

# County of Santa Clara

Department of Planning and Development  
Planning Office

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## STAFF REPORT Zoning Administration November 4, 2021 **Item No. 5**

Staff Contact: Lara Tran, Senior Planner  
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### **File: PLN20-105**

### **Concurrent Land Use Permit of a Grading Abatement/Approval and Design Review for an Accessory Structure (Barn).**

**Summary:** Consider recommendation of a concurrent land use permit for a Grading Abatement/Approval and Design Review to allow construction of a 12,352 square-foot detached accessory dwelling unit (barn) on a 10-acre lot. Associated improvements include legalizing the existing terracing for the current owner's orchard planting and pad for the proposed barn, and a maximum 5-foot retaining wall east of the detached barn. Total grading consists of 6,117 cubic yards of cut and 3,909 cubic yards of fill.

**Owner:** Ayhan Meneskshe

**Applicant:** Hanna-Brunetti/D&Z Designs

**Lot Size:** 10 acres

**APN:** 825-29-039

**Supervisory District:** 1

**Gen. Plan Designation:** Agriculture Medium Scale

**Zoning:** HS-d1

**Address:** 3085 Paseo Vista Avenue, San Martin

**Present Land Use:** Single-Family Residence

**HCP:** Area 1 (Covered Project)

### **RECOMMENDED ACTIONS**

- A.** Accept Categorical Exemptions, under Section 15303(e) and 15304 (d) of the CEQA Guidelines, Attachment A.
- B.** Grant a concurrent land use permit for a Grading Abatement/Approval and Design Review subject to Conditions of Approval outlined in Attachment B.

### **ATTACHMENTS INCLUDED**

Attachment A – Proposed CEQA Determination  
Attachment B – Proposed Conditions of Approval  
Attachment C – Location & Vicinity Map  
Attachment D – Proposed Plans  
Attachment E – Color Board for Light Reflective Value (LRV)  
Attachment F – Orchard Plan

## **PROJECT DESCRIPTION**

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The proposed project is for a concurrent land use permit to allow construction of a 12,352 square foot detached accessory building (barn) and legalize the existing grading on a 10-acre lot. The property has an existing single-family residence built in 1978 with a leach field and access driveway to the residence. The previous owner installed a tennis court in 2001 without a grading permit for the development area. In 2006, the previous owner also terraced the central-west side of the property without a grading permit. As the current owner inherited the existing violations in 2019, the owner would like to legalize the current grading and abate the unpermitted violations by using the terracing for his orchard planting and construction of a detached barn in the existing developed area. The tennis court will be removed for a detached barn that will be in the same area. The new barn will be located behind the existing single-family residence and will be screened by the existing landscaping to the north, south, east, and west, and a maximum 5-foot retaining wall. Although the property is in a medium visibility area to the valley floor, the proposed detached barn is behind the existing single-family residence with a maximum of 16 feet in height, and is surrounded by existing trees and landscaping that will minimize any visibility of the structure to the valley floor and adjacent neighbors. Proposed grading consists of 6,117 cubic yards of cut and 3,909 cubic yards of fill with a maximum vertical depth of 14 feet. The project will not require any removal of trees.

### **Setting/Location Information**

The subject property is a 10 gross-acre parcel, located southeast of Maple Avenue and east of Foothill Avenue in San Martin, near the intersection of Paseo Robles Avenue and Paseo Vista Avenue, in the unincorporated area of Santa Clara County. The property is less than 1 mile from the City of Morgan Hill to the west, however, it is not located within the Urban Service Area (USA) of the City of Morgan Hill. The parcel is part of the Rancho Robles Subdivision in April 1977, and the site has an existing single-family residence built in 1978. The property is surrounded by low-density single-family residences that were built in the late 1970s and early to mid-1980s within the same subdivision. The neighborhood character consists of ranch style estate homes ranging in size from approximately 3,000 sq. ft. to 8,000 sq. ft., on minimum 10-acre properties.

The site is located within the Santa Clara Valley Habitat Plan (HCP) Area 1 and is considered a covered project. The proposed development is located within the following landcovers: California Annual Grassland, Rural Residential, and Coast Live Oak Forest and Woodland. The proposed legalization of grading and existing development area for the proposed barn are located within the Rural Residential landcover. The project is not in proximity to any sensitive landcovers, wildlife or plant survey areas, creeks/watercourses, or any riparian sensitive land covers. Based on County GIS data, the slope of the entire property is 23.5%.

## **REASONS FOR RECOMMENDATIONS**

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### **A. Environmental Review and Determination (CEQA)**

The proposed project qualifies for a Categorical Exemption under Section 15303(e) and 15304 (d) for accessory structures and minor grading of developed land. As such, an Initial Study and further analysis under the CEQA was not required.

**B. Project/Proposal**

1. **General Plan:** Hillsides
2. **Building Site Approval:** The property is Lot 34, on Tract Map No. 5964, of the “Rancho Robles” subdivision recorded on April 22, 1977.
3. **Zoning Standards:** The Zoning Ordinance specifies the required development standards for HS-d1 Zoning District, as summarized below, followed by Table A, noting the project’s conformance with Section 3.20.040 “-d1” Combining District:

Accessory Structure  
**Setbacks (A-20Ac):**

Rear yard of property or minimum of 75-feet from front property line and/or rights-of-way (ROW). Minimum of 30 feet for side rear setbacks if structure is more than 16 feet in height.

**Height:**

35-feet maximum (for properties more than 2.5 acres)

***Table A: Compliance with Development Standards for -d1 Combining District***

<b>STANDARDS &amp; REQUIREMENTS</b>	<b>CODE SECTION</b>	<b>Meets Standard (Y/N)*</b>
Siting	§ 3.20.040 (A)(2)(b)	Y*
Story Poles	§ 3.20.040 (A)(2)(c)	Y*
Color & LRV	§ 3.20.040 (B)	Y*
Building Form & Massing	§ 3.20.040 (C)	Y*
Retaining Walls	§ 3.20.040 (D)	Y*
Ridgeline Development	§ 3.20.040 (E)	N/A
Design Review Guidelines	§ 3.20.040 (F)	Y*

\*See a detailed discussion of these development standards within the body of the Design Review Findings in Section C below

**C. Design Review Findings:**

Pursuant to Section §5.50.040 of the County Zoning Ordinance, all Design Review applications are subject to the stated scope of review. The overall purpose of Design Review is to encourage quality design and mitigate potential adverse visual impacts of development. In the following discussion, the scope of review findings is listed in **bold**, and an explanation of how the project meets the required standard is in plain text below.

1. **Mitigation of any adverse visual impacts from proposed structures, grading, vegetation removal and landscaping;**

According to the County’s GIS data on visibility of properties as seen from the valley floor, the subject property is in a “medium visible” area. The proposed 12,352 square-foot detached barn, east from the residence, will be surrounded by existing

landscaping and trees from the west, east, north, and south. The proposed barn is located on already graded pad with a maximum height of 16 feet for the structure and will be screened behind the residence as the house is taller than the proposed barn. The proposed retaining wall to the east of detached barn will range from two (2) feet to a maximum of five (5) feet with landscaping and shrubs surrounding the retaining wall. Existing trees along the developed pad for the existing tennis court as well as the trees along Paseo Vista Avenue are retained and will continue to be maintained as indicated in the civil plans (Attachment D). The Light Reflective Value (LRV) are below 45 and incorporates muted and earth tones such as dark green, grey, and dark brown. The legalization of the terracing area for orchard planting to the west of the property will not create any adverse visual impact as fruit trees will be planted in the terraced area. For the reasons above, this finding can be met.

**2. Compatibility with the natural environment;**

The project proposes to legalize the existing graded pad currently used as tennis court for a detached barn and to legalize the unpermitted terracing for orchard planting on the property. The overall use and design of the detach barn and orchard planting are compatible with the natural environment as the grading are already existing and the owner will only do additional 464 cubic yards of cut for the grading of the barn and will not do any additional grading at the terracing area for the orchards as they are already existing. The proposed grading legalization and proposed barn is compatible with the natural environment as a barn and orchard are consistent to the use for hillside side development, and this finding can be made.

**3. Conformance with the “*Design Review Guidelines*,” adopted by the Board of Supervisors;**

The proposed project conforms to the County’s Board-adopted *Design Review Guidelines*. The siting of the proposed detached barn utilizes an existing a pad and requires minimal additional site improvements and grading. The necessary grading is primarily for the removal of the tennis court surface area, retaining wall, detention pond, and improvement of the existing driveway. The proposed barn is screened by the existing residence to the west and surrounded by existing trees and landscaping that will be maintained and protected during construction. A Fruit Tree Plan (Attachment F) was submitted with the intention by the owner of planting orchards (apples, pears, apricots, plums, citrus variety) for agricultural use on the property with the existing terracing. Impacts on privacy and views of neighboring properties are minimal as the barn is screened behind the existing residence to the west not to mention existing landscaping and mature trees to east, north, and south. As the barn will have a maximum height of 16 feet, it is behind the existing mature trees from Paseo Vista Avenue and will not create any visual impact to adjacent neighbors.

Exterior colors for the barn façade, trim, and roof materials all have a Light Reflective Value (LRV) of 45 or less, as shown as Attachment D. As part of the requirement for Design Review (Tier 2), the applicant is required to erect story poles



prior to the Zoning Administration Hearing and was inspected by staff on October 15, 2021 to ensure compliance to Section 3.20.040 (A)(2)(c). After inspecting the required story poles, no new impacts were observed by Staff. For these reasons, the above finding can be made.

**4. Compatibility with the neighborhood and adjacent development;**

As noted in the *Project Description* section of the report, the neighboring properties are developed with single-family residences that are both one (1) to two (2) stories, a majority of which were built between the late 1970s and mid-1980s, around the same time as the existing residence. The proposed barn and orchard are consistent with the characteristics of the surrounding neighborhood in that the proposed size, number of stories, and architectural design are compatible to adjacent developments. The project will not be obtrusive compared to the other developed parcels in the vicinity, due to the similarities in size, overall design, and color. As such, this finding can be made.

**5. Compliance with applicable zoning district regulations; and**

Accessory structure such as a barn is an allowed use in the HS-d1 Hillside Zoning District, and the project complies with the HS -d1 zoning regulations and development standards. The proposed detached barn meets the required setbacks and height for accessory structures in rural properties that are more than 2.5 acres. Furthermore, the proposed design is also in keeping with the -d1 design guideline standards and building massing standards in that the structure incorporates varied roof heights and uses architectural elements, such as windows and cornices, to produce patterns of light and shade. Exterior colors are proposed and conditioned to be less than 45 in LRV. For these reasons, Staff has determined that the project follows the applicable zoning district regulations, and this finding can be made.

**6. Conformance with the general plan, any applicable specific plan, other applicable guidelines.**

The proposed development conforms with the Santa Clara County General Plan Policies R-LU18, R-GD22, R-GD24, and *Design Guidelines*.

The existing use of the property is consistent to General Plan Policy R-LU18 as low-density residential use is allowed use and a barn is considered an accessory structure to the residential use. Additionally, the proposed orchard for the existing terrace is also a compatible use as it is considered agricultural use for the hillside area. The project conforms to R-GD22 and R-GD24 as the proposed development is utilizing the existing grading. In conclusion Planning Staff determined that the current proposed site is consistent to the County's General Plan (R-GD22, R-GD24) as it minimizes grading by legalizing and utilizing an existing developed pad for an accessory structure that is permitted by right within the Hillside zoning district and using the existing terracing for orchard planting all the while avoiding visibility and geologic impacts on the property.

The proposed development is consistent to the County's Board-adopted *Design Guidelines* as it is sited on a flat pad and does not have any massive and/or bulky facades. The exterior color and materials are muted and to have an LRV of 45 or less to ensure compatibility with the surrounding environment. Existing trees on the property are to be protected during construction and existing landscaping plan will provide additional screening and privacy to the neighboring properties. Additionally, the project will have orchard plantings for the terracing areas which will enhance the agricultural consistency of the property to the General Plan for Hillsides. For the above reasons, the finding can be made.

**D. Grading Approval:** Pursuant to Section C12-433 of the County Ordinance Code, all Grading Approvals are subject to specific findings. In the following discussion, the scope of review findings are listed in **bold**, and an explanation of how the project meets the required standard is in plain text below.

**1. The amount, design, location, and the nature of any proposed grading is necessary to establish or maintain a use presently permitted by law on the property.**

The previous owner installed a tennis court in 2001 without a grading permit for the development area. In 2006, the previous owner also terraced the central-west side of the property without a grading permit. The current owner would like to legalize the current grading and abate the unpermitted violations by using the terracing for his orchard planting and construction of a detached barn in the existing developed area. Total grading for the entire project is 6,117 cubic yards of cut and 3,909 cubic yards of fill, however, the majority of the grading amount is already existing with only 833 cubic yards of cut and 195 cubic yards of fill that are proposed new grading for the detached barn, improvement of the driveway from Paseo Vista Avenue, and a detention pond. The tennis court will be removed for a detached barn that will be on the same developed pad. The new barn will be located behind the existing single-family residence and will be screened by the existing landscaping to the north, south, east, and west, and a maximum 5 foot retaining wall. Legalizing the existing grading of the tennis court area and terracing will minimize and not create additional impact to the developed area and overall hillside. The proposed grading is necessary remove the tennis court surface and smooth the grading around that area to match existing contours, as well as improvement to the driveway from Paseo Vista Avenue, and a detention pond for the site.

Consideration of the existing conditions, legalizing the existing grading and establishing a detached barn and proposed orchards for the terracing will minimize any additional disturbance to the graded hillsides. The overall the amount, design, location and the nature of the proposed grading is appropriate to establish the the barn and orchard along with the existing residential use which are all permissible in the HS-d1 zoning district. As such, this finding can be made.

2. **The grading will not endanger public and/or private property, endanger public health and safety, will not result in excessive deposition of debris or soil sediments on any public right-of-way, or impair any spring or existing watercourse.**

The proposed grading will not endanger public or private property. Legalization of the existing grading minimizes any additional impacts to hillsides and property. The proposed barn is utilizing an existing developed pad and any new proposed grading is only smooth the grading around the existing tennis court to match existing contours, as well as improvement to the driveway from Paseo Vista Avenue, and a detention pond for the site. All export will be deposited at an approved site. The Conditions of Approval of final grading plans will ensure that grading around the building pads and driveway will not result in slope instability or erosion. Land Development Engineering has specific erosion control standards to be implemented as part of the driveway and grading design. As such, this finding can be made.

3. **Grading will minimize impacts to the natural landscape, scenic, biological and aquatic resources, and minimize erosion impacts.**

The proposed grading has been designed to contour to the natural topography as much as possible and the overall legalization of the existing grading minimizes any additional disturbance to the natural landscape. Retaining walls proposed to the east of barn is designed to not exceed five (5) feet in height to limit the grading and disturbance as much as feasible due to the lot's natural topography, which ascends towards the east side of the property. The proposed fruit orchard will utilize the existing terracing and will not need additional grading. Additional grading beyond the legalizing of the existing grading of the tennis court area and terracing is smooth the grading around the existing tennis court to match existing contours, as well as improvement to the existing driveway from Paseo Vista Avenue to the proposed, and a detention pond for the site. There will not be impacts to any scenic, biological, or aquatic resources by legalizing the existing grading and proposing a detached barn and orchards for the terraced areas. By siting the development and legalizing the unpermitted grading as currently proposed, the applicant avoids additional and unnecessary disturbance to the natural environment. All new grading will utilize temporary erosion control measures during construction that will be replaced with long-term permanent erosion control measures in the form of natural landscaping. As such, the above finding can be made.

4. **For grading associated with a new building or development site, the subject site shall be one that minimizes grading in comparison with other available development sites, taking into consideration other development constraints and regulations applicable to the project.**

The project conforms to R-GD22 and R-GD24 as the proposed development is utilizing the existing grading. In conclusion Planning Staff determined that the current proposed site is consistent to the County's General Plan (R-GD22, R-GD24) as it minimizes grading by legalizing and utilizing an existing developed pad for an accessory structure that is permitted by right within the Hillsides zoning district and using the existing

terracing for orchard planting all the while avoiding visibility and additional impacts on the natural terrain of the property. The current proposed site is consistent to the County's General Plan (R-GD22, R-GD24) as it minimizes additional grading and impacts to the natural hillsides to achieve a residential and agricultural use. As such, the above finding can be made.

**5. Grading and associated improvements will conform with the natural terrain and existing topography of the site as much as possible, and should not create a significant visual scar.**

The proposed grading has been designed to contour to the natural topography as much as possible and the overall legalization of the existing grading minimizes any additional disturbance to the natural landscape. The proposed orchards will minimize the terracing areas as the trees will screen visual terrace portions of the lot. The proposed legalization of the grading and incorporating a barn and orchard will minimize additional impacts to the existing hillsides. As such, this finding can be made.

**6. Grading conforms with any applicable general plan or specific plan; and**

The proposed grading is in conformance with specific findings and policies identified in the County General Plan. For example, the current proposed site is consistent to the County's General Plan (R-GD22, R-GD24) as it minimizes additional grading and impacts to the natural hillsides to achieve a residential and agricultural use. As such, this finding can be made.

**7. Grading substantially conforms with the adopted "*Guidelines for Grading and Hillside Development*" and other applicable guidelines adopted by the County.**

The proposed grading is in conformance with the adopted "*Guidelines for Grading and Hillside Development*," in particular, the specific guidelines for grading, siting, building form, and design. Legalizing the existing grading will minimize additional impacts to the hillsides. Siting the proposed barn in an area that has an already established development pad minimizes impacts to the natural environment. Incorporating orchards for the terracing will not only minimize additional disturbance but is consistent to the agricultural usage for hillsides zoning districts. Location of proposed barn is screened by existing trees and landscaping and will not create additional visual impact. The owner is incorporating neutral colors and earth tones as part of the conformity to the natural landscape and neighborhood. Erosion control is conditioned with the County requirements of Land Development Engineering with final erosion control plans to be implemented with the final grading permit. For the above reasons, the finding can be made.

In conclusion, Staff recommends the Zoning Administration Hearing Officer to approve the concurrent land use entitlements for a Grading Abatement/Approval and Design Review. As noted throughout the Staff Report, the proposed project meets all development standards for the

accessory structure (as noted in the Zoning Standards above) and all the findings for Grading Approval and Design Review.

## **BACKGROUND**

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On September 11, 2020, the current owner, Ayhan Meneskshe, applied for Grading Abatement/Approval and Design Review to legalize the unpermitted grading and proposed a detached barn. The application was deemed incomplete on October 11, 2020, as staff had comments and issues related to the project, primarily concerning grading legalization and the proposed barn. The owner did not resubmit until May 14, 2021, and the project was subsequently deemed incomplete. Planning Staff had a meeting with the owner's consultants from Hanna-Brunetti following the second incomplete letter to discuss the legalization of the grading and purpose of the terraced areas.

After another resubmittal, the project was deemed complete on September 21, 2021.

The owner installed the required story poles by October 28<sup>th</sup> at the development site as part of the requirements for Design Review Zoning Administration Hearing items (7 days prior to the hearing). A public notice was mailed to all property owners within a 300-foot radius of the project on October 20, 2021 and was also published in the Post Records on October 20, 2021 for the Zoning Administration Hearing date.

## **STAFF REPORT REVIEW**

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Prepared by: Lara Tran, Senior Planner



Reviewed by: Leza Mikhail, Interim Planning Manager/Zoning Administrator




**ATTACHMENT A**  
**Proposed CEQA Determination**

# ATTACHMENT A

## STATEMENT OF EXEMPTION

### from the California Environmental Quality Act (CEQA)

<b>FILE NUMBER</b>	<b>APN(S)</b>	
PLN20-105	825-29-039	10/29/2021
<b>PROJECT NAME</b>	<b>APPLICATION TYPE</b>	
Grading Abatement/Approval and Design Review 3085 Paseo Vista Avenue, San Martin	Grading Abatement/Approval and Design Review	
<b>OWNER</b>	<b>APPLICANT</b>	
Ayhan Meneskshe	Hanna-Brunetti/ D&Z Designs	
<b>PROJECT LOCATION</b>		
3085 Paseo Vista Avenue, San Martin		
<b>PROJECT DESCRIPTION</b>		
<p>Grading Abatement/Approval and Design Review, for a 12,352 square- foot detached accessory dwelling unit (barn) on a 10-acre lot. Associated improvements include legalizing the existing terracing for the current owner's orchard planting and pad for the proposed barn, and a maximum 5-foot retaining wall east of the detached barn. Total grading consists of 6,117 cubic yards of cut and 3,909 cubic yards of fill.</p> <p>All discretionary development permits processed by the County Planning Office must be evaluated for compliance with the California Environmental Quality Act (CEQA) of 1970 (as amended). Projects which meet criteria listed under CEQA may be deemed exempt from environmental review. The project described above has been evaluated by Planning Staff under the provisions of CEQA and has been deemed to be exempt from further environmental review per the provision(s) listed below.</p>		
<b>CEQA (GUIDELINES) EXEMPTION SECTION</b>		
Categorically Exempt – Section 15303(e) and 15304 (d) for accessory structures and minor grading of developed land.		
<b>COMMENTS</b>		
There is no proposal to remove any existing trees on the property. Proposed development is a covered project under the Santa Clara Valley Habitat Conservation Plan (HCP) for Area 1. The project is not located near any riparian, creeks, or sensitive landcover, wildlife or plant habitats.		
<b>APPROVED BY:</b>		
Lara Tran, Senior Planner  _____ Signature	_____ 10/29/2021 Date	

**ATTACHMENT B**  
**Proposed Conditions of Approval**



**ATTACHMENT B**  
**PRELIMINARY CONDITIONS OF APPROVAL**  
**BUILDING SITE APPROVAL AND DESIGN REVIEW**

**Date:** October 29, 2021  
**Owner/Applicant:** Ayhan Meneskshe / Hanna-Brunetti and D&Z Design Associates Inc.  
**Location:** 3085 Paseo Vista Avenue, San Martin, CA (APN: 825-29-039)  
**File Number:** PLN20-105  
**CEQA:** Categorically Exempt – Sections 15303(e) and 15304 (d)  
**Project Description:** Concurrent land use permit of Grading Abatement/Approval and Design Review for a 12,352 square- foot detached accessory dwelling unit (barn) on a 10-acre lot. Associated improvements include legalizing the existing terracing for the current owner's orchard planting and pad for the proposed barn, and a maximum 5-foot retaining wall east of the detached barn. Total grading consists of 6,117 cubic yards of cut and 3,909 cubic yards of fill. Development is a covered project under the Santa Clara Valley Habitat Conservation Plan (HCP).

For any question regarding the following preliminary conditions of approval, contact the person listed for that agency. S/he represents a specialty and can provide details about the conditions of approval.

<b>Agency</b>	<b>Name</b>	<b>Phone</b>	<b>E-mail</b>
Planning	Lara Tran	(408) 299-5759	<a href="mailto:lara.tran@pln.sccgov.org">lara.tran@pln.sccgov.org</a>
Land Development Engineering	Darrell Wong	(408) 299-5735	<a href="mailto:darrell.wong@pln.sccgov.org">darrell.wong@pln.sccgov.org</a>
Fire Marshal	Christina DaSilva	(408) 299-5767	<a href="mailto:christina.dasilva@sccfd.org">christina.dasilva@sccfd.org</a>
Environmental Health	Darrin Lee	(408) 299-5748	<a href="mailto:darrin.lee@cep.sccgov.org">darrin.lee@cep.sccgov.org</a>
Building Inspection		(408) 299-5700	

**STANDARD CONDITIONS OF APPROVAL**

**Building Inspection**

1. For detailed information about the requirements for a Building Permit, obtain a Building Permit Application Instruction handout from the Building Inspection Office or visit the website at [www.sccbuilding.org](http://www.sccbuilding.org).

**Planning**

2. Development must take place in substantial conformance with the approved civil plans, prepared by Hanna-Brunetti and architectural plans prepared by D&Z Designs, submitted on August 24, 2021 and the Conditions of Approval. Any changes to the proposed project may result in additional environmental review, pursuant to the California Environmental

Quality Act, or additional Planning review and a public hearing.

3. Existing zoning is HS-dl. Maintain the following minimum setbacks for accessory structures:

<b>Front:</b>	75 feet from front property lines (or in rear yard)
<b>Sides:</b>	5 feet or 30 feet (if more than 16 feet in height)
<b>Rear:</b>	5 feet or 30 feet (if more than 16 feet in height)
<b>Height:</b>	35 feet (maximum if on property more than 2.5 acres)

4. Grading consists of 6,117 cubic yards of cut and 3,909 cubic yards of fill with a maximum vertical depth of 14 feet. Any significant increase in grading quantities, or modification to the grading design, is subject to further review and may require a modification to the Grading Approval and associated fees.
5. Any detached accessory structures shall be in the rear half of the lot, or at least 75 ft. from the front property line or edge of right-of-way, per Sections 4.20.020(D). Rear yard coverage of cumulative detached accessory structures shall not be more than 30%, which excludes green houses or agricultural structures.
6. Any accessory structures shall not contain more than two (2) internal plumbing fixtures per Section 4.20.020(I)(1). Further review of a Special Permit and associated fees may be required if additional plumbing fixtures are proposed.
7. The exterior color surfaces (including walls, roof, window trim/accent, retaining walls) of the structure must be of muted colors with light reflectivity value (LRV) of 45 or lower (as indicated on the color board from D&Z Designs submitted on August 24, 2021) and shall be in conformance with the color and materials approved by the Hearing Officer at the Zoning Administration hearing on November 4, 2021.
8. The property owner shall maintain the existing landscaping and provide tree protection for all existing trees adjacent and surrounding to proposed detached barn and existing driveway.
9. Incorporate native and non-native trees and shrubs to screen the retaining walls in the east of the proposed detached barn in the landscaping plan.
10. If archaeological resources or human skeletal remains are discovered during construction, work shall immediately stop, and the County Coroner's Office notified. Upon determination that the remains are Native American, no further disturbance of the site may be made except as authorized by the County Coordinator of Indian Affairs, in accordance with state law and Chapter B6-18 of the County Ordinance Code.

#### Land Development Engineering

11. Property owner is responsible for the adequacy of any drainage facilities and for the

continued maintenance thereof in a manner that will preclude any hazard to life, health or damage to adjoining property.

#### Environmental Health

12. Any portions of the new OWTS found within the areas to be abated (grading) shall be fenced off to prevent damage during grading abatement activities.
13. No fill material shall be added nor removed from the new septic tank area and/ or dispersal field area(s).
14. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m. on weekdays and Saturdays, or at any time on Sundays for the duration of construction.

#### **CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO BUILDING AND/OR GRADING PERMIT ISSUANCE**

#### Planning

15. **Prior to issuance of any permits**, the applicant shall pay all reasonable costs associated with the work by the Department of Planning and Development.
16. **Prior to issuance of a building permit**, and pursuant to Zoning Ordinance Section 5.20.125, record a Notice of Permit and Conditions with the County Office of Clerk-Recorder to ensure that successor property owners are aware that certain conditions of approval shall have enduring obligation. Evidence of such recordation shall be provided **prior to building permit issuance**.
17. **Prior to issuance of a building permit**, provide a Fruit Tree Planting Plan and irrigation Plan for the terrace areas. The planting plan shall also include quantities and size of proposed fruit trees and letter from certified landscape architect confirming adequate space of fruit trees.
18. **Prior to issuance of a building permit**, provide a landscaping plan for the maintenance of the existing landscaping adjacent to the proposed accessory structure and the proposed landscaping for the retaining walls in east of the residence. The landscaping plan shall provide the type and size of trees and plants to screen the accessory structure and retaining walls.
19. **Prior to issuance of a building permit**, submit final color samples for the accessory building facade, trim and roof indicating the Light Reflectivity Value is less than or equal to 45, pursuant to Section 3.20.040(B), and consistent with approved project, color samples and plans approved at the February 4, 2021 Zoning Administration Hearing.

#### *Habitat Plan Application for Private Projects*

20. **Prior to issuance of any grading or building permit**, submit a completed Habitat Plan Application for Private Projects ("Application") with all required submittal materials,

including all exhibits (as described in the Application for Private Projects), and required staff review fee to the Planning Office for review and verification. See further details regarding site plans and land cover mapping as part of the application.

#### Site Plan

The required site plan shall show the project development, including a delineation of the permanent and temporary development buffer areas.

- *Permanent development area* is defined as all land that will have permanent improvements (driveways, water tanks, buildings/structures, septic system, landscaping, etc.), plus a 50-foot buffer surrounding these areas.
- *Temporary development area* is defined as land that will be temporarily affected during development (construction laydown areas, subsurface utilities/trenching, etc.) that will be *restored within one year of completing construction*, plus a 10-foot buffer surrounding these areas.

#### Land Cover Mapping

The required land cover mapping shall include the following:

- Land cover mapping that clearly delineates the verified land cover (as described in Chapter 3 of the Habitat Plan), proposed development (foot print of residence and improvements – i.e. driveway, septic system, landscaping, impervious surfaces, and area of temporary and permanent impacts (with applicable buffers).
- Area calculations of land cover permanently and temporarily impacted by the project, consistent with Table 1 in the Application for Private Projects.

#### *Fees*

21. **Prior to issuance of any grading or building permits**, all Santa Clara Valley Habitat Agency (SCVHA) fees must be paid. Land cover fees are paid based on the land cover (including Serpentine Fee Zone), and development area associated with the project. *Temporary development fees* are based on the amount of time the land is disturbed during construction, plus one year after completing construction, and cannot exceed a combined total of 2 years. ***All temporary development that exceeds 2 years from the onset of construction will be subject to permanent impact fees.***

The project is subject to the following Habitat Plan fees based on HCP Geobrowser Mapping. Actual land cover fees will be verified upon receiving adequate land cover mapping with impervious surface calculations.

- A. Land Cover Fee Zone A – Ranchlands and Natural Lands.
- B. Land Cover Fee Zone B –Agricultural and Valley Floor Lands.

### *Habitat Plan Conditions of Approval*

22. **Prior to issuance of grading/drainage or building permits**, all future development is subject to the following Conditions of Approval and described in more detail within Chapter 6 of the Santa Clara Valley Habitat Plan.

- Condition 1: Avoid Direct Impacts on Legally Protected Plant and Wildlife Species.
- Condition 3: Maintain Hydrologic Conditions and Protect Water Quality.
- Condition 7: Rural Development.

23. **Prior to issuance of grading/drainage or building permits**, incorporate the Habitat Plan *Conditions of Approval (Exhibit A)*, and *Table 1: Hydrology Condition 3* into the improvement/grading and building plans.

### Environmental Health

24. Due to the potential of damaging the existing onsite wastewater treatment system (OWTS) dispersal field while conducting grading abatement activities, a new OWTS shall be installed and the existing dispersal field abandoned **prior to commencement of grading abatement activities and prior to issuance of a grading permit**.

