

Water and Sediment Control Notes:

- Permanent Monuments/ Monument Preservation:**

1. In accordance with the California Professional Land Surveyors' Act (Business and Professions Code) Chapter 15 Sections 8771 and 8725.1, California Penal Code 605, and California Government Code 27581, the Owner, Contractor, and/or any person performing construction activities that will or may disturb an existing roadway/ street monument, corner stake, or any other permanent surveyed monument and/or as shown on the plan sheet shall ensure that a Corner Record and/or Record of Survey are filed with the County Surveyor's Office prior to disturbing said monuments. All disturbed or destroyed monuments shall be reset and filed in compliance with Section 8771.

Improvement Plan Construction Notes:

1. All Work in the County Road Right of Way requires an encroachment permit from the Roads and Airports Department. Each individual activity requires a separate permit - i.e. retaining walls, driveway approaches, temporary construction entrances, fences, landscaping, tree removal, storm drainage improvements, all utility operations (relocations/replacements, abandonments, temporary facilities, and/or new facilities for cable, electric, gas, sewer, water), etc.
2. Roadways designated as Not County maintained roads as shown upon this plan, will not be eligible for County maintenance until the roadways are improved (at no cost to the County) to public maintenance road standards approved by the Board of Supervisors and in effect at such time that the roadways are considered for acceptance into the County's Road System.

Last Updated on July 14, 2015

FOUNDATION OVER-EXCAVATION/RE-COMPACTION:
CUT = 27.73 C.Y.
FILL = 27.73 C.Y.
OFF HAUL = 0 C.Y.

GRADING:
CUT = 0 C.Y.
FILL = 0 C.Y.

GENERAL NOTES:

VERIFY LOCATION OF ALL
UTILITIES @ JOB SITE.

SLOPE ALL FINISH GRADES A MIN. OF 5% FOR 10'-0" AWAY FROM STRUCTURE FOR DRAINAGE @ LANDSCAPED AREAS & MIN. 2% SLOPE @ PAVED AREAS.

ALL CONCRETE "FLATWORK" (DRIVEWAY, WALKS, ETC.) SHALL BE CONSTRUCTED IN ACCORDANCE W/ THE C.B.C.

← INDICATES DRAINAGE

NO./ DATE/ REVISION

4-13-2020
PLAN CHECK

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A California Corporation
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Morgan Hill, California 95037
Phone: (408) 778-7005; Fax: (408) 778-7004
email: dzdesign@gartie.com

OWNER TITLE	Site Plan
JOB TITLE	Kline Residence Remodel & Addition
JOB ADDRESS	21477 Old Mine Road Los Gatos, CA 95033

DATE
DEC. 27, 2019

SCALE
1"=10'-0"

