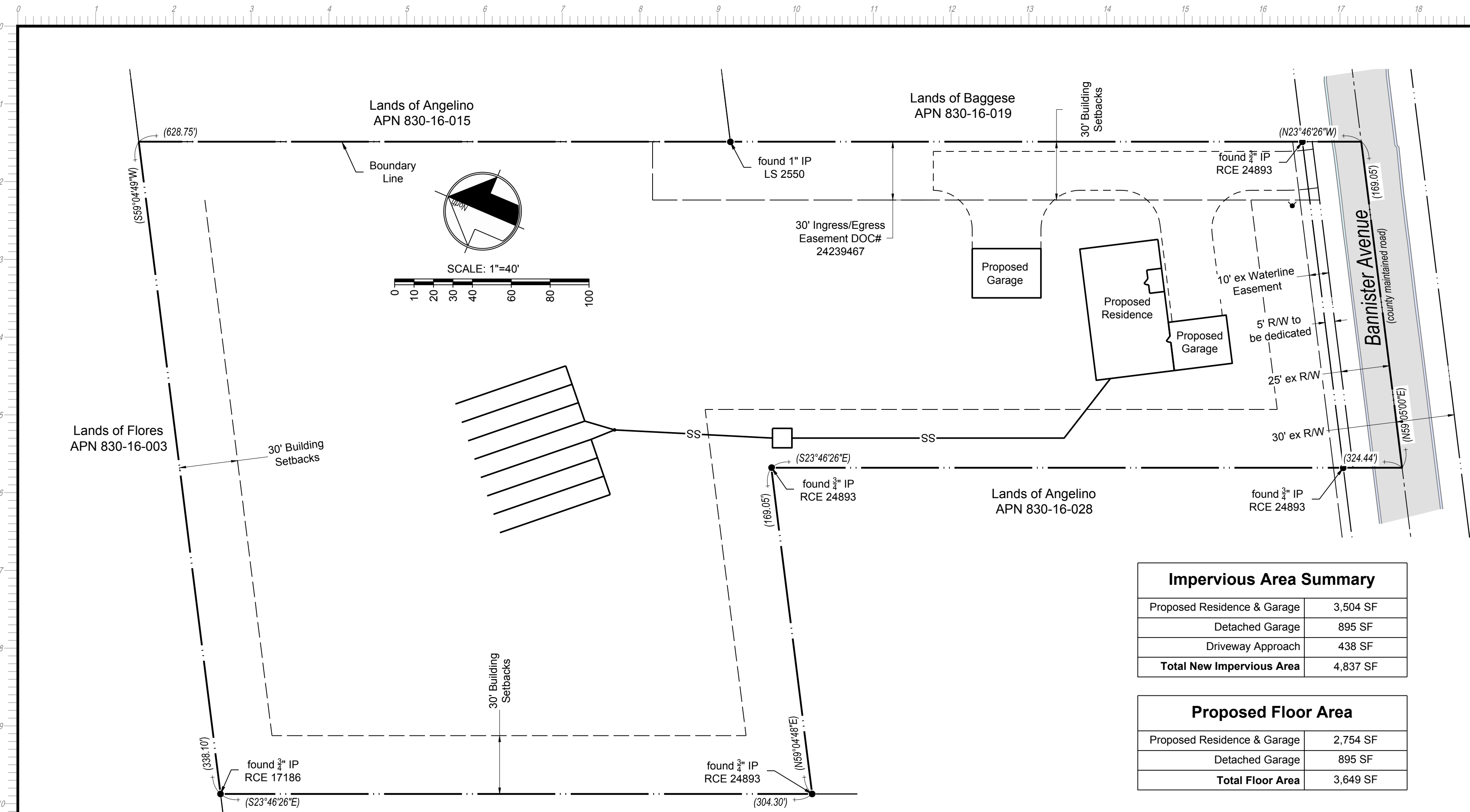
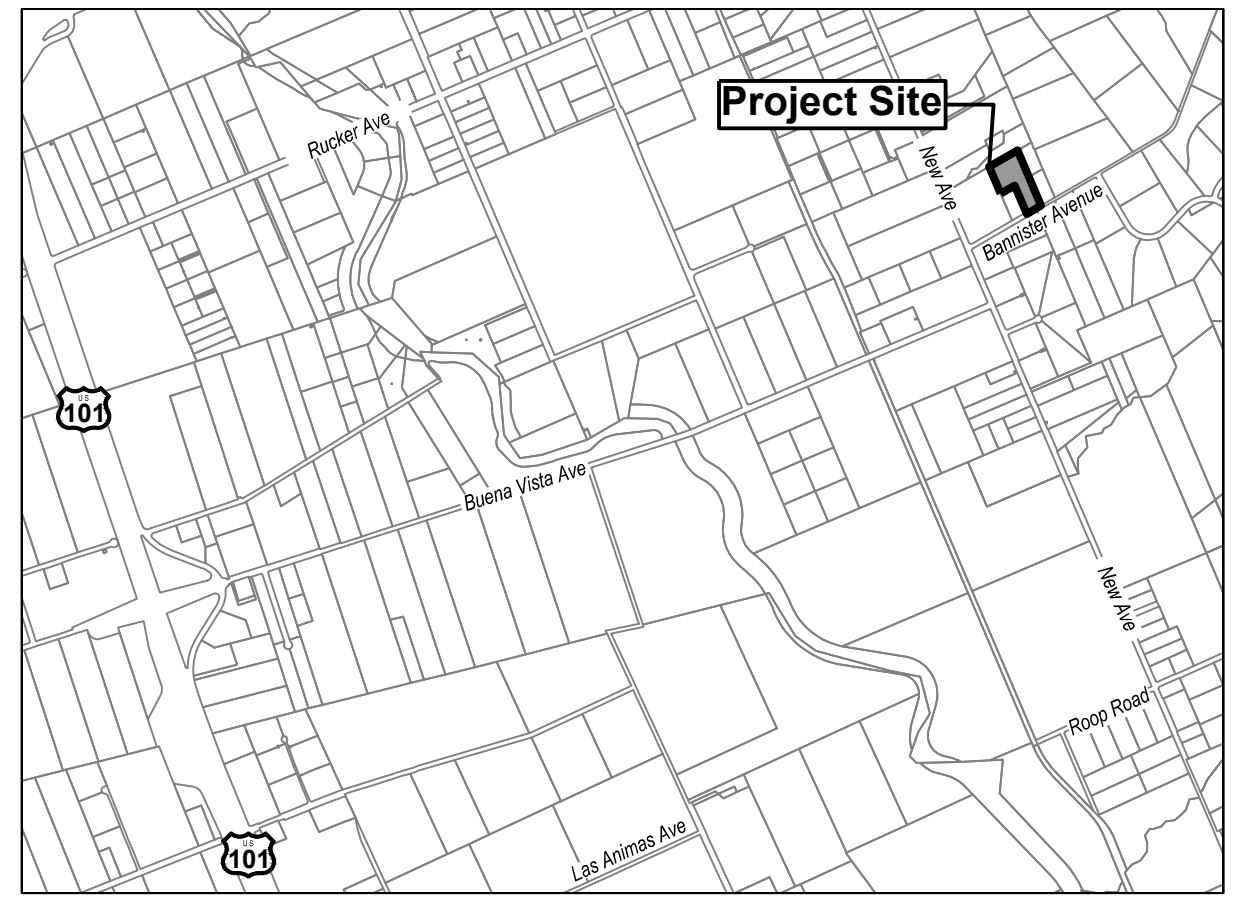