### Land Development Engineering (LDE)

25. **Prior to issuance of a building permit**, obtain a grading permit from LDE (building and grading permits may be applied for concurrently). The process for obtaining a grading permit and the forms that are required can be found at the following web page: [www.sccplanning.org](http://www.sccplanning.org) > How to... > Submit a development Permit Application > Grading Permit

If the County Roads and Airports Department provides a condition of approval to obtain an encroachment permit, the grading and encroachment permits will be processed concurrently under one set of improvement (grading) plans. Please contact LDE at (408) 299-5734 for additional information and timelines.

26. Final plans shall include a single sheet which contains the County standard notes and certificates as shown on County Standard Cover Sheet. Plans shall be neatly and accurately drawn, at an appropriate scale that will enable ready identification and recognition of submitted information.

### *Improvement Plans*

27. Final improvement plans shall be prepared by a licensed civil engineer for review and approval by LDE and the scope of work shall be in substantial conformance with the conditionally approved preliminary plans on file with the Planning Office. Include plan, profile, typical sections, contour grading for all street, road, driveway, structures, and other improvements as appropriate for construction. The final design shall be in conformance with all currently adopted standards and ordinances. The following standards are available on-line:

- Standard Details Manual, September 1997, County of Santa Clara, Roads and Airports Department available at: [www.sccgov.org/sites/rda](http://www.sccgov.org/sites/rda) > Published Standards, Specifications, Documents and Forms
- March 1981 Standards and Policies Manual, Volume 1 (Land Development) [https://www.sccgov.org/sites/dpd/DocsForms/Documents/StandardsPoliciesManual\\_Vol1.pdf](https://www.sccgov.org/sites/dpd/DocsForms/Documents/StandardsPoliciesManual_Vol1.pdf).
- 2007 Santa Clara County Drainage Manual [https://www.sccgov.org/sites/dpd/DocsForms/Documents/DrainageManual\\_Final.pdf](https://www.sccgov.org/sites/dpd/DocsForms/Documents/DrainageManual_Final.pdf)

28. Survey monuments shall be shown on the improvement plan to provide sufficient information to locate the proposed improvements and the property lines. Existing monuments must be exposed, verified and noted on the grading plans. Where existing monuments are below grade, they shall be field verified by the surveyor and the grade shall be restored and a temporary stake shall be placed identifying the location of the found monument. If existing survey monuments are not found, temporary staking delineating the property line may be placed **prior to construction** and new monuments shall be set **prior to final acceptance of the improvements**. The permanent survey monuments shall be set pursuant to the State Land Surveyor's Act. The Land Surveyor / Engineer in charge of the boundary survey shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.
29. The improvement plans shall include an Erosion and Sediment Control Plan that outlines seasonally appropriate erosion and sediment controls during the construction period. Include the County's Standard Best Management Practice Plan Sheets BMP-1 and BMP-2 with the Plan Set.
30. All applicable easements affecting the parcel(s) with benefactors and recording information shall be shown on the improvement plans.
31. Provide landscaping and disturbed area quantities on the final plans along with water efficiency calculations to demonstrate compliance with water usage requirements.

#### *Drainage*

32. Provide a drainage analysis prepared by a licensed civil engineer in accordance with criteria as designated in the 2007 County Drainage Manual (see Section 6.3.3 and Appendix L for design requirements). The on-site drainage will be controlled in such a manner as to not increase the downstream peak flow for the 10-year and 100-year storm event or cause a hazard or public nuisance. The mean annual precipitation is available on the on-line property profile.
33. All new on-site utilities, mains and services shall be placed underground and extended to serve the proposed development. All extensions shall be included in the improvement plans. Off-site work should be coordinated with any other undergrounding to serve other properties in the immediate area.

*Stormwater Treatment – San Francisco Bay & Central Coast*

34. Include one of the following site design measures in the project design: (a) direct hardscape and/or roof runoff onto vegetated areas, (b) collect roof runoff in cisterns or rain barrels for reuse, or (c) construct hardscape (driveway, walkways, patios, etc.) with permeable surfaces. Though only one site design measure is required, it is encouraged to include multiple site design measures in the project design.
35. Submit one (1) copy of the signed and stamped geotechnical report for the project.
36. Submit a plan review letter by the Project Geotechnical Engineer certifying that the geotechnical recommendation in the above geotechnical report have been incorporated into the improvement plan.

*Notice of Intent*

37. Indicate on the improvement plans the land area that will be disturbed. If one acre or more of land area will be disturbed, file a Notice of Intent (NOI) with the State Water Resources Control Board (SWRCB) for coverage under the State General Construction Permit. The SWRCB will issue a Waste Discharge Identification number (WDID). The WDID number shall be shown on the on the final improvement plans. The SWRCB web site is at: [www.waterboards.ca.gov](http://www.waterboards.ca.gov) > [Water Issues](#) > [Programs](#) > [Stormwater](#)

Fire Marshal's Office

38. **Prior to approval of the foundation**, fire protection water system shall be installed, functioning, and inspected. System shall be maintained in good working order and accessible throughout construction. A stop work order may be placed on the project if the required hydrant systems are not installed, accessible, and/or functioning.
39. Fire Department access are minimum Fire Marshal standards. Should the access standards conflict with any other local, State, or Federal requirements, the most restrictive shall apply.
40. All required access roads, driveways, turnarounds, and turnouts shall be installed, and serviceable prior to approval of the foundation, and shall be maintained throughout construction. A stop work order may be placed on the project if required driving surfaces are not installed, accessible, and/or always maintained.
41. Driveways (roads serving one lot) shall comply with the following when the distance between the centerline of the access road and any portion of the structure exceeds 150 ft. (measured along the path of travel).
  - A. Width: Clear width of drivable surface of 12 ft.
  - B. Vertical Clearance: Minimum vertical clearance of 15 ft. shall be maintained between the access road and the building site (trim or remove, tree limbs, electrical wires, structures, and similar improvements).
  - C. Curve Radius: Inside turn radius for curves shall be a minimum of 50 ft.

- D. Grade: Maximum is 15%. The Fire Marshal may permit grades up to a maximum of 20% if no other method is practicable and if consistent with good engineering practices. In no case shall the portion exceeding 15% gradient be longer than 300 feet in length unless there is at least 100 feet at 15% or less gradient between each 300-foot section. Grades exceeding 15% shall be paved in compliance with County Standard SD5.
- E. Turnouts: Turnaround shall be provided for driveways in excess of 150 ft. as measured along the path of travel from the centerline of the access road to the structure. Acceptable turnarounds shall be 40 ft. by 48 ft. pad, hammerhead, or bulb of 40 ft. radius complying with County Standard SD-16. All turnarounds shall have a slope of not more than 5% in any direction.
- F. Gates: Gates shall not obstruct the required width or vertical clearance of the driveway and may require a Fire Department Lock Box/Gate Switch to allow for fire department access. Installation shall comply with CFMO-A3.

42. The property is located within the State Response Area (served by Cal Fire) and in the Wildland/Urban Interface Fire Area. All the following conditions shall apply:
- A. A Class "A" roof assembly is required. Detail shall be included in plans submitted for building permit.
  - B. Provide a ½ inch spark arrester for the chimney.
  - C. Remove significant combustible vegetation within 30 feet of the structure to minimize risk of wildfire casualty. Maintain appropriate separation of vegetative fuels in areas between 30 and 100 feet from the structure.

43. Fire department access roads, driveways, turnouts, and turnarounds shall always be maintained free and clear and accessible for fire department use. Gates shall be maintained in good working order and shall always remain in compliance with Fire Marshal Standard CFMO-A3.

**CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO OCCUPANCY OR ONE YEAR FROM THE DATE OF THE LAND DEVELOPMENT AGREEMENT, WHICHEVER COMES FIRST.**

Planning

44. **Prior to final inspection**, contact Lara Tran in the Planning Division, **at least two (2) weeks in advance** to schedule a site visit to verify the approved exterior colors have been installed as approved.

Land Development Engineering

45. Existing and set permanent survey monuments shall be verified by inspectors **prior to final acceptance of the improvements** by the County. Any permanent survey monuments damaged or missing shall be reset by a licensed land surveyor or registered civil engineer authorized to practice land surveying and they shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.



46. Construct all the improvements. Construction staking is required and shall be the responsibility of the developer.

Fire Marshal's Office

47. **Prior to occupancy**, an approved residential fire sprinkler system complying with CFMO-SP6 shall be installed throughout the structure system and finalized by the Fire Marshal Office.
48. A separate permit shall be obtained from Fire Marshal Office by a state licensed C-16 contractor prior to installation. Please allow for a minimum of 30 days for plan review of fire sprinkler plans by the Fire Marshal Office.

**EXHIBIT A**  
**Santa Clara Valley Habitat Plan**  
**Conditions of Approval**

File #PLN20-105  
APN: 825-29-039  
Grading Abatement/Approval and Design Review  
Property Owner: Ayhan Meneskshe  
Conditions Prepared by Lara Tran on October 17, 2021

***Santa Clara Valley Habitat Plan Conditions of Approval***

*Incorporate the following Habitat Plan Conditions of Approval into the grading/drainage and building plans. The conditions are described in more detail within Chapter 6 of the Santa Clara Valley Habitat Plan.*

*Condition 1: Avoid Direct Impacts on Legally Protected Plant and Wildlife Species*

Conditions Applied During Project Construction

1. Large Trees (migratory birds or raptors) - If construction will require the removal of large trees during the bird nesting season, conduct pre-construction surveys by a qualified biologist to determine if active nests are present within trees. Private applicants should follow procedures currently used (including definition of nesting season and timing of pre-construction surveys) to comply with Migratory Bird Treaty Act (MBTA) and California state regulation requirements in addressing this condition.

*Condition 3: Maintain Hydrologic Conditions and Protect Water Quality and*

Conditions Applied During Project Construction

2. Incorporate Table 1: *Hydrology Condition 3* (attached) into the grading and building plans.

*Condition 7: Rural Development*

Conditions Applied During Project Construction

3. Minimize ground disturbance to the smallest area feasible.
4. Avoid and minimize impacts associated with altering natural drainages and contours on the project site. If the site is graded, blend grading into the existing landform as much as possible.
5. Prevent rills (a narrow groove or crack in the road resulting from erosion by overland flow) by breaking up large or long bare areas into smaller patches that can be effectively drained before rills can develop.
6. Disconnect and disperse runoff flow paths, including roadside ditches, that might otherwise deliver fine sediment to stream channels.
7. Prevent gullies by dispersing runoff from road surfaces, ditches and construction sites, by correctly designing, installing and maintaining drainage structures (i.e. road shape, rolling dips, out-sloped roads, culverts) and by keeping streams in their natural channels. No single point of discharge from a road or other disturbed area should carry sufficient flow

- to create gullies. If gullies continue to develop, additional drainage structures are needed to further disperse the runoff).
8. Maintain as much natural vegetation as possible, consistent with fuel management standards, on the project site.
  9. Maintain County-mandated fuel buffer (variable width by slope conditions).
  10. At project sites that are adjacent to any drainage, natural or manmade, exposed soils must be stabilized or otherwise contained on site to prevent excessive sediment from entering a waterway.
  11. Minimize to the maximum extent possible the amount of ground disturbance when constructing roads.
  12. Ground-disturbing activities associated with road construction should be timed to occur during dry weather months to reduce the possibility of landslides or other sediment being transported to local streams during wet weather.
  13. If construction extends into wet weather, the road bed will be surfaced with appropriate surfacing material to prevent erosion of the exposed roadbed.
  14. If construction on steep slopes is required, construction will be timed for dry weather months to reduce the potential for landslides.
  15. All temporarily disturbed soils will be revegetated with native plants and/or grasses or sterile nonnative species suitable for the altered soil conditions upon completion of construction. Local watershed native plants will be used if available. If sterile nonnative species are used for temporary erosion control, native seed mixtures must be used in subsequent treatments to provide long-term erosion control and slow colonization by invasive nonnatives. All disturbed areas that have been compacted shall be de-compacted prior to planting or seeding.
  16. All temporarily disturbed areas, such as staging areas, will be returned to pre- project or ecologically improved conditions within 1 year of completing construction or the impact will be considered permanent.
  17. No plants identified by the California Invasive Plant Council as Invasive will be planted on the project site. Planting with watershed local native and/or drought-resistant plants is highly encouraged. This reduces the need for watering as well as the need for fertilizers and pesticides.
  18. Outdoor lighting will be of low intensity and will utilize full cutoff fixtures to reduce light pollution of the surrounding natural areas.

#### Postconstruction

19. All temporarily disturbed soils will be revegetated with native plants and/or grasses or sterile, nonnative species suitable for the altered soil conditions upon completion of construction. Local watershed native plants will be used if available. If sterile, nonnative species are used for temporary erosion control, native seed mixtures must be used in subsequent treatments to provide long-term erosion control and slow colonization by invasive nonnatives. All disturbed areas that have been compacted shall be de-compacted prior to planting or seeding.

File #PLN17-10080  
APN: 728-24-008  
BSA, Grading Approval, and Design Review  
Habitat Plan Exhibit A

20. All temporarily disturbed areas, such as staging areas, will be returned to pre-project or ecologically improved conditions within 1 year of completing construction or the impact will be considered permanent.

**Table 1. Condition 3: ALL PROJECTS** (based on SCVHP Table 6-2. Aquatic AMMs- Modified January 30, 2018)

ID	Avoidance and Minimization Measure	Covered Activity Application	Measure Covered by NPDES Requirements? *
1	Minimize the potential impacts on covered species most likely to be affected by changes in hydrology and water quality.	All	No
3.2	To the extent possible, restore the hydrograph to more closely resemble predevelopment conditions.	All	No
5	Invasive plant species removed during maintenance will be handled and disposed of in such a manner as to prevent further spread of the invasive species.	All	No
62	Use existing roads for access and disturbed area for staging as site constraints allow. Off-road travel will avoid sensitive communities such as wetlands and known occurrences of covered plants.	All	No
70	Only clear/prepare land which will be actively under construction in the near term.	All	No
73	When possible, avoid wet season construction.	All	No
84.2	Fiber rolls used for erosion control will be certified as free of noxious weed seed.	All	No
84.3	Filter fences and mesh will be of material that will not entrap reptiles and amphibians.	All	No
86	Topsoil removed during soil excavation will be preserved and used as topsoil during revegetation when it is necessary to conserve the natural seed bank and aid in revegetation of the site.	All	No
88	To the extent feasible, vehicles and equipment will be parked on pavement, existing roads, and previously disturbed areas.	All	No
89	The potential for traffic impacts on terrestrial animal species will be minimized by adopting traffic speed limits.	All	No
90	All trash will be removed from the site daily to avoid attracting potential predators to the site. Personnel will clean the work site before leaving each day by removing all litter and construction-related materials.	All	No
93	When accessing upland areas adjacent to riparian areas or streams, access routes on slopes of greater than 20% should generally be avoided. Subsequent to access, any sloped area should be examined for evidence of instability and either revegetated or filled as necessary to prevent future landslide or erosion.	All	No
95	<p>To minimize entrapment of animals on job sites, the project biologist will survey the work area at the close daily activities to identify and remediate any potential areas or conditions that might trap animals. Examples of such include pits, trenches or pipes that animals can fall into or perforated pipes or netting that can cause entanglement.</p> <p>The biologist shall consider the animals expected to enter the site during the calendar period work will be occurring, and shall use his or her best judgment to remove entrapment conditions, allow for escape (such as a ramp not exceeding a 30-degree slope leading out of a trench) or develop a site-specific protocol (such as daily post-dawn surveys) to eliminate or minimize entrapment.</p> <p>If no project biologist is required on-site the job foreman or property owner will designate an individual to carry out these activities. Only individuals that hold permits or that have been approved by the Habitat Agency as a qualified biologist may handle listed species.</p>	All	No

\* Measures covered by NPDES will be reviewed each time the applicable NPDES permit is renewed. This table will be revised whenever coverage changes.

**Table 1. Continued**

ID	Avoidance and Minimization Measure	Covered Activity Application	Measure Covered by NPDES Requirements? *
103	Unless otherwise indicated in an Executive Directive issued by the Habitat Agency, for example a directive to address plant pathogens, (103.1) all disturbed soils will be revegetated with native plants, grasses, seed mixtures, or sterile nonnative species suitable for the altered soil conditions upon completion of construction. (103.2) Local watershed native plants will be used if available. If sterile nonnative species are used for temporary erosion control, native seed mixtures must be used in subsequent treatments to provide long-term erosion control and slow colonization by invasive nonnatives. (103.3) All disturbed areas that have been compacted shall be de-compacted prior to planting or seeding. (103.4) Cut-and-fill slopes will be planted with local native or non-invasive plants suitable for the altered soil conditions.	All	No

\* Measures covered by NPDES will be reviewed each time the applicable NPDES permit is renewed. This table will be revised whenever coverage changes.

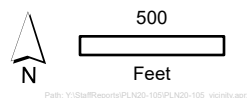
**ATTACHMENT C**  
**Location & Vicinity Map**





## Location and Vicinity Map

File: PLN20-105  
APN 825-29-039





## **ATTACHMENT D**

### **Proposed Plans**

## General Construction Specifications

1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY \_\_\_\_\_ AND DATED \_\_\_\_\_. THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY. DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
3. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
4. DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
5. DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA.
6. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
7. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
8. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
9. UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION 18-118).
10. THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
11. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES, THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACKSIGHT.
2. ALL EXISTING STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE DEVELOPER OR ENGINEER AND LICENSED LAND SURVEYOR.
3. PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.
4. PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.
5. IN ACCORDANCE WITH THE CALIFORNIA PROFESSIONAL LAND SURVEYORS' ACT (BUSINESS AND PROFESSIONS CODE) CHAPTER 15 SECTIONS 8771 AND 87251, CALIFORNIA PENAL CODE 605, AND CALIFORNIA GOVERNMENT CODE 27581, ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING ROADWAY/STREET MONUMENT, PROPERTY CORNER, OR ANY OTHER PERMANENT SURVEYED MONUMENT AND/OR AS SHOWN ON THIS TENTATIVE MAP SHALL ENSURE THAT THE CORNER RECORDS AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS. ALL DISTURBED OR DESTROYED MONUMENTS SHALL BE RESET AND FILED IN COMPLIANCE WITH SECTION 8771.

1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
2. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
3. INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE STRUCTURAL ASPECTS OF CONSTRUCTION. THE COUNTY DOES NOT HAVE PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
4. DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
5. THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR COMMENCEMENT OF THE BUILDING FOUNDATION.

1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
  - A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
  - B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.
2. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

CONTRACTOR SHALL NOTIFY UTA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.

ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.

ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE, UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.

TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE TRENCH SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.

TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR BACKFILL AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.

BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.
2. SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULAWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IT SHALL BE STRIPPED OF ALL VEGETATION. TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED AND DECOMPOSED TO A DEPTH OF 6" TO 12". WHERE THE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEYED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL, THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER THE TAMPING OR ROLLING METHOD. IT IS TOO WET, OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
2. EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE.
3. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
4. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF THE 10' OR GREATER BUFFER ZONE.
5. THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
6. MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

LOCATION	CUT (C.Y.)	FILL (C.Y.)	VERT. DEPTH
BUILDING	±464	±0	±2.1/±0
DRIVEWAY	±116	±23	±3.4/±1
POND	±253	±172	±3.2/±3.7
TOTAL	±833	±195	

GRADING TO BE LEGALIZED			
LOCATION	CUT (C.Y.)	FILL (C.Y.)	VERT. DEPTH
AREA #1	±214	±243	±3/±3
AREA #2	±662	±2,200	±4.7/±8.6
TOTAL	±876	±2,443	

- NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE.
- EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.
7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
8. ALL MATERIALS FOR FILL SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
9. THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%
10. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
11. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.
12. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.
13. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.
14. TOTAL DISTURBED AREA FOR THE PROJECT 14,325 SF.
15. WIDN NO. \_\_\_\_\_
16. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
  - A. FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRUPLINE OF THE TREE OR CANOPY OF TREES.
  - B. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.
  - C. FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
  - D. SIGNAGE STATING, "WARNING- THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5570. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT <http://www.sccplanning.gov/>" SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY.
2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACED AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
3. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
4. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO MEET THE COUNTY MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
5. ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC..

1. PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

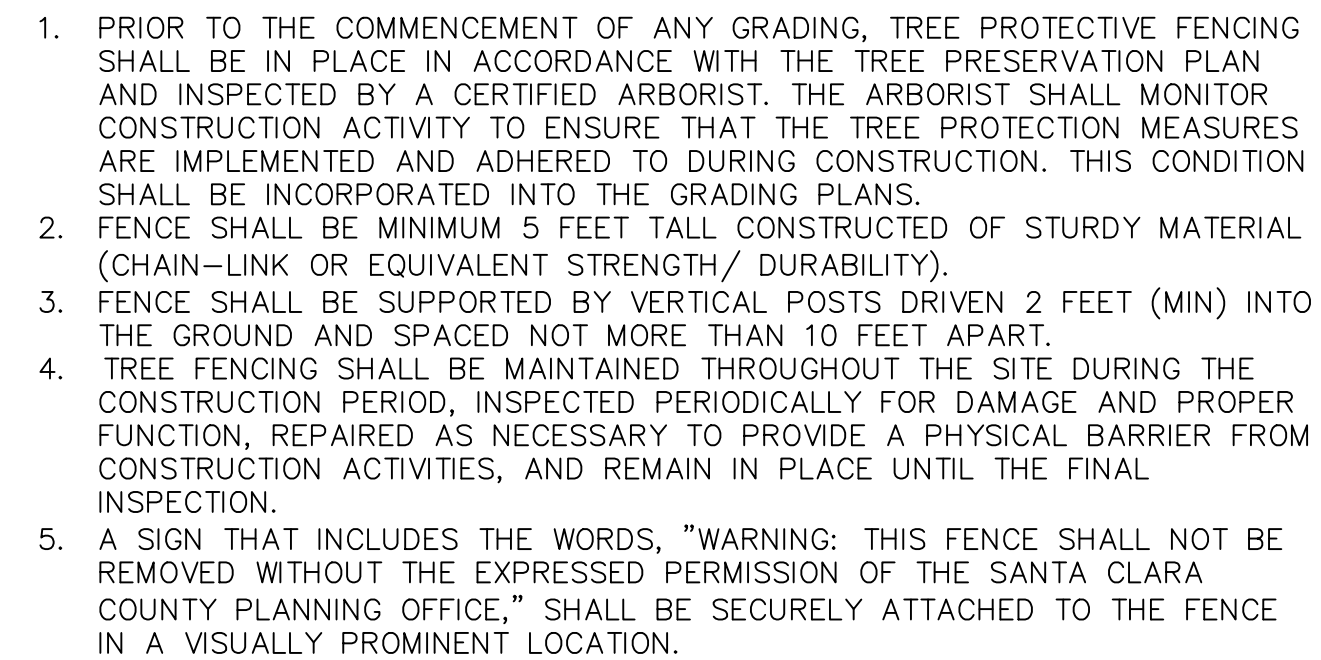
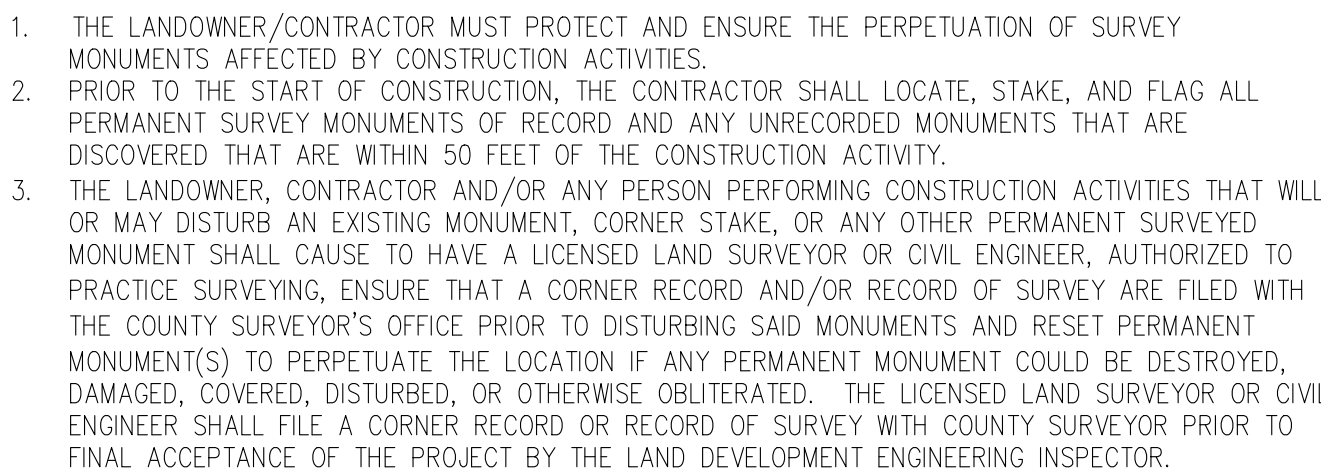
1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
2. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
3. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
4. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
5. SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
6. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MANAGEMENT TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
7. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.
8. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
9. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT, VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
  - A. 15 MILES PER HOUR (MPH) SPEED LIMIT
  - B. 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
10. TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAINT HOTLINE OF 1-800-334-6367.
11. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
12. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
13. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDB.
14. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. EROSION DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
15. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
16. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
17. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.
18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT AND ELIGIBLE DISCHARGE ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE SIGN AND SITUATIONALLY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.
  - A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS.
  - B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
  - C. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
19. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.

1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAG0612008 / ORDER NO. R2-2009-0047 AND NPDES PERMIT CAG000047 / NPDES NO. 2013-0012000-0.
2. DROP INLETS SHALL BE CONSTRUCTED TO MEET STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS, WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
3. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SLOPE OR TO AN OPEN AREA FOR SHEET FLOW.
4. THE INSTALLATION OF DRAINAGE CONDUITS AND PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
5. THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (\_\_\_ WERE) (\_\_\_ WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (\*). THERE (\_\_\_ WERE) (\_\_\_ WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL Δ.

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER  
PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE  
FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.



COUNTY OF SANTA CLARA  
LAND DEVELOPMENT ENGINEERING & SURVEYING

GRADING/DRAINAGE PERMIT NO. \_\_\_\_\_

ISSUED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

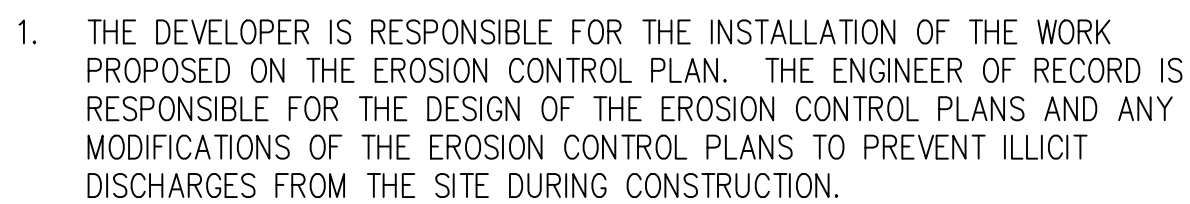
NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT-OF-WAY WITHOUT AN ENCROACHMENT PERMIT, INCLUDING THE STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED \_\_\_\_\_ FILE(S) NO. \_\_\_\_\_

DATE \_\_\_\_\_ 69278  
R.C.E. NO. \_\_\_\_\_

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITEE, OR ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE \_\_\_\_\_ CHRISTOPHER L. FREITAS  
R.C.E. NO. 42107



2. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND CERTIFIED ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGICAL REPORTS SHALL BE SUBMITTED PRIOR TO GRADING COMPLETION AND RELEASE OF BOND.

3. CLEAR AND GRUB BUILDING PAD
4. CONSTRUCT BUILDING PAD
5. PROVIDE AC OVERLAY OVER EXISTING PAVEMENT AREA
6. PROVIDE AC AND BASEROCK ACCESS AROUND BUILDING
7. HYDROSEED EXPOSED SLOPE
8. CONSTRUCT BIORETENTION POND

9. CONSTRUCT RETAINING WALL

10. INSTALL 2000 GAL SEPTIC TANK (UPGRADE) PER PERMIT #60132  
AND AN ADDITIONAL 800 LF OF DRAINFIELD

1	COVER SHEET
2	SITE PLAN
3	PRELIMINARY GRADING & DRAINAGE PLAN
4	SECTIONS & NOTES
5	TENNIS COURT – CURRENT CONDITION VS. PRIOR CONDITION
6	EROSION CONTROL PLAN
BMP1&2	BEST MANAGEMENT PRACTICES

ENGINEER'S NAME: HANNA-BRUNETTI

ADDRESS: 7651 EIGLEBERRY STREET, GILROY CA 95020

PHONE NO. 408 842-2173

FAX NO. 408 842-3662

# PRELIMINARY IMPROVEMENT PLANS

FOR THE  
ASSESSORY BUILDING  
ON THE LANDS OF MENEKSHE  
3085 PASEO VISTA AVENUE, SAN MARTIN

LOT 34 OF "TRACT NO. 5964 - RANCHO ROBLE"

1977 IN BOOK 393 OF MAPS, AT PAGE 10.  
TA CLARA COUNTY, CALIFORNIA.

A P N : 825-29-039

JULY 2021			NO SCALE
Revision 1	Date	APN	Sheet
Revision 2	Date	825-29-039	1
Revision 3	Date	Co. File	of
		PLN20-0105 (R1)	8

JOB NO. 19076



PLAN # OF SHEET

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS IN THE ENGINEER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

APN 825-29-005 FOUNTAIN OAKS RANCH LLC

N66° 22' 00"E 1038.11

LOT 34

APN 825-29-040

FENTON

LOT 33

APN 825-29-038

FAGUNDO

TEMPORARY PROJECT BENCHMARK:

BASED ON AN ASSUMED ELEVATION 300.00 FEET  
LOCATED ALONG PASEO VISTA AVENUE  
(AS SHOWN ON THESE PLANS)  
(TOPOGRAPHIC SURVEY PERFORMED BY OTHERS)

BASIS OF BEARINGS:

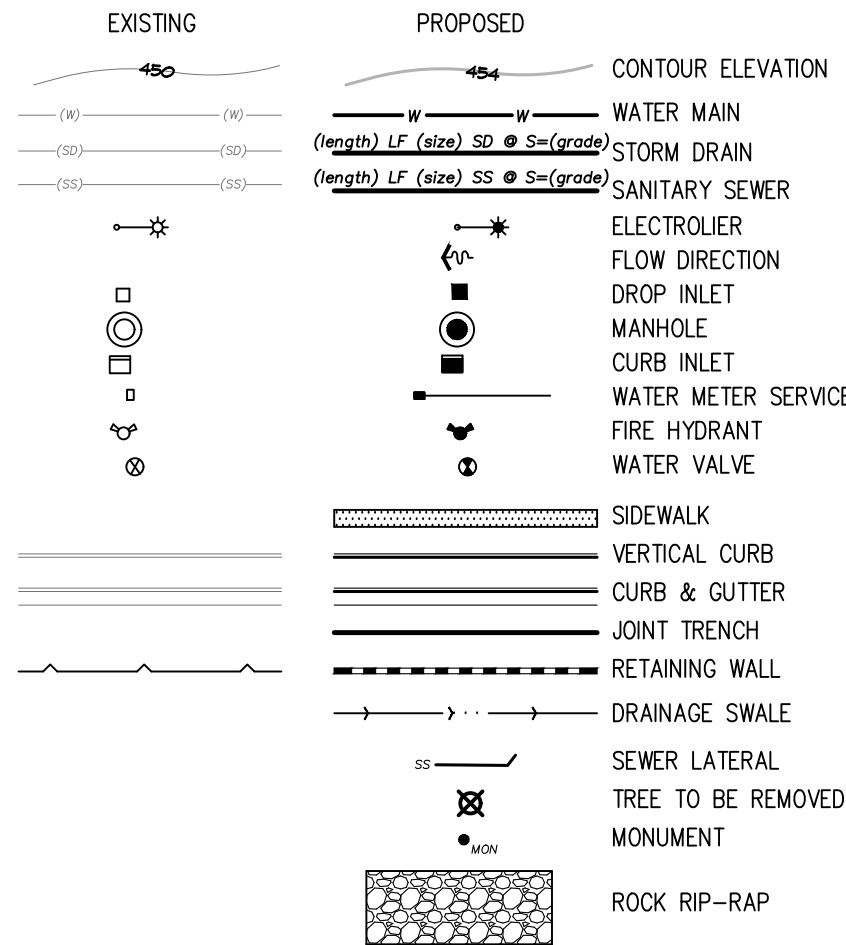
ESTABLISHED ALONG THE CENTERLINE OF PASEO VISTA AVENUE  
BETWEEN FOUND MONUMENTS AS SHOWN ON MAP OF RANCHO  
ROBLES, FILED IN VOLUME 393 OF MAPS AT PAGE 48 IN THE SANTA  
CLARA COUNTY RECORDS.

