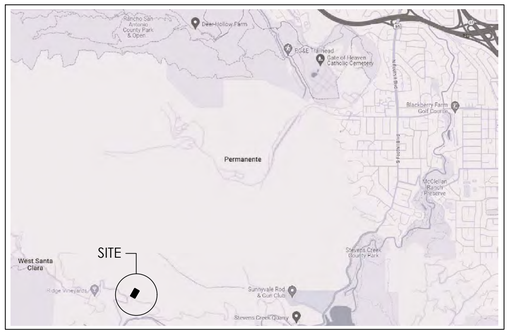
WATERS
APN# 351-42-004

ABBREVIATIONS

&	AND
L, A	ANGLE
@	AT
°	DEGREE
A.B.	ANCHOR BOLT
(A)	ABOVE
A.C.I.	AMERICAN CONCRETE INSTITUE
ADJ.	ADJACENT
A.F.F.	ABOVE FINISH FLOOR
A.I.S.C.	AMERICAN INSTITUE OF STEEL CONSTRUCTION
ALT.	ALTERNATE
ALUM.	ALUMINUM
APPROX.	APPROXIMATELY
ARCH.	ARCHITECTURAL
A.S.T.M.	AMERICAN SOCIETY OF TESTING MATERIALS
(B)	BELOW
BD.	BOARD
BLDG.	BUILDING
BLKG.	BLOCKING
BM.	BEAM
B.N.	BOUNDARY NAILING
B.O.	BOTTOM OF
BOT., BOTT.	BOTTOM
BTWN.	BETWEEN
CAB.	CABINET
C.B.	CEILING BEAM
C.J.	CEILING JOIST
CLG.	CEILING
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOS
CTR.	CENTER
CL	CENTERLINE
Db	BAR DIAMETER
DBL.	DOUBLE
DEG.	DEGREE
DEMO.	DEMOLISH
DET., DTL.	DETAIL
D.W.	DISHWASHER
DWG.	DRAWING
DWN., DN.	DOWN
(E)	EXISTING
EA.	EACH
E.N.	EDGE NAILING
EL., ELEV.	ELEVATION
ELEV.	ELEVATOR
ENG.	ENGINEER
EQ.	EQUAL
EXT.	EXTERIOR
E.W.	EACH WAY
F.B.	FLOOR BEAM
F.F.	FINISHED FLOOR
FIN.	FINISH(ED)
F.J.	FLOOR JOIST
FL.	FLUSH
FLR.	FLOOR
F.N.	FIELD NAILING
FND.	FOUNDATION
F.O.	FACE OF
FP.	FIREPLACE
F.R.	FIRE RATED
FT.	FOOT OR FEET
FTG.	FOOTING
FZR.	FREEZER
GA.	GAUGE
GALV.	GALVANIZED
G.B.	GRADE BEAM
GLB.	GLU-LAM BEAM
GYP. BD., G.W.B.	GYPSUM WALL BOARD
H.B.	HOSE BIB
HDR.	HEADER
HDWR.	HARDWARE
HORIZ.	HORIZONTAL
HT., H.	HEIGHT
I.D.	INSIDE DIAMETER
IN.	INCH(ES)
INSUL.	INSULATION
INT.	INTERIOR
JT.	JOINT
K.P.	KING POST
L.	LENGTH
LIN.	LINEAR
MAX.	MAXIMUM
M.B.	MACHINE BOLT
MEMB.	MEMBRANE
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTL.	METAL
MW.	MICROWAVE
N.	NORTH
(N)	NEW
N.T.S.	NOT TO SCALE
O/	OVER
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
O.H.	OPPOSITE HAND
OV.	OVEN
N.I.C.	NOT IN CONTRACT
PL.	PLATE
PLYWD.	PLYWOOD
PKG.	PARKING
P.S.F.	POUNDS PER SQUARE FOOT
P.S.I.	POUNDS PER SQUARE INCH
QTY.	QUANTITY
RAD.	RADIUS
R.B.	ROOF BEAM
RCP.	REFLECTED CEILING PLAN
RE:	REFERENCE
REF.	REFRIGERATOR
REINF.	REINFORCED
REQ'D.	REQUIRED
RM.	ROOM
R.O.	ROUGH OPENING
R.R.	ROOF RAFTER
SCHED.	SCHEDULE
SF., SQ. FT.	SQUARE FOOT
SHTG.	SHEATHING
SHT.	SHEET
SIM.	SIMILAR
SL.	SLOPED
SPKL.	SPRINKLER
SQ.	SQUARE
STAGG.	STAGGER
STD.	STANDARD
STL.	STEEL
STR., STRUCT.	STRUCTURAL
T&B	TOP & BOTTOM
T&G	TONGUE & GROOVE
THK.	THICK
T.O.	TOP OF
T.P.	TOILET PAPER
TYP.	TYPICAL
U.B.C.	UNIFORM BUILDING CODE
VERT.	VERTICAL
W.	WIDTH
WD.	WOOD
WH.	WATER HEATER

WATERS

NEW RESIDENCE & ADU
PEACOCK COURT
CUPERTINO, CA 95014
APN 351-42-004



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VICINITY MAP

CODE COMPLIANCE

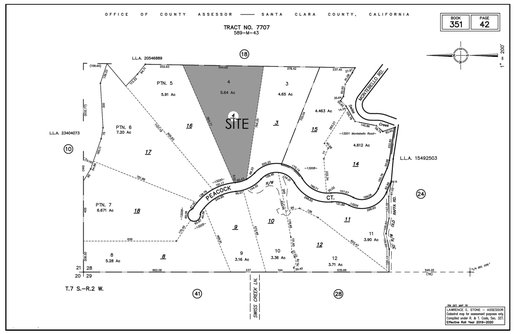
THIS RESIDENTIAL CONSTRUCTION COMPLIES WITH TITLE 24 AND THE FOLLOWING CODES:
2019 CALIFORNIA RESIDENTIAL CODE (CRC),
2019 CALIFORNIA BUILDING CODE (CBC),
2019 CALIFORNIA MECHANICAL CODE (CMC),
2019 CALIFORNIA PLUMBING CODE (CPC),
2019 CALIFORNIA ELECTRICAL CODE (CEC) AND THE
2019 CALIFORNIA ENERGY CODE (CEnC).

DEFERRED SUBMITTALS

FIRE SPRINKLERS WILL BE INSTALLED AS A DEFERRED SUBMITTAL.

FIRE NOTES

1. THESE PLANS SHALL COMPLY WITH 2019 CALIFORNIA BUILDING CODE AND 2019 CALIFORNIA FIRE CODE AND DISTRICT AMENDMENTS.
2. OCCUPANCY R-3 & U, TYPE V-B, FULLY SPRINKLED. APPROVED AUTOMATIC SYSTEM COMPLYING WITH THE EDITION OF NFPA 13D CURRENTLY ADOPTED IN CHAPTER 35 OF THE CALIFORNIA BUILDING CODE.
3. THE DESIGNER/INSTALLER SHALL SUBMIT TWO (2) SETS OF PLANS, CALCULATIONS, AND CUT SHEETS FOR THE UNDERGROUND AND OVERHEAD RESIDENTIAL AUTOMATIC SPRINKLER SYSTEM TO THE CENTRAL FIRE PROTECTION DISTRICT.
4. ADDRESS NUMBERS SHALL BE POSTED AND MAINTAINED AS SHOWN ON THE SITE PLAN. NUMBERS SHALL BE A MINIMUM OF 4 INCHES IN HEIGHT AND OF A COLOR CONTRASTING TO THEIR BACKGROUND.
5. ROOF COVERING SHALL BE NO LESS THAN CLASS "B" RATED.
6. THE JOB COPIES OF THE BUILDING PLANS AND PERMITS MUST REMAIN ON-SITE DURING INSPECTIONS.
7. ONE HUNDRED (100) FOOT CLEARANCE TO BE MAINTAINED WITH NON-COMBUSTIBLE VEGETATION AROUND ALL STRUCTURES OR TO THE PROPERTY LINE, WHICHEVER IS SHORTER DISTANCE.
8. THE ELECTRIC GATE SHALL BE EQUIPPED WITH THE COUNTY FIRE PROTECTION DISTRICT KEY ENTRY SYSTEM.



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PARCEL MAP

CONSULTANTS

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BIOSPHERE CONSULTING
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GEOTECHNICAL:
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935 FREMONT AVE
LOS ALTOS, CA 94024
PHONE: 650-559-9980

NOTE: PROJECT SHALL CONFORM TO GEOTECHNICAL SOILS REPORT RECOMMENDATIONS

PROJECT CALCULATIONS

SEE SHT P2.1 SITE PLAN FOR PROJECT CALCULATIONS

VEGETATION MANAGEMENT STANDARDS

PUBLIC RESOURCES CODE - PRC
DIVISION 4. FORESTS, FORESTRY AND RANGE AND FORAGE LANDS
PART 2. PROTECTION OF FOREST, RANGE AND FORAGE LANDS
CHAPTER 3. MOUNTAINOUS, FOREST, BRUSH AND GRASS-COVERED LANDS

THE OWNER SHALL MAINTAIN PROPERTY CONFORMING TO THESE GUIDELINES. FOLLOWING IS AN ABBREVIATED OUTLINE. SEE CODE FOR FULL DESCRIPTIONS:

A. MAINTAIN DEFENSIBLE SPACE OF 100 FEET FROM EACH SIDE AND FROM THE FRONT AND REAR OF THE STRUCTURE.
B. REMOVE THAT PORTION OF A TREE THAT EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE.
C. MAINTAIN A TREE, SHRUB, OR OTHER PLANT ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.
D. MAINTAIN THE ROOF OF A STRUCTURE FREE OF LEAVES, NEEDLES, OR OTHER VEGETATIVE MATERIALS.

PROJECT INFORMATION

OWNER:	JEFF and MELISSA WATERS PEACOCK COURT CUPERTINO, CA 95014
A. P. N.:	351-42-004
ZONING:	HS-d1
OCCUPANCY GROUP:	R-3 & U (PER 2019 CRC)
CONSTRUCTION TYPE:	VB (SPRINKLERED)
LOT NUMBER:	004
TRACT NUMBER:	42
SANTA CLARA COUNTY DISTRICT:	5

PROJECT DESCRIPTION:
A NEW 8,094 SF TWO-STORY RESIDENCE WITH LOWER FLOOR BASEMENT,
A 846 SF 3-CAR GARAGE, COURTYARDS, DECKS AND INFINITY POOL.
A NEW 1,198 SF ADU/COTTAGE OVER A 2,550 SF BASKETBALL HALF-COURT
A 213 SF LOCKER ROOM, A 355 SF 1-CAR GARAGE WITH BREEZEWAY AND
A 806 SF ROOF DECK.

FIRE PROTECTION DISTRICT: Santa Clara County Central Fire Protection District
SANITARY DISTRICT: N/A
WATER DISTRICT: N/A

SPECIAL RESOURCE/HAZARDS/CONSTRAINTS AREAS:
FEMA FLOOD ZONE: D (100%) DRAINS TO SAN FRANCISCO BAY
STATE RESPONSE AREA: SRA (100%)
WILDLAND-URBAN INTERFACE FIRE AREA: IN
CONSTRUCTION SHALL COMPLY WITH THE WUI CODE, CRC R337
COUNTY FAULT RUPTURE HAZARD ZONE: IN
COUNTY LANDSLIDE HAZARD ZONE: IN
STATE SEISMIC HAZARD ZONE (earthquake induced landslides): IN

SHEET INDEX

MATSON BRITTON ARCHITECTS
728 N BRANCIFORTE SANTA CRUZ CA 95062 831-425-0544

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2 09/14/21 PLANNING
3 06/22/23 RESUB
4 06/12/24 RESUB

WATERS RESIDENCE
NEW RESIDENCE AND ADU
PEACOCK COURT
CUPERTINO, CA 95051
APN: 351-42-004

TITLE SHEET

LICENSED ARCHITECT — COLE BRITTON — NO. C-23616 — 8/31/21 RENEWAL DATE — STATE OF CALIFORNIA

DATE 09 / 15 / 21
DRAWN FK
JOB WATERS
SHEET P1

WATERS TB - Planning.dwg
6/11/2024 8:01 AM
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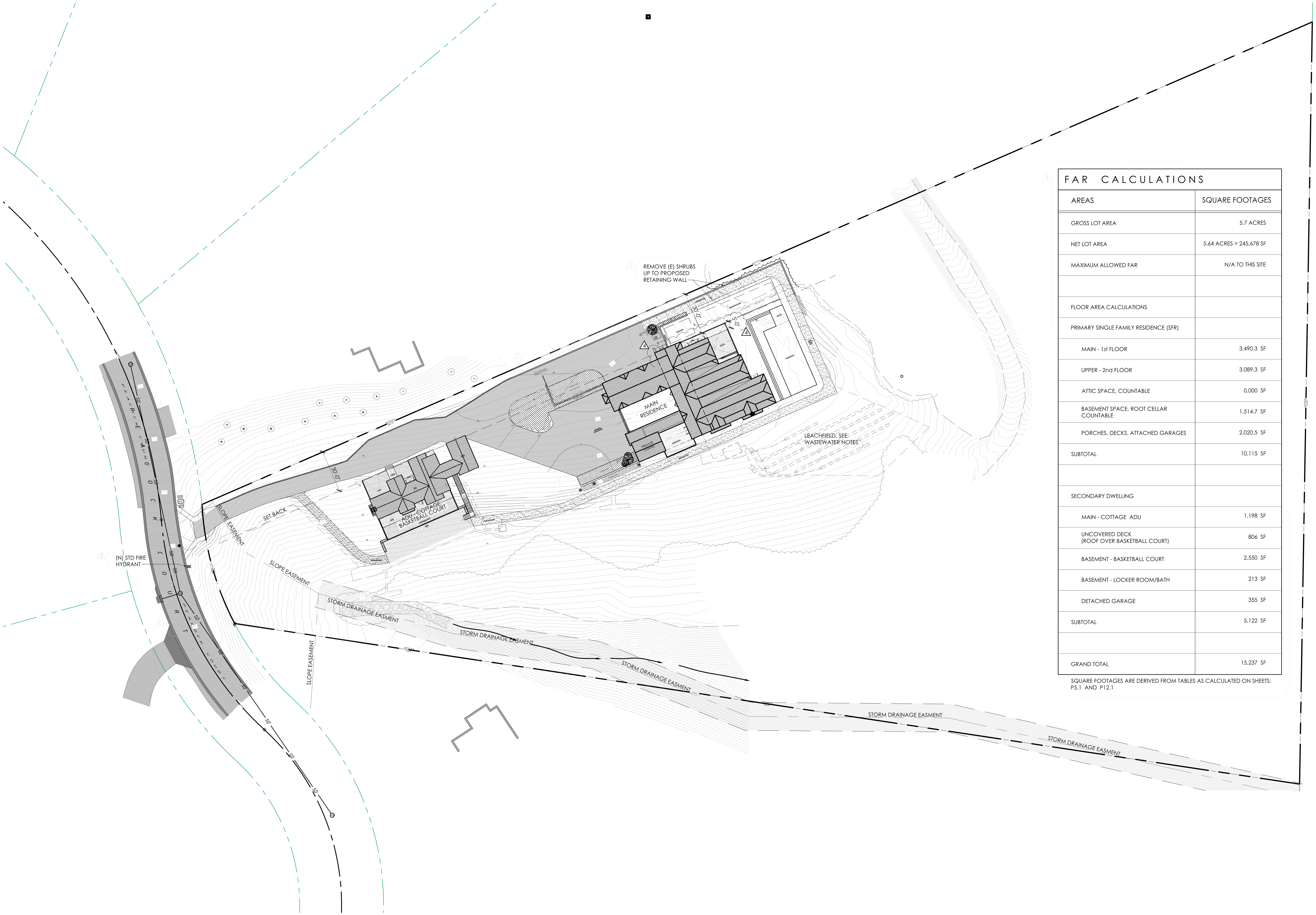

FAR CALCULATIONS

AREAS	SQUARE FOOTAGES
GROSS LOT AREA	5.7 ACRES
NET LOT AREA	5.64 ACRES = 245,678 SF
MAXIMUM ALLOWED FAR	N/A TO THIS SITE
FLOOR AREA CALCULATIONS	
PRIMARY SINGLE FAMILY RESIDENCE (SFR)	
MAIN - 1st FLOOR	3,490.3 SF
UPPER - 2nd FLOOR	3,089.3 SF
ATTIC SPACE, COUNTABLE	0,000 SF
BASEMENT SPACE, ROOT CELLAR COUNTABLE	1,514.7 SF
PORCHES, DECKS, ATTACHED GARAGES	2,020.5 SF
SUBTOTAL	10,115 SF
SECONDARY DWELLING	
MAIN - COTTAGE ADU	1,198 SF
UNCOVERED DECK (ROOF OVER BASKETBALL COURT)	806 SF
BASEMENT - BASKETBALL COURT	2,550 SF
BASEMENT - LOCKER ROOM/BATH	213 SF
DETACHED GARAGE	355 SF
SUBTOTAL	5,122 SF
GRAND TOTAL	15,237 SF

SQUARE FOOTAGES ARE DERIVED FROM TABLES AS CALCULATED ON SHEETS: P5.1 AND P12.1

SITE PLAN

SCALE: 1" = 30'-0"

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PEACOCK COURT
CUPERTINO, CA 95051
APN: 351-42-004

SITE PLAN
AND FAR CALCS

LICENSED ARCHITECT
COVE BRITTON
NO. C-23616
8/31/21
RENEWAL DATE
STATE OF CALIFORNIA

DATE: 09 / 15 / 21

DRAWN: FK

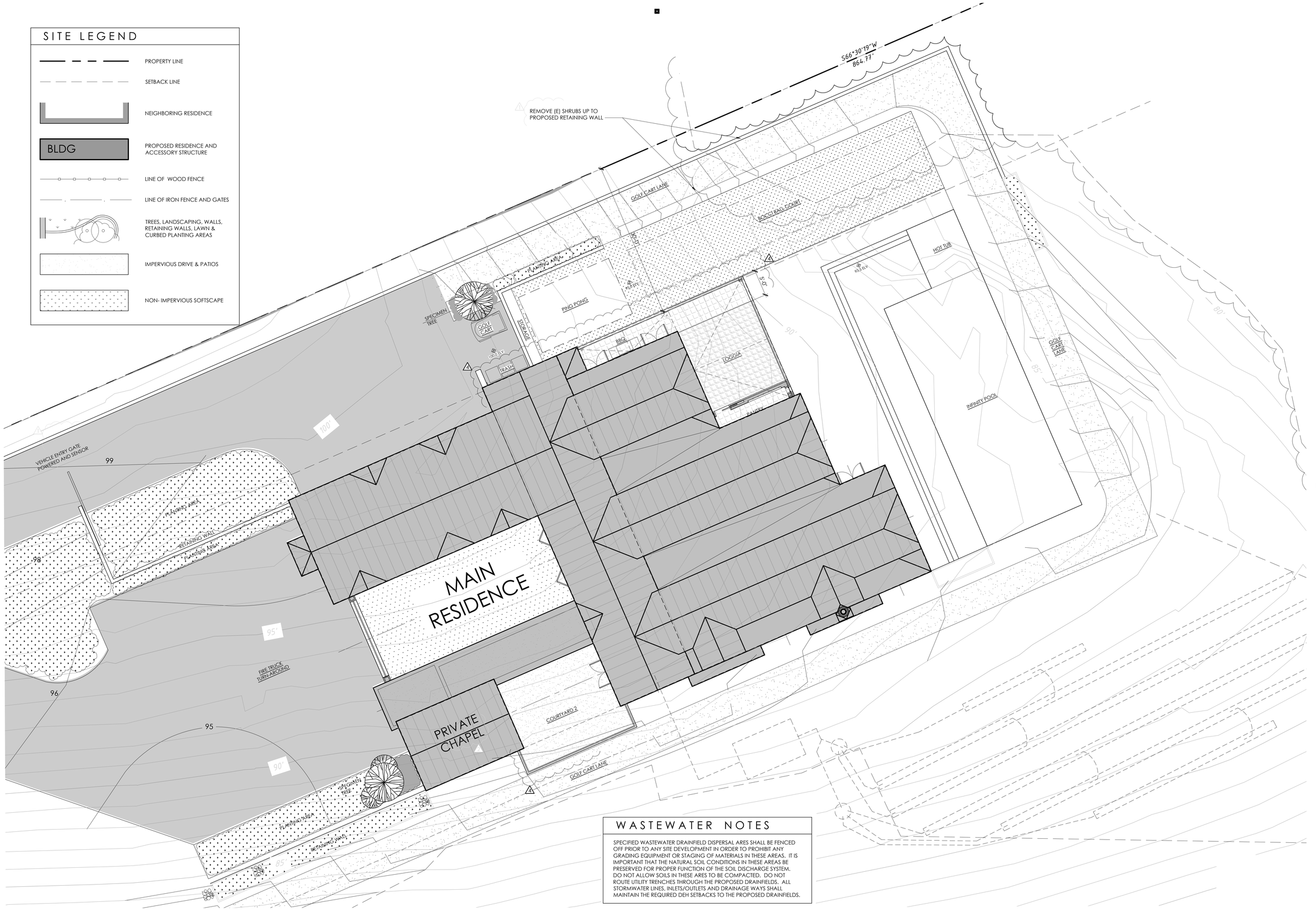
JOB: WATERS

SHEET: P2.1

4

SITE LEGEND

- PROPERTY LINE
- SETBACK LINE
- NEIGHBORING RESIDENCE
- BLDG — PROPOSED RESIDENCE AND ACCESSORY STRUCTURE
- LINE OF WOOD FENCE
- LINE OF IRON FENCE AND GATES
- TREES, LANDSCAPING, WALLS, RETAINING WALLS, LAWN & CURBED PLANTING AREAS
- IMPERVIOUS DRIVE & PATIOS
- NON- IMPERVIOUS SOFTSCAPE



WASTEWATER NOTES

SPECIFIED WASTEWATER DRAINFIELD DISPERSAL ARES SHALL BE FENCED OFF PRIOR TO ANY SITE DEVELOPMENT IN ORDER TO PROHIBIT ANY GRADING EQUIPMENT OR STAGING OF MATERIALS IN THESE AREAS. IT IS IMPORTANT THAT THE NATURAL SOIL CONDITIONS IN THESE AREAS BE PRESERVED FOR PROPER FUNCTION OF THE SOIL DISCHARGE SYSTEM. DO NOT ALLOW SOILS IN THESE ARES TO BE COMPACTED. DO NOT ROUTE UTILITY TRENCHES THROUGH THE PROPOSED DRAINFIELDS. ALL STORMWATER LINES, INLETS/OUTLETS AND DRAINAGE WAYS SHALL MAINTAIN THE REQUIRED DEH SETBACKS TO THE PROPOSED DRAINFIELDS.

SITE PLAN - MAIN RESIDENCE

SCALE: 1/8" = 1'-0"

N

0 8 16 24 32

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WATERS RESIDENCE
NEW RESIDENCE AND ADU
PEACOCK COURT
CUPERTINO, CA. 95051
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MAIN RESIDENCE SITE PLAN

LICENSED ARCHITECT — STEVE BRITTON — NO. C-23616 — 8/31/21 RENEWAL DATE — STATE OF CALIFORNIA

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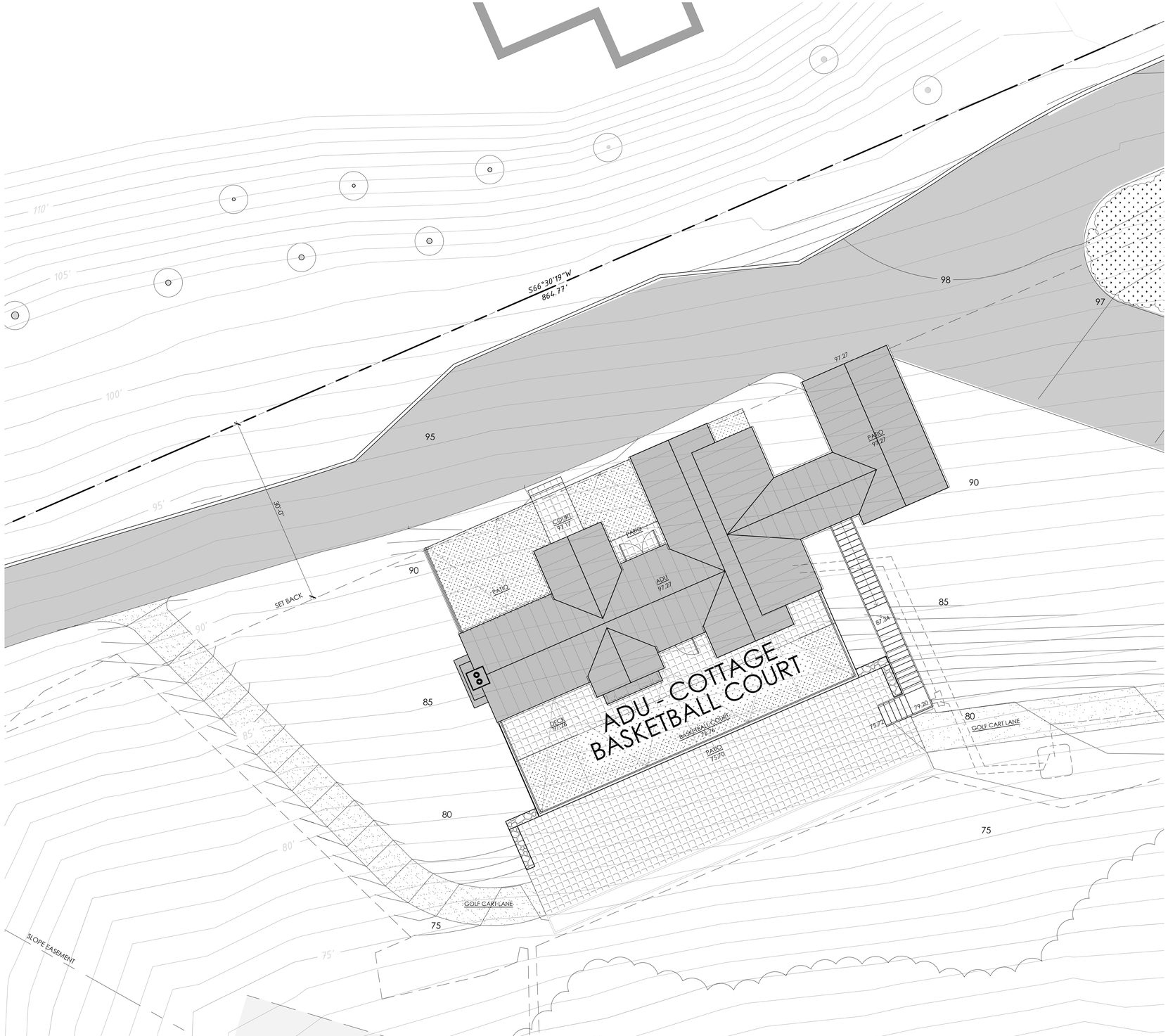
SHEET: P2.2



SITE PLAN - ADU COTTAGE / BASKETBALL COURT

SCALE: 1/8" = 1'-0"

N

0 8 16 24 32

SITE LEGEND

- PROPERTY LINE
- SETBACK LINE
- NEIGHBORING RESIDENCE
- BLDG — PROPOSED RESIDENCE AND ACCESSORY STRUCTURE
- LINE OF WOOD FENCE
- LINE OF IRON FENCE AND GATES
- TREES, LANDSCAPING, WALLS, RETAINING WALLS, LAWN & CURBED PLANTING AREAS
- IMPERVIOUS DRIVE & PATIOS
- NON- IMPERVIOUS SOFTSCAPE

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WATERS RESIDENCE
NEW RESIDENCE AND ADU
PEACOCK COURT
CUPERTINO, CA. 95051
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SITE PLAN - ADU COTTAGE BASKETBALL COURT

LICENSED ARCHITECT — COVE BRITTON — NO. C-23616 — 8/31/21 RENEWAL DATE — STATE OF CALIFORNIA

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JOB
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SHEET
P2.3

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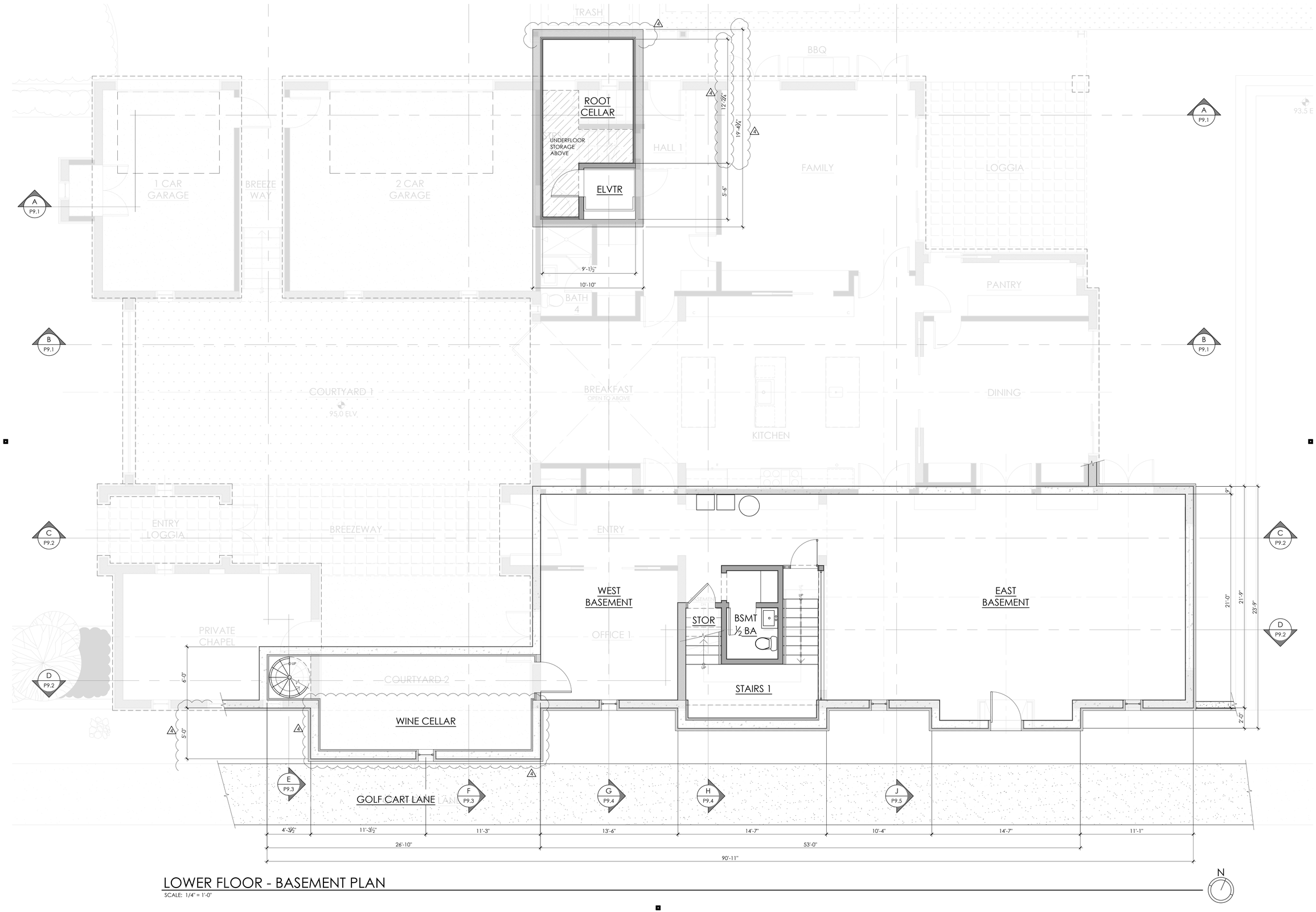

LOWER FLOOR - BASEMENT PLAN

SCALE: 1/4" = 1'-0"

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NEW RESIDENCE AND ADU
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RESIDENCE
BASEMENT PLAN

LICENSED ARCHITECT JOHN BRITTON NO. C-23616 8/31/21 RENEWAL DATE STATE OF CALIFORNIA

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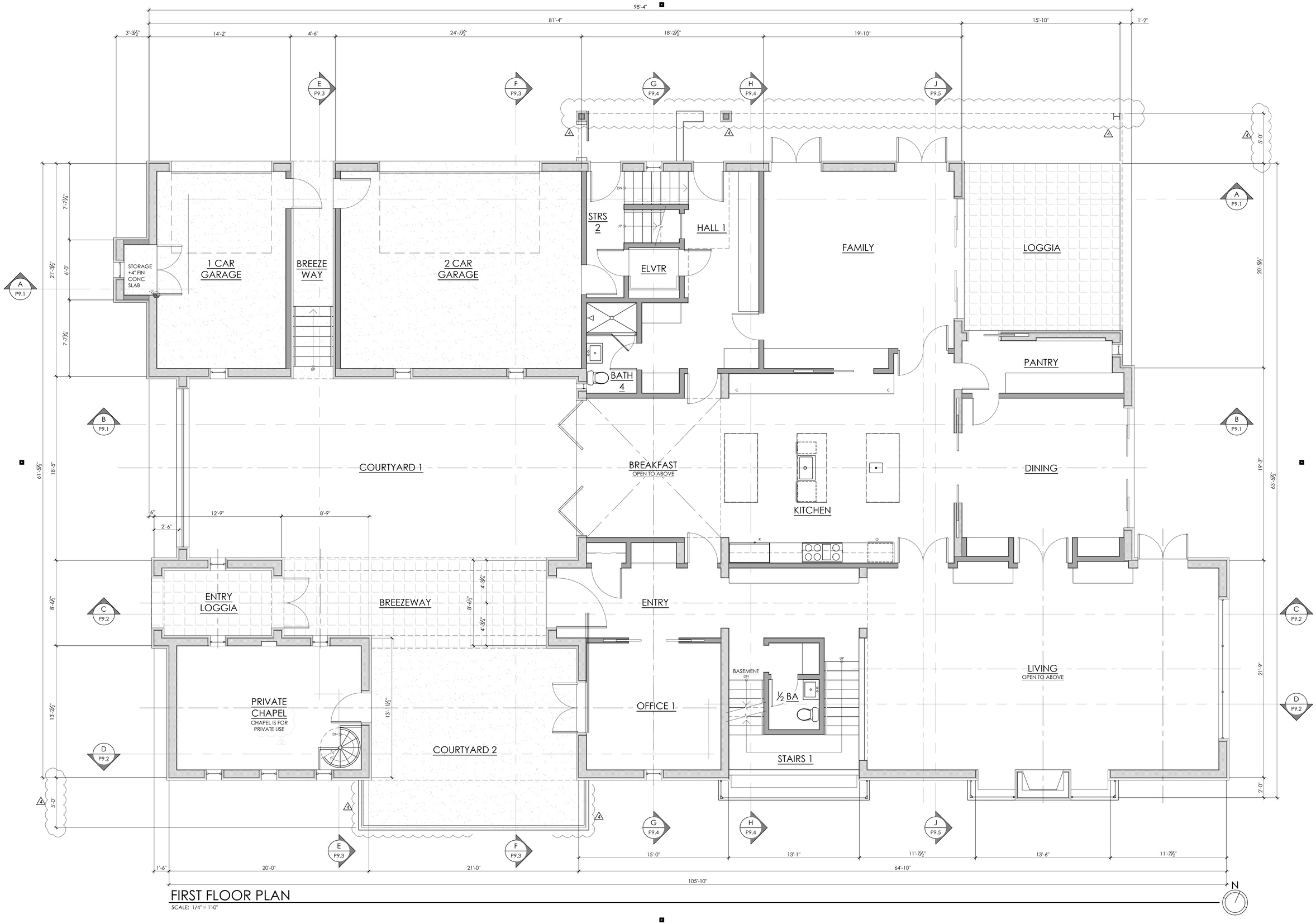

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

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WATERS RESIDENCE
NEW RESIDENCE AND ADU
PEACOCK COURT
CUPERTINO, CA 95051
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RESIDENCE
FIRST FLOOR PLAN

LICENSED ARCHITECT
CLOVE BRITTON
NO. C-23616
8/31/21
RENEWAL
STATE OF CALIFORNIA

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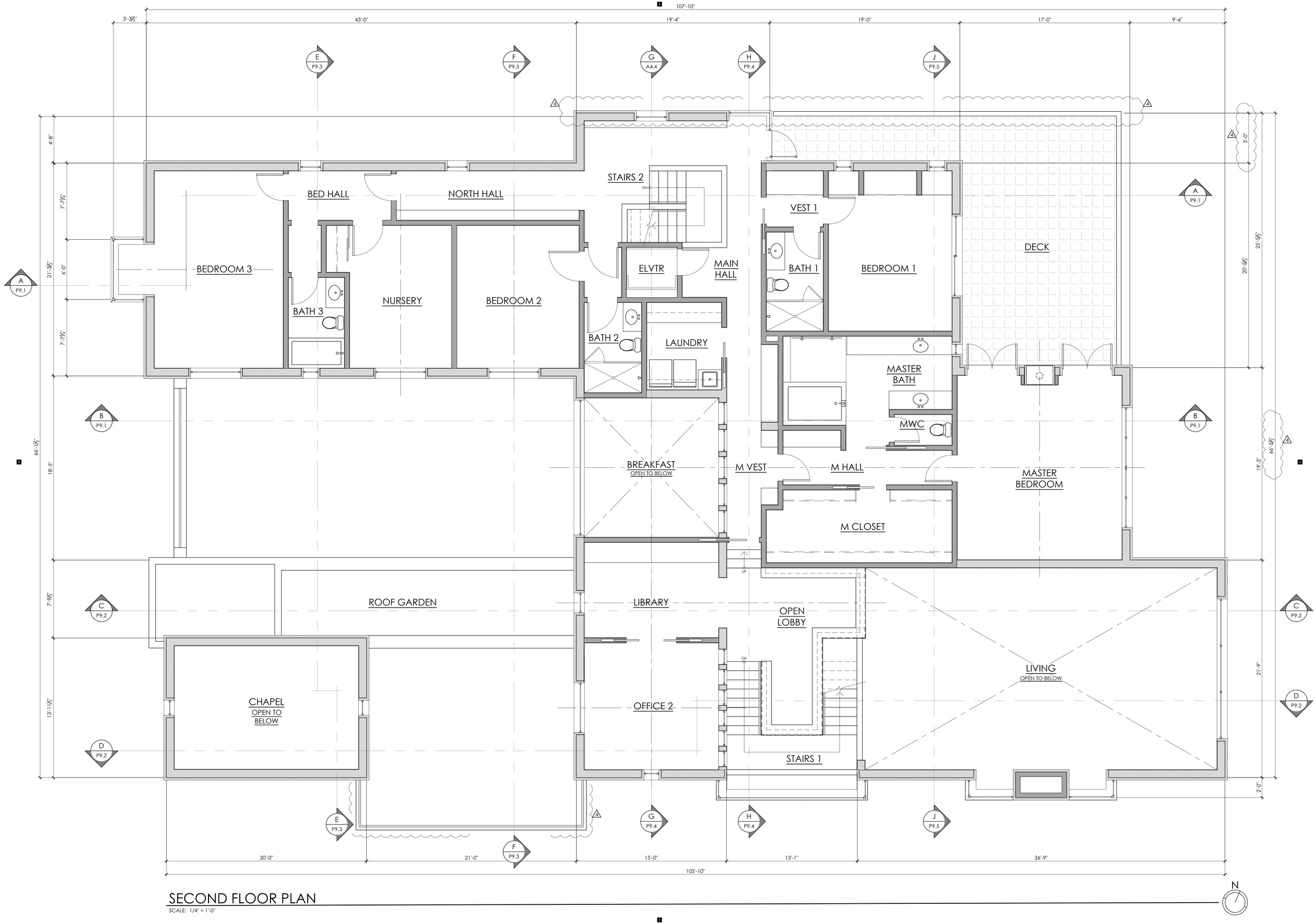

