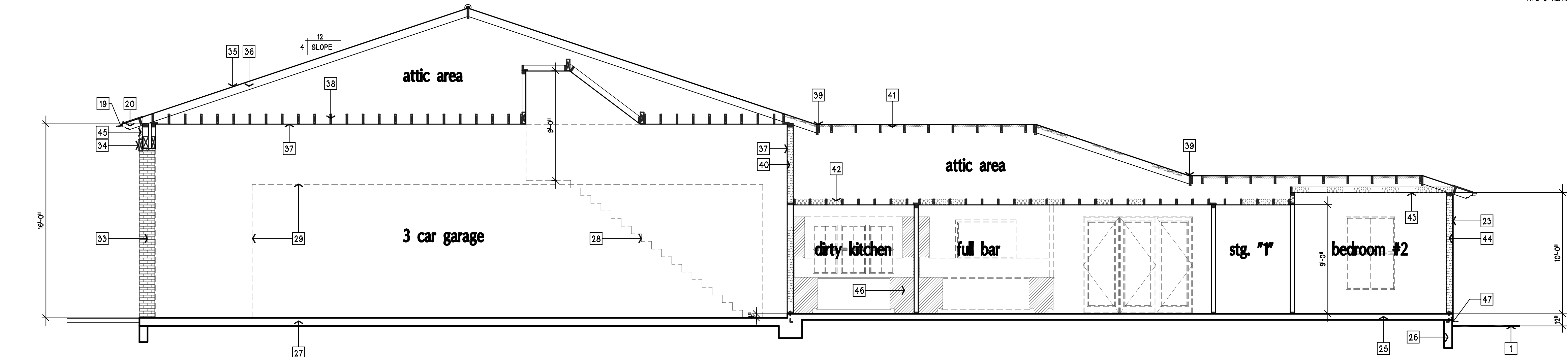
PROJECT FILE: CHARNOTA

DRAWING: BS.3

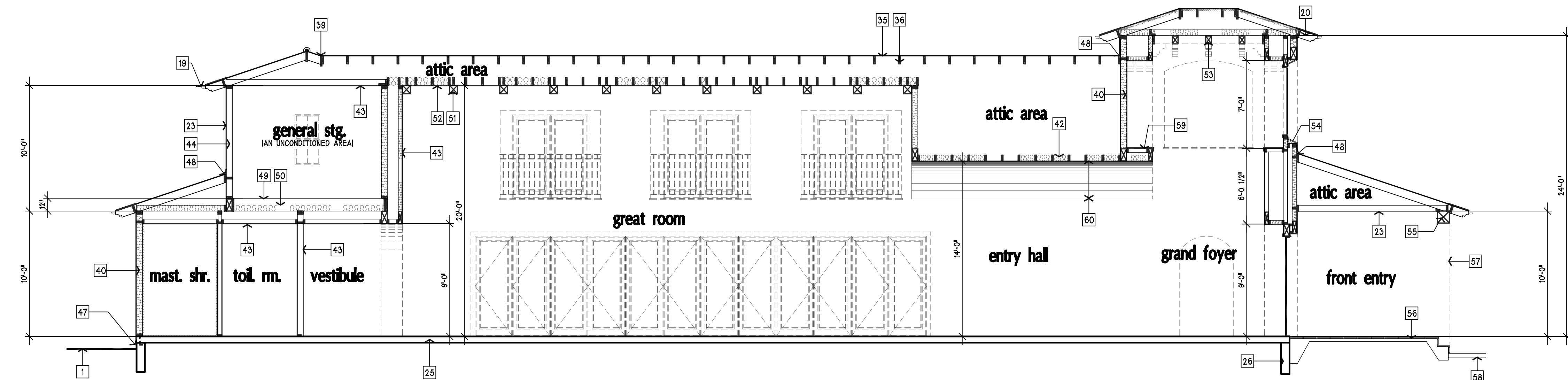




rear elevation



cross-section "1"



cross-section "2"

## exterior & cross-sectional elevations

SCALE: 3/16" = 1'-0"

NOTE: ALL WORKING DRAWING CROSS-SECTIONAL ELEVATIONS ARE DIAGRAMATIC ONLY. FOR FRAMING METHODS, BEAM AND JOIST SIZING SEE STRUCTURAL DRAWINGS.

ALL OPENINGS AROUND GAS VENTS, DUCTS AND PIPES AT CEILING AND FLOOR LEVELS SHALL HAVE FIREBLOCKING AS PER 2016 C.R.C. R302.1.2 & C.R.C. 1003.19

NOTE: THERMAL AND ACOUSTICAL INSULATION LOCATED ON OR WITHIN THE FLOOR-CEILING OR, ROOF-CEILING ASSEMBLIES, CRAWL-SPACES OR PARTITIONS SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DENSITY RATING OF 450 OR LESS. [AS PER 2016 C.R.C. R302.9 & R 302.10]

### GENERAL KEYNOTES: EXTERIOR & CROSS-SECTIONS:

- EXISTING / EXPECTED FINISH GRADE LINE
- GARAGE FINISH FLOOR LINE
- LIVING AREA ENTRY LEVEL FINISH FLOOR LINE
- 2ND LEVEL FINISH FLOOR LINE
- 10'-0" FIRST FLOOR PLATE LINE
- 8'-0" 2ND LEVEL PLATE LINE SET ABOVE 2ND FINISH FLOOR
- 26'-0" TOWER PLATE LINE SET ABOVE COMMON ENTRY LEVEL FINISH FLOOR
- 11'-0" GARAGE PLATE LINE SET ABOVE COMMON GARAGE FINISH FLOOR
- 16'-0" GARAGE PLATE LINE SET ABOVE COMMON GARAGE FINISH FLOOR
- 8'-0" WING WALL ROOF PLATE LINE SET ABOVE COMMON GARAGE FINISH FLOOR
- CONCRETE LOGGIA DECK, STEPPED TO COMMON FINISH GRADE W/ NON-SLIP TILE FINISH (SELECTION BY OWNER)
- 4 X 12 RE-SAWN D.P. FLUSH MOUNT BARGE RAFTER W/ PANCY CUT TAIL
- 2 PC PAN AND BARREL CLAY ROOF TILE BY U.S. TILE OR EOJ W/ 200 MDO BOOST
- STEPPED WING WALL W/ CEMENT PLASTER FINISH TO MATCH HOUSE
- PRE-CAST CONCRETE WALL CAP AND TRIM
- DECORATIVE METAL ACCESS GATE W/ RADIUS TOP
- 20'-0" GREAT ROOM PLATE LINE SET ABOVE COMMON ENTRY LEVEL FINISH FLOOR
- BUILT-UP 2X RESAWN D.P. PASS WAY HEADER (SEE MISC. FRAMING DETAILS)
- 4" DIA. HALF-ROUND COPPER ROOF GUTTER W/ LEAF GUARD (SEE SHEET "A-9")
- EXPOSED 4X8 RE-SAWN D.P. FANCY CUT RAFTER TAILS AT 24" O.C. (TYPICAL)
- SEGMENTAL ARCH W/ 6'-0" RADIUS AND CEMENT PLASTER FINISH
- MASONRY VENEER EXTERIOR WALL FINISH SIMULATED STONE BY EL DORADO STONE
- 3 COAT 7/8" THKJ CEMENT PLASTER EXTERIOR WALL FINISH SET OF 100A PAPER BACKED SELF-FURRED G.I. STUCCO NETTING W/ DBL. LAYER OF TYPE 10" ASPHALT SATURATED BUILDING PAPER.

- 2 PC WINDOW SILL TRIM (SEE DETAILS)
- ENGINEERED CONCRETE MAT SLAB (SEE STRUCTURAL DOCUMENTS)
- ENGINEERED CONCRETE GRADE BEAM FOUNDATION (SEE STRUCTURAL DOCUMENTS)
- ENGINEERED GARAGE SLAB FLOOR / FOUNDATION SET 4" BELOW COMMON LIVING AREA FINISH FLOOR (SEE STRUCTURAL DOCUMENTS)
- GARAGE ATTIC ACCESS STAIR ASSEMBLY (BEYOND SHOWN FOR REFERENCE ONLY)
- GARAGE INTERIOR WALL BEYOND SHOWN FOR REFERENCE ONLY
- 2" TAPERED WINDOW SILL W/ CEMENT PLASTER FINISH (SEE DETAILS)
- 15" 8" DIA. SIMULATED CLAY GABLE ROOF VENTS (NON-ACTIVE)
- 12" WIDE STEPPED WING WALL W/ CEMENT PLASTER FINISH
- EL DORADO THIN BRICK AT GARAGE DOOR AND WINDOW RECESS WALL AREAS
- FLUSH MOUNT 4X10 EXPOSED RE-SAWN D.P. GARAGE DOOR HEADER TRIM
- ENGINEERED ROOF SHEATHING (SEE STRUCTURAL DOCUMENTS)
- ENGINEERED ROOF RAFTER FRAMING ASSEMBLY (SEE STRUCTURAL DOCUMENTS)
- 5/8" TYPE 1X6 GYPSUM WALLBOARD W/ TAPE AND STIPPLE TEXTURE FINISH
- 2X ENGINEERED D.P. CEILING JOISTS (SEE STRUCTURAL DOCUMENTS)
- 6.1 VALLEY FLASHING
- FIBERGLASS BATT WALL INSULATION (SEE TITLE #14 REPORT FOR R<sup>6</sup> VALUE)
- ROOF RAFTER INSULATION (SEE TITLE #24 REPORT FOR R<sup>6</sup> VALUE)
- FIBERGLASS BATT CEILING INSULATION (SEE TITLE #14 REPORT FOR R<sup>6</sup> VALUE)
- 1/2" GYPSUM WALL BOARD W/ TAPE AND TEXTURE FINISH
- 2X6 ENGINEERED D.P. PERIMETER STUD WALL (SEE STRUCTURAL DOCUMENTS)
- EL DORADO STONE MASONRY EXTERIOR WALL FINISH
- INTERIOR CABINET PROFILE ELEVATION SHOWN FOR REFERENCE ONLY
- 6.1 STUCCO DRIP SCALED SET A MIN. OF 4" ABOVE COMMON FINISH GRADE
- 6.1 WALL & ROOF COMMON FLASHING W/ STUCCO DRIP SCALED
- ATTIC SUB-FLOOR ASSEMBLY (SEE STRUCTURAL DOCUMENTS)
- ATTIC FLOOR JOIST FRAMING ASSEMBLY (SEE STRUCTURAL DOCUMENTS)
- EXPOSED ROUGH-CUT 8 X 12 D.P. CEILING BEAMS W/ CORRAL BRACKETS AT EACH END EQUALLY SPACED
- EXPOSED 1X4 CLEAR HEART TAG D.P. CEILING JOCKING, BOX KNOT FREE
- BOXED BEAM FOYER CEILING ASSEMBLY (SEE REFLECTED CEILING PLAN AND DETAILS)
- WINDOW SILL W/ 3 COAT CEMENT PLASTER FINISH
- 12" X 12" RE-SAWN D.P. FRONT ENTRY PORCH EXPOSED CEILING BEAM
- CONCRETE FRONT ENTRY PORCH AND STEPS TO COMMON FINISH GRADE W/ NON-SLIP TILE FINISH (SELECTION BY OWNER)
- FRONT EXTERIOR WALL LINE BEYOND SHOWN FOR REFERENCE ONLY
- CONCRETE FRONT ENTRY WALKWAY (SEE LANDSCAPE DOCUMENTS FOR FINISH)
- GRAND FOYER WALL SHELF ASSEMBLY (SEE MISC. FRAMING DETAILS)
- RADIUS CEILING AT ENTRY HALL (SEE REFLECTED CEILING PLAN)

### DRAWING: exterior & cross-sectional elevations

PROJECT:  
**Charnota Residence**  
2546 butch drive  
gilroy, california  
county of  
santa clara

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REVISIONS:	

DATE: AUGUST 18, 2020

SCALE: AS NOTED

DRAWN BY: G.E. MOORE

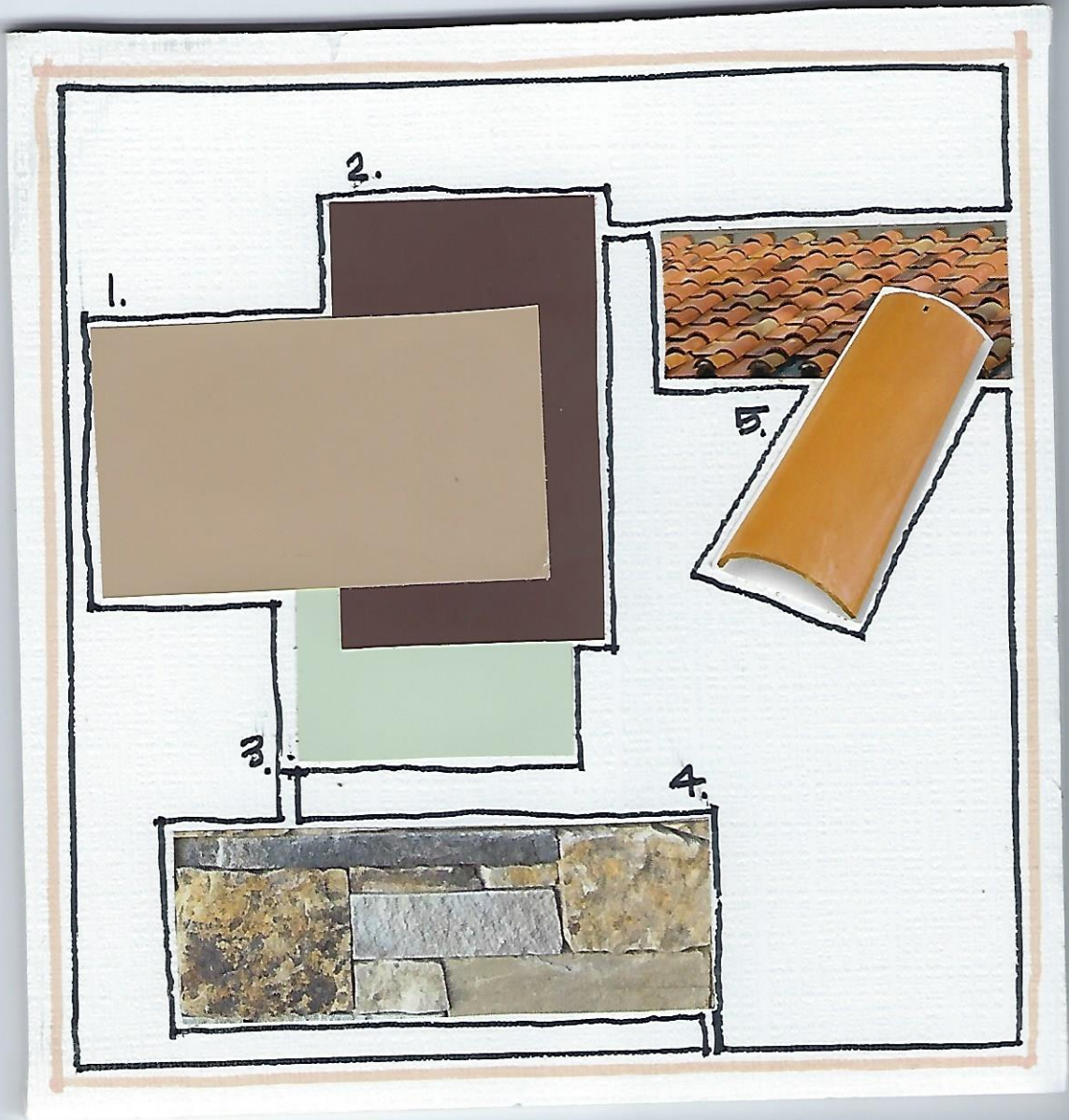
PROJ. MGR. G.E. MOORE

PROJECT FILE: **0.19-  
CHARNOTA**

DRAWING: **BS.4**

# Attachment D

## Color Samples





1. EXTERIOR BASE WALL COLOR:  
BENJAMIN MOORE #HC-44  
"LENOX TAN" - LRV-43.6
2. EXTERIOR TRIM COLOR:  
BENJAMIN MOORE #HC-68  
"MIDDLEBURYT BROWN" - LRV-9.8
3. EXTERIOR ACCENT COLOR:  
BENJAMIN MOORE #HCJ-120  
"VAN ALAN GREEN" - LRV-64.9
4. MASONRY VENEER:  
KO NATURAL STONE  
"MONTEREY ESTATE BLEND"
5. FINISH ROOF:  
REDLANDS CLAY ROOFING  
2 PC. CLAY ROOFING TILE  
"TERRA COTTA BLEND"

# Attachment E

5976-95G



# SANTA CLARA COUNTY MASTER LAND DEVELOPMENT PERMIT APPLICATION

Owner's Name <u>Bolea</u>	Address <u>2546 Butch Dr.</u>	City <u>Gilroy CA</u>	Zip 	Phone (res/ bus) 
Applicant (Appellant)	Address	City	Zip	Phone (res/ bus)
Address of Subject Property: _____				A.P.N. <u>830-17-046</u>
Site Location: _____ side of <u>Butch Dr.</u> at/ between _____ and _____ (north, south, east, west) (road or street) (road or street) (road or street)				
Existing Use of Property: _____		Access Restrictions (gate, dog, etc.): _____		
<p><b>PLEASE NOTE:</b> (1) ALL APPLICATION FEES ARE NONREFUNDABLE. (2) THE OWNER/ APPLICANT OR REPRESENTATIVE SHOULD BE PRESENT AT ALL PUBLIC HEARINGS. (3) A DENIAL OR GRANT MAY BE REVERSED ON APPEAL. NO PERMIT WILL BE IN EFFECT UNTIL THE APPEAL PERIOD HAS EXPIRED.</p> <p>The undersigned owner(s) of subject property hereby authorizes the filing of this application, and authorizes on-site review by authorized staff. I certify under penalty of perjury that the foregoing is true.</p>				
Signature of subject property owner(s) (or appellant): _____				Date _____

## FOR DEPARTMENT USE ONLY

FILE #: 5976 - 79 - 29 - 956 - RB - \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

PROJECT DESCRIPTION: Resubmittal as per 7-28-95 letter.