FLOOD ZONE STATEMENT:

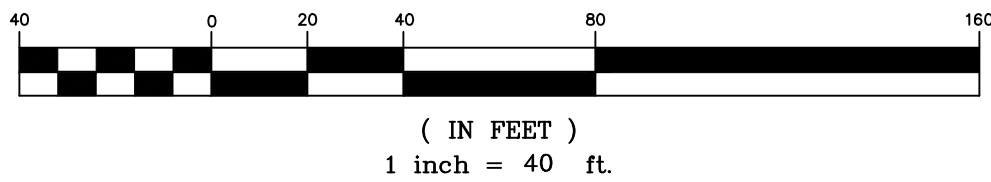
FLOOD INSURANCE RATE MAP  
COMMUNITY PANEL NUMBER: 060337 06085C0627H  
MAP REVISED: MAY 18, 2009

PROJECT LOCATED IN ZONE D  
AREAS OF UNDETERMINED, BUT POSSIBLE FLOOD HAZARDS

LEGEND



GRAPHIC SCALE



PRELIMINARY PLANS  
NOT FOR CONSTRUCTION

APPROVED FOR ISSUANCE  
REFER TO ENCROACHMENT AND/OR  
CONSTRUCTION PERMIT AND PLAN  
COVER SHEET FOR SPECIAL  
CONDITIONS AND PERMIT NUMBERS

ABBREVIATIONS

AC	ASPHALT CONCRETE	FF	FINISH FLOOR	R	RADIUS
AB	AGGREGATE BASE	FG	FINISH GRADE	RCP	REINFORCED CONCRETE PIPE
AD	AREA DRAIN	FH	FIRE HYDRANT	R/W	RIGHT OF WAY
AGG	AGGREGATE	FL	FLOWLINE	RWL	RAINWATER LEADER
BC	BEGINNING OF CURVE	FOC	FACE OF CURB	S	SLOPE
BLDG	BUILDING	G	GAS LINE	SD	STORM DRAIN PIPE
BOC	BACK OF CURB	GM	GAS METER	SS	SANITARY SEWER PIPE
BO	BLOW OFF	GB	GRADE BREAK	STM	STORM DRAIN MANHOLE
BWF	BARBWIRE FENCE	CUY	GUY WIRE FOR POLE	SS MH	SANITARY SEWER MANHOLE
CATV	CABLE TELEVISION	GV	GATE VALVE	SP	SERVICE POLE
CB	CATCH BASIN	HDPE	HIGH DENSITY POLYETHYLENE	STD	STANDARD
C&G	CURB & GUTTER	HMA	HOT MIX ASPHALT	SQ	SQUARE
CI	CURB INLET	HP	HOT POINT	SW	SIDEWALK
CL	CENTERLINE	INV	INVERT OF PIPE	T	TELEPHONE LINE
CMP	CORRUGATED METAL PIPE	IP	IRON PIPE	TBM	TEMPORARY BENCHMARK
CMU	CONCRETE MASONRY UNIT	JP	JOINT POLE	TC	TOP OF CURB
CO	CLEAN OUT	JT	JOINT TRENCH	TG	TOP OF GRATE
CONC	CONCRETE	LF	LINEAR FEET	TGB	TOP OF BANK
CONST	CONSTRUCTION	LP	LOW POINT	TOE	TOE OF BANK
DDCV	DOUBLE DETECTOR CHECK VALVE ASSEMBLY	MAX	MAXIMUM	TW	TOP OF WALL
DI	DROP INLET	MIN	MINIMUM	TYP	TYPICAL
DIP	DUCTILE IRON PIPE	N.I.C.	NOT IN CONTRACT	W	WATER LINE
DWY	DRIVEWAY	(N)	NEW	WM	WATER METER
E	ELEVATION	OHU	OVERHEAD UTILITY	WV	WATER VALVE
EC	END OF CURVE	PB	PULL BOX		
EC	EXISTING GRADE	PC	PORTLAND CONCRETE CEMENT		
ELEV	ELEVATION	PL	PROPERTY LINE		
EP	EDGE OF PAVEMENT	PRC	POINT REVERSE CURVE		
ER	END OF RETURN	P.S.E.	PUBLIC SERVICE EASEMENT		
ESMT	EASEMENT	P.S.D.E.	PRIVATE STORM DRAIN EASEMENT		
(E)	EXISTING	P.U.E.	PUBLIC UTILITY EASEMENT		
EX.	EXISTING	PVI	POINT OF VERTICAL INTERSECTION		
		PVC	POLYVINYL CHLORIDE PIPE		

LOT 21

APN 825-29-026

LAROSA

LOT 22

APN 825-29-027

DENT

Site Plan

Lands of Menekshe - 3085 Paseo Vista Avenue - apn 825-29-039

UNINCORPORATED  
JULY 2021

SANTA CLARA COUNTY  
CALIFORNIA

SHEET

2

OF 8

JOB NO.

19071

APPLICANT: MENEKSHE

ROAD: 3085 PASEO VISTA AVENUE

COUNTY FILE NO.: PLN20-0105 (R1)

JOB NO. 19071

DATE: JULY 2021

HORIZ. SCALE: 1"=40'

VERT. SCALE: NONE

DESIGNED BY: AM

CHECKED BY:

DRAWN BY: TM

date: 7/21/21  
Hanna Brunetti

Amanda Joy Musy-Verdel

R.C.E. # 69278



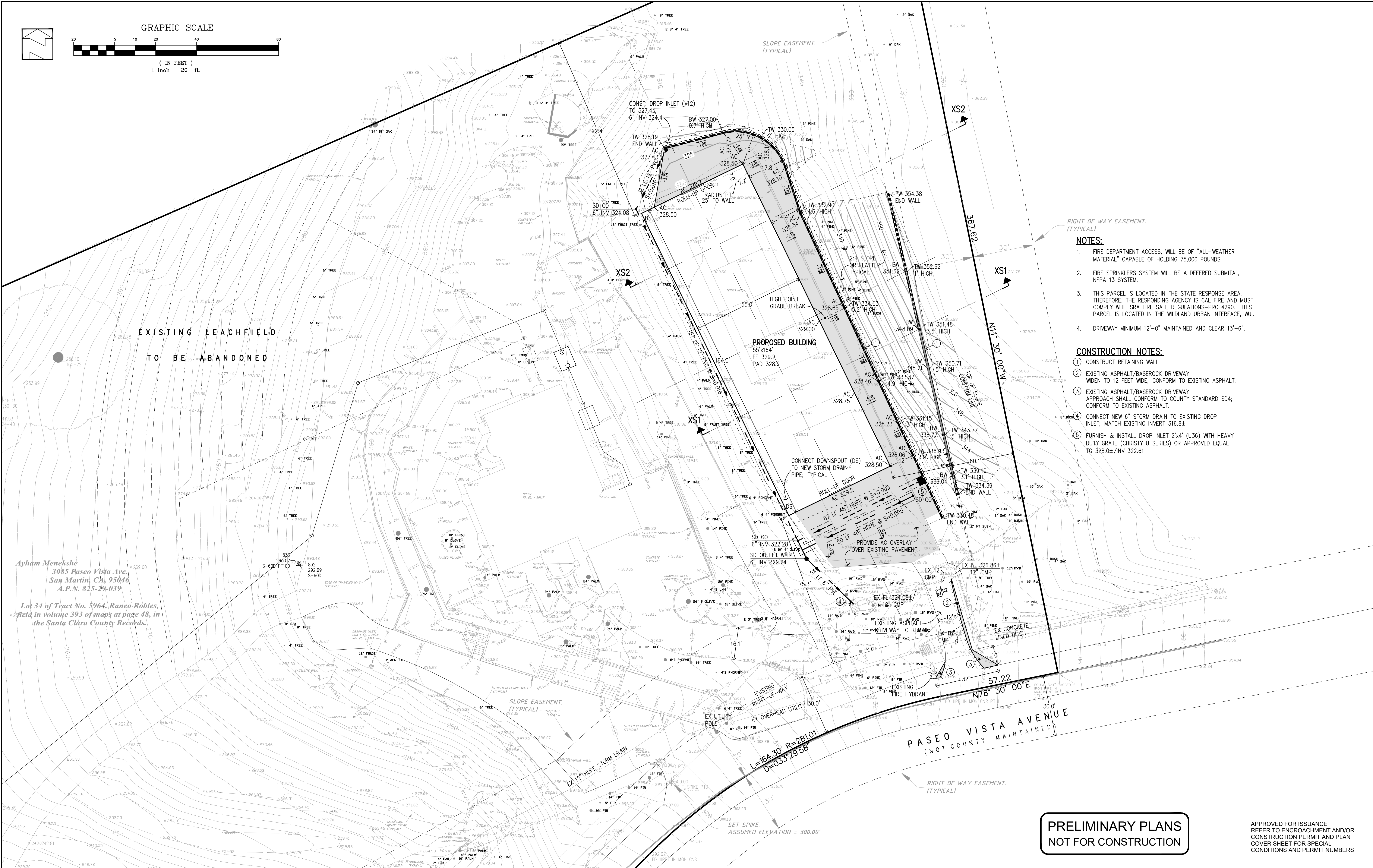
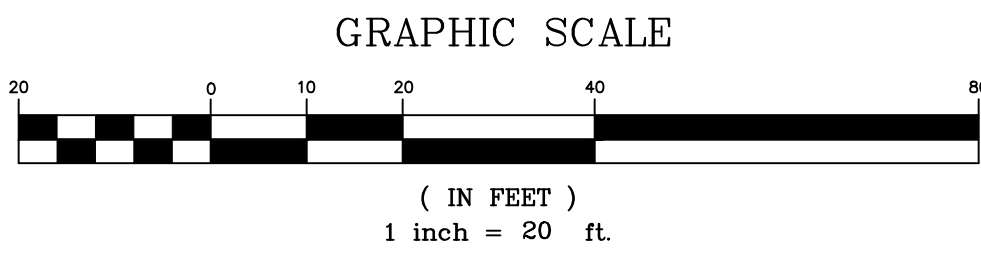
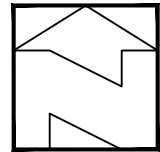
REFERENCES





PLAN # OF SHEET

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**NOTES:**

1. FIRE DEPARTMENT ACCESS, WILL BE OF "ALL-WEATHER MATERIAL" CAPABLE OF HOLDING 75,000 POUNDS.
2. FIRE SPRINKLERS SYSTEM WILL BE A DEFERED SUBMITAL, NFPA 13 SYSTEM.
3. THIS PARCEL IS LOCATED IN THE STATE RESPONSE AREA. THEREFORE, THE RESPONDING AGENCY IS CAL FIRE AND MUST COMPLY WITH SRA FIRE SAFE REGULATIONS-PRC 4290. THIS PARCEL IS LOCATED IN THE WILDLAND URBAN INTERFACE, WUI.
4. DRIVEWAY MINIMUM 12'-0" MAINTAINED AND CLEAR 13'-6".

**CONSTRUCTION NOTES:**

- ① CONSTRUCT RETAINING WALL
- ② EXISTING ASPHALT/BASEROCK DRIVEWAY WIDEN TO 12 FEET WIDE; CONFORM TO EXISTING ASPHALT.
- ③ EXISTING ASPHALT/BASEROCK DRIVEWAY APPROACH SHALL CONFORM TO COUNTY STANDARD SD4; CONFORM TO EXISTING ASPHALT.
- ④ CONNECT NEW 6" STORM DRAIN TO EXISTING DROP INLET; MATCH EXISTING INVERT 316.8±
- ⑤ FURNISH & INSTALL DROP INLET 2'x4' (U36) WITH HEAVY DUTY GRATE (CHRISTY U SERIES) OR APPROVED EQUAL TG 328.0±/INV 322.61

PRELIMINARY PLANS  
NOT FOR CONSTRUCTION

APPROVED FOR ISSUANCE  
REFER TO ENCROACHMENT AND/OR  
CONSTRUCTION PERMIT AND PLAN  
COVER SHEET FOR SPECIAL  
CONDITIONS AND PERMIT NUMBERS

REVISIONS:		
DATE	DESCRIPTION	BY:

**HANNA-BRUNETTI**  
EST. 1980  
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DATE: JULY 2021  
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date: 7/21/21  
Hanna - Brunetti  
Amanda Joy Musy-Verdel  
R.C.E. # 69278



**REFERENCES**

UNINCORPORATED  
JULY 2021

# Preliminary Grading & Drainage Plan

Lands of Menekshe - Paseo Vista Avenue - apn 825-29-039

SANTA CLARA COUNTY  
CALIFORNIA

SHEET

3

OF 8

JOB NO.

19076

APPLICANT: MENEKSHE

ROAD: 3085 PASEO VISTA AVENUE

COUNTY FILE NO.: PLN20-0105 (R1)

JOB NO. 19076



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PROJECT NOTES:

1. THE LOCATION OF THE BUILDING PADS AND/OR FOUNDATIONS ARE TO BE ESTABLISHED BY A PERSON AUTHORIZED TO PRACTICE LAND SURVEYING. A LETTER SIGNED AND SEALED BY THAT AUTHORIZED PERSON, STATING THAT HE/SHE HAS LOCATED THE BUILDING CORNERS, AND THEIR LOCATIONS CONFORM TO COUNTY BUILDING SETBACK REQUIREMENTS PER THE APPROVED BUILDING PLANS IS REQUIRED TO BE SUBMITTED TO THE COUNTY ENGINEER.
2. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE GROUND WHICH ARE SHOWN TO BE REMOVED. ANY OTHER SUCH TREES ARE NOT TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
3. NO TREES ARE TO BE REMOVED
4. PRIOR TO GRADING COMPLETION AND RELEASE OF BOND, ALL GRADED AREAS SHALL BE RESEEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADED SLOPES AND REDUCE THE POTENTIAL FOR EROSION ON THE SUBJECT SITE.
5. BOTH DRAINFIELDS MUST BE STAKED AND STRUNG PRIOR TO APPROVAL OF THE SEPTIC DESIGN TO VERIFY THAT THE PROPOSED SEPTIC DESIGN WILL ACTUALLY FIT INTO THE PROPOSED LEACHFIELD AREA, AND CONFORM TO ALL REQUIRED SETBACKS.
6. IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 50 METERS (150 FEET) OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.
7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
8. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
9. IN THE EVENT THAT ARCHEOLOGICAL FEATURES SHOULD BE DISCOVERED AT ANY TIME DURING THE GRADING, SCRAPING OR EXCAVATION, ALL WORK SHOULD BE HALTED IN THE VICINITY OF THE FIND AND AN ARCHAEOLOGIST SHOULD BE CONTACTED IMMEDIATELY TO EVALUATE THE DISCOVERED MATERIAL TO ASSESS ITS AREAL EXTENT, CONDITION, AND SCIENTIFIC SIGNIFICANCE. IF THE DISCOVERED MATERIAL IS DEEMED POTENTIALLY SIGNIFICANT, A QUALIFIED ARCHAEOLOGIST SHOULD MONITOR ANY SUBSEQUENT ACTIVITY IN THE PROXIMITY.
10. IN THE EVENT THAT HUMAN SKELETAL REMAINS ARE ENCOUNTERED, THE APPLICANT IS REQUIRED BY COUNTY ORDINANCE NO. B6-18 TO IMMEDIATELY NOTIFY THE COUNTY CORONER. UPON DETERMINATION BY THE COUNTY CORONER THAT THE REMAINS ARE NATIVE AMERICAN, THE CORONER SHALL CONTACT THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION, PURSUANT TO SUBDIVISION (c) OF SECTION 7050.5 OF THE HEALTH AND SAFETY CODE AND THE COUNTY COORDINATOR OF INDIAN AFFAIRS. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE COUNTY CHAPTER. IF ARTIFACTS ARE FOUND ON THE SITE A QUALIFIED ARCHAEOLOGIST SHALL BE CONTACTED ALONG WITH THE COUNTY PLANNING OFFICE. NO FURTHER DISTURBANCE OF THE ARTIFACTS MAY BE MADE EXCEPT AS AUTHORIZED BY THE COUNTY PLANNING OFFICE.
11. THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
12. UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%.
13. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION.
14. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THIS PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
15. AN APPROVED RESIDENTIAL FIRE SPRINKLER SYSTEM COMPLYING WITH FIRE MARSHAL STANDARD CFMO-SP6 IS REQUIRED TO BE INSTALLED THROUGHOUT THE STRUCTURE.
16. ALL NEW ON-SITE UTILITIES, MAINS AND SERVICES SHALL BE PLACED UNDERGROUND AND EXTENDED TO SERVE THE PROPOSED RESIDENCE.
17. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND CERTIFIED ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGICAL REPORTS SHALL BE SUBMITTED PRIOR TO GRADING COMPLETION AND RELEASE OF BOND.
18. ALL ROOF RUNOFF SHALL BE DIRECTED TO LANDSCAPED OR NATURAL AREAS AWAY FROM BUILDING FOUNDATIONS, TO ALLOW FOR STORM WATER INFILTRATION INTO THE SOIL AND SHEET FLOW.

NOTE TO CONTRACTOR

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS AND OTHER SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKER'S DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

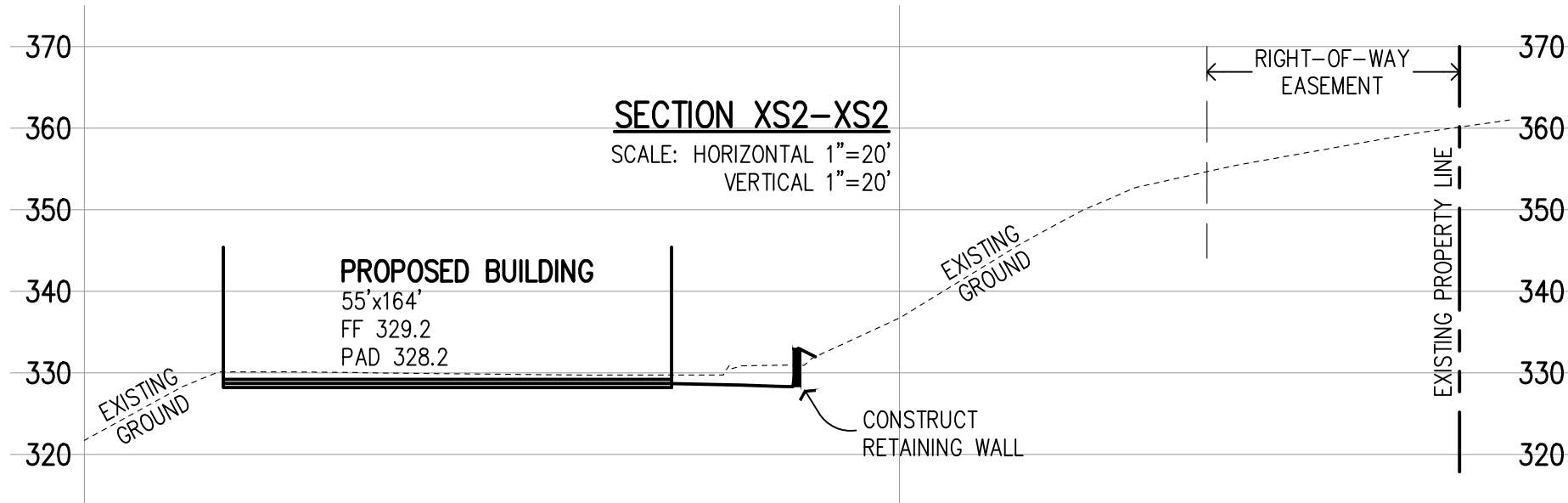
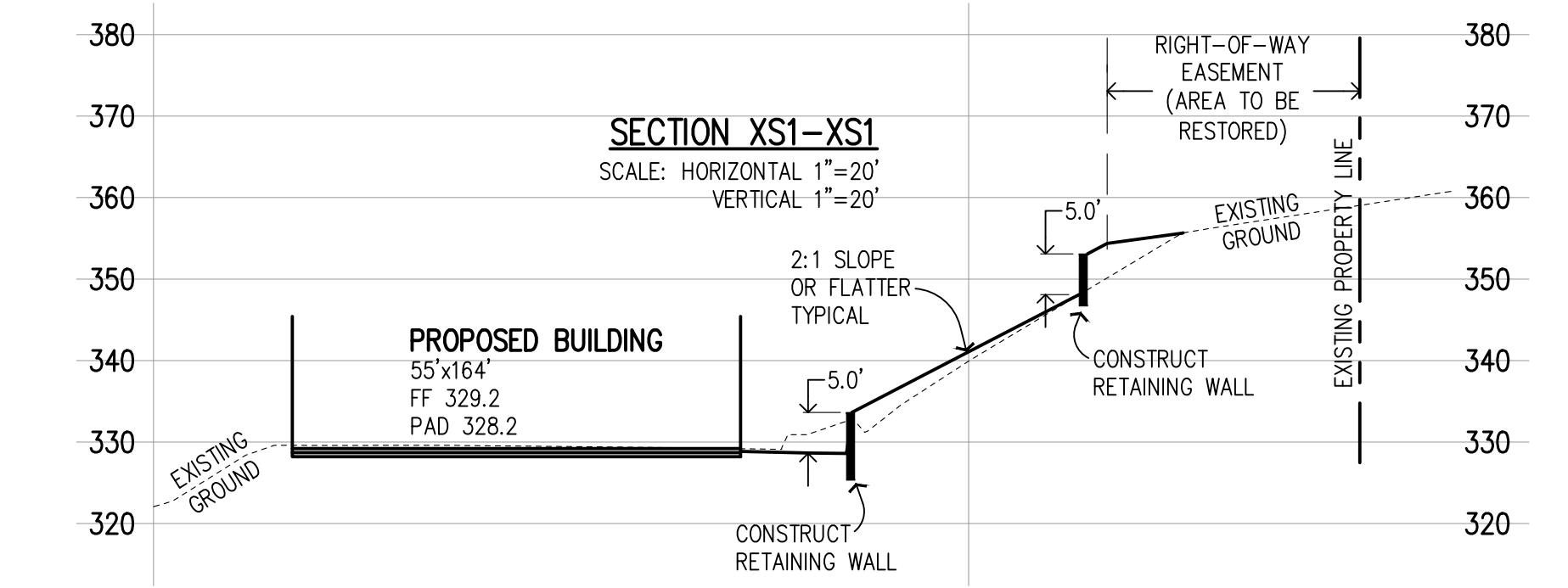
WHERE THE FIRM OF HANNA & BRUNETTI DOES NOT PROVIDE CONSTRUCTION STAKES, SAID FIRM WILL ASSUME NO RESPONSIBILITY WHATSOEVER FOR IMPROVEMENTS CONSTRUCTED THEREFROM.

CONTRACTOR TO VERIFY:

CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION OF BUILDING PAD, THE STRUCTURAL SECTION OF FOUNDATION TO DETERMINE BUILDING PAD ELEVATION.

SEE SOILS REPORT AND/OR STRUCTURAL PLANS TO DETERMINE THE ELEVATION OF THE BUILDING FINISH FLOOR AND PAD.

THESE QUANTITIES DO NOT INCLUDE ANY SHRINKAGE, SUBSIDENCE, OVER-EXCAVATION, OR ANY SPECIAL CONDITIONS OR REQUIREMENTS THAT MAY BE SPECIFIED IN THE GEOTECHNICAL INVESTIGATION REPORT. THESE QUANTITIES IN THE AREA FOR PERMIT PURPOSES ONLY. ALL CONTRACTORS BIDDING ON THIS PROJECT SHOULD MAKE THEIR OWN DETERMINATION OF EARTHWORK QUANTITIES PRIOR TO SUBMITTING A BID. EXCESS MATERIAL SHALL BE OFF-HAULED. IF LOCATION IS WITHIN THE COUNTY A SEPERATED PERMIT SHALL BE REQUIRED.



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HANNA-BRUNETTI

EST. 1980

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CONSTRUCTION MANAGERS

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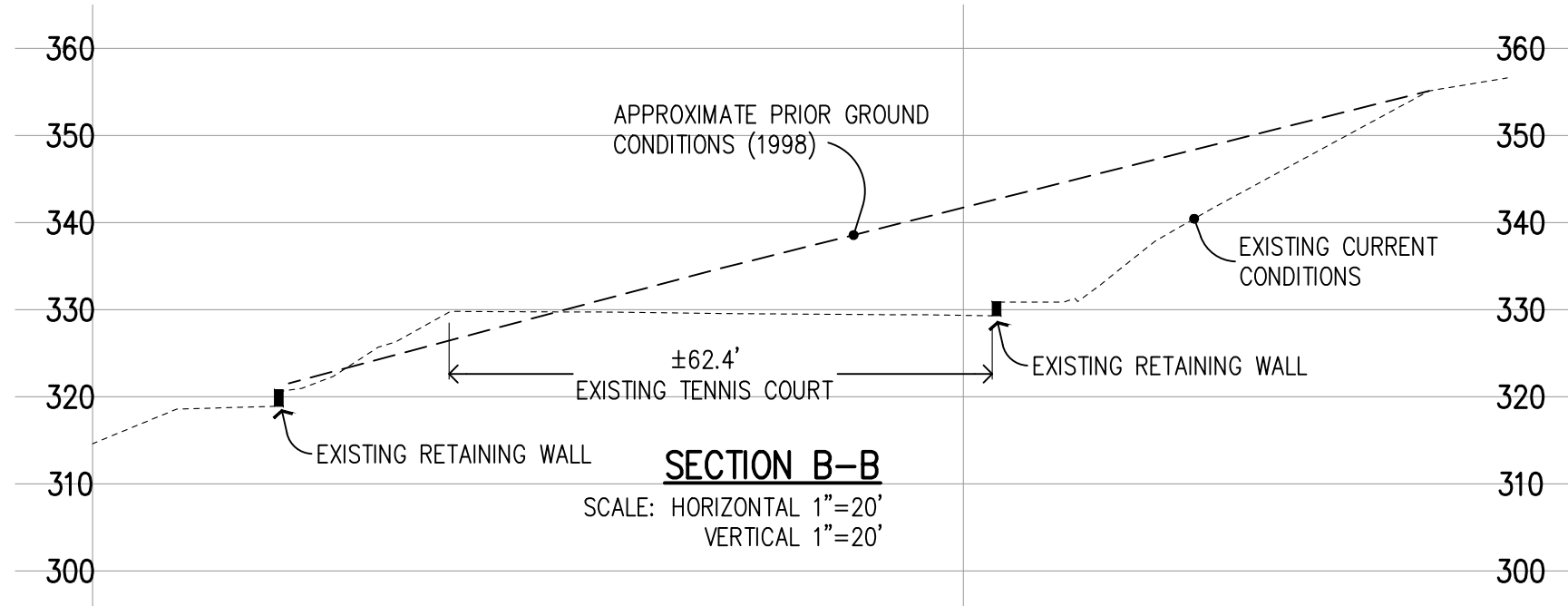
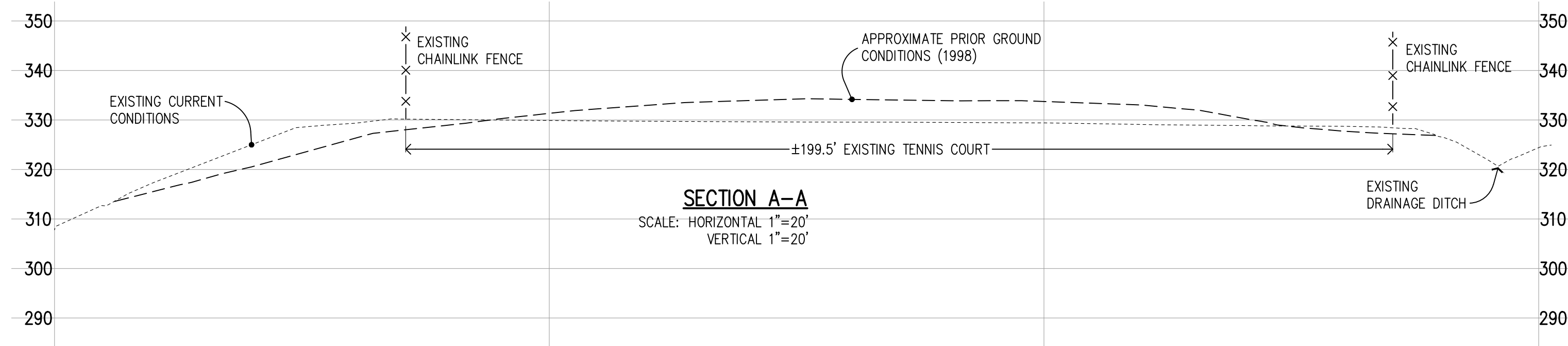
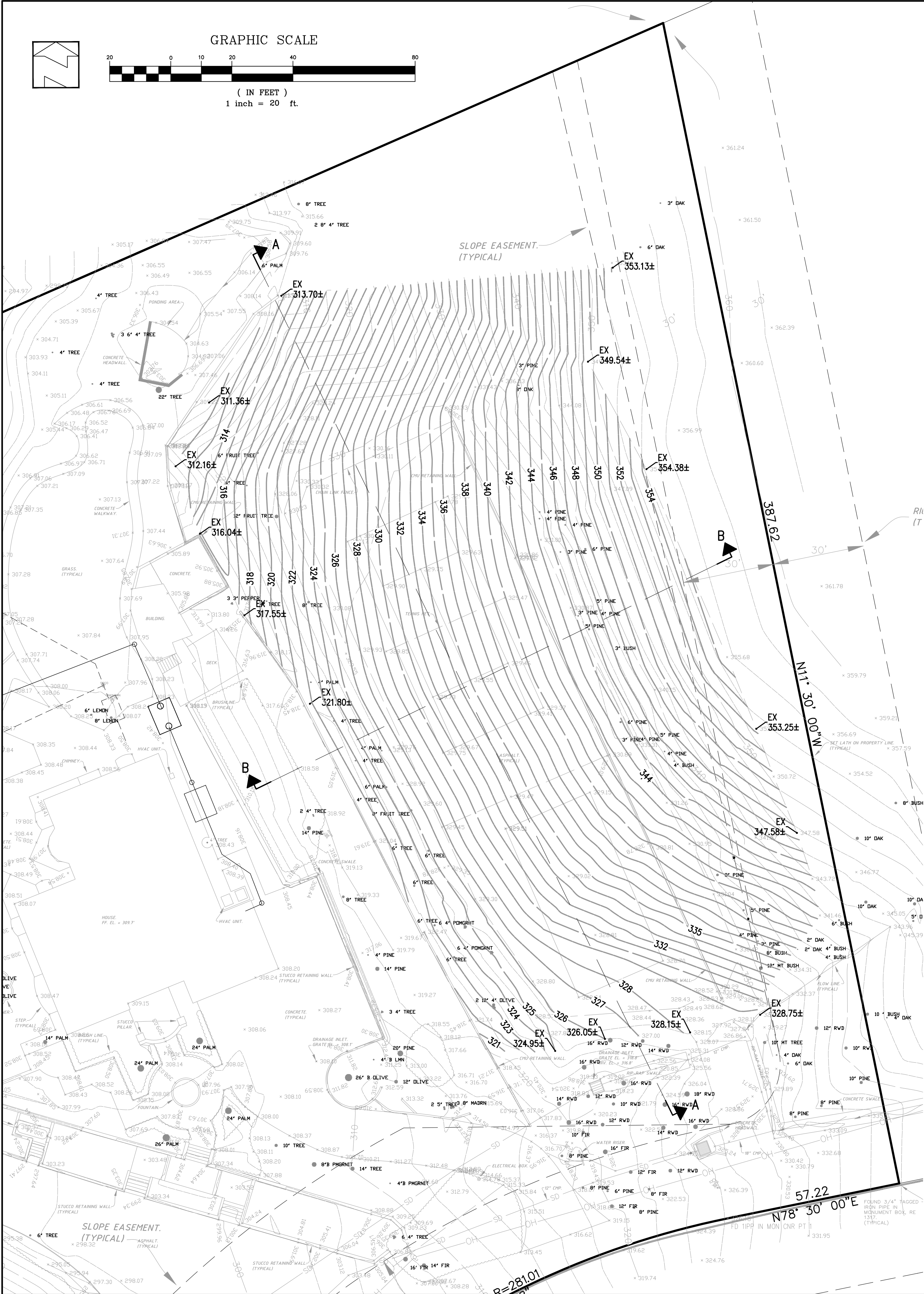
Sections & Notes  
Lands of Menekshe - Paseo Vista Avenue - apn 825-29-039