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

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RESIDENCE
SECOND FLOOR PLAN

LICENSED ARCHITECT COVE BRITTON NO. C-23616 8/31/21 RENEWAL DATE STATE OF CALIFORNIA

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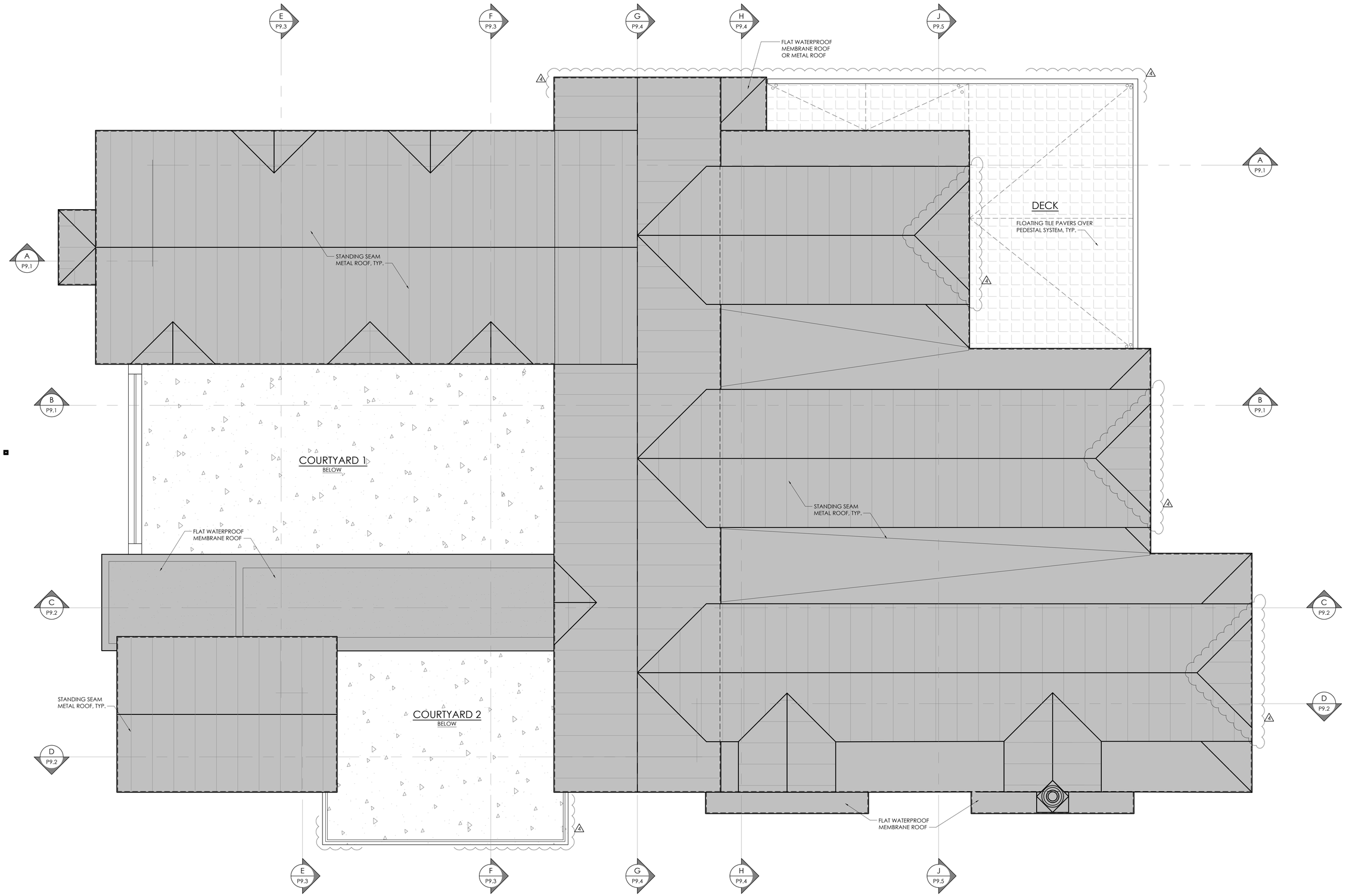

ROOF PLAN

SCALE: 1/4" = 1'-0"

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RESIDENCE ROOF PLAN

LICENSED ARCHITECT — CLOVE BRITTON — NO. C-23616 — 8/31/21 — RENEWAL DATE — STATE OF CALIFORNIA

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DRAWN
FK
JOB
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SHEET
P6

SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

WEST ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS & COLOR			
BUILDING ITEM	PRODUCT MFR	COLOR	LRV %
ROOF	ASC BUILDING PRODUCTS, METAL	MATTE BLACK	5
DOOR & WINDOW FRAMES, RAILINGS	MFR TO BE DETERMINED	COLOR	5
TRIM	MFR TO BE DETERMINED	COLOR	5
EXTERIOR WALLS	MY PERFECT COLOR	AF9F8A MANOR GREY	35.78
STONE VENEER	E-Z SET NATURAL STONE THIN VENEER	GRANITE MOSAIC VENNER	45 MAX
RETAINING WALLS	E-Z SET NATURAL STONE THIN VENEER	GRANITE MOSAIC VENNER	45 MAX

BRITTON MATSON ARCHITECTS
728 N BRANCIFORTE SANTA CRUZ CA 95062 831-425-0544

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1. 01/12/21 PLANNING
2. 09/14/21 PLANNING
3. 06/22/23 RESUB
4. 06/12/24 RESUB

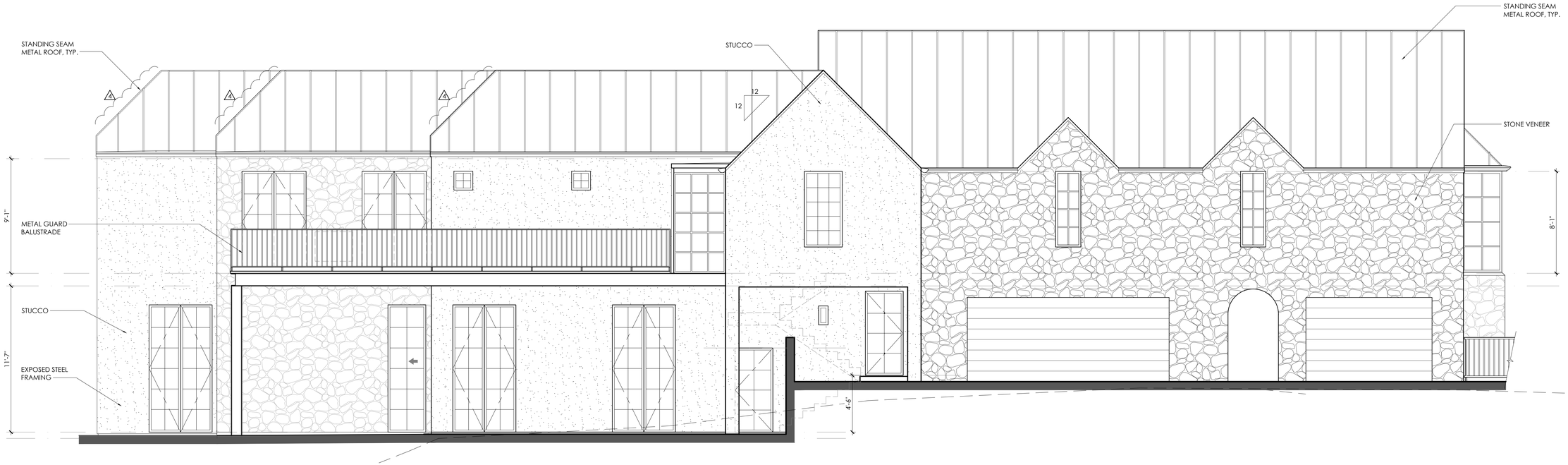
WATERS RESIDENCE

NEW RESIDENCE AND ADU
PEACOCK COURT
CUPERTINO, CA. 95051
APN: 351-42-004

RESIDENCE
EXTERIOR ELEVATIONS

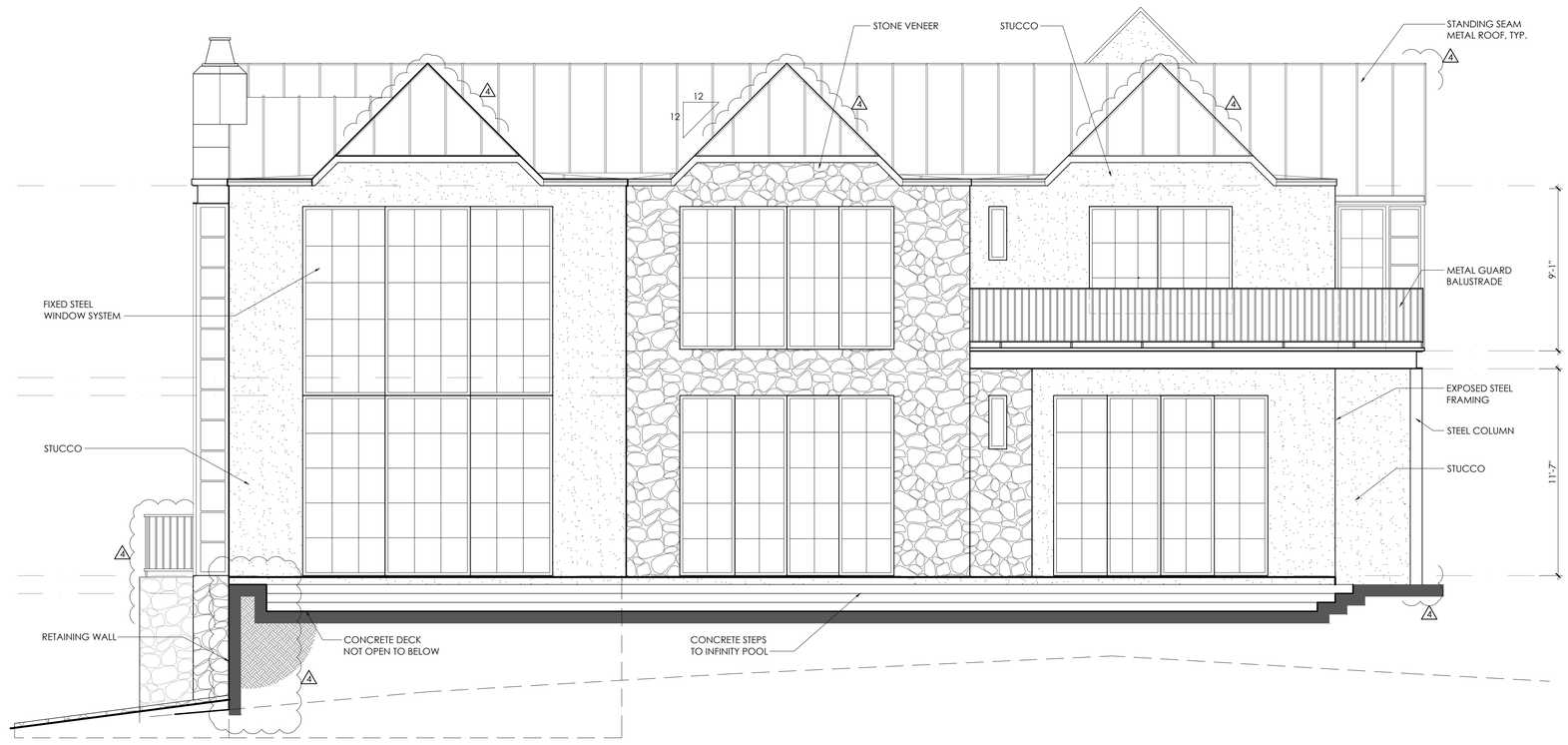
LICENSED ARCHITECT
CLOVE BRITTON
NO. C-23616
8/31/21
RENEWAL DATE
STATE OF CALIFORNIA

DATE
09 / 15 / 21
DRAWN
FK
JOB
WATERS
SHEET
P7.1



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

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RESIDENCE EXTERIOR ELEVATIONS

LICENSED ARCHITECT — COVE BRITTON — NO. C-23616 — 8/31/21 — RENEWAL DATE — STATE OF CALIFORNIA

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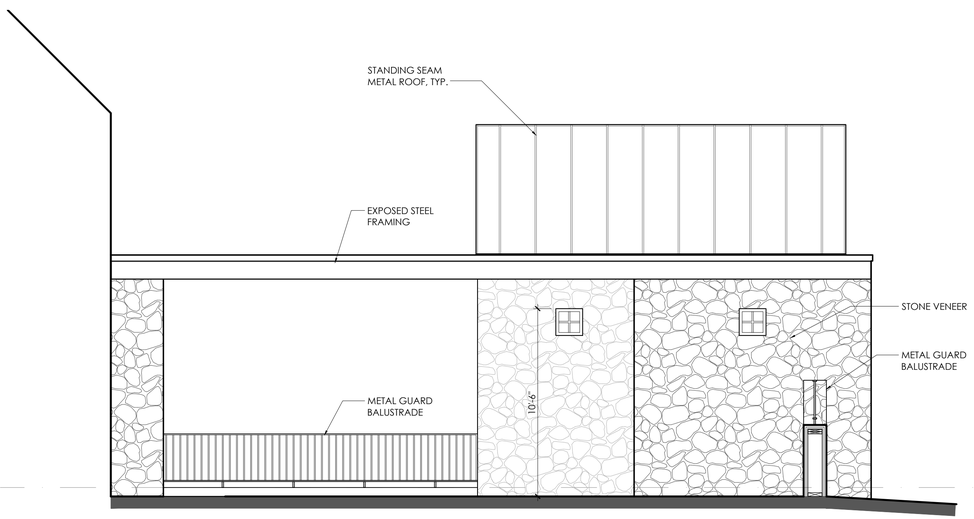
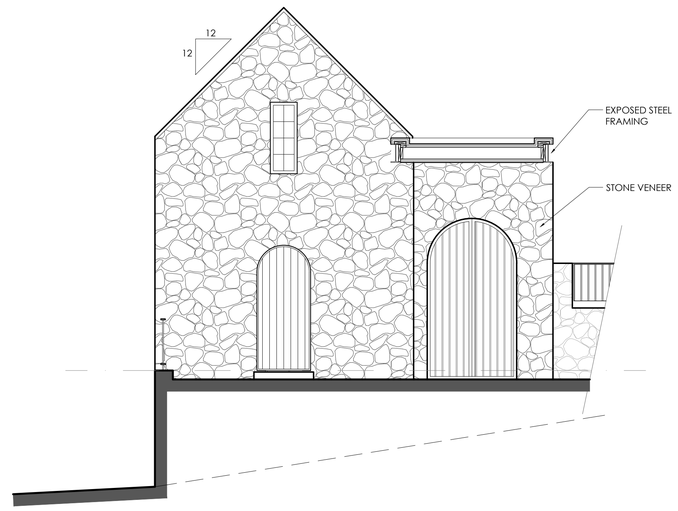
COURTYARD SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



COURTYARD NORTH ELEVATION

SCALE: 1/4" = 1'-0"



COURTYARD EAST ELEVATION

SCALE: 1/4" = 1'-0"

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RESIDENCE COURTYARD ELEVATIONS

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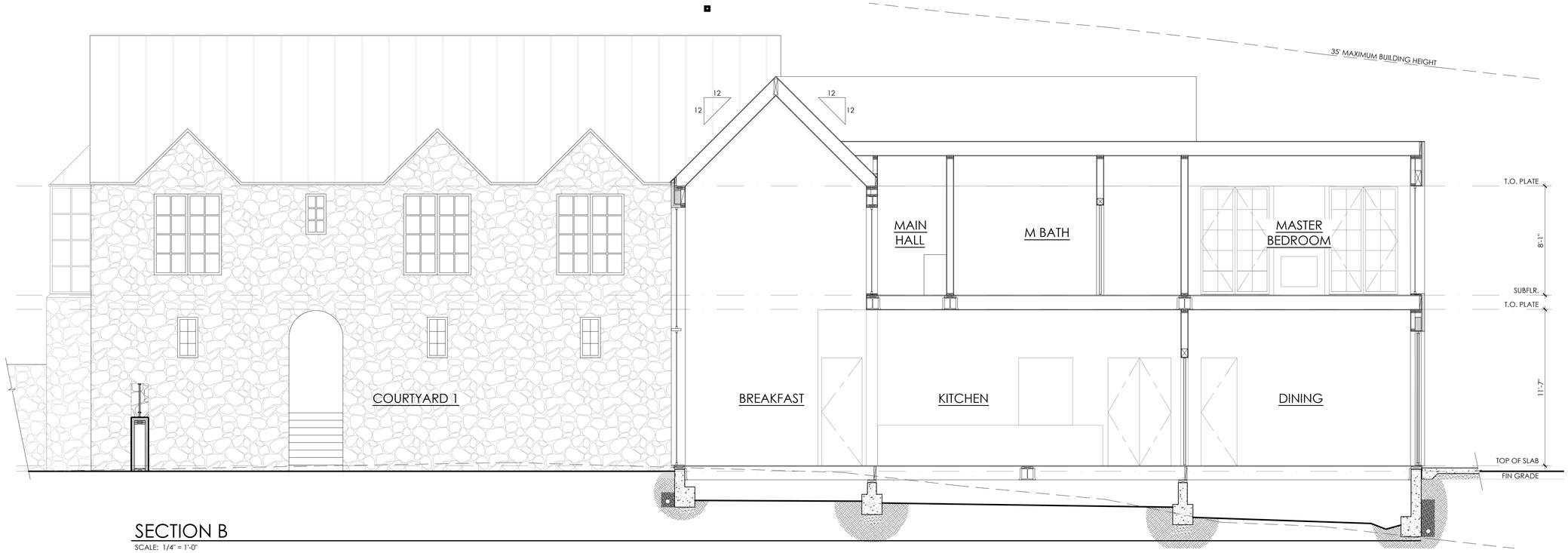

SECTION B

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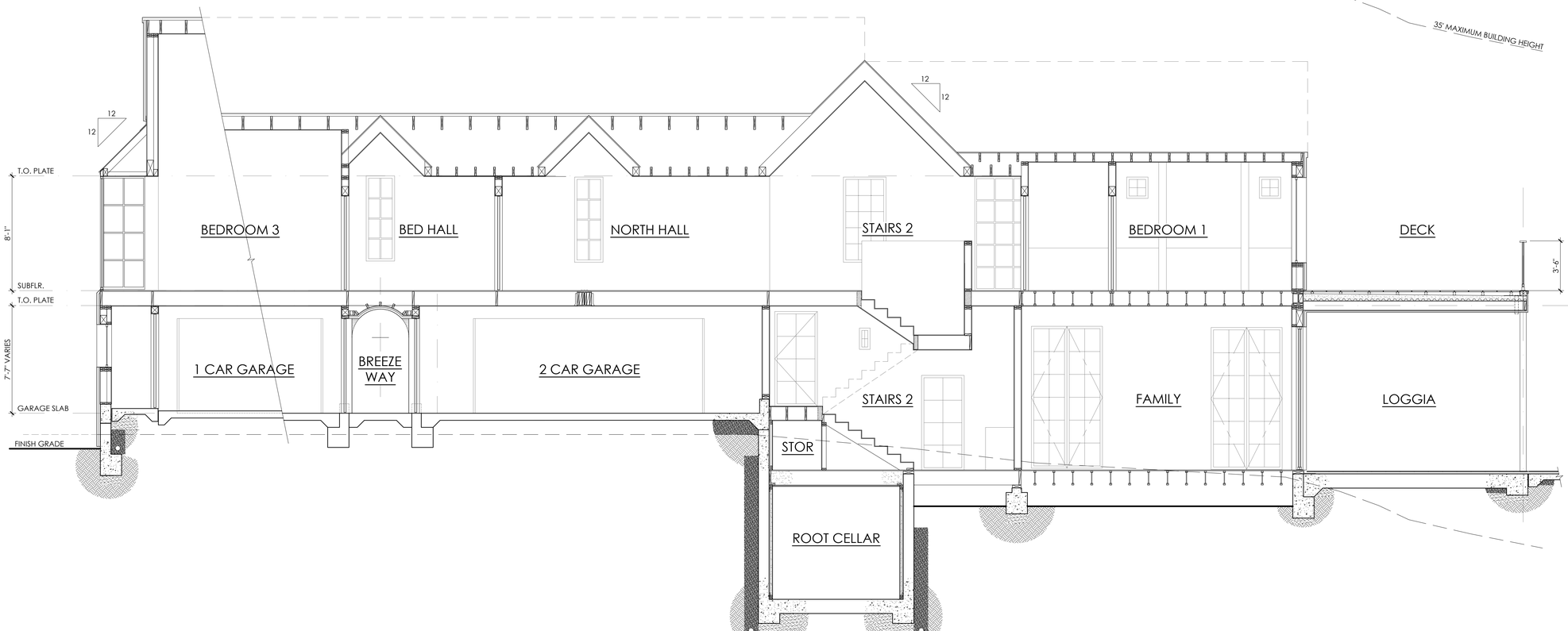

SECTION A

SCALE: 1/4" = 1'-0"

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RESIDENCE
BUILDING SECTIONS
SECTION A - SECTION B

LICENSED ARCHITECT JOHN BRITTON NO. C-23616 8/31/21 RENEWAL DATE STATE OF CALIFORNIA

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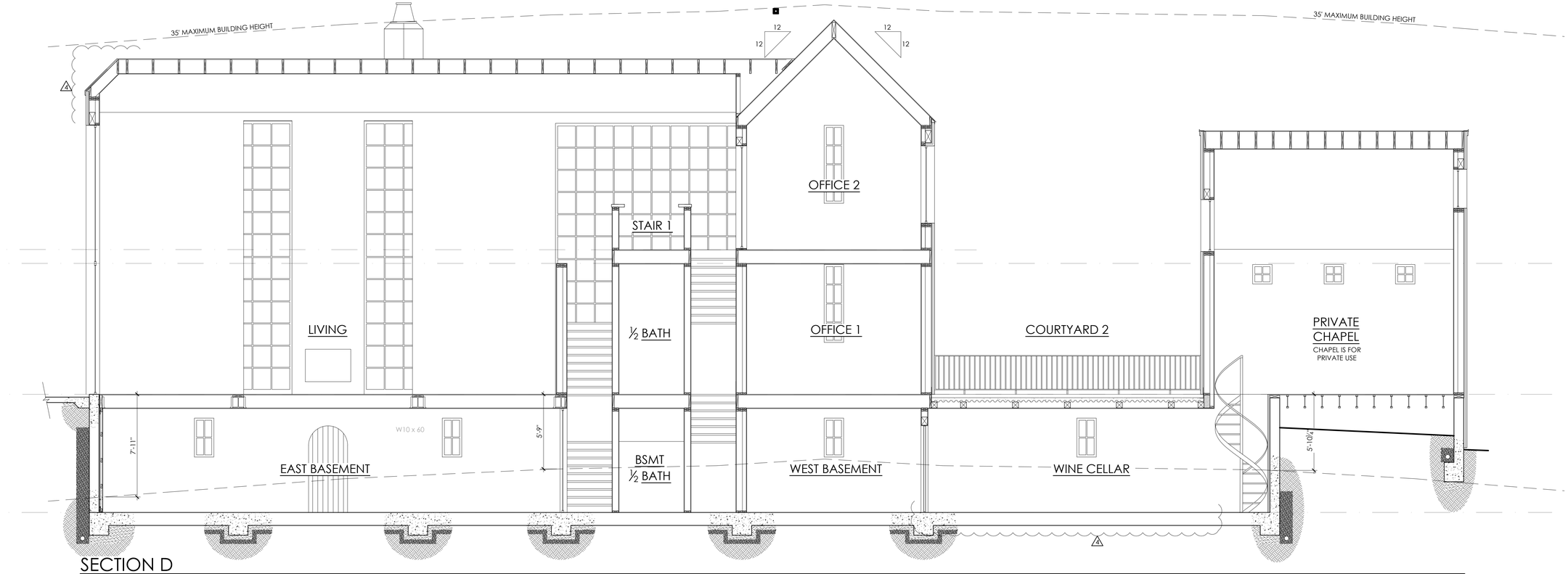

SECTION D

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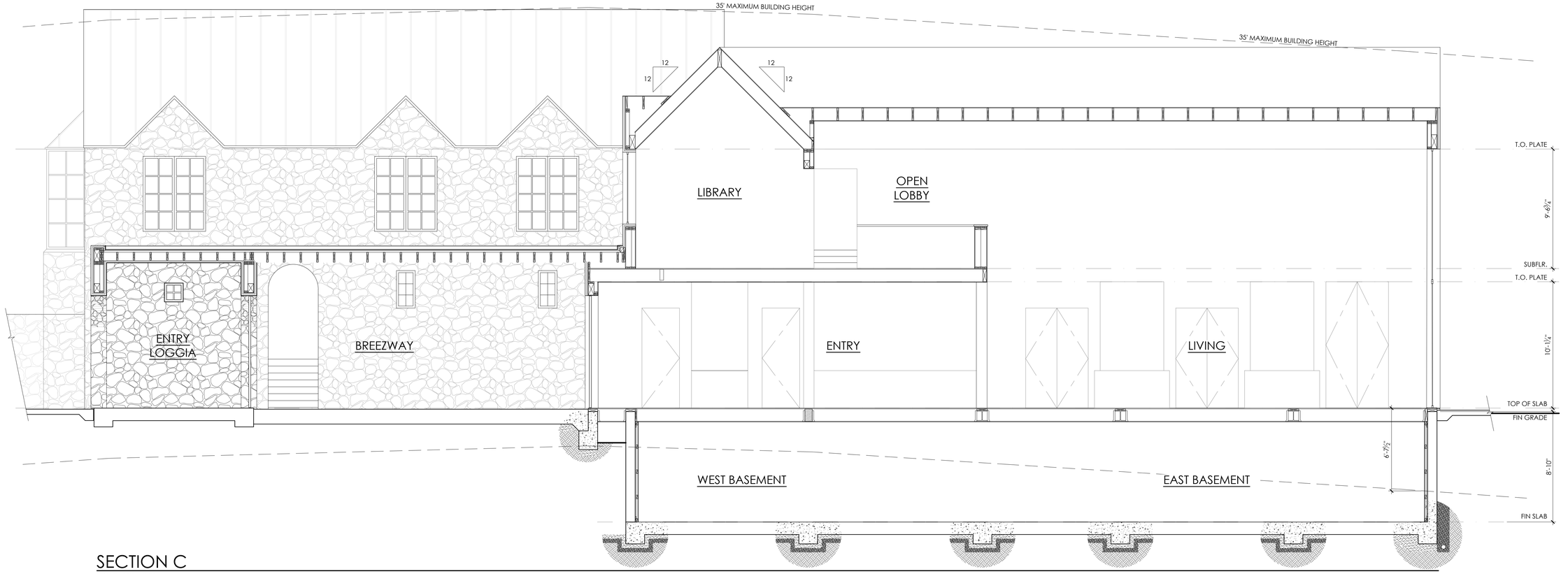

SECTION C

SCALE: 1/4" = 1'-0"

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RESIDENCE BUILDING SECTIONS SECTION C - SECTION D

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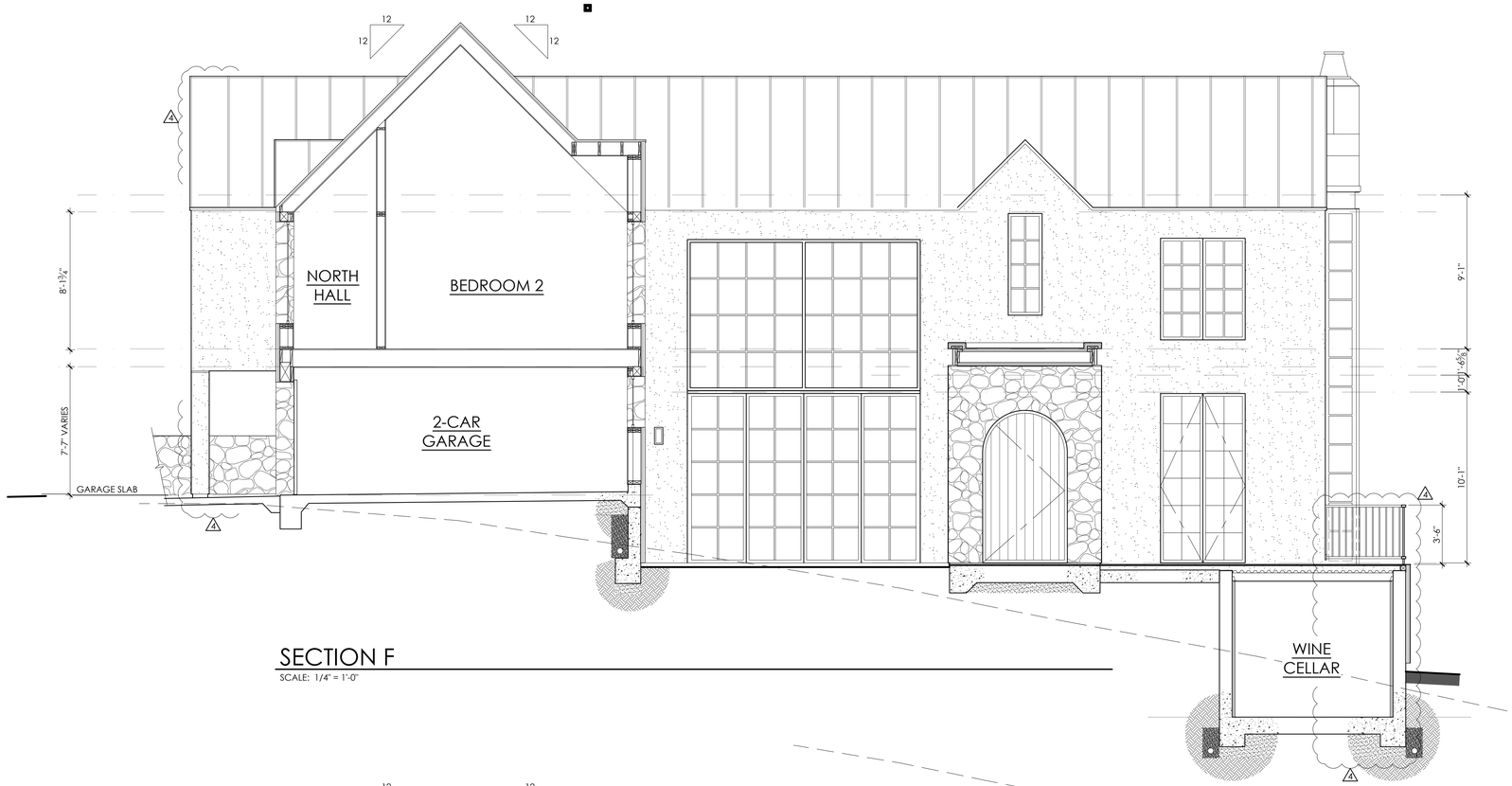

SECTION F

SCALE: 1/4" = 1'-0"

SECTION E

SCALE: 1/4" = 1'-0"

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RESIDENCE
BUILDING SECTIONS
SECTION E - SECTION F

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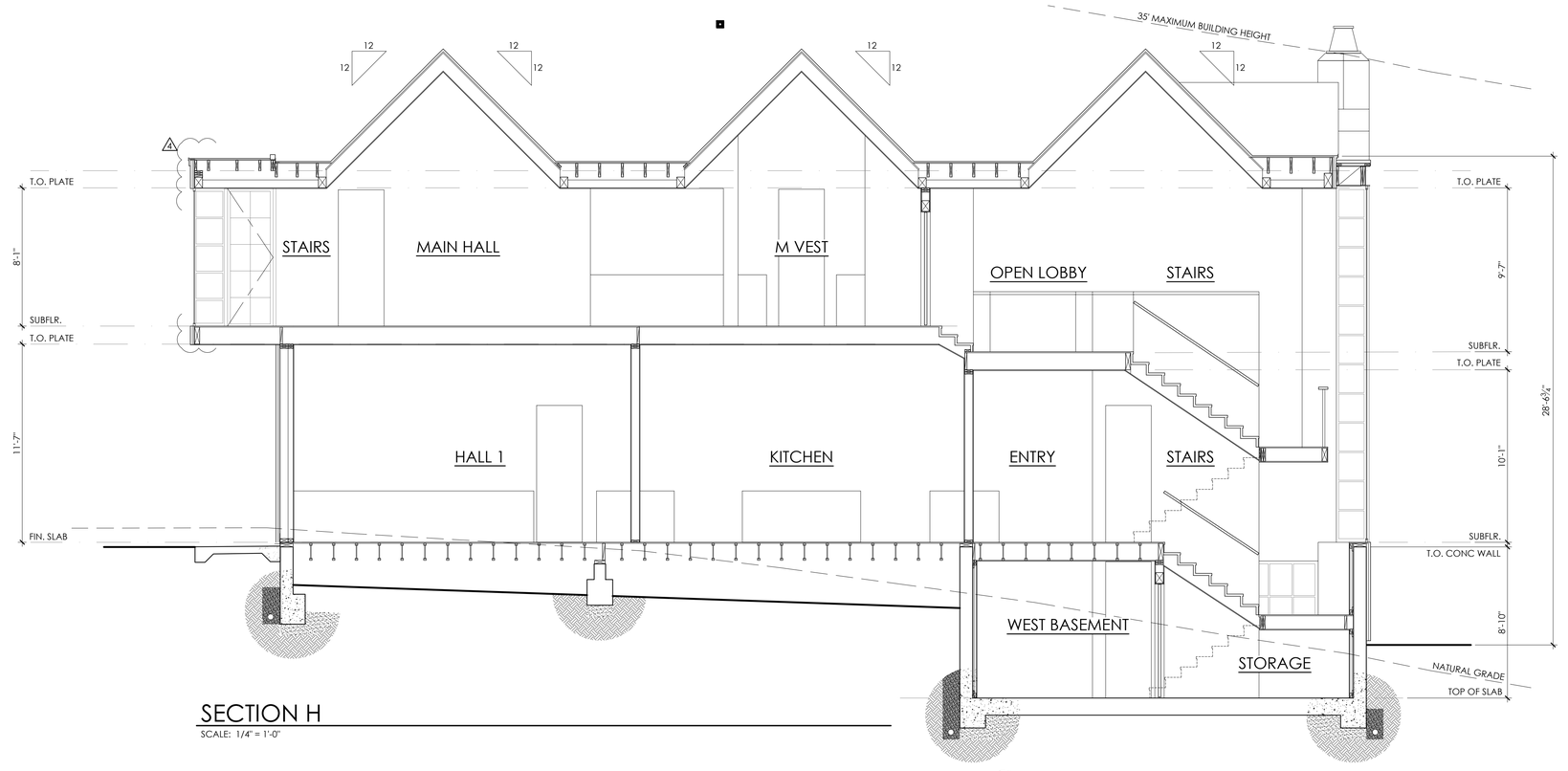
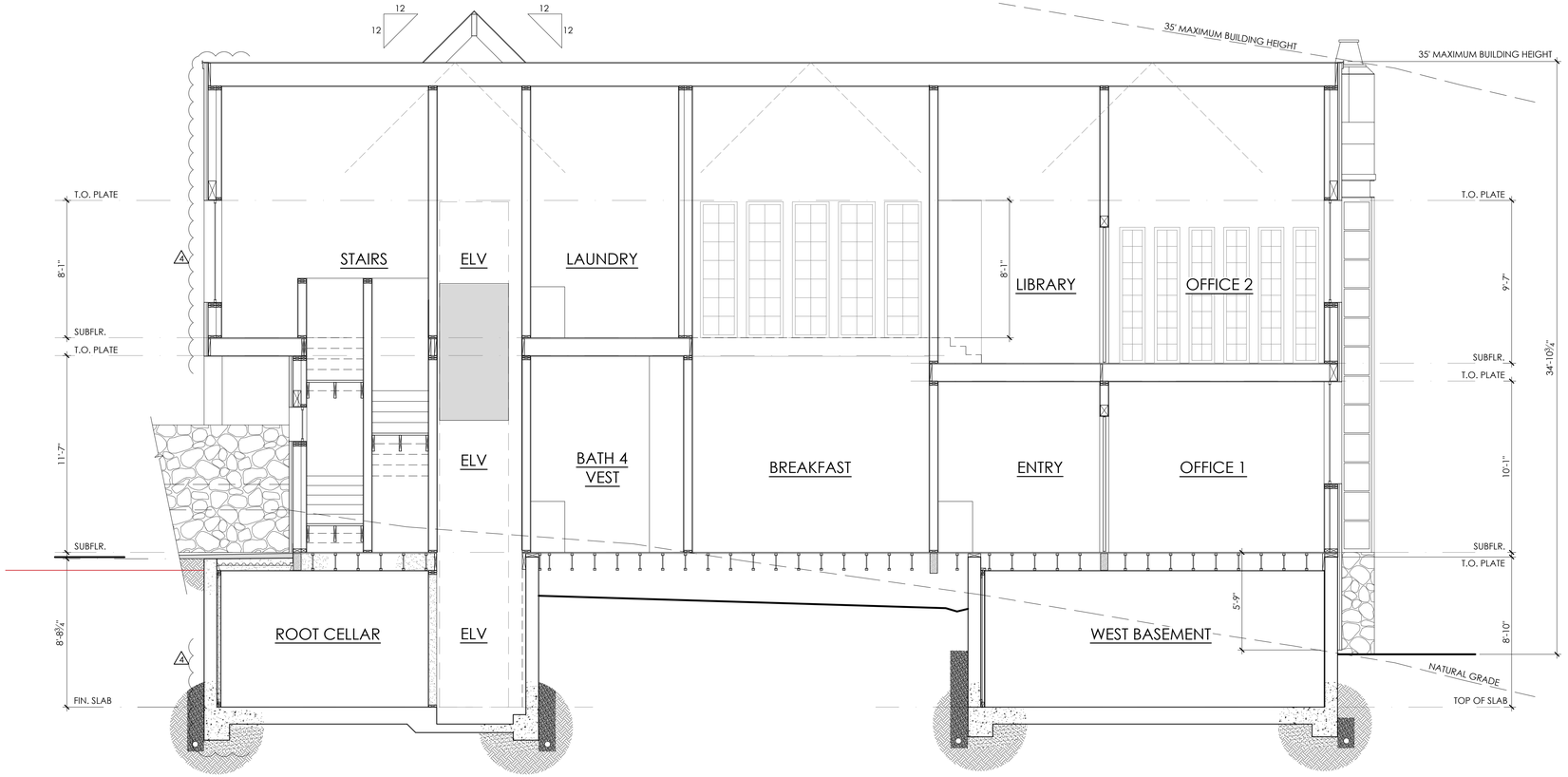


SECTION H

SCALE: 1/4" = 1'-0"



SECTION G

SCALE: 1/4" = 1'-0"

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RESIDENCE
BUILDING SECTIONS
SECTION G - SECTION H

LICENSED ARCHITECT COME BRITTON NO. C-23616 8/31/21 RENEWAL DATE STATE OF CALIFORNIA

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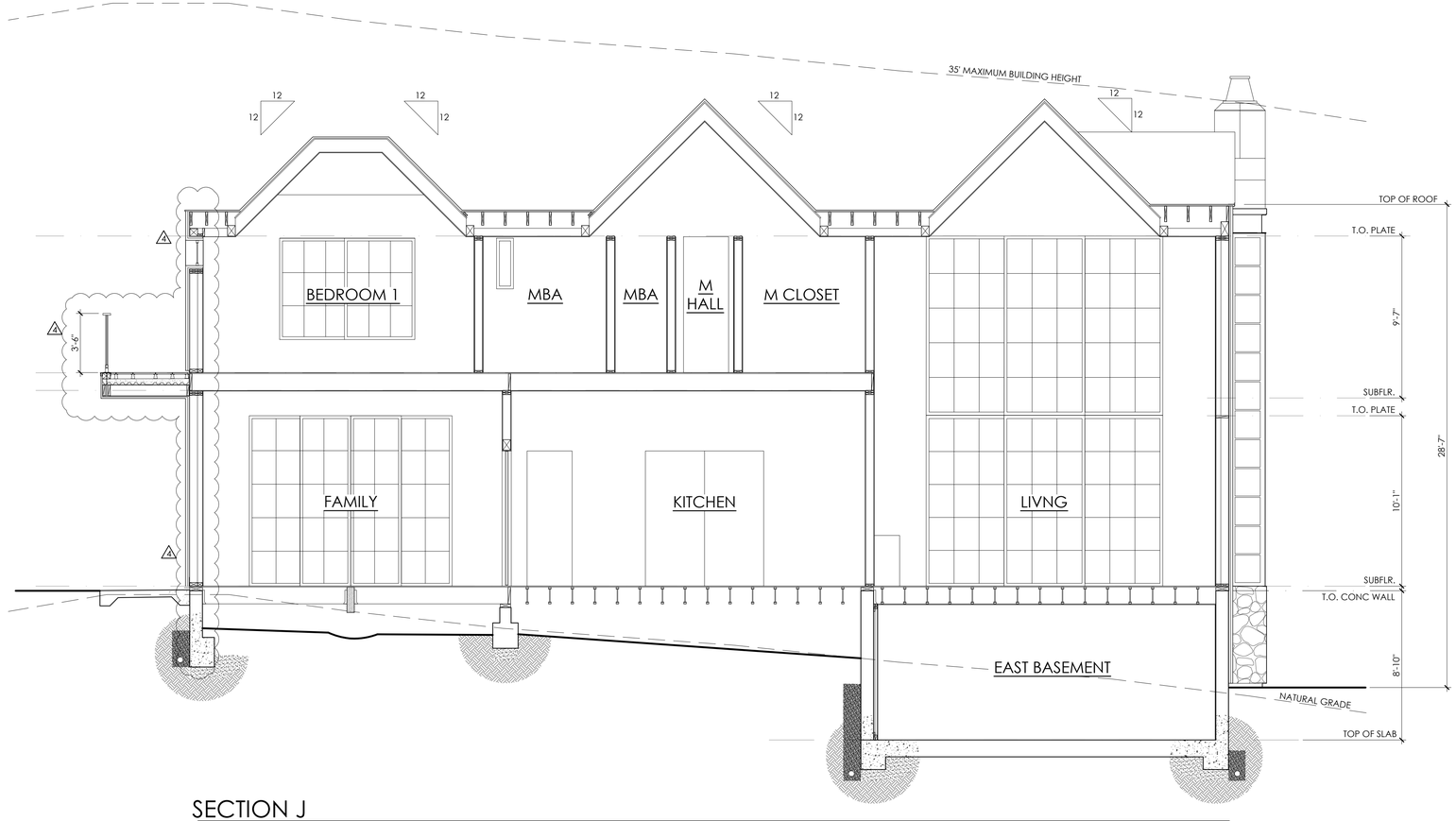