TYPE OF APPLICATION(S)	FEE(S)	COMMENTS
<input type="checkbox"/> APPEAL		Appeal to: PC BS Date of Action: _____ Attachments: Y N
<input type="checkbox"/> ARCHITECTURAL AND SITE APPROVAL		
<input type="checkbox"/> BUILDING SITE APPROVAL / BA		
<input type="checkbox"/> CERTIFICATE OF COMPLIANCE		
<input type="checkbox"/> DESIGN REVIEW		
<input type="checkbox"/> ENCROACHMENT / CONSTRUCTION PERMIT		
<input type="checkbox"/> ENVIRONMENTAL ASSESSMENT / EIR		
<input type="checkbox"/> GEOLOGIC REPORT REV. / LETTER REV.		
<input type="checkbox"/> GRADING PERMIT / GRADING ABATEMENT		
<input type="checkbox"/> LOT LINE ADJUSTMENT / LOT MERGER		
<input type="checkbox"/> SPECIAL PERMIT		
<input type="checkbox"/> SUBDIVISION		
<input type="checkbox"/> USE PERMIT		
<input type="checkbox"/> VARIANCE		
<input type="checkbox"/> ZONE CHANGE		
<input type="checkbox"/> OTHER		
<b>TOTAL FEES</b>		

### RESUBMITTAL

DATES DATES

8-22-95 Application Received by [Signature]

8-23-95 Distribution

\_\_\_\_\_ Application Deemed Complete

\_\_\_\_\_ Date of Action(s) (CPO / ASA / ZA / PC / BS)

\_\_\_\_\_ Approval Expiration Date

\_\_\_\_\_ Date of Prelim. Report

\_\_\_\_\_ Date of Noticing

500' Scale Map 230

Zoning \_\_\_\_\_

USA / SOI \_\_\_\_\_

Parcel Size \_\_\_\_\_

Supervising District \_\_\_\_\_

Previous File(s) \_\_\_\_\_

# SANTA CLARA COUNTY MASTER LAND DEVELOPMENT PERMIT APPLICATION

Owner's Name <b>FRANK BOLBA</b>	Address <b>2544 BUTCH DR. GILROY</b>	City <b>GILROY</b>	Zip <b>95020</b>	Phone (res/ bus)
Applicant (Appellant) <b>JO ROONEY</b>	Address <b>500 STUTZ WAY GILROY</b>	City <b>GILROY</b>	Zip <b>95020</b>	Phone (res/ bus)
Address of Subject Property: <b>500 STUTZ WAY GILROY 95020</b>			A.P.N. <b>830-17-046</b>	
Site Location: _____ side of _____ at/ between _____ and _____ (north, south, east, west) (road or street) (road or street) (road or street)				
Existing Use of Property: _____			Access Restrictions (gate, dog, etc.): _____	
<p><b>PLEASE NOTE: (1) ALL APPLICATION FEES ARE NONREFUNDABLE. (2) THE OWNER/ APPLICANT OR REPRESENTATIVE SHOULD BE PRESENT AT ALL PUBLIC HEARINGS. (3) A DENIAL OR GRANT MAY BE REVERSED ON APPEAL. NO PERMIT WILL BE IN EFFECT UNTIL THE APPEAL PERIOD HAS EXPIRED.</b></p> <p>The undersigned owner(s) of subject property hereby authorizes the filing of this application, and authorizes on-site review by authorized staff. I certify under penalty of perjury that the foregoing is true.</p>				
Signature of subject property owner(s) (or appellant): <u><i>Jo Rooney</i></u>				Date: <u><i>7-5-95</i></u>

**FOR DEPARTMENT USE ONLY**

*P.C. 6230*

**FILE #:** *5976 - 79 - 28 - 956 (R2)*

**PROJECT DESCRIPTION:** *RESUBMITTAL PER PHONE CONVERSATION WITH*  
*JIM SIRR & MEMO DATED 6-12-95 - 3 REVISED GRADING PLANS*

TYPE OF APPLICATION(S)	FEE(S)	COMMENTS
<input type="checkbox"/> <b>APPEAL</b>		Appeal to: PC BS Date of Action: _____ Attachments: Y N
<input type="checkbox"/> <b>ARCHITECTURAL AND SITE APPROVAL</b>		
<input type="checkbox"/> <b>BUILDING SITE APPROVAL / BA</b>		
<input type="checkbox"/> <b>CERTIFICATE OF COMPLIANCE</b>		
<input type="checkbox"/> <b>DESIGN REVIEW</b>		
<input type="checkbox"/> <b>ENCROACHMENT / CONSTRUCTION PERMIT</b>		
<input type="checkbox"/> <b>ENVIRONMENTAL ASSESSMENT / EIR</b>		
<input type="checkbox"/> <b>GEOLOGIC REPORT REV. / LETTER REV.</b>		
<input type="checkbox"/> <b>GRADING PERMIT / GRADING ABATEMENT</b>		
<input type="checkbox"/> <b>LOT LINE ADJUSTMENT / LOT MERGER</b>		
<input type="checkbox"/> <b>SPECIAL PERMIT</b>		
<input type="checkbox"/> <b>SUBDIVISION</b>		
<input type="checkbox"/> <b>USE PERMIT</b>		
<input type="checkbox"/> <b>VARIANCE</b>		
<input type="checkbox"/> <b>ZONE CHANGE</b>		
<input type="checkbox"/> <b>OTHER</b>		
<b>TOTAL FEES</b>		

**DATES** *7-5-95* **RESUBMITTAL DATES** *7-10-95*

Application Received by *J.C.*

Distribution \_\_\_\_\_

Application Deemed Complete \_\_\_\_\_

Date of Action(s) (CPO / ASA / ZA / PC / BS) \_\_\_\_\_

Approval Expiration Date \_\_\_\_\_

Date of Prelim. Report \_\_\_\_\_

Date of Noticing \_\_\_\_\_

500' Scale Map *230*

Zoning *HS*

USA / SOT \_\_\_\_\_

Parcel Size *10. AC*

Supervisory District \_\_\_\_\_

Previous File(s) \_\_\_\_\_

# SANTA CLARA COUNTY / MASTER LAND DEVELOPMENT PERMIT APPLICATION

Owner's Name <u>FRANK BOLGA</u>	Address <u>2544 BUTCH DR. GILROY</u>	City <u>GILROY</u>	Zip <u>95020</u>	Phone (res/ bus) _____
Applicant (Appellant) <u>Jo Rooney</u>	Address _____	City _____	Zip _____	Phone (res/ bus) _____
Address of Subject Property: <u>500 STUTZ WAY. GILROY</u>			A.P.N. <u>830-17-046</u>	
Site Location: <u>(north, south, east, west)</u> side of <u>BUTCH DR</u> at/ between _____ and _____ (road or street) (road or street) (road or street)				
Existing Use of Property: _____ Access Restrictions (gate, dog, etc.): _____				
<p><b>PLEASE NOTE:</b> (1) ALL APPLICATION FEES ARE NONREFUNDABLE. (2) THE OWNER/ APPLICANT OR REPRESENTATIVE SHOULD BE PRESENT AT ALL PUBLIC HEARINGS. (3) A DENIAL OR GRANT MAY BE REVERSED ON APPEAL. NO PERMIT WILL BE IN EFFECT UNTIL THE APPEAL PERIOD HAS EXPIRED.</p> <p>The undersigned owner(s) of subject property hereby authorizes the filing of this application, and authorizes on-site review by authorized staff. I certify under penalty of perjury that the foregoing is true.</p>				
Signature of subject property owner(s) (or appellant): <u>Jo Rooney</u>				Date <u>5-25-95</u>

## FOR DEPARTMENT USE ONLY

FILE #: 5976 - 79 - 28 - 956 (R1)

PROJECT DESCRIPTION: RESUBMITTAL OF 2 REVISED SITE PLANS  
POR APRIL 25, 1995

TYPE OF APPLICATION(S)	FEE(S)	COMMENTS
<input type="checkbox"/> <b>APPEAL</b>		Appeal to: PC BS Date of Action: _____ Attachments: Y N
<input type="checkbox"/> ARCHITECTURAL AND SITE APPROVAL		
<input type="checkbox"/> BUILDING SITE APPROVAL / BA		
<input type="checkbox"/> CERTIFICATE OF COMPLIANCE		
<input type="checkbox"/> DESIGN REVIEW		
<input type="checkbox"/> ENCROACHMENT / CONSTRUCTION PERMIT		
<input type="checkbox"/> ENVIRONMENTAL ASSESSMENT / EIR		
<input type="checkbox"/> GEOLOGIC REPORT REV. / LETTER REV.		
<input type="checkbox"/> GRADING PERMIT / GRADING ABATEMENT		
<input type="checkbox"/> LOT LINE ADJUSTMENT / LOT MERGER		
<input type="checkbox"/> SPECIAL PERMIT		
<input type="checkbox"/> SUBDIVISION		
<input type="checkbox"/> USE PERMIT		
<input type="checkbox"/> VARIANCE		
<input type="checkbox"/> ZONE CHANGE		
<input type="checkbox"/> OTHER		
<b>TOTAL FEES</b>		

<b>DATES</b> <u>5-25-95</u> Application Received by <u>J.C.</u> Distribution _____ Application Deemed Complete _____ Date of Action(s) ( CPO / ASA / ZA / PC / BS ) _____ Approval Expiration Date _____	<b>RESUBMITTAL DATES</b> _____ _____ _____ _____ _____	500' Scale Map <u>230</u> Zoning <u>HS</u> USA / SOI _____ Parcel Size <u>10 AC.</u> Supervisorial District _____ Previous File(s) _____
Date of Prelim. Report _____ Date of Noticing _____		

## SANTA CLARA COUNTY MASTER LAND DEVELOPMENT

## PERMIT APPLICATION

*with survey of site plan.*

Owner's Name <b>FRANK BOLEA</b>	Address <b>2544 BUTCH DRIVE</b>	City <b>GILROY</b>	Zip <b>95020</b>	Phone (res/ bus) <b>848-6256 848-8000</b>
Applicant (Appellant) <b>SAME</b>	Address	City	Zip	Phone (res/ bus)

Address of Subject Property: **2546 BUTCH DRIVE** A.P.N. **830-17-46**

Site Location: **NORTH** side of **BUTCH DR/WEST SIDE OF** **BRIDLE PATH DRIVE**  
(north, south, east, west) (road or street) at/ between (road or street) and (road or street)

Existing Use of Property: **BARRENLAND** Access Restrictions (gate, dog, etc.): **GATE**

**PLEASE NOTE: (1) ALL APPLICATION FEES ARE NONREFUNDABLE. (2) THE OWNER/ APPLICANT OR REPRESENTATIVE SHOULD BE PRESENT AT ALL PUBLIC HEARINGS. (3) A DENIAL OR GRANT MAY BE REVERSED ON APPEAL. NO PERMIT WILL BE IN EFFECT UNTIL THE APPEAL PERIOD HAS EXPIRED.**

The undersigned owner(s) of subject property hereby authorizes the filing of this application, and authorizes on-site review by authorized staff. I certify under penalty of perjury that the foregoing is true.

Signature of subject property owner(s) (or appellant): *Frank Bolea* **FRANK BOLEA** Date **02/27/95**

## FOR DEPARTMENT USE ONLY

FILE #: 5976 - 79 - 28 - 95G - - - - -PROJECT DESCRIPTION: Grading Permit for a Driveway, and Pad for a barn on a vacant parcel. 1,380 cy cut / 6 feet cut

TYPE OF APPLICATION(S)	FEE(S)	COMMENTS
<input type="checkbox"/> <b>APPEAL</b>		Appeal to: <b>PC BS</b> Date of Action: _____ Attachments: <b>Y N</b>
<input type="checkbox"/> <b>ARCHITECTURAL AND SITE APPROVAL</b>		
<input type="checkbox"/> <b>BUILDING SITE APPROVAL / BA</b>		
<input type="checkbox"/> <b>CERTIFICATE OF COMPLIANCE</b>		
<input type="checkbox"/> <b>DESIGN REVIEW</b>		
<input type="checkbox"/> <b>CONSTRUCTION PERMIT</b>		
<input type="checkbox"/> <b>ENVIRONMENTAL ASSESSMENT / EIR</b>		
<input checked="" type="checkbox"/> <b>GEOLOGIC REPORT REV. / LETTER REV.</b>	<b>425</b>	Note: Petition for exemption from environmental review filed w/ photos
<input checked="" type="checkbox"/> <b>GRADING PERMIT / GRADING ABATEMENT</b>	<b>640</b>	
<input type="checkbox"/> <b>LOT LINE ADJUSTMENT / LOT MERGER</b>		
<input type="checkbox"/> <b>SPECIAL PERMIT</b>		
<input type="checkbox"/> <b>SUBDIVISION</b>		
<input type="checkbox"/> <b>USE PERMIT</b>		
<input type="checkbox"/> <b>VARIANCE</b>		
<input type="checkbox"/> <b>ZONE CHANGE</b>		
<input type="checkbox"/> <b>OTHER</b>		
<b>TOTAL FEES</b>	<b>\$1065</b>	<div style="text-align: right;"> <b>03/01/95 1:52PM 001#3038 A</b>  <b>#0000000000005976</b>  <b>GEOLOGIC RPT REV \$425.00</b>  <b>GRAD W/CONC APP. \$640.00</b>  <b>GRAD W/CONC APP. V-640.00</b>  <b>GRADING \$640.00</b>  <b>CHECK \$1065.00</b> </div>

DATES	RESUBMITTAL DATES
<b>3/1/95</b>	<b>BAZ</b>
	Application Received by _____
	Distribution _____
	Application Deemed Complete _____
	Date of Action(s) (CPO / ASA / ZA / PC / BS) _____
	Approval Expiration Date _____

Date of Prelim. Report \_\_\_\_\_

Date of Noticing \_\_\_\_\_

500' Scale Map **230**

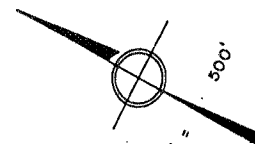
Zoning **HS**

USA / SOI **NONE**

Parcel Size **10 acres**

Supervisory District \_\_\_\_\_

Previous File(s) \_\_\_\_\_



TRACT N° 6335  
GOLDEN HILL ESTATES - UN. N° 2

BK 835

P.M. 631-M-19

AUG 31 1994

ESTATES DR.

5976-79-28-95/G

# County of Santa Clara

Environmental Resources Agency  
Building Inspection/Land Development Engineering and Surveying  
County Government Center, East Wing  
70 West Hedding Street, 7th Floor  
San Jose, California 95110  
Bldg. Inspec. (408) 299-2351 Land Devel. 299-2871 FAX 279-8537



November 7, 1995

Mr. & Mrs. Frank & Julie Bolea  
2544 Butch Drive  
Gilroy, CA 95020

Subject: Grading Permit No. : 62951209  
File No. : 5976-79-28-95G  
Location: Butch Drive

Dear Mr. and Mrs. Bolea:

Enclosed is your executed grading permit together with approved and signed grading plans. Per Section C12-415 of the grading ordinance you will be required to supply necessary plans for use by your project crew. Your engineer, Jacob Saidian, has the original grading plans. Please review these documents carefully. If you are not in agreement with all of the requirements set forth therein, do not start work but contact the County Surveyor's Office immediately. A copy of the permit and plans should be kept at the job site at all times.

Before beginning work, authorization from the County Inspector must be obtained and provisions for erosion protection must be in place. Once work has commenced, erosion protection facilities are to be adequately maintained during the period of the construction. All work is to be completed by November 7, 1996, unless an extension of time is requested and granted.

It is your responsibility to coordinate the work of both engineer and contractor, allowing the engineer sufficient time to set all necessary construction stakes before the contractor begins work. The County inspectors must be present to inspect the work while it is in progress.

The owner shall notify the County Surveyor's Office, inspection unit (299-2034), at least 24 hours prior to the start of work. Your help and cooperation are appreciated.

Very truly yours,

Gerald H. Quilici  
Senior Civil Engineer

cc: Jacob Saidian  
Jack Zogg  
C.P.O. ✓

SANTA CLARA COUNTY DEPARTMENT OF ROADS AND AIRPORTS  
**GRADING PERMIT**

**62951209**

Permittee Name **FRANK BOLEA**  
Address 2544 BUTCH DRIVE  
City GILROY CA 95020  
Telephone 408 779-3366



62951209

PERMIT NUMBER 62951209 DATE ISSUED 11/07/95 EXPIRATION DATE 11/07/96

**LOCATION OF WORK**

Address  
Road Name BUTCH DRIVE  
Description  
GRADING

ISSUED BY THE  
COUNTY SURVEYOR

BY Mai Trinh

TITLE Engineering Order  
PROJECT STATUS

COMPLETE \_\_\_\_\_  
DATE

CANCEL \_\_\_\_\_  
DATE

BY \_\_\_\_\_  
INSPECTOR

BY \_\_\_\_\_  
PERMIT OFFICE

**SPECIAL PROVISIONS**

APN 830-17-046 File Number 5976-79-28-95G

Locaide 51 79-28 Zone 3

BONDS	AMOUNT	TYPE	STATUS	
			RELEASE	REDUCE BY
PERFORMANCE	\$21,800	S	<input type="checkbox"/>	<input type="checkbox"/>
LABOR & MATERIAL			<input type="checkbox"/>	<input type="checkbox"/>

BOND COMPANY UNIVERSAL UNDER WRITERS INSURANCE CO.  
ENGINEER'S NAME JACOB SAIDIAN R.E. # 33509  
INSPECTION BY CNTY SURVEYOR OFFICE PHONE 299-2034  
BUILDING PERMIT #

PERMIT EXPIRES IF WORK IS NOT STARTED BY 11/07/96

**KEEP THIS PERMIT ON JOB SITE**

CALL 299-2034 24 HOURS BEFORE STARTING ANY WORK  
WITH REFERENCE TO PERMIT NUMBER 62951209

**INSPECTION REQUIRED**

**SEE ATTACHMENTS FOR PERMIT REQUIREMENTS**

**RECEIVED  
PLANNING OFFICE  
96 JAN 25 AM 11:12**

January 21, 1996

County of Santa Clara  
Planning Department  
70 West Hedding Street  
San Jose, California, 95110

Attn: Mr. Zack Carter

Re: Grading Permit 5785-79-28-94G Butch Drive, Gilroy

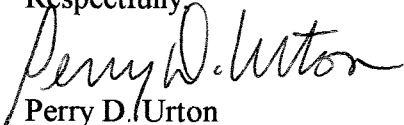
Dear Zack:

I have enclosed a letter that I received from Muriel Day that references the grading permit requirements that the County of Santa Clara has asked for on this property.

This letter addresses the geologic review of this site per Peter Anderson's previous soils report. Gary Carnes has provided your office with the 1:20 drawings that was required by his company to complete this grading permit application that corresponds to the data provided for in Peter Anderson's letter.

Please advise me if this completes this application process for this grading permit. Weather permitting, we plan to start building a residential custom home on this property by early spring. I can be reached by calling (408) 847-5338.

Respectfully,

  
Perry D. Urton

cc: Muriel Day





**RECEIVED  
PLANNING OFFICE  
96 JAN 25 AM 11:12**

16120-D Caputo Drive, Morgan Hill, CA 95037  
(408) 778-2818

November 7, 1995  
Project 1324/1G

Mrs. Muriel Day  
c/o Mr. Perry Urton  
8610 Larkspur Lane  
Gilroy, California 95020

Subject: Geologic Plan Review  
Lot #10 Tract 6335  
Santa Clara County, California

Dear Mrs. Day:

As requested, we have completed a geologic review of the project plans provided us for your property, identified as Lot #10 of Tract 6335, located on Butch Drive, east of Gilroy, in Santa Clara County, California. For this review we were provided with a 4-page set of plans prepared by Carnes & Associates that include the following: Site Plan, Grading Plan and Cross Sections, all revised 6-12-95.

Pacific Geotechnical Engineering previously prepared a Geologic Feasibility Evaluation (report) of the subject property (Project 1324G, dated April 5, 1994). That evaluation identified several areas of landsliding that appeared to significantly constrain development options. We provided recommended set-back distances from potentially hazardous areas in our report and in subsequent communication with the project Civil Engineer's representative, Mr. Gary Carnes.

Applied Soil Mechanics, Inc., earlier completed a Geologic and Preliminary Soil Investigation (report) of the site and two adjoining parcels, dated May 4, 1988. County Geologist Mr. James O. Berkland found that the report did not adequately demonstrate geologic suitability of the property for development. However, geotechnical recommendations contained in that report may apply to the currently proposed project.

The referenced plans indicate that the area of the proposed development is outside of the areas we identified as potentially hazardous. From a geologic standpoint, the proposed project appears feasible. The proposed building envelope is geologically suitable for construction of a single-family residence. The proposed access driveway from Butch Drive is geologically suitable. The area proposed for

November 7, 1995

Project 1324/1G

the leach field is geologically suitable; if the leach field is constructed in accordance with County requirements, and if it is prudently operated and maintained, it should not, in itself, cause effluent to surface or cause slope failure.

We found discrepancy between some design slope angles and actual topography, indicating that some cuts may have to be higher than indicated on the plan (or retaining walls would need to be higher). We recommend that the project geotechnical engineer review the plans to check for compliance with their recommendations.

Please contact us if we may be of further service.

Sincerely,

PACIFIC GEOTECHNICAL ENGINEERING



Peter C. Anderson  
RG 3833  
CEG 1189

c.c. Mr. Gary Carnes



# County of Santa Clara

## Environmental Resources Agency Planning Office

County Government Center, East Wing, 7th Floor  
70 West Hedding Street  
San Jose, California 95110-1705  
(408) 299-2454 FAX 279-8537



September 15, 1995

Mr. Frank Bolea  
2544 Butch Drive  
Gilroy, CA 95020

FILE NUMBER: 5976 - 79 - 29 - 95G R3  
SUBJECT: Grading Permit  
SITE LOCATION: Butch Drive  
FINAL ACTION: September 28, 1995

Dear Mr. Bolea:

Enclosed are the final conditions of approval for your Grading Permit. This approval is valid for 24 months and will expire as noted above. DURING THIS PERIOD, THE CONDITIONS OF APPROVAL MUST BE COMPLETED AND A GRADING PERMIT ISSUED.

Please return a signed set of final conditions of approval to this office. WHEN YOU ARE READY TO PROCEED WITH THIS PROJECT, PLEASE CALL THE COUNTY SURVEYOR'S OFFICE AT 299-2871, REGARDING INSTRUCTIONS FOR COMPLETING THE CONDITIONS OF APPROVAL.

Please note that any person dissatisfied with the decision of the Land Development Coordinator may file an appeal within 15 calendar days after the Coordinator's final decision.

All appeals regarding this application shall be filed at the County Planning Office and shall require the current filing fee.

If you have any questions regarding this matter, please feel free to contact me at (408) 299-2454.

Sincerely,

ZACHARY N. CARTER  
LAND DEVELOPMENT ENGINEER

cc: Jerry Quilici - Land Development Engineering  
Bob Van Etten - Transportation Agency  
Jo Rooney

GRADING PERMIT  
5976-79-29-94G (Butch Drive)  
August 31, 1995

Page 5

**STATEMENT OF ACCEPTANCE:**

I, **Frank Bolea**, as property owner of subject application, hereby agree to the aforementioned preliminary conditions of approval and request a final action to be taken in accordance with these conditions.

Date 9-5-95

Signature



**STATEMENT OF REJECTION:**

I, **Frank Bolea**, as property owner of subject application, do NOT agree to the aforementioned preliminary conditions of approval and request to meet with the agencies/departments imposing the following conditions. (Please list conditions by number.)