SANTA CLARA COUNTY  
CALIFORNIA

SHEET
4
OF 8
JOB NO. 19076

PLAN # \_\_\_\_\_ OF \_\_\_\_\_ SHEET \_\_\_\_\_

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REFERENCES

**Tennis Court - Current Condition vs Prior Condition**  
Lands of Menekshe - Paseo Vista Avenue - apn 825-29-039  
UNINCORPORATED  
JULY 2021  
SANTA CLARA COUNTY  
CALIFORNIA

SHEET  
**5**  
OF 8  
JOB NO.  
**19076**

APPLICANT: MENEKSHE

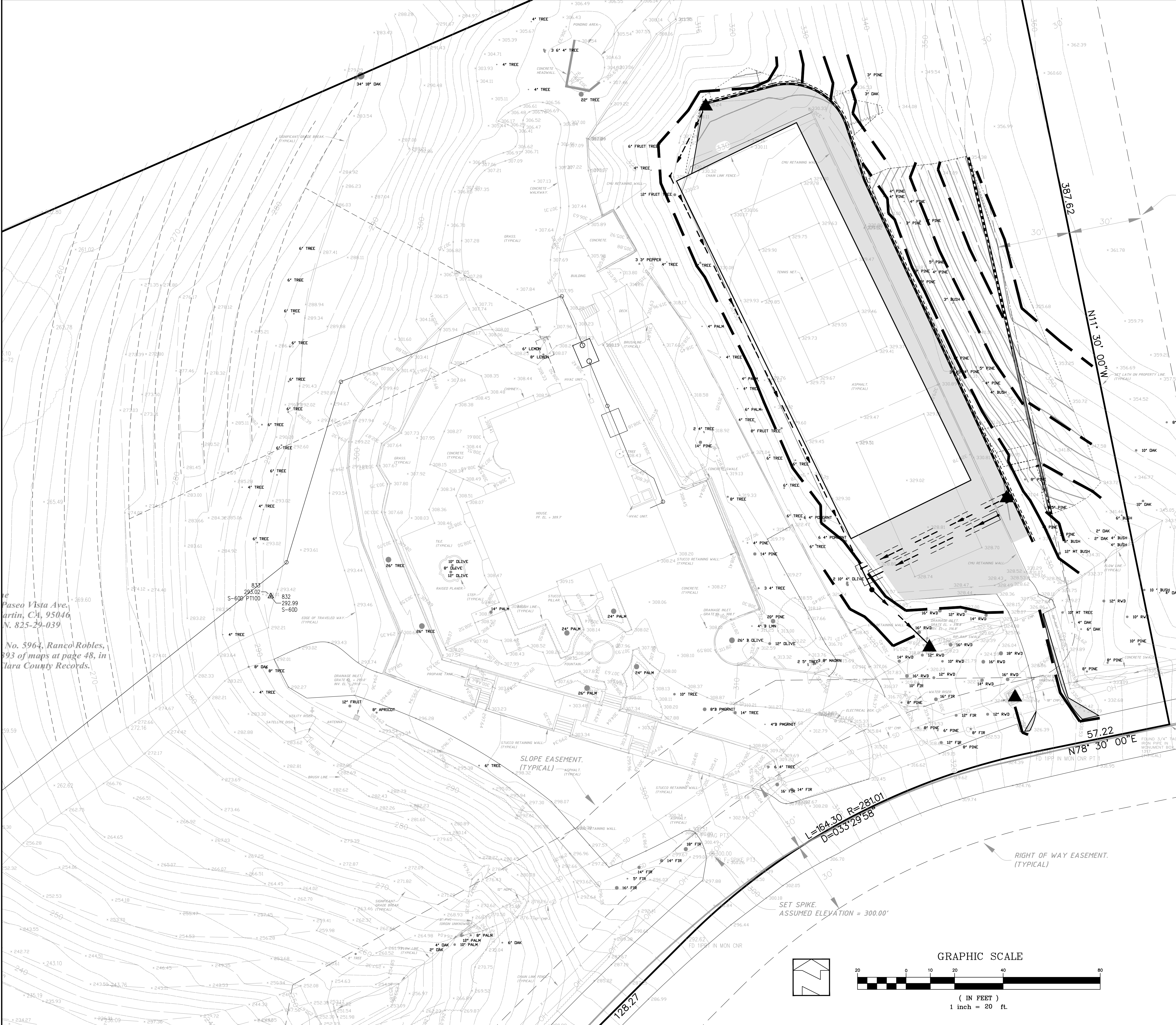
ROAD: 3085 PASEO VISTA AVENUE

COUNTY FILE NO.: PLN20-0105 (R1)

JOB NO. 19076



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EROSION CONTROL NOTES

- EROSION CONTROL MEASURES SHALL BE EFFECTIVE FOR CONSTRUCTION DURING THE RAINY SEASON; OCTOBER 15 THROUGH APRIL 15.
- NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN INTO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM SYSTEM UNTIL SUITABLE EROSION CONTROL MEASURES ARE FULLY IMPLEMENTED. NO STORM WATER RUNOFF SHALL BE ALLOWED TO ENTER THE STORM DRAIN SYSTEM THAT IS NOT CLEAR, AND FREE OF SILTS.
- A FIBER ROLL BARRIER PER "DETAIL SE-5" SHALL BE INSTALL ALONG THE PERIMETER OF THE PROJECT SITE. THE LOCATION OF THE FIBER ROLL ALONG THE PERIMETER SHALL BE ADJUSTED TO ELIMINATE SEDIMENT LADEN RUNOFF FROM LEAVING THE SITE. A FIBER ROLL SHALL ALSO BE REQUIRED AROUND THE PERIMETER OF ANY STOCKPILE OR OTHER SITE OF BARE, LOOSE EARTH.
- ALL STORM DRAIN MANHOLES, CATCH BASINS, AND/OR DROP INLETS THAT ARE TO ACCEPT STORM WATER SHALL HAVE INLET PROTECTION MEASURES PER DETAIL SE-10. STORM WATER RUNOFF SHALL BE DIRECTED TO THESE INLETS ONLY. STORM DRAIN CATCH BASINS THAT ARE NOT COMPLETE, SHALL BE BLOCKED OFF COMPLETELY.
- THE NAME, ADDRESS, AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR THE IMPLEMENTATION OF THE EROSION CONTROL PLAN SHALL BE PROVIDED TO THE COUNTY.
- PRIOR TO GRADING, AN ENTRANCE SHALL BE CONSTRUCTED, CONSISTING OF A MINIMUM OF 50 LF OF DRAIN ROCK, 3" IN DIAMETER, PLACED OVER MIRAFI 500X (OR EQUAL) PER DETAIL TC-1. THE ENTRANCE SHALL CONFORM TO "CONSTRUCTION ENTRANCE DETAIL TC-1". THERE SHALL BE ONLY ONE ENTRANCE/EXIT POINT TO THE SITE DURING THE RAINY SEASON. THE LOCATION SHALL BE AS SHOWN ON THESE PLANS, OR AT A LOCATION APPROVED BY THE COUNTY.
- ALL AREAS OF BARE, TURNED OR DISTURBED EARTH SHALL BE STABILIZED BY USE OF HYDROSEED PER THE TABLE BELOW. ALL STOCKPILES, AND/OR BORROW AREAS SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES SUCH AS A PERIMETER SILT FENCE, AND OTHER METHODS TO PREVENT ANY EROSION OR SILTS MIGRATION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THE EROSION CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS, BUT ONLY WITH THE APPROVAL OF, OR AT THE DIRECTION OF THE COUNTY INSPECTOR. THE STORM DRAIN SYSTEM SHALL MAINTAIN A FORM OF DRAIN INLET PROTECTION UNTIL COUNTY ACCEPTS THE FINAL STREET IMPROVEMENTS. THE DRAIN INLET PROTECTION SHALL BE MAINTAINED, EFFECTIVE AND SUBJECT TO COUNTY INSPECTOR'S APPROVAL.
- ALL PAVED STREET, AND AREAS ADJACENT TO THE SITE SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO ELIMINATE SEDIMENT LADEN RUNOFF FROM ENTERING THE STORM DRAIN SYSTEM.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND REPAIR ALL EROSION CONTROL FACILITIES AT THE END OF EACH DAY DURING THE RAINY SEASON. ANY DAMAGED STRUCTURAL MEASURES ARE TO BE REPAIRED BY END OF THE DAY. TRAPPED SEDIMENT IN "SD INLETS" (AND OTHER EROSION CONTROL MEASURES) SHALL BE REMOVED TO MAINTAIN TRAP EFFICIENCY. REMOVED SEDIMENT SHALL BE DISPOSED BY SPREADING ON SITE, WHERE IT WILL NOT MIGRATE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREVENT THE FORMATION OF AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM A FAILURE TO DO SO.
- ALL DRAIN SWALES SHALL BE PER DETAIL EC-9.
- INCOMPLETE GRADING SHALL NOT BE ALLOWED. CONTRATOR SHALL MAINATIN A DRAIN PATH AS SHOWN ON THIS PLAN. SAID DRAIN PATH SHALL BE MAINTAINED LINED DRAIN SWALES, AND INLET PROTECTION AT A MINIMUM. IF PONDING DOES OCCUR ON THE SITE AFTER GRADING, THE WATER MUST BE FREE AND CLEAR OF SEDIMENT PRIOR TO DISCHARGE TO THE STORM DRAIN SYSTEM. THIS REQUIREMENT MAY NECESSITATE THE USE OF NATURAL AND/OR MECHANICAL DESILTING METHODS, SUBJECT TO APPROVAL BY THE COUNTY INSPECTOR.
- F THESE EROSION CONTROL MEASURE PROVE INADEQUATE, STRAW MULCH, TACKIFIER, AND ADDITIONAL HYDROSEEDING MAY BE REQUIRED.

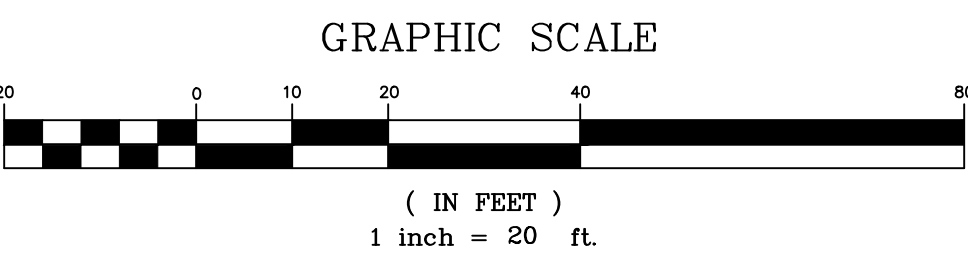
HYDROSEED TABLE

ITEM	LBS/ACRE
COMMON BARLEY	45
ANNUAL RYEGRASS	45
CRIMSON CLOVER	10
FERTILIZER 7-2-3	400
FIBER MULCH	2000
TACKIFIER	100

- REDUCTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN/STAGING AREAS.
  - PREVENTION OF TRACKING OF MUD, DIRT AND CONSTRUCTION MATERIALS ONTO PUBLIC ROAD RIGHT OF WAY.
  - PREVENTION OF DISCHARGE OF WATER RUNOFF DURING DRY AND WET WEATHER CONDITIONS ONTO PUBLIC ROAD RIGHT OF WAY
- THE OWNER/OWNER'S CONTRACTOR, AGENT, AND/OR ENGINEER SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY MAINTAINED ROAD RIGHT OF WAY AND ANY PORTION OF THE SITE WHERE STORM WATER RUN-OFF IS DIRECTLY FLOWING INTO THE SANTA CLARA COUNTY MAINTAINED ROAD RIGHT OF WAY SHALL HAVE SEASONALLY APPROPRIATE BMP'S INSTALLED AND MAINTAINED AT ALL TIMES.

LEGEND

- PROVIDE FIBER ROLL SLOPE PROTECTION PER DETAIL SE-5
- PROVIDE STORM DRAIN INLET PROTECTION PER DETAIL SE-10



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Erosion Control Plan  
Lands of - 3085 Paseo Vista Avenue - apn 825-29-039

SANTA CLARA COUNTY  
CALIFORNIA

SHEET  
6  
OF 8  
JOB NO.  
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APPLICANT: MENEKSHE

ROAD: 3085 PASEO VISTA AVENUE

COUNTY FILE NO.: PLN20-0105 (R1)

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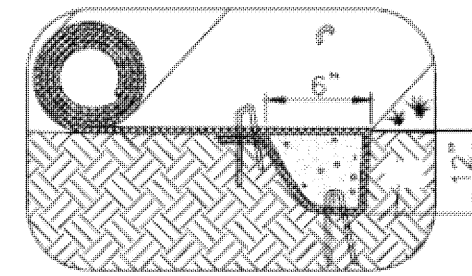
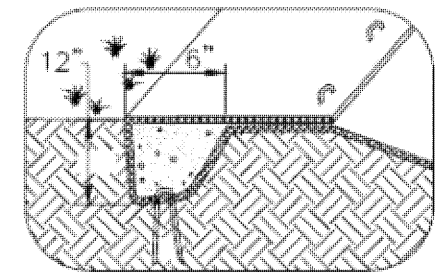
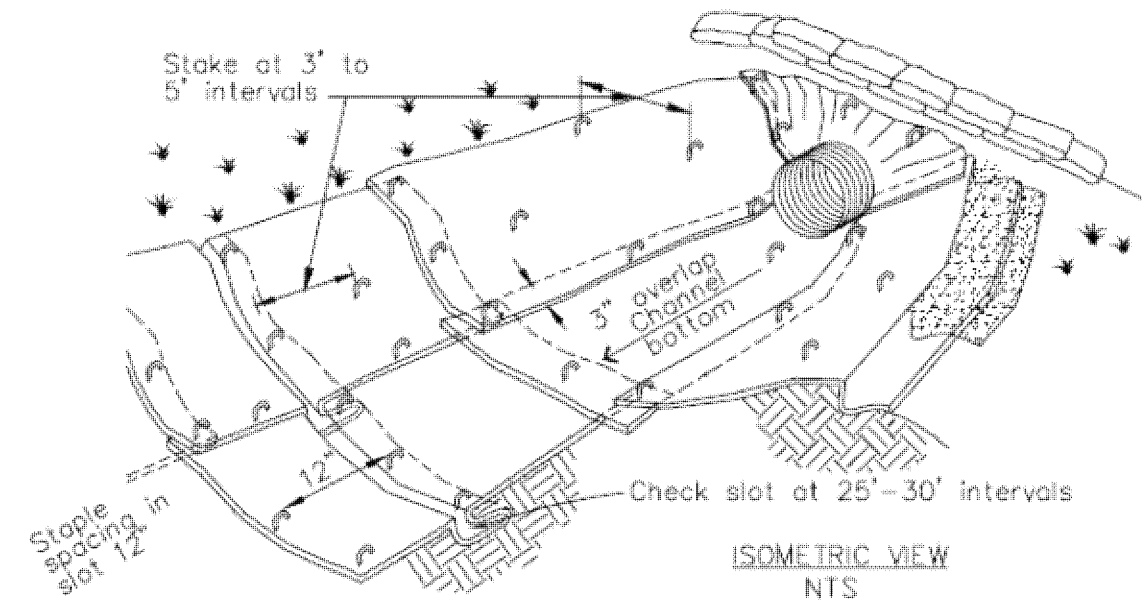
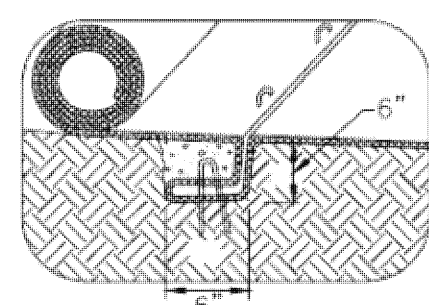
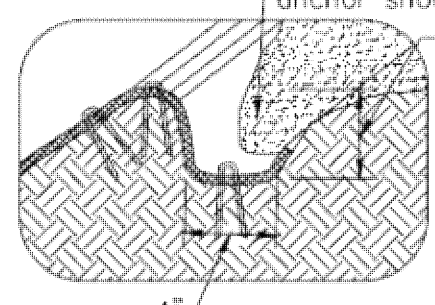




7

**Geotextiles and Mats**

CASQA Detail EC-7

INITIAL CHANNEL ANCHOR TRENCH  
NTSTERMINAL SLOPE AND CHANNEL  
ANCHOR TRENCH  
NTSISOMETRIC VIEW  
NTSINTERMITTENT CHECK SLOT  
NTSLONGITUDINAL ANCHOR TRENCH  
NTS

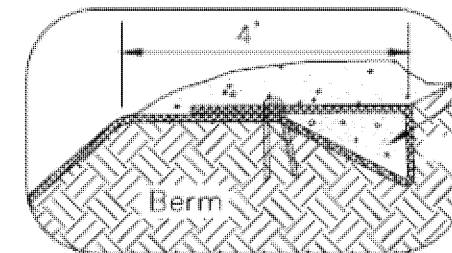
- NOTES:
1. Check slots to be constructed per manufacturers specifications.
  2. Staking or stapling layout per manufacturers specifications.
  3. Install per manufacturer's recommendations

TYPICAL INSTALLATION DETAIL

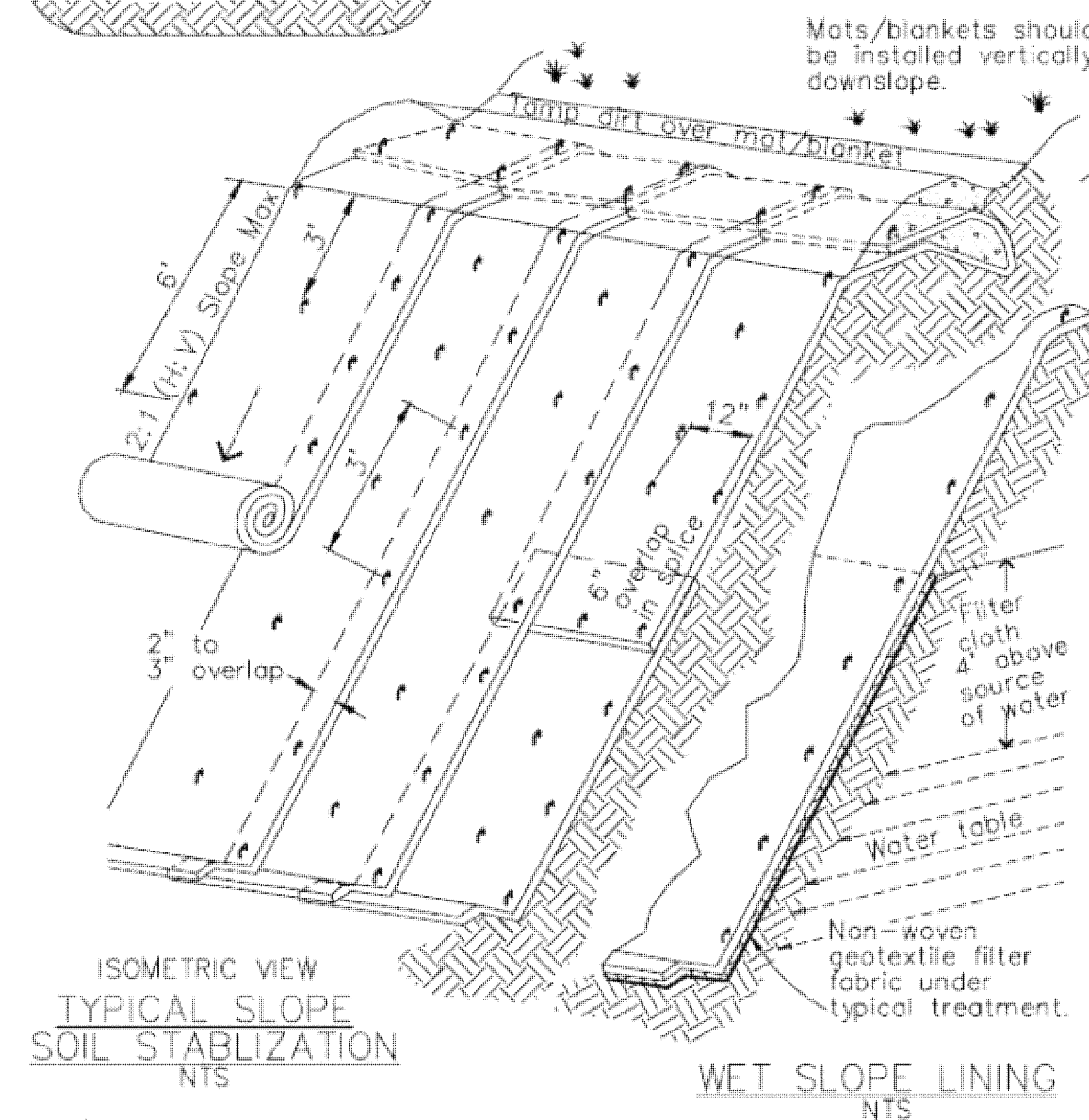
5

**Geotextiles and Mats**

CASQA Detail EC-7



6" X 6" anchor trench

ISOMETRIC VIEW  
TYPICAL SLOPE  
SOIL STABILIZATION  
NTSWET SLOPE LINING  
NTS

## NOTES:

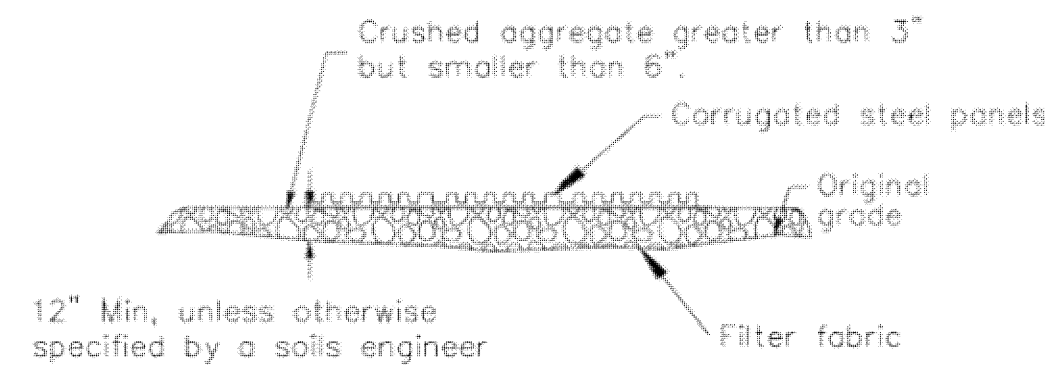
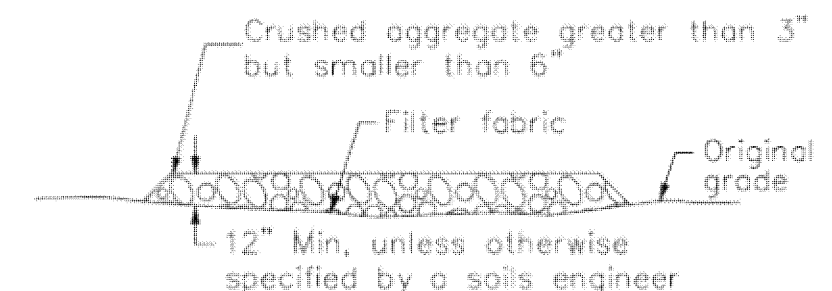
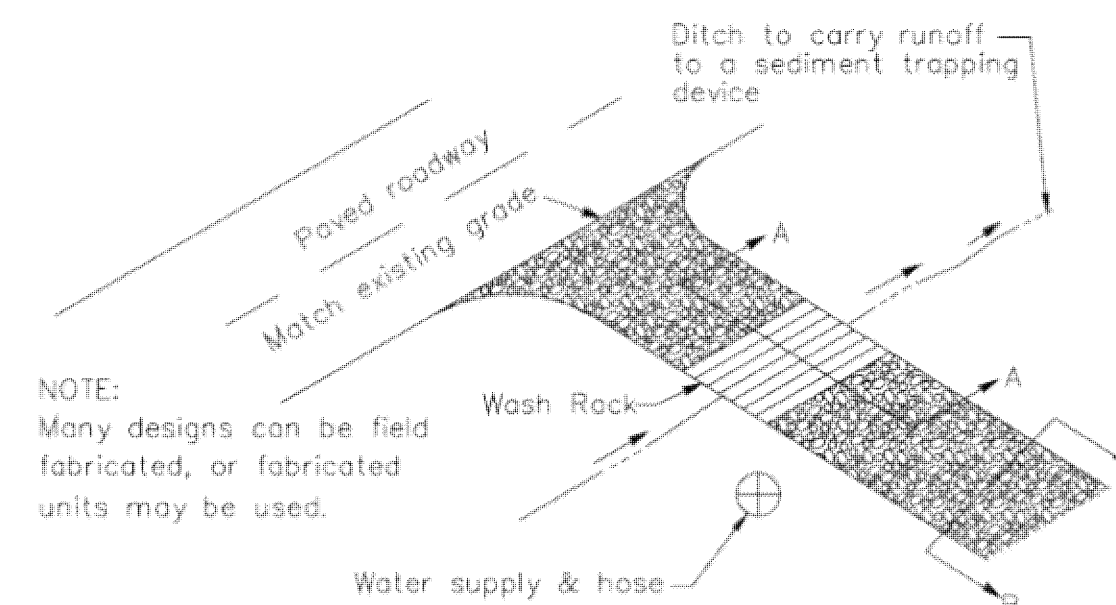
1. Slope surface shall be free of rocks, clods, sticks and grass. Mats/blankets shall have good soil contact.
2. Lay blankets loosely and stake or staple to maintain direct contact with the soil. Do not stretch.
3. Install per manufacturer's recommendations

TYPICAL INSTALLATION DETAIL

3

**Entrance/Outlet Tire Wash**

CASQA Detail TC-3

SECTION A-A  
NOT TO SCALESECTION B-B  
NTS

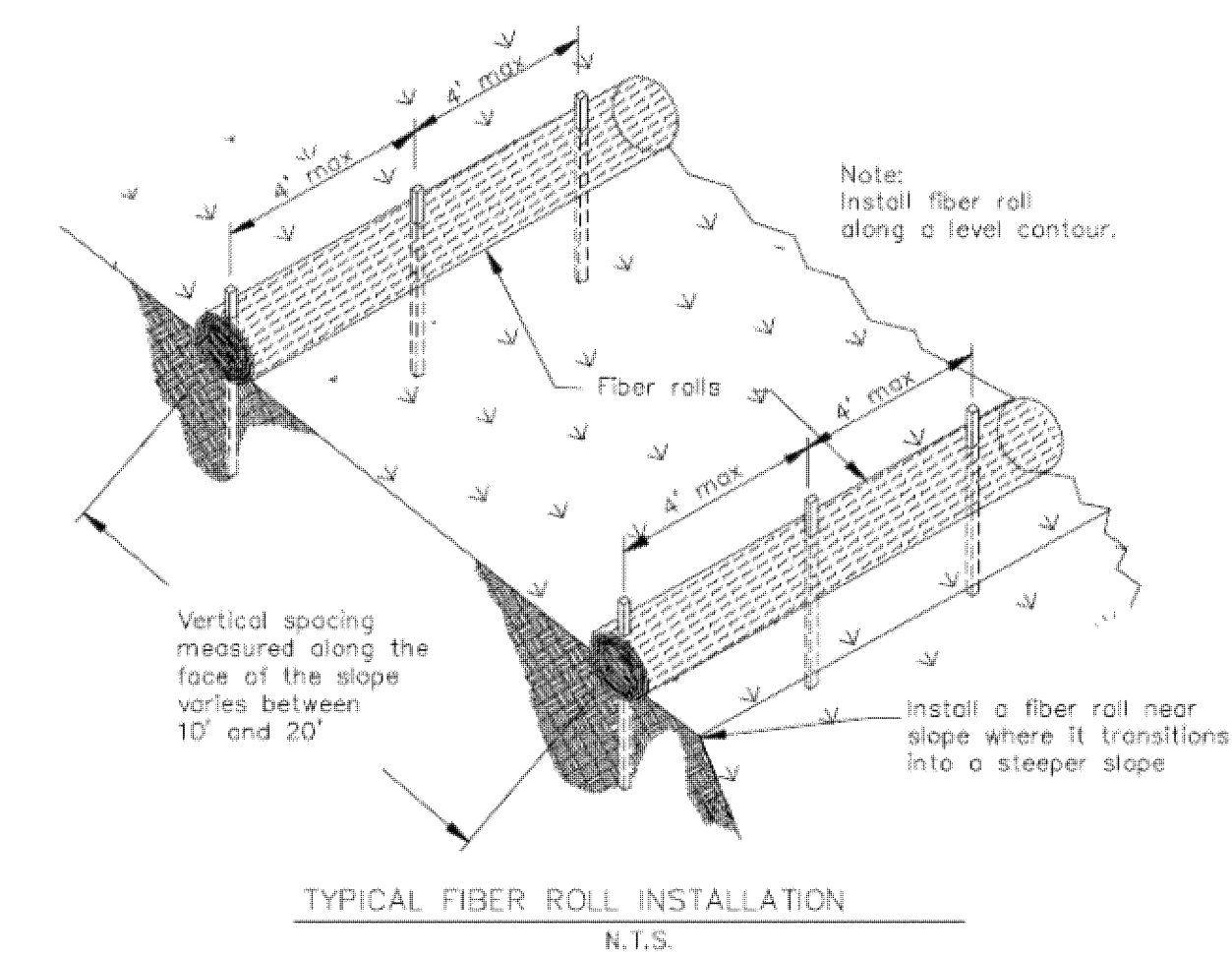
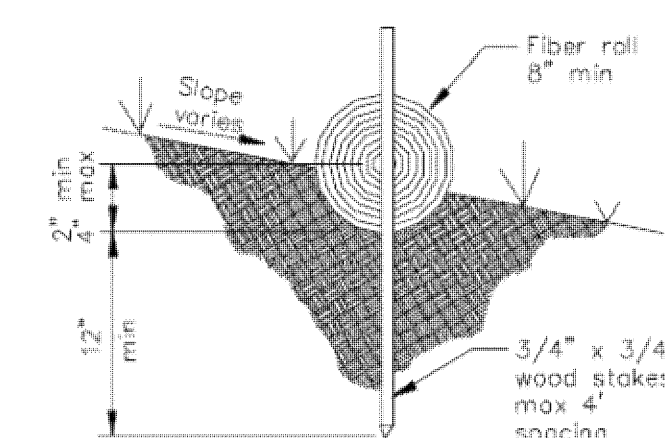
NOTE:  
Many designs can be field fabricated, or fabricated units may be used.