SECTION J

SCALE: 1/4" = 1'-0"

MATSON BRITTON ARCHITECTS

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RESIDENCE
BUILDING SECTIONS
SECTION J

LICENSED ARCHITECT COME BRITTON NO. C-23616 8/31/21 RENEWAL DATE STATE OF CALIFORNIA

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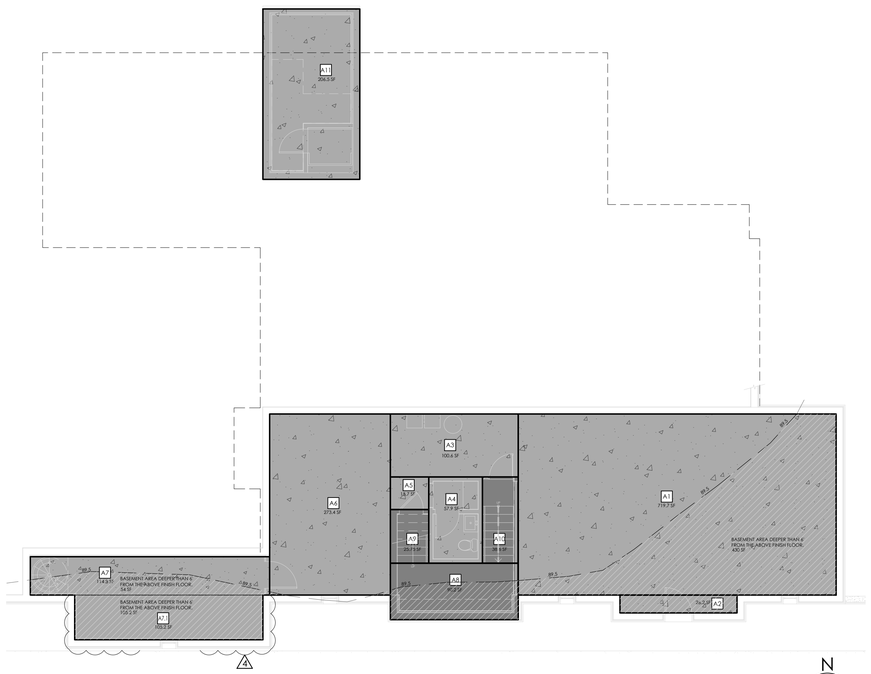
SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



BASEMENT PLAN

SCALE: 1/8" = 1'-0"

LIVING CONDITIONED

AREA OVER 15'

BASEMENT NON-CONDITIONED

PORCHES & GARAGES DECKS

BASEMENT OVER 6' FROM FLOOR ABOVE

BASEMENT AREA DEEPER THAN 6' FROM THE ABOVE FINISH FLOOR. (54 + 105 + 430) = 589 SF

4

BASEMENT - FAR

POLYGON AREA DESIGNATION		DIMENSIONS (IN DECIMAL FEET)	AREA (SQUARE FEET)
NON-COND BASEMENT	A1	35.54 x 20.25	719.7 SF
NON-COND BASEMENT	A2	13.08 x 2	26.2 SF
NON-COND BASEMENT	A3	14.29 x 7.04	100.6 SF
NON-COND BASEMENT	A4	6 x 9.65	57.9 SF
NON-COND BASEMENT	A5	4.29 x 3.65	15.6 SF
NON-COND BASEMENT	A6	13.5 x 20.25	273.4 SF
NON-COND BASEMENT	A7	26.75 x 4.29	114.8 SF
NON-COND BASEMENT	A7.1	21.04 x 5.0	105.2 SF
NON-COND BASEMENT		TOTAL SF	1,413.4 SF
NON-COND BASEMENT	A8	14.29 x 6.31	90.2 SF
CONDITIONED LIVING	A9	4.29 x 6	25.7 SF
CONDITIONED LIVING	A10	4 x 9.65	38.6 SF
CONDITIONED LIVING BASEMENT		TOTAL SF	154.5 SF
ROOT CELLAR	A11	10.83 x 19.06	206.5 SF

4

SECOND FLOOR - FAR

POLYGON AREA DESIGNATION		DIMENSIONS (IN DECIMAL FEET)	AREA (SQUARE FEET)
CONDITIONED LIVING	C1	14.79 x 24	355.0 SF
CONDITIONED LIVING	C2	3.7 x 2.375	8.7 SF
CONDITIONED LIVING	C3	6.08 x 9.69	58.9 SF
CONDITIONED LIVING	C4	14.08 x 10.04	141.4 SF
CONDITIONED LIVING	C5	14.625 x 14.0	204.8 SF
CONDITIONED LIVING	C6	26.46 x 20.0	529.2 SF
CONDITIONED LIVING	C7	9.6 x 3.0	28.8 SF
CONDITIONED LIVING	C8	19.06 x 20.45	389.9 SF
CONDITIONED LIVING	C9	19.27 x 28.125	548.3 SF
ELEVATOR	C10	5.92 x 6.0 ALREADY COUNTED	<35.5 SF>
STAIRS	C11	10.5 x 7.66 ALREADY COUNTED	<70.0 SF>
CONDITIONED LIVING	C12	43 x 21.29	915.5 SF
CONDITIONED LIVING	C13	3.37 x 6.166	20.8 SF
CONDITIONED LIVING (<15')	C14	36 x 21.625 approx	778.5 SF
CONDITIONED LIVING (<15')	C15	13.42 x 13.92	186.8 SF
2ND FLOOR CONDITIONED LIVING		TOTAL SF	4,061.1 SF
UNCOVERED DECK	C16	18.96 x 5.0	94.8 SF
UNCOVERED DECK	C17	15.96 x 25.125	406.3 SF
2ND FLOOR UNCOVERED DECK		TOTAL SF	501.1 SF

4

FIRST FLOOR - FAR

POLYGON AREA DESIGNATION		DIMENSIONS (IN DECIMAL FEET)	AREA (SQUARE FEET)
CONDITIONED LIVING	B1	(10.7) x 2	21.4 SF
CONDITIONED LIVING	B2	36.79 x 13.21	486.0 SF
CONDITIONED LIVING	B3	67.83 x 8.54	579.4 SF
CONDITIONED LIVING	B4	17.0 x 19.25	327.25 SF
CONDITIONED LIVING	B5	15.83 x 3.48	55.1 SF
ELEVATOR	B6	5.92 x 6.0 ALREADY COUNTED	<35.5 SF>
CONDITIONED LIVING	B7	38.04 x 21.29	810.0 SF
CONDITIONED LIVING	B8	38.33 x 18.42	706.0 SF
CONDITIONED LIVING	B9	3.5 x 1.6	5.6 SF
CONDITIONED LIVING	B10	6.0 x 8.9	53.4 SF
CONDITIONED LIVING	B11	3.54 x 3.44	12.2 SF
CONDITIONED LIVING	B12	15.0 x 13.21	198.1 SF
CONDITIONED LIVING	B13	4.91 x 8.81	43.3 SF
CONDITIONED LIVING	B14	2.03 x 2.42	4.9 SF
CONDITIONED LIVING	B15	15.09 x 13.96	210.6 SF
CONDITIONED LIVING		TOTAL SF	3,477.8 SF
COVERED LOGGIA	B16	15.83 x 16.98	268.8 SF
COVERED BREEZEWAY & LOGGIA	B17	39.5 x 7.79	307.7 SF
COVERED BREEZEWAY & LOGGIA	B18	17.99 x 0.73	13.1 SF
COVERED BREEZEWAY	B19	4.5 x 21.29	95.8 SF
COVERED PATIO & BREEZEWAY		TOTAL SF	685.4 SF
GARAGE	B20	24.62 x 21.29	524.3 SF
GARAGE	B21	14.166 x 21.29	301.6 SF
GARAGE	B22	3.29 x 6.0	19.7 SF
GARAGE		TOTAL SF	845.6 SF

BRITTON MATSON ARCHITECTS

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RESIDENCE
FAR FLOOR PLAN
CALCULATIONS

LICENSED ARCHITECT
COLE BRITTON
NO. C-23616
8/31/21
RENEWAL DATE
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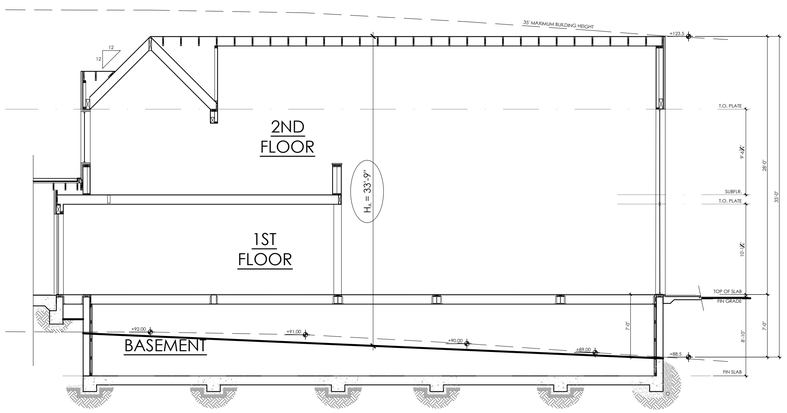

SECTION A

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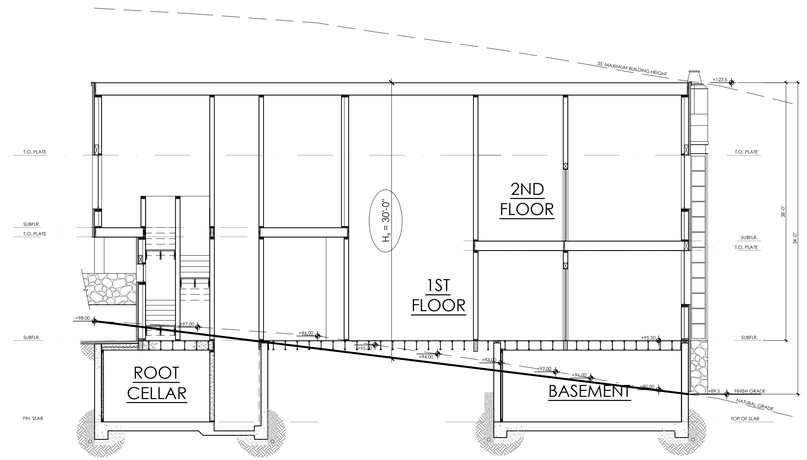

SECTION B

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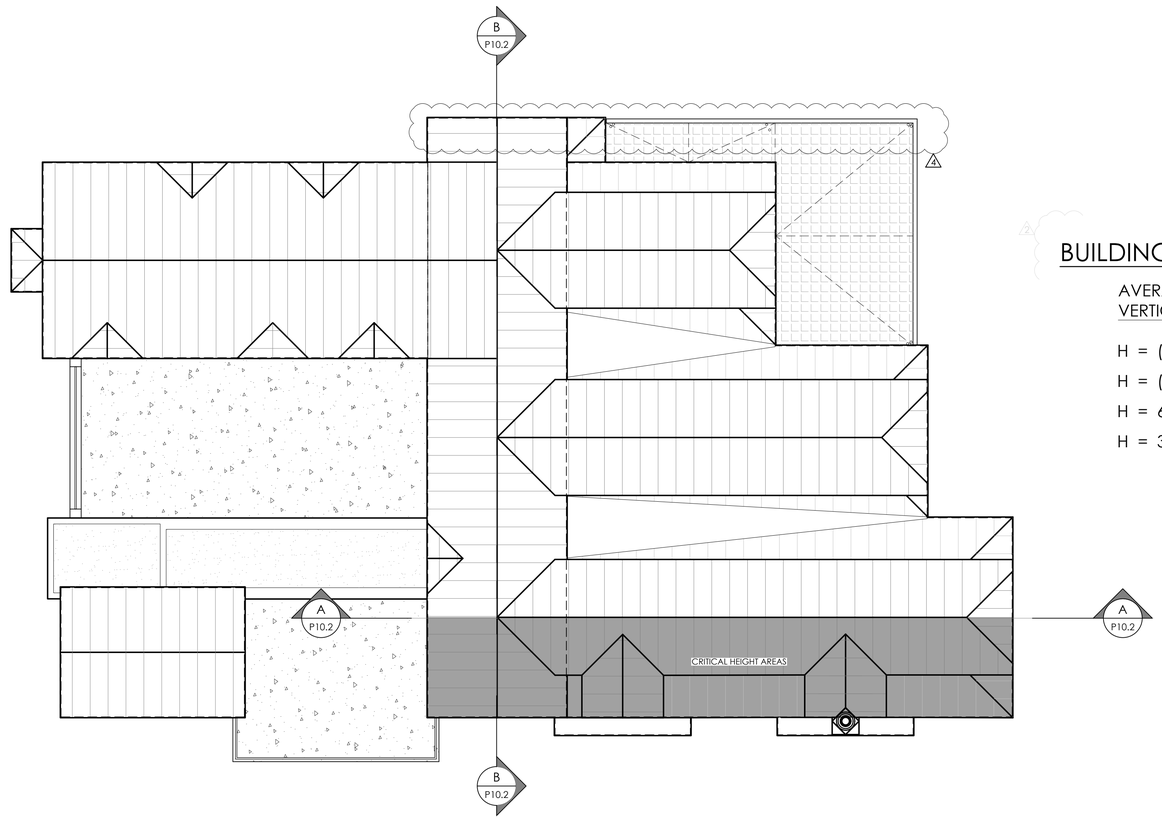

ROOF PLAN

SCALE: 1/8" = 1'-0"

BUILDING HEIGHT MEASUREMENT

AVERAGE OF THE TWO
VERTICAL MEASUREMENTS

$H = (H_A + H_B) / 2$

$H = (33.75' + 30.00') / 2$

$H = 63.75' / 2$

$H = 31.875'$

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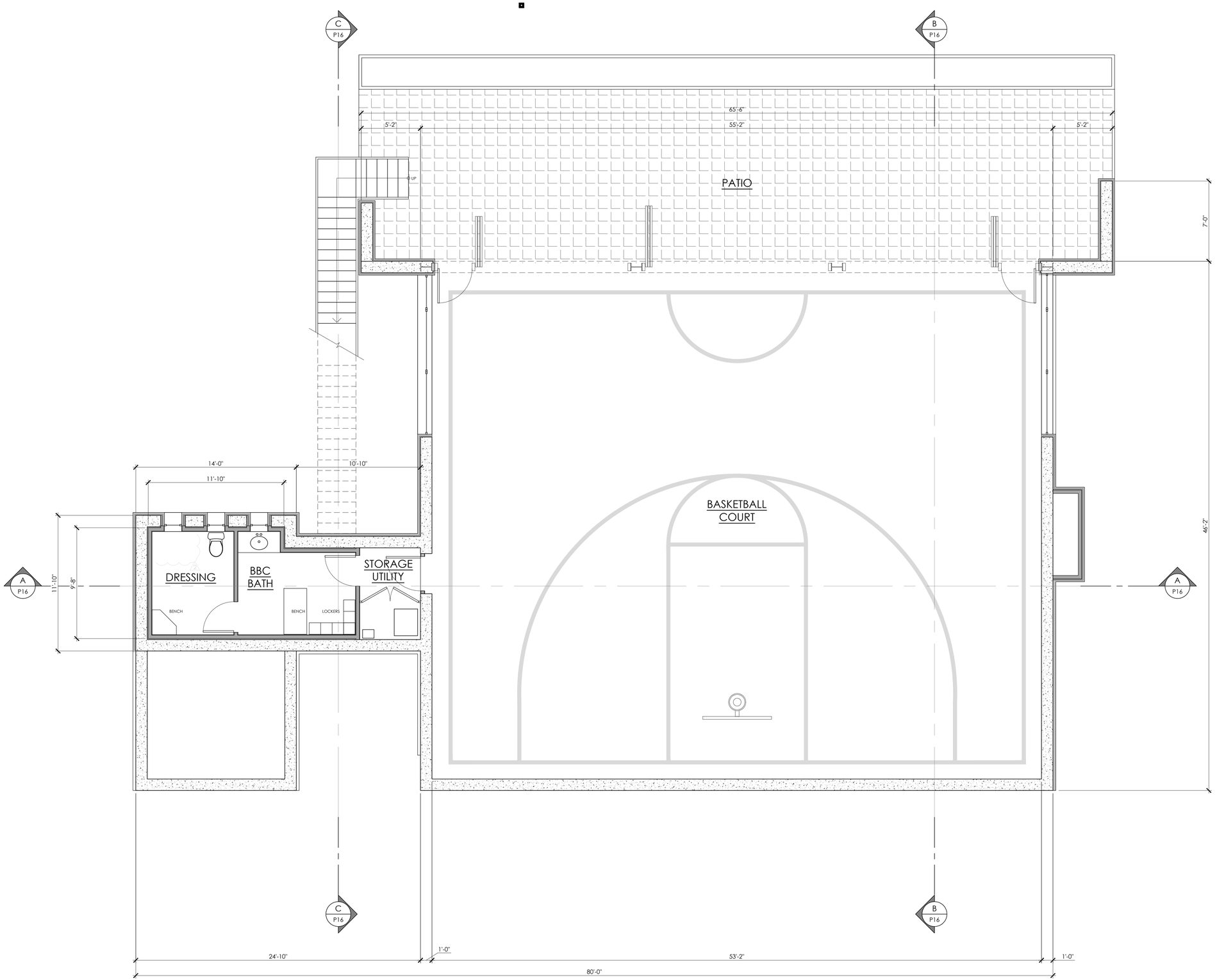

LOWER FLOOR - BASKETBALL COURT - RETAINING WALL PLAN

SCALE: 1/4" = 1'-0"

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ADU-COTTAGE
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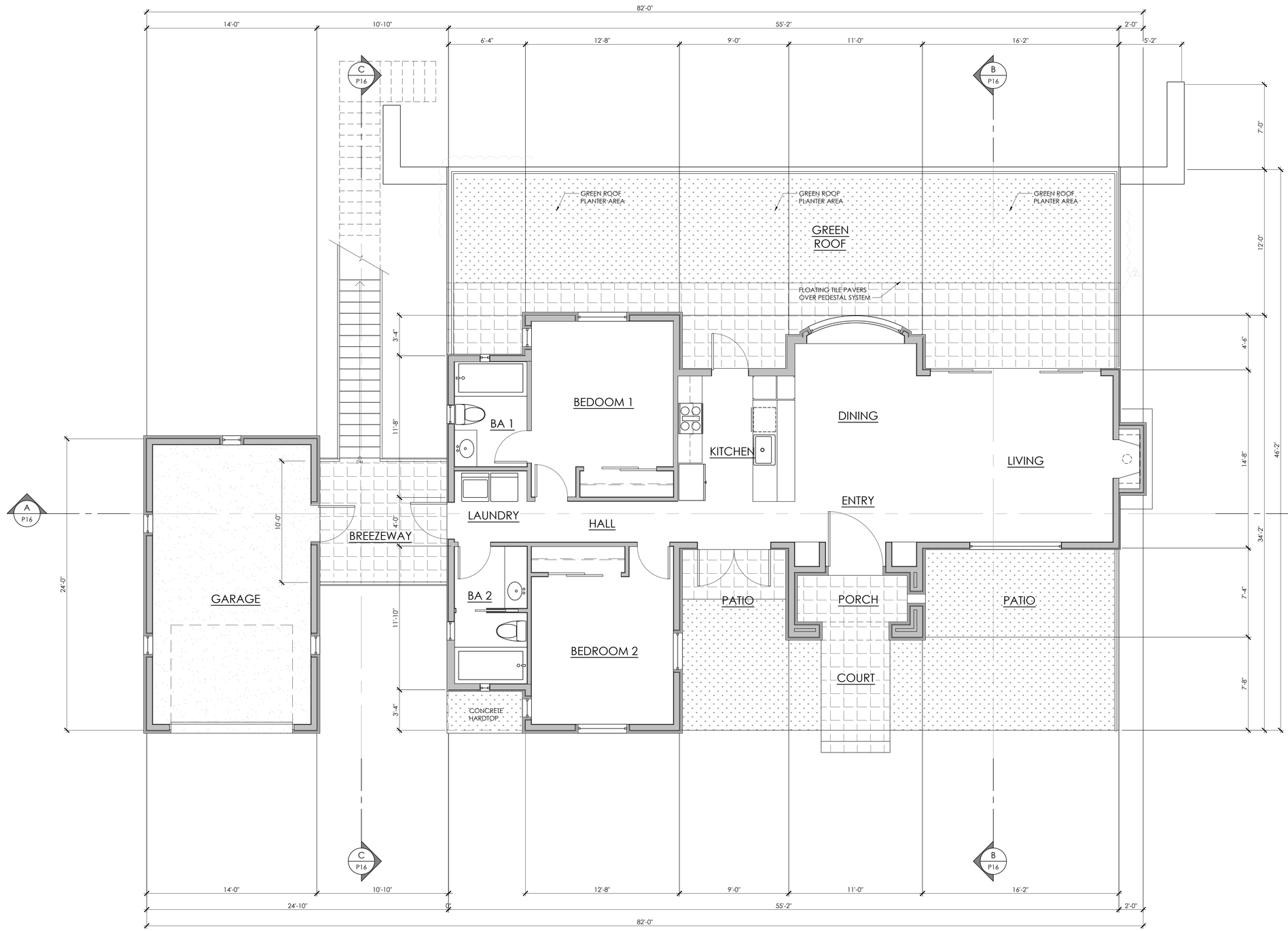
P11



COTTAGE MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

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BRITTON MATSON ARCHITECTS

728 N BRANCIFORTE SANTA CRUZ CA 95062 831-425-0544

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REVISIONS

1. 01/12/21 PLANNING
2. 09/14/21 PLANNING
3. 06/22/23 RESUB
4. 06/12/24 RESUB

WATERS RESIDENCE
NEW RESIDENCE AND ADU
PEACOCK COURT
CUPERTINO, CA 95051
APN: 351-42-004

ADU-COTTAGE
MAIN FLOOR PLAN

LICENSED ARCHITECT
COVE BRITTON
NO. C-23616
8/31/21
RENEWAL DATE
STATE OF CALIFORNIA

DATE
09 / 15 / 21
DRAWN
FK
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P12

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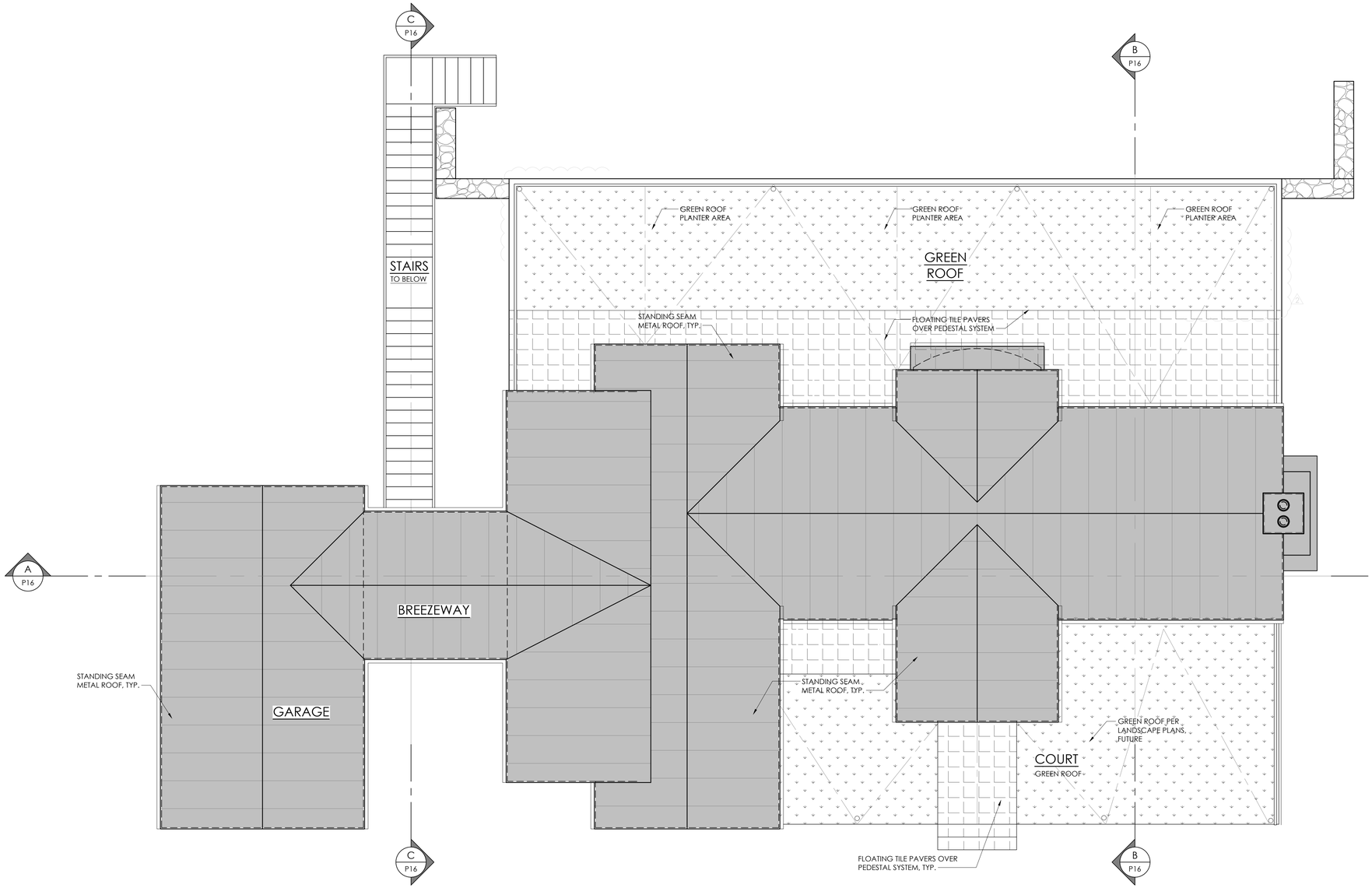

COTTAGE ROOF PLAN

SCALE: 1/4" = 1'-0"

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BRITTON MATSON ARCHITECTS
728 N BRANCIFORTE SANTA CRUZ CA 95062 831-425-0544

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4	06/12/24 RESUB

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PEACOCK COURT
CUPERTINO, CA. 95051
APN: 351-42-004

ADU-COTTAGE
ROOF PLAN AND
GREEN ROOF PLAN

LICENSED ARCHITECT
COVE BRITTON
NO. C-23616
8/31/21
RENEWAL DATE
STATE OF CALIFORNIA

DATE	09 / 15 / 21
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SHEET	P13

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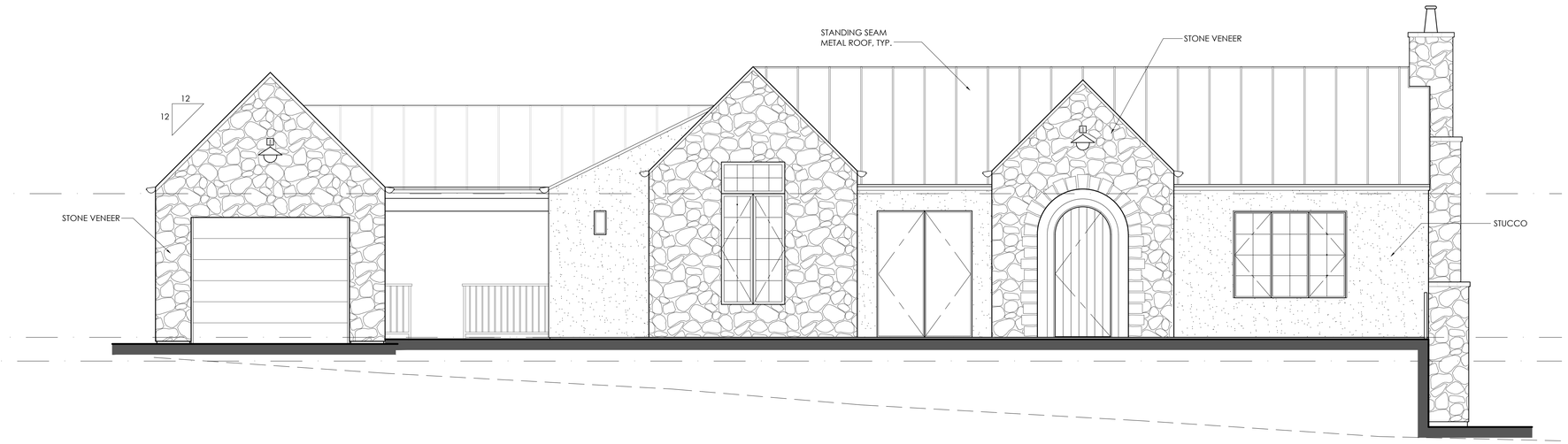

COTTAGE - NORTH ELEVATION

SCALE: 1/4" = 1'-0"

COTTAGE - SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

BRITTON MATSON ARCHITECTS
728 N BRANCIFORTE SANTA CRUZ CA 95062 831-425-0544

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ADU-COTTAGE
EXTERIOR ELEVATIONS

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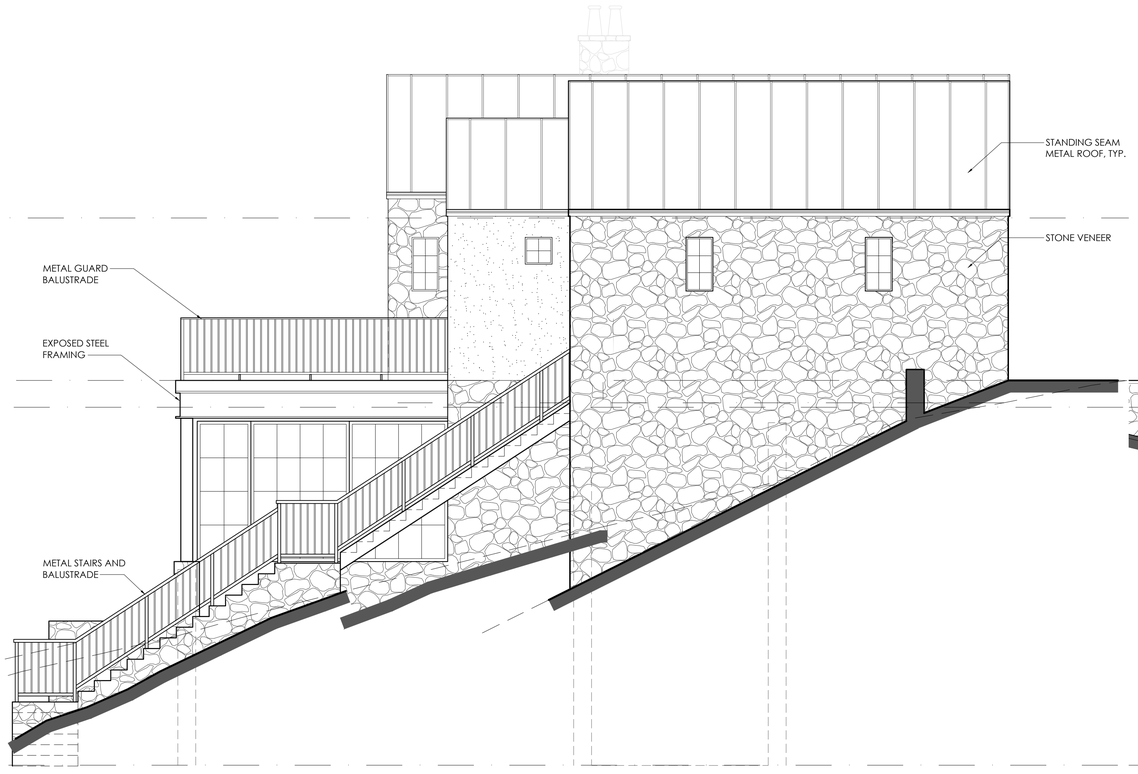
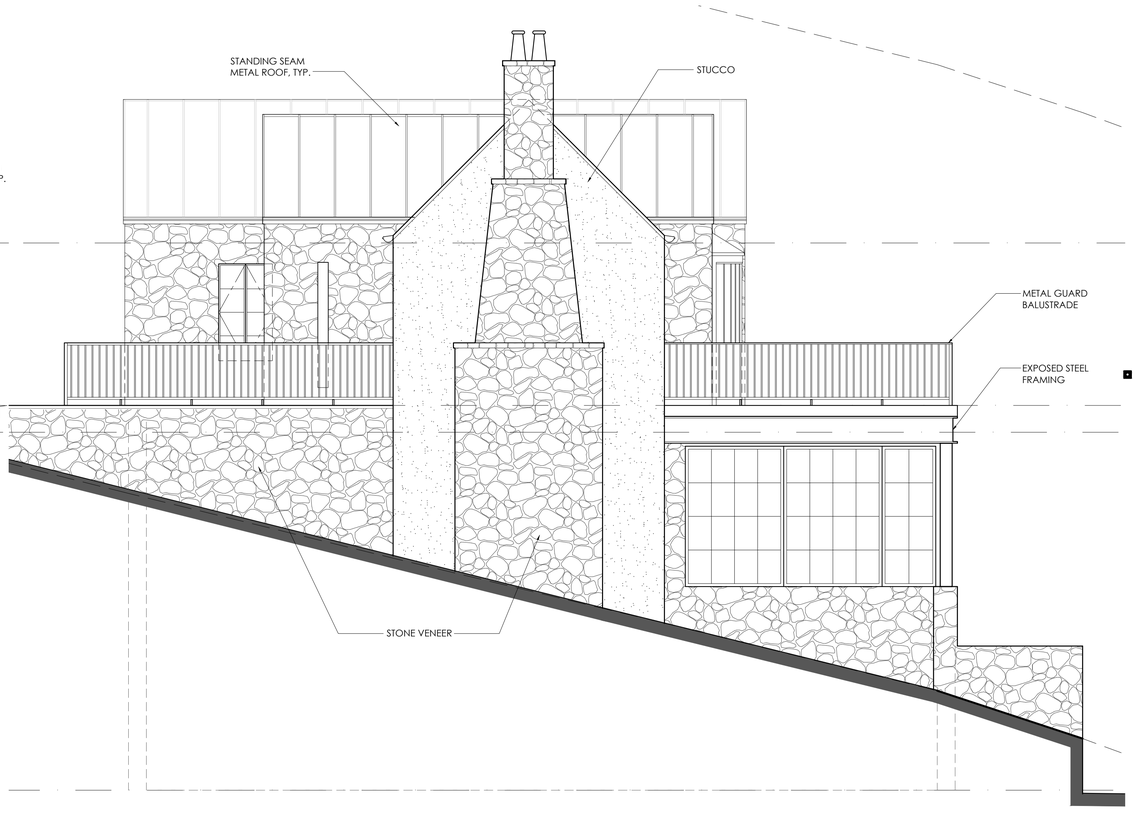


COTTAGE - EAST ELEVATION

SCALE: 1/4" = 1'-0"



COTTAGE - WEST ELEVATION

SCALE: 1/4" = 1'-0"

BRITTON MATSON ARCHITECTS
728 N BRANCIFORTE SANTA CRUZ CA 95062 831-425-0544

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ADU-COTTAGE
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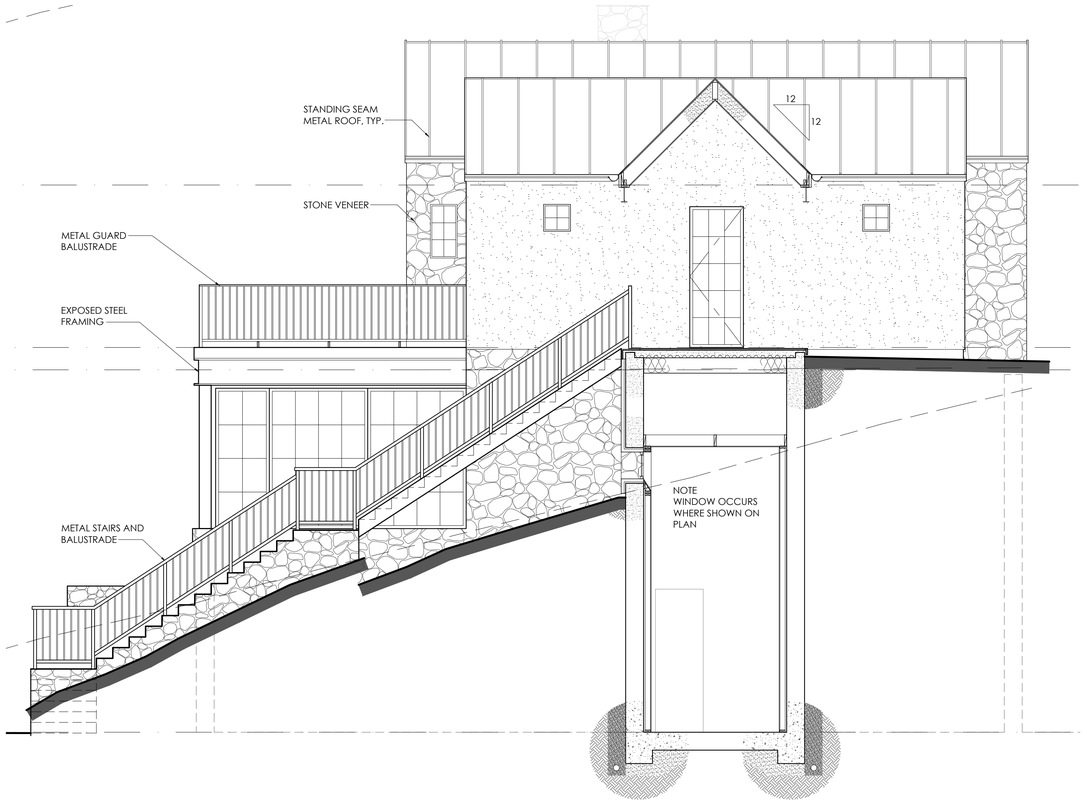
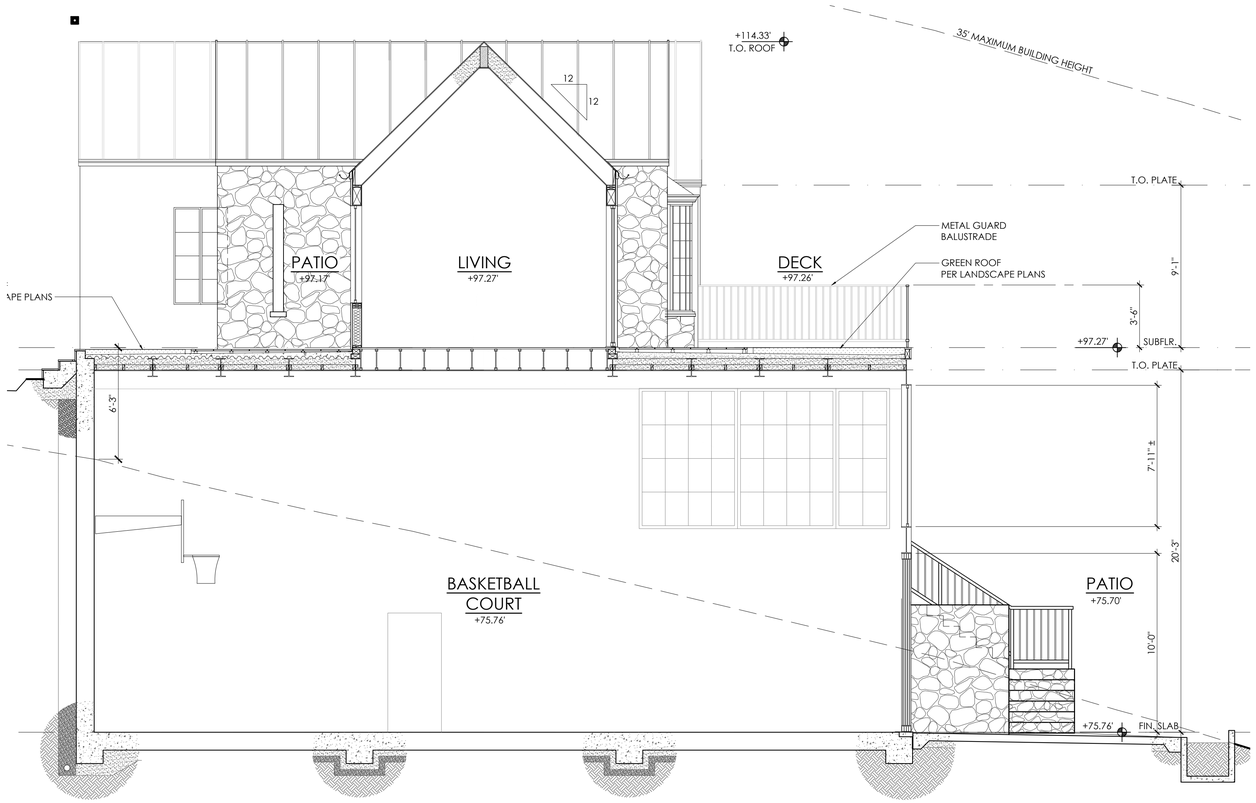