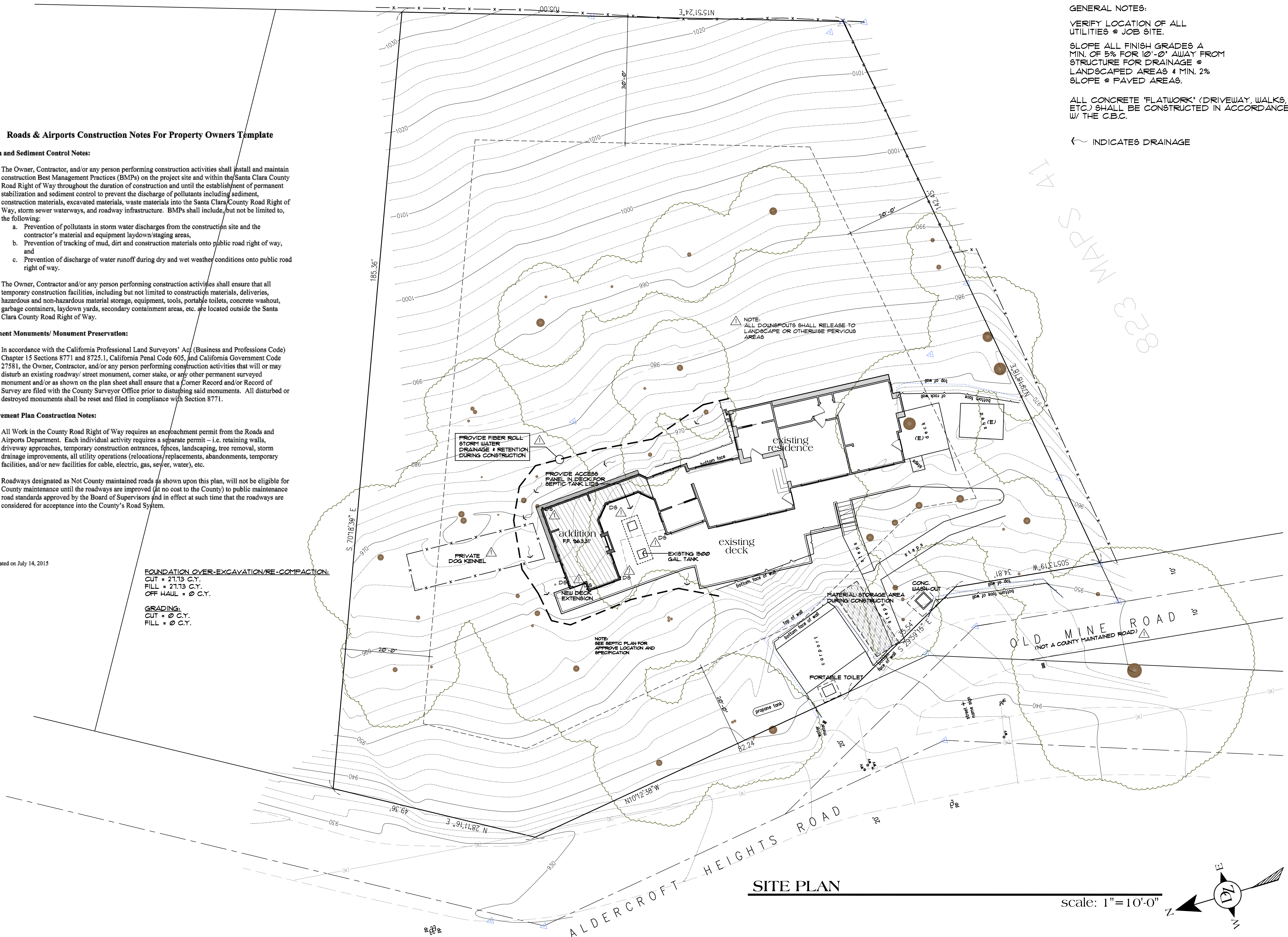
PROJECT MANAGER
SCOTT ZAZUETA

DRAWN
SEZ

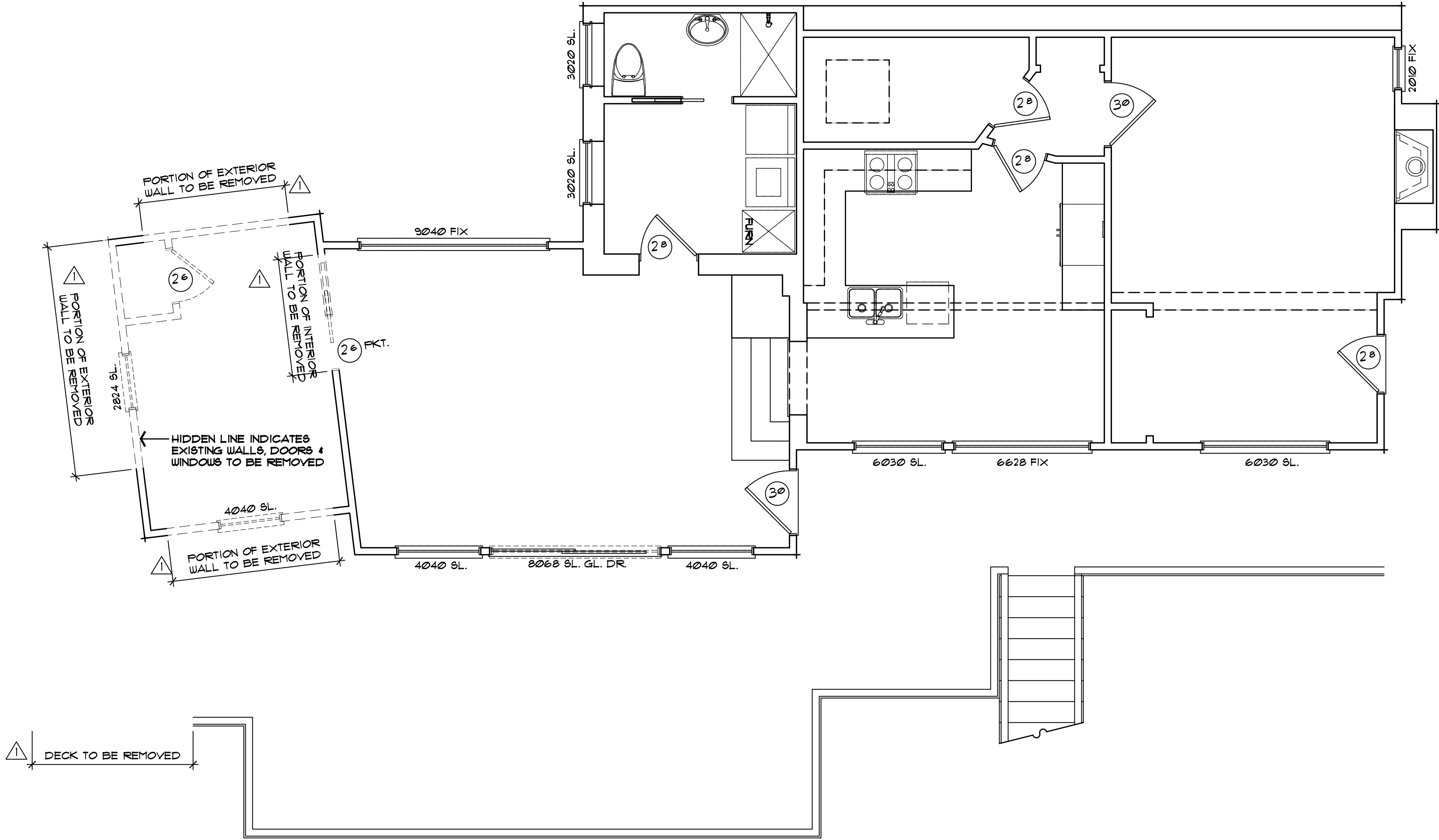
JOB NO.
DZ3516

SHEET

A1.1



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Existing Floor/Demolition Plan

1188 sq. ft. Living Area

scale: 1/4"=1'-0"

WALL LEGEND:

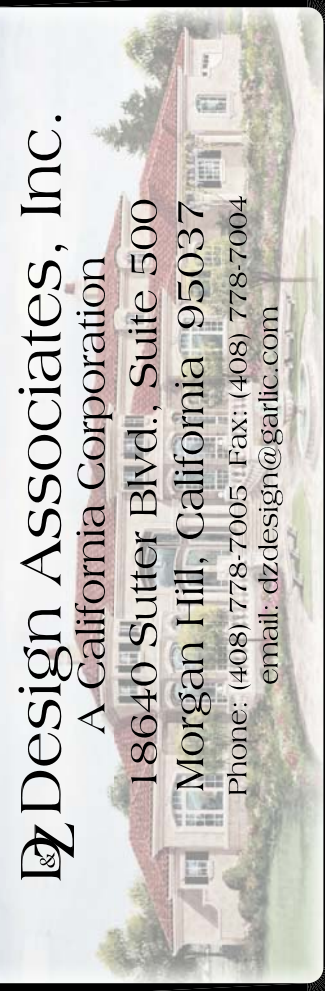
- INDICATES EXIST. WALL TO REMAIN
- INDICATES EXIST. TO BE REMOVED

NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL SHORE UP ALL LOAD BEARING PARTITIONS AND SUCH AS REQUIRED TO ASSURE ADEQUATE SUPPORT OF STRUCTURE PRIOR TO DEMOLITION WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL MATERIALS REQUIRED IN THIS PROJECT.
- CONTRACTOR SHALL MATCH ALL NEW MODIFICATIONS TO EXISTING RESIDENCE AS REQUIRED TO ASSURE CONFORMITY.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO START OF WORK.