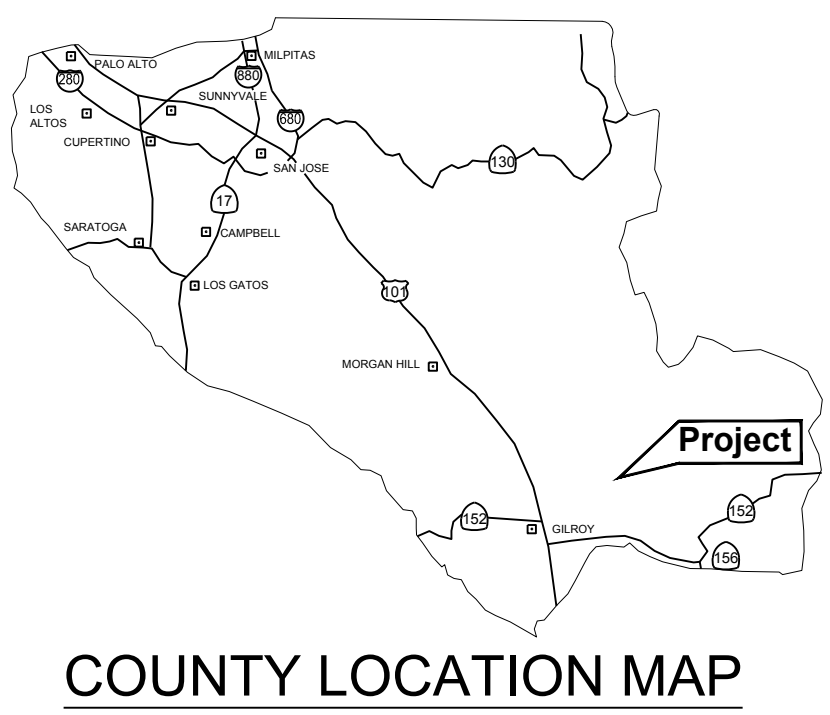