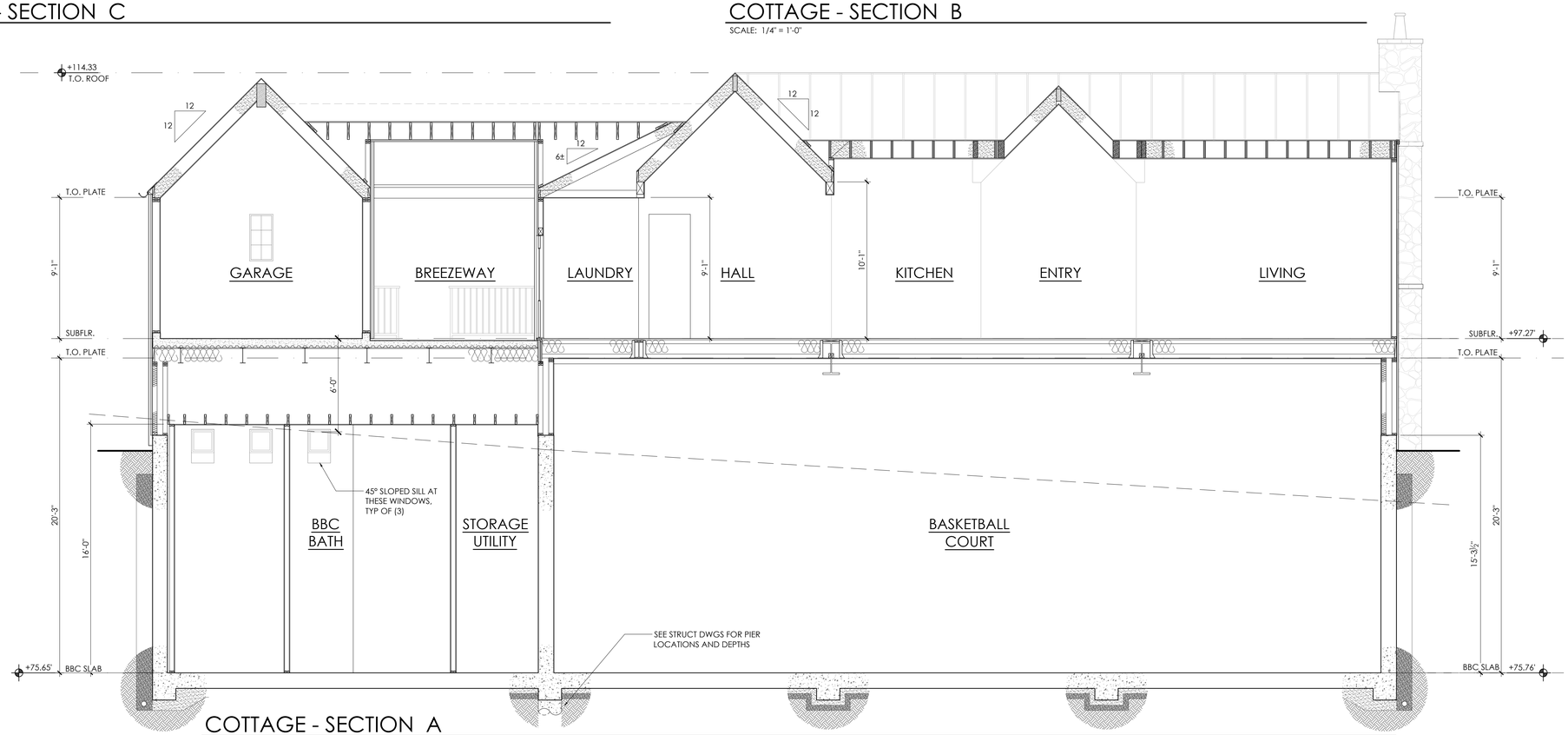
COTTAGE - SECTION C

SCALE: 1/4" = 1'-0"



COTTAGE - SECTION B

SCALE: 1/4" = 1'-0"



COTTAGE - SECTION A

SCALE: 1/4" = 1'-0"

BRITTON MATSON ARCHITECTS
728 N BRANCIFORTE SANTA CRUZ CA 95062
831-425-0544

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WATERS RESIDENCE
NEW RESIDENCE AND ADU
PEACOCK COURT
CUPERTINO, CA 95051
APN: 351-42-004

ADU-COTTAGE
BUILDING SECTIONS

LICENSED ARCHITECT
CLOVE BRITTON
NO. C-23616
8/31/21
RENEWAL DATE
STATE OF CALIFORNIA

D A T E
09 / 15 / 21
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S H E E T
P16

DESIGNATED FOR GREEN ROOF

LIVING CONDITIONED

PORCHES & GARAGES DECKS

BASEMENT & NON-CONDITIONED THIS AREA IS ALSO OVER 15'

BASEMENT LESS THAN 6' FROM FLOOR ABOVE

FAR AREA SCHEDULE

POLYGON AREA DESIGNATION		DIMENSIONS	AREA
NON-COND BASKETBALL	A	53.16 x 45 = 2,393 SF	OVER 15' IN HEIGHT X 2= 4,786 SF
BASEMENT AREA LESS THAN 6' FROM THE FINISH FLOOR ABOVE		188 / 2393 = 7.9 %	(7.9 %) 188 SF
NON-COND LOCKER	B	11.92 x 8 = 95 X 2 OVER 15'	190 SF
NON-COND BATH ROOM	C	12.0 x 9.83 = 118 X 2 OVER 15'	236 SF
NON-COND		2,760 TOTAL SF X 2 OVER 15'	5,520 SF
CONDITIONED LIVING	D	16.17 x 14.67	237.1 SF
CONDITIONED LIVING	E	11.0 x 19.33	212.6 SF
CONDITIONED LIVING	F	SEMI-CURVED POLYGON (8.67 x 1.13) APPROX	9.8 SF
CONDITIONED LIVING	G	9.0 x 14.67	132.0 SF
CONDITIONED LIVING	H	12.67 x 34.17	432.7 SF
CONDITIONED LIVING	J	6.33 x 27.5	174.2 SF
CONDITIONED LIVING		TOTAL SF	1,198 SF
COVERED PORCH	K	11.0 x 5.33	42.9 SF
COVERED BREEZEWAY	L	10.46 x 10.42	108.9 SF
COVERED HARDSCAPE		TOTAL SF	151.8 SF
DETACHED GARAGE	M	14.0 x 24.0	336.0 SF
UNCOVERED DECK	N	55.41 x 2.42 APPROX AREA	133.9 SF
UNCOVERED DECK	P	16.04 x 4.63	74.2 SF
UNCOVERED DECK	R	IRREGULAR POLYGON (11.5 x 0.94) APPROX	10.8 SF
UNCOVERED DECK	S	8.5 x 4.63	39.3 SF
UNCOVERED DECK	T	6.2 x 3.46	21.4 SF
UNCOVERED FRONT PORCH	U	6.2 x 3.46	34.7 SF
UNCOVERED WALKWAY	V	6.2 x 3.46	42.0 SF
TOTAL UNCOVERED DECK AREA		TOTAL SF	356.3 SF
GREEN ROOF AT REAR DECK	W	55.41 x 9.53 ALLOTTED AREA	528.0 SF
GREEN ROOF FRONT YARD	X	CUMMULATIVE AREAS (2)	366.0 SF
TOTAL GREEN ROOF		TOTAL SF (528.5 + 366.5)	894.0 SF

* NOTE: ASSUMED AREAS. EXTENT OF GREEN ROOF AREAS TO COORDINATE THROUGH LANDSCAPE ARCHITECT'S DESIGN - FUTURE.

ADU-COTTAGE MAIN FLOOR PLAN

SCALE: 1/8" = 1'-0"

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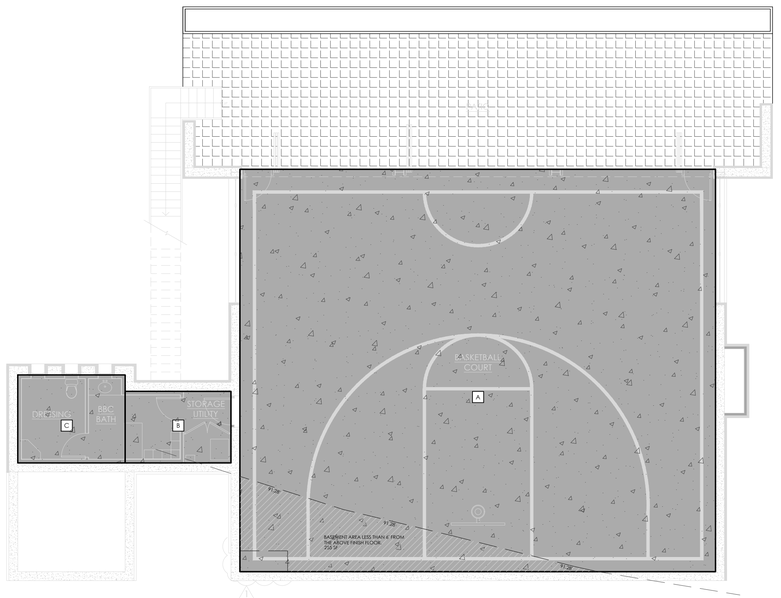

BASKETBALL COURT - LOWER FLOOR PLAN

SCALE: 1/8" = 1'-0"

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BRITTON MATSON ARCHITECTS

728 N BRANCIFORTE SANTA CRUZ CA 95062 831-425-0544

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PEACOCK COURT
CUPERTINO, CA. 95051
APN: 351-42-004

ADU-COTTAGE
FAR CALCULATIONS

LICENSED ARCHITECT CLOVE BRITTON NO. C-23616 8/31/21 RENEWAL DATE STATE OF CALIFORNIA

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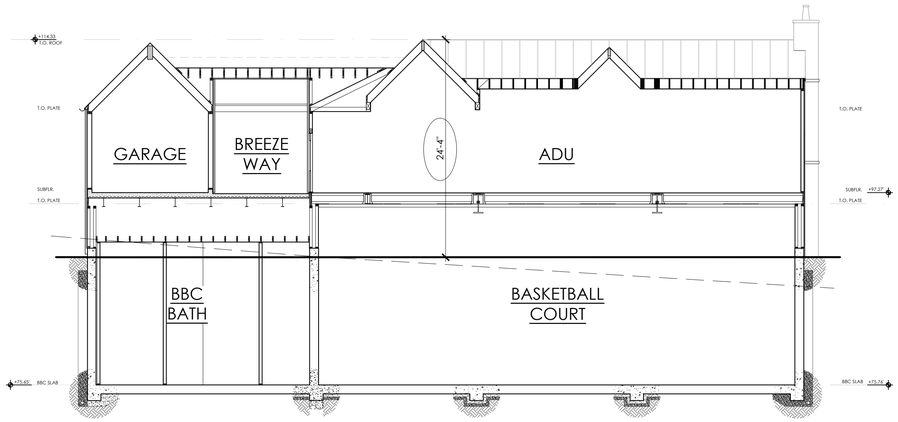

SECTION A

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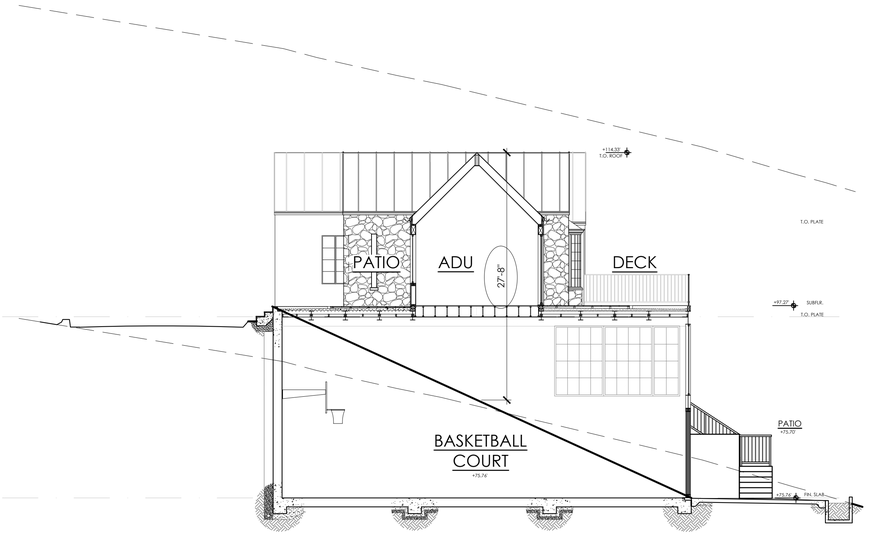
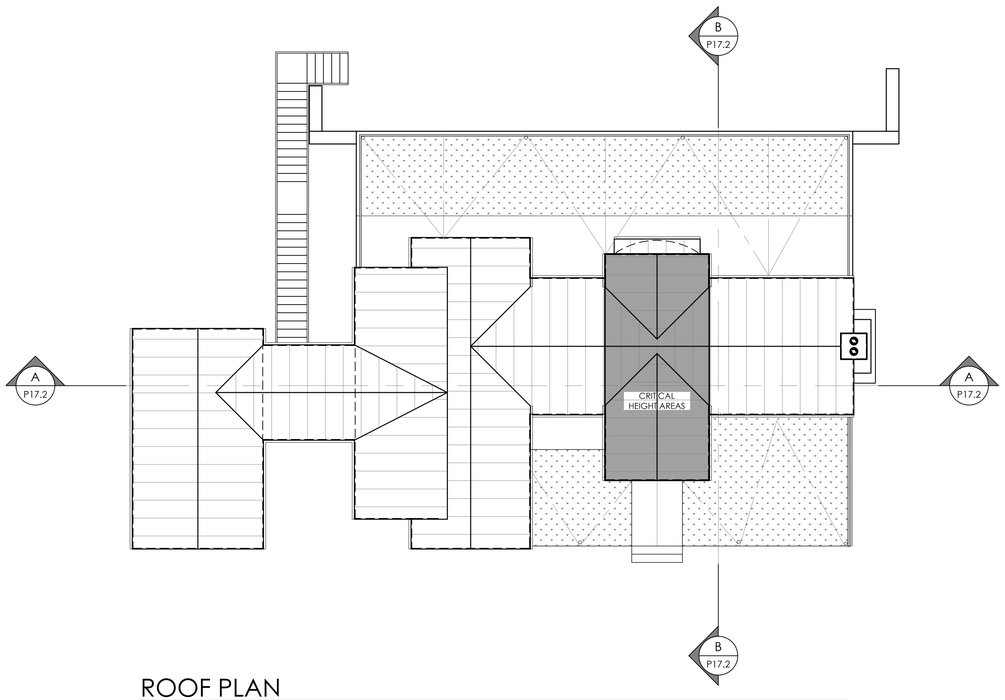


SECTION B

SCALE: 1/8" = 1'-0"



ROOF PLAN

SCALE: 1/8" = 1'-0"

BUILDING HEIGHT MEASUREMENT

AVERAGE OF THE TWO
VERTICAL MEASUREMENTS

$H = (H_A + H_B) / 2$

$H = (24.33' + 27.67') / 2$

$H = 52.00' / 2$

$H = 26.00'$

MATSON BRITTON ARCHITECTS
728 N BRANCIFORTE SANTA CRUZ CA 95062 831-425-0544

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CUPERTINO, CA 95051
APN: 351-42-004

ADU
BUILDING HEIGHT MEASUREMENT

LICENSED ARCHITECT — JOHN BRITTON — NO. C-23616 8/31/21 RENEWAL DATE — STATE OF CALIFORNIA

DATE
09 / 15 / 21
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P17.2

COUNTY OF SANTA CLARA

General Construction Specifications

GENERAL CONDITIONS

1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY **MURRAY ENGINEERS, INC.** AND DATED **APRIL 2020** THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS. 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.
2. DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
3. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
4. DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
5. DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA.
6. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
7. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
8. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO
9. UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454–2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299–5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION B6–18).
10. THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
11. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE–APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

CONSTRUCTION STAKING

1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.
2. ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
3. PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE–ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.
4. PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

CONSTRUCTION INSPECTION

1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
2. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
3. INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299–6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
4. DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
5. THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR TO COMMENCEMENT OF THE BUILDING FOUNDATION.

SITE PREPARATION (CLEARING AND GRUBBING)

1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
   A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
   B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.
2. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

UTILITY LOCATION, TRENCHING & BACKFILL

1. CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1–800–277–2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
2. ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
3. ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE. UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.
4. TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
5. TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
6. BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

RETAINING WALLS

1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.
2. SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

GRADING

1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IS SHALL BE STRIPPED OF ALL VEGETATION. TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEYED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
2. EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE.
3. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
4. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS.
5. THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
6. MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

3

LOCATION	CUT (C.Y.)	FILL (C.Y.)	VERT. DEPTH
RESIDENCE	303	0	7
ACCESSORY STRUCTURE	1310	0	19
POOL/HARDSCAPE	207	74	3
DRIVEWAY	312	724	4
GOLF CART PATH	158	78	7
TOTAL	2290	876	19

NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE.
EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP

7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
8. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
9. THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%
10. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
11. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.
12. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.
13. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.
14. TOTAL DISTURBED AREA FOR THE PROJECT **46,100** SF.
15. WDID NO. **N/A**.
16. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

TREE PROTECTION

1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
   A. FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIPLINE OF THE TREE OR GROVE OF TREES.
   B. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.
   C. FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
   D. SIGNAGE STATING, "WARNING– THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299–5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT http://www.sccplanning.gov." SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY.
2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACED AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

ACCESS ROADS AND DRIVEWAYS

1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2–INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
3. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
4. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
5. ALL WORK IN THE COUNTY ROAD RIGHT–OF–WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT – I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC..

STREET LIGHTING

1. PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

SANITARY SEWER

1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

PORTLAND CEMENT CONCRETE

1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN–DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
2. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
3. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON–TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
4. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
5. SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
6. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
7. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.
8. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
9. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
   A. 15 MILES PER HOUR (MPH) SPEED LIMIT
   B. 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
   C. TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAIN HOTLINE OF 1–800–334–6367.
10. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
11. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
12. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SD8.
13. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP–RAP. ENERGY DISSIPATERS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
14. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
15. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
16. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.
17. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPS) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT–OF–WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT–OF–WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPS SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING;
   A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS.
   B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT–OF–WAY.
   C. PREVENTION OF DISCHARGE OF WATER RUN–OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT–OF–WAY.
18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON–HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT–OF–WAY.
19. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE SITE AND SITUATIONALY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

STORM DRAINAGE AND STORMWATER MANAGEMENT

1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAS612008 / ORDER NO. R2–2009–0047 AND NPDES PERMIT CAS000004/ ORDER NO. 2013–0001–DWQ.
2. DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
3. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW.
4. UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
5. THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

AS–BUILT PLANS STATEMENT

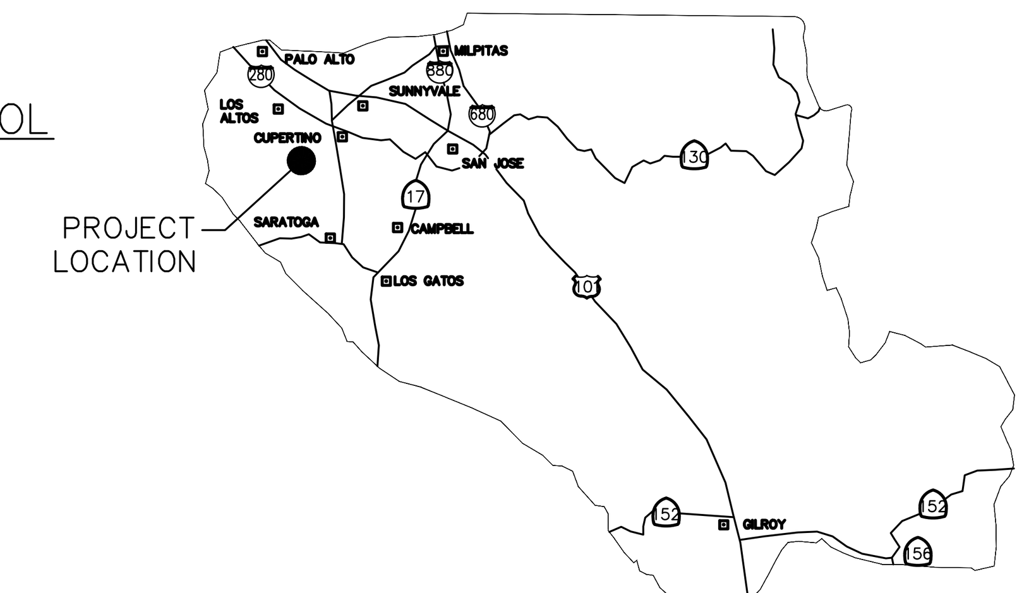
THIS IS A TRUE COPY OF THE AS–BUILT PLANS. THERE (___ WERE) (___ WERE NOT) MINOR FIELD CHANGES – MARKED WITH THE SYMBOL (^). THERE (___WERE) (___ WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL△.

DATE ____________ SIGNATURE ____________

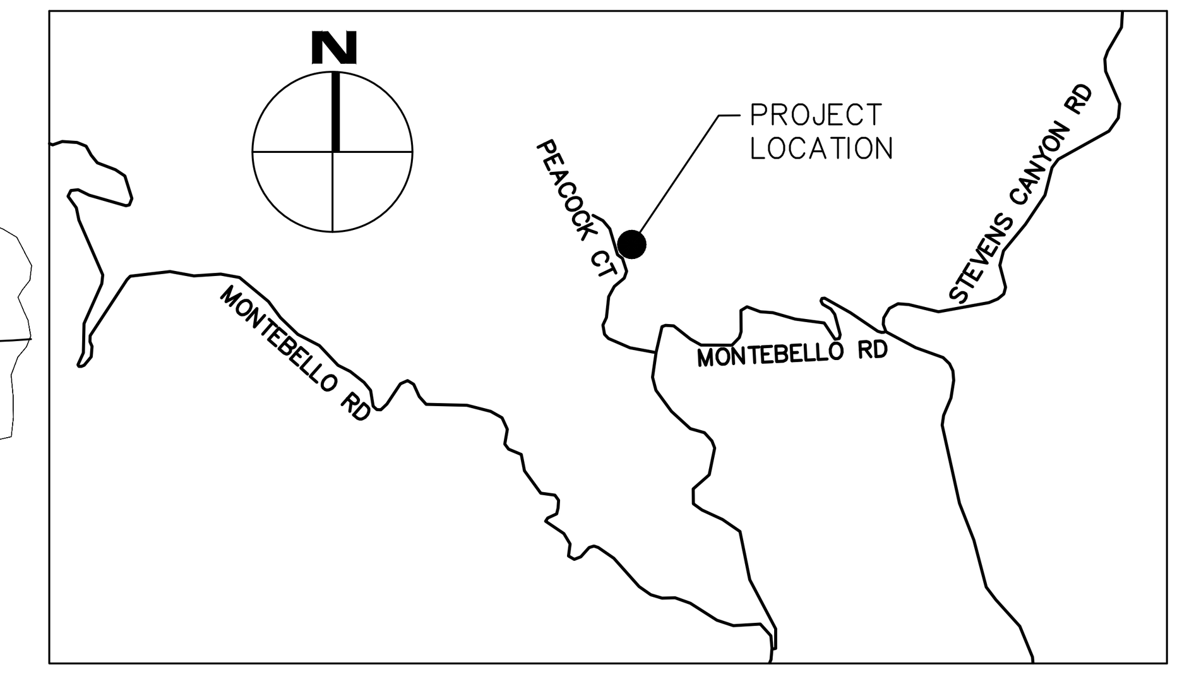
NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS–BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

GEOTECHNICAL ENGINEER OBSERVATION

1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.



COUNTY LOCATION MAP



VICINITY MAP

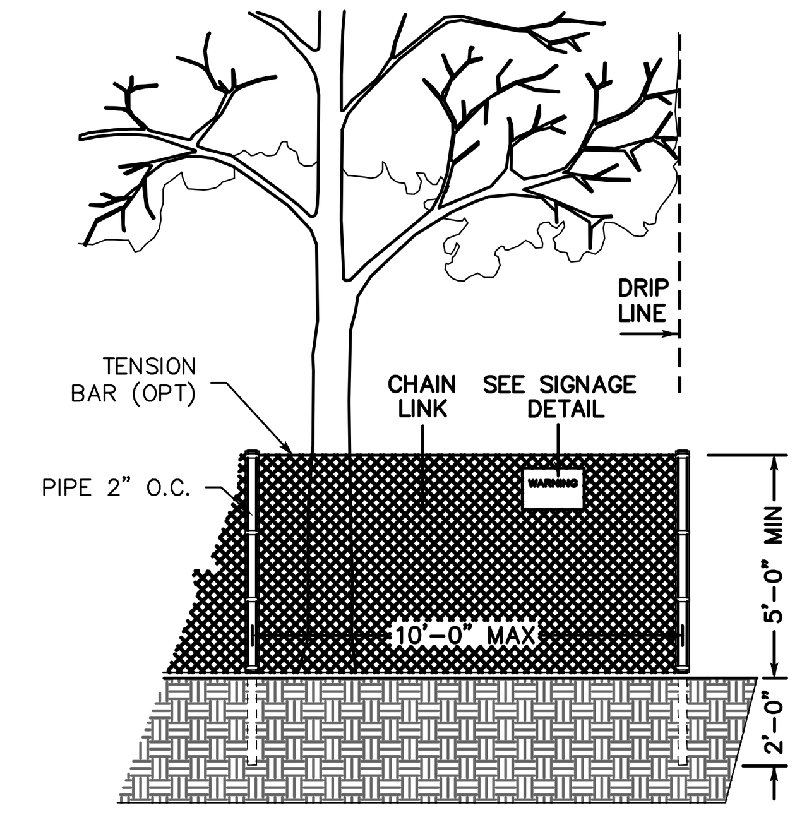
SINGLE FAMILY RESIDENCE LANDS OF MELISSA WATERS

SCOPE OF WORK

1. THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE EROSION CONTROL PLAN. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE DESIGN OF THE EROSION CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSION CONTROL PLANS TO PREVENT ILLICIT DISCHARGES FROM THE SITE DURING CONSTRUCTION.
2. CONSTRUCTION OF A SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGES AND A CHAPEL.
3. CONSTRUCTION OF AN ASPHALT DRIVEWAY.
4. CONSTRUCTION OF STORMWATER FACILITIES.
5. CONSTRUCTION OF AN ADU WITH A COVERED CARPORT AND AN INDOOR BASKETBALL COURT.
6. CONSTRUCTION OF A POOL AND SPA.
7. CONSTRUCTION OF A GRAVEL GOLF CART LANE.

● INDICATES FOUND IRON PIPE AS NOTED

○ INDICATES IRON PIPE TO BE SET



EXISTING TREE PROTECTION DETAILS

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN–LINK OR EQUIVALENT STRENGTH/ DURABILITY).
3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

TOPOGRAPHIC SURVEY

THE TOPOGRAPHIC SURVEY AND BOUNDARY INFORMATION PROVIDED HEREON WAS COMPLETED BY **HANAGAN LAND SURVEYING, INC**. RI ENGINEERING INC. MAKES NO GUARANTEE AS TO THE ACCURACY OF BOTH. THE CONTRACTOR SHALL VERIFY THE BOUNDARY LOCATION AND TOPOGRAPHIC INFORMATION PRIOR TO COMMENCING WORK.

BASIS OF BEARINGS

THE BASIS OF BEARING FOR THIS MAP IS BETWEEN FOUND MONUMENTS ON THE CENTERLINE OF PEACOCK COURT PER RECORD MAP 589–M–46, SANTA CLARA COUNTY RECORDS.

BASIS OF ELEVATION

AN ASSUMED ELEVATION OF 100.00 FEET WAS USED ON A SET MAG NAIL, STANDING AT THE EASTERN SIDE OF PEACOCK COURT AS SHOWN.

THE CONTOUR INTERVAL IS 1 FOOT.

LEGEND

DESCRIPTION	TO BE CONST.	EXISTING
PROPERTY LINE	℞ ——	℞ ——
LIMITS OF WORK OR BOUNDARY	——	
CURB AND GUTTER	══	══
SIDEWALK	▭	▭
CITY SURVEY MONUMENT		◉
SEPTIC TIGHT–LINE	– – – –	
SEPTIC TANK	⊡	
STORM SEWER	——	——
STORM DRAIN MANHOLE		Ⓓ
DRAINAGE INLET AT CURB	▬	▬
ELECTROLIER		☼—
EDGE OF PAVEMENT	——	——
PACING CONFORM OR OVERLAY TO FORM SMOOTH AC TRANSITION	◡	

SURVEY MONUMENT PRESERVATION

1. THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES.
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY.
3. THE CONTRACTOR SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, RESET PERMANENT MONUMENT(S) IN THE SURFACE OF THE NEW CONSTRUCTION OR SET A WITNESS MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT COULD BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.

COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS
ISSUED BY: ________ **DATE:** ________
ENCROACHMENT PERMIT NO. ________

NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT–OF–WAY WITHOUT AN ENCROACHMENT PERMIT, INCLUDING THE STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.

COUNTY OF SANTA CLARA
LAND DEVELOPMENT ENGINEERING & SURVEYING
GRADING / DRAINAGE PERMIT NO. ________
ISSUED BY: ________ **DATE:** ________

ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED FILE(S) NO. ________

DATE **5–22–2024** ________ SIGNATURE

45820
R.C.E. NO.

12–31–2022
EXPIRATION DATE

REGISTERED PROFESSIONAL ENGINEER RICHARD J. IRISH No. 45820 Exp. 12–31–24 CIVIL STATE OF CALIFORNIA

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE ________

CHRISTOPHER L. FREITAS, PE, QSD

C042107 — R.C.E. NO.
03–31–20 — EXPIRATION DATE

SHEET INDEX

C–0	COVER SHEET
C–1	SITE PLAN
C–2	ADU GRADING & DRAINAGE PLAN
C–3	RESIDENCE GRADING & DRAINAGE PLAN
C–4	DETAILS
C–5	PROFILE AND NOTES
C–6	SECTIONS
C–7	CUT & FILL MAP
C–8	STORMWATER POLLUTION CONTROL PLAN
BMP1	BEST MANAGEMENT PRACTICES SHEET 1 OF 2
BMP2	BEST MANAGEMENT PRACTICES SHEET 2 OF 2

3

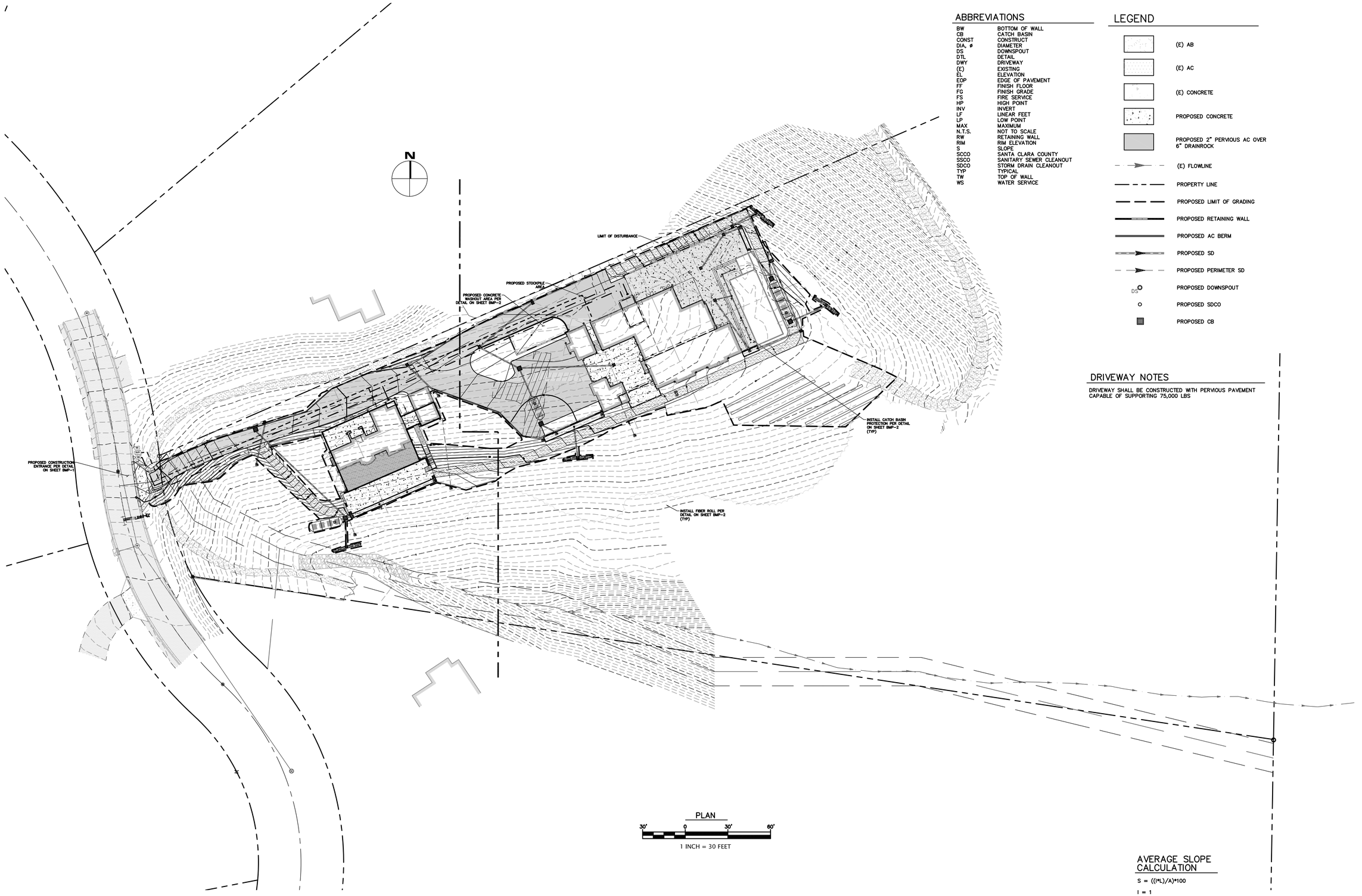
ENGINEER'S NAME: **RICHARD J. IRISH, RCE 45820**

ADDRESS: **303 POTRERO STREET, SUITE 42–202**
SANTA CLARA, CA 95060

PHONE NO. **(831) 425–3901**
FAX NO. **(831) 425–1522**

Revision 1 *Date*		*APN* 351–42–004	*Sheet* 1 *of* 10
Revision 2 *Date*		*Co. File*	
Revision 3 *Date*			

APPLICANT: MELISSA WATERS   ROAD: PEACOCK CT   COUNTY FILE NO.: PLN20–124



ABBREVIATIONS

BW	BOTTOM OF WALL
CB	CATCH BASIN
CONST	CONSTRUCT
DIA, ø	DIAMETER
DS	DOWNSPOUT
DTL	DETAIL
DWY	DRIVEWAY
(E)	EXISTING
EL	ELEVATION
EOP	EDGE OF PAVEMENT
FF	FINISH FLOOR
FG	FINISH GRADE
FS	FIRE SERVICE
HP	HIGH POINT
INV	INVERT
LF	LINEAR FEET
LP	LOW POINT
MAX	MAXIMUM
N.T.S.	NOT TO SCALE
RW	RETAINING WALL
RIM	RIM ELEVATION
S	SLOPE
SCCO	SANTA CLARA COUNTY
SSCO	SANITARY SEWER CLEANOUT
SDCO	STORM DRAIN CLEANOUT
TYP	TYPICAL
TW	TOP OF WALL
WS	WATER SERVICE

LEGEND

- (E) AB
- (E) AC
- (E) CONCRETE
- PROPOSED CONCRETE
- PROPOSED 2" PERVIOUS AC OVER 6" DRAINROCK
- (E) FLOWLINE
- PROPERTY LINE
- PROPOSED LIMIT OF GRADING
- PROPOSED RETAINING WALL
- PROPOSED AC BERM
- PROPOSED SD
- PROPOSED PERIMETER SD
- DS PROPOSED DOWNSPOUT
- PROPOSED SDCO
- PROPOSED CB

DRIVEWAY NOTES

DRIVEWAY SHALL BE CONSTRUCTED WITH PERVIOUS PAVEMENT CAPABLE OF SUPPORTING 75,000 LBS

AVERAGE SLOPE CALCULATION

S = ((i*L)/A)*100

I = 1

L = 15924

A = 69130

S = 23%

TOPOGRAPHIC SURVEY

THE TOPOGRAPHIC SURVEY AND BOUNDARY INFORMATION PROVIDED HEREON WAS COMPLETED BY HANAGAN LAND SURVEYING, INC. RI ENGINEERING INC. MAKES NO GUARANTEE AS TO THE ACCURACY OF BOTH. THE CONTRACTOR SHALL VERIFY THE BOUNDARY LOCATION AND TOPOGRAPHIC INFORMATION PRIOR TO COMMENCING WORK.

STORM DRAIN SYSTEM MAINTENANCE

THE HOME OWNER IS RESPONSIBLE FOR MAINTAINING THE STORM DRAINAGE SYSTEM AND ALL COMPONENTS. EVERY YEAR, PRIOR TO THE WET WEATHER SEASON (OCTOBER 15TH) ALL THE CATCH BASINS AND STORM DRAIN CLEANOUTS SHALL BE INSPECTED AND CLEANED OF ANY DEBRIS, SILT, TRASH AND SEDIMENT.

STORM DRAINAGE NOTES

1. CULVERTS SHALL BE REINFORCED CONCRETE PIPE (RCP), POLYVINYL CHLORIDE (PVC), OR HIGH DENSITY POLYETHYLENE (HDPE) AND SHALL HAVE A SMOOTH INTERIOR CONFORMING TO SANTA CLARA COUNTY DRAINAGE MANUAL.
2. INLETS SHALL BE CHRISTY CONCRETE PRODUCTS OR APPROVED EQUAL.
3. CONNECT ALL DOWNSPOUTS TO PERIMETER STORM DRAIN.