NO./ DATE/ REVISION
4-13-2020 PLAN CHECK

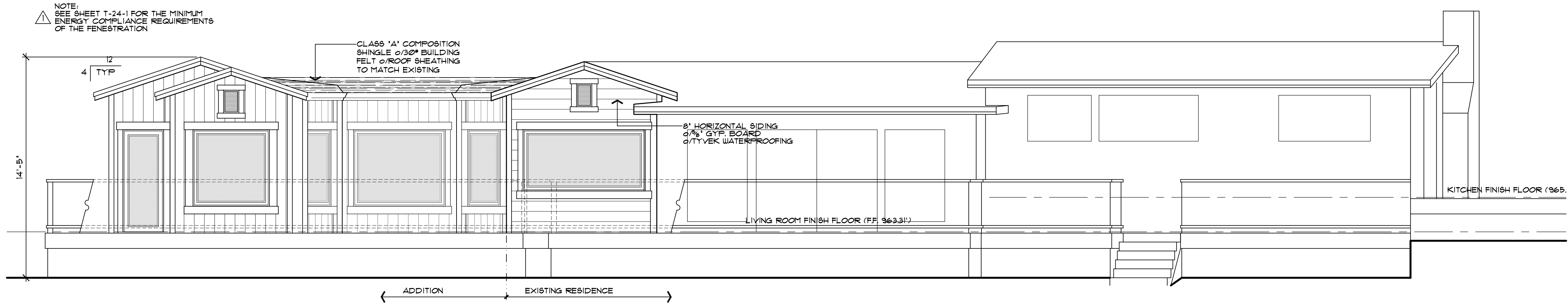
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DRAWING TITLE
Existing Floor/Demolition Plan
JOB TITLE
Kline Residence Remodel & Addition
JOB ADDRESS
21477 Old Mine Road Los Gatos, CA 95033