TYPICAL TIRE WASH  
NOT TO SCALE

1

**Fiber Rolls**

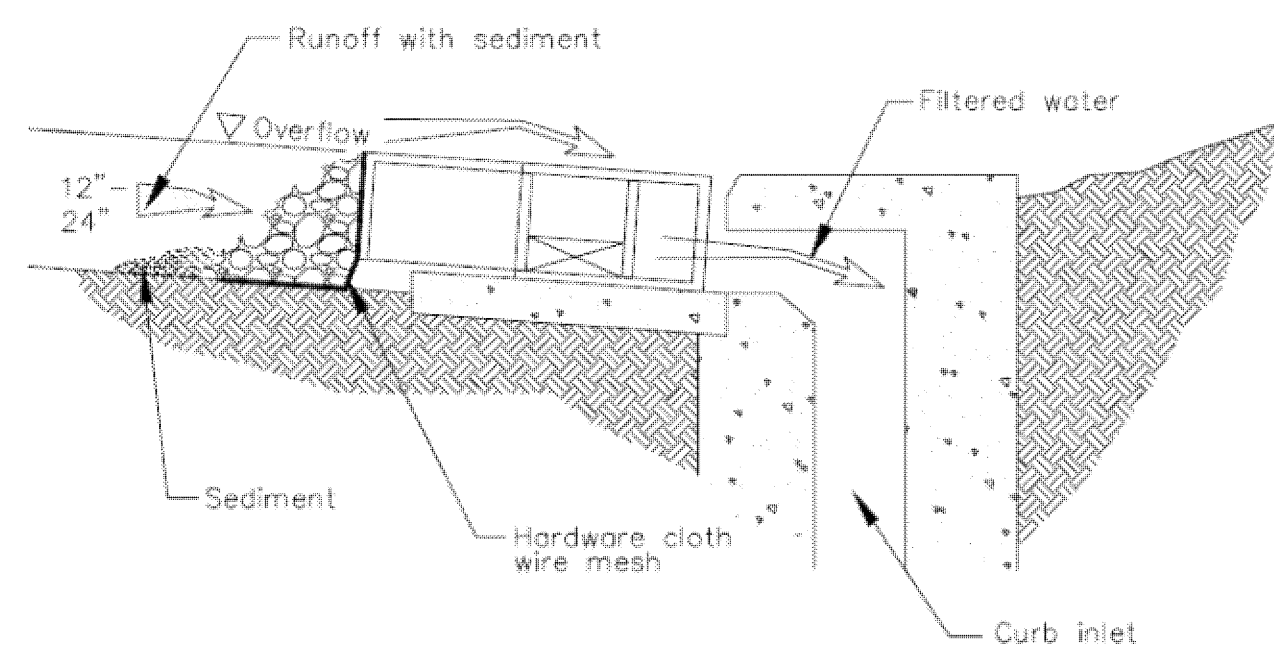
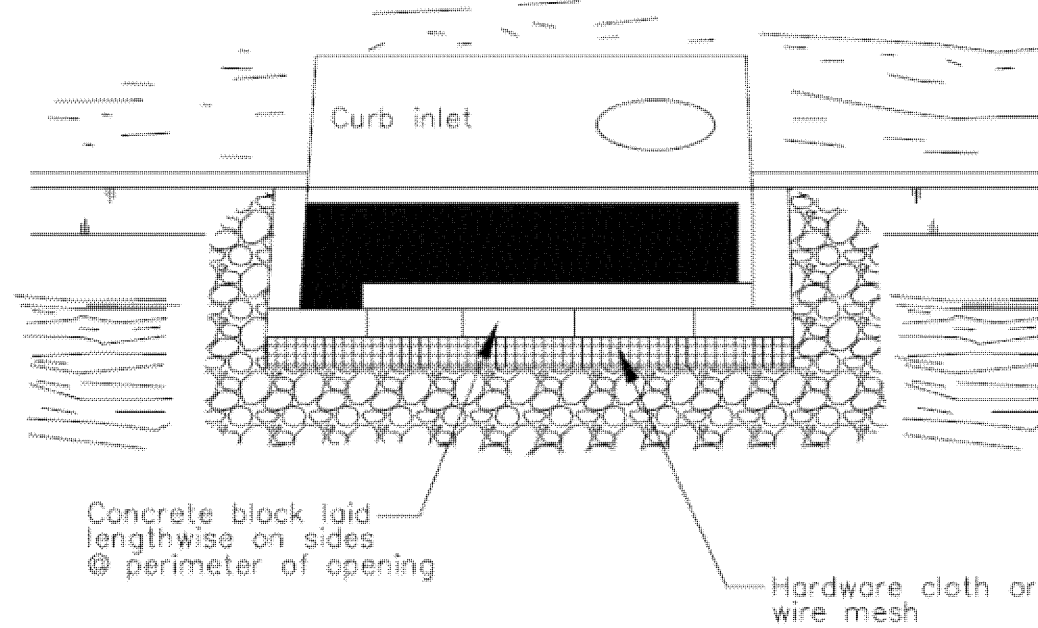
CASQA Detail SE-5

TYPICAL FIBER ROLL INSTALLATION  
N.T.S.ENTRENCHMENT DETAIL  
N.T.S.

8

**Storm Drain Inlet Protection**

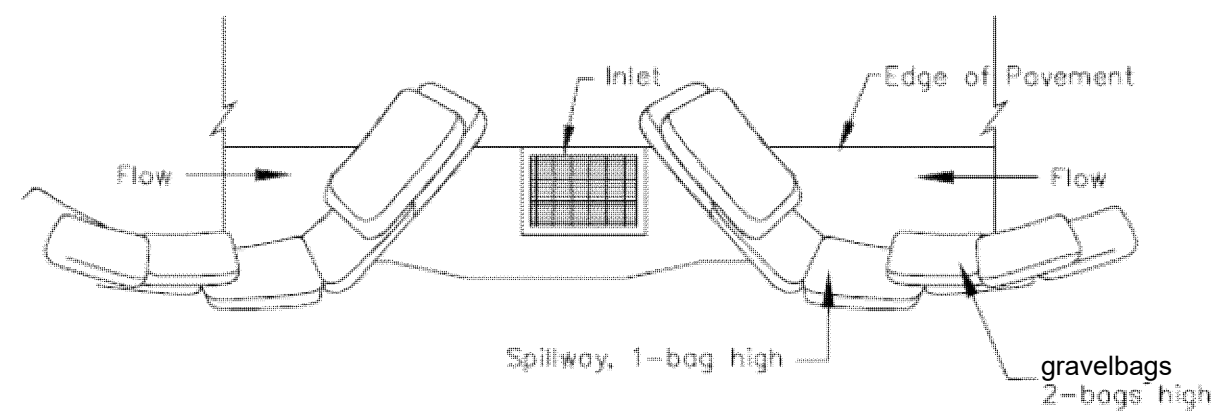
CASQA Detail SE-10

DI PROTECTION -- TYPE 4  
NOT TO SCALE

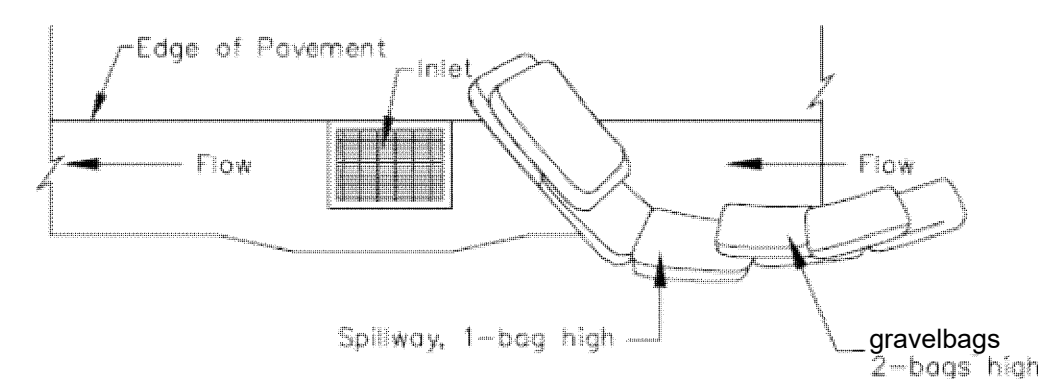
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**Storm Drain Inlet Protection**

CASQA Detail SE-10



TYPICAL PROTECTION FOR INLET ON SUMP



TYPICAL PROTECTION FOR INLET ON GRADE

## NOTES:

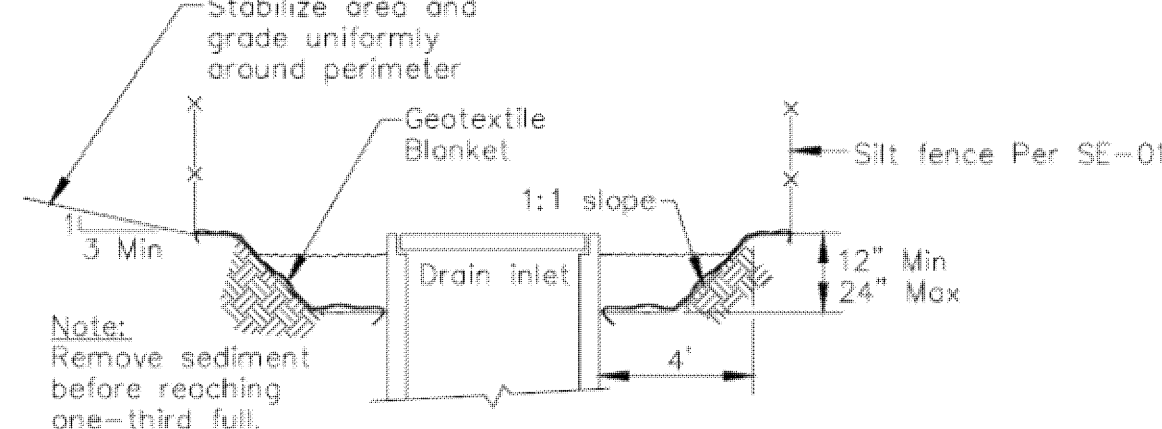
1. Intended for short-term use.
2. Use to inhibit non-storm water flow.
3. Allow for proper maintenance and cleanup.
4. Bags must be removed after adjacent operation is completed
5. Not applicable in areas with high silts and clays without filter fabric.

DI PROTECTION TYPE 3  
NOT TO SCALE

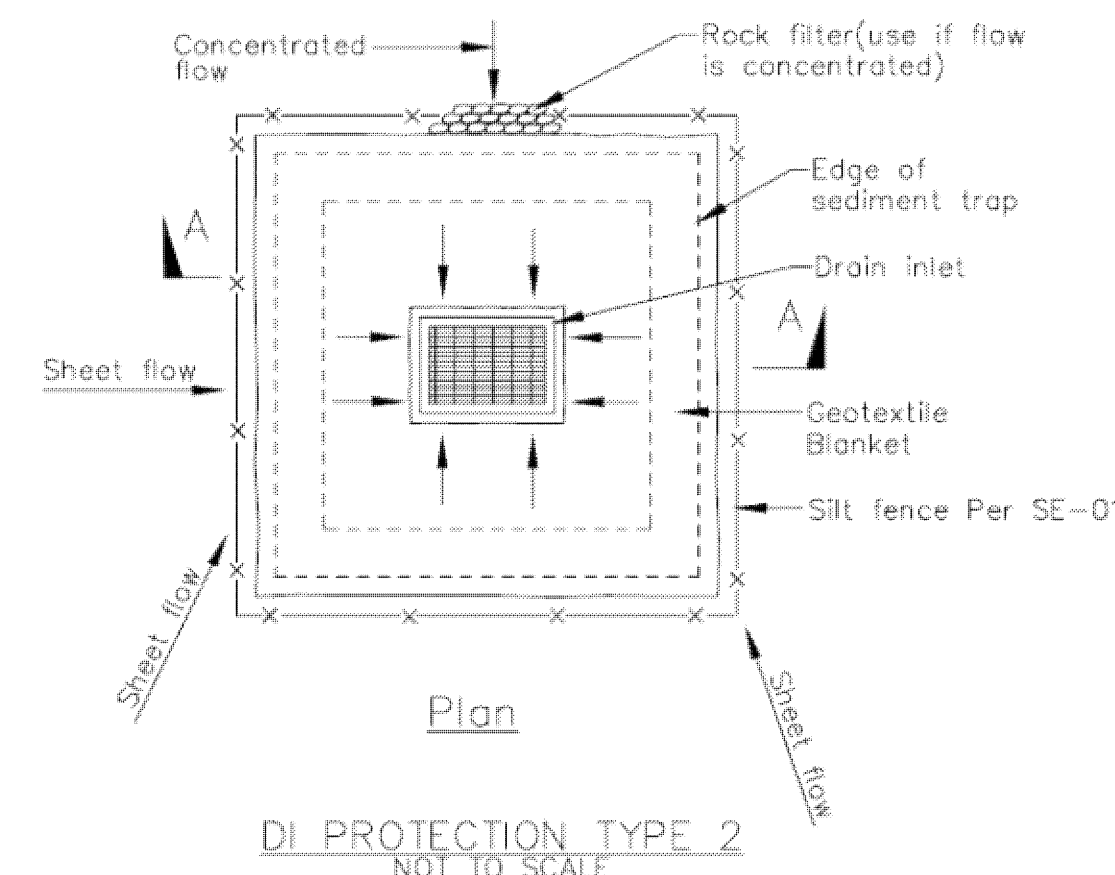
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**Storm Drain Inlet Protection**

CASQA Detail SE-10



Section A-A

DI PROTECTION TYPE 2  
NOT TO SCALE

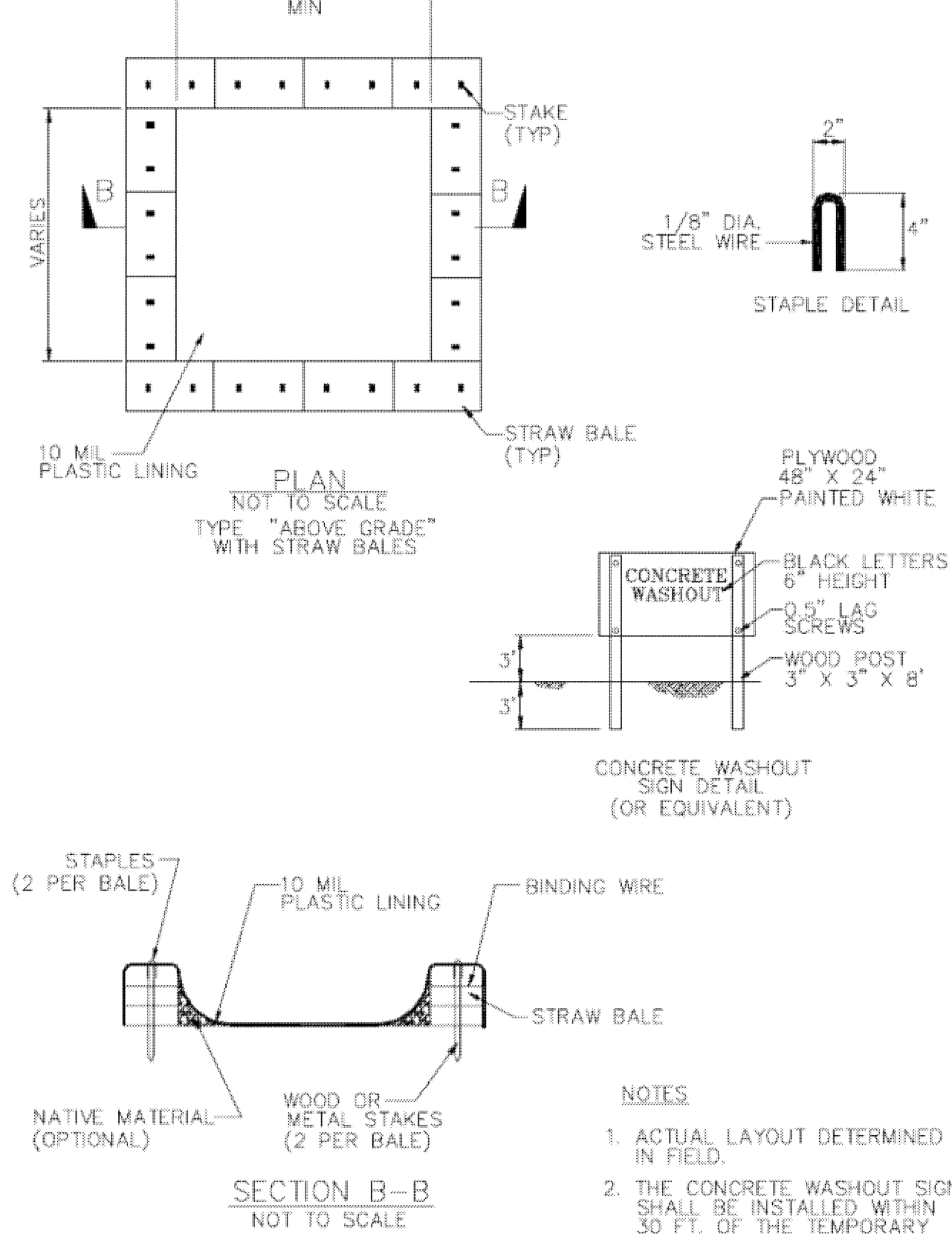
## Notes

1. For use in cleared and grubbed end in graded areas.
2. Shape basin so that longest inflow area faces longest length of trap.
3. For concentrated flows, shape basin in 2:1 ratio with length oriented towards direction of flow.

2

**Concrete Waste Management**

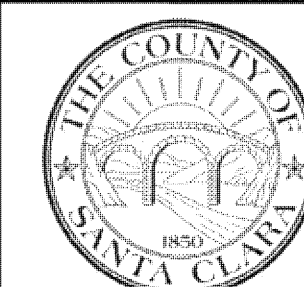
CASQA Detail WM-8



## NOTES

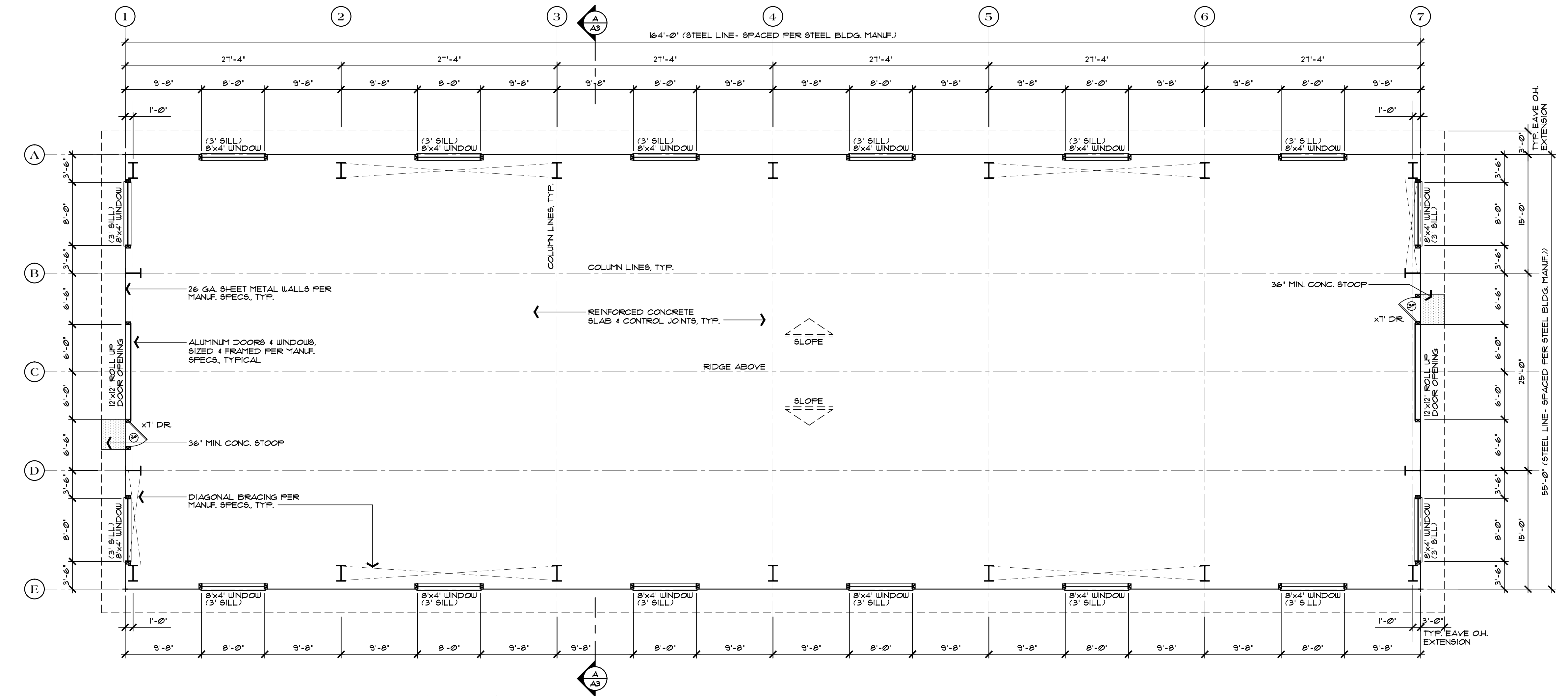
1. ACTUAL LAYOUT DETERMINED IN FIELD.
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.  
Available from [www.cabmphandbooks.com](http://www.cabmphandbooks.com).





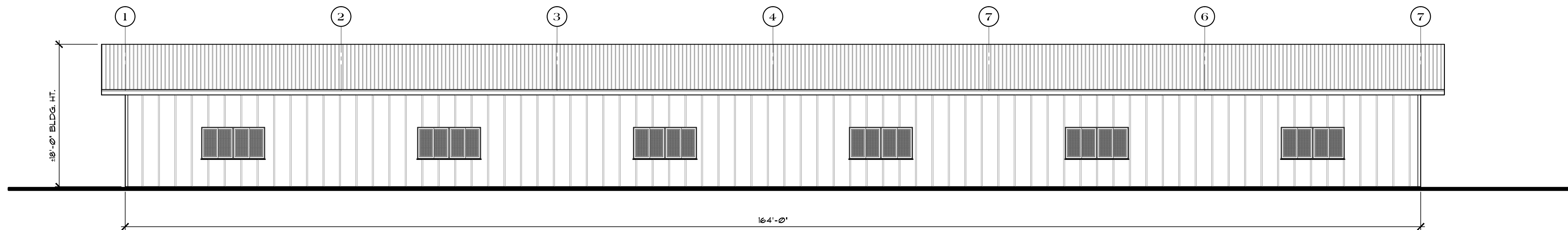
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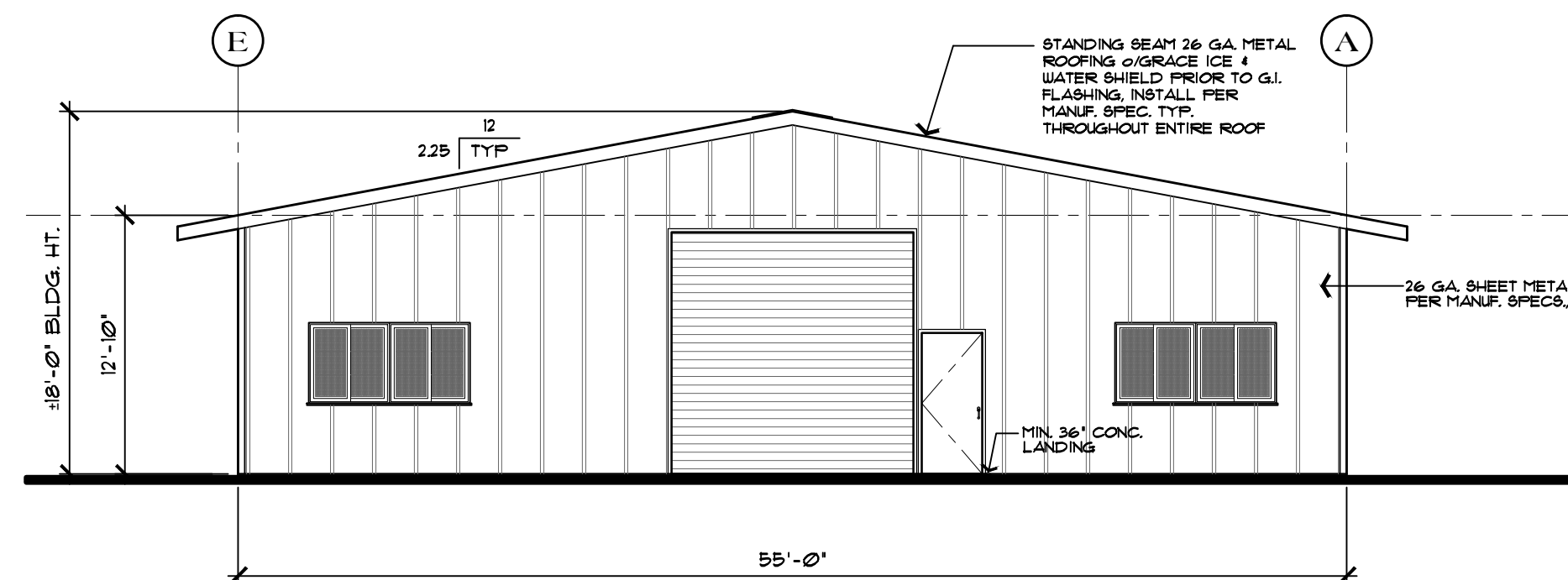
Accessory Structure Floor Plan

9,020 sq. ft. (floor area)  
3,332 sq. ft. (area above 16' clg. ht.)  
12,352 sq. ft. (Total)

scale: 1/8"=1'-0"

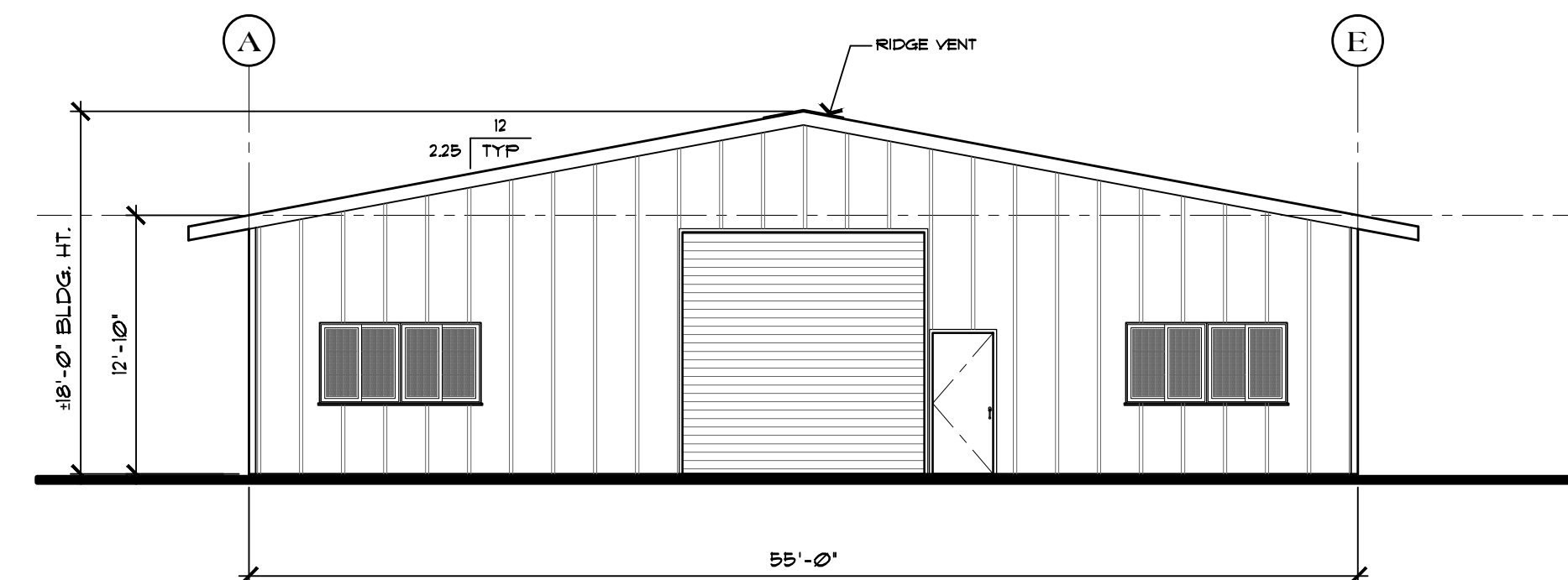


front side elevation (rear side sim.)