PRELIMINARY GRADING AND DRAINAGE APPROVAL SUBMITTAL

APPLICANT: MELISSA WATERS ROAD: PEACOCK CT COUNTY FILE NO.: PLN20-124

⚠ REVISIONS PER COUNTY COMMENTS 12/4/2020
⚠ REVISIONS PER COUNTY COMMENTS 4/9/2021
⚠ REVISIONS PER COUNTY COMMENTS 5/22/2024

REGISTERED PROFESSIONAL ENGINEER RICHARD J. IVICH No. 45920 Exp. 6-30-2025 CIVIL STATE OF CALIFORNIA

05/22/24

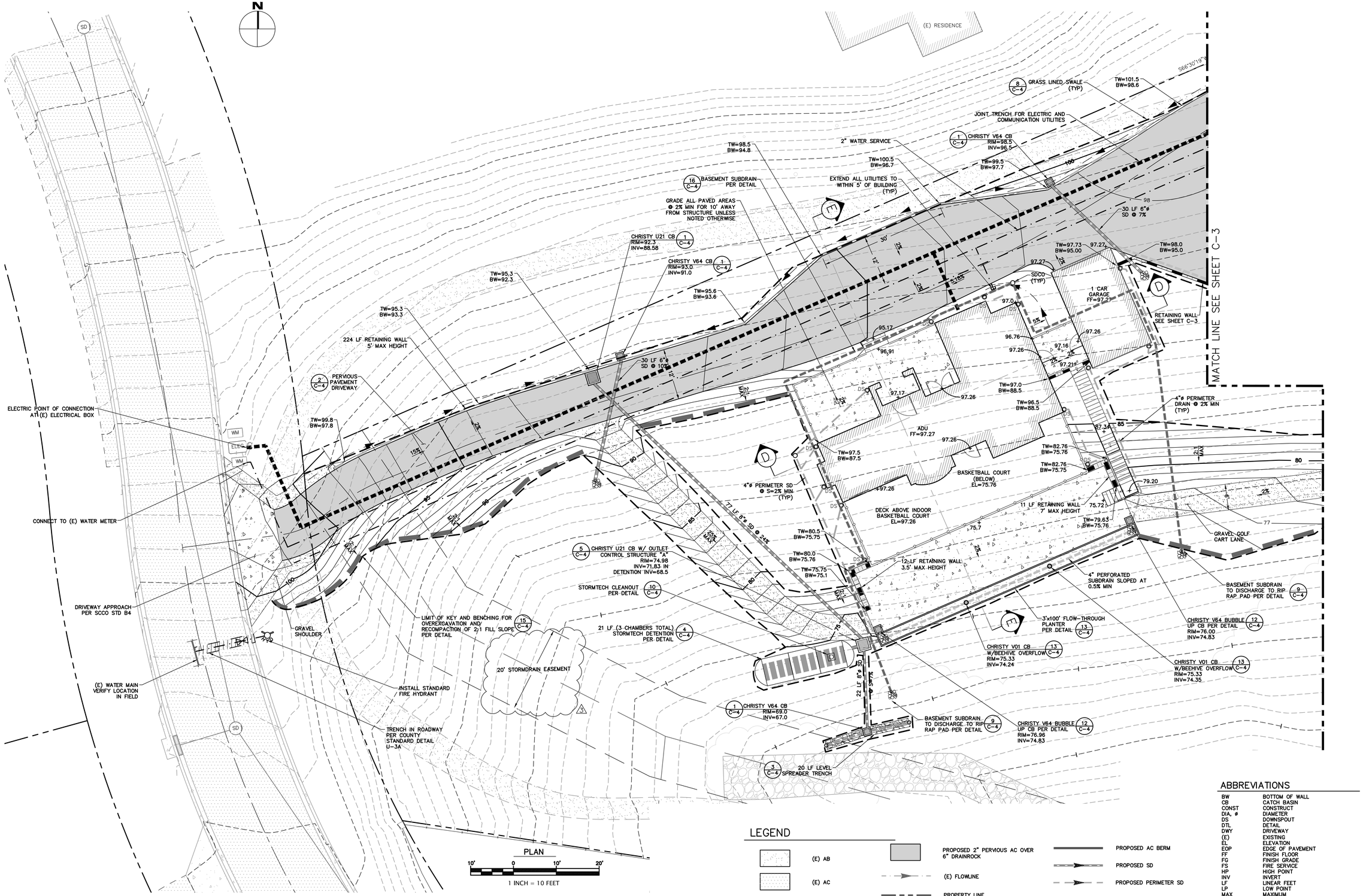
R.I Engineering, Inc.
303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.riengineering.com

SINGLE FAMILY RESIDENCE
FOR
MELISSA WATERS
PEACOCK COURT
SANTA CLARA COUNTY, CA
APN 351-42-004

SITE PLAN

project no. 18-019-1
date MAY 2024
scale AS SHOWN
dwg name CIIVL7.2024.dwg

C-1



LEGEND

- (E) AB
- (E) AC
- (E) CONCRETE
- PROPOSED CONCRETE
- PROPOSED 2" PERVIOUS AC OVER 6" DRAINROCK
- (E) FLOWLINE
- PROPERTY LINE
- PROPOSED LIMIT OF GRADING
- PROPOSED RETAINING WALL
- PROPOSED SUBDRAIN
- PROPOSED AC BERM
- PROPOSED SD
- PROPOSED PERIMETER SD
- PROPOSED DOWNSPOUT
- PROPOSED SDCO
- PROPOSED CB

ABBREVIATIONS

BW	BOTTOM OF WALL
CB	CATCH BASIN
CONST	CONSTRUCT
DIA, ø	DIAMETER
DS	DOWNSPOUT
DTL	DETAIL
DWY	DRIVEWAY
(E)	EXISTING
EL	ELEVATION
EOP	EDGE OF PAVEMENT
FF	FINISH FLOOR
FG	FINISH GRADE
FS	FIRE SERVICE
HP	HIGH POINT
INV	INVERT
LF	LINEAR FEET
LP	LOW POINT
MAX	MAXIMUM
N.T.S.	NOT TO SCALE
RW	RETAINING WALL
RIM	RIM ELEVATION
S	SLOPE
SCCO	SANTA CLARA COUNTY
SSCO	SANITARY SEWER CLEANOUT
SDCO	STORM DRAIN CLEANOUT
TYP	TYPICAL
TW	TOP OF WALL
WS	WATER SERVICE

PRELIMINARY GRADING AND DRAINAGE APPROVAL SUBMITTAL

APPLICANT: MELISSA WATERS ROAD: PEACOCK CT COUNTY FILE NO.: PLN20-124

1 REVISIONS PER COUNTY COMMENTS 12/4/2020
2 REVISIONS PER COUNTY COMMENTS 4/9/2021
3 REVISIONS PER COUNTY COMMENTS 5/22/2024

REGISTERED PROFESSIONAL ENGINEER RICHARD J. IRISH No. 35650 EXP. 6-30-25 CIVIL STATE OF CALIFORNIA
05/22/24

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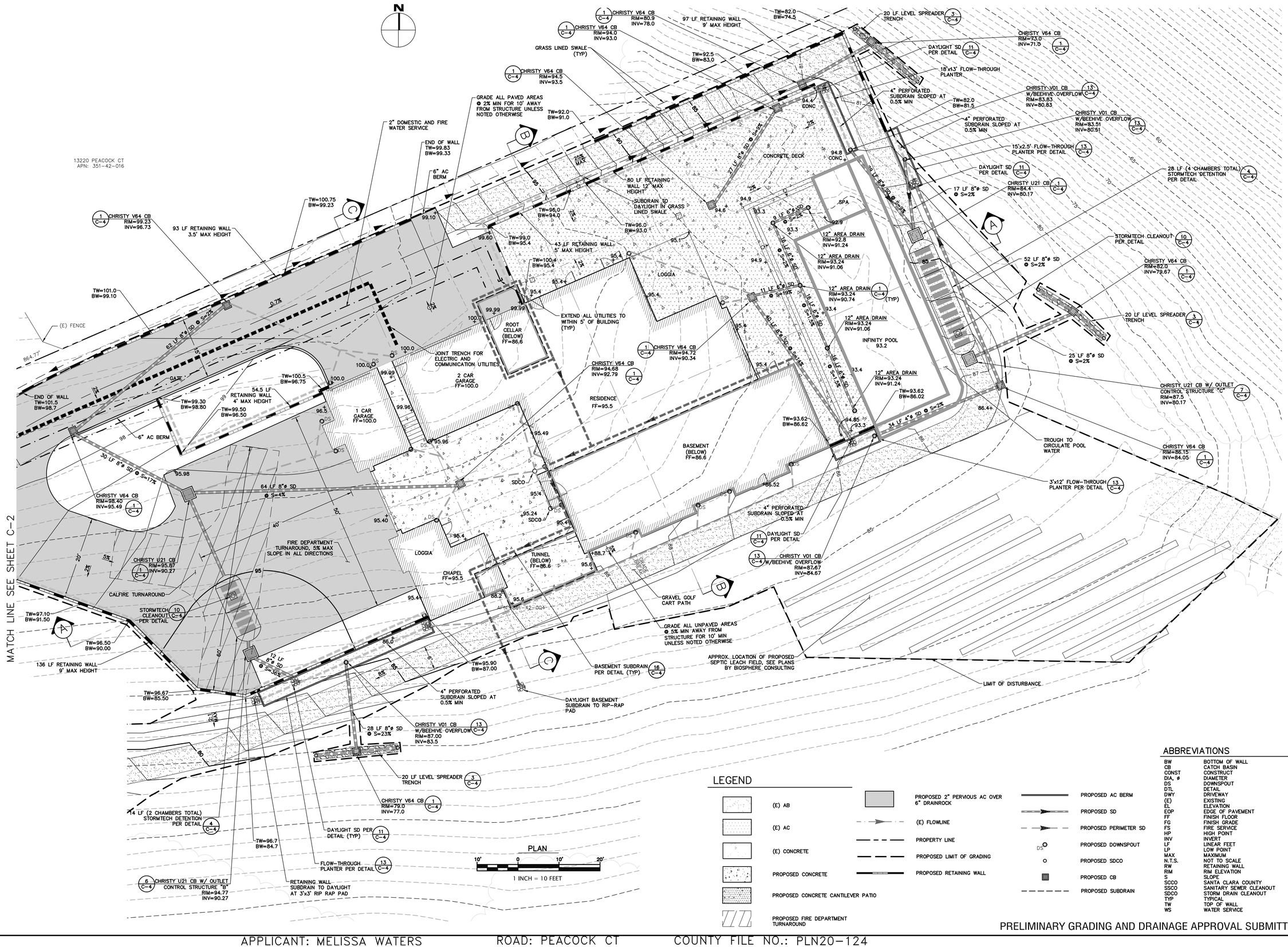
SINGLE FAMILY RESIDENCE
FOR
MELISSA WATERS
PEACOCK COURT
SANTA CLARA COUNTY, CA
APN 351-42-004

ADU GRADING & DRAINAGE PLAN

project no. 18-019-1
date MAY 2024
scale AS SHOWN
dwg name CIIVL7.2024.dwg

C-2



LEGEND

- (E) AB
- (E) AC
- (E) CONCRETE
- PROPOSED CONCRETE
- PROPOSED CONCRETE CANTILEVER PATIO
- PROPOSED FIRE DEPARTMENT TURNAROUND
- PROPOSED 2" PERVIOUS AC OVER 6" DRAINROCK
- (E) FLOWLINE
- PROPERTY LINE
- PROPOSED LIMIT OF GRADING
- PROPOSED RETAINING WALL
- PROPOSED AC BERM
- PROPOSED SD
- PROPOSED PERIMETER SD
- PROPOSED DOWNSPOUT
- PROPOSED SDCO
- PROPOSED CB
- PROPOSED SUBDRAIN

ABBREVIATIONS

BW	BOTTOM OF WALL
CB	CATCH BASIN
CONST	CONSTRUCT
DIA, ø	DIAMETER
DS	DOWNSPOUT
DTL	DETAIL
DWY	DRIVEWAY
(E)	EXISTING
EL	ELEVATION
EOP	EDGE OF PAVEMENT
FF	FINISH FLOOR
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SCCO	SANTA CLARA COUNTY
SSCO	SANITARY SEWER CLEANOUT
SDCO	STORM DRAIN CLEANOUT
TYP	TYPICAL
TW	TOP OF WALL
WS	WATER SERVICE

PRELIMINARY GRADING AND DRAINAGE APPROVAL SUBMITTAL

APPLICANT: MELISSA WATERS ROAD: PEACOCK CT COUNTY FILE NO.: PLN20-124

⚠1 REVISIONS PER COUNTY COMMENTS 12/4/2020
⚠2 REVISIONS PER COUNTY COMMENTS 4/9/2021
⚠3 REVISIONS PER COUNTY COMMENTS 5/22/2024

RICHARD J. IRISH No. 35050 Exp. 6-30-25 CIVIL STATE OF CALIFORNIA PROFESSIONAL ENGINEER
05/22/24

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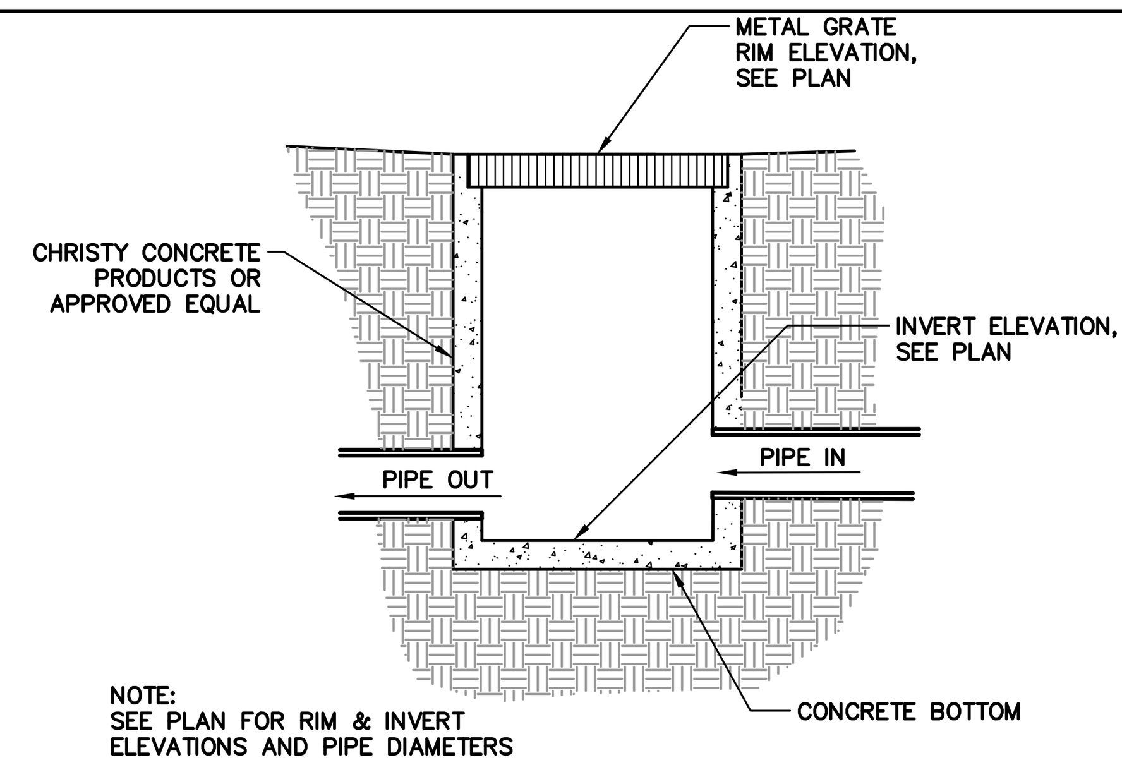
SINGLE FAMILY RESIDENCE
FOR
MELISSA WATERS
PEACOCK COURT
SANTA CLARA COUNTY, CA
APN 351-42-004

RESIDENCE GRADING & DRAINAGE PLAN

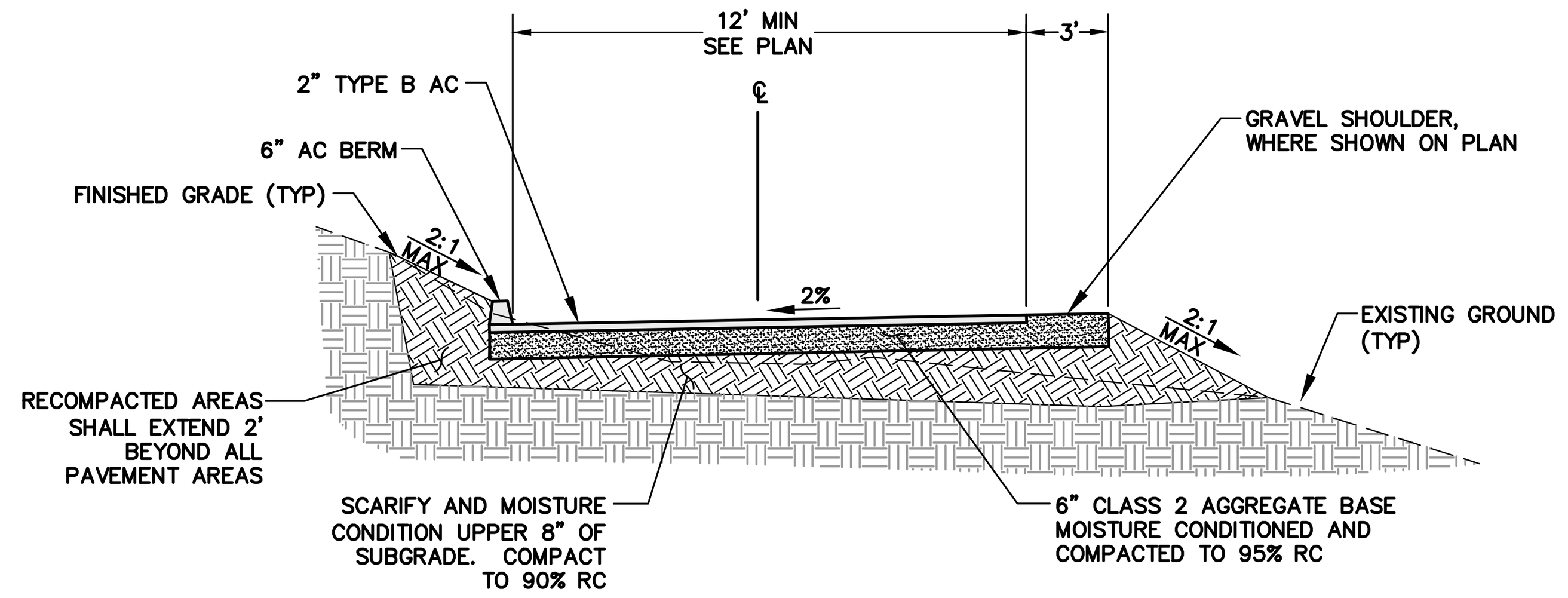
project no. 18-019-1
date MAY 2024
scale AS SHOWN
dwg name CIIVL7.2024.dwg

⚠3

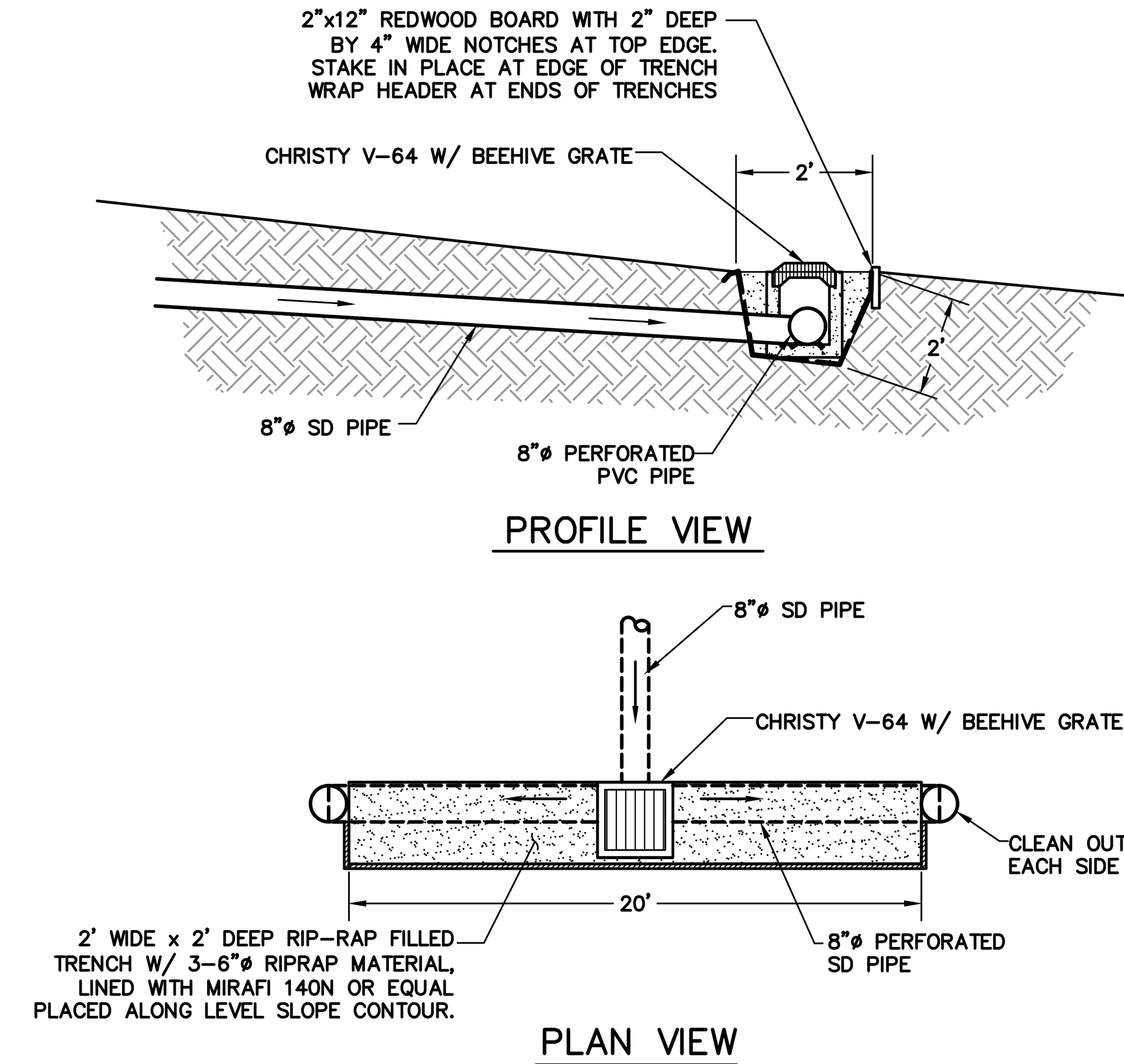
C-3



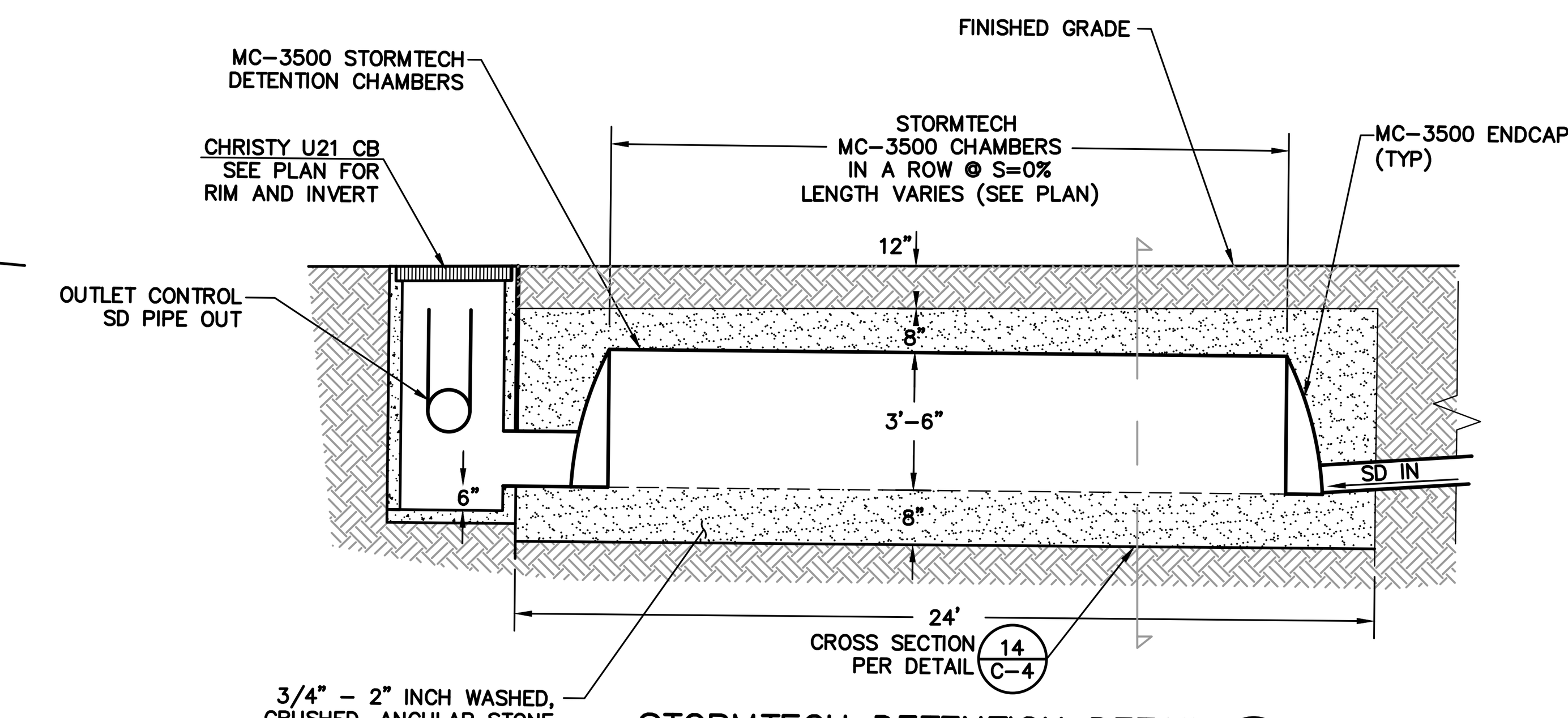
TYPICAL CATCH BASIN DETAIL 1/C-4
NTS



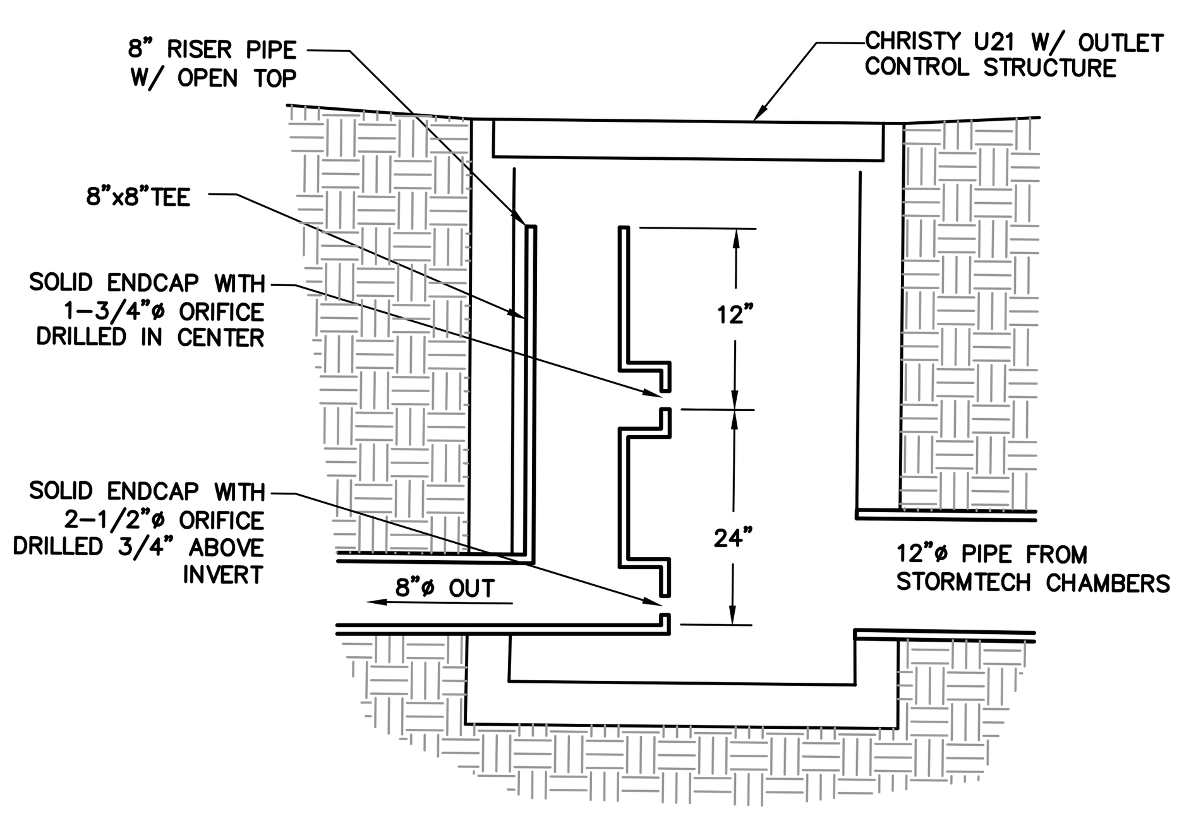
TYPICAL DRIVEWAY DETAIL 2/C-4
NTS



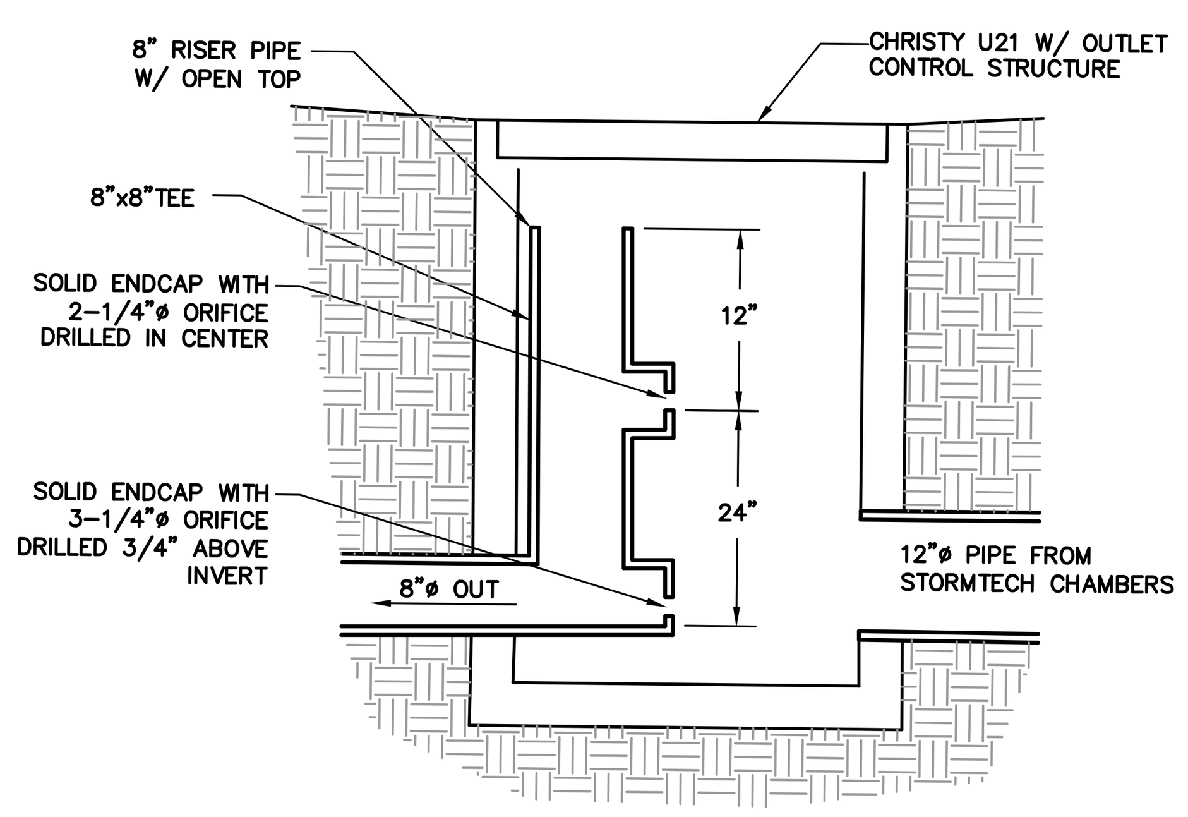
LEVEL SPREADER DETAIL 3/C-4
NTS



STORMTECH DETENTION DETAIL 4/C-4
NTS



DETENTION OUTLET CONTROL STRUCTURE "A" DETAIL 5/C-4
NTS



DETENTION OUTLET CONTROL STRUCTURE "B" DETAIL 6/C-4
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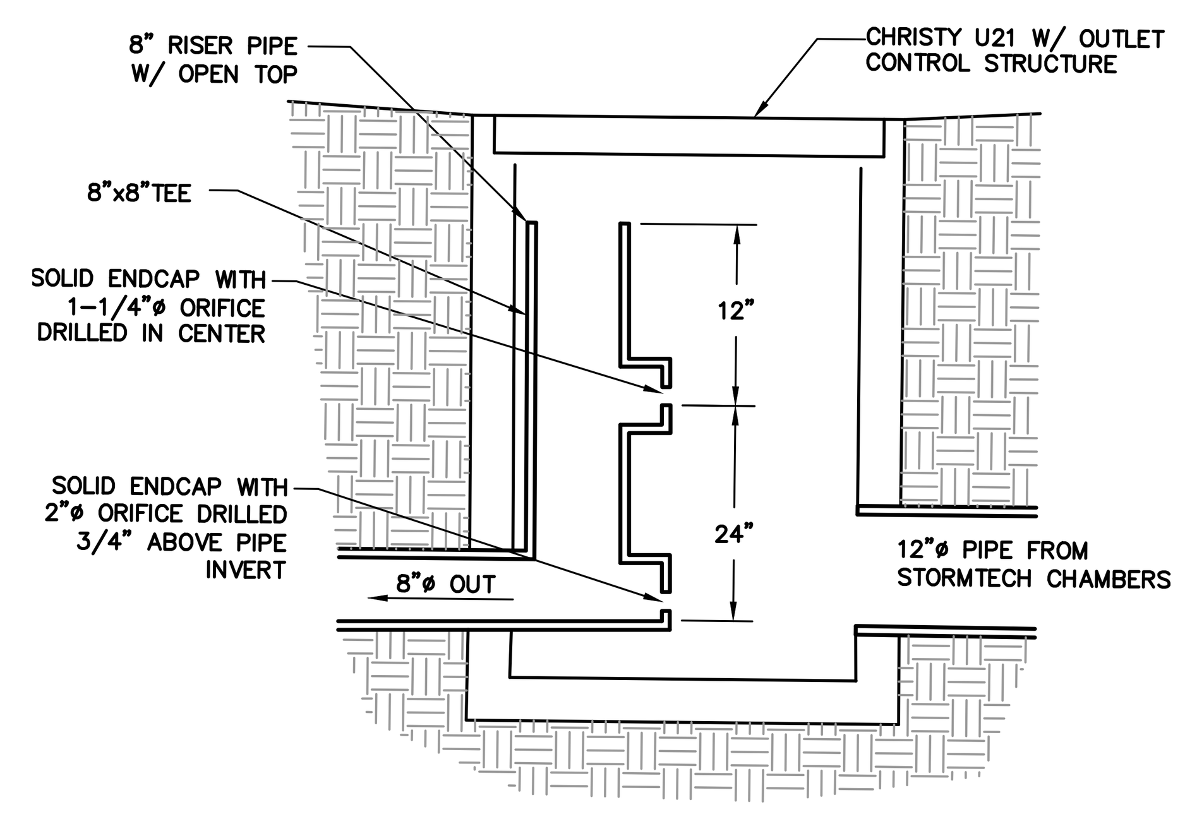
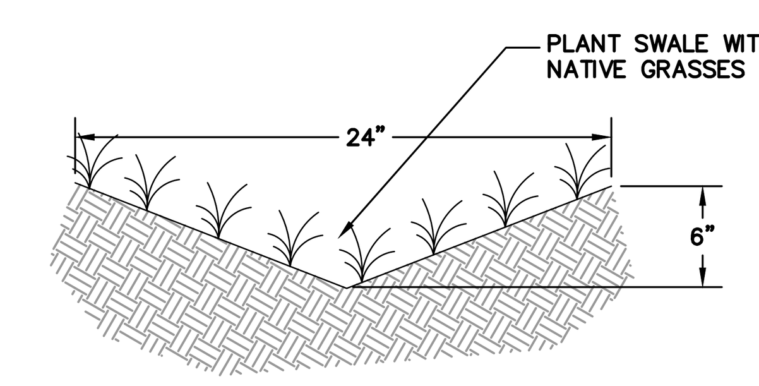
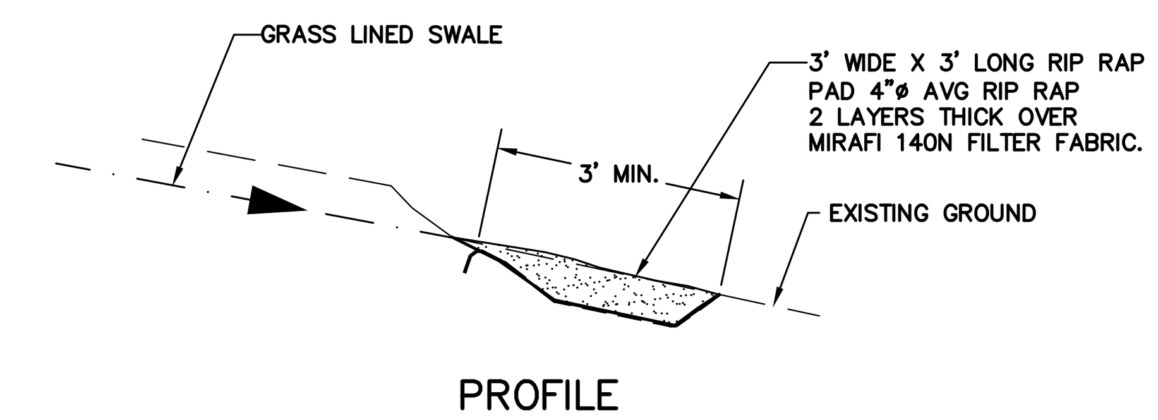


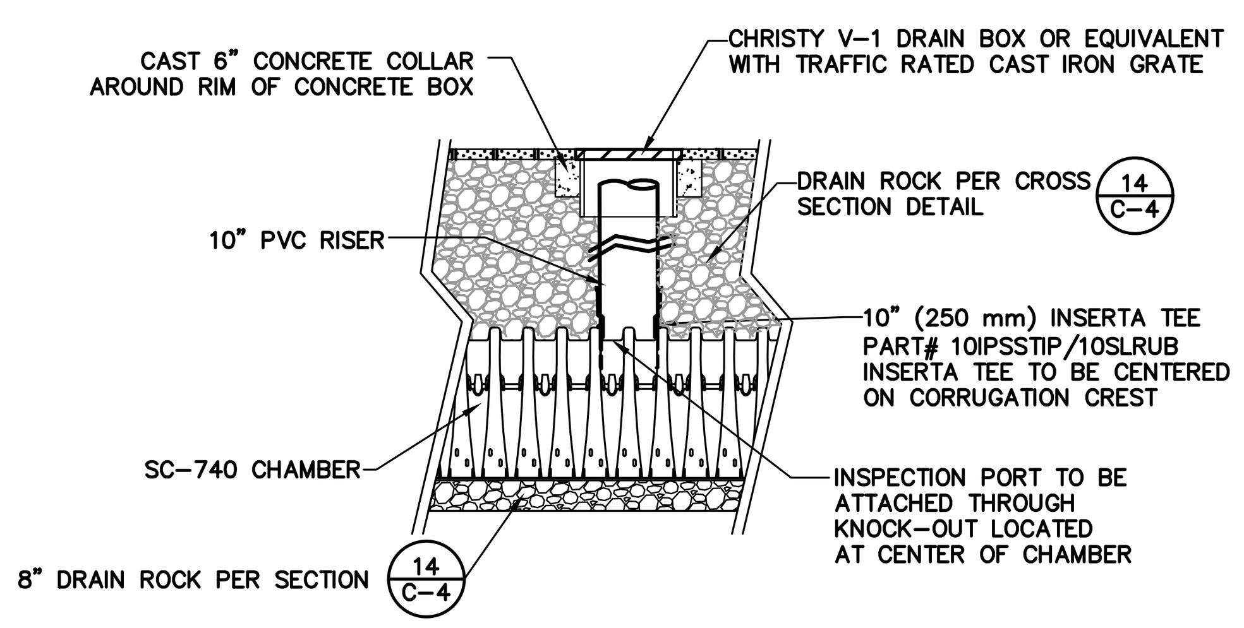
DETENTION OUTLET CONTROL STRUCTURE "C" DETAIL 7/C-4
NTS