Site Map

Impervious Area Summary	
Proposed Residence & Garage	3,504 SF
Detached Garage	895 SF
Driveway Approach	438 SF
Total New Impervious Area	4,837 SF

Proposed Floor Area	
Proposed Residence & Garage	2,754 SF
Detached Garage	895 SF
Total Floor Area	3,649 SF



Earthwork Quantities			
Residence	44 cy	31 cy	0.00 ft
Attached Garage	45 cy	32 cy	1.00 ft
Detached Garage	3 cy	43 cy	0.33 ft
Exterior Foundation	0 cy	27 cy	0.00 ft
Driveway	131 cy	19 cy	0.75 ft
Detention Pond	13 cy	5 cy	1.25 ft
Drainage Ditches	3.6 cy	0 cy	0.75 ft
Total	147.6 cy	82 cy	

Note: Total earthwork quantities do not include excavation earthwork from buildings.

Total Disturbed Area = 18,659 sq. ft.

LEGEND		
	(ex structure)	Proposed Structure
	(ex pavement)	Proposed Gravel
		Proposed Driveway Approach
	(0)	Existing Contour

Basis of Bearings: The bearings shown on this map are based on the centerline of Bannister Avenue recorded as North 59°05'00" West, on that certain map titled "Catherine Dunne Ranch, Map No.8", filed for record in Book "O" of Maps at Pages 28 and 29, Santa Clara County Records.

Benchmark: Elevations show on this plan are based on Santa Clara Valley Water District Benchmark BM553, a brass disk located on top of concrete wingwall, 500 feet southerly of Moreno Lane, 0.5 miles northerly of Roper Road, southwesterly corner of New Avenue and Panther Creek, 9500 New Avenue, level with road. Unincorporated City of Gilroy. ELEVATION = 238.19'

Boundary Note: Property lines shown on this plan are based on the centerline of Bannister Avenue recorded as North 59°05'00" West, on that certain map titled "Catherine Dunne Ranch, Map No.8", filed for record in Book "O" of Maps at Pages 28 and 29, Santa Clara County Records.

Flood Zone: The property lies in Zone D (100%) per FEMA Firm Panel 06085C0641H, effective May 18, 2009.

Fire Notes:
1. Fire sprinklers will be a deferred submittal.
2. Proposed Driveway to the end of the fire truck turnaround to be an all weather material capable of supporting 75,000 pounds with a max slope of 15%.
3. Project is located within the State Response Area (SRA) and the Wildland Urban Interface (WUI). Project will maintain 100 feet of defensible space and meet WUI building requirements during Building Permit Submittal.