I disagree with the following conditions:

---

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---

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Date \_\_\_\_\_

Signature \_\_\_\_\_

NOTE: Please return one copy of these conditions, as per instructions of the enclosed cover letter, to:

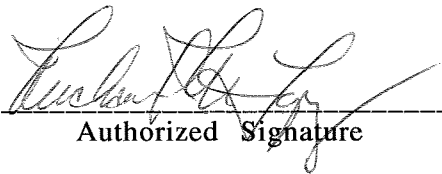
County of Santa Clara  
Planning Office  
County Government Center  
70 W. Hedding Street  
San Jose, CA 95110

GRADING PERMIT  
5976-79-29-94G (Butch Drive)  
September 15, 1995

Page 5

These conditions approved on September 13, 1995, by the Manager of the Planning Office Michael M. Lopez, are valid for a period of twenty-four (24) months.

This approval is based upon information submitted on the application form and map. Erroneous information, omission of relevant information or substantial changes will void this approval.

  
Authorized Signature

**STATEMENT OF ACCEPTANCE:**

I, *Frank Bolea*, understand and accept the attached final conditions of approval.

Date \_\_\_\_\_

Signature



NOTE: Please return a copy of these conditions, as per instructions of the enclosed cover letter, to:

County of Santa Clara  
Planning Office  
County Government Center  
70 W. Hedding Street  
San Jose, CA 95110

ANOTHER IMPORTANT NOTE: When you are ready to proceed with this project, please contact Land Development Engineering and Surveying, at 299-2871, regarding instructions for compliance with the conditions of approval.

# County of Santa Clara

Environmental Resources Agency  
Planning Office

County Government Center, East Wing, 7th Floor  
70 West Hedding Street  
San Jose, California 95110-1705  
(408) 299-2454 FAX 279-8537



September 15, 1995

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Gilroy, CA 95020

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If you have any questions regarding this matter, please feel free to contact me at (408) 299-2454.

Sincerely,

ZACHARY N. CARTER  
LAND DEVELOPMENT ENGINEER

cc: Jerry Quilici - Land Development Engineering  
Bob Van Etten - Transportation Agency  
Jo Rooney

GRADING PERMIT  
FINAL CONDITIONS OF APPROVAL

Date: September 15, 1995

Owner: Frank Bolea

File Number: 5976-79-28-95G

Items marked with an asterisk (\*) must be completed prior to grading permit issuance.

Items marked with a double asterisk (\*\*) must be completed prior to grading completion and release of bond.

Items marked with an asterisk (\*\*\*) must be completed prior to building permit issuance.

**PLANNING:**

1. Existing zoning is HS. Maintain the following minimum building setbacks:  
Front: 75 feet;                      Rear: 30 feet;                      Sides: 30 feet.  
  
The maximum height of buildings shall be 35 ft and shall not include more than 3 stories.
2. Petition for Exemption from Environmental Review was granted for grading on slopes over 10%, per Hugh Gram dated March 13, 1995.

**LAND DEVELOPMENT ENGINEERING:**

(Contact Jim Sirr at 299-2871 for details on complying with the following engineering conditions)

*Soils and Geology:*

(Contact Jim Baker at 299-2454 for details on complying with the following Geology conditions)

3. Relatively LOW GEOLOGIC HAZARD: No geologic report required at this time. Pacific Geotechnical Engineering to observe foundation construction and report the findings in a letter prior to **Final inspection.**

*Grading:*

4.\* Preliminary grading plans done by Jacob Saidian have been reviewed. Final grading plans are to be prepared by a registered civil engineer and submitted as set forth in the Grading Ordinance Section C12-412. These plans will be processed in accordance with the Grading Ordinance and checked for conformance with Article 5 (Design Standards) Section C12-489 to Section C12-527. Final plans to include and/or reflect the following:

a) Cross sections are required on final plans per Section C12-411(f). They are to clearly show "natural ground", "existing ground", and "final Grade".

b) Disposition of excess grading material.

Notes: All materials exported from the site must be located at an approved disposal site.

5.\* Indicate on final plan how graded area is to be properly drained in accordance with criteria as designated in the County Drainage Manual. Submit necessary hydraulic calculations.

6.\* Comply with setback requirements from property line for cuts and fills per Section C12-505.

7.\* Expose corner stakes along property lines near proposed grading. Show on final grading plans.

8.\* Post bonds, sign grading agreement and pay necessary inspection and plan check fees.

9.\* Final grading plans shall be prepared and submitted on "Standard Improvement Plan Mylar" as approved by the County Surveyor.

**ENVIRONMENTAL HEALTH:**

(Contact Art Kaupert at 299-2454 for details on complying with the following Health conditions)

10.\*\*\* Sewage disposal conditions have been determined and 200 plus 200 lineal feet of subsurface drainline will be required. The two (2) drainline systems must be connected through a positive diversion valve. A 1500-gallon septic tank will be required. This system is to serve the new barn with a toilet, lavatory, and horse wash only.



- 11.\*\*\* At the time of application for a building permit. Submit four (4) revised plot plans to scale (1" = 20') showing house, driveway, accessory structures, and required drainlines to contour. Maintain all setbacks as outlined in Bulletin A.

*Water Supply:*

- 12.\*\*\* Domestic water shall be supplied by an approved water system or individual wells installed to Environmental Health Standards. Prior to applying for a septic tank permit, contact Environmental Health Services at (408) 299-6930 for detailed information.

**FIRE MARSHAL:**

(Contact Wes Good at 299-2454 for details on complying with the following Fire conditions)

- 13.\*\*\* Provide fifteen feet (15') minimum vertical clearance over the road or driveway to building site. (Remove tree limbs, electrical wires, or structures.)
- 14.\*\*\* This property is located in the "Hazardous Fire Area." Remove combustible vegetation within 30 to 100 feet of the structure.
- 15.\*\*\* A Class A roof construction is required. This must be shown in detail on building plans.
- 16\*\* Driveway is to be twelve (12) feet wide with a three (3) foot shoulder, an all weather surface, with a 40,000 lb. weight capacity, and is not to exceed 20% grade. Provide a turnaround that meets fire marshals standards (40'X48').

Note: Parking and turnaround area must be less than 5% grade, and vertical curves must be long enough to accomodate a 35' long fire engine.

**SANTA CLARA VALLEY WATER DISTRICT:**

(Contact Sue Tippets at 265-2600 for details on complying with the following Water District conditions)

17. This site is not subject to flooding from a District stream.

18. No District facilities are located on the applicant's parcel. Any existing watercourse is of insufficient watershed area to qualify as a District facility.
19. As required by District Ordinance 85-1, file an application with the District for a permit to construct or destroy any well or to drill any exploratory holes deeper than 45 feet.

**TRANSPORTATION AGENCY:**

(Contact Bob Van Etten at 299-4208 for details on complying with the following Transportation conditions)

*Improvements--Roads Not to be County Maintained:*

- 20.\*\*\* Butch Drive is not a County-maintained road and shall be labeled as a private road on the site plan. A "Not a County-Maintained Road" note shall be placed on the plan.

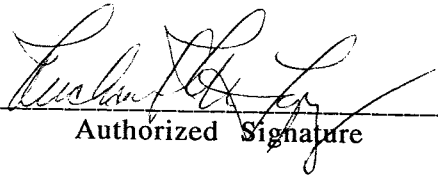
**BUILDING INSPECTION:**

(Contact Building Permit Office at 299-2351 for details on complying with the following conditions)

- 21.\*\*\* When applying for building permit, submit the following:
  - a. Soils report by a registered civil engineer certifying suitability of soils for proposed types of structures on the particular property.
  - b. Present two (2) complete sets of plans and specifications drawn to scale of proposed residence. Minimum sheet size 18" x 24". Plans and specifications to meet all applicable building codes. For detailed information, obtain a Building Permit Application Instruction Sheet from the Office of Building Inspection.

These conditions approved on September 13, 1995, by the Manager of the Planning Office Michael M. Lopez, are valid for a period of twenty-four (24) months.

This approval is based upon information submitted on the application form and map. Erroneous information, omission of relevant information or substantial changes will void this approval.

  
\_\_\_\_\_  
Authorized Signature

**STATEMENT OF ACCEPTANCE:**

I, *Frank Bolea*, understand and accept the attached final conditions of approval.

Date \_\_\_\_\_ Signature \_\_\_\_\_

NOTE: Please return a copy of these conditions, as per instructions of the enclosed cover letter, to:

County of Santa Clara  
Planning Office  
County Government Center  
70 W. Hedding Street  
San Jose, CA 95110

**ANOTHER IMPORTANT NOTE:** When you are ready to proceed with this project, please contact Land Development Engineering and Surveying, at 299-2871, regarding instructions for compliance with the conditions of approval.

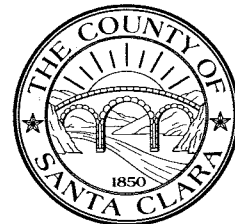
# County of Santa Clara

Environmental Resources Agency  
Planning Office

County Government Center, East Wing, 7th Floor  
70 West Hedding Street  
San Jose, California 95110-1705  
(408) 299-2454 FAX 279-8537

RECEIVED  
PLANNING OFFICE

95 SEP -8 PM 4:32



August 31, 1995

TO: All adjacent property owners.

FILE NUMBER: 5976 - 79 - 29 - 95G R3  
SUBJECT: Grading Permit  
SITE LOCATION: Butch Drive  
DATE RECEIVED: August 31, 1995  
FINAL ACTION: September 15, 1995

Dear Property Owners:

A grading project, described below, on a parcel adjacent to your property, has been scheduled for final action by the Santa Clara County, Manager of the Planning Office, on the action date reflected above.

This file is available for your review in our office. Our hours are Monday through Friday, 8:00 a.m. to 5:00 p.m., and Wednesdays from 10:00 to 5:00.

If you have any questions regarding this project, please provide them to us before September 15, 1995.

Project Information: Grading Permit

Owner: Mr. Frank Bolea

A.P.N.: 830-17-046

Description: Grading Permit for a driveway, turn-around, and a barn on a vacant lot (Lot # 6, Tract # 6335).

Sincerely,

ZACHARY N. CARTER  
LAND DEVELOPMENT ENGINEER

# County of Santa Clara

## Environmental Resources Agency Planning Office

County Government Center, East Wing, 7th Floor  
70 West Hedding Street  
San Jose, California 95110-1705  
(408) 299-2454 FAX 279-8537



August 31, 1995

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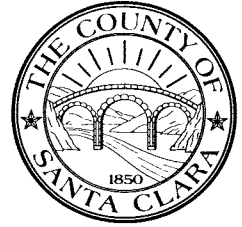
Sincerely,

ZACHARY N. CARTER  
LAND DEVELOPMENT ENGINEER

# County of Santa Clara

## Environmental Resources Agency Planning Office

County Government Center, East Wing, 7th Floor  
70 West Hedding Street  
San Jose, California 95110-1705  
(408) 299-2454 FAX 279-8537



August 31, 1995

Mr. Frank Bolea  
2544 Butch Drive  
Gilroy, CA 95020

FILE NUMBER: 5976 - 79 - 29 - 95G R3  
SUBJECT: Grading Permit  
SITE LOCATION: Butch Drive  
DATE RECEIVED: August 22, 1995  
FINAL ACTION: September 15, 1995

Dear Mr. Bolea:

This letter is written to inform you that your application, submitted on the date referenced above, is complete. Recommended conditions of approval are enclosed for your review. A final action on this application is scheduled to be taken on the date indicated above.

Prior to this date, you have the following options:

1. Contact this office regarding any questions you may have with respect to the enclosed preliminary conditions of approval.
2. Accept the preliminary conditions by signing the Statement of Acceptance and returning one copy.
3. Reject the preliminary conditions by signing the Statement of Rejection and returning one copy noting the conditions in disagreement.

If you agree to all conditions of approval or do not have any questions regarding the enclosed preliminary conditions, an action is scheduled to be taken on your project on the aforementioned date.

If you sign the Statement of Rejection and note the conditions in disagreement, this office will schedule a meeting with the particular agency/department imposing such conditions.

Frank Bolea  
5976-79-28-95G(R3) (Butch Drive)  
August 31, 1995  
Page 2

If no response is received prior to this date, this office will take an action based on the conditions enclosed. After a final action has been taken, you will be provided with a complete set of conditions of approval for your project, or in the event of denial, the reasons for denial.

Sincerely,

A handwritten signature in cursive script, reading "Zachary Carter". The signature is written in dark ink and is positioned below the word "Sincerely,".

ZACHARY N. CARTER  
LAND DEVELOPMENT ENGINEER

cc: Bob Van Etten-Transportation Agency  
Mrs. Jo Rooney

GRADING PERMIT  
PRELIMINARY CONDITIONS OF APPROVAL

Date: August 31, 1995

Owner: Frank Bolea

File Number: 5976-79-28-95G

Items marked with an asterisk (\*) must be completed prior to grading permit issuance.

Items marked with a double asterisk (\*\*) must be completed prior to grading completion and release of bond.

Items marked with an asterisk (\*\*\*) must be completed prior to building permit issuance.

**PLANNING:**

1. Existing zoning is HS. Maintain the following minimum building setbacks:  
  
Front: 75 feet;                      Rear: 30 feet;                      Sides: 30 feet.  
  
The maximum height of buildings shall be 35 ft and shall not include more than 3 stories.
2. Petition for Exemption from Environmental Review was granted for grading on slopes over 10%, per Hugh Gram dated March 13, 1995.

**LAND DEVELOPMENT ENGINEERING:**

(Contact Jim Sirr at 299-2871 for details on complying with the following engineering conditions)

*Soils and Geology:*

(Contact Jim Baker at 299-2454 for details on complying with the following Geology conditions)

3. Relatively LOW GEOLOGIC HAZARD: No geologic report required at this time. Pacific Geotechnical Engineering to observe foundation construction and report the findings in a letter prior to **Final inspection.**



*Grading:*

- 4.\* Preliminary grading plans done by Jacob Saidian have been reviewed. Final grading plans are to be prepared by a registered civil engineer and submitted as set forth in the Grading Ordinance Section C12-412. These plans will be processed in accordance with the Grading Ordinance and checked for conformance with Article 5 (Design Standards) Section C12-489 to Section C12-527. Final plans to include and/or reflect the following:

a) Cross sections are required on final plans per Section C12-411(f). They are to clearly show "natural ground", "existing ground", and "final Grade".

b) Disposition of excess grading material.

Notes: All materials exported from the site must be located at an approved disposal site.

- 5.\* Indicate on final plan how graded area is to be properly drained in accordance with criteria as designated in the County Drainage Manual. Submit necessary hydraulic calculations.

- 6.\* Comply with setback requirements from property line for cuts and fills per Section C12-505.

- 7.\* Expose corner stakes along property lines near proposed grading. Show on final grading plans.

- 8.\* Post bonds, sign grading agreement and pay necessary inspection and plan check fees.

- 9.\* Final grading plans shall be prepared and submitted on "Standard Improvement Plan Mylar" as approved by the County Surveyor.

**ENVIRONMENTAL HEALTH:**

(Contact Art Kaupert at 299-2454 for details on complying with the following Health conditions)

- 10.\*\*\* Sewage disposal conditions have been determined and 200 plus 200 lineal feet of subsurface drainline will be required. The two (2) drainline systems must be connected through a positive diversion valve. A 1500-gallon septic tank will be required. This system is to serve the new barn with a toilet, lavatory, and horse wash only.

- 11.\*\*\* At the time of application for a building permit. Submit four (4) revised plot plans to scale (1" = 20') showing house, driveway, accessory structures, and required drainlines to contour. Maintain all setbacks as outlined in Bulletin A.

*Water Supply:*

- 12.\*\*\* Domestic water shall be supplied by an approved water system or individual wells installed to Environmental Health Standards. Prior to applying for a septic tank permit, contact Environmental Health Services at (408) 299-6930 for detailed information.

**FIRE MARSHAL:**

(Contact Wes Good at 299-2454 for details on complying with the following Fire conditions)

- 13.\*\*\* Provide fifteen feet (15') minimum vertical clearance over the road or driveway to building site. (Remove tree limbs, electrical wires, or structures.)
- 14.\*\*\* This property is located in the "Hazardous Fire Area." Remove combustible vegetation within 30 to 100 feet of the structure.
- 15.\*\*\* A Class A roof construction is required. This must be shown in detail on building plans.
- 16.\*\* Driveway is to be twelve (12) feet wide with a three (3) foot shoulder, an all weather surface, with a 40,000 lb. weight capacity, and is not to exceed 20% grade. Provide a turnaround that meets fire marshals standards (40'X48').

Note: Parking and turnaround area must be less than 5% grade, and vertical curves must be long enough to accomidate a 35' long fire engine.

**SANTA CLARA VALLEY WATER DISTRICT:**

(Contact Sue Tippets at 265-2600 for details on complying with the following Water District conditions)

17. This site is not subject to flooding from a District stream.

18. No District facilities are located on the applicant's parcel. Any existing watercourse is of insufficient watershed area to qualify as a District facility.
19. As required by District Ordinance 85-1, file an application with the District for a permit to construct or destroy any well or to drill any exploratory holes deeper than 45 feet.

**TRANSPORTATION AGENCY:**

(Contact Bob Van Etten at 299-4208 for details on complying with the following Transportation conditions)

*Improvements--Roads Not to be County Maintained:*

- 20.\*\*\* Butch Drive is not a County-maintained road and shall be labeled as a private road on the site plan. A "Not a County-Maintained Road" note shall be placed on the plan.

**BUILDING INSPECTION:**

(Contact Building Permit Office at 299-2351 for details on complying with the following conditions)

- 21.\*\*\* When applying for building permit, submit the following:
  - a. Soils report by a registered civil engineer certifying suitability of soils for proposed types of structures on the particular property.
  - b. Present two (2) complete sets of plans and specifications drawn to scale of proposed residence. Minimum sheet size 18" x 24". Plans and specifications to meet all applicable building codes. For detailed information, obtain a Building Permit Application Instruction Sheet from the Office of Building Inspection.

GRADING PERMIT  
5976-79-29-94G (Butch Drive)  
August 31, 1995

Page 5

**STATEMENT OF ACCEPTANCE:**

I, *Frank Bolea*, as property owner of subject application, hereby agree to the aforementioned preliminary conditions of approval and request a final action to be taken in accordance with these conditions.

Date \_\_\_\_\_

Signature \_\_\_\_\_

**STATEMENT OF REJECTION:**

I, *Frank Bolea*, as property owner of subject application, do NOT agree to the aforementioned preliminary conditions of approval and request to meet with the agencies/departments imposing the following conditions. (Please list conditions by number.)

I disagree with the following conditions:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Date \_\_\_\_\_

Signature \_\_\_\_\_

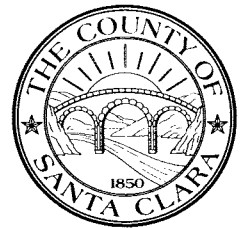
NOTE: Please return one copy of these conditions, as per instructions of the enclosed cover letter, to:

County of Santa Clara  
Planning Office  
County Government Center  
70 W. Hedding Street  
San Jose, CA 95110

# County of Santa Clara

Environmental Resources Agency  
Planning Office

County Government Center, East Wing, 7th Floor  
70 West Hedding Street  
San Jose, California 95110-1705  
(408) 299-2454 FAX 279-8537



July 28, 1995

Mr. Frank Bolea  
2544 Butch Drive  
Gilroy, CA 95020

FILE NUMBER: 5976 - 79 - 29 - 95G R2  
SUBJECT: Grading Permit  
SITE LOCATION: Butch Drive

Dear Mr. Bolea:

This letter is written to inform you that your application submitted is incomplete. In order to complete this application, you must submit the following to the County Planning Office:

1. Provide a geotechnical report prepared by a state registered Civil Engineer, state certified Engineering Geologist, or state registered Environmental Health Specialist that use of a subsurface sewage disposal system will not permit sewage effluent to surface, will not degrade water quality, create a nuisance, or affect soil stability. The report must reference the specific engineered septic system plan. This report is required where drainfields are proposed to be installed on slopes exceeding 20%.
2. The engineered plans must include details of trench construction, required terracing, depth, and spacing of trenches. Include a typical cross section of the leachfield showing this detail. **Call Art Kaurpert at 299-2454 for any questions regarding these two comments.**

If the requested information is not submitted within 180 days, you will be required to pay a fee of \$80.00 at the time the requested information is submitted. Any resubmittal after 1 year will be processed as a new application, subject to new fees and requirements. **PARTIAL RESUBMITTALS WILL NOT BE PROCESSED.**

If you have any additional questions regarding this matter, please feel free to call me at (408) 299-2454.