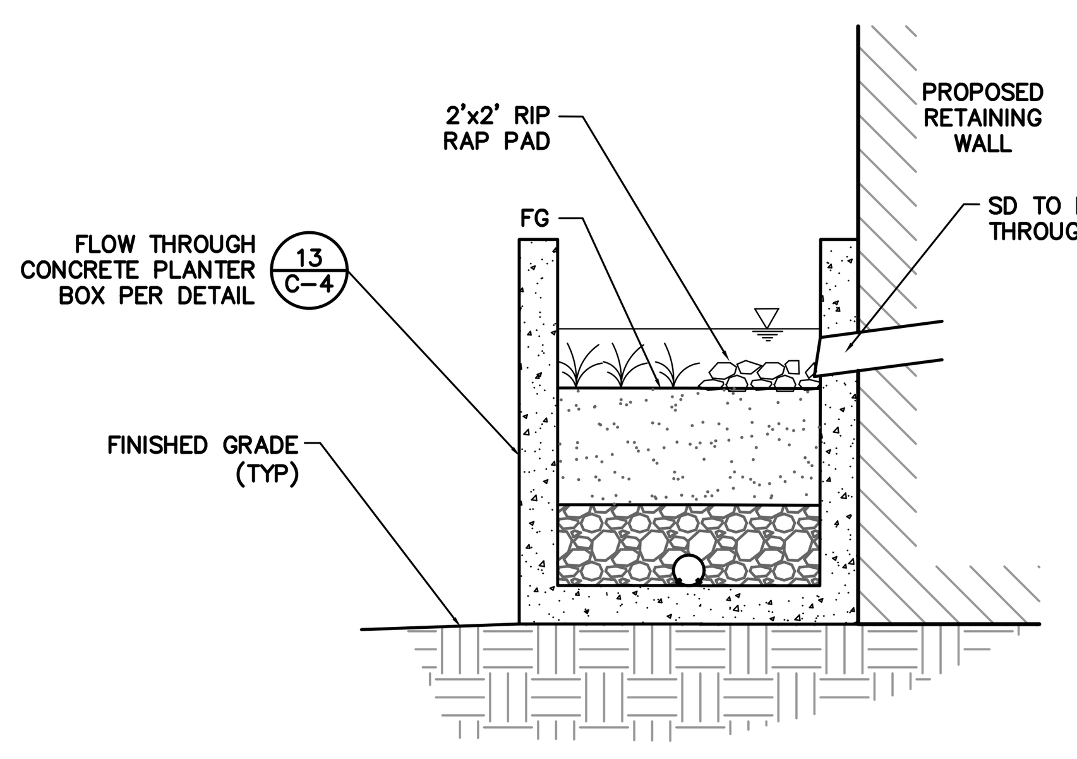
GRASS LINED SWALE DETAIL 8/C-4
NTS



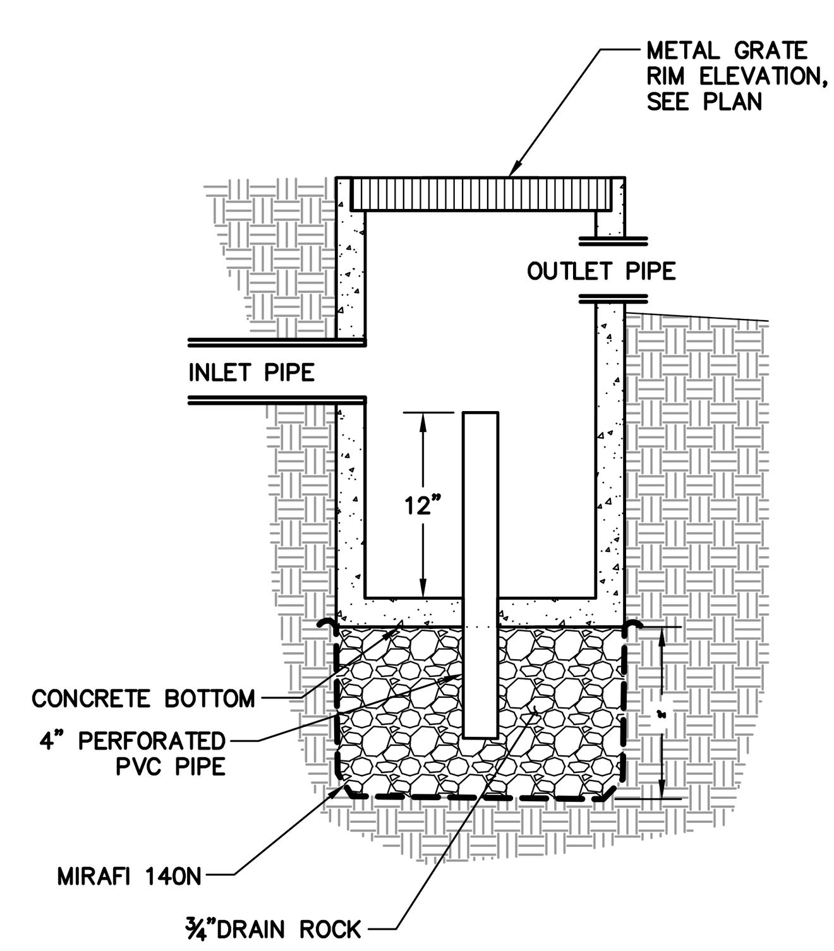
RIP RAP PAD DETAIL 9/C-4
NTS



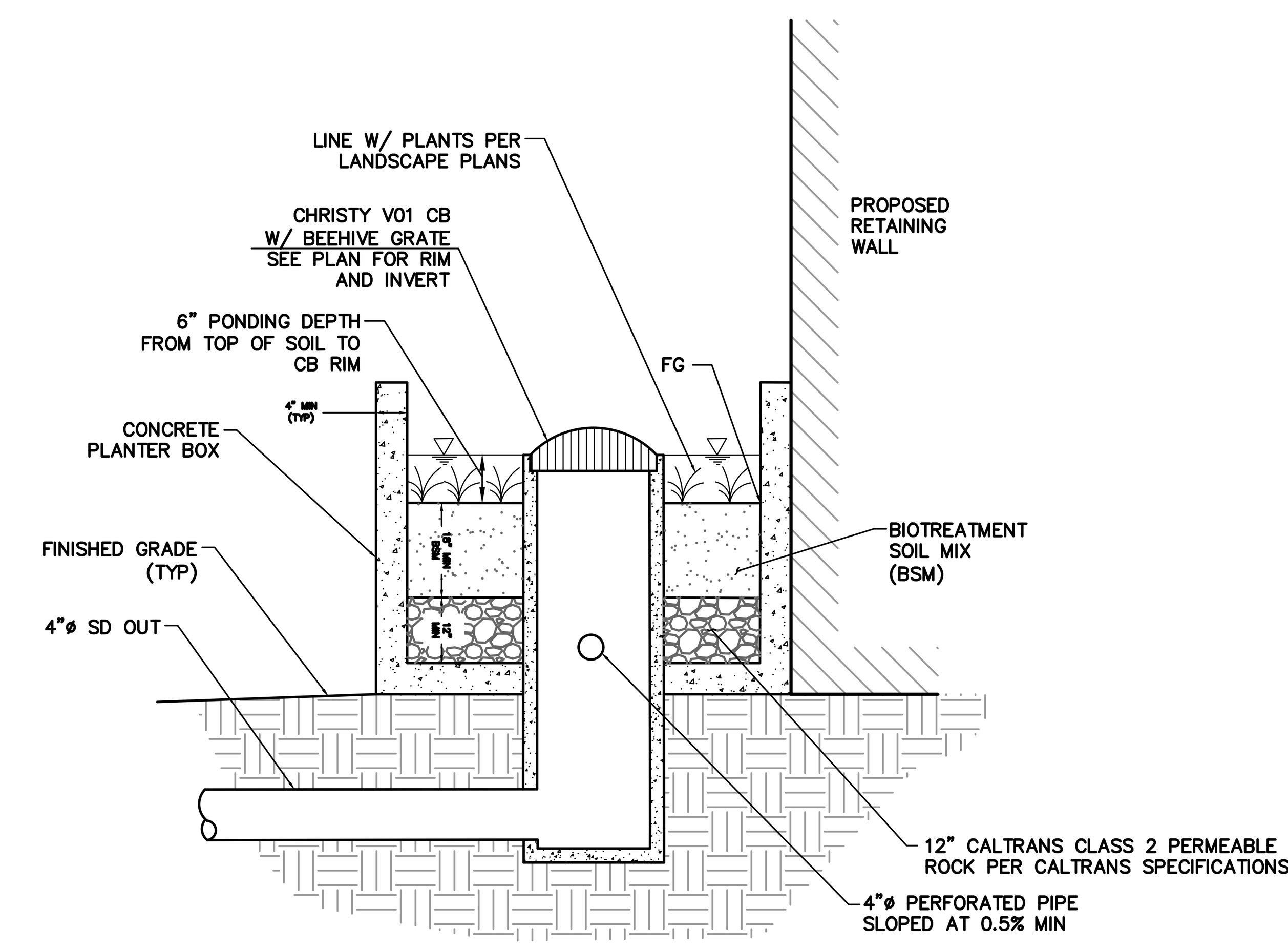
STORMTECH MAINTENANCE PORT DETAIL 10/C-4
NTS



PLANTER INLET DETAIL 11/C-4
NTS



BUBBLE UP CATCH BASIN 12/C-4
NTS



FLOW-THRU PLANTER 13/C-4
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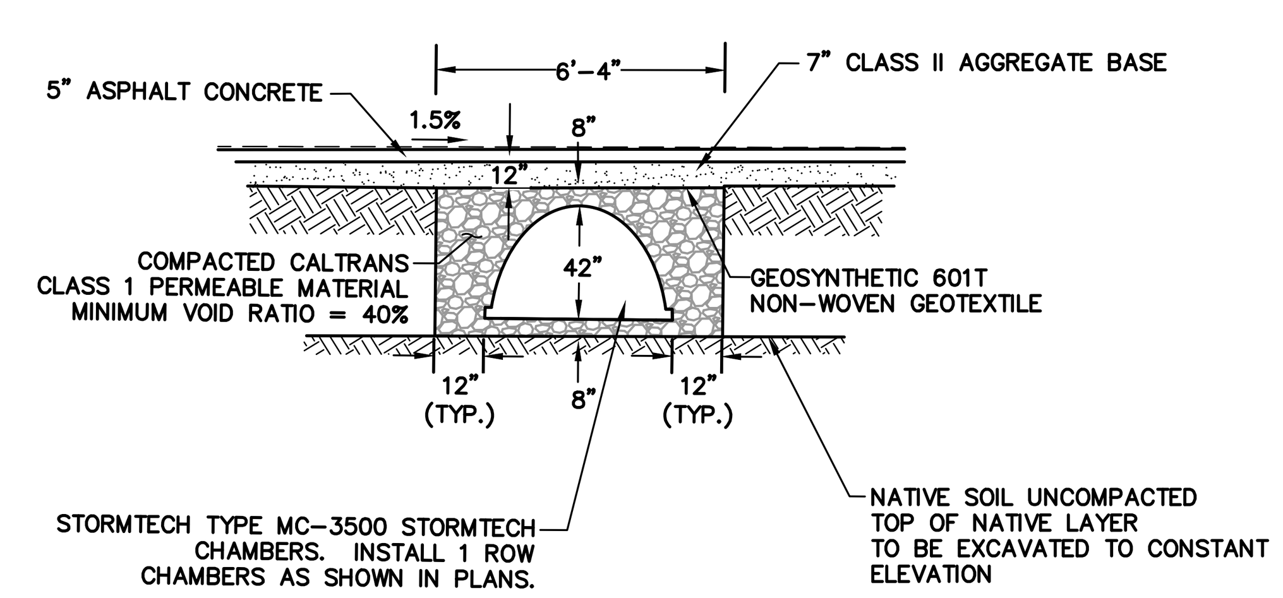
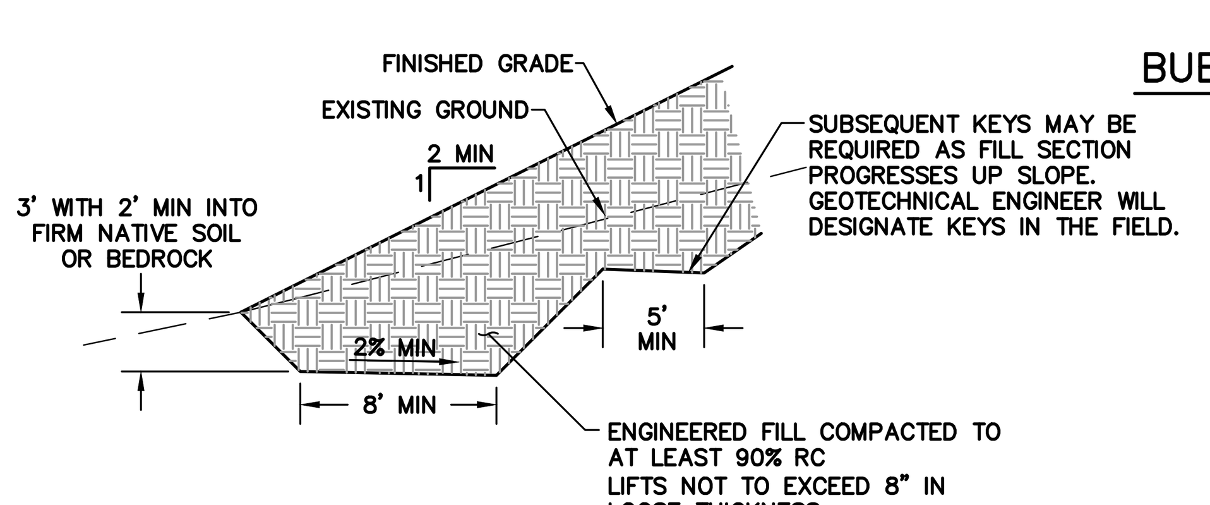


TYPICAL STORMTECH CROSS SECTION 14/C-4
NTS



FILL KEYWAY DETAIL 15/C-4
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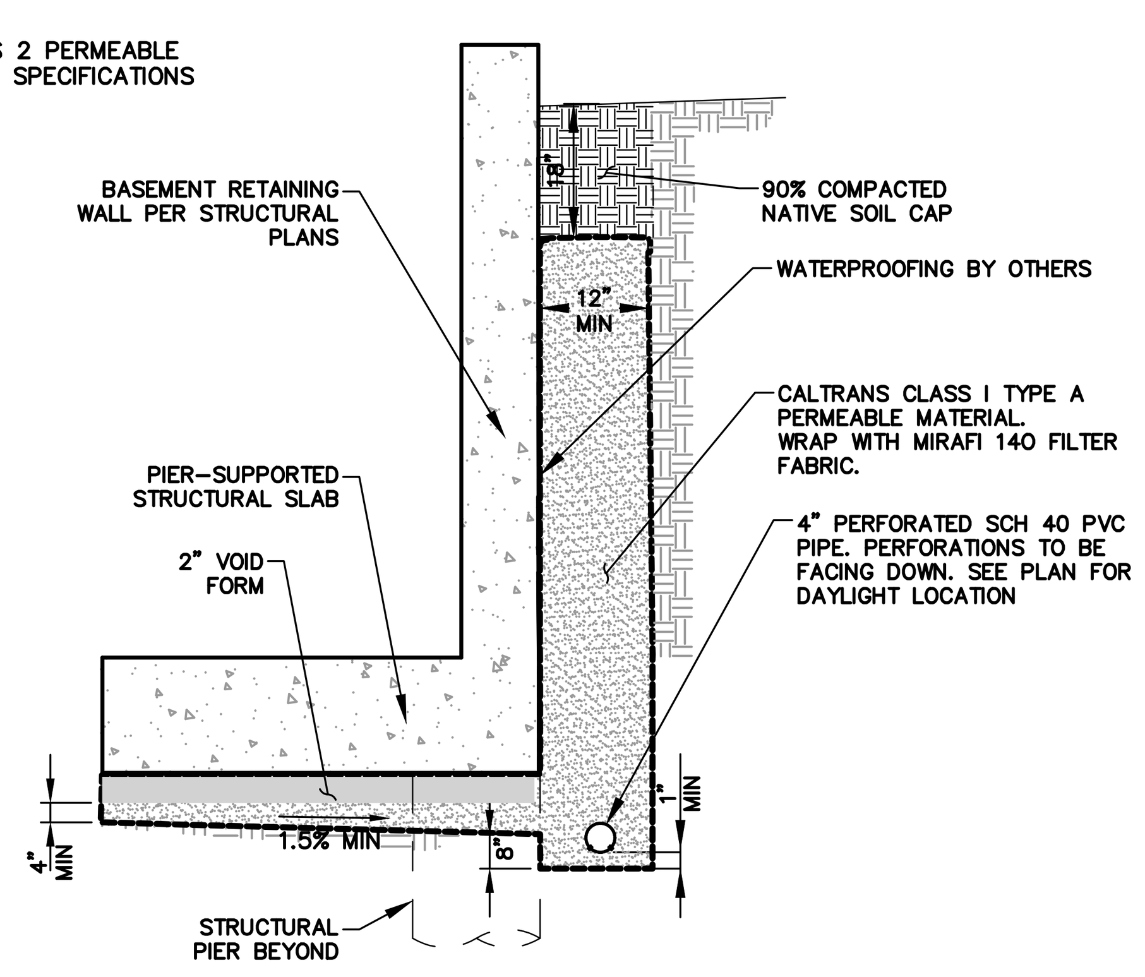

BASEMENT SUB DRAIN DETAIL 16/C-4
NTS

1 REVISIONS PER COUNTY COMMENTS 12/4/2020
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3 REVISIONS PER COUNTY COMMENTS 5/22/2024

REGISTERED PROFESSIONAL ENGINEER
RICHARD J. IRISH
No. 45320
Exp. 12-31-24
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05/22/24

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SINGLE FAMILY RESIDENCE
FOR
MELISSA WATERS
PEACOCK COURT
SANTA CLARA COUNTY, CA
APN 351-42-004

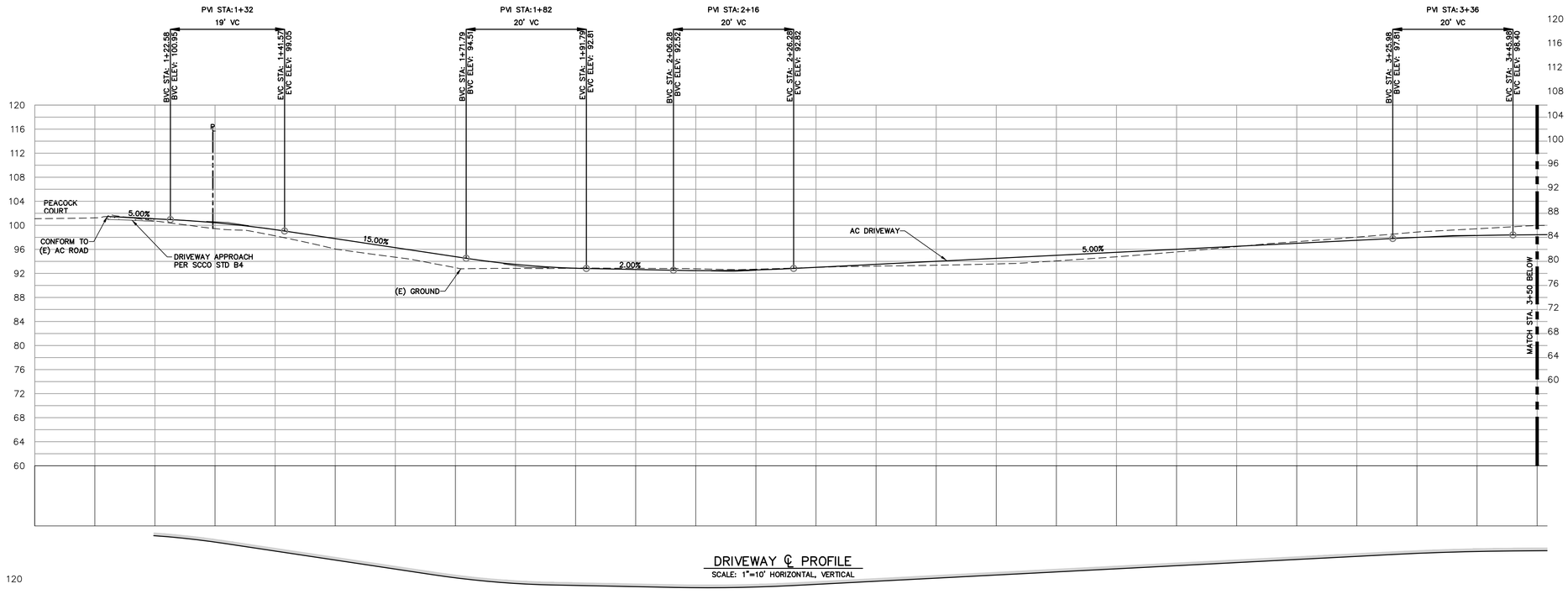
DETAILS

project no.	18-019-1
date	MAY 2024
scale	AS SHOWN
dwg name	CIIVL7.2024.dwg

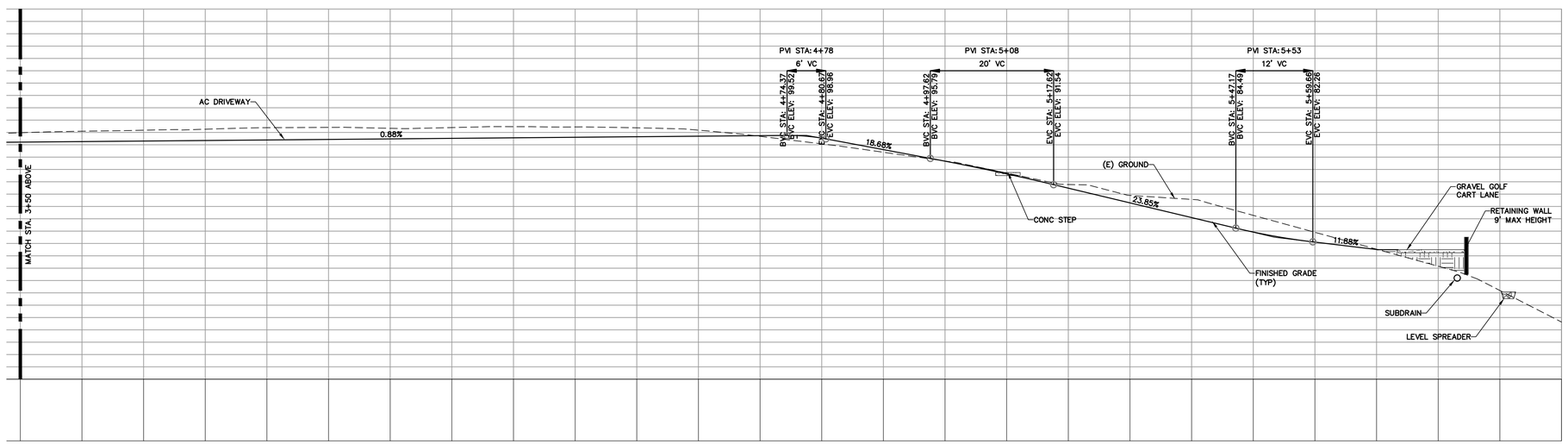
C-4

PRELIMINARY GRADING AND DRAINAGE APPROVAL SUBMITTAL

APPLICANT: MELISSA WATERS ROAD: PEACOCK CT COUNTY FILE NO.: PLN20-124



DRIVEWAY ℄ PROFILE
SCALE: 1"=10' HORIZONTAL, VERTICAL



DRIVEWAY ℄ PROFILE
SCALE: 1"=10' HORIZONTAL, VERTICAL

EARTHWORK AND GRADING

1. WORK SHALL CONSIST OF ALL CLEARING, GRUBBING, STRIPPING, PREPARATION OF LAND TO BE FILLED, EXCAVATION, SPREADING, COMPACTION AND CONTROL OF FILL, AND ALL SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADES, AND SLOPES, AS SHOWN ON THE APPROVED PLANS.

2. ALL GRADING OPERATIONS SHALL CONFORM TO SECTION 19 OF THE CALTRANS STANDARD SPECIFICATIONS, AND SHALL ALSO BE DONE IN CONFORMANCE WITH THE REQUIREMENTS OF THE COUNTY OF SANTA CLARA. THE MOST STRINGENT GUIDELINE SHALL PREVAIL.

3. REFERENCE IS MADE TO THE GEOTECHNICAL INVESTIGATIONS BY MURRAY ENGINEERS, INC., ENTITLED "GEOTECHNICAL INVESTIGATION, WATERS RESIDENCE," DATED APRIL 2020. THE CONTRACTOR SHALL MAKE A THOROUGH REVIEW OF THIS REPORT AND SHALL FOLLOW ALL RECOMMENDATIONS THEREIN. THE CONTRACTOR SHALL CONTACT MURRAY ENGINEERS, INC. FOR ANY CLARIFICATIONS NECESSARY PRIOR TO PROCEEDING WITH THE WORK.

4. THE CONTRACTOR SHALL GRADE TO THE LINE AND ELEVATIONS SHOWN ON THE PLAN AND SHALL SECURE THE SERVICES OF A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER TO PROVIDE STAKES FOR LINE AND GRADE.

5. THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED AT LEAST FOUR (4) DAYS PRIOR TO ANY SITE CLEARING AND GRADING OPERATIONS.

6. THE UPPER 18" OF NATIVE SUBGRADE IN AREAS TO RECEIVE CONCRETE SLABS AND/OR PAVEMENTS SHOULD BE OVEREXCAVATED AND EXPOSED SURFACE SHOULD BE SCARIFIED, MOISTURE CONDITIONED TO PRODUCE A MOISTURE CONTENT WITHIN 3% TO 5% ABOVE THE LABORATORY OPTIMUM VALUE, AND UNIFORMLY COMPACTED TO AT LEAST 90% RELATIVE COMPACTION BASED ON ASTM TEST D1557. THE UPPER 6" OF CONCRETE SLAB, AND PAVEMENT SUBGRADE AND BASE SHOULD BE COMPACTED TO AT LEAST 95% RELATIVE COMPACTION UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER.

7. ENGINEERED FILL SHOULD BE PLACED IN THIN LIFTS NOT EXCEEDING 8" IN LOOSE THICKNESS, MOISTURE CONDITIONED, AND COMPACTED TO AT LEAST 90% RELATIVE COMPACTION UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER.

8. MATERIAL USED FOR ENGINEERED FILL SHALL MEET THE REQUIREMENTS OF THE AFOREMENTIONED REPORTS BY MURRAY ENGINEERS, INC.

9. IMPORTED FILL MATERIAL USED AS ENGINEERED FILL FOR THE PROJECT SHALL MEET THE FOLLOWING REQUIREMENTS:

In general, fill material should not contain rocks or pieces larger than 6 inches in greatest dimension, and should contain no more than 15 percent larger than 2.5 inches. Any required imported fill should be predominantly granular material or material with a plasticity index of less than 15 percent.

10. ALL FILL MATERIAL SHALL BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER PRIOR TO JOBSITE DELIVERY AND PLACEMENT. NO EARTHWORK OPERATIONS SHALL BE PERFORMED WITHOUT THE DIRECT OBSERVATION AND APPROVAL OF THE GEOTECHNICAL ENGINEER.

11. BARE GROUND WITHIN 10' OF FOUNDATIONS SHALL BE SLOPED AWAY @ 5% MINIMUM OR 2% MINIMUM FOR PAVED SURFACES.

BIOLOGICAL RESOURCES NOTES

A) IF LAND-CLEARING ACTIVITIES CAN BE PERFORMED OUTSIDE OF THE NESTING SEASON, THAT IS, BETWEEN AUGUST 16 AND JANUARY 31, NO SURVEYS FOR GROUND-NESTING AND/OR TREE-NESTING PASSERINES ARE WARRANTED. THE SURVEY AREA SHOULD INCLUDE ALL TREES AND SCRUB WITHIN 200 FEET OF THE LIMITS OF WORK. THE PURPOSE OF PRE-CONSTRUCTION CONSTRUCTION SURVEYS IS TO DETERMINE IF OCCUPIED NESTS ARE PRESENT WITHIN THE ZONE OF INFLUENCE OF THE PROJECT.

B) IF LAND-CLEARING ACTIVITIES ARE TO COMMENCE BETWEEN FEBRUARY 1 AND AUGUST 15, A PRE-CONSTRUCTION SURVEY FOR GROUND-NESTING AND/OR TREE-NESTING PASSERINES MUST BE CONDUCTED PRIOR TO THE INITIATION OF WORK. THE SURVEY AREA SHOULD INCLUDE ALL TREES, BUSHES, GRASSLAND AND STRUCTURES WITHIN 100 FEET OF THE LIMITS OF WORK. THE PURPOSE OF PRE-CONSTRUCTION SURVEYS IS TO DETERMINE IF OCCUPIED NESTS ARE PRESENT WITHIN THE ZONE OF INFLUENCE OF THE PROJECT.

C) DEPENDING ON THE TIME OF YEAR AND DEPENDING ON THE RESULTS OF THE PRE-CONSTRUCTION SURVEYS, IT MIGHT BE NECESSARY THAT CONSTRUCTION ACTIVITIES COMMENCE WITHIN ONE WEEK OF THE SURVEY EARLY IN THE BREEDING SEASON TO AS LONG AS 30 DAYS LATE IN THE BREEDING SEASON, AS RECOMMENDED BY THE WILDLIFE BIOLOGIST. IF CONSTRUCTION IS NOT INITIATED WITHIN THESE WINDOWS, IT MIGHT BE NECESSARY TO REPEAT THE PRE-CONSTRUCTION SURVEYS.

D) IF ANY OCCUPIED GROUND-NESTING AND/OR TREE-NESTING PASSERINE NESTS ARE FOUND WITHIN THE ZONE OF INFLUENCE, GRADING AND CONSTRUCTION SHALL BE PROHIBITED WITHIN AN APPROPRIATE SETBACK (IN GENERAL, 75-100 FEET, DEPENDING ON LINES OF SIGHT AND THE SPECIES IN QUESTION), AS APPROVED BY A QUALIFIED BIOLOGIST. WORK WITHIN THE SETBACK MUST BE DELAYED UNTIL AFTER THE YOUNG HAVE FLEDGED, AS DETERMINED DURING SURVEYS BY A QUALIFIED BIOLOGIST, OR UNTIL AFTER AUGUST 15.

△1 REVISIONS PER COUNTY COMMENTS 12/4/2020
△2 REVISIONS PER COUNTY COMMENTS 4/9/2021
△3 REVISIONS PER COUNTY COMMENTS 5/22/2024

REGISTERED PROFESSIONAL ENGINEER
RICHARD J. IVISH
No. 45820
Exp. 12-31-24
CIVIL
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05/22/24

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SINGLE FAMILY RESIDENCE
FOR
MELISSA WATERS
PEACOCK COURT
SANTA CLARA COUNTY, CA
APN 351-42-004

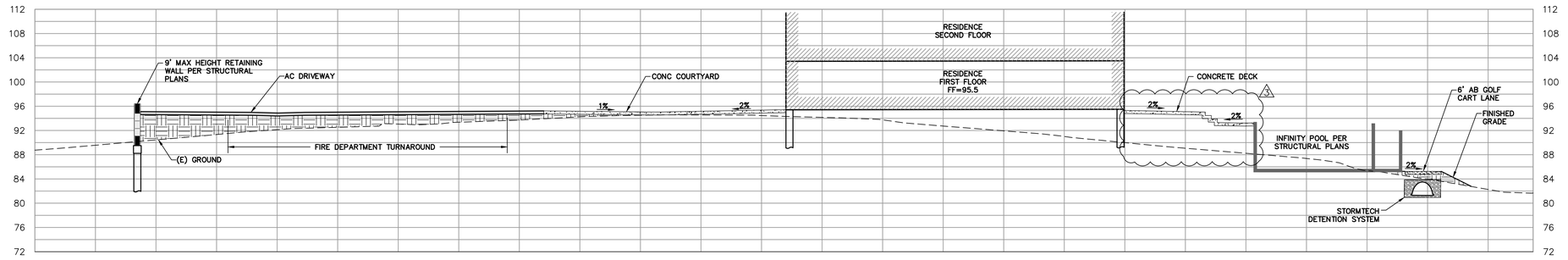
PROFILE AND NOTES

project no.
18-019-1
date
MAY 2024
scale
AS SHOWN
dwg name
CIIVL7.2024.dwg

C-5

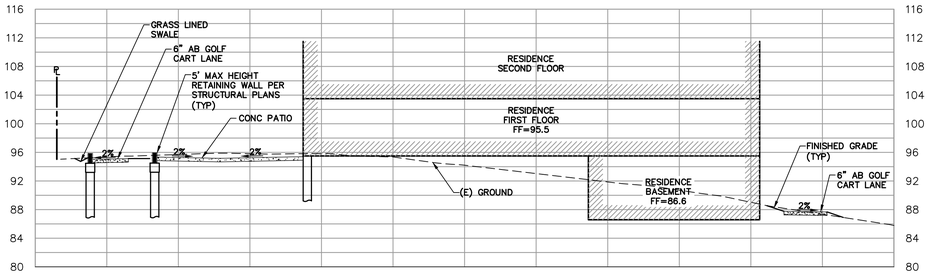
PRELIMINARY GRADING AND DRAINAGE APPROVAL SUBMITTAL

APPLICANT: MELISSA WATERS ROAD: PEACOCK CT COUNTY FILE NO.: PLN20-124



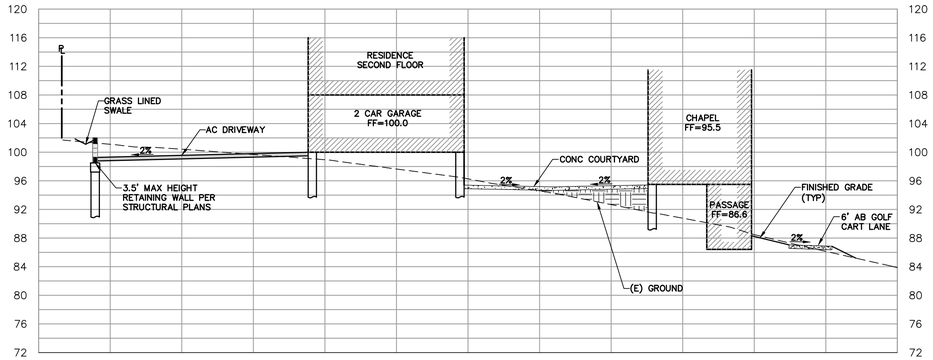
SECTION A–A

SCALE: 1"=10' HORIZONTAL, VERTICAL



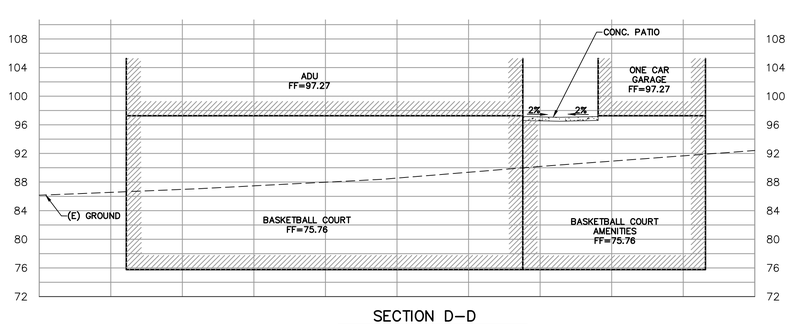
SECTION B–B

SCALE: 1"=10' HORIZONTAL, VERTICAL



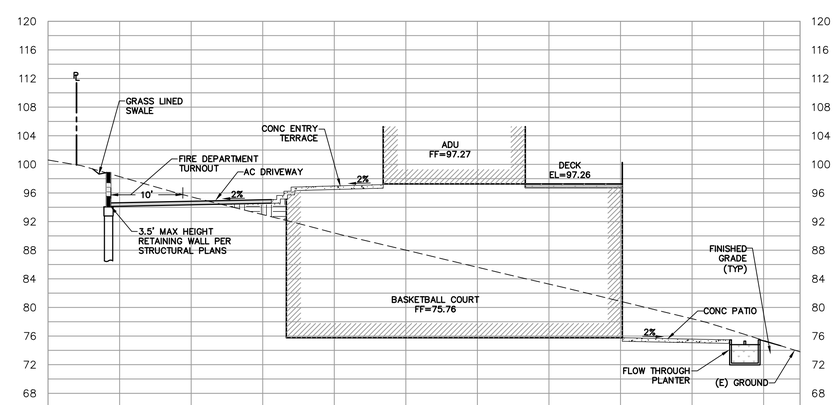
SECTION C–C

SCALE: 1"=10' HORIZONTAL, VERTICAL



SECTION D–D

SCALE: 1"=10' HORIZONTAL, VERTICAL



SECTION E–E

SCALE: 1"=10' HORIZONTAL, VERTICAL

PRELIMINARY GRADING AND DRAINAGE APPROVAL SUBMITTAL

APPLICANT: MELISSA WATERS ROAD: PEACOCK CT COUNTY FILE NO.: PLN20–124

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REGISTERED PROFESSIONAL ENGINEER
RICHARD J. IRISH
No. 45620
Exp. 12-31-25
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05/22/24

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SINGLE FAMILY RESIDENCE
FOR
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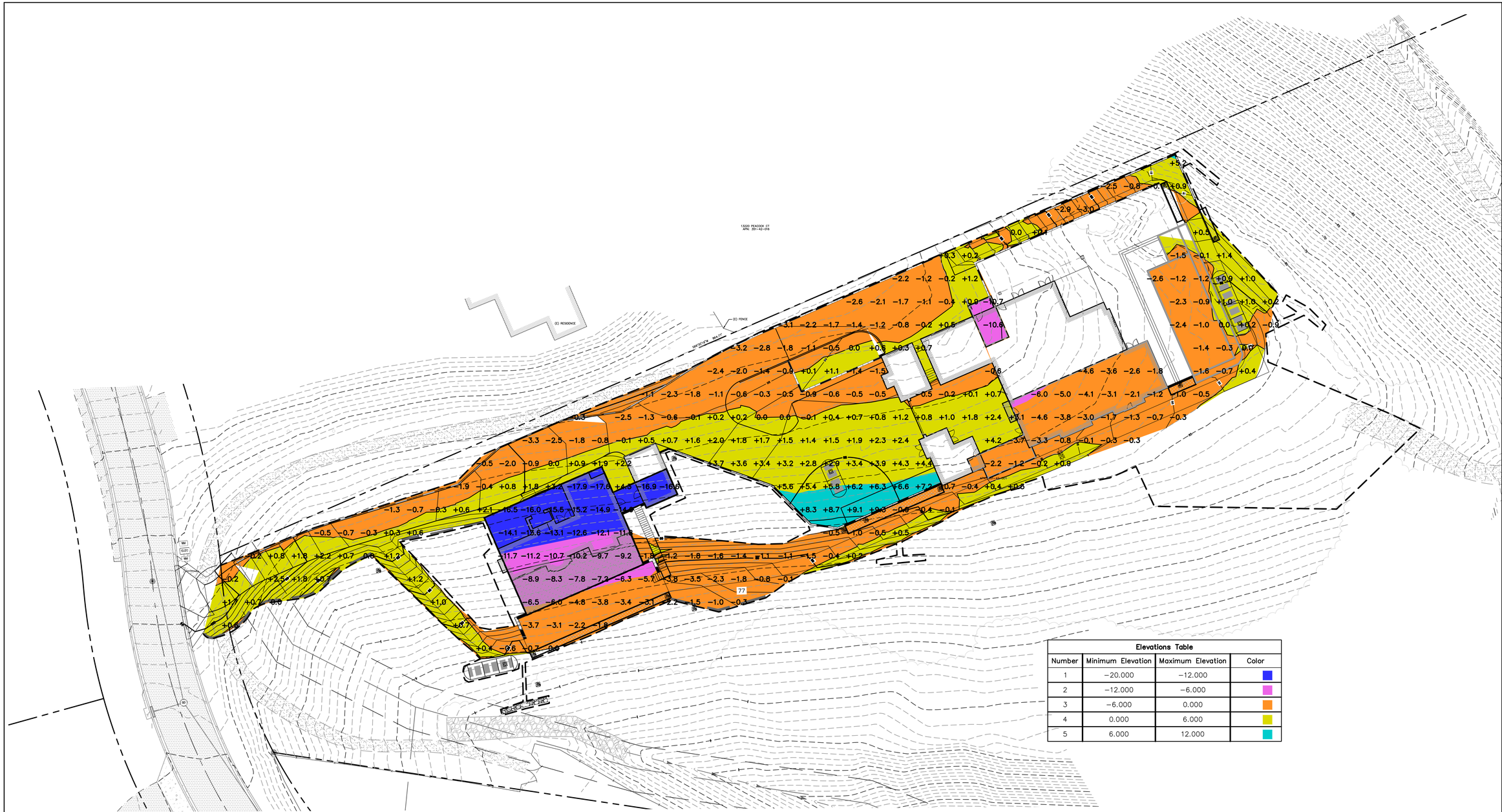
SANTA CLARA COUNTY, CA
APN 351-42-004

SECTIONS

project no. 18-019-1
date MAY 2024
scale AS SHOWN
dwg name CIIVL7.2024.dwg

C-6



Elevations Table			
Number	Minimum Elevation	Maximum Elevation	Color
1	−20.000	−12.000	
2	−12.000	−6.000	
3	−6.000	0.000	
4	0.000	6.000	
5	6.000	12.000	

PLAN

20' 0 20' 40'

1 INCH = 20 FEET

PRELIMINARY GRADING AND DRAINAGE APPROVAL SUBMITTAL

APPLICANT: MELISSA WATERS ROAD: PEACOCK CT COUNTY FILE NO.: PLN20−124

⚠ REVISIONS PER COUNTY COMMENTS 12/4/2020
⚠2 REVISIONS PER COUNTY COMMENTS 4/9/2021
⚠3 REVISIONS PER COUNTY COMMENTS 5/22/2024

REGISTERED PROFESSIONAL ENGINEER
RICHARD J. IRISH
No. 35050
Exp. 6-31-25
CIVIL
STATE OF CALIFORNIA

05/22/24

RI Engineering, Inc.
303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.riengineering.com

SINGLE FAMILY RESIDENCE
FOR
MELISSA WATERS
PEACOCK COURT
SANTA CLARA COUNTY, CA
APN 351-42-004

CUT & FILL MAP

project no. 18-019-1
date MAY 2024
scale AS SHOWN
dwg name CIIVL7.2024.dwg

⚠3

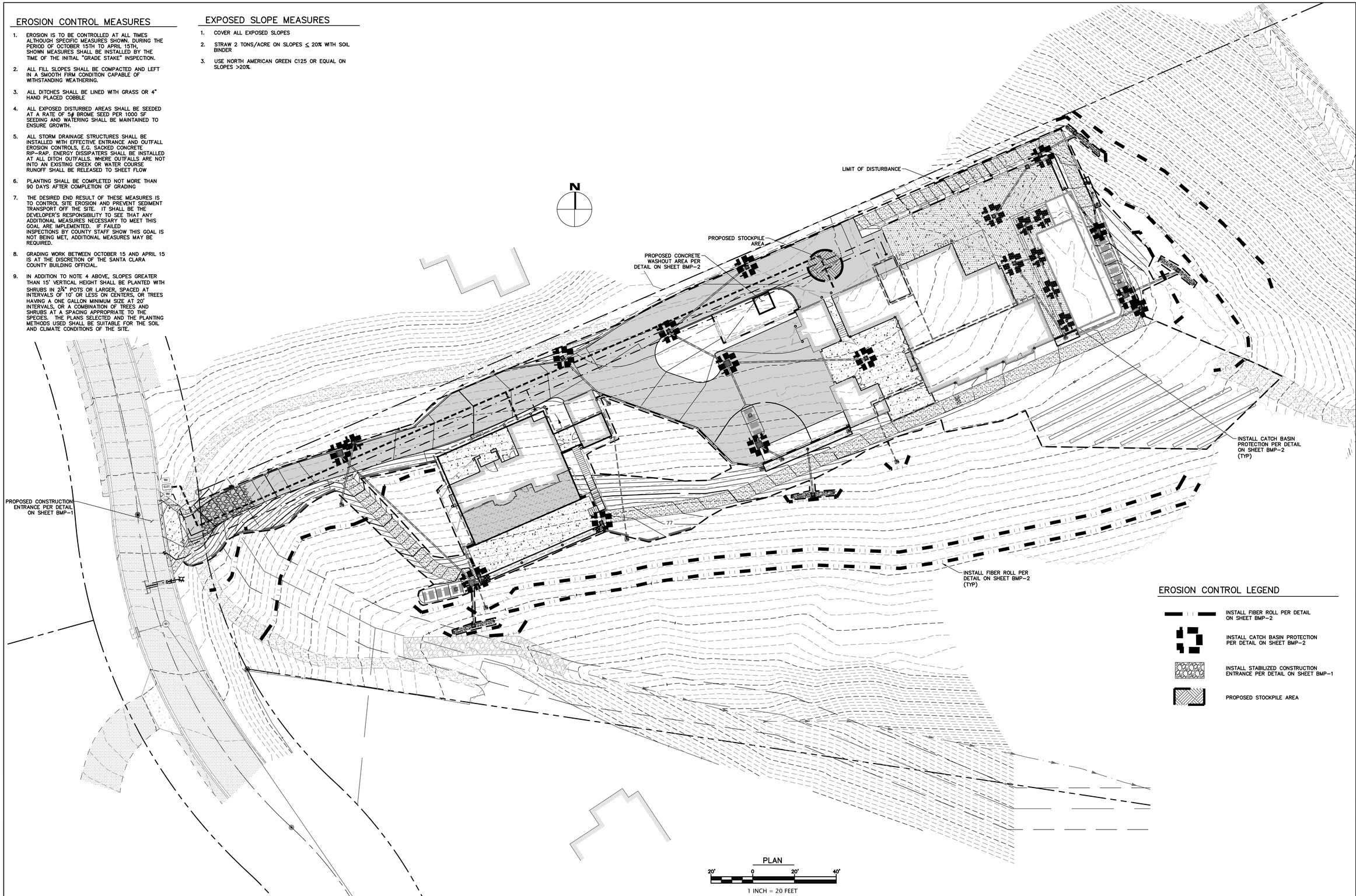
C-7

EROSION CONTROL MEASURES

1. EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN, DURING THE PERIOD OF OCTOBER 15TH TO APRIL 15TH, SHOWN MEASURES SHALL BE INSTALLED BY THE TIME OF THE INITIAL "GRADE STAKE" INSPECTION.
2. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
3. ALL DITCHES SHALL BE LINED WITH GRASS OR 4" HAND PLACED COBBLE
4. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED AT A RATE OF 5# BROME SEED PER 1000 SF SEEDING AND WATERING SHALL BE MAINTAINED TO ENSURE GROWTH.
5. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE AND OUTFALL EROSION CONTROLS, E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATERS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE RUNOFF SHALL BE RELEASED TO SHEET FLOW
6. PLANTING SHALL BE COMPLETED NOT MORE THAN 90 DAYS AFTER COMPLETION OF GRADING
7. THE DESIRED END RESULT OF THESE MEASURES IS TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF THE SITE. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ANY ADDITIONAL MEASURES NECESSARY TO MEET THIS GOAL ARE IMPLEMENTED. IF FAILED INSPECTIONS BY COUNTY STAFF SHOW THIS GOAL IS NOT BEING MET, ADDITIONAL MEASURES MAY BE REQUIRED.
8. GRADING WORK BETWEEN OCTOBER 15 AND APRIL 15 IS AT THE DISCRETION OF THE SANTA CLARA COUNTY BUILDING OFFICIAL.
9. IN ADDITION TO NOTE 4 ABOVE, SLOPES GREATER THAN 15' VERTICAL HEIGHT SHALL BE PLANTED WITH SHRUBS IN 2¼" POTS OR LARGER, SPACED AT INTERVALS OF 10' OR LESS ON CENTERS, OR TREES HAVING A ONE GALLON MINIMUM SIZE AT 20 INTERVALS, OR A COMBINATION OF TREES AND SHRUBS AT A SPACING APPROPRIATE TO THE SPECIES. THE PLANS SELECTED AND THE PLANTING METHODS USED SHALL BE SUITABLE FOR THE SOIL AND CLIMATE CONDITIONS OF THE SITE.