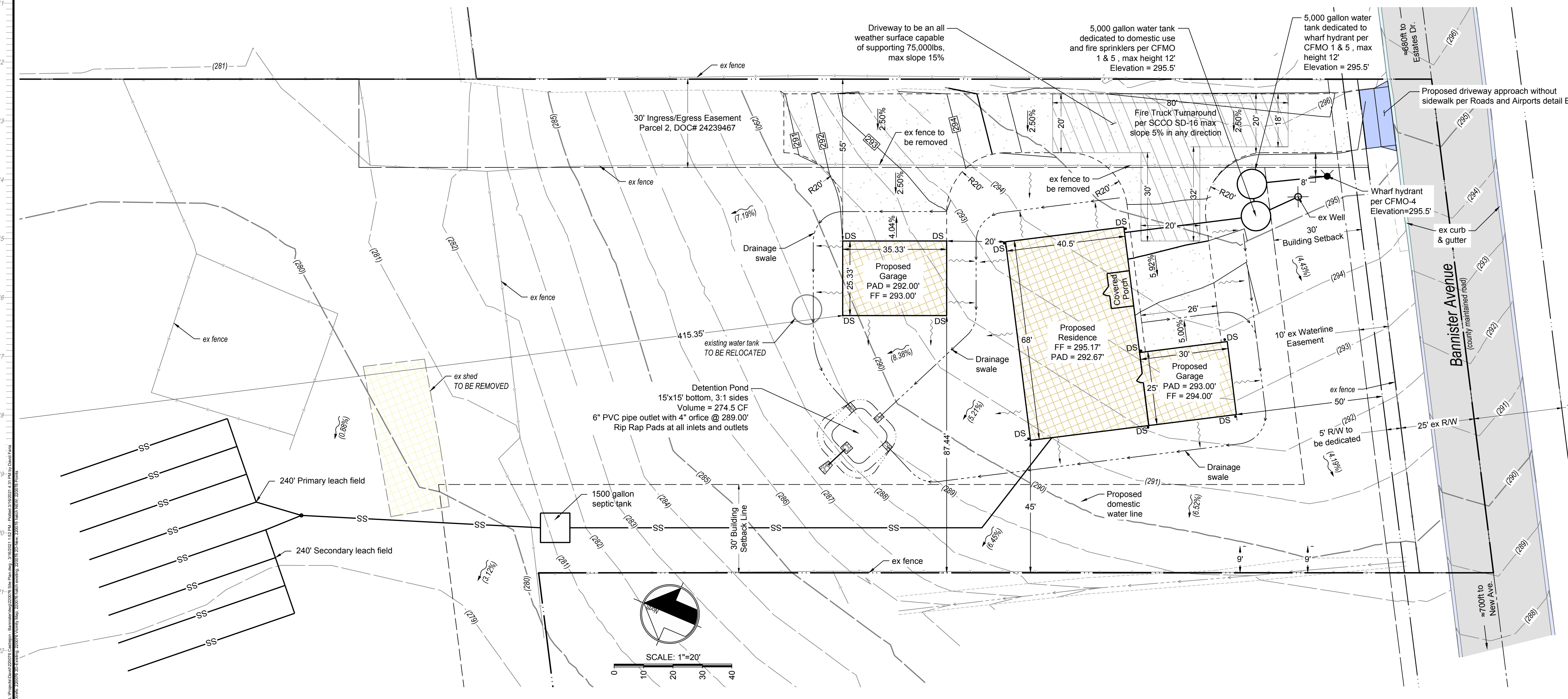
Tree Note: No trees are to be removed.

Drainage Notes:
1. Direct roof downspouts onto splash blocks routed to drainage swale and into detention pond.
2. Finish grade around all foundations shall be sloped away at a minimum slope of 5%.
3. The detention pond shall release runoff at or below predevelopment rates.
4. All non improved disturbed areas shall be hydroseeded.

Applicant/Owner:
Carlos and Sorabel Castrejon
1511 Sunrise Drive
Gilroy, CA 95020
Phone: 408-314-8952
email: CARSORCASTREJON@yahoo.com