Sincerely,

Your Name and Title Here

Mr. Jo Rooney  
500 Stutz Way

Board of Supervisors: Michael M. Honda, Blanca Alvarado, Ron Gonzales, James T. Beall Jr., Dianne McKenna  
County Executive: Richard Wittenberg

CALIFORNIA  
CII,620

CHRISTINA PEREZ ARCHITECT  
1893 ORCHARD RD. HOLLISTER, CA 95023  
PHONE (408) 637-9898



MAY 23, 1995  
JOB NO. 9506

SANTA CLARA COUNTY BUILDING DEPARTMENT  
70 W HEDDING ST.  
SAN JOSE, CA

PROJECT   BOLEA STABLES  
          AND SITE DEVELOPMENT  
          2546 BUTCH DRIVE  
          GILROY, CA 95020  
          COUNTY FILE NO. 5976-79-28-95G

SUBJECT:   GRADING PERMIT BACK CHECK RESPONSE LETTER

REFERENCE: GRADING PERMIT PRELIMINARY CONDITIONS OF APPROVAL  
            DATED APRIL 26, 1995

THE FOLLOWING CONTRACT DOCUMENT ADDITIONS/ ALTERATIONS HAVE BEEN  
MADE IN RESPONSE TO THE ABOVE REFERENCED COUNTY CONDITIONS OF  
APPROVAL.

RE: PLANNING COMMENT NO. 3.:

FOR THE ZONING NOTATION SEE SHEET A0.0 , PROJECT DATA  
THE SETBACKS ARE SHOWN ON SHEET A1 , SITE PLAN  
THE BLDG. HT IS LESS THAN 35 FT, 3 STORIES, SEE SHEET A4, EXT. ELEV.'S

RE: PLANNING COMMENT NO. 4

PROJECT HAS BEEN GRANTED EXEMPTION FROM ENVIRONMENTAL REVIEW

RE: UTILITIES COMMENT NO. 5:

UTILITIES ARE PLACED UNDERGROUND SEE SHEET A1

RE: SOILS & GEOLOGY COMMENT NO 7:

FOUNDATION CONSTRUCTION SHALL BE INSPECTED , SEE SHT A1 GEN.  
NOTE 6

RE: GRADING NOTE NO 72

BONDS AND FEES HAVE BEEN PAID

RE: ENVIRONMENTAL HEALTH COMMENT NO. 86

FOR PROPOSED PLUMBING FIXTURES/DRAINS SEE SHEET A2, FLOOR PLAN  
THE SITE PLAN IS SHOWN AT SCALE 1"=40'  
COUNTY FIELD REVIEW WILL BE REQUIRED



PACIFIC GAS & ELECTRIC, COMPANY  
MILPITAS GAS TERMINAL  
66 RANCH DRIVE  
MILPITAS, CA 95035  
408 945-6239

May 15, 1995

Frank Bolea  
c/o Gilroy Toyota

Attn: Joe Rooney

In response to your request, you have permission to construct a gravel access road within our Gas T/L easement to serve the new barn which you are building on your property at Butch Drive near Gilroy. It is our understanding that no grading of more than 12" will be occurring over the gas line.

Thank you for working with us to conduct an exploratory excavation which verified that the gas line was deep enough to minimize pipeline stresses during your construction.

Please contact our Hollister foreman, Dave Boyd at 945-6227 if you have any further concerns over the exact location of our pipeline.

A handwritten signature in cursive script that reads "Drew Kelly".

Drew Kelly  
PG&E Gas Transmission Engineer  
(408) 945-6239

RECEIVED  
MAY 25 1995

PLANNING OFFICE

5976-79-28-95G(R1)



# County of Santa Clara

Environmental Resources Agency  
Planning Office

County Government Center, East Wing, 7th Floor  
70 West Hedding Street  
San Jose, California 95110-1705  
(408) 299-2454 FAX 279-8537



April 25, 1995

Mr. Frank Bolea  
2544 Butch Drive  
Gilroy, CA 95020

FILE NUMBER: 5976 - 79 - 29 - 95G  
SUBJECT: Grading Permit  
SITE LOCATION: Butch Drive

Dear Mr. Bolea:

This letter is written to inform you that your application submitted is incomplete. In order to complete this application, you must submit three copies of a revised grading plan showing the following, to the County Planning Office:

- 1) Grading plan must include location of PG&E Gas line in profile and in additional X-sections along driveway at 50 foot stations from 2+50 to 4+50.
- 2) The turn-around at the northerly end of the driveway must have a grade of less than 5%.
- 3) The North Arrow should be oriented to the North.
- 4) Vertical curve length should not be less than 50 feet.
- 5) X-sections C-C, D-D, and B-B should be extended across all graded area from natural ground to natural ground.
- 6) Provide details for turnaround and driveway entrance (grade to be less than 5% within 20 feet from the edge of road pavement); including elevations, drainage, geometrics and location and depth of gas line where appropriate.
- 7) Drainage plan is required to show the routing of drainage from the pad and barn to a drainage course of adequate capacity.
- 8) Identify the location of X-section E-E on the plan view.
- 9) X-sections should be to scale.

Contact Jim Sirr at 299-2871 for details on complying with the following engineering items.

April 26, 1995  
Mr. Frank Bolea  
Page 2

If the requested information is not submitted within 180 days, you will be required to pay a fee of \$55.00 at the time the requested information is submitted. Any resubmittal after 1 year will be processed as a new application, subject to new fees and requirements. PARTIAL RESUBMITTALS WILL NOT BE PROCESSED. If you have any additional questions regarding this matter, please feel free to call me at (408) 299-2454.

Sincerely,

A handwritten signature in cursive script, appearing to read "Zachary Carter". The signature is written in dark ink and is positioned below the word "Sincerely,".

ZACHARY N. CARTER  
LAND DEVELOPMENT ENGINEER

cc:Jim Sirr (Surveyors Office)  
Carolyn T. Walsh (Planning Department)

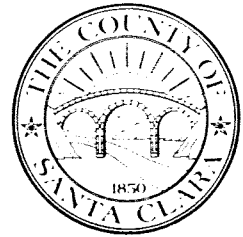
# County of Santa Clara

Environmental Resources Agency  
Planning Office

County Government Center, East Wing  
70 West Hedding Street  
San Jose, California 95110  
(408) 299-2521

RECEIVED  
MAR 01 1995

PLANNING OFFICE



## PETITION FOR EXEMPTION FROM ENVIRONMENTAL REVIEW

*Certain projects may not require an Environmental Assessment because they are exempt from CEQA under state law. Staff at the Planning Office counter should be able to advise you whether your application appears exempt. If you believe your project qualifies, complete and sign this "Petition for Exemption" form. Unless your petition is rejected by the Planning Office staff, you will not need to file for an environmental assessment.*

The undersigned hereby requests exemption from the environmental review requirements of the California Environmental Quality Act of 1970, as amended. In completing this request, I/we are affirming our belief that no significant environmental impact will result from the proposed project.

1. Nature of Project (variance, rezoning, etc.): GRADING

2. Project Location: 2546 BUTCH DRIVE, GILROY, CA 95020

3. Project Description (including physical dimensions and proposed use):  
GRADE LAND TO BUILD BARN

4. List Categorical Exemption Class for which project is believed to qualify (refer to attached list)  
Class #: 3 (CEQA SECTION 15303) ACCESSORY STRUCTURE.

5. Project Qualification for Exemption: (describe how project conforms to class cited above):  
BARN IS AN ACCESSORY STRUCTURE. WE ARE BUILDING A BARN IN THE MIDDLE OF 10.1 ACRES NOT DISTURBING THE MAJORITY OF THE LAND SURROUNDING THE BARN. WE WILL NOT BE DISRUPTING THE LITTLE CREATURES. BY ADDING HORSES TO THE LAND, COULD ENCOURAGE CREATURES TO SHARE THE FOOD SUPPLY  
Applicant's Signature: [Signature] Date: 02/27/95

For Staff Use	
Project file number: <u>5976</u>	Exemption (CEQA Section): <u>15303 + 15304</u>
Comments: <u>Minor grading</u>	
Approved <input checked="" type="checkbox"/> Denied <input type="checkbox"/>	Staff Person: <u>[Signature]</u> Date: <u>March 13, 1995</u>

5976-79-28-956

# COUNTY OF SANTA CLARA

## GENERAL CONSTRUCTION SPECIFICATIONS

- All construction work shall be performed in accordance with the soils and/or geotechnical report prepared by \_\_\_\_\_ dated \_\_\_\_\_. This report is supplemented by: 1) These plans and Specifications; 2) The County of Santa Clara Standard Details; 3) The County of Santa Clara Standard Specs; 4) State of California Standard Details; 5) State of California Standard Specifications.

In the event of conflict the former shall take precedence over the latter. The performance and completion of all work must be to the satisfaction of the County.

- Developer is responsible for installation of the improvements shown on these plans and he or his successor property owners are responsible for their continued maintenance.
- Developer shall be responsible for correction of any errors or omissions in these plans. The County shall be authorized to require discontinuance of any work and such correction and modification of plans as may be necessary to comply with County standards or conditions of development approval.
- Developer shall obtain encroachment permits from the Santa Clara Valley Water District and California Department of Transportation where needed. Copies of these permits shall be kept at the job site for review by the County's Inspector.
- Developer shall remove or trim all trees to provide an unobstructed fifteen (15) foot vertical clearance for roadway area.
- Developer shall provide adequate dust control as required by the County Inspector.
- All persons must comply with Section 4442 of the Public Resources Code and Section 13005 of the Health and Safety Code relating to the use of spark arresters.
- Upon discovering or unearthing any burial site as evidenced by human skeletal remains or artifacts, the person making such discovery shall immediately notify the County Coroner at 293-0262, Ext 536, and County Surveyor at 299-2871. No further disturbance of the site may be made except as authorized by the County Surveyor in accord with provisions of this ordinance. (County Ordinance Code Section B6-18).

## CONSTRUCTION STAKING

- The developer's engineer is responsible for the initial placement and replacement of construction grade stakes. The stakes are to be adequately identified, located, stabilized, etc. for the convenience of contractors. Lateral offset of stakes set for curbs and gutters shall not exceed 2 1/2 feet from back of curb.
- Any property line stakes or road monuments disturbed during construction shall be replaced by developer's engineer or licensed land surveyor.

## CONSTRUCTION INSPECTION

- Contractor shall notify Permit Inspection Unit, Santa Clara County prior to commencing work and for final inspection of work and site.
- The County requires a minimum 24 hour advance notice for general inspection, 48 hours for asphalt concrete inspection.
- Inspection by Santa Clara County shall be limited to inspection of materials and processes of construction to observe their compliance with plans & specifications but does not include responsibility for the superintendence of construction, site conditions, equipment or personnel. Contractor shall notify County Surveyor's Office at (408) 299-2871 at least 24 hours prior to commencing work and for final inspection of work and site.
- Developer and/or his authorized representative must submit written request for final inspection and acceptance. Said requests shall be directed to the inspection office noted on the permit form.
- Construction operations shall begin on \_\_\_\_\_ and be completed by \_\_\_\_\_.

## SITE PREPARATION (CLEARING & GRUBBING)

- Existing trees, roots and foreign material will be removed from areas to be improved to an authorized disposal site as follows:
  - to a minimum depth of two feet below the finished grade of proposed roadways (either private or to be dedicated to public use).
  - from areas affected by the proposed grading except where noted on the plans.
- It shall be the responsibility of the developer to move or relocate utility poles and other obstructions in the way of construction.
- No live trees with trunk circumference of 37.7 inches or more (about 12" diameter) measured 4.5 feet above ground are to be cut or removed without prior written approval from the Advance Planning Office. For further information, contact Pat Murphy at (408)299-2521.

## UTILITY LOCATION, TRENCHING & BACKFILL

- Accurate verification as to size, location and depth of existing underground conduits or facilities shall be the individual contractors responsibility. Plan locations are approximate and for general information only.
- All underground installations shall be in place and the trench backfilled and compacted before placing aggregate base material or surface structures. Surfacing may be done if the utility company concerned indicates by letter that it will bore. Unless specifically authorized by the County, gas and water mains shall be installed outside the paved area.
- Trench backfill in existing pavement areas shall be sand material in accordance with the applicable provisions of the State Specifications. The structural section for trench replacement shall consist of not less than 12 inches of approved aggregate base material, compacted to a relative compaction of at least 95%, and 4 inches of hot asphalt concrete placed in two lifts. Trench restoration for higher type pavements shall be made in kind or as directed by the County.
- Trench backfill in new construction areas shall be sand material compacted to a relative compaction of at least 90%. The requirement for select material may be waived by County if the native soil is suitable for use as trench backfill, but the compaction requirements will not be thereby waived.
- Backfill and trench restoration requirements shall apply as minimum standards to all underground facilities installed by other firms or public agencies.

## REPLACEMENT OF DAMAGED IMPROVEMENTS

- Any existing improvements which are scarred, damaged, or removed during the construction operations and any existing shoulder areas which are structurally inadequate compared to the proposed typical pavement section, shall be removed, reconstructed or replaced as required by the County Inspector in the field.

## STREET LIGHTING

- Pacific Gas & Electric electric service fee shall be paid by the developer and/or his authorized representative.

## STORM DRAINAGE

- Developer is responsible for all necessary drainage facilities whether shown on the plans or not and he or his successor property owners are responsible for the adequacy and continued maintenance of these facilities in a manner which will preclude any hazard to life, health or damage to adjoining property.
- Drop inlets shall be County Standard Type 5 unless otherwise noted on the plans. The Developer's engineer shall be responsible for the proper location of drop inlets. Where street profile grade exceeds 6% drop inlets shall be set at 30 degree angle curb line to accept water or as shown on the plans.
- Where culverts are installed the developer shall be responsible for grading the outlet ditch to drain to an existing swale or to an open area for sheet flow. Upon installation of driveway connections, property owners shall provide for the uninterrupted flow of water in roadway ditches.

## DRIVEWAYS

- Driveway locations shall be as shown on the improvement plans with centerline stationing. The minimum concrete thickness shall be 6 inches throughout (with a maximum approach slope of 0.6 inches per foot).

## GRADING

- Excavated material shall be placed in the fill areas designated or shall be hauled away from the site where fill material is to be placed on natural ground, it shall be stripped of all vegetation. To achieve a proper bond with the fill material, the surface of the ground shall be scarified to depth of 6" before fill is placed. Where natural ground is steeper than 5:1, it shall be benched and the fill laid in to achieve stability. Where new fill is to be placed on existing fill, the existing fill shall be removed until material compacted to 90% relative compaction is exposed. Then the new fill material shall be placed as per these construction notes. Fill material shall be placed in uniform lifts not exceeding 6" in uncompacted thickness. Before compaction begins, the fill shall be brought to a water content that will permit proper compaction by either: (1) aerating the fill if it is too wet, or (2) moistening the fill with water if it is too dry. Each lift shall be thoroughly mixed before compaction to ensure a uniform distribution of moisture.

2) Surplus earth fill material shall be placed in a single (8" max.) thick layer compacted to withstand weathering in the area(s) delineated on the plan.	
3) No organic material shall be placed in any fill. No trees shall be removed outside of cut fill, or roadway areas.	
4) The upper 6" of subgrade below driveway, access road, or parking area shall be compacted to 95% of maximum density.	
5) Maximum cut slope shall be 2 horizontal to 1 vertical. Maximum fill slope shall be 2 horizontal to 1 vertical.	
	Estimated volume of cut fill 1610 cubic yards
	Excess: 540 cubic yards
	Maximum depth of cut fill 6 feet
	4 feet

- Excess material shall be hauled out to a county approved dump site.

## EROSION CONTROL

- All fill slopes shall be compacted and left in a smooth and firm condition capable of withstanding weathering.
- All exposed disturbed areas shall be seeded with brome seed spread at the rate of 5# per 1000 square feet (or approved equal). Seeding and watering shall be maintained as required to ensure growth.
- All ditches shall be lined with 2' AC throughout. All ditches at slopes greater than 5% shall be lined with 2' AC or P.C.C. throughout.
- All storm drainage structures shall be installed with effective entrance and outfall erosion controls, e.g. sacked concrete rip-rap. Energy dissipators shall be installed at all ditch outfalls. Where outfalls are not into an existing creek or water course, run off shall be released to sheet flow.

## SANITARY SEWERS

- All materials and methods of construction of sanitary sewers shall conform to the specifications of the jurisdiction involved. Inspection of sanitary sewer work shall be done by said jurisdiction.

## PORTLAND CEMENT CONCRETE

- Concrete used for structural purposes shall be Class "A": (6 sack per C.Y.) as specified in the State Standard Specifications. Concrete placed must develop a minimum strength factor of 2200 p.s.i. in a seven day period. The concrete mix design shall be under the continual control of the County Inspector.

## AS-BUILT PLANS STATEMENT

This is a true copy of the As-Built Plans.  
There (were) (were not) minor field changes, marked with the symbol (\*).  
There (were) (were not) plan revisions indicating significant changes reviewed by the County Surveyor and marked with the symbol (\*)

Date: \_\_\_\_\_ Signature: \_\_\_\_\_

NOTE: This statement is to be signed by the person authorized by the County Surveyor to perform the inspection work. A reproducible copy of the AS-Built plans must be furnished to the County Surveyor after construction.