EXPOSED SLOPE MEASURES

1. COVER ALL EXPOSED SLOPES
2. STRAW 2 TONS/ACRE ON SLOPES ≤ 20% WITH SOIL BINDER
3. USE NORTH AMERICAN GREEN C125 OR EQUAL ON SLOPES >20%



APPLICANT: MELISSA WATERS ROAD: PEACOCK CT COUNTY FILE NO.: PLN20-124

PRELIMINARY GRADING AND DRAINAGE APPROVAL SUBMITTAL

1	REVISIONS PER COUNTY COMMENTS 12/4/2020
2	REVISIONS PER COUNTY COMMENTS 4/9/2021
3	REVISIONS PER COUNTY COMMENTS 5/22/2024

REGISTERED PROFESSIONAL ENGINEER
RICHARD J. IRISH
No. 45820
Exp. 12-31-24
STATE OF CALIFORNIA
05/22/24

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SINGLE FAMILY RESIDENCE
FOR
MELISSA WATERS
PEACOCK COURT
SANTA CLARA COUNTY, CA
APN 351-42-004

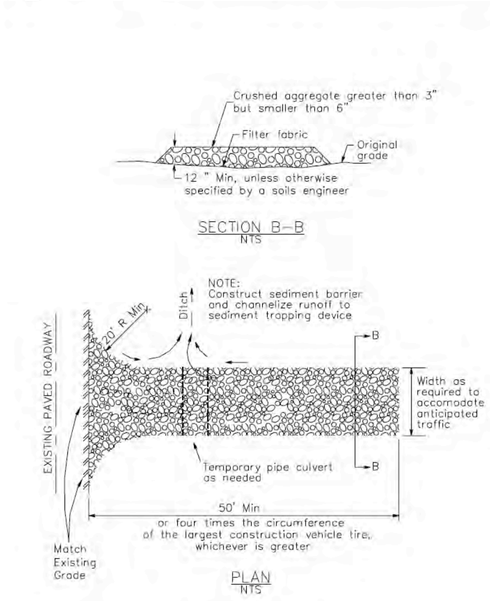
STORMWATER POLLUTION CONTROL PLAN

project no.	18-019-1
date	MAY 2024
scale	AS SHOWN
dwg name	CIIVL7.2024.dwg

C-8

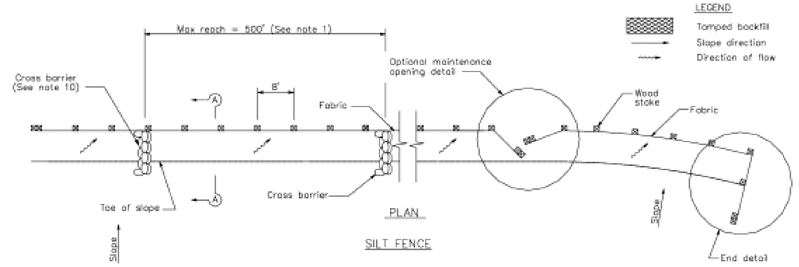
3 Stabilized Construction Entrance/Exit

CASQA Detail TC-1



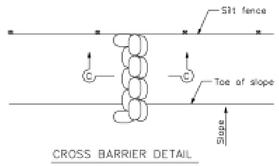
1 Silt Fence

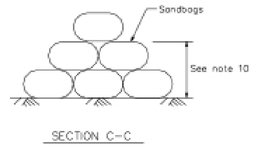
CASQA Detail SE-1



NOTES

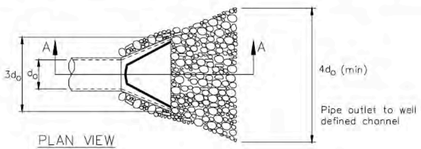
1. Construct the length of each reach so that the change in base elevation along the reach does not exceed 1/3 the height of the linear barrier, in no case shall the reach length exceed 500'.
2. The last 8'–0" of fence shall be turned up slope.
3. Stake dimensions are nominal.
4. Dimension may vary to fit field condition.
5. Stakes shall be spaced at 8'–0" maximum and shall be positioned on downstream side of fence.
6. Stakes to overlap and fence fabric to fold around each stake one full turn. Secure fabric to stake with 4 staples.
7. Stakes shall be driven tightly together to prevent potential flow–through of sediment at joint. The tops of the stakes shall be secured with wire.
8. For end stake, fence fabric shall be folded around two stakes one full turn and secured with 4 staples.
9. Minimum 4 staples per stake. Dimensions shown are typical.
10. Cross barriers shall be a minimum of 1/3 and a maximum of 1/2 the height of the linear barrier.
11. Maintenance openings shall be constructed in a manner to ensure sediment remains behind silt fence.
12. Joining sections shall not be placed at sump locations.
13. Sandbag rows and layers shall be offset to eliminate gaps.

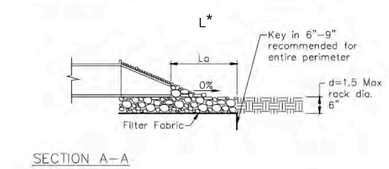




4 Velocity Dissipation Devices

CASQA Detail EC-10

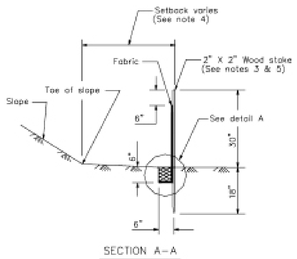


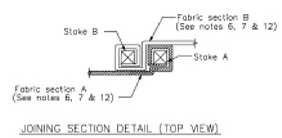


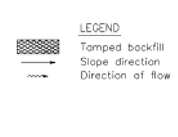
* Length per ABAG Design Standards

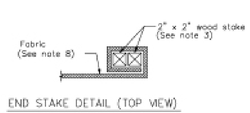
2 Silt Fence

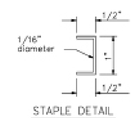
CASQA Detail SE-1

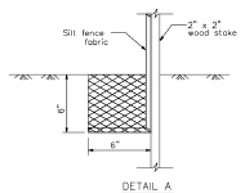


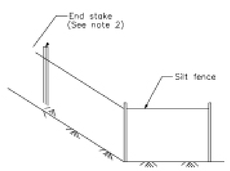


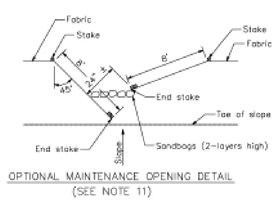












Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.
Available from www.cabmphandbooks.com.

STANDARD BEST MANAGEMENT PRACTICE NOTES

1. Solid and Demolition Waste Management: Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or latest.
2. Hazardous Waste Management: Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
3. Spill Prevention and Control: Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
4. Vehicle and Construction Equipment Service and Storage: An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
5. Material Delivery, Handling and Storage: In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
6. Handling and Disposal of Concrete and Cement: When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
7. Pavement Construction Management: Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
8. Contaminated Soil and Water Management: Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
9. Sanitary/Septic Water Management: Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
10. Inspection & Maintenance: Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

STANDARD EROSION CONTROL NOTES

1. Sediment Control Management:

   Tracking Prevention & Clean Up: Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.

   Storm Drain Inlet and Catch Basin Inlet Protection: All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber roles or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.

   Storm Water Runoff: No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.

   Dust Control: The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.

   Stockpiling: Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures(tarps, straw bales, silt fences, ect.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.
2. Erosion Control: During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
3. Inspection & Maintenance: Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/ or alternative control measures implemented immediately, within 24 hours of the problem being identified.
4. Project Completion: Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
5. It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
6. Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

Project Information

APPLICANT:MELISSA WATERS
ROAD:PEACOCK COURT
COUNTY FILE NO.

SINGLE FAMILY RESIDENCE
FOR
MELISSA WATERS
PEACOCK COURT
APN: 351-42-004
PROJECT #18-019-1

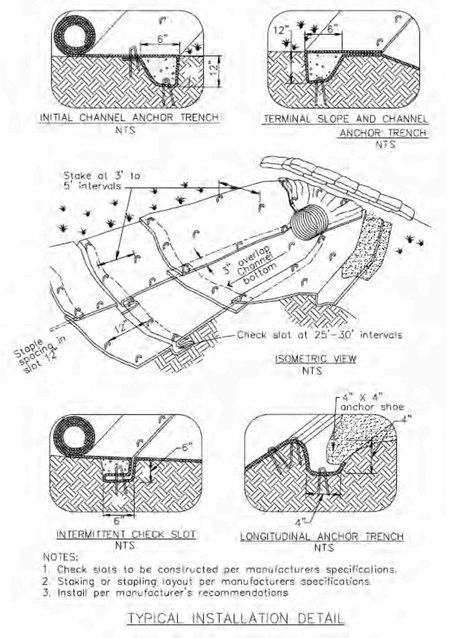
APPLICANT: MELISSA WATERS ROAD: PEACOCK COURT COUNTY FILE NO: XX

Best Management Practices and Erosion Control Details Sheet 1
County of Santa Clara

BMP-1

7 Geotextiles and Mats

CASQA Detail EC-7

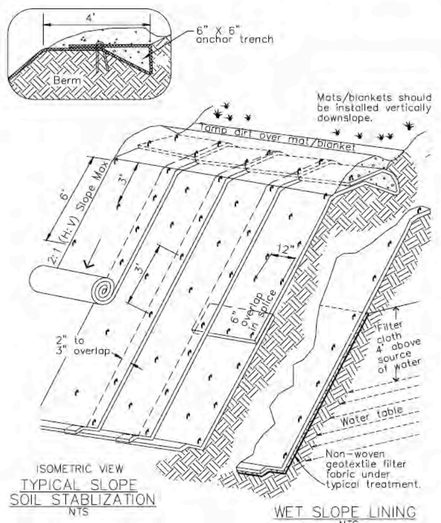


NOTES:
1. Check slots to be constructed per manufacturers specifications.
2. Staking or stapling layout per manufacturers specifications.
3. Install per manufacturer's recommendations

TYPICAL INSTALLATION DETAIL

5 Geotextiles and Mats

CASQA Detail EC-7

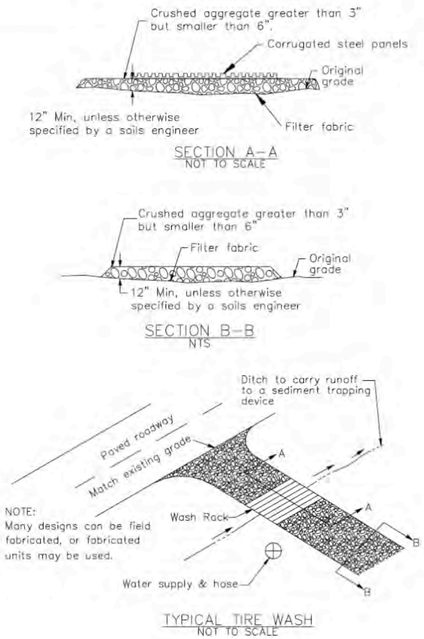


NOTES:
1. Slope surface shall be free of rocks, clods, sticks and grass. Mats/blankets shall have good soil contact
2. Lay blankets loosely and stake or staple to maintain direct contact with the soil. Do not stretch.
3. Install per manufacturer's recommendations

TYPICAL INSTALLATION DETAIL

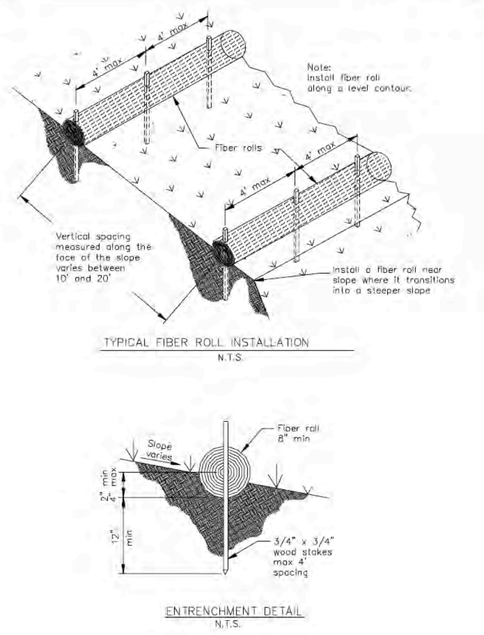
3 Entrance/Outlet Tire Wash

CASQA Detail TC-3



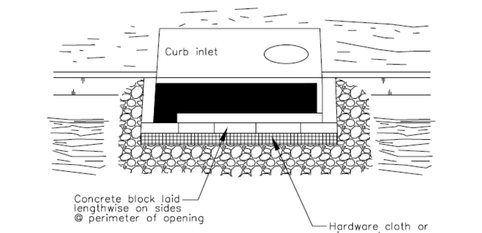
1 Fiber Rolls

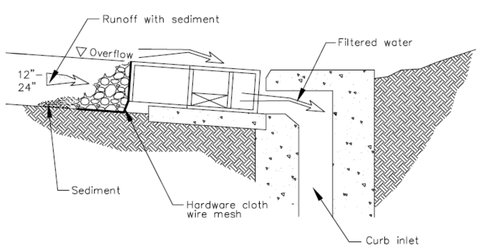
CASQA Detail SE-5



8 Storm Drain Inlet Protection

CASQA Detail SE-10

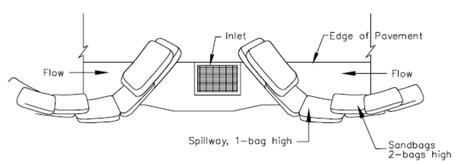




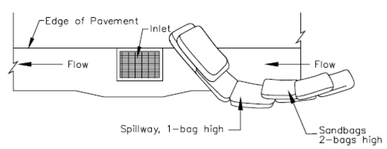
DI PROTECTION – TYPE 4
NOT TO SCALE

6 Storm Drain Inlet Protection

CASQA Detail SE-10



TYPICAL PROTECTION FOR INLET ON SUMP



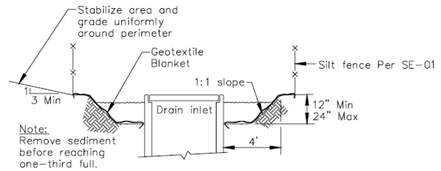
TYPICAL PROTECTION FOR INLET ON GRADE

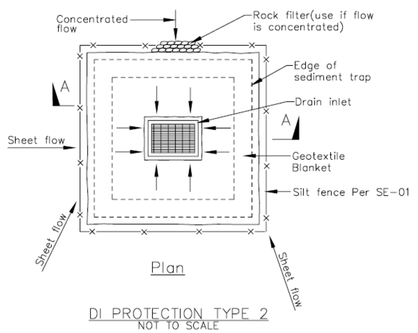
NOTES:
1. Intended for short-term use.
2. Use to inhibit non-storm water flow.
3. Allow for proper maintenance and cleanup.
4. Bags must be removed after adjacent operation is completed
5. Not applicable in areas with high silts and clays without filter fabric.

DI PROTECTION TYPE 3
NOT TO SCALE

4 Storm Drain Inlet Protection

CASQA Detail SE-10



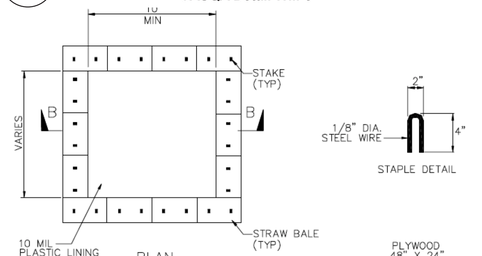


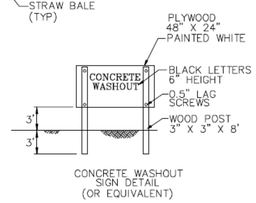
DI PROTECTION TYPE 2
NOT TO SCALE

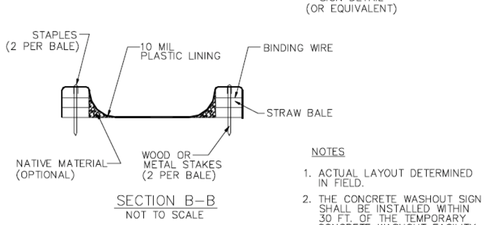
Notes
1. For use in cleared and grubbed and in graded areas.
2. Shape basin so that longest inflow area faces longest length of trap.
3. For concentrated flows, shape basin in 2:1 ratio with length oriented towards direction of flow.

2 Concrete Waste Management

CASQA Detail WM-8







NOTES
1. ACTUAL LAYOUT DETERMINED IN FIELD.
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.
Available from www.cabmphandbooks.com.

Project Information

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ROAD: PEACOCK COURT
COUNTY FILE NO.

SINGLE FAMILY RESIDENCE
FOR
MELISSA WATERS
PEACOCK COURT
APN: 351-42-004
PROJECT #18-019-1

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Handwritten ink is prohibited.

MelissaBritton 2/8/2018 3:16 PM Peacock Court Survey.dwg

589-M-46
LOT 6

589-M-46
LOT 5

589-M-46
LOT 4

589-M-46
LOT 10

589-M-46
LOT 3

SHEET 2.

SHEET 3.

SHEET 4.

SHEET 5.

HOUSE.

HOUSE.

PEACOCK COURT

S66°30'19"W
86.47'

S0°57'28"W
544.68'

N81°25'18"W
769.25'

L = 80.43'
R = 200.00'

NORTH

Basis of Elevation

An assumed elevation of 100.00 feet was used on a set mag nail, standing at the eastern side of Peacock Court as shown on sheet 2.

The contour interval is 1 foot.

Basis of Bearings

The basis of bearing for this map is between found monuments on the centerline of Peacock Court per record map 589-M-46, Santa Clara County Records.

GRAPHIC SCALE

30' 0' 30' 60'

1 INCH = 30 FEET

PROFESSIONAL LAND SURVEYOR
PAUL J. HANAGAN
NO. 7797
EXP. 12-31-17
STATE OF CALIFORNIA

REVISION

APPROVED
Paul Hanagan LS 7797

HANAGAN LAND SURVEYING, INC.
305-C SOQUEL AVE., SANTA CRUZ, CA 95062
PHONE 831-469-3428

Boundary & Topographic Map, The Lands Of:

Melissa Waters

Peacock Court, Cupertino, CA, 95051

Santa Clara County
A.P.N. 351-42-004

DATE 09-12-2017
DESIGN

SCALE 1" = 30'
DRAWN J. Kaneg

SHEET 1
OF 5 SHEETS

JOB NO. 17065

MarkseeBritton 2/8/2018 3:16 PM Peacock Court Survey.dwg

PEACOCK COURT

115'
110'
105'
100'
95'
90'
85'
80'
75'
70'

50'

NORTH

DRIVEWAY.

S66°30'19"W
866.77'

WM
ELEC
WM

ASPHALT SIDEWALK.

DRIVEWAY CUT IN CURB.

R = 975.00'
L = 8.58'

TRAVELED WAY (TYPICAL)

FOUND 3/4" IRON PIPE TAGGED RCE 15197, IN MONUMENT BOX.

ASSUMED BENCHMARK, SET NAIL, ELEVATION = 100.0'.

R = 200.00'
L = 80.43'

BRUSH LINE.

STORM DRAIN CATCH BASIN.

SD

STORM DRAIN MANHOLE. RIM EL. = 96.42'.

ROCK LINED SWALE.

TOP OF SLOPE.

PLASTER PILLAR.

FOUND ¾" IRON PIPE TAGGED RCE 15197.

GATE.

CHAIN LINK FENCE.

CHAIN LINK FENCE.

IRON FENCE.

N81°25'18"W
769.25'

PROPERTY LINE. (TYPICAL)

CHAIN LINK FENCE.

DRIVEWAY.

GRAPHIC SCALE

10' 0' 10' 20'

1 INCH = 10 FEET

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Boundary & Topographic Map, The Lands Of:

Melissa Waters

Peacock Court, Cupertino, CA, 95051

Santa Clara County
A.P.N. 351-42-004

DATE 09-12-2017 | DESIGN
SCALE 1" = 10' | DRAWN J. Kaneg

SHEET 2 OF 5 SHEETS

JOB NO. 17065

Melissa@mlton 2/8/2018 3:16 PM Peacock Court Survey.dwg

S66°30'19"W
864.77'

TOP OF SLOPE.

30'

NORTH

100'

90'

85'

80'

95'

PERK PIPE
(TYPICAL)

90'

85'

80'

75'

70'

TOP OF SLOPE.

80'

75'

BRUSH LINE.

TRAVELED WAY.
(TYPICAL)

GRAPHIC SCALE

10' 0' 10' 20'

1 INCH = 10 FEET

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STATE OF CALIFORNIA

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95062
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Boundary & Topographic Map, The Lands Of:

Melissa Waters

Peacock Court, Cupertino, CA, 95051

Santa Clara County
A.P.N. 351-42-004

DATE 09-12-2017
SCALE 1" = 10'
DESIGN
DRAWN J. Kaneg

SHEET
3
OF 5 SHEETS

17065
JOB NO.

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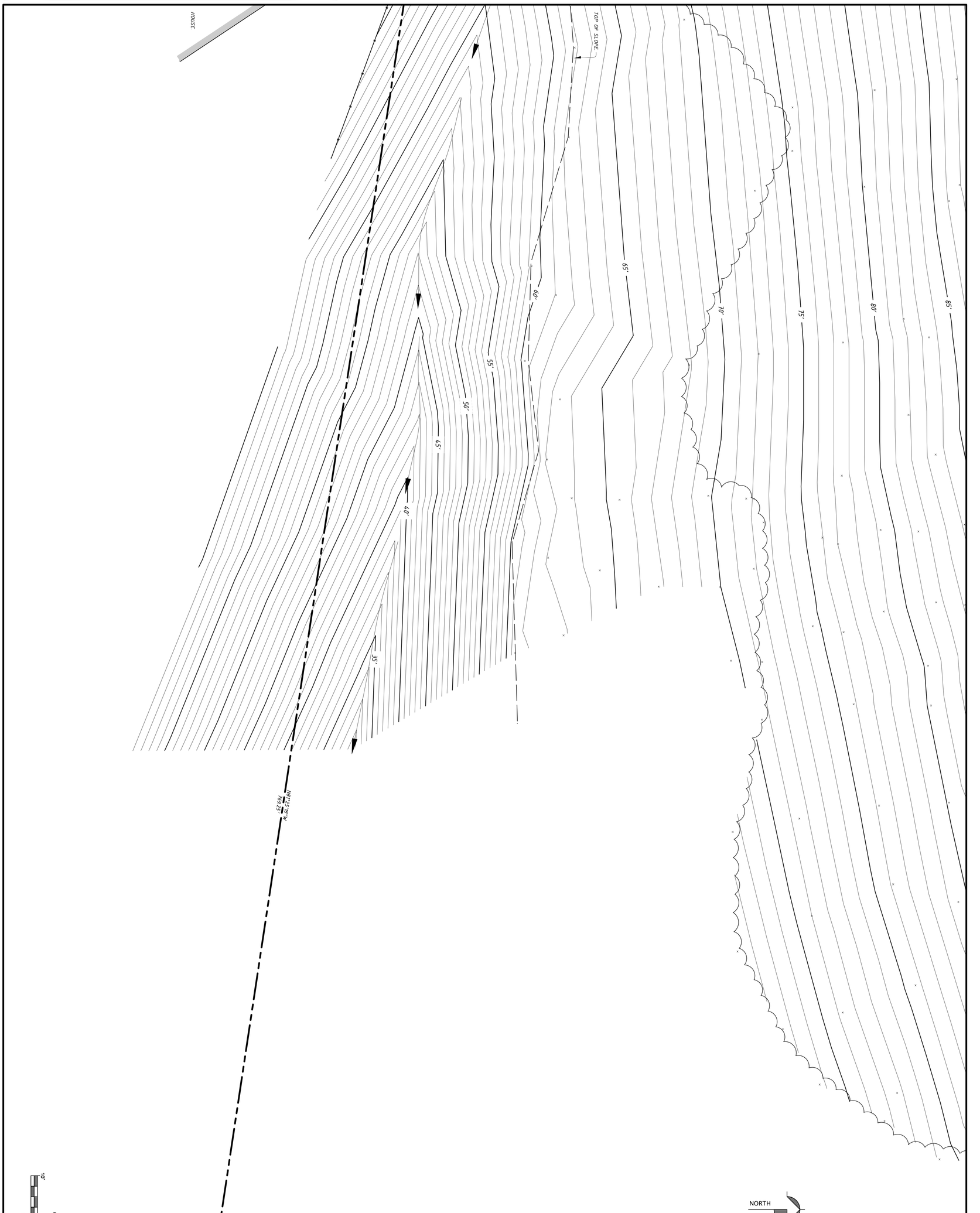

JOB NO. 17065

SHEET 4 OF 5 SHEETS

Santa Clara County
A.P.N. 351-42-004

DATE 09-12-2017 | DESIGN

SCALE 1" = 10' | DRAWN J. Kaneg

Boundary & Topographic Map, The Lands Of:

Melissa Waters

Peacock Court, Cupertino, CA, 95051

HANAGAN LAND SURVEYING, INC.
305-C SOQUEL AVE., SANTA CRUZ, CA 95062
PHONE 831-469-3428

REVISION

APPROVED

Paul Hanagan LS 7797

PROFESSIONAL LAND SURVEYOR
STATE OF CALIFORNIA
PAUL J. HANAGAN
NO. 7797
EXP. 12-31-17

S66°30'19"W
864.77'

TOP OF SLOPE.

20'
25'
30'
35'
40'
45'
50'
55'
60'
65'
70'
75'
80'
85'
90'

TOE OF SLOPE.

TOP OF SLOPE.

TOP OF SLOPE.

BRUSH LINE.

TRAVELED WAY.
(TYPICAL)

NORTH

GRAPHIC SCALE

10' 0' 10' 20'

1 INCH = 10 FEET

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REVISION

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HANAGAN LAND SURVEYING, INC.
305-C SOQUEL AVE., SANTA CRUZ, CA 95062
PHONE 831-469-3428

Boundary & Topographic Map, The Lands Of:

Melissa Waters

Peacock Court, Cupertino, CA, 95051

Santa Clara County
A.P.N. 351-42-004

DATE 09-12-2017
SCALE 1" = 10'
DESIGN
DRAWN J. Kaneg

SHEET
5
OF 5 SHEETS

17065
JOB NO.

NOTES:

WASTEWATER DESIGN FLOW IS 900 GPD.
BASED ON PROPOSED 5 BEDROOM MAIN HOUSE (600 GPD)
AND 2 BEDROOM ADU (300 GPD).

1. 4" ABS GRAVITY SEWER LINE WITH MINIMUM 2% GRADIENT AND 2-WAY CLEANOUTS. 2" PRESSURIZED TRANSPORT PIPE SHALL BE PLUMBED TO TEE INTO THE TOP OF THE 4" GRAVITY SEWER PIPE.

2. 500 GAL ROTH SEWAGE EJECTOR LIFT STATION TANK* WITH AN OSI 0.5 HP PFSW5011 SOLIDS-HANDLING SEWAGE PUMP (20 GPM) SHALL BE INSTALLED IN THE LOCATION SHOWN ON PLAN (SEE DETAIL). SEWAGE PUMP AND CONNECTED 2" DIAM PRESSURE TRANSPORT PIPING SHALL BE CAPABLE OF PASSING A 1-1/4 INCH (38 MM) DIAMETER SOLID BALL AND SHALL HAVE A BACKWATER VALVE AND GATE VALVE.
*NOTE: THIS SEWAGE EJECTOR LIFT STATION SHALL CONFORM TO CURRENT CALIFORNIA PLUMBING CODE AND PERMIT MUST BE OBTAINED BY SCC BUILDING DEPARTMENT FOR INSTALLATION.

3. OSI MVP CONTROL PANEL FOR SEWAGE EJECTOR LIFT STATION, TWO 20 AMP, 120 VOLT ELECTRICAL CIRCUITS REQUIRED.

4. 2" DIAMETER SCH 40 PVC PRESSURE FORCE MAIN SEWAGE TRANSPORT LINE (162 LF). DETECTABLE FOIL WARNING TAPE LABELED "SEWER" SHALL BE INSTALLED ABOVE PIPE IN TRENCH.

5. 2,500 GALLON CONCRETE, PINNACLE STYLE CHAPIN SEPTIC TANK WITH OSI EFFLUENT FILTER MODEL FTS0444-36V

6. BULL RUN VALVE

7. 18" FLOW SPLITTER BASIN 2X (SEE DETAIL). BOTH OF THE ORENCO FLOW SPLITTER BASIN (FSB) PROPOSED SHALL HAVE THREE PVC STANDPIPES THAT WILL DISTRIBUTE FILTERED EFFLUENT TO THE THREE DRAINFIELD DISPERSAL TRENCHES IN EACH ZONE (PRIMARY AND SECONDARY FIELD).

   BECAUSE THE TRENCHES IN EACH ZONE ARE NOT OF EQUAL LENGTH, THE FLOW CONTROL ORIFICES SHALL BE CUSTOM DRILLED IN THE STANDPIPES ACCORDING TO THE FOLLOWING SPECIFICATIONS:
   EACH OF THE VERTICAL COLUMNS OF FLOW CONTROL ORIFICES SHALL CONSIST OF SIX HOLES DRILLED 2" APART ON CENTER. THE LOWEST/BOTTOM ORIFICE SHALL BE 1/8", THE NEXT 1/4" AND THEN 1/2". THE TOP THREE ORIFICES SHALL ALL BE 3/4". THE SHORTEST TRENCH IN EACH ZONE (TRENCH #1 & #6) SHALL HAVE ONLY ONE COLUMN OF FLOW CONTROL ORIFICES. THE STANDPIPE CONNECTED TO TRENCH #2 AND #3 SHALL EACH HAVE 4 COLUMNS OF ORIFICES. THE STANDPIPE CONNECTED TO TRENCH #4 AND #5 SHALL EACH HAVE 2 COLUMNS OF ORIFICES EXCEPT THE STANDPIPE FOR TRENCH #4 SHALL HAVE AN ADDITIONAL COLUMN CONSISTING OF ONLY THE 3 LOWEST (SMALLER) FLOW CONTROL ORIFICES.

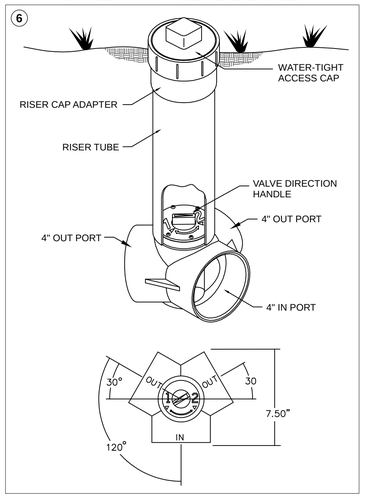
   EACH STANDPIPE RISER AND ASSOCIATED ELBOW CONNECTOR SHALL BE CLEARLY LABELLED WITH CORRELATING TRENCH #. THIS SPECIFIED FLOW CONTROL ORIFICE SIZING WILL DISTRIBUTE THE APPROPRIATE PERCENTAGE OF THE FLOW TO THE TRENCHES OF VARIABLE LENGTHS.

8. PRIMARY AND SECONDARY LEACHFIELDS SHALL EACH CONSIST OF A TOTAL OF 209 FEET OF ROCK-FILLED TRENCH. EACH TRENCH SHALL BE 1.5 FT-WIDE AND 5 FT-DEEP WITH AN EFFECTIVE DEPTH OF 3.25 FT. TRENCHES SHALL BE SPACED 6 FT APART ON CENTER.

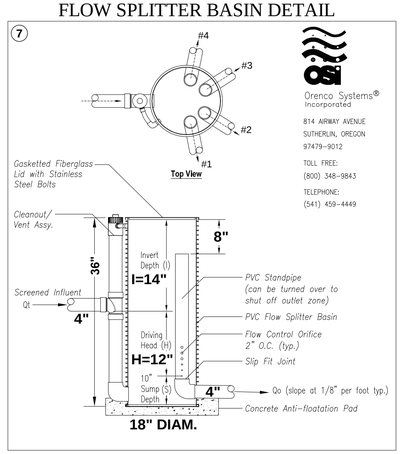
9. REDUNDANT OVERFLOW/RELIEF (POP-OVER) LINE 4X

NOTE: CONTRACTOR SHALL NOT USE PURPLE PIPE. USE OF PURPLE PIPE IS PROHIBITED PER COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH REGULATIONS. UNDERGROUND WARNING TAPE MAY BE INSTALLED BY CONTRACTOR (RECOMMENDED).

BULL RUN VALVE DETAIL

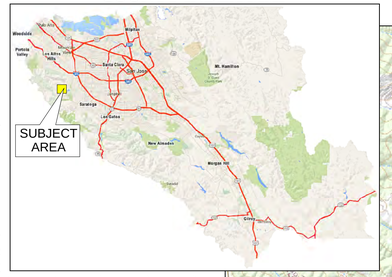


FLOW SPLITTER BASIN DETAIL

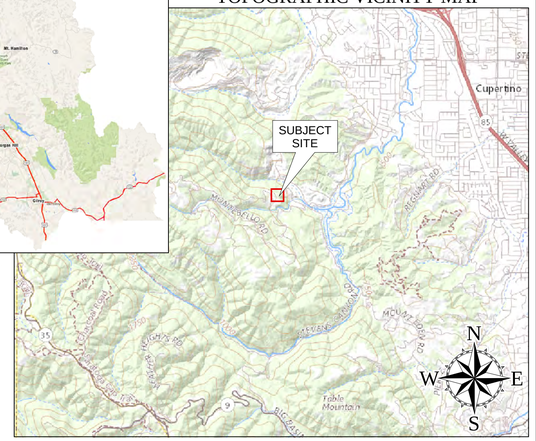


DIVERSION:
RESTING OF INDIVIDUAL LEACHING TRENCHES IS POSSIBLE BY SIMPLY PULLING OUT THE CORRESPONDING STANDPIPE AND FLIPPING IT UPSIDE DOWN AND REINSERTING THE STANDPIPE INTO THE SLIP FIT JOINT (EFFECTIVELY SHUTTING OFF THE OUTLET). IN THE EVENT THAT THE CURRENTLY ACTIVE LEACHING TRENCHES STOP FUNCTIONING, THE INCREASED HEAD (BACK-UP) IN THE BASIN WOULD AUTOMATICALLY SPILL OVER INTO THE TOP OF THE STANDPIPES FEEDING THE RESTING TRENCHES.