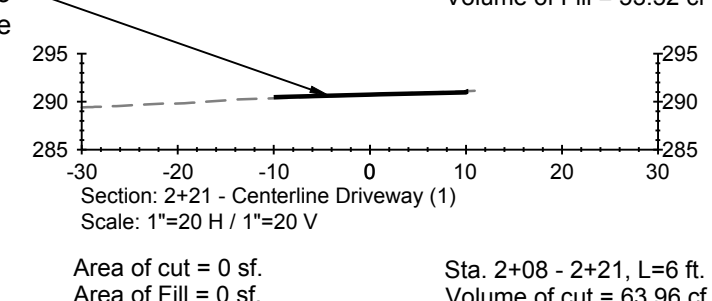
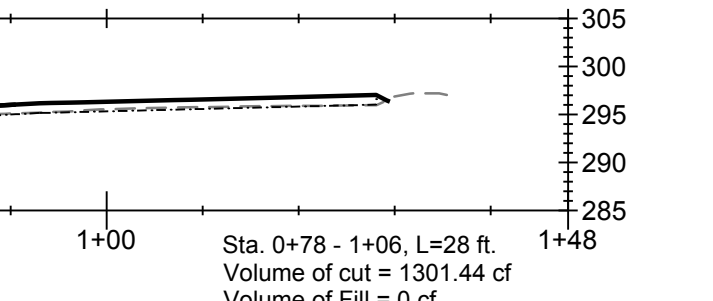
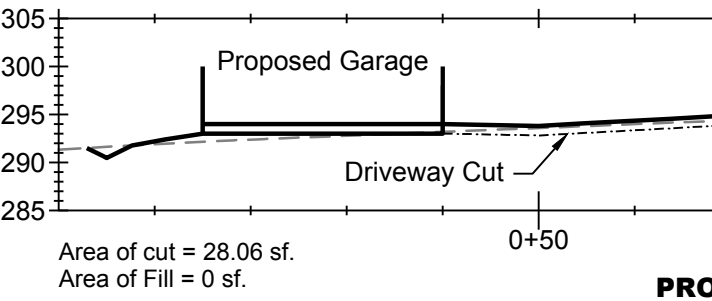
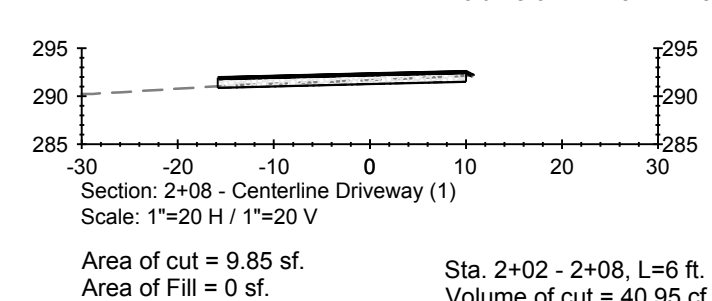
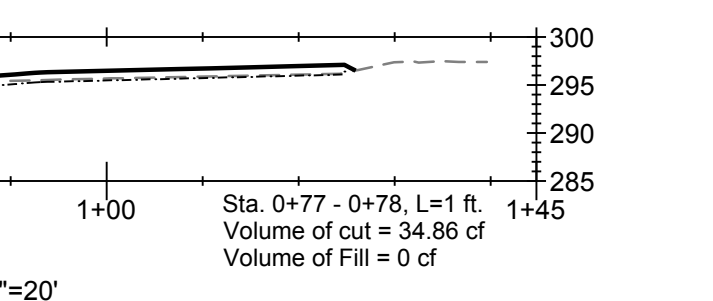
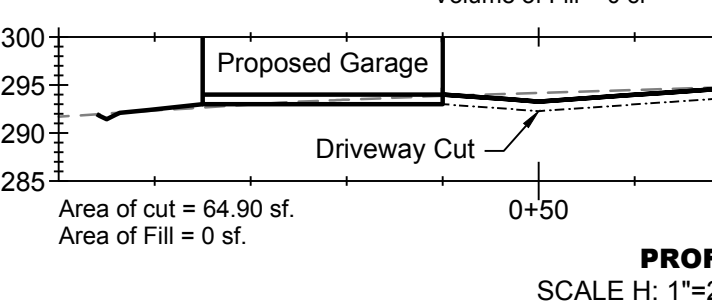
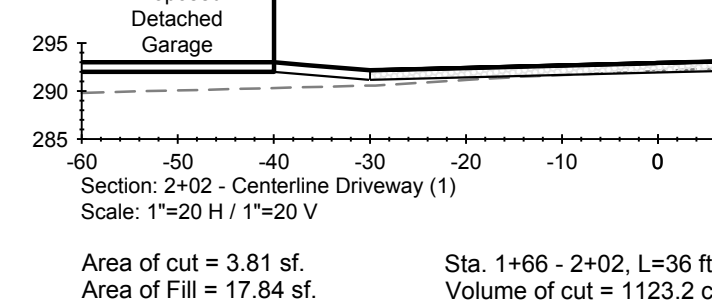
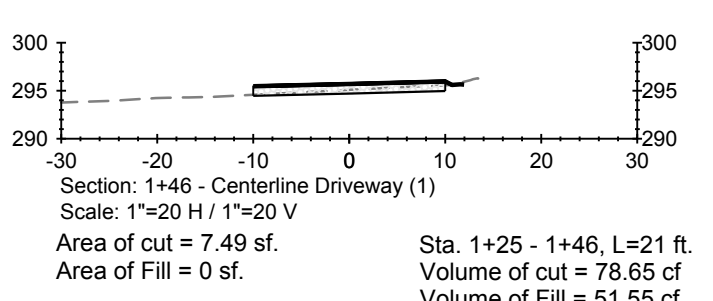
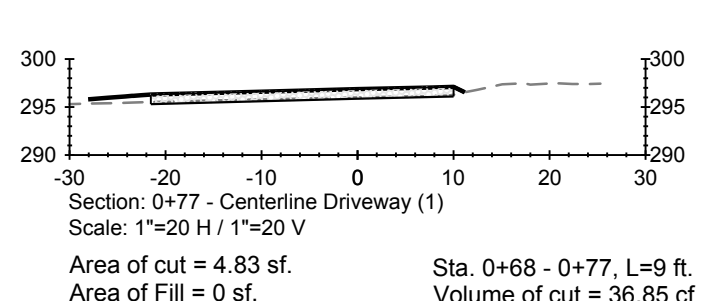
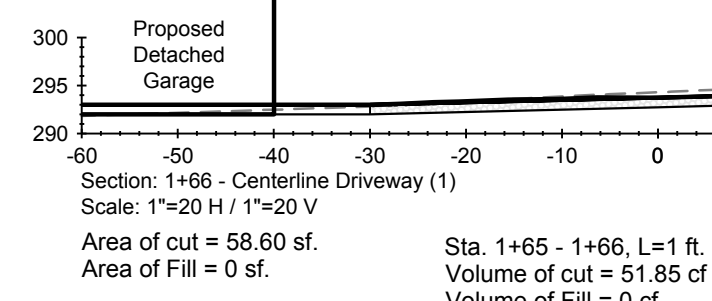