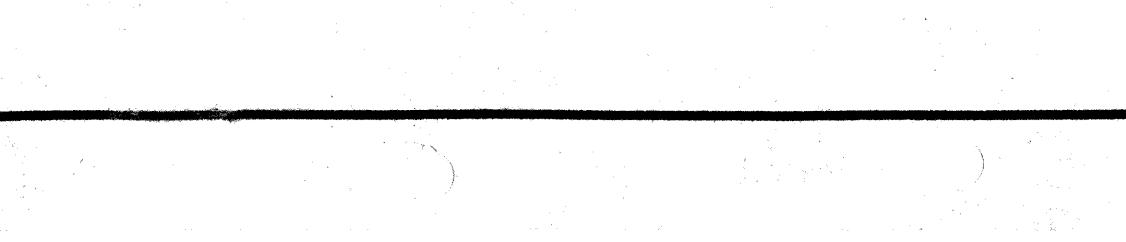
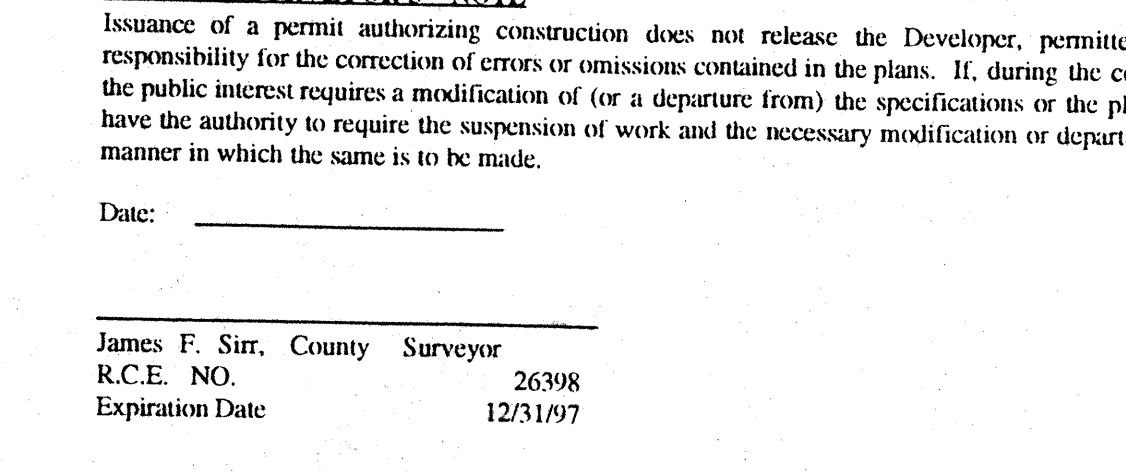
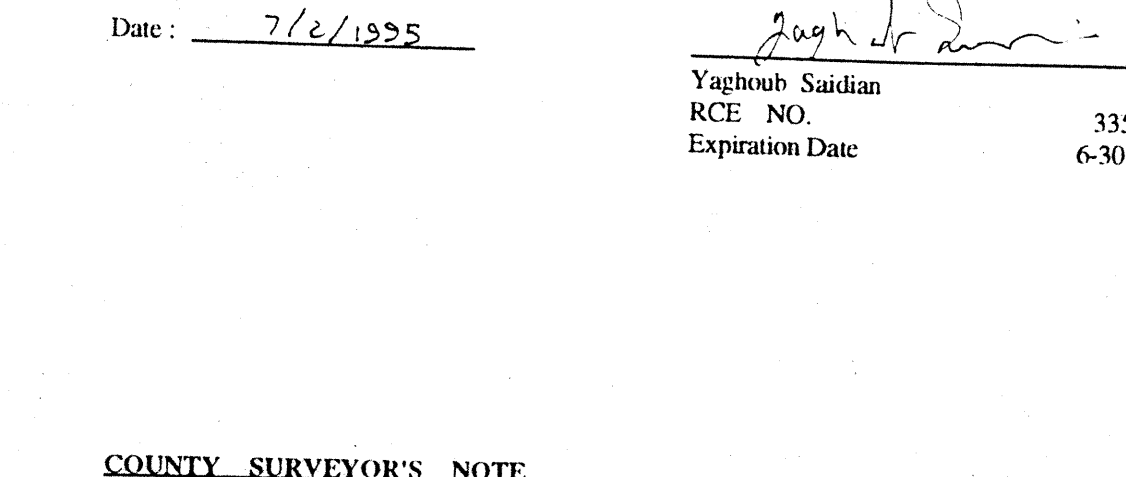
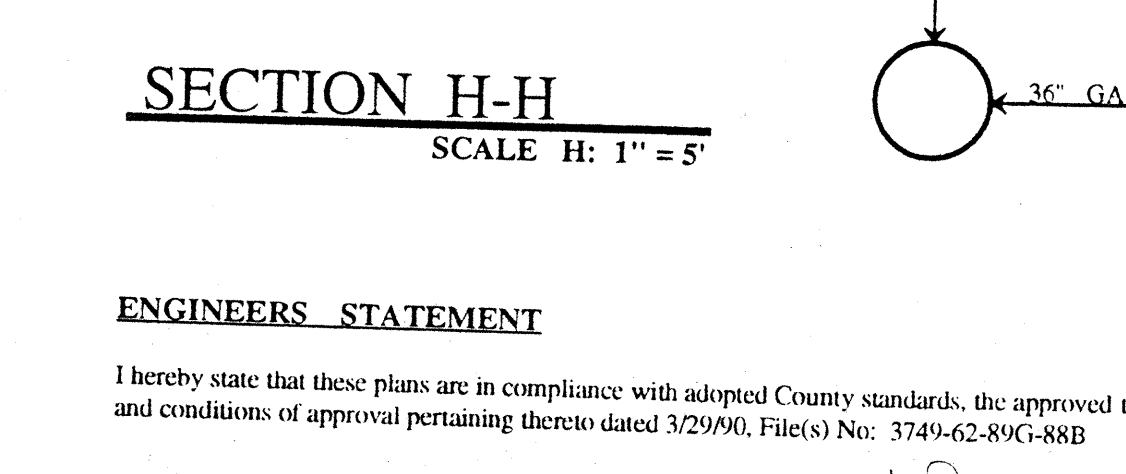
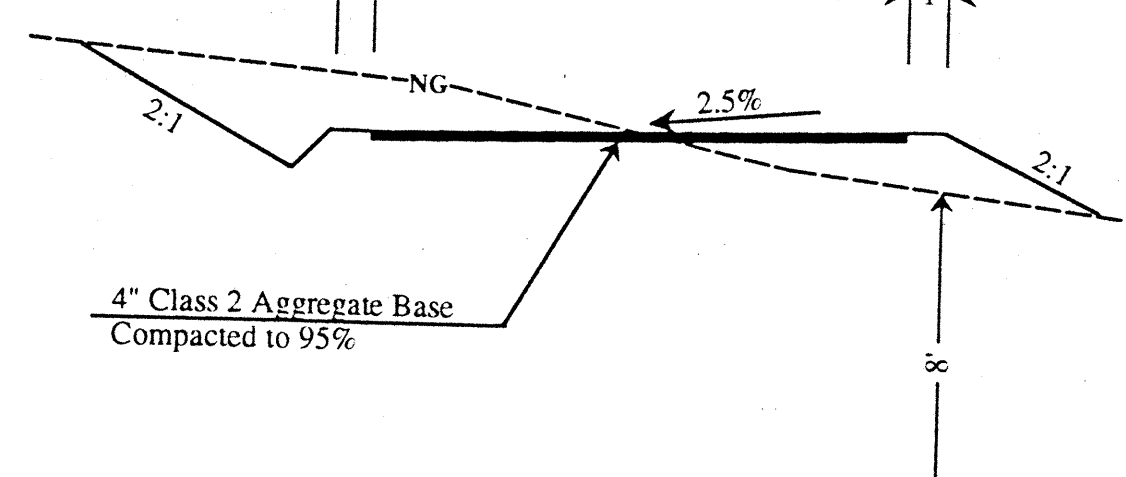
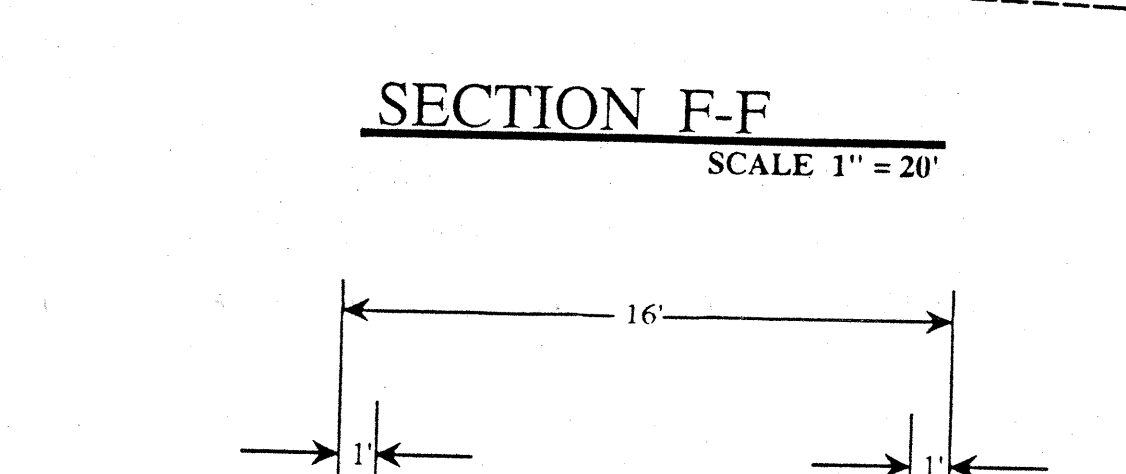
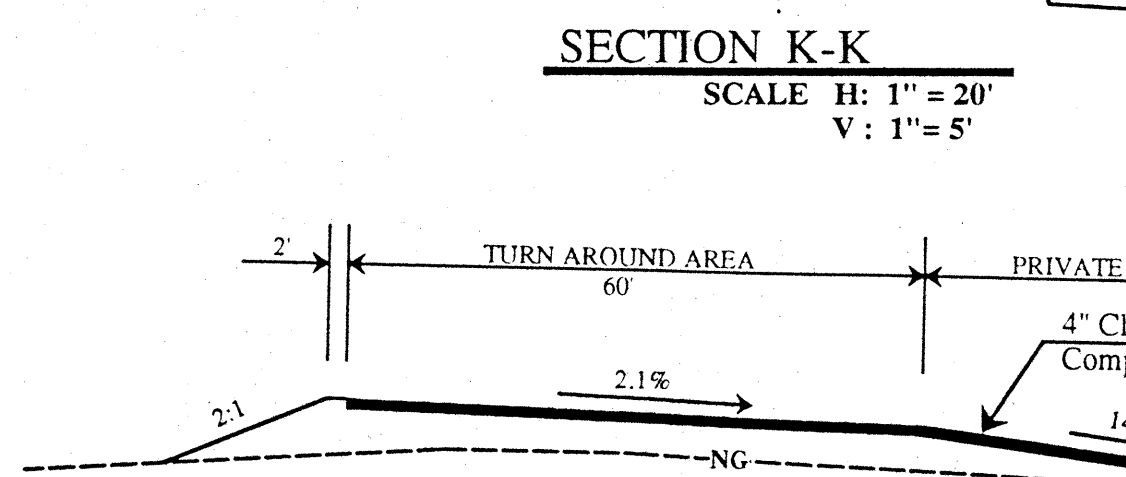
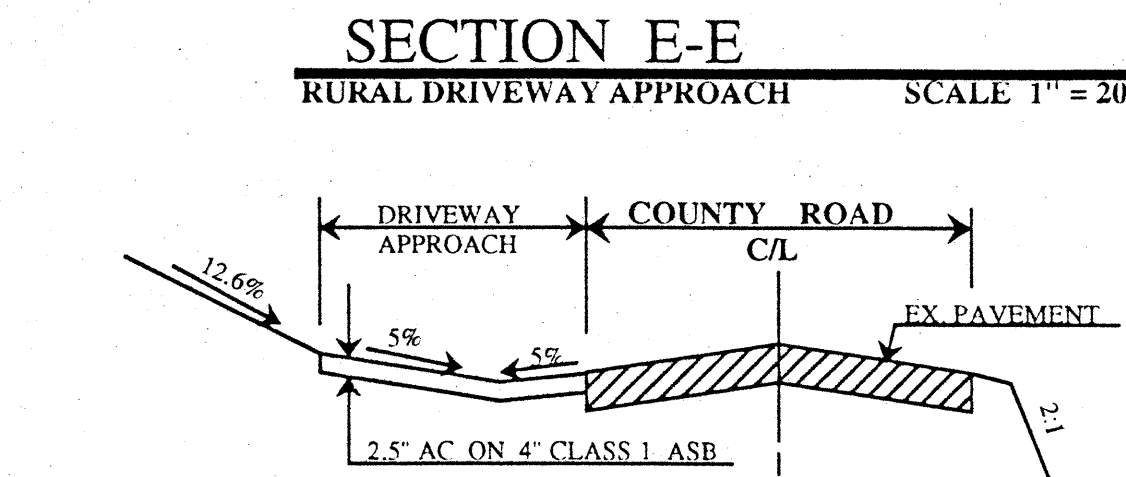
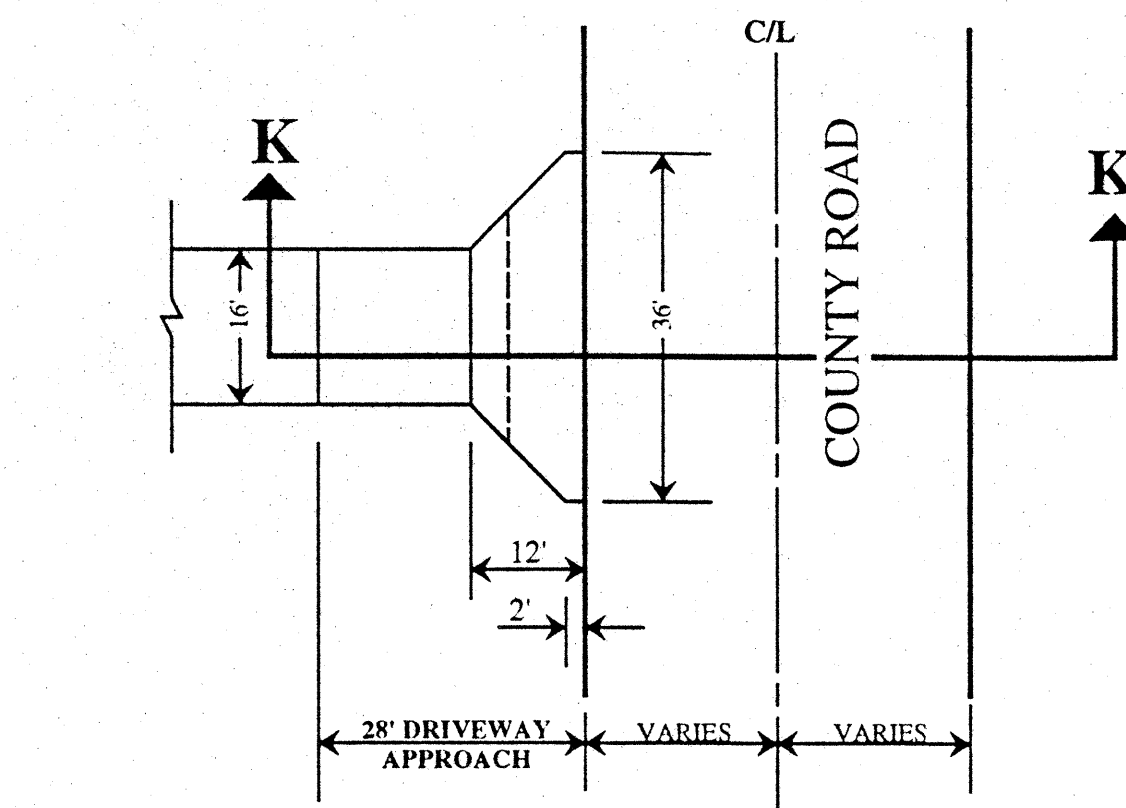
## CONSTRUCTION / ENCROACHMENT / GRADING PERMIT

Permit (s) No: \_\_\_\_\_

File (s) No: \_\_\_\_\_

Issued by: \_\_\_\_\_ Date: \_\_\_\_\_

Land Development Engineering & Surveying  
Environmental Management Agency  
County of Santa Clara.

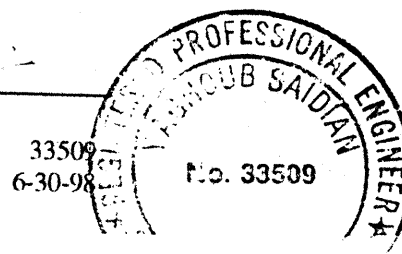


## ENGINEERS STATEMENT

I hereby state that these plans are in compliance with adopted County standards, the approved tentative map (or plan) and conditions of approval pertaining thereto dated 3/29/90, File(s) No: 3749-62-89G-88B