COUNTY INDEX MAP

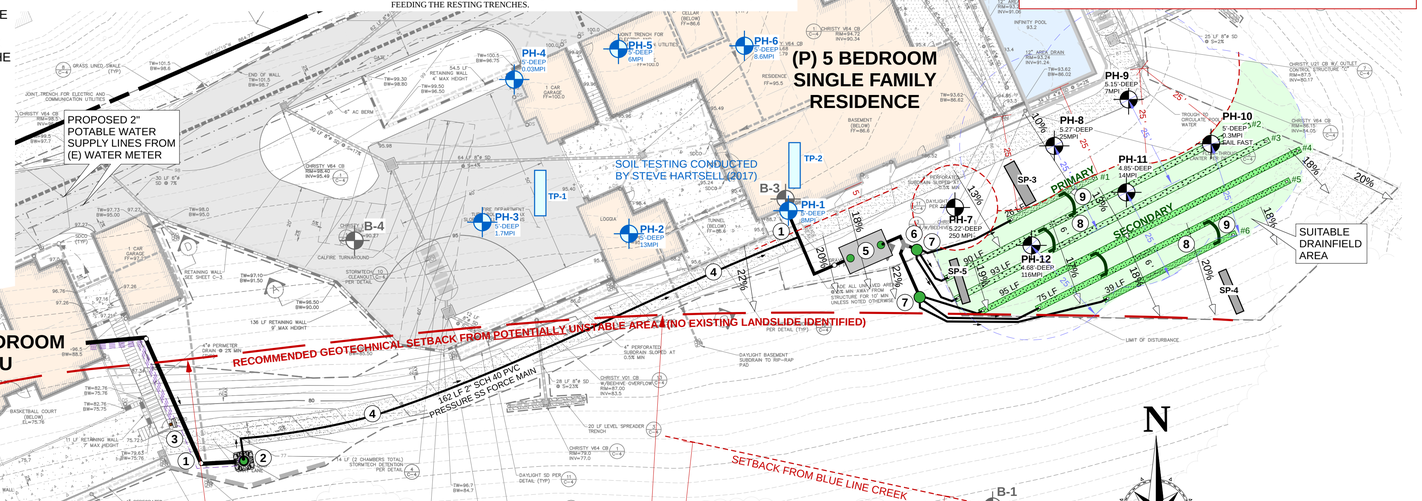


TOPOGRAPHIC VICINITY MAP



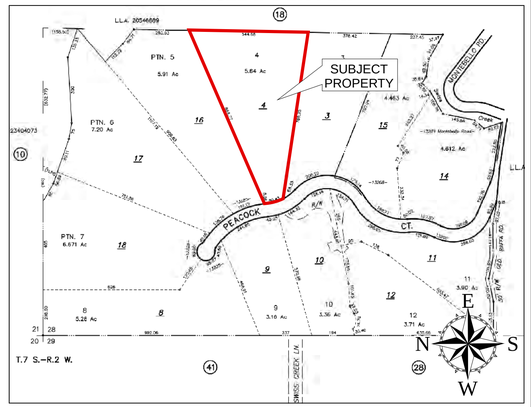
IMPORTANT! SPECIFIED WASTEWATER DRAINFIELD DISPERSAL AREAS SHALL BE FENCED OFF PRIOR TO ANY SITE DEVELOPMENT IN ORDER TO PROHIBIT ANY GRADING EQUIPMENT OR STAGING OF MATERIALS IN THESE AREAS. IT IS IMPORTANT THAT THE NATURAL SOIL CONDITIONS IN THESE AREAS BE PRESERVED FOR PROPER FUNCTION OF THE SOIL DISCHARGE SYSTEM. DO NOT ALLOW SOILS IN THESE AREAS TO BE COMPACTED. DO NOT ROUTE UTILITY TRENCHES THROUGH THE PROPOSED DRAINFIELDS. ALL STORMWATER LINES, INLETS/OUTLETS AND DRAINAGEWAYS SHALL MAINTAIN THE REQUIRED DEH SETBACKS TO THE PROPOSED DRAINFIELDS.

ALL BUILDING PLANS PREPARED FOR THE PROJECT SHOULD INCLUDE THIS NOTE.

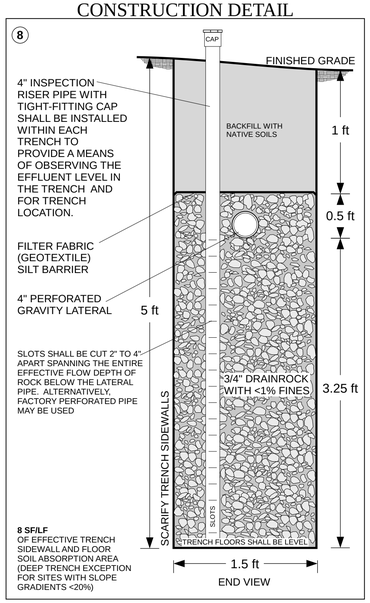


NOTE: THIS MAP WAS PREPARED SOLELY FOR THE PURPOSES OF THE SEPTIC SYSTEM DESIGN AND SHOULD NOT BE CONSTRUED AS SUFFICIENT FOR OTHER PURPOSES. LOCATIONS ARE APPROXIMATE. BIOSPHERE CONSULTING, INC SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGE CAUSED TO UTILITIES DURING CONSTRUCTION. BASE MAP PREPARED AND PROVIDED ELECTRONICALLY BY: MATSON BRITTON ARCHITECTS

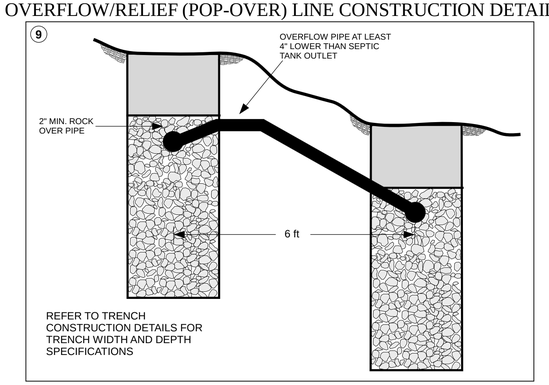
PARCEL INDEX MAP



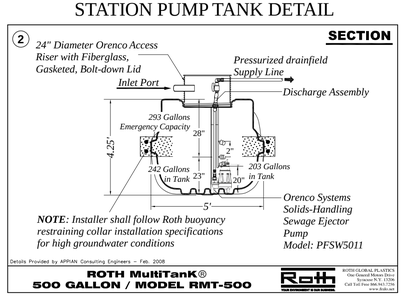
DISPERSAL TRENCH CONSTRUCTION DETAIL



OVERFLOW/RELIEF (POP-OVER) LINE CONSTRUCTION DETAIL



500 GALLON SEWAGE EJECTOR LIFT STATION PUMP TANK DETAIL



NOTE: THIS SEWAGE EJECTOR LIFT STATION SHALL CONFORM TO CURRENT CALIFORNIA PLUMBING CODE AND PERMIT MUST BE OBTAINED BY SCC BUILDING DEPARTMENT FOR INSTALLATION (NOT PART OF DEH PERMIT)

COUNTY E.H. ACCEPTANCE/APPROVAL STAMPS

BioSphere Consulting Incorporated
• Site Evaluation & Mapping
• Soil Analysis & Percolation Testing
• New Development, Upgrade & Repairs
• Residential & Commercial
Alternative Wastewater System Design
1315 King Street
Santa Cruz, CA 95060
Tel: (831) 430-9116
www.biosphere-consulting.com

CONVENTIONAL ONSITE WASTEWATER TREATMENT SYSTEM DESIGN

Project Location:	Peacock Ct, Cupertino, California [Santa Clara County]		
Property Owner:	Melissa Waters		
Mailing Address:	1063 Cherry Ave, San Jose, California 95125		
Owner Phone #:	(408) 813-9691 email: mfwaters3@gmail.com		
Date: 06/04/21	**By:** David Quinn / Andrew Brownstone		Sheet:
REVISION: 06/03/24		**Job No.:** 19016	**APN: 351-42-004**	**1** OF 2

PROFESSIONAL GEOLOGIST — ANDREW BROWNSTONE No. 7453 Exp. 12/31/25 — STATE OF CALIFORNIA

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PROJECT DESCRIPTION

A conventional gravity-flow Onsite Wastewater Treatment System (OWTS) utilizing rock-filled trenches is proposed to serve a proposed five bedroom single family dwelling and a two bedroom accessory dwelling unit (ADU) to be located on Peacock Ct, Cupertino, in Santa Clara County, California.

CONSTRAINTS & DESIGN CRITERIA

- The proposed system is designed to serve a 5 bedroom single family dwelling (600 gpd) and a 2 bedroom ADU (300 gpd) with a total combined design wastewater flow of 900 gallons per day (gpd) per County DEH guidelines.
- Three soil profile logs were excavated to a depth of 12 to 16 feet. No evidence of groundwater was observed.
- The soils in the proposed drainfield area consist of gravelly sandy loam to sandy clay loam with moderate to strong structure and few small pores.
- The slope gradients in the proposed drainfield area range from 10% to 20%.
- No wells, springs or watercourses are situated within 100' of the proposed Onsite Wastewater Treatment System.

(P) 5 BEDROOM HOUSE = 600 GPD
(P) 2 BEDROOM ADU = 300 GPD
TOTAL DESIGN FLOW = 900 GPD
AVG ADJ STABILIZED PERC RATE = 33 MPI (BASED ON PH-8, -9, -10, -11, -12)
33 MPI = 0.54 GPD/SF APPLICATION RATE

900 GPD / 0.54 GPD/SF = 1,667 SF OF EFFECTIVE TRENCH ABSORPTION AREA
DEEP TRENCH EXCEPTION (<20% SLOPES) PERMITS 8 SF/LF OF TRENCH
1667 SF / 8 SF/LF = 208.3 LF OF TRENCH REQUIRED
209 LF (ROUNDED) × 2 (SECONDARY) = 418 LF OF TRENCH

PROPOSED TRENCHES SHALL BE 1.5 FT-WIDE WITH 3.25-EFFECTIVE DEPTH
TOTAL TRENCH DEPTH SHALL BE 5.0'.
TRENCH SPACING SHALL BE 6 FT CENTER-TO-CENTER

SPECIFICATIONS

1. Building Sewer Lines, & Proposed Processing Tank
   - 1.1. A 4" ABS building sewer line shall be installed to convey all raw sewage from dwelling to the processing tank. All gravity sewer piping must maintain a minimum 2% continuous gradient. ***All wastewater including graywater shall be discharged to the processing tank.***
   - 1.2. Locate a 2-way, 4" ABS cleanout fitting on the building sewer to facilitate snaking and line location.
   - 1.3. The septic tank shall be a 2,500 gallon, watertight, concrete, pinnacle style septic tank manufactured by Chapin. The tank shall have 24" diameter OSI access risers with fiberglass, bolt-down lids (brown). The tank shall be installed according to the manufacturers guidelines including anti-flotation specifications.
   - 1.4. The tank hole shall be excavated so that the tank sits level. Install the access risers with a watertight joint using the adhesives supplied by manufacturer. Access riser lids shall be brown unless otherwise requested.
   - 1.5. Install the tank inlet fitting with a watertight joint. Cap off or use a test plug on this fitting and fill the tank with clean water 2" above the joint between the riser and the tank top. Repair any leaks.
   - 1.6. Obtain a watertight tank inspection by EH and the designer or distributor with 24 hours notice to each.
   - 1.7. Install an OSI Effluent Filter (Model: FTS0444-36V) at tank outlet.
2. Effluent Distribution and Dispersal Trenches
   - 2.1. A Bull Run Valve and two 18" Flow Splitter Basins shall be installed to divert effluent flow between the proposed trenches as shown on the plan.
   - 2.2. 4" ABS or SCH 40 PVC tightline shall be used to make gravity flow connections between the septic tank and the drainfield trenches. All gravity lines shall maintain a continuous 2% min. gradient.
   - 2.3. A primary and secondary leachfield shall each consist of 209 feet of rock-filled trench. Each trench shall be 1.5 ft-wide with an effective depth of 3.25 feet.
   - 2.4. Trenches shall be spaced 6' on center and shall be installed with a total depth of 5 feet. The floor of each trench shall be level and sidewalls scarified.
   - 2.5. A 4" ABS inspection riser with tight cap shall be installed at both ends of each trench and shall extend a minimum of 12" above grade or remain accessible by means of a 10" round valve box to grade.
   - 2.6. As an additional (back-up) method of distribution, overflow (pop-over) pipes shall be installed in order to supply effluent to all the trenches. Please refer to overflow construction detail.
   - 2.7. Installer shall assure that surface drainage is directed away from the proposed septic tank and dispersal trenches.
3. Piping Schedule
   - 3.1. All piping shall conform and be installed according to the requirements in the current California Plumbing Code.
   - 3.2. The house sewer pipe to the septic tank shall be constructed of 4" ABS and shall include a 2-way clean out fitting near dwelling as shown on the plan.
4. Installer Qualifications and Responsibilities
   - 4.1. The system installer shall be licensed by the State of California, Department of Consumer Affairs, to install septic systems.
   - 4.2. The installer shall be responsible for locating any property lines, underground utilities or piping. Any damage to these facilities shall be the responsibility of the installer.
   - 4.3. For tree setback requirements, refer to the Santa Clara County Ordinance C-16 Tree Preservation and Revision. (N/A)
   - 4.4. The appropriate Environmental Health Office or Specialist must be notified by the installation contractor at least 48-hours prior to starting construction and for each required inspection: Main Office (1555 Berger Drive, Suite 300, San Jose) 408-918-3400 or South County Office (80 Highland Ave, San Martin) 408-918-3400
5. Site Clean up and Erosion Control Measures
   - 5.1. All excavated areas shall be smoothed and all construction debris shall be removed from the site.
   - 5.2. All disturbed soils shall be seeded and mulched. Erosion Control Mix seed shall be used at the coverage recommended on the package for all disturbed soil.
   - 5.3. Straw shall be used to cover all disturbed soil.
   - 5.4. PER DIVISION C12, CHAPTER III OF THE COUNTY CODE (Sec. C12-513. Temporary erosion control.)
     "The permittee and any person(s) doing, causing or directing the grading shall install and maintain all precautionary measures necessary to protect adjacent watercourses and public or private property from damage by erosion, flooding, or deposition of mud or debris originating from the site. Precautionary measures must include provisions of properly designed erosion prevention and sediment control measures, so that downstream properties are not affected by upstream erosion or sediment transport by stormwater."

SYSTEM OPERATION AND MAINTENANCE

- The septic tank should be pumped when the total thickness of the scum and sludge layers in the inlet side of the tank is greater than 1/3 of total liquid level depth, typically about 2 feet.
- The effluent filter in the septic tank should be removed yearly and cleaned by hosing off into the inlet side of the septic tank. Less frequent cleanings may be acceptable.
- Grease and oils should not be put into the home drains.
- The septic tank is alive with microorganisms performing oxidation and reduction of the contents. Do not add any materials (paint thinner, paint, motor oil, unused medicine, cat litter, etc.) that may disrupt this process.
- DO NOT ROUTE WATER SOFTENER BACKFLUSH DISCHARGE TO TREATMENT SYSTEM! This discharge may be routed directly to an approved dispersal field.
- Repair all plumbing leaks (especially toilet leaks) promptly.
- Keep the area over the leach fields trimmed to prevent the growth of trees and shrubs. Do not construct anything or drive/park over the septic tanks or dispersal trenches.

SOIL PERCOLATION SUMMARY TABLE -- 06/28/19

Percolation Hole (PH)		7	8	9	10	11	12	
Depth		5.22'	5.27'	5.15'	5.00'	4.85'	4.68'	
Stabilized MPI	R	FAIL	17.90	5.10	0.22	9.86	82.50	
Adjusted Stabilized MPI	R_1=R x 1.4	SLOW	25.06	7.14	*0.31	13.80	115.50	
Avg. Adj. Stabilized MPI	R_2=(ΣR_1)/ #Holes					Avg of PH-8 through PH-12:		32.36
# Bedrooms:	FOR OFFICE USE ONLY	TANK SIZE (Gal)			Leach Line (Ft)			

* Note: The result from PH-10 (0.31 MPI) was originally excluded from the overall average (originally 40.38, rounded up to 41 MPI).

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SOIL PROFILE FIELD LOG

(modified by Andrew Brownstone after Birkeland, 1999; Table A1.3)

Test hole I.D.: SP-3

Job Number/Name: Job 19016 - Waters Location: Peacock Court, Cupertino APN: 351-42-004
Date Soil Sampled: 06/25/19 Time: PM Vegetation: grass
Elevation: ____ Slope Gradient: 12% Aspect: south Geomorphic Surface: Ridge top
Parent Material(s): MET S.S. Described by: Andrew Brownstone

GRAPHIC LOG

Sample Depth	Moisture	Structure	Pores	Mottles	Clay Films	Gravel	Roots	Consistence	Texture	Color	Horizon	Contacts
1'	dry / m / wet	grade: 1 / 2 / 3; size: vf, f, m, c, vc; type: gr, pl, pr, cpr, abk, sbk	quantity: f, c; size: f, m	quantity: f; size: 1, 2, 3; contrast: d, p	v1, f	f	f, c, m	dry: lo, so, sh, h, vh, eh; moist: lo, vfr, fr, fi, vfi, efi; wet: so, ss, s, vs; sticky: po, ps, s, vs; plastic: po, ps, p, vp	S, LS, SiL, Si, SCL, SiC, L, C, CL, SC	Munsell (moist)	Med Reddish Brown	O, A, E, AB or EB, E/B, AC, B, BA or BE, B/E, BC or CB, C	a, c, g, d	s, w, i, b
4'	dry / m / wet	grade: 1 / 2 / 3; size: vf, f, m, c, vc; type: gr, pl, pr, cpr, abk, sbk	quantity: f, c; size: f, m	quantity: f; size: 1, 2, 3; contrast: d, p	v1, f	f	c, m	dry: lo, so, sh, h, vh, eh; moist: lo, vfr, fr, fi, vfi, efi; wet: so, ss, s, vs; sticky: po, ps, s, vs; plastic: po, ps, p, vp	S, LS, SiL, Si, SCL, SiC, L, C, CL, SC	Munsell (moist)	Dark Reddish Brown	O, A, E, AB or EB, E/B, AC, B, BA or BE, B/E, BC or CB, C	a, c, g, d	s, w, i, b
5.5'	dry / m / wet	grade: 1 / 2 / 3; size: vf, f, m, c, vc; type: gr, pl, pr, cpr, abk, sbk	quantity: f, c; size: f, m	quantity: f; size: 1, 2, 3; contrast: d, p	v1, f	f	c, m	dry: lo, so, sh, h, vh, eh; moist: lo, vfr, fr, fi, vfi, efi; wet: so, ss, s, vs; sticky: po, ps, s, vs; plastic: po, ps, p, vp	S, LS, SiL, Si, SCL, SiC, L, C, CL, SC	Munsell (moist)	Light Gray & Mixed Reddish Brown	O, A, E, AB or EB, E/B, AC, B, BA or BE, B/E, BC or CB, C	a, c, g, d	s, w, i, b
15'	dry / m / wet	grade: 1 / 2 / 3; size: vf, f, m, c, vc; type: gr, pl, pr, cpr, abk, sbk	quantity: f, c; size: f, m	quantity: f; size: 1, 2, 3; contrast: d, p	v1, f	f	c, m	dry: lo, so, sh, h, vh, eh; moist: lo, vfr, fr, fi, vfi, efi; wet: so, ss, s, vs; sticky: po, ps, s, vp; plastic: po, ps, p, vp	S, LS, SiL, Si, SCL, SiC, L, C, CL, SC	Munsell (moist)	Dark Reddish Gray Brown	O, A, E, AB or EB, E/B, AC, B, BA or BE, B/E, BC or CB, C	a, c, g, d	s, w, i, b

BOTP AT 16' (NO GW)

SOIL PROFILE FIELD LOG

(modified by Andrew Brownstone after Birkeland, 1999; Table A1.3)

Test hole I.D.: SP-4

Job Number/Name: Job 19016 - Waters Location: Peacock Court, Cupertino APN: 351-42-004
Date Soil Sampled: 06/25/19 Time: PM Vegetation: grass
Elevation: ____ Slope Gradient: ~20% Aspect: south Geomorphic Surface: Ridge top
Parent Material(s): MET S.S. Described by: Andrew Brownstone

GRAPHIC LOG

Sample Depth	Moisture	Structure	Pores	Mottles	Clay Films	Gravel	Roots	Consistence	Texture	Color	Horizon	Contacts
1'	dry / m / wet	grade: 1 / 2 / 3; size: vf, f, m, c, vc; type: gr, pl, pr, cpr, abk, sbk	quantity: f, c; size: f, m	quantity: f; size: 1, 2, 3; contrast: d, p	v1, f	f	f, c, m	dry: lo, so, sh, h, vh, eh; moist: lo, vfr, fr, fi, vfi, efi; wet: so, ss, s, vs; sticky: po, ps, s, vs; plastic: po, ps, p, vp	S, LS, SiL, Si, SCL, SiC, L, C, CL, SC	Munsell (moist)	Med Dark Reddish Brown	O, A, E, AB or EB, E/B, AC, B, BA or BE, B/E, BC or CB, C	a, c, g, d	s, w, i, b
4'	dry / m / wet	grade: 1 / 2 / 3; size: vf, f, m, c, vc; type: gr, pl, pr, cpr, abk, sbk	quantity: f, c; size: f, m	quantity: f; size: 1, 2, 3; contrast: d, p	v1, f	f	c, m	dry: lo, so, sh, h, vh, eh; moist: lo, vfr, fr, fi, vfi, efi; wet: so, ss, s, vs; sticky: po, ps, s, vs; plastic: po, ps, p, vp	S, LS, SiL, Si, SCL, SiC, L, C, CL, SC	Munsell (moist)	Reddish Brown	O, A, E, AB or EB, E/B, AC, B, BA or BE, B/E, BC or CB, C	a, c, g, d	s, w, i, b
6'	dry / m / wet	grade: 1 / 2 / 3; size: vf, f, m, c, vc; type: gr, pl, pr, cpr, abk, sbk	quantity: f, c; size: f, m	quantity: f; size: 1, 2, 3; contrast: d, p	v1, f	f	c, m	dry: lo, so, sh, h, vh, eh; moist: lo, vfr, fr, fi, vfi, efi; wet: so, ss, s, vs; sticky: po, ps, s, vs; plastic: po, ps, p, vp	S, LS, SiL, Si, SCL, SiC, L, C, CL, SC	Munsell (moist)	Light Gray & Mixed Reddish Brown	O, A, E, AB or EB, E/B, AC, B, BA or BE, B/E, BC or CB, C	a, c, g, d	s, w, i, b
16'	dry / m / wet	grade: 1 / 2 / 3; size: vf, f, m, c, vc; type: gr, pl, pr, cpr, abk, sbk	quantity: f, c; size: f, m	quantity: f; size: 1, 2, 3; contrast: d, p	v1, f	f	c, m	dry: lo, so, sh, h, vh, eh; moist: lo, vfr, fr, fi, vfi, efi; wet: so, ss, s, vs; sticky: po, ps, s, vp; plastic: po, ps, p, vp	S, LS, SiL, Si, SCL, SiC, L, C, CL, SC	Munsell (moist)	Red Gray Brown	O, A, E, AB or EB, E/B, AC, B, BA or BE, B/E, BC or CB, C	a, c, g, d	s, w, i, b

BOTP AT 16' (NO GW)

SOIL PROFILE FIELD LOG

(modified by Andrew Brownstone after Birkeland, 1999; Table A1.3)

Test hole I.D.: SP-5

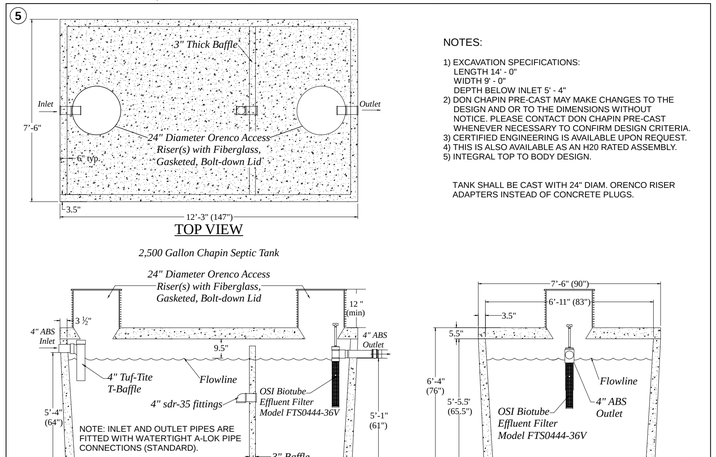
Job Number/Name: Job 19016 - Waters Location: Peacock Court, Cupertino APN: 351-42-004
Date Soil Sampled: 06/25/19 Time: PM Vegetation: grass
Elevation: ____ Slope Gradient: 25% Aspect: south Geomorphic Surface: Ridge flank
Parent Material(s): MET S.S. Described by: Andrew Brownstone

GRAPHIC LOG

Sample Depth	Moisture	Structure	Pores	Mottles	Clay Films	Gravel	Roots	Consistence	Texture	Color	Horizon	Contacts
1.5'	dry / m / wet	grade: 1 / 2 / 3; size: vf, f, m, c, vc; type: gr, pl, pr, cpr, abk, sbk	quantity: f, c; size: f, m	quantity: f; size: 1, 2, 3; contrast: d, p	v1, f	f	f, c, m	dry: lo, so, sh, h, vh, eh; moist: lo, vfr, fr, fi, vfi, efi; wet: so, ss, s, vs; sticky: po, ps, s, vs; plastic: po, ps, p, vp	S, LS, SiL, Si, SCL, SiC, L, C, CL, SC	Munsell (moist)	Med Dark Reddish Brown	O, A, E, AB or EB, E/B, AC, B, BA or BE, B/E, BC or CB, C	a, c, g, d	s, w, i, b
5'	dry / m / wet	grade: 1 / 2 / 3; size: vf, f, m, c, vc; type: gr, pl, pr, cpr, abk, sbk	quantity: f, c; size: f, m	quantity: f; size: 1, 2, 3; contrast: d, p	v1, f	f	c, m	dry: lo, so, sh, h, vh, eh; moist: lo, vfr, fr, fi, vfi, efi; wet: so, ss, s, vs; sticky: po, ps, s, vs; plastic: po, ps, p, vp	S, LS, SiL, Si, SCL, SiC, L, C, CL, SC	Munsell (moist)	Reddish Brown	O, A, E, AB or EB, E/B, AC, B, BA or BE, B/E, BC or CB, C	a, c, g, d	s, w, i, b
12'	dry / m / wet	grade: 1 / 2 / 3; size: vf, f, m, c, vc; type: gr, pl, pr, cpr, abk, sbk	quantity: f, c; size: f, m	quantity: f; size: 1, 2, 3; contrast: d, p	v1, f	f	c, m	dry: lo, so, sh, h, vh, eh; moist: lo, vfr, fr, fi, vfi, efi; wet: so, ss, s, vs; sticky: po, ps, s, vs; plastic: po, ps, p, vp	S, LS, SiL, Si, SCL, SiC, L, C, CL, SC	Munsell (moist)	Reddish Brown	O, A, E, AB or EB, E/B, AC, B, BA or BE, B/E, BC or CB, C	a, c, g, d	s, w, i, b

BOTP AT 12' (NO GW)

2,500 GALLON CONCRETE SEPTIC TANK DETAIL



NOTES:

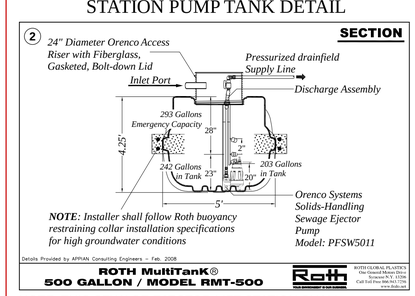
1) EXCAVATION SPECIFICATIONS:
   LENGTH 14' - 0"
   WIDTH 9' - 0"
   DEPTH BELOW INLET 5' - 4"
2) DON CHAPIN PRE-CAST MAY MAKE CHANGES TO THE DESIGN AND OR TO THE DIMENSIONS WITHOUT NOTICE. PLEASE CONTACT DON CHAPIN PRE-CAST WHENEVER NECESSARY TO CONFIRM DESIGN CRITERIA.
3) CERTIFIED ENGINEERING IS AVAILABLE UPON REQUEST.
4) THIS IS ALSO AVAILABLE AS AN H20 RATED ASSEMBLY.
5) INTEGRAL TOP TO BODY DESIGN.

TANK SHALL BE CAST WITH 24" DIAM. ORENCO RISER ADAPTERS INSTEAD OF CONCRETE PLUGS.

PRE-CAST CONCRETE SEAMLESS
SEPTIC TANK
CAPACITY 2500 GALLONS
MODEL IPS2500

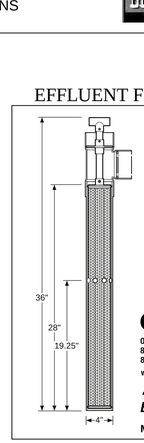
DON CHAPIN PRE-CAST

500 GALLON SEWAGE EJECTOR LIFT STATION PUMP TANK DETAIL



NOTE: THIS SEWAGE EJECTOR LIFT STATION SHALL CONFORM TO CURRENT CALIFORNIA PLUMBING CODE AND PERMIT MUST BE OBTAINED BY SCC BUILDING DEPARTMENT FOR INSTALLATION (NOT PART OF DEH PERMIT)

EFFLUENT FILTER DETAIL



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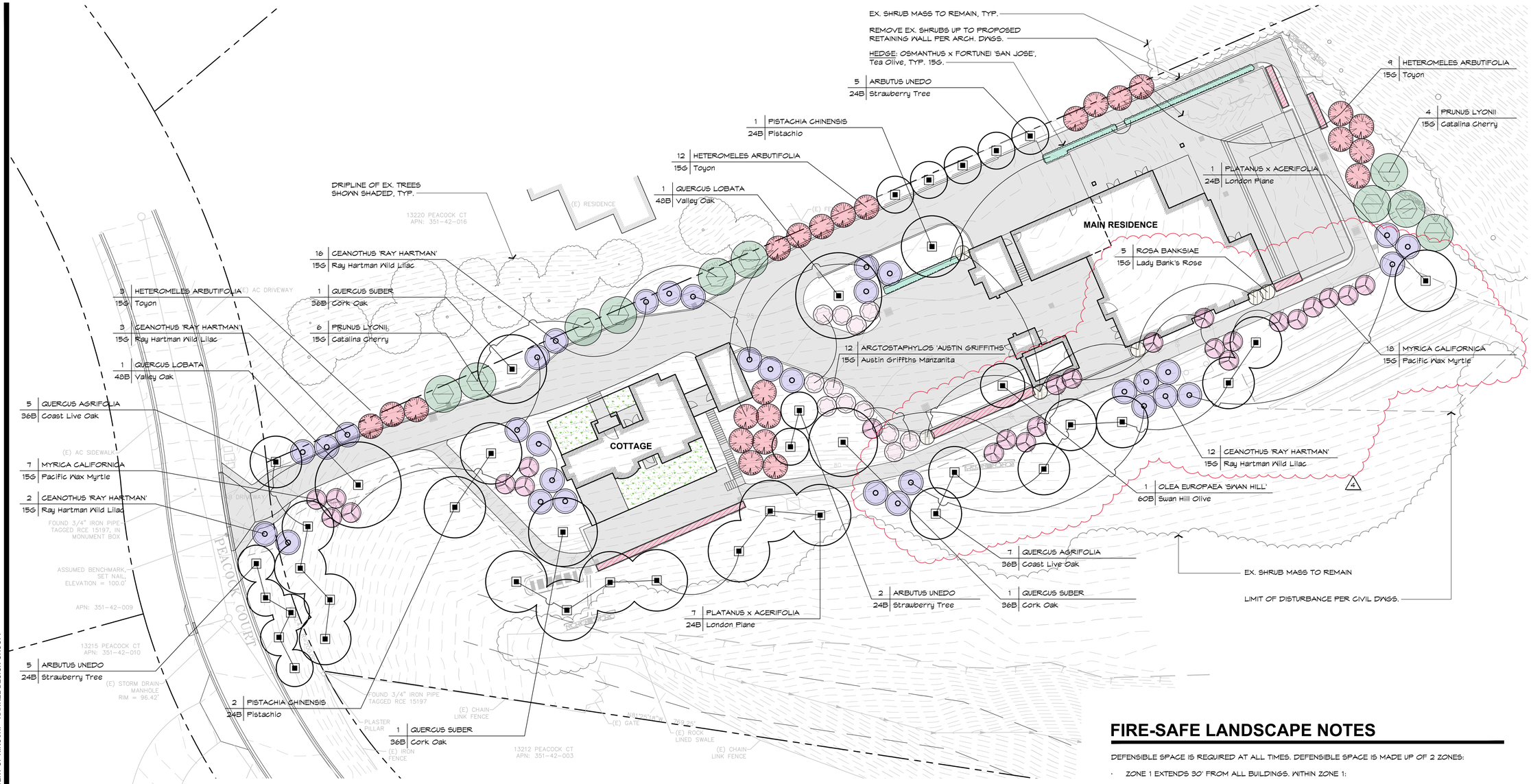
PROFESSIONAL GEOLOGIST
ANDREW BROWNSTONE
No. 7453
Exp. 12/31/25
STATE OF CALIFORNIA

CONVENTIONAL ONSITE WASTEWATER TREATMENT SYSTEM DESIGN

Project Location:	Peacock Ct, Cupertino, California [Santa Clara County]		
Property Owner:	Melissa Waters		
Mailing Address:	1063 Cherry Ave, San Jose, California 95125		
Owner Phone #:	(408) 813-9691 email: mfwaters3@gmail.com		
Date: 06/04/21	**By:** David Quinn / Andrew Brownstone		Sheet:
REVISION: 06/03/24		**Job No.:** 19016	**APN: 351-42-004**	**2** OF 2



PLANTING LEGEND

NEW SHRUBS PER PLAN.

NEW BOX TREE PER PLAN.

GREEN ROOF PLANTER: ULTRA-LOW WATER-USE SHRUBS, PERENNIALS, GRASSES, AND SUCCULENTS SELECTED FOR ADAPTABILITY AND COMPATIBILITY WITH CONVENTIONAL GREEN ROOF SYSTEMS.

FLOW-THROUGH PLANTER: CONTRACTOR TO INSTALL A MIX OF SHRUBS, PERENNIALS, AND GRASSES COMPATIBLE WITH PERIODIC INUNDATION FOLLOWING STORM EVENTS. PLANT LIST MAY INCLUDE:

TREES: CERCIS OCCIDENTALS (Western Redbud)
HETEROMELES ARBUTIFOLIA (Toyon)
SHRUBS: MYRTUS CALIFORNICA (Pacific Wax Myrtle)
ROSA CALIFORNICA (California Wild Rose)
GRASSES & PERENNIALS:
CAREX DIVULSA (Berkeley sedge)
CAREX PANSA (California Meadow Sedge)
ERIOGONUM GRANDE REUBESCENS (Island Buckwheat)
IRIS DOUGLASIANA (Douglas Iris)
JUNCUS PATENS (Blue Rush)
MUHLENBERGIA RIGENS (Deer grass)

PLANTING NOTES

- PROJECT SITE IS IN THE STATE RESPONSE AREA (SRA) AND THE WILDLAND URBAN INTERFACE (WUI) ZONE.
- PER CA PUBLIC RESOURCES CODE §4291, DEFENSIBLE SPACE OF AT LEAST 100' FROM ALL BUILDINGS AND STRUCTURES IS REQUIRED AT ALL TIMES. SEE FIRE-SAFE LANDSCAPE NOTES, BELOW.
- SEE ARCHITECT'S DRAWINGS FOR DESCRIPTIONS OF NEW HOUSE AND COTTAGE STRUCTURES. SEE CIVIL DRAWINGS FOR DESCRIPTIONS OF GRADING, DRAINAGE, AND HARDSCAPE AREAS.
- FUTURE LANDSCAPING (NOT SHOWN ON THESE PLANS) SHALL BE SELECTED TO BE FIRE-RESISTANT, HIGH-MOISTURE PLANTS THAT HAVE LOW SAP AND/OR RESIN CONTENTS.
- ALL NEW LANDSCAPING SHALL BE IRRIGATED WITH AN AUTOMATIC, WEATHER-SENSING WATER SYSTEM TO ENSURE LONG-TERM PLANT HEALTH AND MOISTURE LEVELS.
- ALL NEW PLANTING AREAS SHALL BE AMENDED WITH 4 CUBIC YARDS OF COMPOST PER 1000 SF, INCORPORATED 6" INTO NATIVE SOIL, UNLESS DETERMINED OTHERWISE BY A SOIL FERTILITY ANALYSIS. THE CONTRACTOR SHALL OBTAIN A SOIL FERTILITY ANALYSIS AND RECOMMENDATIONS FOR NEW PLANTING AREAS PRIOR TO START OF CONSTRUCTION. A COPY OF THE FERTILITY TEST SHALL BE PROVIDED TO THE COUNTY PRIOR TO PLANTING.
- NO TILLING SHALL OCCUR BENEATH THE CANOPIES OF EXISTING TREES. PLANTING BENEATH EXISTING TREES SHALL HAVE PLANT PITS INDIVIDUALLY AMENDED.
- ALL NEW PLANTING SHALL RECEIVE A 3" DEEP LAYER OF MULCH.
- FINAL PLANT LOCATIONS HALL BE REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANT PIT EXCAVATION.

FIRE-SAFE LANDSCAPE NOTES

DEFENSIBLE SPACE IS REQUIRED AT ALL TIMES. DEFENSIBLE SPACE IS MADE UP OF 2 ZONES:

- ZONE 1 EXTENDS 30' FROM ALL BUILDINGS. WITHIN ZONE 1:
  - REMOVE ALL DEAD PLANTS, GRASS AND WEEDS.
  - REMOVE DEAD OR DRY LEAVES AND NEEDLES FROM THE YARD, ROOF AND RAIN GUTTERS.
  - REMOVE BRANCHES THAT HANG OVER THE ROOF AND KEEP DEAD BRANCHES 10 FEET AWAY FROM ANY CHIMNEYS.
  - REMOVE OR PRUNE FLAMMABLE PLANTS AND SHRUBS NEAR WINDOWS.
  - CREATE A SEPARATION BETWEEN TREES, SHRUBS AND ITEMS THAT COULD CATCH FIRE, SUCH AS PATIO FURNITURE, WOOD PILES, SWING SETS, ETC.
- ZONE 2 EXTENDS 100' FROM ALL BUILDINGS (BUT NOT BEYOND THE PROPERTY LINE). WITHIN ZONE 2:
  - FUELS SHALL BE MAINTAINED IN A CONDITION SO THAT A WILDFIRE BURNING UNDER AVERAGE WEATHER CONDITIONS WOULD BE UNLIKELY TO IGNITE THE STRUCTURE.
  - CUT OR MOW ANNUAL GRASSES DOWN TO A MAXIMUM HEIGHT OF 4 INCHES.
  - ALL TREES AND OTHER VEGETATION SHALL BE WELL-MAINTAINED TO PREVENT RAPIDLY TRANSMITTING FIRE FROM OTHER NEARBY VEGETATION TO A STRUCTURE OF FROM A STRUCTURE TO OTHER NEARBY VEGETATION.
  - REMOVE ALL TREE BRANCHES TO AT LEAST 6' FROM THE GROUND.
  - REMOVE FALLEN LEAVES, NEEDLES, TWIGS, BARK, CONES, AND SMALL BRANCHES. HOWEVER, THEY MAY BE PERMITTED TO A DEPTH OF 3 INCHES.
- FUTURE LANDSCAPING (NOT SHOWN ON THESE PLANS) SHALL BE SELECTED TO BE FIRE-RESISTANT, HIGH-MOISTURE PLANTS THAT HAVE LOW SAP AND/OR RESIN CONTENTS.
- ALL NEW LANDSCAPING SHALL BE IRRIGATED WITH AN AUTOMATIC, WEATHER-SENSING WATER SYSTEM TO ENSURE LONG-TERM PLANT HEALTH AND MOISTURE LEVELS.
- ALL NEW PLANTING AREAS SHALL BE AMENDED WITH 4 CUBIC YARDS OF COMPOST PER 1000 SF, INCORPORATED 6" INTO NATIVE SOIL, UNLESS DETERMINED OTHERWISE BY A SOIL FERTILITY ANALYSIS. THE CONTRACTOR SHALL OBTAIN A SOIL FERTILITY ANALYSIS AND RECOMMENDATIONS FOR NEW PLANTING AREAS PRIOR TO START OF CONSTRUCTION. A COPY OF THE FERTILITY TEST SHALL BE PROVIDED TO THE COUNTY PRIOR TO PLANTING.
- NO TILLING SHALL OCCUR BENEATH THE CANOPIES OF EXISTING TREES. PLANTING BENEATH EXISTING TREES SHALL HAVE PLANT PITS INDIVIDUALLY AMENDED.
- ALL NEW PLANTING SHALL RECEIVE A 3" DEEP LAYER OF MULCH.
- FINAL PLANT LOCATIONS HALL BE REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANT PIT EXCAVATION.

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(650) 726-7100

www.kkdesigngroup.com

LANDSCAPE SCREENING

WATERS RESIDENCE

PEACOCK COURT
CUPERTINO, CA

APN: 351-42-004

Revisions: 4 Plan Check Revisions 6/12/2024

Date: 12/21/2020 PLANNING REVIEW

Scale: 1/20" = 1'-0"

Drawn by: XL

LANDSCAPE SCREENING PLAN

Sheet No.
L1