DATE
DEC. 27, 2019
SCALE
1/4"=1'-0"
PROJECT MANAGER
SCOTT ZAZULETA
DRAWN
SEZ
JOB NO.
DZ3516
SHEET

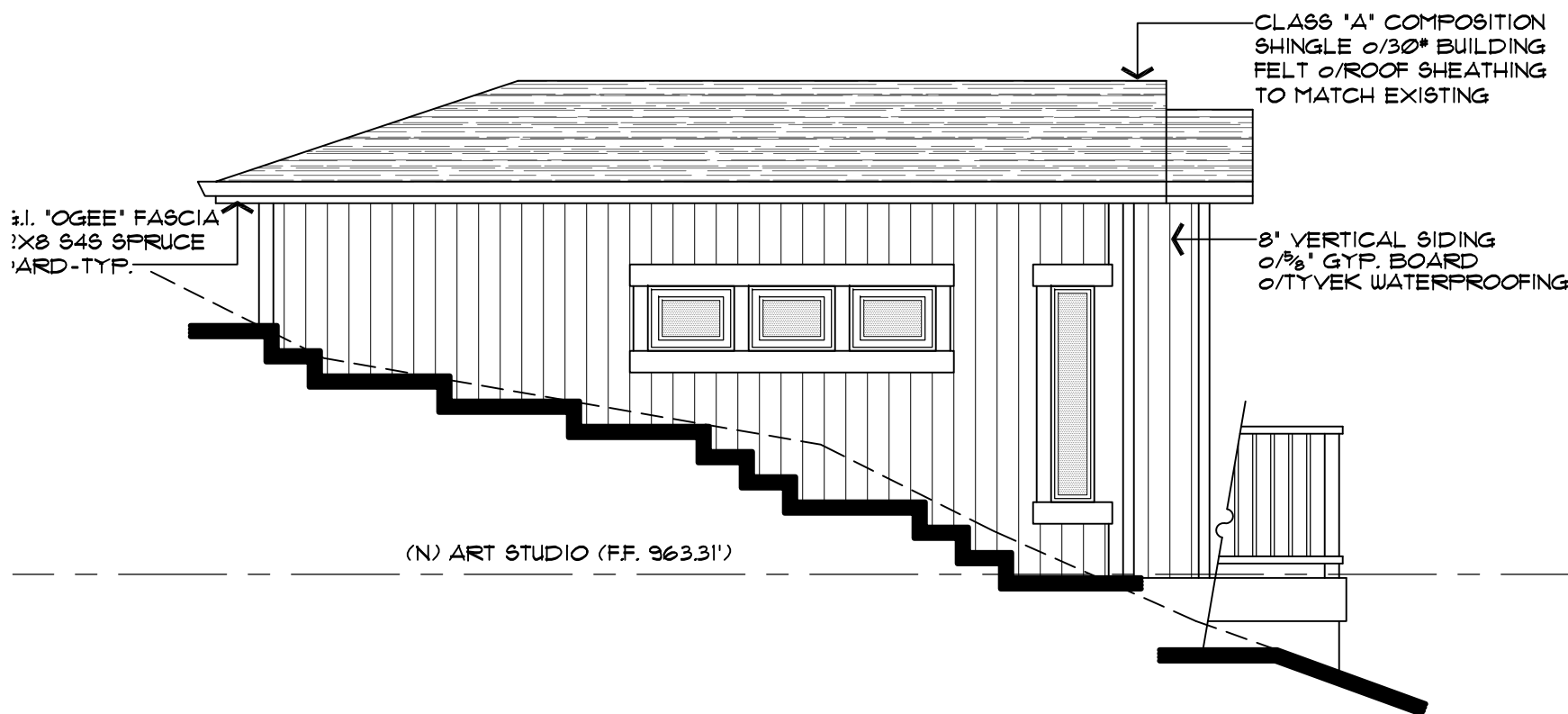
A2.1



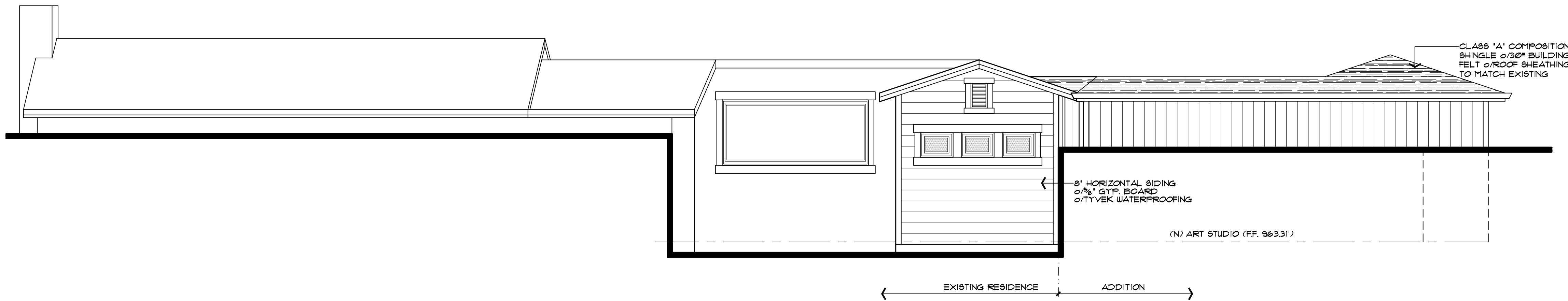
front elevation

THE BUILDING IS LOCATED IN WUI ZONE.
ALL REQUIREMENTS IN SECTION R321 SHALL
BE COMPLIED.