Date: 7/2/1995

Yaghoob Saidian  
R.C.E. NO.  
Expiration Date: 6-30-98

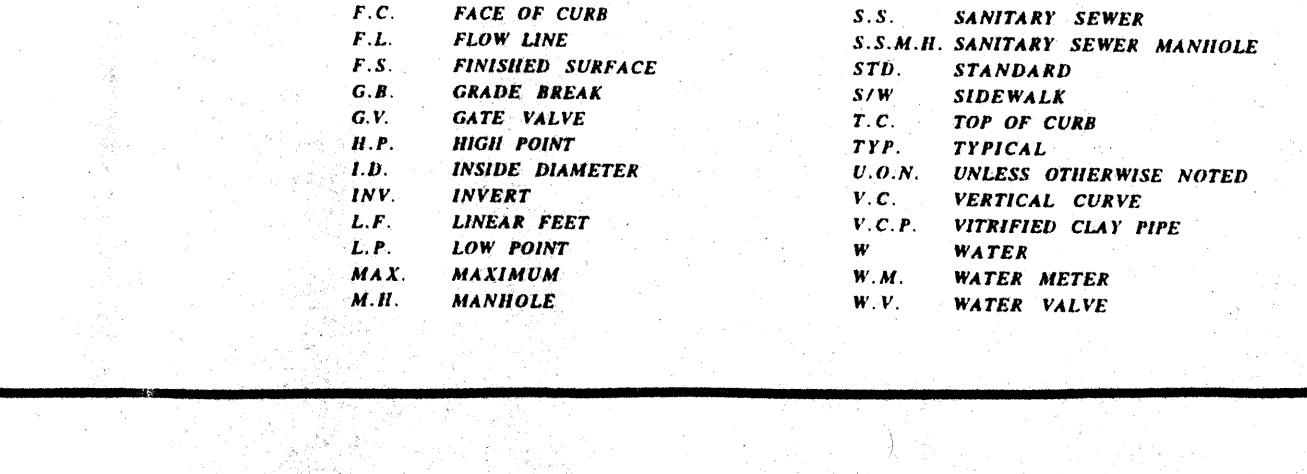
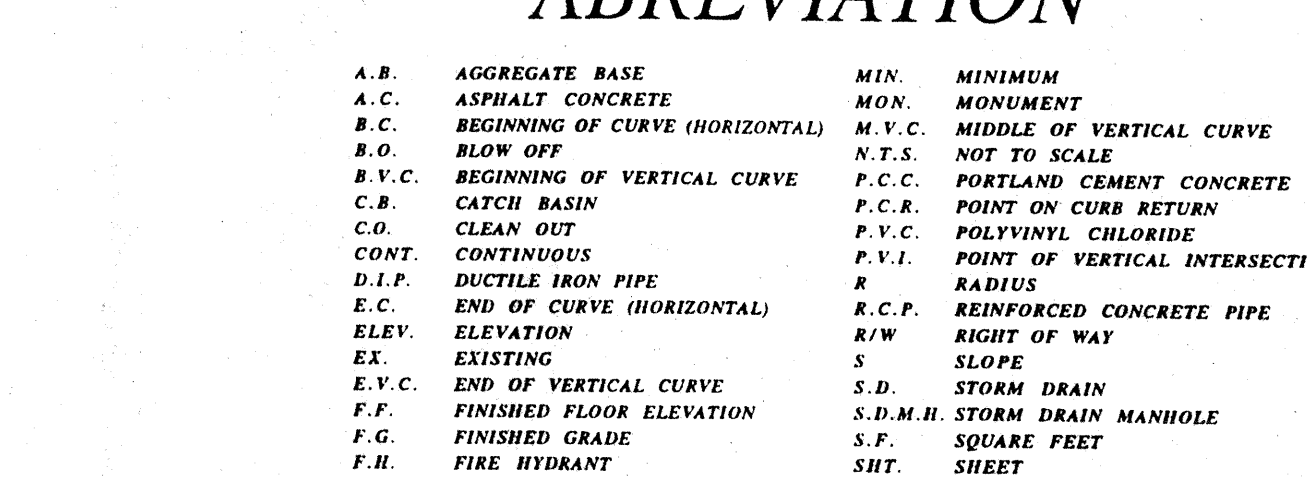
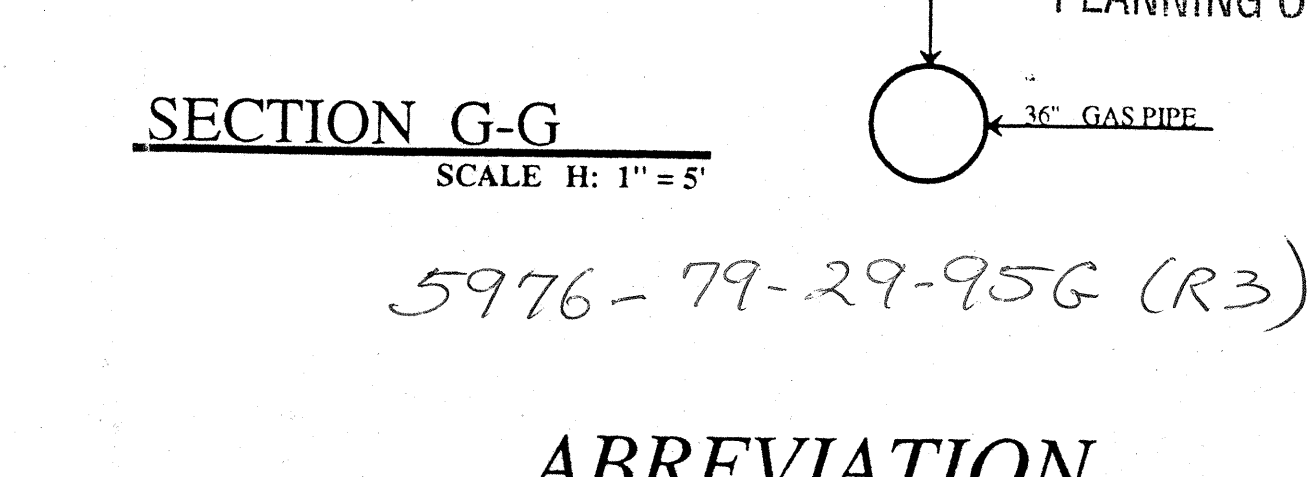
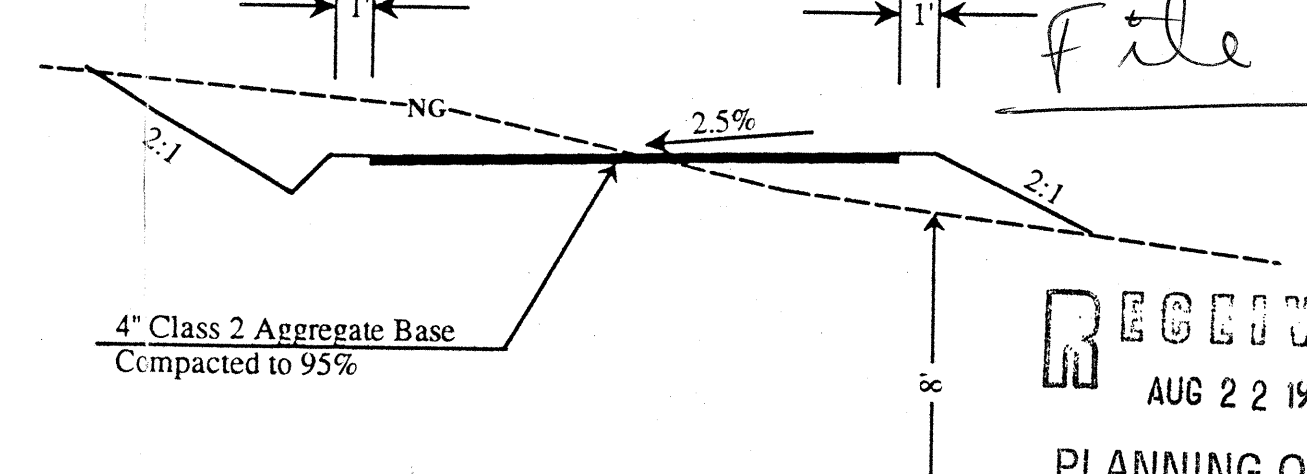
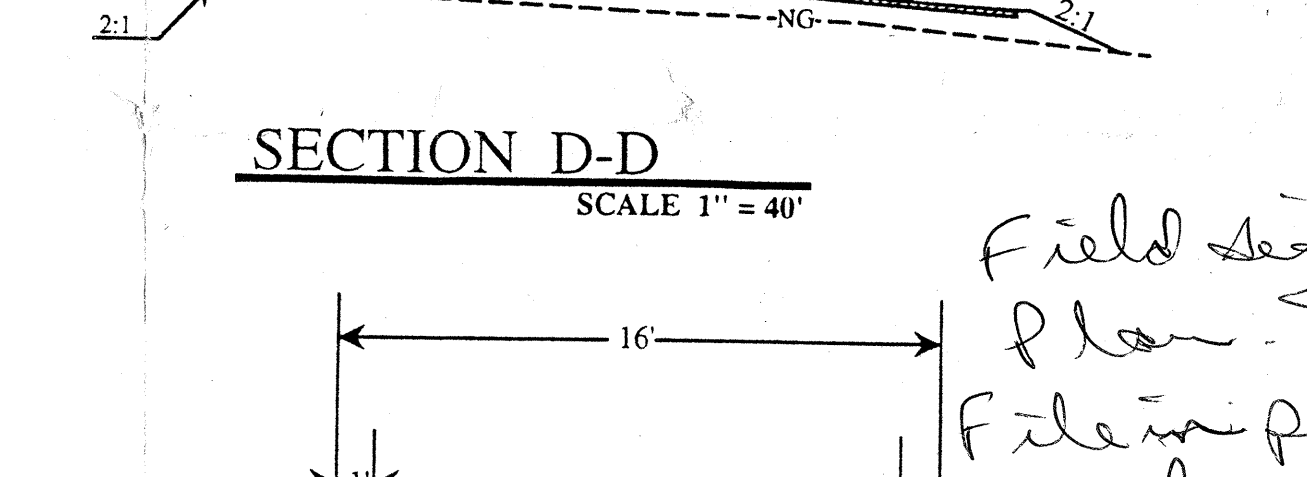
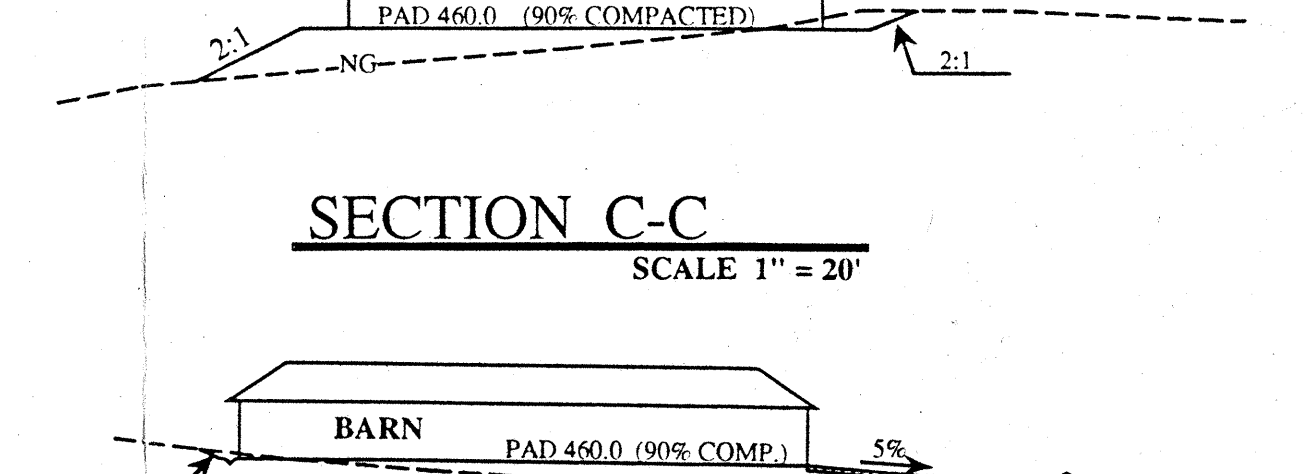
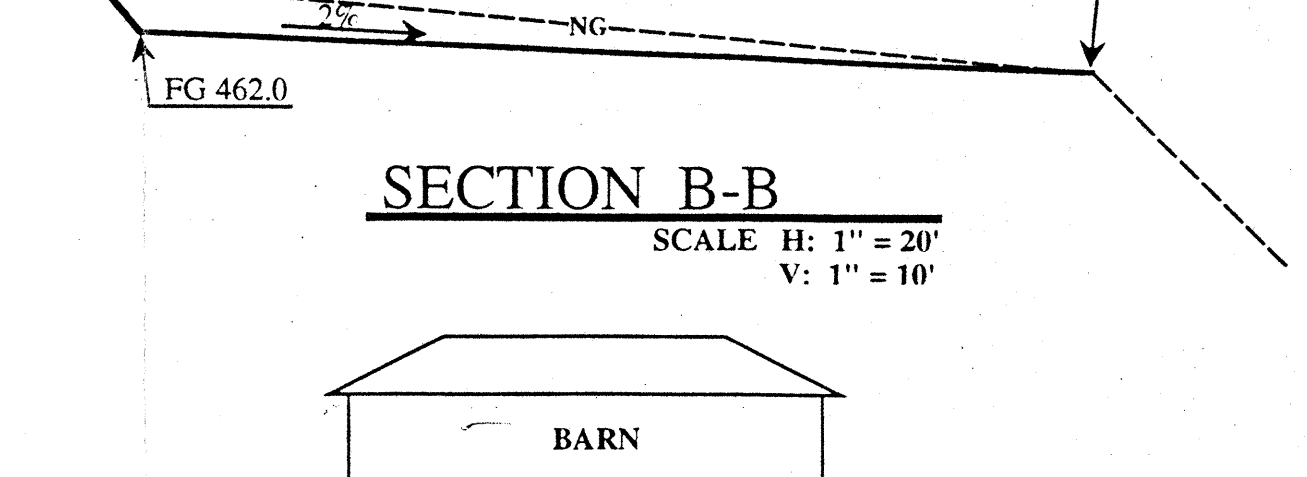
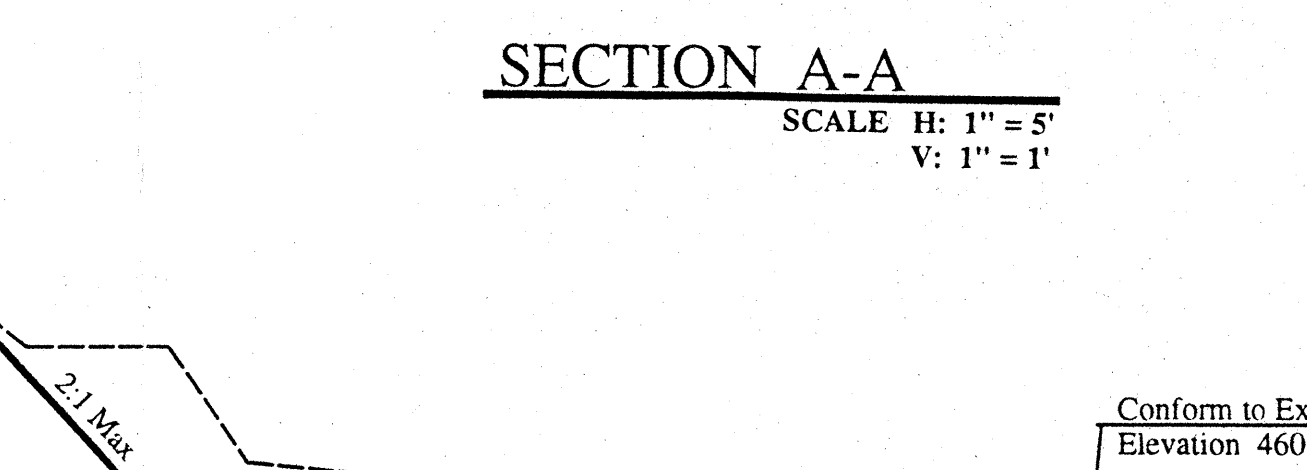
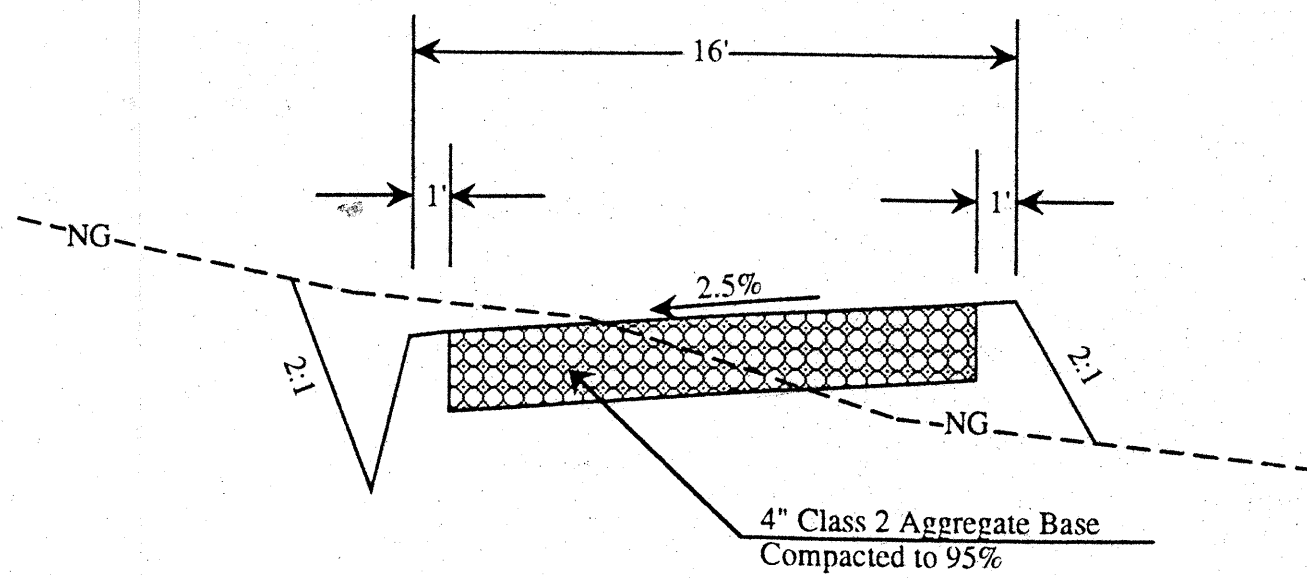


## COUNTY SURVEYOR'S NOTE

Issuance of a permit authorizing construction does not release the Developer, permittee or Engineer from responsibility for the correction of errors or omissions contained in the plans. If, during the course of construction, the public interest requires a modification of (or a departure from) the specifications or the plans, the County shall have the authority to require the suspension of work and the necessary modification or departure and to specify the manner in which the same is to be made.

Date: \_\_\_\_\_

James F. Sirr, County Surveyor  
R.C.E. NO. 26398  
Expiration Date 12/31/97



## ABBREVIATION

A.B. AGGREGATE BASE	MIN. MINIMUM
A.C. ASPHALT CONCRETE	MON. MONUMENT
B.C. BEGINNING OF CURVE (HORIZONTAL)	M.V.C. MIDDLE OF VERTICAL CURVE
B.O. BLOW OFF	N.T.S. NOT TO SCALE
B.V.C. BEGINNING OF VERTICAL CURVE	P.C.C. PORTLAND CEMENT CONCRETE
C.B. CATCH BASIN	P.C.R. POINT OF CURB RETURN
C.O. CLEAN OUT	P.V.C. POLYVINYL CHLORIDE
CONT. CONTINUOUS	P.V.I. POINT OF VERTICAL INTERSECTION
D.I.P. DUCTILE IRON PIPE	R. RADIUS
E.C. END OF CURVE (HORIZONTAL)	R.C.P. REINFORCED CONCRETE PIPE
ELEV. ELEVATION	R/W. RIGHT OF WAY
EX. EXISTING	S. SLOPE
E.V.C. END OF VERTICAL CURVE	S.D. STORM DRAIN
F.F. FINISHED FLOOR ELEVATION	S.D.M.H. STORM DRAIN MANHOLE
F.G. FINISHED GRADE	S.F. SQUARE FEET
F.H. FIRE HYDRANT	SH. SHEET
F.C. FACE OF CURB	S.S. SANITARY SEWER
F.L. FLOW LINE	S.S.M.H. SANITARY SEWER MANHOLE
F.S. FINISHED SURFACE	STD. STANDARD
G.P. GRADE BREAK	S/W. SIDEWALK
G.V. GATE VALVE	T.C. TOP OF CURB
H.P. HIGH POINT	TYP. TYPICAL
I.D. INSIDE DIAMETER	U.O.N. UNLESS OTHERWISE NOTED
INV. INVERT	V.C. VERTICAL CURVE
L.F. LINEAR FEET	V.C.P. VITRIFIED CLAY PIPE
L.P. LOW POINT	W. WATER
MAX. MAXIMUM	W.M. WATER METER
M.H. MANHOLE	W.V. WATER VALVE

ADVANCED DEVELOPMENT

2933 BENJAMIN COURT  
SAN JOSE, CALIFORNIA 95124

(408) 287-9830  
JACOB SAIDIAN - CIVIL ENGINEER

Description

App'd

Date

Revision

GRADING & DRAINAGE PLAN  
FOR LANDS OF  
FRANK & JULIE BOLEA  
GILROY CALIFORNIA

APPROVED BY: JACOB SAIDIAN  
Professional Engineer  
No. 33509  
Expires 6-30-98

Checked: \_\_\_\_\_  
Drawn: \_\_\_\_\_  
Designed: \_\_\_\_\_  
Surveyed: \_\_\_\_\_  
Scale: \_\_\_\_\_  
Date: \_\_\_\_\_

Sheet No.

C1

of 2

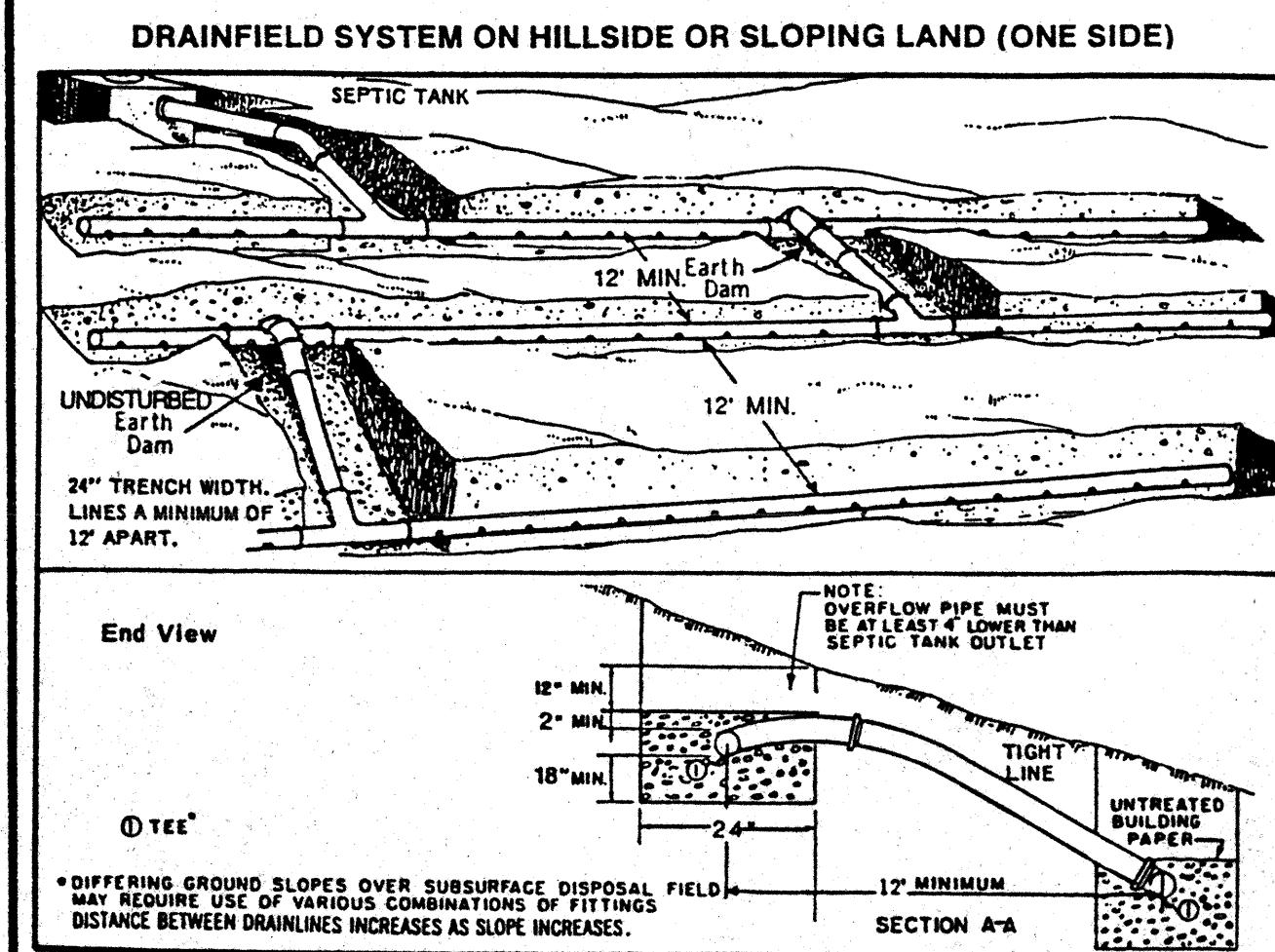
Job No. 1/26/95 65



TOP OF MONUMENT LID @ E INTERSECTION OF BRIDLE PATH  
AND BUTCH DRIVE. ASSUMED ELEVATION .