left side elevation

1. ROOFING MATERIAL:  
Standing Seam Metal Roofing  
Charcoal, LRV 15
2. BASE COLOR:  
Sheet Metal Walls (& downspouts)  
Forest Green, LRV 9
3. PAINT TRIM COLOR:  
flange board, fascia  
Warm White, LRV 67
4. WINDOWS:  
Milgard Windows or Eq.  
White Frames
5. DOORS:  
roll-up & man doors  
Warm White, LRV 67
- Note:  
All materials per steel building manufacturer.  
American Buildings, a Nucor Co.



right side elevation

NO. / DATE / REVISION

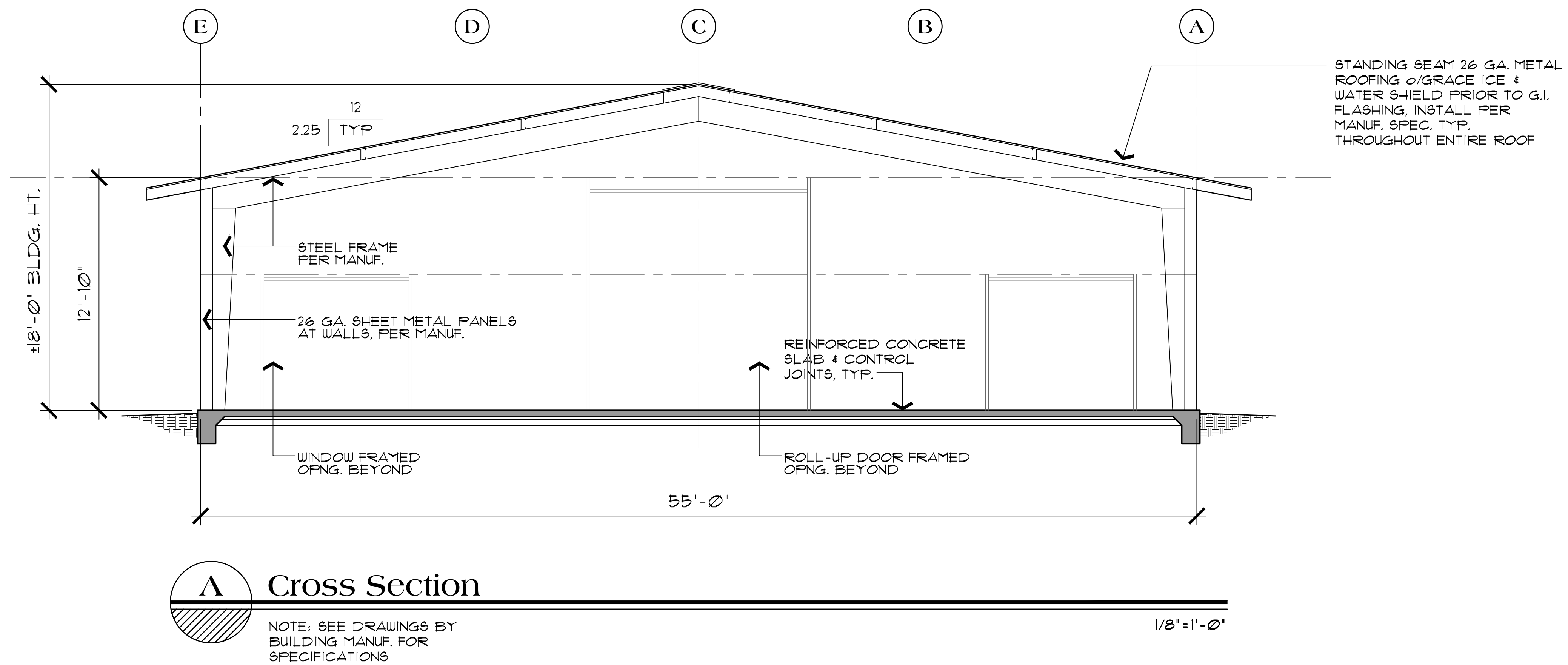
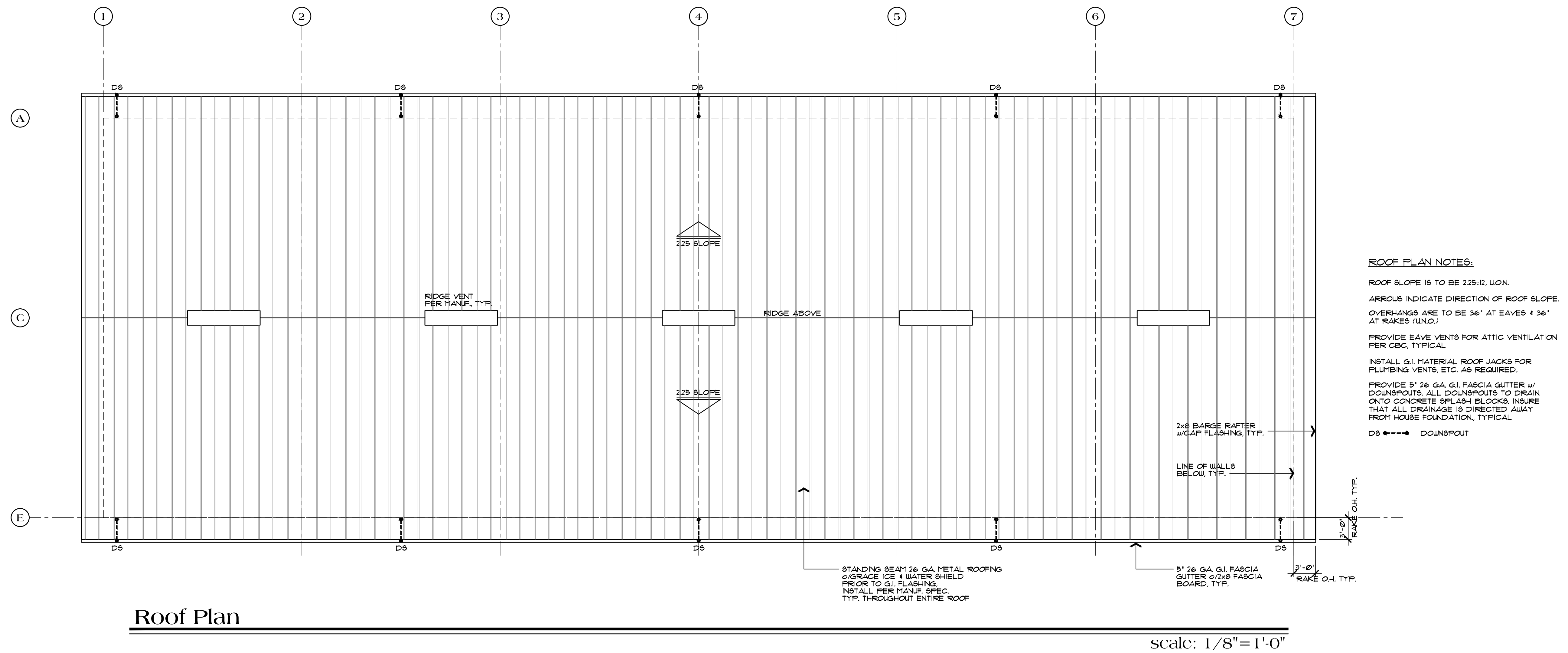
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**DZ Design Associates, Inc.**  
A California Corporation  
18646 Sutter Blvd., Suite 500  
Morgan Hill, California 95037  
Phone: (408) 775-7045 Fax: (408) 775-7084  
Email: dzdesign@bldg.com

DRAWING TITLE
Floor Plan & Elevations
JOB TITLE
Menekshe Accessory Structure
JOB ADDRESS
A.P.N. 825-29-039 3085 Paseo Vista Avenue San Martin, California

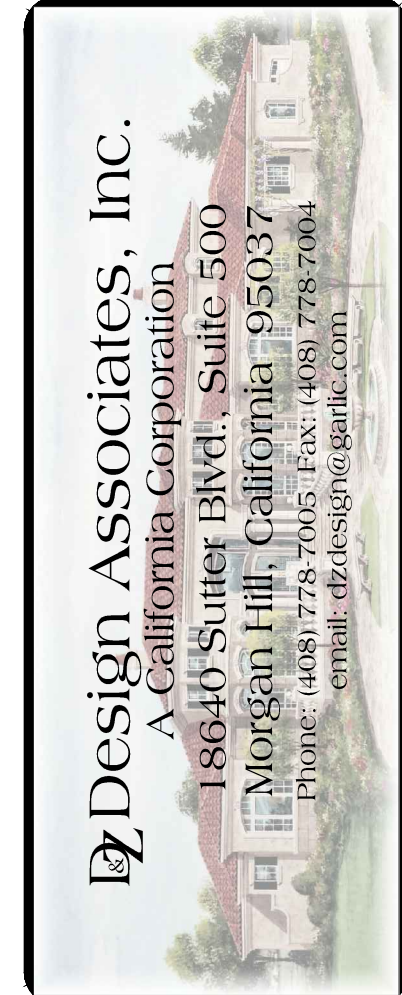
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APRIL 6, 2020
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PROJECT MANAGER
SCOTT ZAZUETA
DRAWN
DZ
JOB NO.
DZ0520
SHEET

A1



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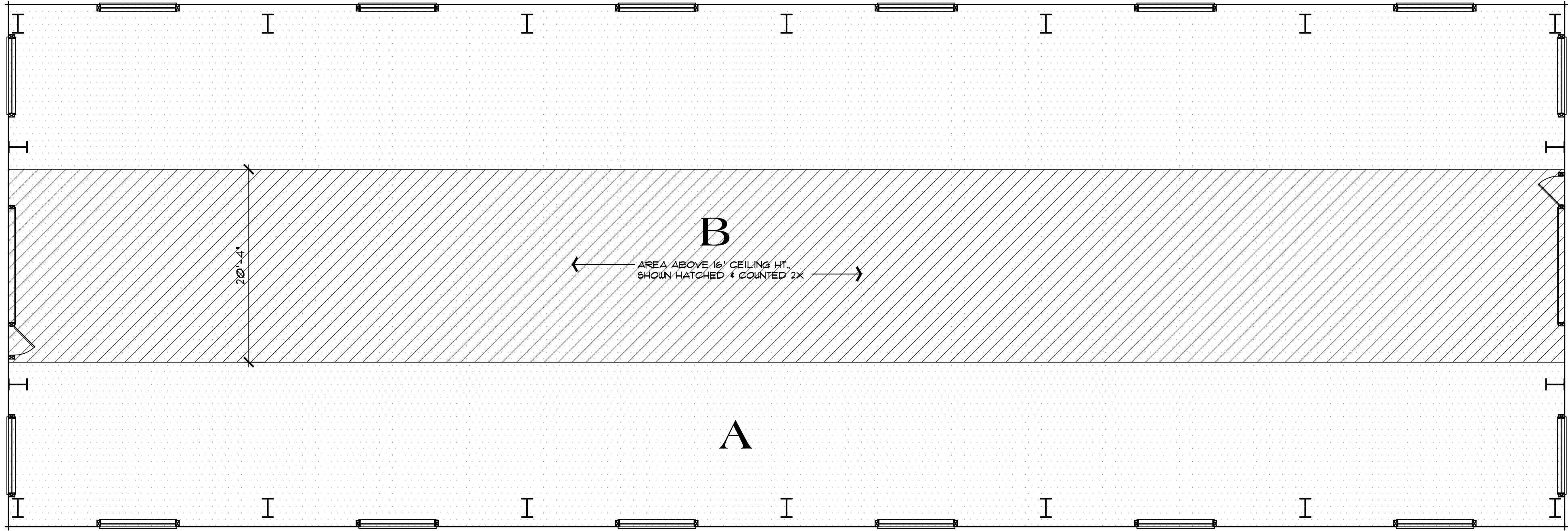
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Floor Plan & Elevations
JOB TITLE
Menkshe Accessory Structure
JOB ADDRESS
A.P.N. 825-29-039 3085 Paseo Vista Avenue San Martin, California

DATE
APRIL 6, 2020
SCALE
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SCOTT ZAZUETA
DRAWN
DZ
JOB NO.
DZ0320
SHEET

A2



DZ12-48/2020 8:11 PM C:\Users\DZDesign1\Documents\02 Projects\Avanda Steel Blg\020520-a2.dwg



Floor Area Diagram

A	9,020 sq. ft. (floor area)
B	3,332 sq. ft. (area above 16' clg. ht.)
<hr/>	
Total:	12,352 sq. ft.

scale: 1/8"=1'-0"

NO./ DATE/ REVISION

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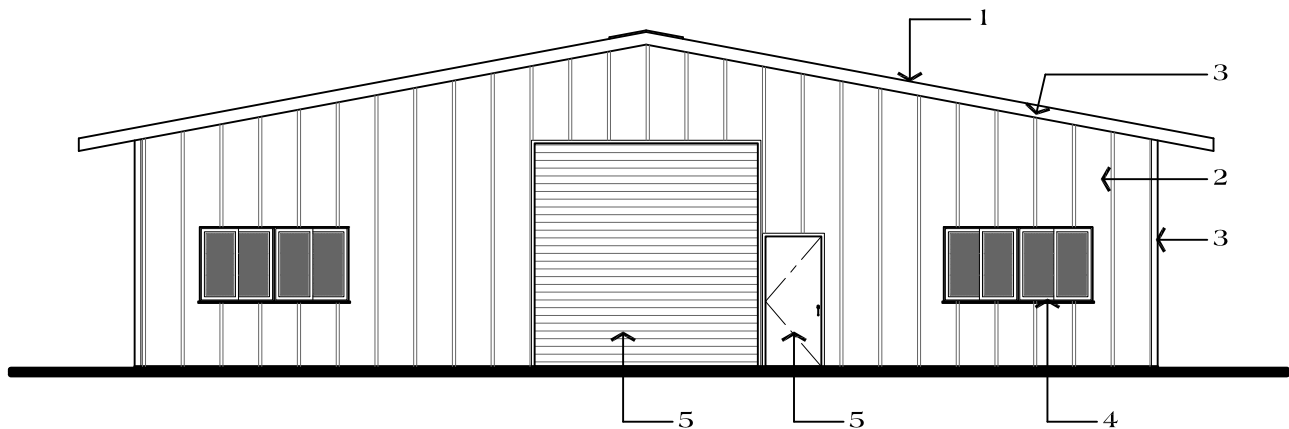


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Floor Area Diagram
JOB TITLE
Menekshe Accessory Structure
JOB ADDRESS
A.P.N. 825-29-039 3085 Pasco Vista Avenue San Martin, California

DATE
APRIL 6, 2020
SCALE
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SCOTT ZAZULETA
DRAWN
DZ
JOB NO.
DZ0520
SHEET

A3

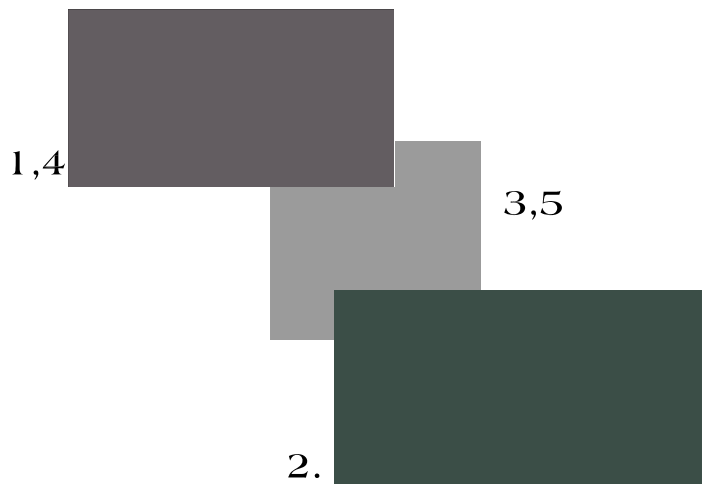
**ATTACHMENT E**  
**Color Board for Light Reflective Value (LRV)**



## Menekshe Accessory Structure

3085 Paseo Vista Avenue  
San Martin, California

- 1 ROOFING MATERIAL:  
Standing Seam Metal Roofing  
'Charcoal', LRV 34
- 2 BASE COLOR:  
Sheet Metal Walls (& downspouts)  
'Forest Green', LRV 25
- 3 PAINT TRIM COLOR:  
(barge board, fascia)  
'Slate Gray', LRV 40
- 4 WINDOWS:  
Milgard Windows or Eq.  
'Charcoal' Frames LRV 34
- 5 DOORS:  
(roll-up & man doors)  
'Slate Gray', LRV 40

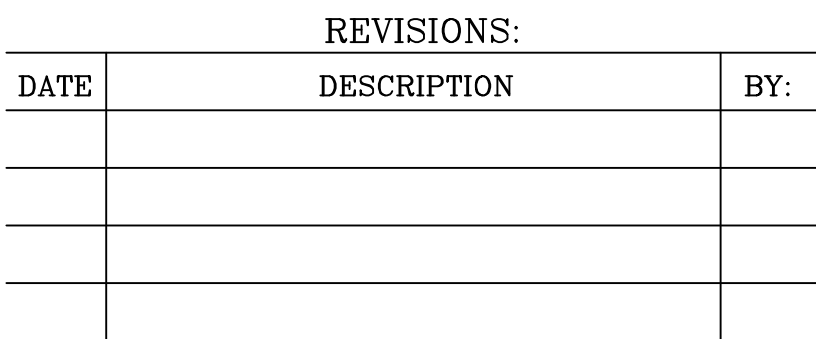


### Note:

All materials per steel building manufacturer.  
'American Buildings, a Nucor Co.'

# **ATTACHMENT F**

## **Orchard Plan**



APPLICANT: MENEKSHE



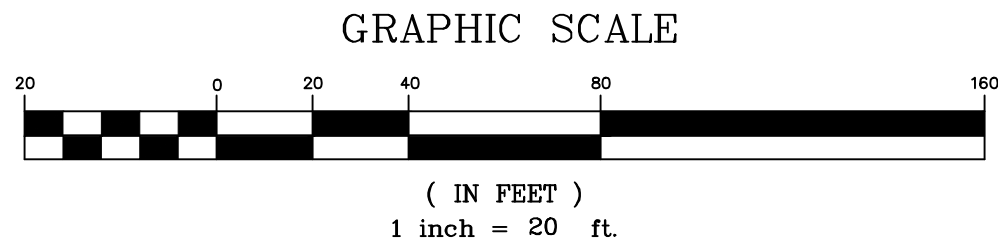
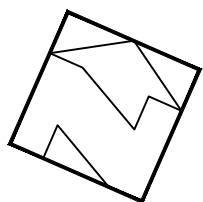
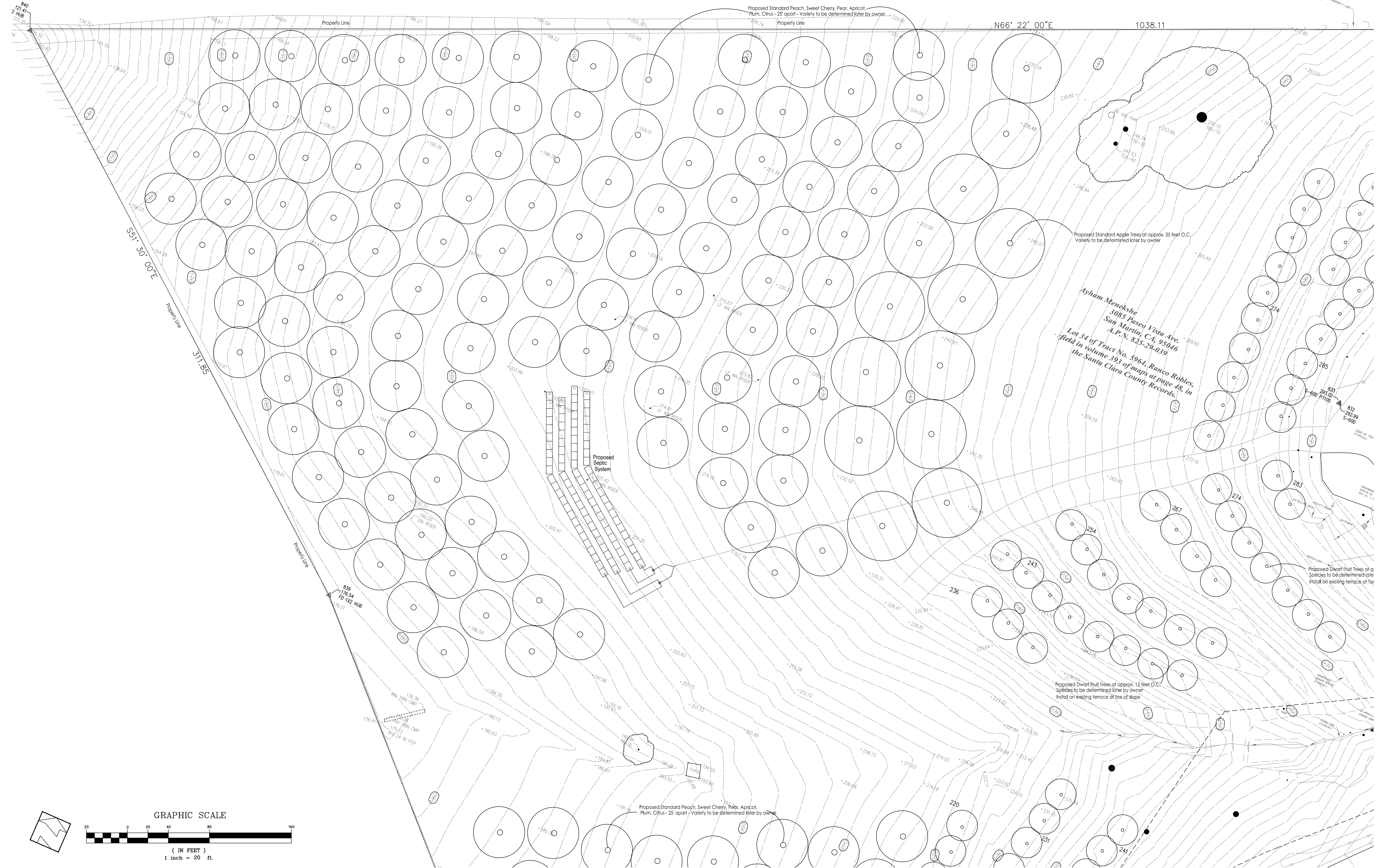
AREA  
DATE

COUNTY FILE NO.: PLN20-0105

JOB NO. 19071



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REVISIONS:		
DATE	DESCRIPTION	BY:

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LANDSCAPE ARCHITECT  
LIC. # 2176  
736 PARK WAY, SANTA CRUZ, CA  
(831) 359-0960  
lewislandscape@sbcglobal.net

DATE: 7/28/21  
HORIZ. SCALE: 1"=20'-0"  
VERT. SCALE: NA  
DESIGNED BY: GREG  
CHECKED BY: GREG  
DRAWN BY: GREG



REFERENCES


AREA  
DATE

FRUIT TREE PLANTING PLAN

LANDS OF MENKSHE-3085 PASEO VISTA AVENUE APN 825-29-039

COUNTY FILE NO.: PLN20-0105

ROAD: 3085 PASEO VISTA AVENUE

APPLICANT: MENKSHE

SHEET

L2

OF SHEETS

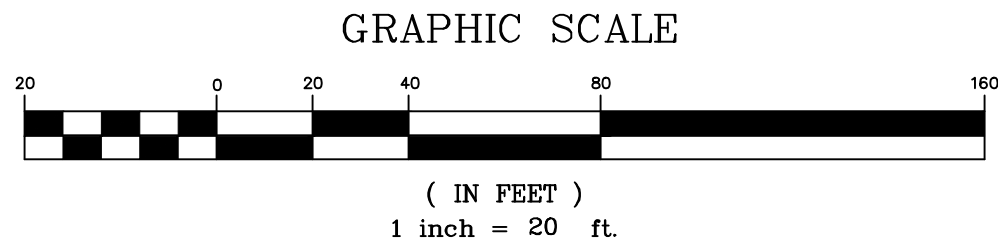
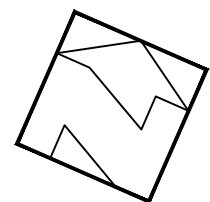
COUNTY  
STATE

JOB#

JOB NO. 19071



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DATE: 7/28/21  
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VERT. SCALE: 1"=10'-0"  
DESIGNED BY: GREG  
CHECKED BY: GREG  
DRAWN BY: GREG



REFERENCES

	AREA
	DATE

APPLICANT: MENESHE

ROAD: 3085 PASEO VISTA AVENUE

# FRUIT TREE PLANTING PLAN

LANDS OF MENESHE-3085 PASEO VISTA AVENUE APN 825-29-039

COUNTY FILE NO.: PLN20-0105

SHEET

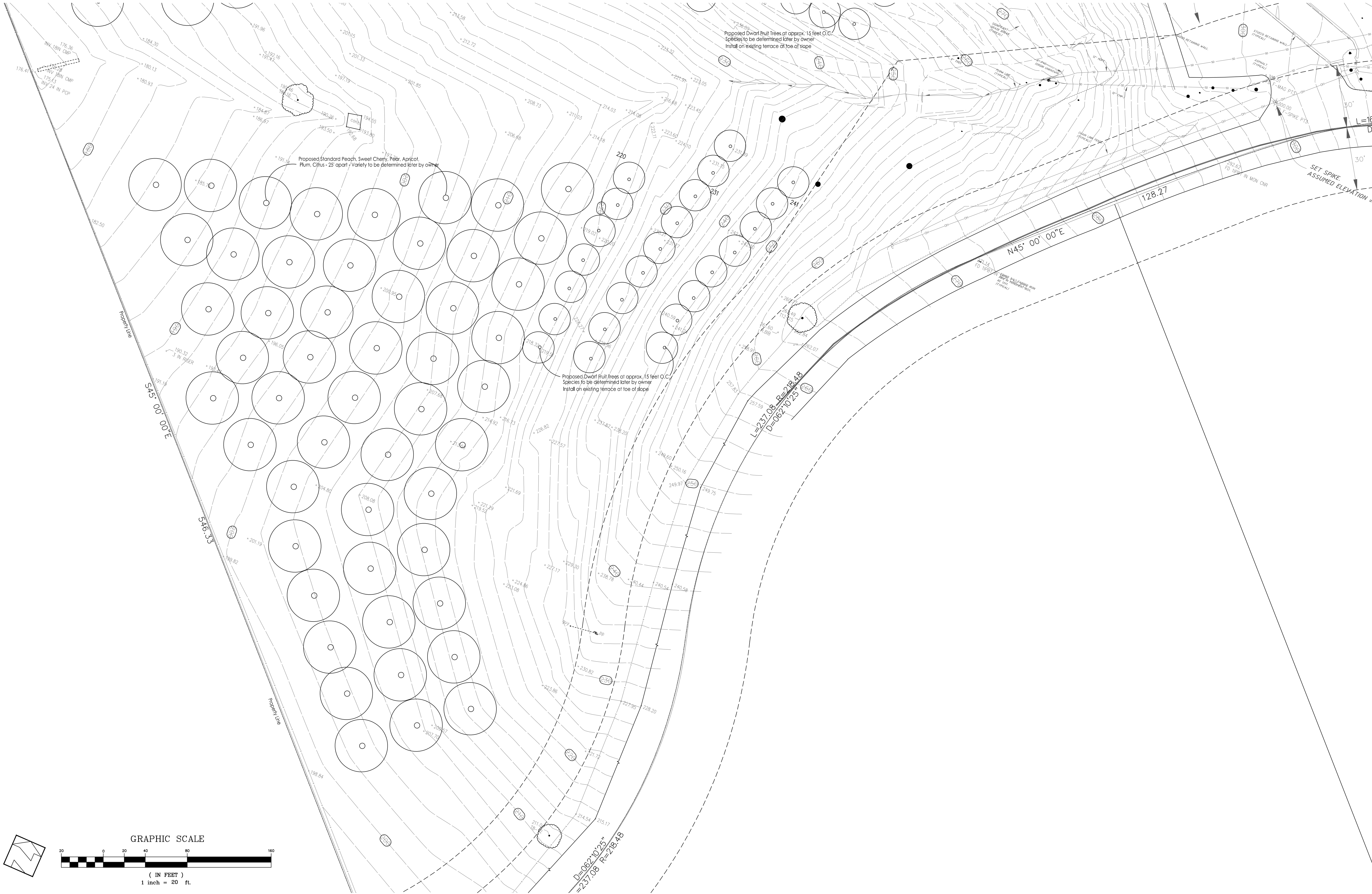
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COUNTY  
STATE

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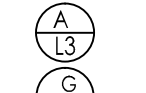
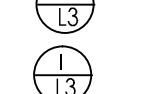
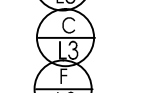

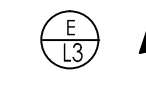
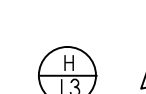

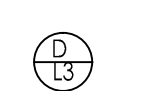

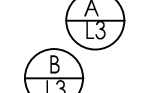
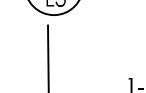
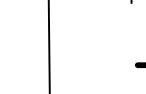

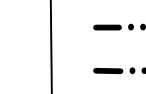
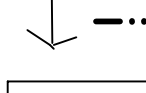



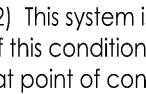
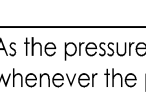




PLAN # \_\_\_\_\_ OF \_\_\_\_\_ SHEET \_\_\_\_\_

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## Irrigation Legend

KEY	MANUF.	MANUF. #	DESCRIPTION
	Watts	3/4"	Existing Watts Reduced pressure backflow preventer as per city standards
	Hunter	ICV-101-G	Manual shutoff ball valve in valve box same size as pressure line
	Hunter	FLOW-CLK	1" globe valve - master valve below grade in valve box
	Hunter	ICV 101 G	Pressurizes main line only during irrigation run times
	Hunter	ICV 101 G	Flow sensor set to shut off irrigation if there is a break in the line
	Hunter	ICV 101 G	1" globe valve with flow control below grade in valve box
	Rainbird	RWS-M-B-1402	3/4" hose/bib pointed up in 10" round valve box with ball down lid
	Rainbird	B-1402	Master valve must be turned on in order to activate if this is connected to irig pressure line
	Rainbird	B-1402	One .5 GPM bubblers (18" root watering system) at each tree in water basin or install bubbler on SPX-FLEX as per below over top of 18" deep perf pipe filled with gravel if you want to do something less expensive than RWS
	Rainbird	B-1402	1/2" FPT threaded .5 GPM bubbler on 4' length of Rainbird SPX-FLEX 100 pipe with S8 spiral barb fittings
	Rainbird	B-1402	Use one per tree on rootball inside water basin
	Hunter	IC-600SS	Controller with enough modules for 30 stations (expandable to 42)
	Hunter	IC-600SS	wall mount exterior with Wireless Solar Sync On-Site Weather Station. Controller will change it's program based on current weather conditions. Controller has stainless steel box and is mounted on existing post at utility riser/satellite dish - elec. power is available at this location for controller
	Hunter	IC-600SS	Pressure regulator - install on pressure line in 10" round valve box as pressure line goes down hill if pressure exceeds 75 psi
	Hunter	IC-600SS	Nonpressure line - SCH 40 PVC 3/4" unless noted for larger size - 12" cover - pipes less than 2" to be Sch 40 PVC
	Hunter	IC-600SS	2" Pressure line - Sch 40 PVC - 18" of cover (24" of cover under A.C. paving)
	Hunter	IC-600SS	LINES UNDER PAVING Sch 40 PVC - 24" of cover
	Hunter	IC-600SS	Pressure line - 2" Sch 40 PVC in 1-1/2" sleeve
	Hunter	IC-600SS	Non Pressure line - 1" Sch 40 PVC in 1-1/2" sleeve
	Hunter	IC-600SS	2" gray elec. conduit for control wires.