- PROVIDE CLASS 'A' ROOF PER
SECTION R321.9.
- PROVIDE ROOF VALLEYS AND
GUTTERS PER SECTION R321.5.
- ATTIC VENTILATION SHALL BE
PROTECTED PER SECTION R321.6.
EAVE OR CORNICE VENTS ARE NOT
ALLOWED UNLESS THE PRODUCTS
COMPLYING WITH EXCEPTIONS OF
SECTIONS OF SECTION R321.6.3 ARE
USED.
- PROVIDE EAVE PROTECTIONS PER
SECTION R321.1.4, AND 321.1.5.
- PROVIDE PROTECTIONS FOR
EXTERIOR WALLS PER SECTION
R321.1.3.
- PROVIDE PROTECTIONS FOR
EXTERIOR OPENINGS INCLUDING
DOORS, WINDOWS, AND VENTS PER
SECTION R321.8.
- THE UNDERSIDE OF APPENDAGES
(INCLUDING UNDERSIDES OF
PORCHES), AND FLOOR PROJECTIONS
SHALL BE PROTECTED PER
SECTION R321.1.6 THROUGH R321.1.9.
- DECKING SHALL BE PROTECTED PER
SECTION R321.9.
- ACCESSORY BUILDINGS AND STRUCTURES
SHALL BE PROTECTED PER SECTION
R321.10.



left side elevation



rear elevation

NO./ DATE/ REVISION

4-13-2020
PLAN CHECK

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THE APPROPRIATE AGENCIES PRIOR TO COMMENCEMENT OF THE
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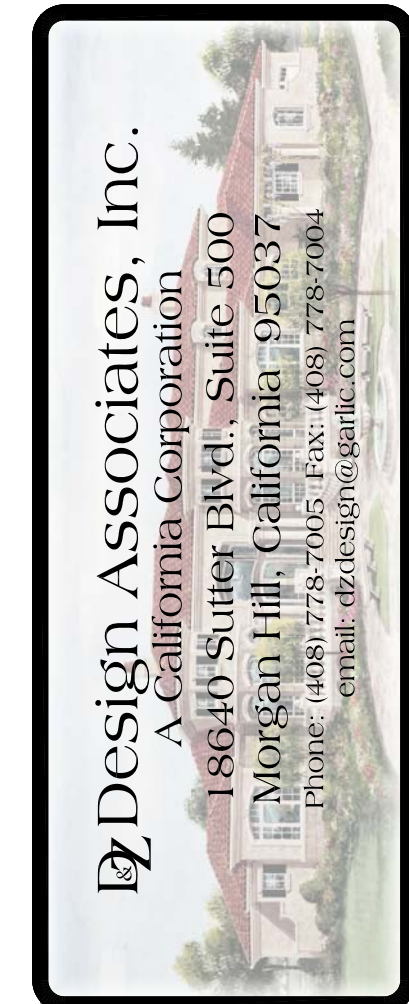
DAZ Design Associates, Inc.
A California Corporation
18640 Sutter Blvd., Suite 500
Morgan Hill, California 95037
Phone: (408) 778-7045 Fax: (408) 778-7004
Email: daz@daaz.com

DRAWING TITLE
Exterior Elevations
JOB TITLE
Kline Residence
Remodel & Addition
JOB ADDRESS
21477 Old Mine Road
Los Gatos, CA 95033

DATE
DEC. 23, 2019
SCALE
1/4" = 1' - 0"
PROJECT MANAGER
SCOTT ZAZULETA
DRAWN
SEZ
JOB NO.
DZ3516
SHEET

A3

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DRAWING TITLE	
Floor Area Diagram	
JOB TITLE	Kline Residence Remodel & Addition
JOB ADDRESS	21477 Old Mine Road Los Gatos, CA 95033

DATE	DEC. 23, 2019
SCALE	1/4" = 1' - 0"
PROJECT MANAGER	SCOTT ZAZUETA
DRAWN	SEZ
JOB NO.	DZ3516
SHEET	A4



scale: 1/4"=1'-0"