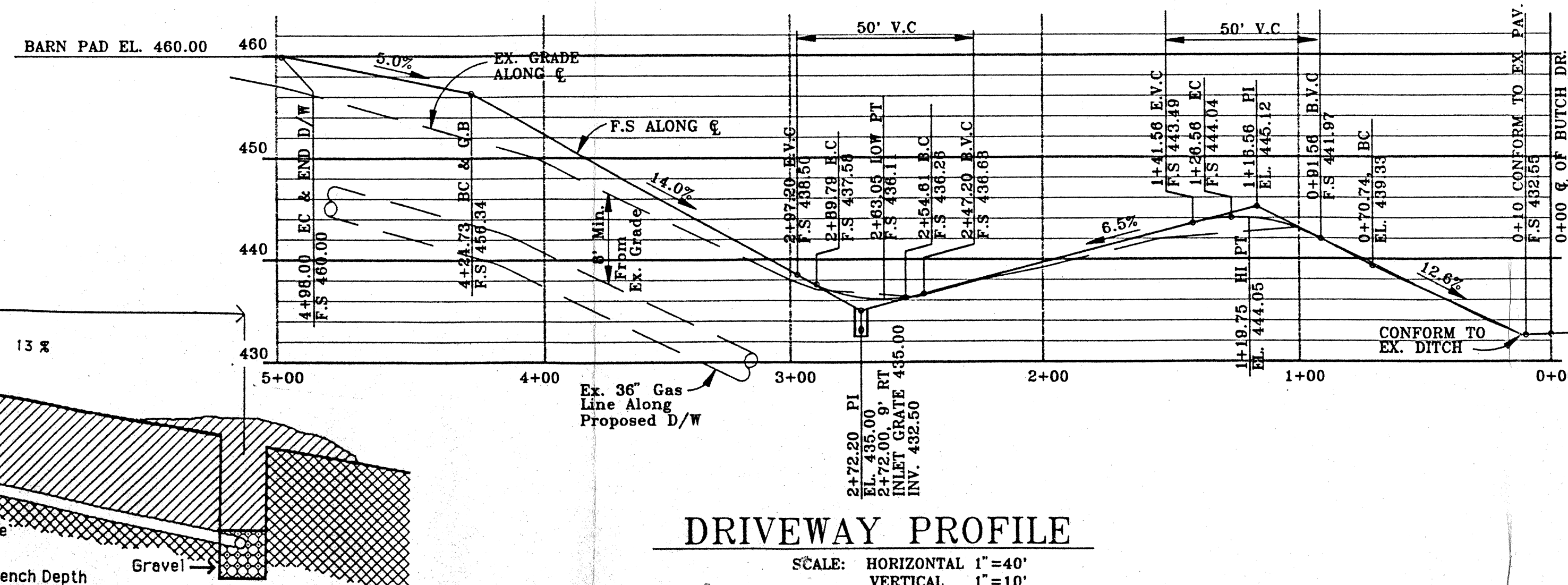
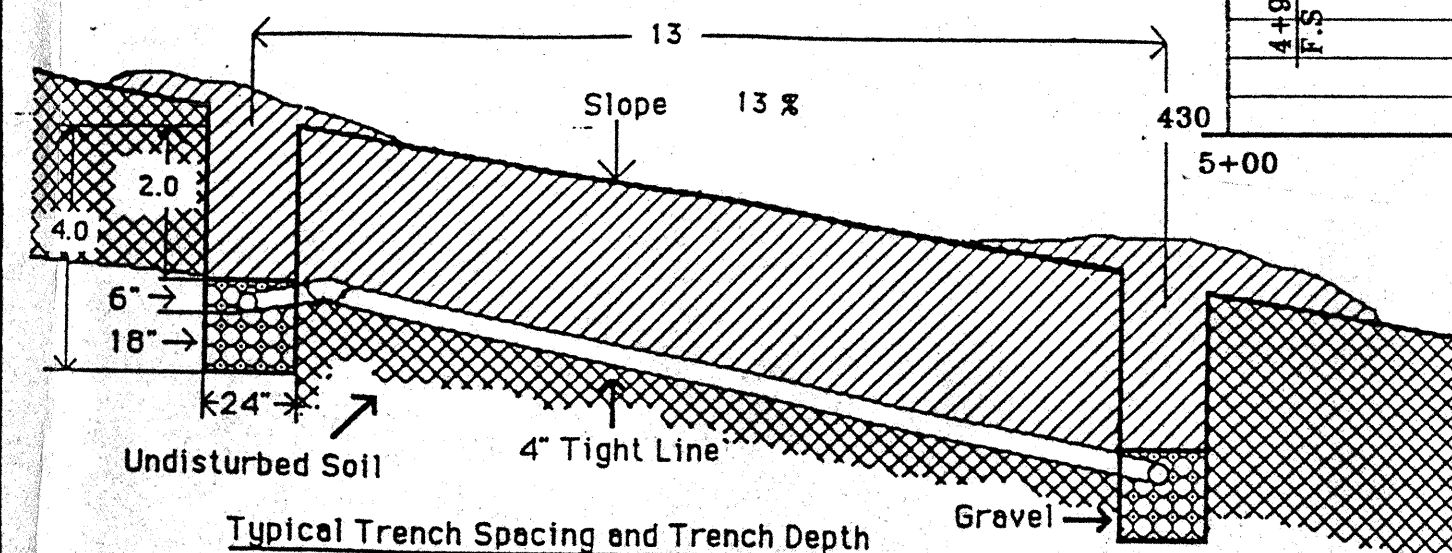
MONUMENT LINE OF BUTCH DRIVE AS SHOWN N 62°00'00" E  
PER TRACT MAP 6335, FILED FOR RECORD IN THE OFFICE  
OF THE RECORDER OF THE COUNTY OF SANTA CLARA.  
STATE OF CALIFORNIA; IN BOOK 452 OF MAPS AT PAGE 16  
TO 19. WHERE USED AS BASIS OF BEARING.

No.	RADIUS (FT)	$\Delta$	LENGTH (FT)
C1	200.00	15°53'56"	55.50
C2	279.18	29°18'45"	142.83
C3	52.00	61°30'00"	55.82
C4	52.00	38°46'00"	35.18
C5	52.00	80°44'00"	73.27



LOT 6  
GROSS AREA = 10.01 AC±  
NET AREA = 9.77 AC±

	WHEELCHAIR RAMP
	SANITARY SEWER MANHOLE
	CURB INLET
	STORM DRAIN LINE
	SANITARY SEWER LINE
	WATER LINE
	CENTER LINE
	SUBDIVISION BOUNDARY
	STREET LIGHT
	FIRE HYDRANT
	BLOW-OFF
	TREE
	STANDARD CITY MONUMENT
	EXISTING TEST WELL

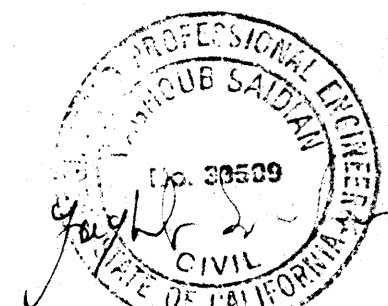


2546 Butch Dr.  
County of Santa Clara  
Department of Environmental Health  
16450 Monterey Road  
Morgan Hill, CA 95037

8-22-95 ~~F#~~ 5976

Clearance granted for septic  
proposal of 1500 gal. 5 ft. w/ 200' x 200' d.f.  
as shown to serve new barn w/  
toilet, lav. & horse wash only.

MVS



# Attachment F

Tract Map No. 6335



# OWNER'S CERTIFICATION:

We hereby certify that we are the owners of or have some right, title, or interest in and to the real property included within the subdivision shown upon the herein map; that we are the only persons whose consent is necessary to pass clear title to said real property; that we hereby consent to the preparation and recording of said map and subdivision as shown within the distinctive border lines.

We hereby dedicate to public use and offer to dedicate to the County of Santa Clara all streets and portions of streets not heretofore existing and designated as Butch Drive, Bannister Avenue and Duke Drive as shown upon this map; said dedications and offers of dedication are for any and all public uses under, upon, and over said streets and portions thereof.

We hereby dedicate to the owners of abutting lots their licensees, visitors and tenants, reciprocal rights of ingress and egress upon and over those certain strips of land designated as "Ingress and Egress Easements and P.S.E."

We hereby dedicate to the County of Santa Clara strips of land one foot in width controlling the access to roadways and designated "RESERVE", such reserved strips to continue in full force and effect until such time as an extension of the road on which the reservation is placed is dedicated to public use and said dedication is approved by the County and recorded, at which time said reservation shall terminate and be of no further force and effect.

We hereby dedicate to public use and offer to dedicate to the County of Santa Clara easements for any and all public service facilities including but not limited to poles, wires and conduits for electrical, telephone, television, gas, storm sanitary and water services, and all appurtenances thereof, under, upon or over the land designated as "P.S.E." (Public Service Easement).

We hereby dedicate to public use and offer to dedicate to the County of Santa Clara storm drainage easements in, under, over, upon and across those certain strips of land delineated and designated as "S.D.E." (Storm Drainage Easement).

We hereby dedicate to public use and offer to dedicate to the County of Santa Clara slope easements designated as "S.E." for the purpose of constructing and maintaining cut or fill slopes or retaining walls.

We hereby designate easements for the installation and maintenance of private water system facilities in, under, upon and across those certain strips of land delineated and designated as "P.W.S.E." (Private Water System Easement), said "P.W.S.E." is not offered for dedication and is to be controlled by New Avenue Mutual Water Company.

We also grant rights of way over those certain strips of land designated as "Bridle Path", on the within map, for normal equestrian use. This grant is for the exclusive use of owners and successors in interest of the lots included on the within map and those lots included on the map of Tract No. 6241 recorded in Book 418 of Maps at pages 40 through 43.

All of the herein described streets and easements shall be kept free of buildings, except lawful unsupported roof overhangs, and obstructions that impair the use of or are inconsistent with the purposes of the street or easement. The herein described offers of dedication to the County of Santa Clara are to be accepted only when the Board of Supervisors or its successor agency adopts and records in the Office of the Recorder of Santa Clara County a resolution accepting said streets or easements. Until said resolution(s) are recorded, all streets and easements encompassed within such offers of dedication shall be maintained by the developer during any required warranty period and thereafter by the owners of the lots or parcels in the subdivision. The County of Santa Clara shall not be responsible for maintenance and shall incur no liability with respect to such offered streets and easements nor any improvement thereon. All dedicated rights of way and easements not accepted for maintenance by the County or other public agency shall be maintained by the owners of the lots or parcels in the subdivision.

GEORGE W. DAY CONSTRUCTION COMPANY, INC.,  
a corporation  
BY: Donald M. Rouns  
BY: Mary E. Sangre  
LAWYERS TITLE INSURANCE CORPORATION,  
a corporation  
BY: Robert W. Canblaw  
BY: C. Lowell Ballard  
TITLE INSURANCE AND TRUST COMPANY,  
a corporation  
BY: William J. Reed  
BY: Frank Lewis

# TRACT NO. 6335 "GOLDEN HILL ESTATES" UNIT NO. 2

## A SUBDIVISION OF

ALL OF LOT 22 - TRACT NO. 6241

BOOK 418 OF MAPS, PAGES 40 THRU 43

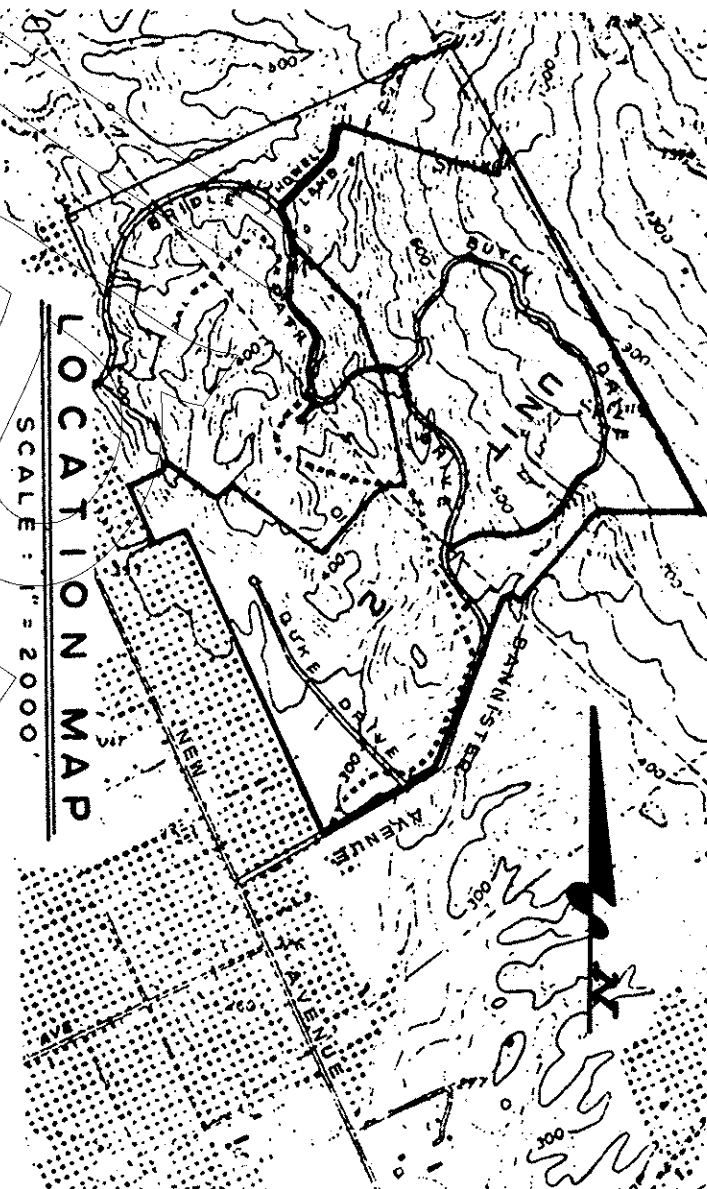
SANTA CLARA COUNTY, CALIF.

FEBRUARY, 1979

SCALE: AS SHOWN

W.J. HANNA & SON - CIVIL ENGINEERS & SURVEYORS - GILROY, CALIF.

CONSISTING OF FOUR (4) SHEETS



## ACKNOWLEDGEMENT:

State of California }  
County of Santa Clara } S.S.

On this 9th day of August, 1979, before me, Constance E. Lamb, a Notary Public in and for said County of Santa Clara, State of California, personally appeared George W. Day, known to me to be the owner of the above described land, the corporation that executed the within instrument and known to me to be the persons who executed the same upon behalf of the corporation named therein, and acknowledged to me that such corporations executed the within instrument pursuant to its by-laws or a resolution of its Board of Directors.

Constance E. Lamb  
Notary Public in and for the  
County of Santa Clara - State of  
California

## ACKNOWLEDGEMENT:

State of California }  
County of Santa Clara } S.S.

On this 9th day of August, 1979, before me, Minnie L. May, a Notary Public in and for said County of Santa Clara, State of California, personally appeared Robert M. Canblaw, known to me to be the Asst. Secy. and C. Lowell Ballard, known to me to be the Asst. Secy. of the above described land, the corporation that executed the within instrument and known to me to be the persons who executed the same upon behalf of the corporation named therein, and acknowledged to me that such corporations executed the within instrument pursuant to its by-laws or a resolution of its Board of Directors.

Minnie L. May  
Notary Public in and for the  
County of Santa Clara - State of  
California

## ACKNOWLEDGEMENT:

State of California }  
County of Santa Clara } S.S.

On this 9th day of August, 1979, before me, Kay L. Leach, a Notary Public in and for said County of Santa Clara, State of California, personally appeared William L. Reed, known to me to be the Asst. Secy. and Frank Lewis, known to me to be the Asst. Secy. of the above described land, the corporation that executed the within instrument and known to me to be the persons who executed the same upon behalf of the corporation named therein, and acknowledged to me that such corporations executed the within instrument pursuant to its by-laws or a resolution of its Board of Directors.

Kay L. Leach  
Notary Public in and for the  
County of Santa Clara - State of  
California

## ENGINEER'S CERTIFICATE:

I hereby certify that this final map and the survey were made by me or under my direction; that the survey made during November, 1978 is true and complete as shown; that all the monuments are of the character and occupy the positions indicated, or will be set in such positions on or before Jan. 1st, 1980, and that such monuments are sufficient to enable the survey to be retraced.

R. C. E. Signed: Robert M. Canblaw  
O. 621

## COUNTY SURVEYOR'S CERTIFICATE:

I hereby certify that I have examined the within final map of Tract No. 6335, that the subdivision as shown is substantially the same as it appeared on the tentative map and any approved alterations thereof; that all provisions of the California Subdivision Map Act and any local ordinances applicable at the time of the approval of the tentative map have been complied with and I am satisfied that said map is technically correct.

Date: Oct 9, 1979 Dean P. Larson, County Surveyor  
Signed: Dean P. Larson

## CLERK OF THE BOARD OF SUPERVISOR'S CERTIFICATE:

I hereby certify that the following order was adopted by the Board of Supervisors of the County of Santa Clara, State of California at a meeting of said Board held on the 9th day of October, 1979. It is ordered that the map of Tract No. 6335 be and the same is hereby approved; that all streets, portions of streets and easements offered for dedication to the County of Santa Clara are hereby not accepted; that all dedications to public use are hereby accepted on behalf of the public for the purposes set forth in the owner's certificate.

Donald M. Rouns, Clerk  
Board of Supervisors

Signed: Dean P. Larson

## COUNTY RECORDER'S CERTIFICATE:

Filed this 9th day of October, 1979, at 2:30 p.m. in Book 452 of Maps, at Page 40 of the request of W.J.  
Hanna  
File No.: 6541855 George A. Mann, County Recorder  
Fee: 11.00 By: William L. Reed  
Deputy



TRACT NO. 6335  
"GOLDEN HILL ESTATES"  
UNIT NO. 2

A SUBDIVISION OF

ALL OF LOT 22 TRACT NO. 6241

BOOK 418 OF MAPS, PAGES 40 - 43

AUGUST, 1978

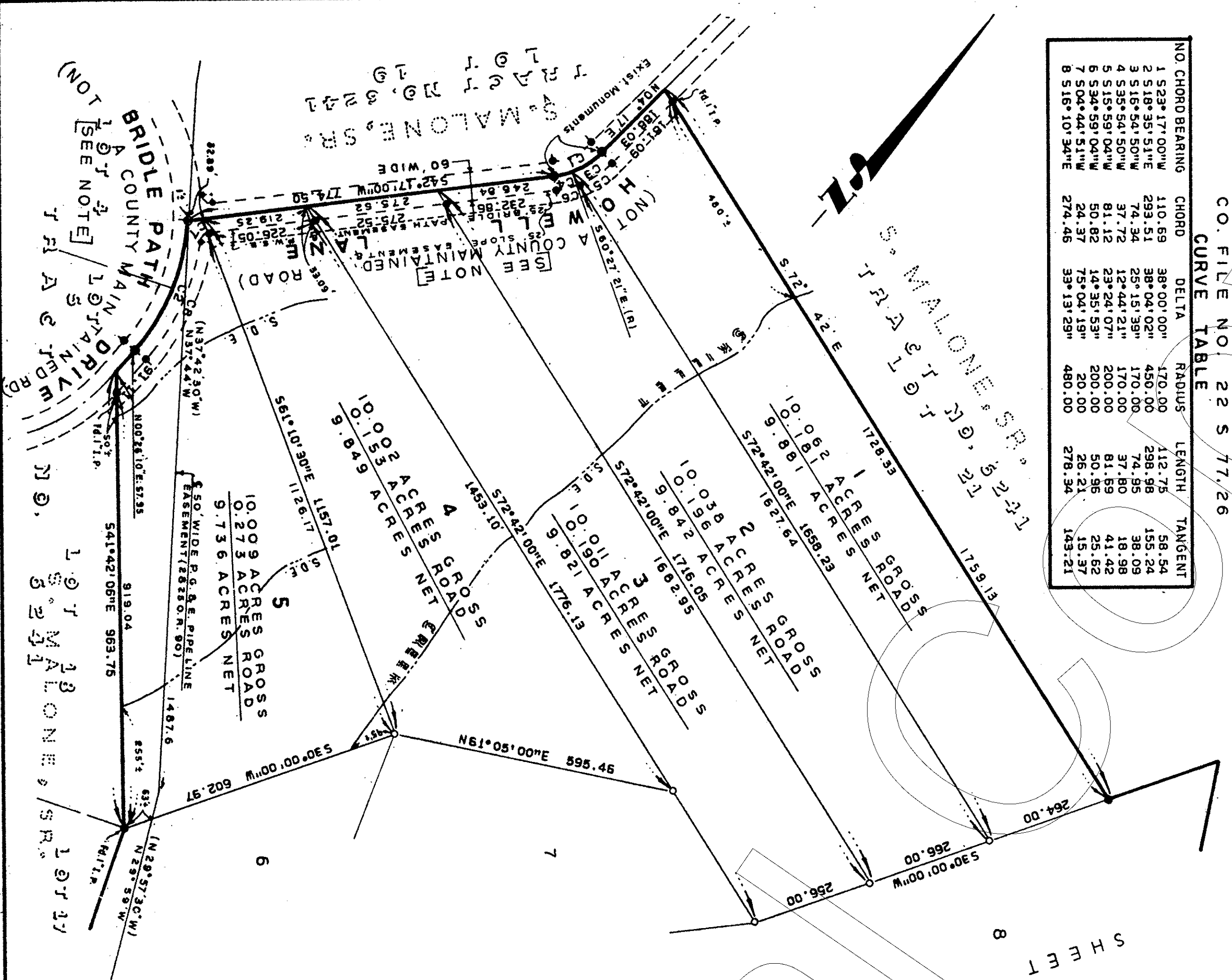
SCALE: 1" = 200'

W. J. HANNA & SON - CIVIL ENGINEERS & SURVEYORS - GILROY, CALIF.

CO. FILE NO. 22 S 77.26

CURVE TABLE

NO. CHORD BEARING	CHORD	DELTA	RADIUS	LENGTH	TANGENT
1 S 33° 17' 00" W	110.69	38° 00' 00"	170.00	112.75	58.54
2 S 18° 35' 51" E	293.51	38° 04' 02"	450.00	298.98	155.24
3 S 16° 54' 50" W	74.34	25° 15' 39"	170.00	74.85	38.09
4 S 33° 59' 04" W	81.12	12° 44' 21"	170.00	37.80	18.98
5 S 33° 59' 04" W	50.82	23° 24' 07"	200.00	81.89	41.42
6 S 33° 59' 04" W	24.37	15° 04' 13"	200.00	50.96	25.62
7 S 33° 59' 04" W	24.37	15° 04' 13"	200.00	50.96	25.62
8 S 16° 10' 34" E	274.46	35° 13' 23"	480.00	278.34	145.21



NOTE:  
ALL S.D.E'S SHOWN ON THIS MAP ARE 15' EACH SIDE  
OF THE CENTERLINE OF THE EXISTING SWALES UNLESS  
OTHERWISE NOTED.

**NOTE:**  
All of Howell Lane and Bridle Path Drive were offered for dedication  
on the map of Tract No. 6241 - Book 418 Maps, pages 40 thru 43, Santa  
Clara County records.

Roadways designated as not-county maintained roads as shown upon this  
map will not be eligible for County maintenance until the roadways are  
improved (at no cost to the County) to public maintenance road standards  
approved by the Board of Supervisors and in effect at such time that  
the roadways are considered for acceptance into the County Road  
System.

All lots will be approved building sites subject to permits and review of  
grading and On-Site development plans by the County Departments  
prior to issuance of a building permit.