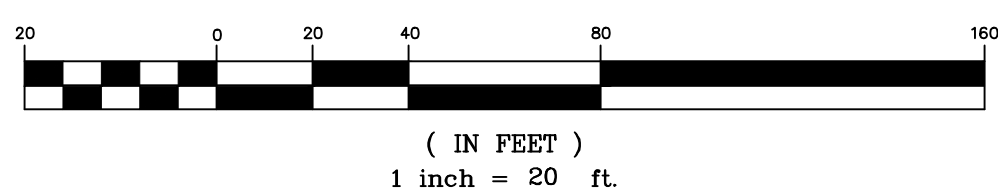
## Irrigation Notes

- See sheet L7 and L8 for details and specifications
- This system is designed to operate with minimum 12 GPM at minimum 45 p.s.i. at the point of connection. If this condition is not met contact the Landscape Architect for possible redesign. If pressure exceeds 75 psi at point of connection install a Wilkins pressure regulator the same size as the pressure line .

As the pressure line goes down hill and pressure increases due to elevation install a pressure regulator whenever the pressure exceeds 75 psi

- If possible run a new 2" pressure line all the way back to the existing reduced pressure backflow preventer and put the master valve and flow sensor there so it can be used by other parts of the existing or future irrigation system. This would require wires run from the master valve and flow sensor back to the controller.
- Detector tape should be installed with any pressure lines not buried in the same trench with control wires and with any lines of any kind under paving not in a trench with control wires.
- Electric controllers should be set to water between 6:00 PM and 11:00 a.m. to avoid watering during times of higher wind or temperature and programmed with repeat cycles to avoid runoff. This is not as important for drip that is not affected by the wind. Set irrigation schedule according to plants' water needs.
- Run 2 extra control wires from the controller to the far end of each leg and to the furthest hose bib, coming up at each valve with some extra wire along the way so at least one extra valve could be added if necessary in the future at each valve grouping.
- The routing of sprinkler lines is schematic on the plan. Do not put valves too close to trees. Stay 8' to 10' away if possible. Do not put pressure lines under trees. Install line in planting areas instead of under paving whenever possible.
- Whenever paving is dug up or trenches are put in areas of paving consider running sleeves, control wires and irrigation lines to eventually replace irrigation lines and control wires to different parts of the landscaping
- Prior to finalizing bid or doing installation check with the Landscape Architect to make sure you have the most recent plans.
- Ask the owner if he would prefer a higher tech controller such as the Hydrowise Pro HC and the HC Flow Meter. More than one controller may be required due to the number of proposed valves and future valves at the residence.

## GRAPHIC SCALE



## REVISIONS:

DATE	DESCRIPTION	BY:

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(831) 359-0960  
lewislandscape@sbcglobal.net

DATE: 7/28/21  
HORIZ. SCALE: 1"=20'-0"  
VERT. SCALE: NA  
DESIGNED BY: GREG  
CHECKED BY: GREG  
DRAWN BY: GREG



## REFERENCES


AREA  
DATE

ROAD: 3085 PASEO VISTA AVENUE

COUNTY FILE NO.: PLN20-0105

# FRUIT TREE IRRIGATION PLAN

LANDS OF MENEKSHE-3085 PASEO VISTA AVENUE APN 825-29-039

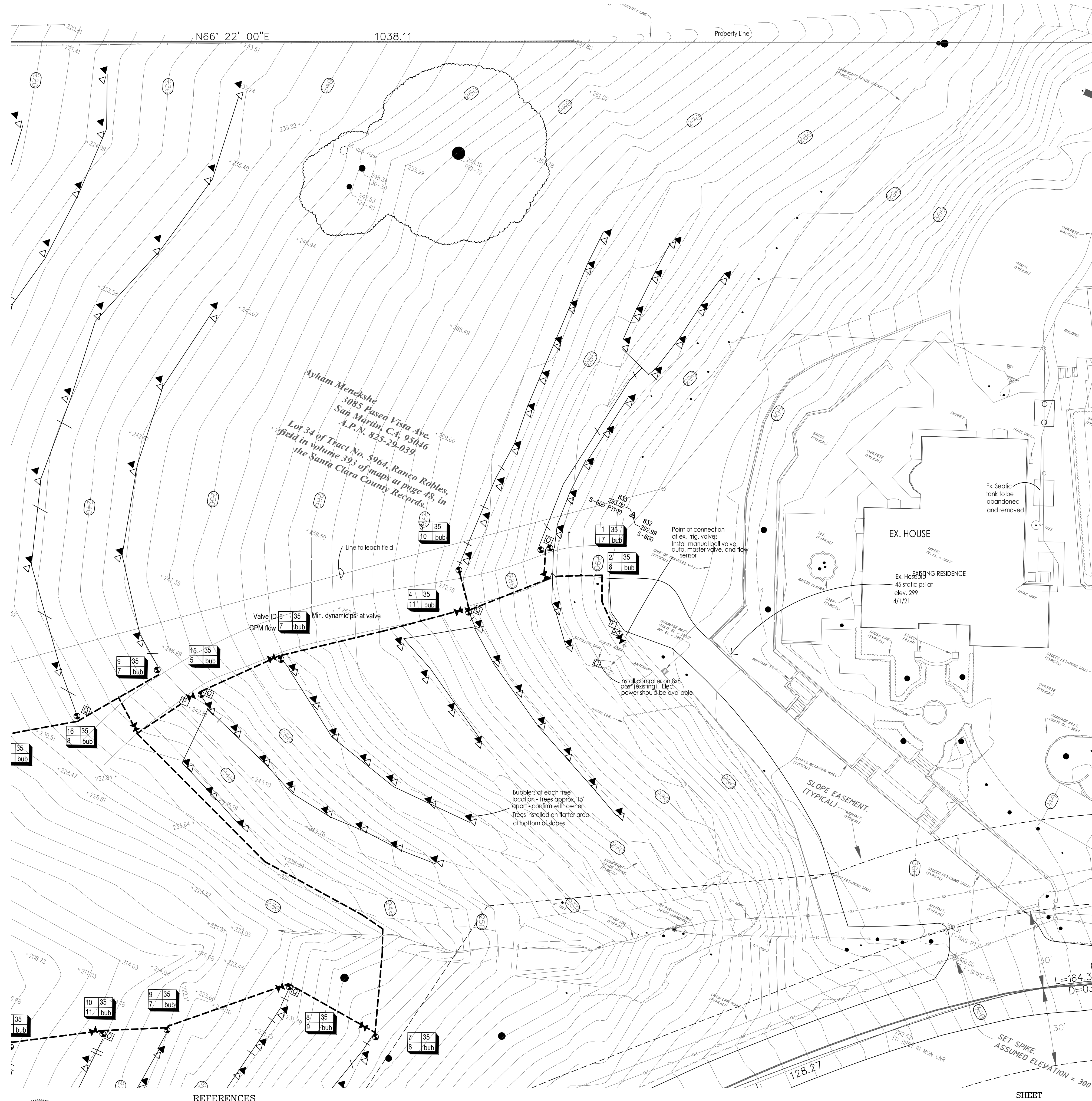
COUNTY  
STATE

JOB NO. 19071

L4

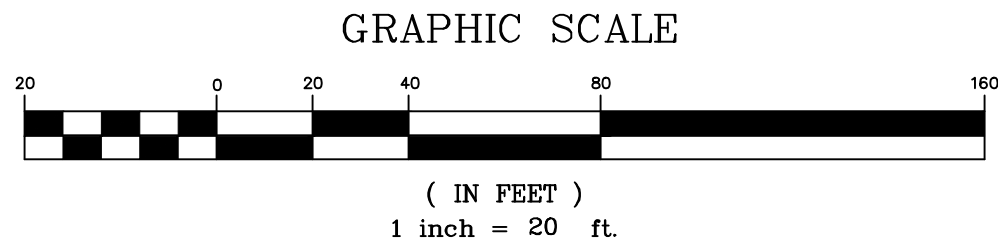
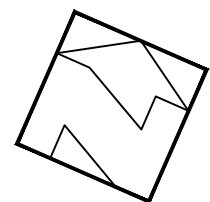
OF SHEETS

JOB#





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REVISIONS:		
DATE	DESCRIPTION	BY:

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VERT. SCALE: NA  
DESIGNED BY: GREGL  
CHECKED BY: GREGL  
DRAWN BY: GREGL



REFERENCES

	AREA
	DATE

APPLICANT: MENEKSHE

ROAD: 3085 PASEO VISTA AVENUE

COUNTY FILE NO.: PLN20-0105

# FRUIT TREE IRRIGATION PLAN

LANDS OF MENEKSHE-3085 PASEO VISTA AVENUE APN 825-29-039

SHEET

L6

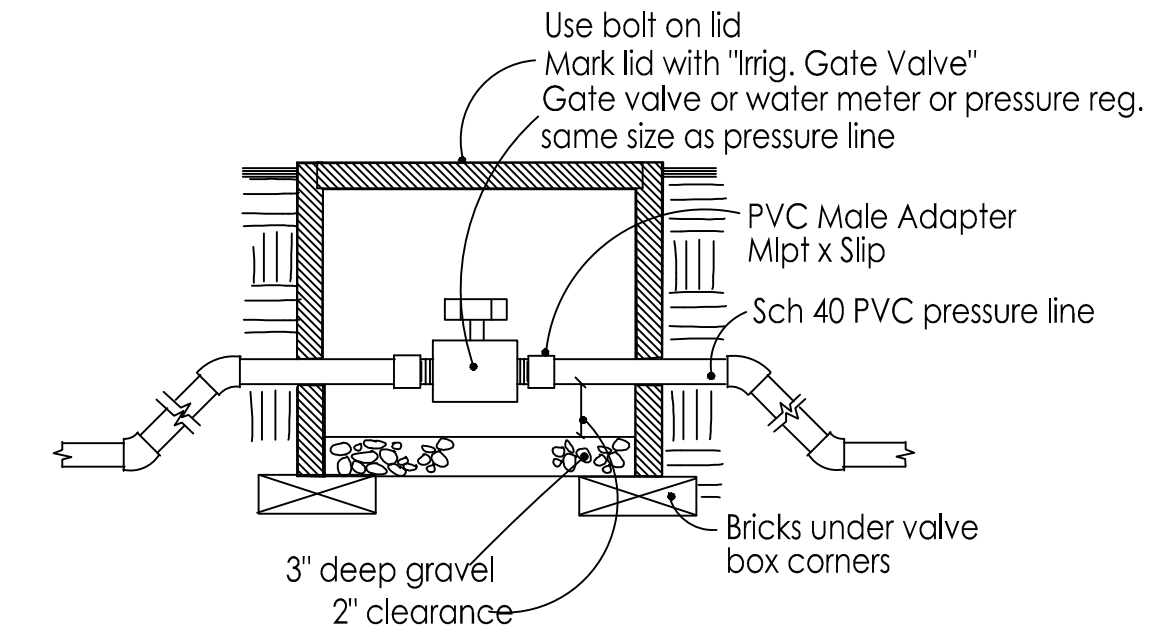
OF SHEETS

COUNTY  
STATE

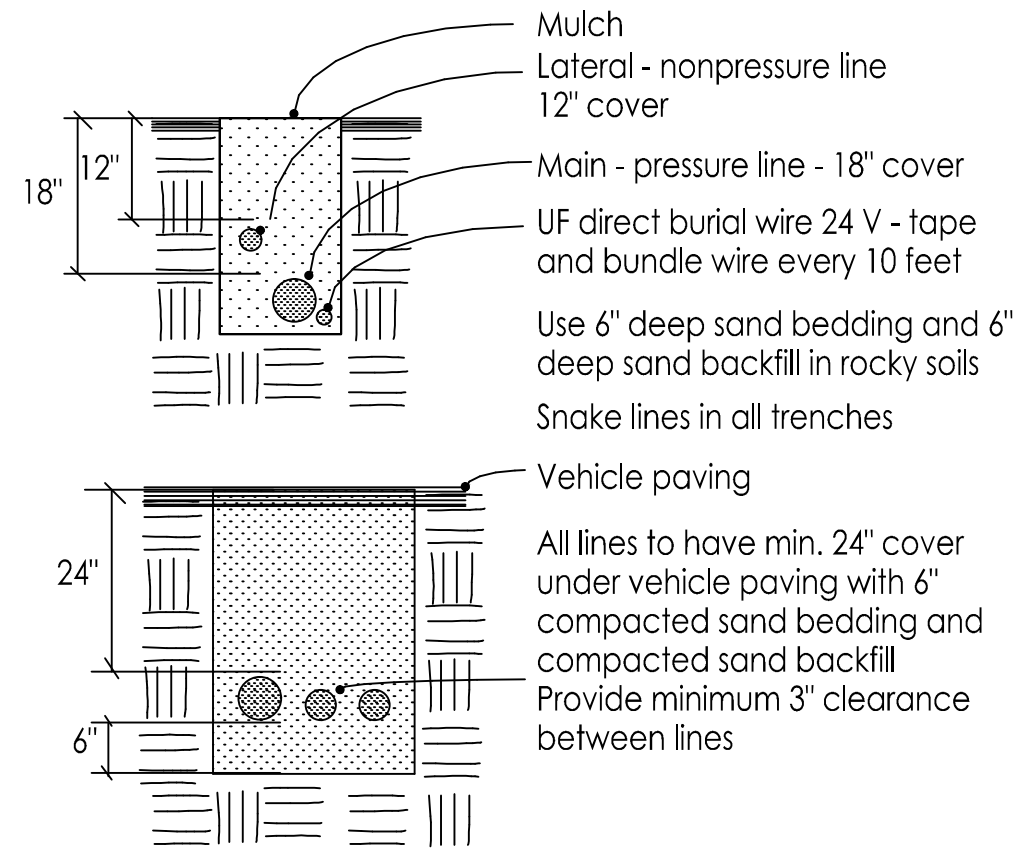
JOB#

JOB NO. 19071

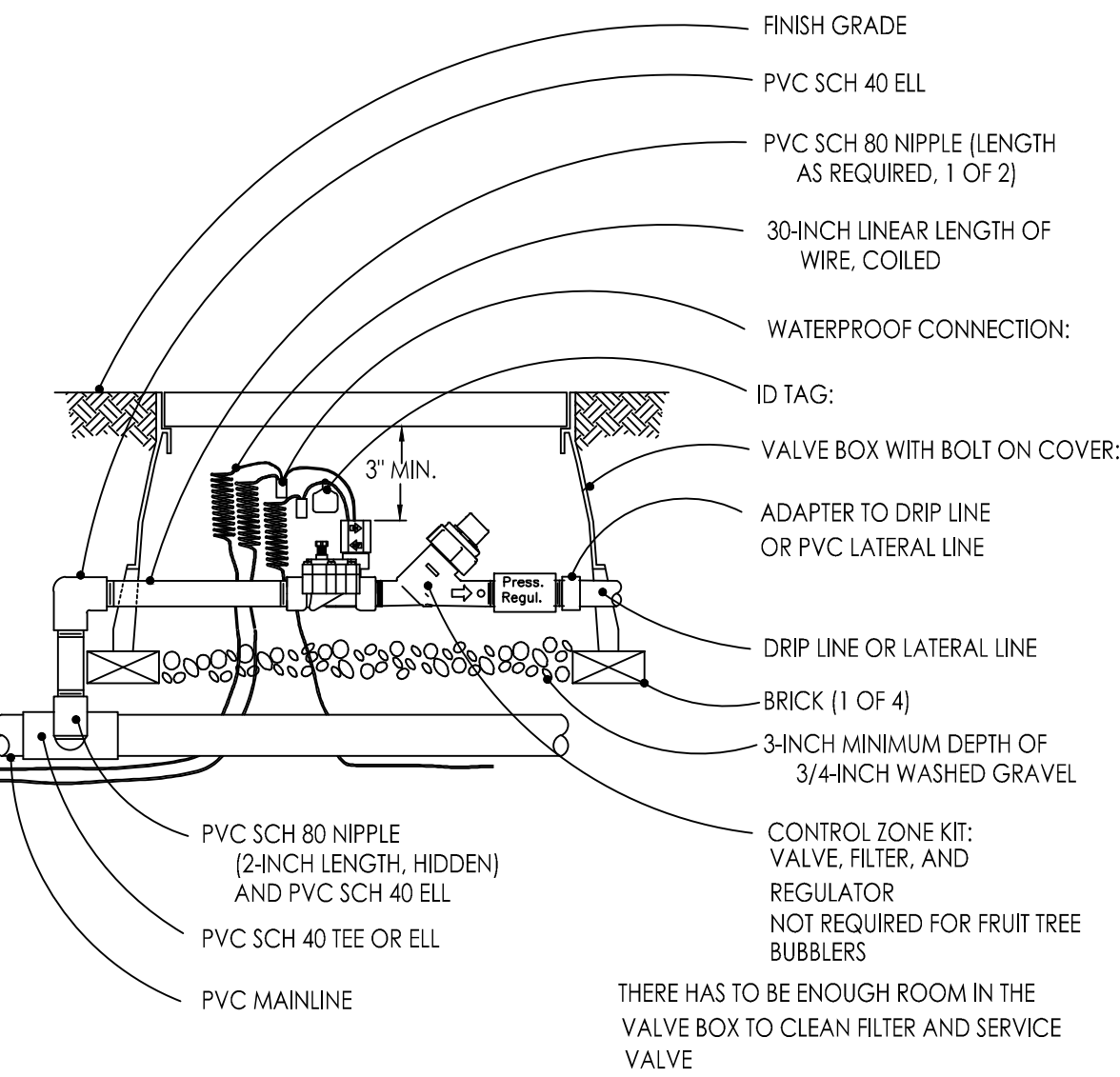
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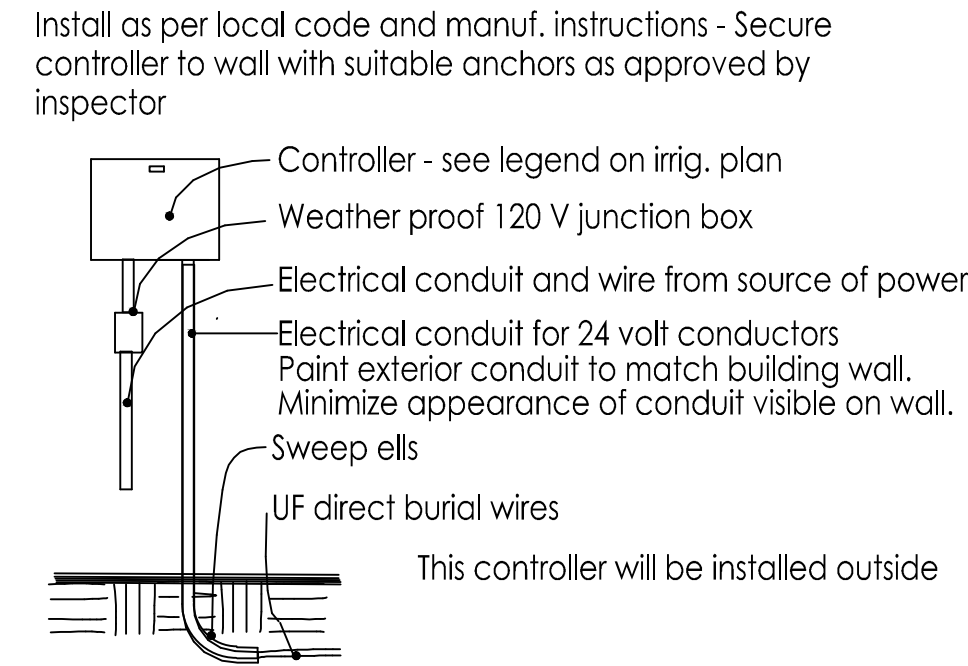
Manual Gate Valve  
No Scale Pressure Regulator A



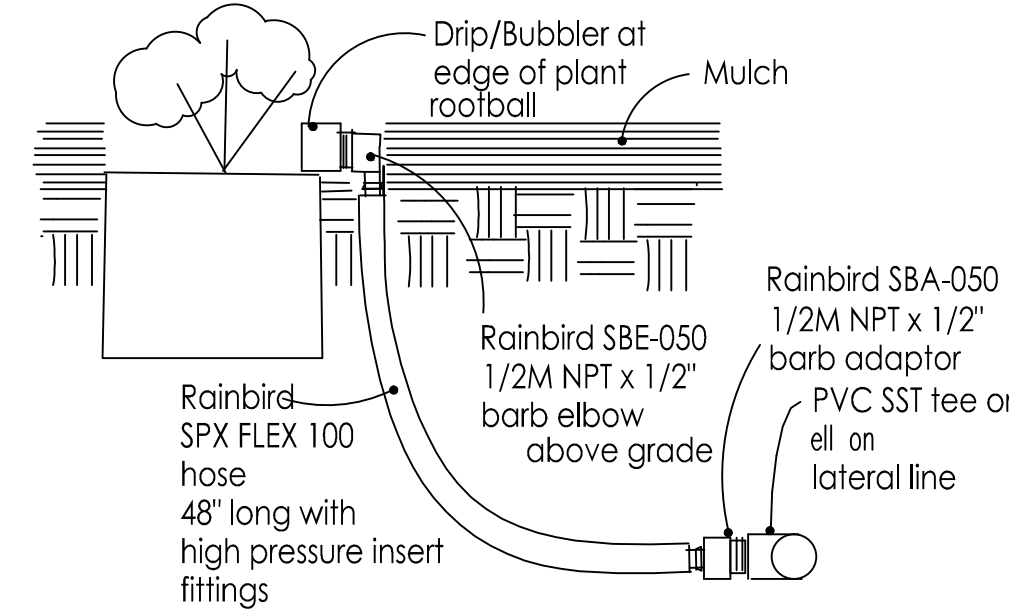
Trenches/Lines  
No Scale B



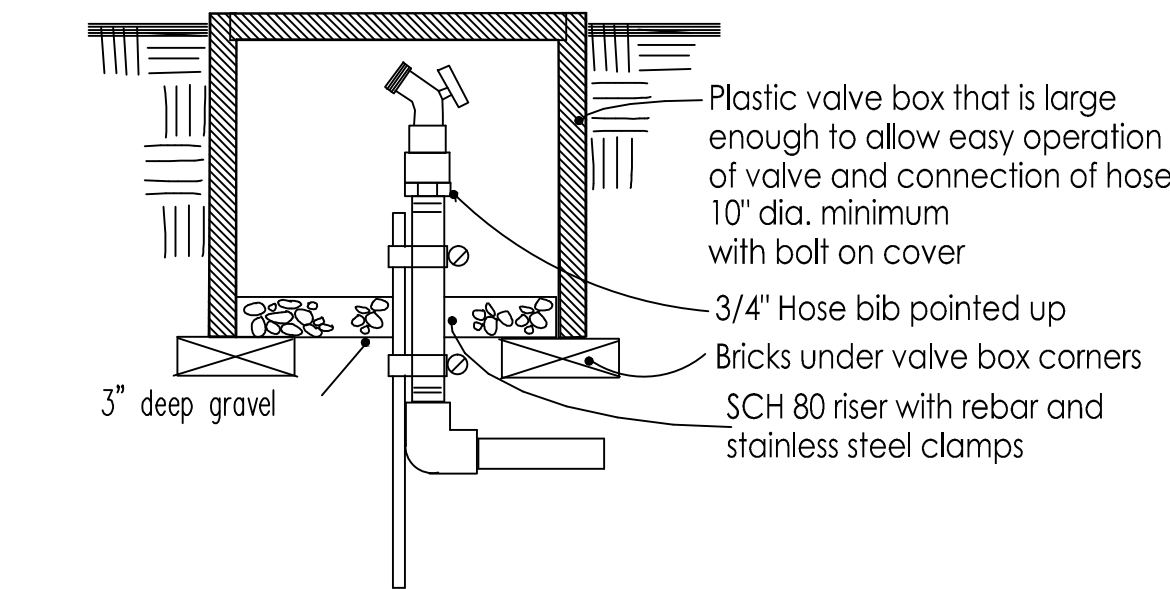
Remote Control Globe Valve  
No Scale C



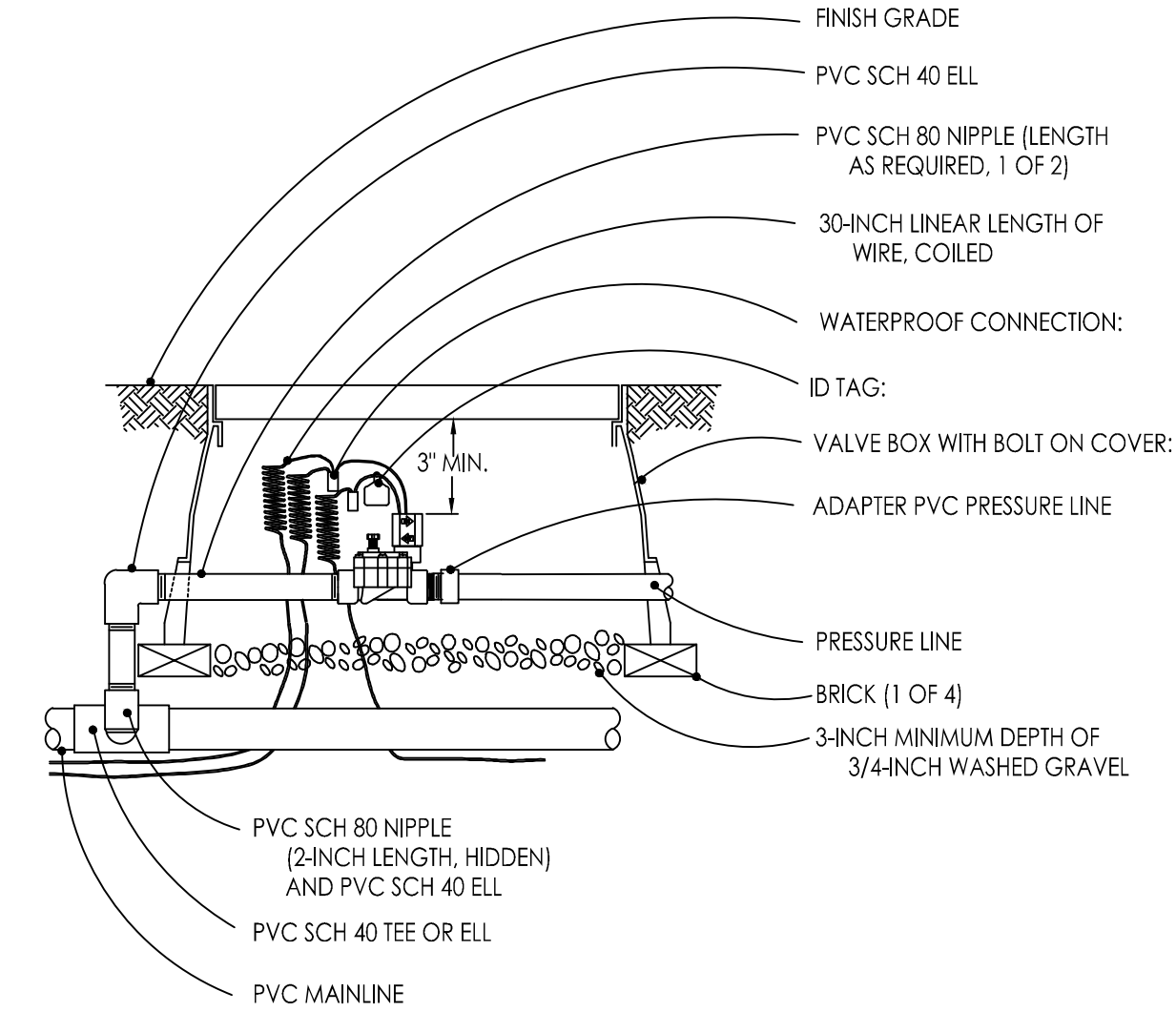
Wall Mount Controller  
No Scale D



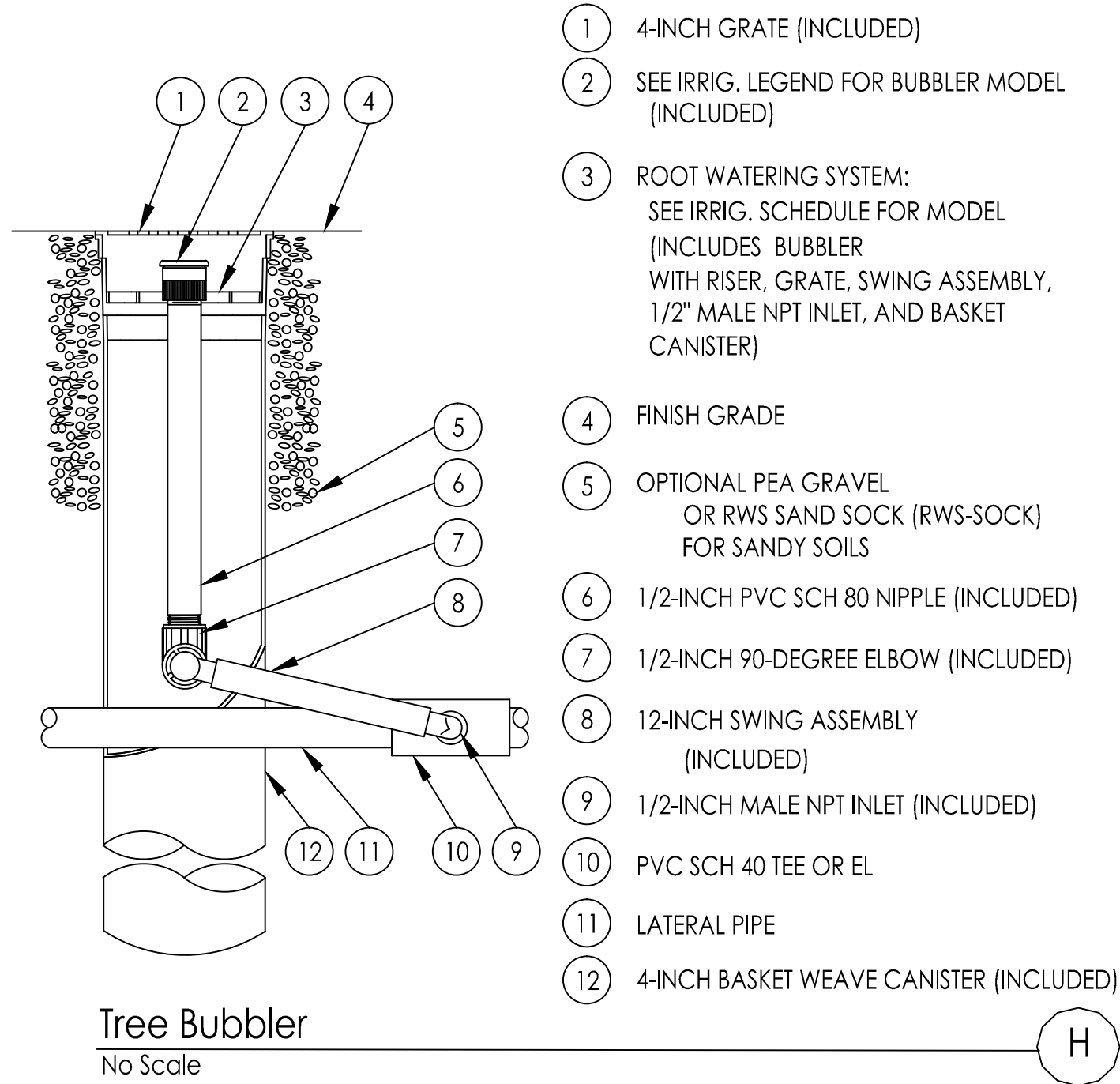
Drip/Bubbler w/Flexible PVC Riser  
No Scale E  
All male adapters above grade to be Sch 80 or marlex  
When using multi outlet emitters run 1/4" tubing to locations equally spaced around edge of rootball and install bug caps on ends of tubing  
Secure tubing to soil under mulch with 7" metal U stables