Geologic Report pertaining to this property dated 7/20/76 & 11/15/76  
and prepared by E.G. DAVENPORT is on file with the County  
(County file # 22 S 77.26) at the Central Permit Office. Parcel owners  
should review this report prior to submitting plans for site develop-  
ment and building construction.

A Soils Report pertaining to this property dated 8/7/77 and  
prepared by Reynolds and Associates is on file with the County  
(County file # 22 S 77.26) at the Central Permit Office. Parcel owners  
should review this report prior to submitting plans for site develop-  
ment and building construction.

**BASIS OF BEARINGS:**

The bearings shown on this map are based on the centerline  
of Bonister Avenue and shown as S 59° 03' W, on Map of Tract  
No. 6241 and recorded in Book 418 of Maps, pages 40 thru 43  
Santa Clara County records.

**NOTES & LEGEND:**

All distances and dimensions are shown in feet and decimals thereof.

- Denotes Distinctive Border Lines
- Denotes Iron Pipe Set (I.P. Set at all lot corners)
- Denotes Found Monuments As Noted
- Denotes Iron Pipe in Standard Monument Box

CURVE TABLE

NO. CHORD BEARING	CHORD	DELTA	RADIUS	LENGTH	TANGENT
1 S 39° 41' 48" E	206.42	43° 23' 35"	279.18	211.44	111.08
2 S 45° 00' 00" E	498.05	58° 00' 00"	513.66	519.97	284.72
3 S 39° 00' 00" E	729.03	78° 00' 00"	579.32	789.53	469.72
4 S 13° 30' 00" W	220.85	28° 00' 00"	279.32	242.62	123.12
5 S 13° 30' 00" W	223.11	27° 00' 00"	477.86	223.15	114.72
6 S 23° 00' 00" E	423.80	46° 00' 00"	550.00	423.80	233.84
7 S 13° 00' 30" E	217.81	65° 55' 00"	260.67	230.33	123.84
8 S 40° 30' 00" W	206.39	41° 00' 00"	260.67	210.88	110.17
9 S 46° 45' 03" W	150.02	18° 34' 56"	441.10	150.76	76.12
10 S 18° 28' 47" W	279.63	36° 57' 35"	441.10	284.54	147.42
11 S 31° 00' 00" W	206.16	62° 00' 00"	200.00	216.42	120.17
12 N 70° 00' 00" W	186.19	100° 00' 00"	121.53	212.10	144.83
13 S 23° 15' 00" E	238.32	73° 30' 00"	199.16	255.48	148.72
14 S 33° 33' 18" E	381.53	94° 06' 36"	260.60	428.05	280.00
15 S 56° 58' 04" E	66.92	21° 17' 04"	181.19	67.31	34.05
16 S 40° 18' 13" E	118.11	36° 02' 39"	181.19	120.31	62.47
17 S 47° 08' 27" E	227.33	51° 43' 07"	260.60	235.24	126.31
18 S 47° 12' 00" E	672.63	51° 36' 00"	695.91	373.55	204.48
19 S 13° 42' 00" E	207.07	15° 24' 00"	772.73	207.70	104.48
20 S 54° 00' 00" W	306.42	100° 00' 00"	200.00	349.07	238.35
21 S 80° 45' 00" W	178.42	26° 30' 00"	888.42	301.70	152.32
22 S 76° 15' 00" E	300.25	19° 30' 00"	888.42	669.43	348.91
23 S 86° 26' 05" E	656.00	39° 52' 11"	962.01	102.93	51.52
24 N 70° 33' 55" E	102.88	6° 07' 49"	279.18	142.83	73.02
25 S 45° 44' 13" E	141.28	29° 18' 45"	279.18	142.83	73.02
26 S 50° 02' 25" E	68.44	14° 04' 51"	181.19	68.61	34.48
27 S 38° 28' 13" E	376.02	42° 56' 27"	513.66	384.96	202.03
28 S 67° 28' 13" E	134.62	15° 03' 33"	513.66	67.89	37.89
29 S 60° 13' 23" E	485.49	49° 33' 14"	509.96	500.96	267.81
30 S 11° 13' 23" E	284.52	28° 26' 46"	579.22	287.57	146.81
31 S 58° 45' 15" W	32.22	4° 27' 29"	441.10	34.32	15.12
32 S 58° 45' 15" W	34.31	4° 27' 29"	441.10	34.32	15.12
33 S 28° 16' 15" W	417.85	55° 52' 31"	200.00	435.32	237.22
34 S 53° 03' 02" W	158.62	46° 05' 04"	180.32	160.32	85.10
35 S 53° 36' 45" W	696.53	78° 42' 30"	549.21	784.47	450.40
36 S 52° 49' 31" E	104.30	23° 03' 18"	260.60	105.01	59.23
37 S 58° 41' 04" E	128.87	35° 31' 59"	260.60	130.22	68.50
38 S 55° 14' 00" E	419.07	31° 28' 01"	772.73	424.23	217.65
39 S 52° 14' 00" E	83.71	24° 09' 30"	200.00	84.33	42.80
40 S 06° 04' 45" W	245.83	75° 50' 30"	200.00	264.74	155.81
41 S 56° 04' 45" W	245.83	17° 36' 01"	295.52	148.93	243.93
42 S 75° 18' 01" E	294.35	28° 23' 58"	962.01	476.84	75.83
43 N 81° 41' 59" E	471.97	27° 33' 41"	309.18	448.73	16.37
44 S 53° 10' 11" E	147.30	78° 36' 39"	20.00	27.44	180.58
45 S 78° 41' 40" E	25.34	100° 00' 00"	151.53	264.46	98.96
46 S 70° 00' 00" W	232.15	41° 00' 00"	264.67	189.30	79.97
47 S 40° 30' 00" W	185.38	19° 16' 08"	471.10	158.43	11.03
48 S 48° 40' 57" W	157.69	2° 40' 58"	471.10	158.43	11.03
49 S 59° 39' 31" W	22.06	39° 02' 53"	471.10	321.06	167.05
50 S 19° 31' 27" W	314.89	41° 21' 59"	170.00	61.22	30.95
51 S 20° 41' 00" W	120.09	20° 38' 01"	170.00	122.74	61.18
52 S 51° 41' 00" W	60.89	73° 30' 00"	229.16	293.97	171.12
53 S 53° 15' 00" W	274.22	94° 06' 36"	230.60	74.12	37.77
54 S 33° 33' 18" E	337.60	20° 00' 00"	211.19	74.12	37.77
55 S 40° 53' 27" E	141.75	25° 15' 37"	230.60	101.67	51.67
56 S 33° 59' 04" E	100.85	15° 04' 13"	230.60	101.67	51.67
57 S 33° 59' 04" E	100.85	15° 04' 13"	230.60	101.67	51.67
58 S 48° 40' 57" W	185.38	41° 00' 00"	264.67	189.30	79.97
59 S 59° 39' 31" W	22.06	39° 02' 53"	471.10	321.06	167.05
60 S 19° 31' 27" W	314.89	41° 21' 59"	170.00	61.22	30.95
61 S 20° 41' 00" W	120.09	20° 38' 01"	170.00	122.74	61.18
62 S 51° 41' 00" W	60.89	73° 30' 00"	229.16	293.97	171.12
63 S 53° 15' 00" W	274.22	94° 06' 36"	230.60	74.12	37.77
64 S 33° 33' 18" E	337.60	20° 00' 00"	211.19	74.12	37.77
65 S 40° 53' 27" E	141.75	25° 15' 37"	230.60	101.67	51.67
66 S 33° 59' 04" E	100.85	15° 04' 13"	230.60	101.67	51.67
67 N 80° 55' 33" E	162.52	26° 08' 55"	359.22	163.94	83.42
68 S 50° 49' 03" W	27.37	86° 21' 54"	205.92	18.77	103.95
69 S 17° 19' 03" W	204.93	19° 21' 54"	609.22	211.05	107.52
70 S 13° 30' 00" W	209.10	27° 00' 00"	447.86	205.91	103.95
71 S 23° 00' 00" E	406.36	46° 00' 00"	520.00	417.48	220.73
72 S 27° 48' 15" E	143.64	35° 23' 29"	230.00	145.09	75.60
73 S 70° 00' 00" W	140.22	100° 00' 00"	91.53	159.74	109.08
74 S 40° 30' 00" W	227.40	41° 00' 00"	324.67	232.33	121.39
75 S 58° 45' 15" W	32.22	4° 27' 29"	441.10	34.32	15.12
76 S 58° 45' 15" W	32.22	4° 27' 29"	441.10	34.32	15.12
77 S 53° 00' 00" W	236.92	62° 00' 00"	230.00	248.88	138.20
78 S 20° 03' 05" W	26.74	4° 53' 50"	20.00	29.89	17.98
79 S 19° 25' 55" E	26.42	44° 53' 18"	309.18	26.43	13.22
80 S 59° 18' 09" E	367.09	44° 36' 18"	483.66	375.53	198.39
81 S 58° 18' 09" E	112.81	13° 23' 42"	483.66	113.07	56.80
82 S 50° 15' 41" E	509.89	49° 28' 39"	609.22	526.09	280.71
83 S 13° 30' 00" E	253.75	24° 00' 00"	609.22	255.62	129.72
84 S 33° 44' 27" E	26.90	84° 31' 72"	20.00	29.89	17.98
85 S 37° 45' 00" E	310.41	15° 38' 00"	915.47	311.91	157.48
86 S 36° 08' 29" E	628.56	39° 15' 57"	932.01	639.00	332.63
87 N 70° 51' 31" E	109.21	8° 45' 03"	932.01	109.27	54.70
88 N 60° 45' 00" E	192.17	26° 30' 00"	119.30	188.32	94.71
89 S 23° 15' 00" E	425.45	73° 30' 00"	189.16	217.50	128.32
90 S 53° 33' 18" E	42.16	16° 06' 36"	230.60	47.32	21.23
91 S 72° 35' 44" E	111.56	43° 17' 55"	151.19	114.26	60.01
92 S 42° 55' 53" E	253.80	51° 43' 07"	230.60	252.31	140.85
93 S 47° 08' 27" E	447.99	35° 05' 19"	742.73	443.46	212.24
94 S 55° 26' 51" E	408.14	31° 53' 41"	742.73	413.46	212.24
95 S 21° 35' 51" E	260.45	100° 00' 00"	249.18	260.71	132.60
96 S 54° 00' 00" W	157.14	36° 50' 42"	170.00	160.24	82.00
97 S 33° 59' 04" E	53.32	15° 04' 13"	230.60	53.32	27.93
98 S 33° 59' 04" E	53.32	15° 04' 13"	230.60	53.32	27.93
99 S 33° 59' 04" E	53.32	15° 04' 13"	230.60	53.32	27.93

SHEET NO. 2

TRACT NO. 6335  
"GOLDEN HILL ESTATES"  
UNIT NO. 2

A SUBDIVISION OF

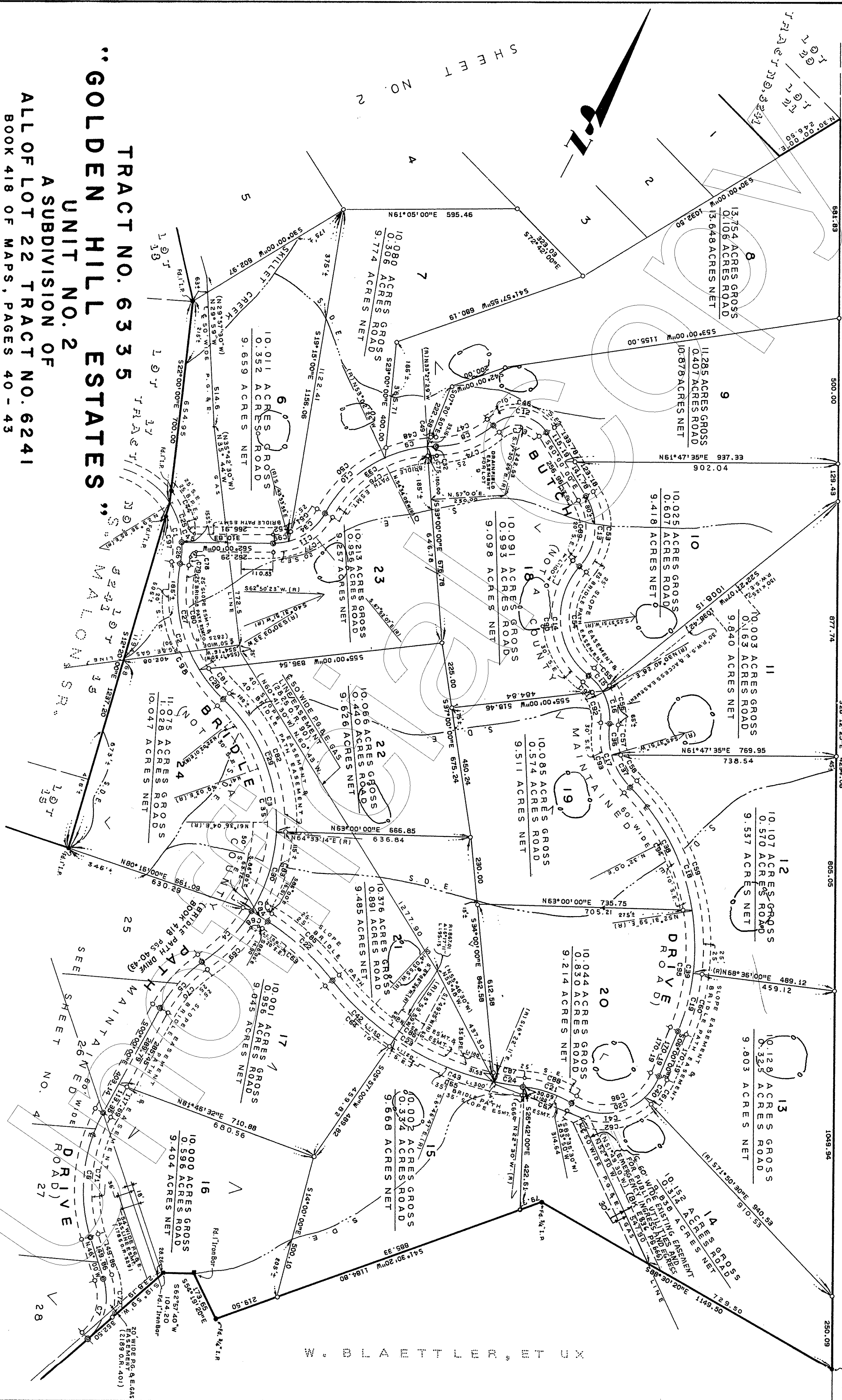
ALL OF LOT 22 TRACT NO. 6241

BOOK 418 OF MAPS, PAGES 40-43

AUGUST, 1978

SCALE: 1" = 200'

W. J. HANNA & SON - CIVIL ENGINEERS & SURVEYORS - GILROY, CALIF.  
CO. FILE NO. 22 S 77.26



NOTE: For Curve Table Data See Sheet No. 2  
NOTE: AREAS GEOLOGICALLY SUITABLE FOR RESIDENTIAL DEVELOPMENT ARE DESIGNATED BY  
PER 11/15/78 GEOLOGIC REPORT FOR FURTHER GEOLOGIC INVESTIGATION MAY  
STANDARD OTHER SUITABLE BUILDING SITES

SHEET NO. 3 OF 4 SHEETS

JOB NO. 7256



T 24  
No. 3

BOOK 418 OF MAPS, PAGES 40 - 433

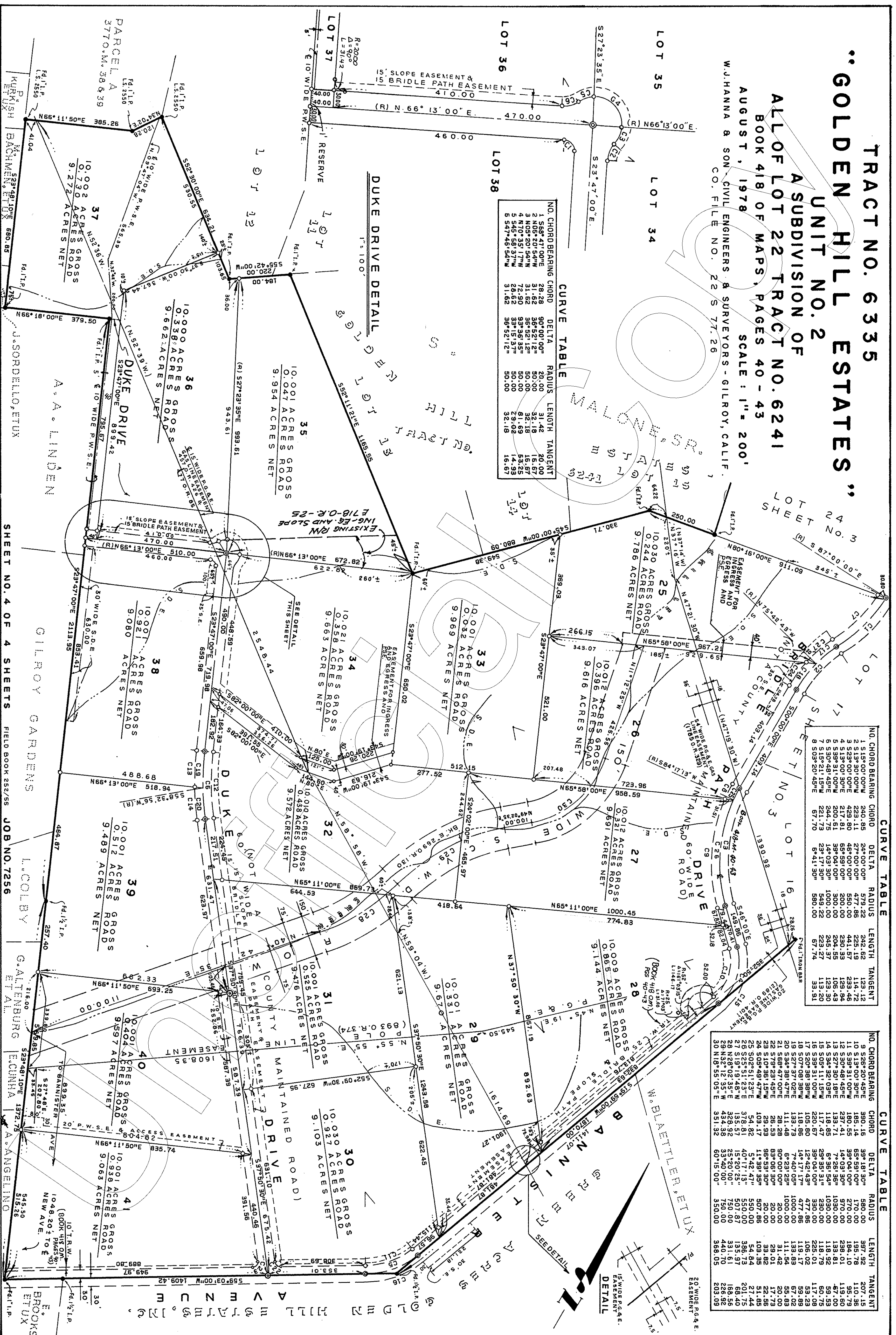
**SCALE : 1" = 200'**

CO. FILE NO. 22 S 77.26

**CURVE TABLE**

### CURVE TABLE

## CURVE TABLE



# Attachment G

March 11, 2021 ZA Hearing Continuance Memo

# County of Santa Clara

Department of Planning and Development  
Planning Office

County Government Center, East Wing, 7th Floor  
70 West Hedding Street  
San Jose, California 95110-1705  
(408) 299-5770 FAX (408) 288-9198  
www.sccplanning.org



## STAFF MEMORANDUM Zoning Administration March 11, 2021 **Item #1**

Staff Contact: Xue Ling – Associate Planner  
(408) 299-5784, xue.ling@pln.sccgov.org

### **File: PLN20-102 Design Review Approval (Tier 2) and Grading Approval for a New Single-Family Residence Address: 2546 Butch Drive, Gilroy, CA, 95020**

#### **DISCUSSION**

On March 3, 2021, the applicant informed Staff that the story poles would not be able to be constructed for staff to inspect on the same day to meet the 7-day deadline for a story pole inspection by Thursday, March 4, 2021. As such, the required story poles will not be verified in compliance with County Ordinance for the Thursday, March 11, 2021 public hearing. The applicant requested that the meeting be continued to the April 1, 2021 public hearing to accommodate more time to construct the story poles, including a Staff inspection after constructing the story poles. As such, Staff is recommending that the application be continued to the April 1, 2021 public hearing.

#### **ADDITIONAL INFORMATION**

##### **Permit Streamlining Act**

The subject application was deemed complete for processing on February 5, 2021, with a Permit Streamlining Act deadline of April 6, 2021. No Permit Streamline Act extension is needed at this time, as the next scheduled hearing date is April 1, 2021.

#### **REVIEWED BY**

Prepared by: Xue Ling, Associate Planner

Reviewed by: Leza Mikhail, Principal Planner / Zoning Administrator