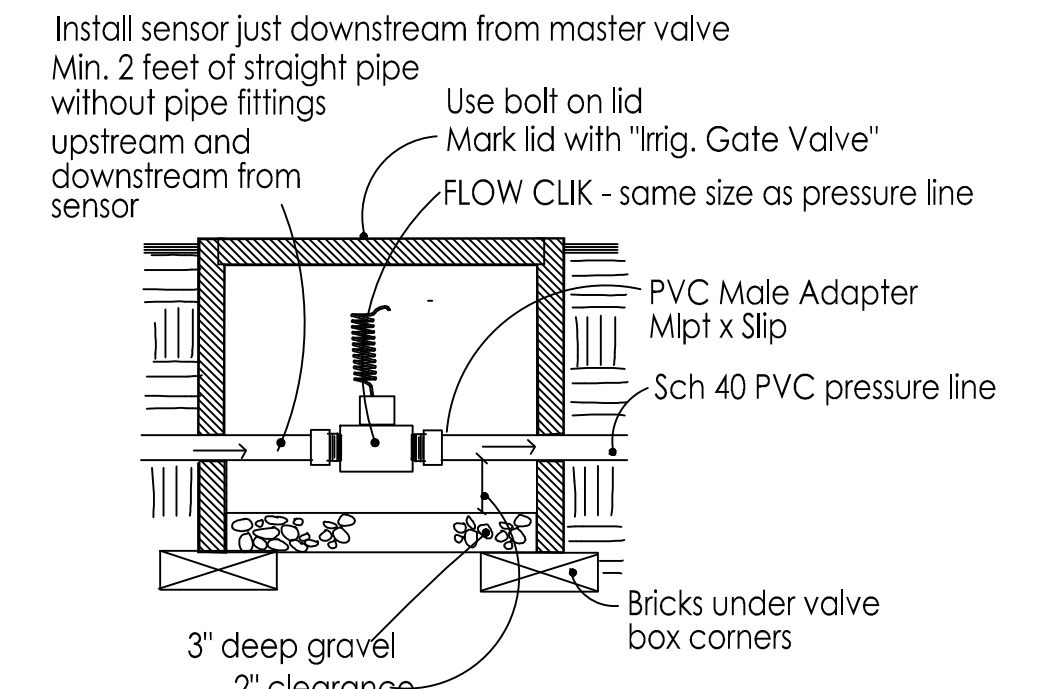
Hose bib Pointed Up  
Below Grade  
No Scale F



Remote Control Master Valve  
No Scale G



Tree Bubbler  
No Scale H



FLOW-CLIK Sensor  
No Scale I

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DATE: 4/6/21  
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VERT. SCALE: NA  
DESIGNED BY: GREG  
CHECKED BY: GREG  
DRAWN BY: GREG



REFERENCES

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\_\_\_\_\_  
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AREA  
DATE

FRUIT TREE IRRIGATION DETAILS

LANDS OF MENEKSHE-3085 PASEO VISTA AVENUE APN 825-29-039

SHEET

L7

OF SHEETS

COUNTY  
STATE

JOB#



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GENERAL CONDITIONS – SOIL PREPARATION, PLANTING, AND IRRIGATION

1.1 QUALITY ASSURANCE:  
A. Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary crafts and who are completely familiar with the specified requirements and the methods needed for proper performance of the work of this section.  
B. It is the Contractor's responsibility to verify all information contained in the plans and specifications and to notify the Architect of any discrepancy prior to ordering products or commencing with the work.  
C. Check and verify dimensions, reporting any variations to the Architect before proceeding with the work.

1.2 CONTRACTOR COORDINATION  
A. It is the responsibility of the Landscape Contractor to familiarize himself with all grade differences, location of walls, retaining walls, etc., and to coordinate work with the General Contractor.

1.3 DIMENSIONS AND SCALE  
A. Dimensions are to take precedence over scale at all times. Large scale details are to take precedence over those at small scale. Dimensions shown on plans shall be adhered to insofar as it is possible, and no deviation from such dimensions shall be made except with the consent of the Architect. The Contractor shall verify all dimensions at the site and shall be solely responsible for same or deviations from same.

1.4 LAWS AND REGULATIONS  
A. The Contractor shall conform to and abide by all city, county, state and federal building, labor and sanitary laws, ordinances, rules, and regulations.

1.5 LICENSES AND PERMITS  
A. The Contractor shall give all notices and procure and pay for all permits and licenses that may be required to complete the work.

1.6 SUBMITTALS  
A. At the request of the owner or the Landscape Architect, submit manufacturer's and/or supplier's specifications and other data needed to prove compliance with the specified requirements including certificates stating quantity, type, composition, weight, and origin of all amendments, chemicals, import soil, planter mix, plants, and irrigation equipment used on the site.

1.7 PRODUCT SUBSTITUTIONS  
A. Any product substitutions shall be requested in writing. The Landscape Architect must approve or refuse any substitutions in writing. Lack of written approval will mean the substitution is not approved. Any difference in cost to the Contractor of a less expensive substitution shall be credited to the Owner's

1.8 ERRORS AND OMISSIONS  
A. The Contractor shall not take advantage of any unintentional error or omission in the drawings or specifications. He will be expected to furnish all necessary materials and labor that are necessary to make a complete job to the true intent and meaning of these specifications. Should there be discrepancies in the drawings or specifications, the contractor shall immediately call the attention of the Architect to same and shall receive the complete instructions in writing.

1.9 INSPECTIONS/REVIEWS DEFINITION  
A. Inspection or observation as used in these specifications means visual observation of materials, equipment, or construction work on an intermittent basis to determine that the work is in substantial conformance with the contract documents and the design intent. Such inspection or observation does not constitute acceptance of the work nor shall it be construed to relieve the contractor in any way from his responsibility for the means and methods of construction or for safety on the construction site. Inspection or observation will be done by the Landscape Architect only if requested by the owner in writing. This service will require a written contract for additional fees.

LANDSCAPE IRRIGATION

PART 1 – GENERAL

1.1 WORK INCLUDED

A. The work includes but is not necessarily limited to the furnishing of all materials, equipments, and labor required to install a complete irrigation system.

1.2 GUARANTEE. The entire sprinkler system shall be guaranteed by the Contractor in writing to be free from defects in material and workmanship for a period of one year from acceptance of the work. The guarantee shall include repair of any trench settlement occurring within the guarantee period, including related damage to paving, landscaping, or improvements of any kind.

1.3 REVIEWS  
A. Request the following reviews prior to progressing with the work: (1) Layout of system (2) Depth of lines prior to backfilling (3) Coverage adjustment of all heads, valve boxes and operation of system.

1.4 WATER PRESSURE  
A. Verify the existence of the minimum acceptable volume of water at the minimum acceptable dynamic pressure as per plan at the point of connection at the earliest opportunity, reporting insufficient volume and/or pressure to the Landscape Architect. Contractor is responsible for cost of installation of pressure regulator if pressure exceeds 80 psi.

1.5 UTILITIES  
A. Verify the location of all existing utilities and services in the line of work before excavating. Take all precautionary measures necessary to avoid damaging

PART 2 – PRODUCTS

2.1 PIPE  
A. Plastic pipe is to be polyvinyl chloride, marked 1120–1220, and bearing the seal of the National Sanitation Foundation. Use Schedule 40 polyvinyl chloride, type II fittings bearing the seal of the National Sanitation Foundation, and complying with ASTM D2466 for pressure line and also for any water lines under asphalt paving. Use Sch 40 PVC for lateral lines in planting areas unless stronger pipe is specified in the irrigation legend. For joining, use a solvent complying with ASTM D2466 and recommended by the manufacturer of the approved pipe. Pipe is to be continuously and permanently marked with the manufacturer's name, pipe size, schedule number, type of material, and code number.  
B. Galvanized steel pipe is to comply with ASTM A120 or ASTM A53, galvanized, Schedule 40, threaded, coupled, and hot-dip galvanized. Use 150 lb. rated galvanized malleable iron, banded pattern fittings. Wrap all galvanized pipe below grade with 2" wide, 10 mil. plastic wrapping tape (#50 Scotch wrap or equal).  
C. Drip tubing is to be as noted on plans. Use compression fittings.

2.2 CONTROL WIRE  
A. Use type UF direct burial wire minimum size #14, copper, U.L. approved for irrigation control use for runs of 1000 feet or less. For longer runs consult with Landscape Architect. Use 3M DBY Direct Bury Wire Splice Kits or dry splice type wire connectors at splices. No underground splices will be allowed without a splice box.

2.3 OTHER MATERIALS  
A. Provide other materials, not specifically described but required for a complete and proper installation, as selected by the Contractor subject to the approval of the Architect.

PART 3 – EXECUTION

3.1 SURFACE CONDITIONS  
A. Examine the areas and conditions under which the work of this Section will be performed. Correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions are corrected.

3.2 EXCAVATION  
A. Trenches may be excavated either by hand or machine, but shall not be wider than is necessary to lay the pipes. Care should be taken to avoid damage to existing water lines, utility lines, and roots of plants to be saved.  
B. Minimum depth of cover for buried pipelines shall be: 1. Eighteen (18) inches for mainline pressure piping. 2. Eighteen (18) inches for 24 volt wiring from controllers to remote control valves. 3. Twelve (12) inches for lateral distribution lines. 4. Twenty-four (24) inches, minimum cover, with 6" sand bedding and 6" sand cover for any pipe or wire sleeve under A.C. paving.  
C. Under existing paving, piping may be installed by jacking, boring, or hydraulic driving except that no hydraulic driving will be permitted under asphalt concrete pavement (most pipes and sleeves under A.C. paving are to be installed prior to installation of the paving). Where cutting or breaking of existing pavement is necessary, secure permission from the Architect before cutting or breaking the pavement, and then make necessary repairs and replacements to the approval of the Architect and at no additional cost to the Owner.

3.3 INSTALLATION OF PIPE  
A. Handling and assembly of pipe, fittings, and accessories shall be by skilled tradesmen using methods and tools approved by the manufacturers of the pipe and equipment and exercising care to prevent damage to the materials or equipment.  
B. Metal pipe threads shall be sound, clean cut, and cored to full inside diameter. Threaded joints shall be made up with the best quality pure joint compound carefully and smoothly placed on the male threads only throughout the system.  
C. On plastic threaded connections use the sealer recommended by the manufacturer of the plastic valve or fitting. Do not use paste sealer products on plastic valves. Tighten plastic threaded connections with light wrench pressure only.  
D. Connections and controls shall be functionally as shown on the drawings, but physically shall be the most direct and convenient method while imposing the least hydraulic friction. Install lines in planting areas whenever possible.  
E. Thread male PVC connections into metal female connections rather than the opposite.  
F. Interior of pipe fittings, and accessories shall be kept clean at all times, and all openings in piping runs shall be closed at the end of each day's work or otherwise as necessary to prevent the entry of foreign materials. Bending of galvanized steel pipe will not be permitted. Install plastic pipe with the markings turned up to be seen from above until the pipe is buried. "Snake" the pipe in the trenches so that there will be a small amount of excess length in the line to compensate for contraction and expansion of the pipe.  
G. Place backfill in 6" layers such that there will be no settling. The top 6" of soil is to be the top soil and soil amendment mixture. All backfill shall be free of rock and debris. Test pipe for leaks prior to backfilling joints. Obtain approval of the owner's representative before backfilling joints.

3.4 INSTALLATION OF EQUIPMENT  
A. Flush lines clean prior to installation of valves, sprinkler heads, or hose bibs. Install valves, sprinkler heads, controllers, backflow preventors, hose bibs, and other equipment as per the Irrigation Plan and details.

3.5 ELECTRICAL WORK  
A. The line voltage work shall consist of connecting the controller to the nearest available 115 volt supply. The line voltage connection shall be in conduit, in accordance with local electrical code. Controllers mounted inside buildings can be plugged into outlets. The low voltage work shall include all necessary wiring from the controller to the automatic sprinkler valves, installed in accordance with the manufacturer's recommendations. A loop of extra wire, a minimum of eighteen (18) inches long shall be provided at each automatic valve. Appropriate expansion loops shall be provided throughout the system to assure that no wiring will be under stress.  
B. All splices and connections on the 24 volt system shall be made using 3M DBY Direct Bury Splice Kits, Rain Bird Pentite connector, or equal.  
C. Wiring, wherever possible, shall be placed in the same trench with, and alongside of, the irrigation main water line. Tape and bundle wire every ten feet. All wiring placed under paving shall be put in adequately sized Sch 40 PVC pipe sleeves prior to paving operations.  
D. Wire for 24 volt control lines shall be size #14 UF direct burial irrigation wire. Unless noted differently on the plan, common grounds shall be white, size #14 UF direct burial wire. For wire runs over 1000 feet consult with Landscape Architect for wire size. Under no circumstances, on multiple controller installations, will a single common ground, shared by each controller, be permitted. Each controller shall have its own separate common ground wire.

3.6 TESTING  
A. All testing shall be done in the presence of the Owner's Representative. Center-load all pipelines with clean soil approximately every four feet to resist hydraulic pressures, but leave fittings exposed for inspection. Piping under paving shall be tested before paving is in place. Install a 0 to 160 P.S.I. gauge on lines to be tested. All valves shown on Plans shall be in place and shall be in the closed position. Mains shall be tested at 100 P.S.I., and laterals at 65 P.S.I. If available static water pressure is under 100 P.S.I., provide suitable pump for tests. Fill pipelines slowly to avoid pipe damage, and bleed all air from lines as they are being filled. After closing valve at water source, mains shall hold 100 P.S.I. gauge pressure for two hours with no leaks. Laterals are expected to have minor seepage at multiple swing joint assemblies. Major leaks are not acceptable. Laterals shall be tested for one hour at 65 P.S.I. solely to reveal any piping or assembly flaws. The laterals are not expected to hold gauge pressure. For testing laterals, cap risers or turn adjusting screws on nozzles to the "off" position, as appropriate. Repair any flaws discovered in mains or laterals, then retest in same fashion as outlined in presence of the Landscape Architect until all lines have been approved. Provide required testing equipment and personnel.

3.7 SYSTEM ADJUSTMENT  
A. The entire sprinkler system shall be properly adjusted before final acceptance. Adjustments shall include but not necessarily be limited to: (1) Adjustment of arc and distance control devices on sprinklers, including changing nozzle sizes if necessary to assure proper coverage of planted areas. (2) Relocation or addition of sprinkler heads if necessary to properly cover planted areas, without causing excessive water to be thrown onto building, walks, paving, etc. (3) Throttling of automatic valves as necessary to operate sprinklers at manufacturer's recommended pressure. (4) Adjustment and testing of all automatic control devices to assure their proper function, both automatically and manually. (5) Installation of pop-up heads anywhere there is a chance of pedestrians or vehicles hitting heads even if pop-ups are not shown on the plan. (6) Installation of check valves to keep sprinkler head drainage from eroding landscape areas, wasting water, or creating soggy spots in the landscaping.

3.8 AS-BUILT DRAWINGS AND INSTRUCTION  
A. Regularly update a print of the system noting any changes which are made by dimensioning features below grade from surface features with at least two dimensions. Prior to final approval, give the Owner 2 copies of clean blueprints marked to show changes during construction. The most important features to mark on the plan are valves, pressure lines, wires, and hose bibs.  
B. After the system has been completed, inspected, and approved, instruct the Owner's maintenance personnel in the operation and maintenance of the system. Give the Owner completed warranty cards for the irrigation equipment and keys to controllers and hose bibs.

SOIL PREPARATION AND PLANTING

PART 1 – GENERAL

1.1 DESCRIPTION  
A. The work includes, but is not necessarily limited to, the furnishing of all materials, equipment, and labor required to do the installation and complete placement of topsoil, fine grading, soil conditioning, and planting.

1.2 QUALITY ASSURANCE  
A. Plant Identification and Quality  
1. Plants are to be true to name, with one of each bundle or lot tagged with the name of the plants in accordance with standards of practice of the American Association of Nurserymen. In all cases, botanical names take precedence over common names.  
2. Plants shall be vigorous, of normal growth habit, free of diseases, insects, eggs, larvae, excessive abrasions, sun scalds, or other objectionable disfigurements, and shall conform to the standards as outlined by the California Association of Nurserymen. Tree trunks shall be sturdy and well "hardened off". All plants shall have normal well developed branch system, and vigorous, fibrous root systems which are not root bound. Ground cover plants (rooted cuttings) shall have well developed root systems and be kept moist prior to and during installation. Plants shall be nursery grown and of size indicated on Drawings. All plants not conforming to those requirements will be considered defective, removed from the site and replaced with acceptable new plants at the Contractor's expense.  
3. Sod shall have a well developed root system. Yellowing, brown, diseased, dried, or pest infested sod shall be rejected. Sod is to be cleanly mowed within 72 hours of delivery to the site. Sod is to be delivered to the site within 24 hours after being harvested and installed immediately after being delivered. Sod shall not be stored on the site overnight. Any sod delivered to the site that cannot be installed the same day shall be removed and not used on the site.  
4. Ground cover is to have well developed roots and foliage. It is to be grown in and delivered to the site in flats.  
1.3 SUBMITTALS  
A. Provide the results of lab tests done on representative samples of existing soils and imported soils to be used for the top 12" or more of landscape area. Tests are to be done by a reputable soils lab (i.e., Perry Lab, Watsonville or Santa Clara Soil and Plant Lab). Samples to be tested are to be collected by lab personnel. Soil samples are to be tested for:  
1. Particle size distribution (clay, silt, sand).  
2. Agricultural suitability including any excess problems; i.e., salinity (calcium, magnesium), boron, sodium, pH level.  
3. Fertility – amounts of available nitrogen, potassium, phosphorous, iron, magnesium, copper, zinc, and boron.  
4. Chemicals and/or poisons that would hinder plant growth. The owner is to decide if tests for poisons will be done since there is a small chance that any exist and the cost of testing for them is expensive and difficult.  
An interpretation of the test results and their effect on plant performance done by the lab staff or an approved horticultural consultant should be included in the report. The Owner is responsible for the cost of initial testing and for any additional chemicals and amendments that are required that are not already included in the Specifications or Drawings. Soils tests must be done as soon as possible and prior to ordering or installing soil amendments or plant materials. Plant selections and soil amendment specifications are subject to change depending on the results of the soil tests.  
5. If bidding is done prior to soil fertility tests, bid 6 cu yds. of nitralized RWD sawdust and 16 lbs. of 12-12-12 fertilizer per 1000 sq.ft. tilled or dug into the top 6" to 8" of soil in all planting areas for bidding purposes only. Revise bid when results of soil fertility tests are obtained.

REFERENCES

AREA  
DATE

1.4 GUARANTEE  
A. Trees shall be guaranteed 1 year – all other plant material 120 days following final acceptance. Any plant material needing replacement because of weakness or probability of dying will be replaced with material of similar type and size to that of the surrounding area. The replacement plants will have the same guarantee as the original plants or trees, starting the day of their replacement. The Contractor is not responsible for losses due to vandalism if he has taken reasonable measures for protection of the plants.

1.5 PRODUCT HANDLING  
A. Protect plants before and during installation, maintaining them in a healthy condition. Application(s) of anti-dessicant may be required to minimize damage. The Contractor is responsible for vandalism, theft, or damage to plant material until commencement of the maintenance period.

1.6 REVIEWS  
A. Request the following reviews by the Owner's Representative at least three (3) days in advance (in writing): (1) Rough grading (of landscape area) (2) Soil test (3) Verification of incorporation depths (4) Finish grade (5) Plant material quality approval (6) Plant material layout (7) Plant pit sizes (prior to planting plants) (8) Preliminary inspection (9) Final inspection (5 day advance notice required)

PART 2 – PRODUCTS

2.1 TOPSOIL  
A. Native topsoil or import landscape soil

2.2 NATIVE TOPSOIL  
A. Native soil on site without admixture of subsoil, free from rocks over two cubic inches, debris, and other deleterious material. Native topsoil is to be stripped, stockpiled, and reinstalled.

2.3 IMPORT LANDSCAPE SOIL  
A. Import landscape soil must be tested and meet the following specification:  
1. TEXTURE:  
Sandy loam to loam  
2. GRADING:  
SEIVE SIZE PERCENT PASSING SIEVE  
25.4 mm (1") 95 – 100  
0.51 mm (3/8") 85 – 100  
53 Micron (270 mesh) 10 – 30  
3. CHEMISTRY – SUITABILITY CONSIDERATIONS:  
a. Salinity: Saturation Extract Conductivity (ECe x 103 @ 25 degree C.) Less than 4.0  
b. Sodium: Sodium Adsorption Ration (SAR) Less than 9.0  
c. Boron: Saturation Extract Concentration Less than 1.0 PPM  
d. Reaction: pH of Saturated Paste: 5.5 – 7.5  
e. Lime: less than 3% by weight

4. PESTS:  
a. The population of any single species of plant pathogenic nematode: fewer than 500 per pint of soil.  
5. ORGANIC MATTER  
a. Soil is to have 5% to 10% organic matter at below 18 inches in depth. Soil is to have less than 30% organic matter at 0 to 18 inches in depth  
Organic matter to be less than 1" dia. Do not use mushroom compost. No noxious weeds are allowed.  
6. FERTILITY CONSIDERATIONS:  
a. Soil is to contain sufficient quantities of available nitrogen, phosphorous, potassium, sodium, and magnesium to support normal plant growth. In the event of nutrient inadequacies, provisions shall be made to add required materials to overcome inadequacies prior to planting.  
7. COMPACTION  
a. Compact the soil enough so it doesn't settle more when walked on and not significantly over time where the flow of drainage will be affected or soil needs to be added. Don't over compact or work soil when it has too much moisture. Dig bottom layer of import soil into existing soil. Compact in 6 inch lifts.  
2.4 ORGANIC SOIL AMENDMENT  
A. Redwood sawdust, 0–1/4" in diameter, that is nitrogen stabilized by the supplier, and contains a wetting agent. Also see note on planting plan  
2.5 ORGANIC MULCH  
A. See Planting Plan  
2.6 PLANTER SOIL MIX  
A. See Planting Plan and Details.

2.7 BACKFILL FOR PLANT PITS  
A. For native soils with 50% or more clay content – 75% topsoil and 25% organic amendment thoroughly mixed and incorporated together with no topsoil clods larger than 1/2" diameter. In heavy clay soils or other soils with large clods this will require mixing the backfill in a stockpile at the site or at the supplier. For soils with less clay content amend only the top 8" of the plant pit backfill as per the soils lab recommendations.

2.8 FERTILIZER  
A. Fertilizer needs and amounts will be based on the results of the soil test

B. Sod lawn areas (there is no lawn on the plan)

2.9 PLANT MATERIAL SUBSTITUTES  
A. Substitutes will not be permitted except when proof is submitted that plants specified are not available and then only upon approval of the Landscape Architect and Owner.

2.10 OTHER MATERIALS  
A. Provide other materials, not specifically described but required for a complete and proper installation, as selected by the Contractor subject to the approval of the Landscape Architect.

PART 3 – EXECUTION

3.1 SURFACE CONDITIONS  
A. Examine the areas and conditions under which the work of this Section will be performed. Correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions are corrected.  
B. Weed and Debris Removal – All ground areas to be planted shall be cleaned of all weeds and debris prior to any soil preparation or grading work. Weeds and debris shall be disposed of off the site.

C. Contaminated Soil – Do not perform any soil preparation work in areas where soil is contaminated with cement, plaster, paint or other construction debris. Bring such areas to the attention of the Owner's Representative and do not proceed until the contaminated soil is removed and replaced.  
D. Moisture Content – Soil shall not be worked when moisture content is so great that excessive compaction will occur, nor when it is so dry that dust will form in the air or that clods will not break readily. Water shall be applied, if necessary, to bring soil to an optimum moisture content for tilling and planting.

3.2 ROUGH GRADING AND TOPSOIL PLACEMENT  
A. Request a review by the Owner's Representative to verify specified limits and grades of work completed to date before starting soil preparation work. Place topsoil as required to obtain an 12" minimum depth of topsoil or as noted otherwise on the Plans. (Topsoil may already exist in the planting areas). Integrate topsoil layer into subsoil or existing compacted topsoil layer by ripping. Complete rough grading as necessary to round top and toe of all slopes, providing naturalized contouring to integrate newly graded area with the existing topography. Verify that rough grading is completed in accordance with civil engineering drawings and/or any landscape grading drawings. Break through any compacted layers of subgrade material (sometimes left from building or paving pad compaction) that will not allow water in planting areas to percolate through, causing a boggy, over saturated soil condition. You may have to use a backhoe or rotatohammers to break up and turn soil to a minimum depth of 12". If proposed planters are in areas of existing paving or baserock, remove at least 12" of material and bring in top soil up to grade required by grading plan. Rough grading in planting areas is to be such that when amendment is incorporated and the mulch is installed, the grade will be +– 1" to finish grade.  
B. Soil Preparation: (1) Distribute soil (organic) amendment and fertilizer in the amounts recommended by the soils lab over all planting areas unless noted otherwise on the Plans. (2) Rip and/or till the amendment and fertilizer into the top 6" to 8" of soil until they are thoroughly mixed in. Hand work areas inaccessible to mechanical equipment. (3) Moisten to uniform depth for settlement and regrade to establish elevations and slopes indicated on Drawings.

3.3 FINISH GRADING  
A. The Contractor shall make himself familiar with the site and grading plans and do finished grading in conformance with said Plans and as herein specified.  
B. Grades not otherwise indicated shall be uniform levels or slopes between points where elevations are given or between points established by walks, paving, curbs, or catch basins. Finish grades shall be smooth, even, and on a uniform plane with no abrupt changes of surface. Minor adjustments of finish grades shall be made at the direction of the Landscape Architect, if required.  
C. All grades shall provide for natural runoff of water without low spots or pockets. Flowline grades shall be accurately set and shall be not less than 2% gradient wherever possible. Grades shall slope away from building foundations unless otherwise noted on Plans. All finish grades (top of mulch) are 1" below finish grade of walks, pavements, curbs, and valve boxes unless otherwise noted.

3.5 MULCHING  
A. Recultivate soils compacted by planting or other operations and smooth the soil areas prior to applying mulch. Mulch all planting areas to a depth as noted on plans. This depth should be as per the plans even after being settled and stepped on 30 days after installation. Water lightly to settle mulch. Do not bury ground cover with mulch. Place and settle mulch in such a way that it does not get washed onto paving or block drain swales or inlets.

3.6 WEED CONTROL  
A. The Contractor is responsible for pre-emergent weed control. Follow the manufacturer's directions. The Contractor is responsible for the replacement of any plants (other than weeds) that are hurt or killed due to the misuse of weed control products or use of the wrong product. Clay soils can increase the affect of certain pre-emergents. Adjust the application rate accordingly. Some owners may prefer hand weeding to chemical weed control although it is usually more expensive.

3.7 MAINTENANCE  
A. Maintenance shall begin immediately after each plant is installed.  
B. Maintenance will include:  
1. Continuous operations of watering, weeding, cultivating, fertilizing, spraying, insect, pest, fungus, and rodent control, and any other operations to assure good normal growth.  
2. Fertilizing: In addition to fertilizing of trees, shrubs and ground covers, herein specified, furnish and apply any additional fertilizers necessary to maintain plantings in a healthy, green vigorous growing condition during the maintenance period.  
3. Weeding, Cultivating and Clean Up: Planting areas shall be kept neat and free from debris at all times and shall be cultivated and weeded at no more than 10-day intervals.  
4. Insect, Pest and Disease Control: Insects and diseases shall be controlled by the use of approved insecticides and fungicides. Moles, gophers, and other rodents shall be controlled by traps, approved pellets inserted by probe gun, or other approved means.  
5. Protection: Work under this Section shall include complete responsibility for maintaining adequate protection for all areas. Any damaged areas shall be repaired at no additional expense to the Owner.  
6. Replacements: Immediately replace any plant materials that die or are damaged. Replacements shall be made to the Specifications as required for original plantings.  
7. Hand Watering: Even when planting areas are watered with automatic irrigation, the soil surrounding the plant pits can be moist while the sawdust/sand root ball is dry. This can cause the plants to deteriorate or not grow (even during the winter). The plants will do best (especially during the hot season) if they are hand watered deeply until their roots grow out into the surrounding soil.

3.8 PRELIMINARY INSPECTION  
A. As soon as all the planting is installed, the Contractor will request the Owner's Representative (in writing) to make a preliminary inspection. The 30 calendar day maintenance period will start when the work is approved. Replacement and/or repairs may be required for approval. The Contractor is to notify the Owner and the Owner's Representative in writing when the 30 day maintenance period begins.

3.9 FINAL INSPECTION  
A. At least 5 days prior to the anticipated end of the maintenance period, the Contractor shall submit a written request for final inspection. The planting areas shall be weeded, neat and clean. The work shall be accepted by the Owner exclusive of the plant materials upon written approval of the work by the Owner's Representative.

SHEET

L8

OF SHEETS

JOB#

COUNTY  
STATE

JOB NO. 19071

GREGORY LEWIS  
LANDSCAPE ARCHITECT  
LIC. # 2176  
736 PARK WAY, SANTA CRUZ, CA  
(831) 359-0960  
lewislandscape@sbcglobal.net



DATE: 4/6/21  
HORIZ. SCALE: NA  
VERT. SCALE: NA  
DESIGNED BY: GREG  
CHECKED BY: GREG  
DRAWN BY: GREG

ROAD: 3085 PASEO VISTA AVENUE

LANDS OF MENEKSHE-3085 PASEO VISTA AVENUE APN 825-29-039

COUNTY FILE NO.: PLN20-0105

APPLICANT: MENEKSHE