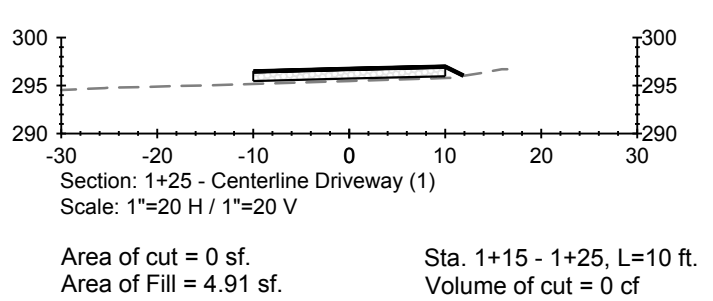
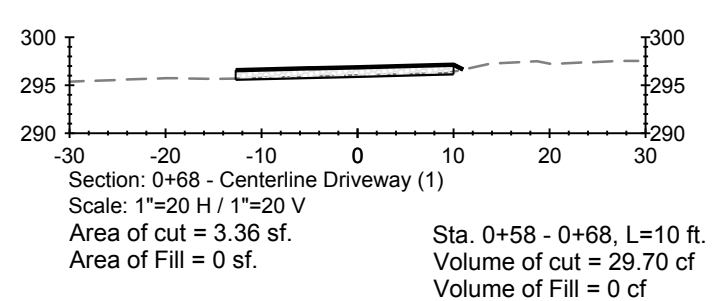
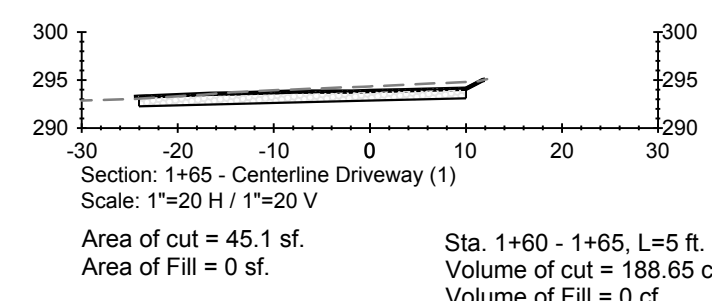
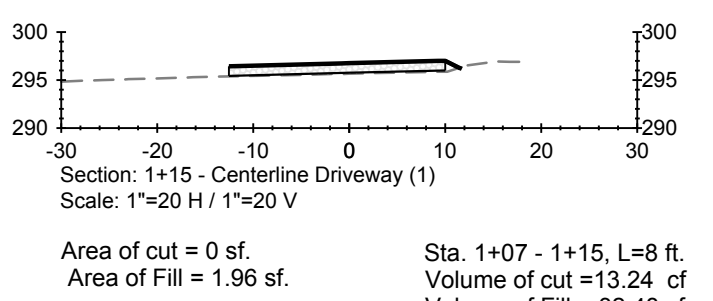
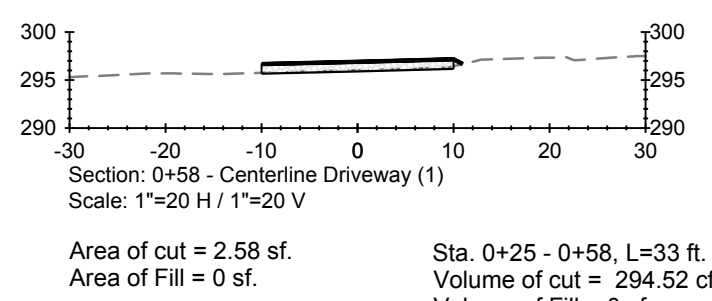
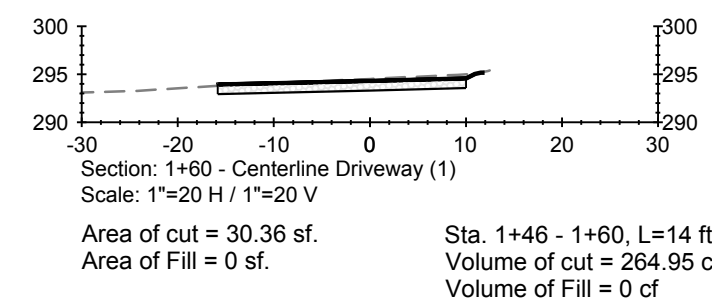
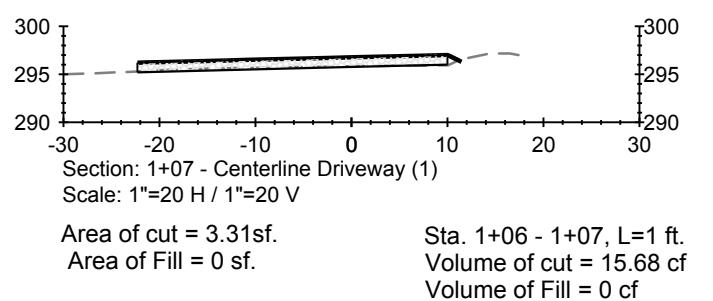
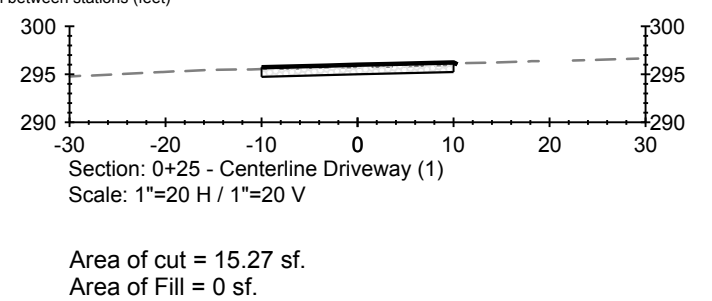
Engineer:
William J. McClintock RCE 24893
MH Engineering
16075 Vineyard Blvd.
Morgan Hill, CA 95037
408.779.7381
billm@mhengineering.com

Project Information:
APN 830-16-022
Present Use: Vacant
Proposed Use: Residential
Present Zoning: A-20Ac
Proposed Zoning: A-20Ac
Sanitary Sewer: Proposed Septic
Gas and Electric: PG&E
Water: existing well
Existing Improvements: As Shown
Gross Area: 3.593 ac
Net Area: 3.476 ac



Average End Method

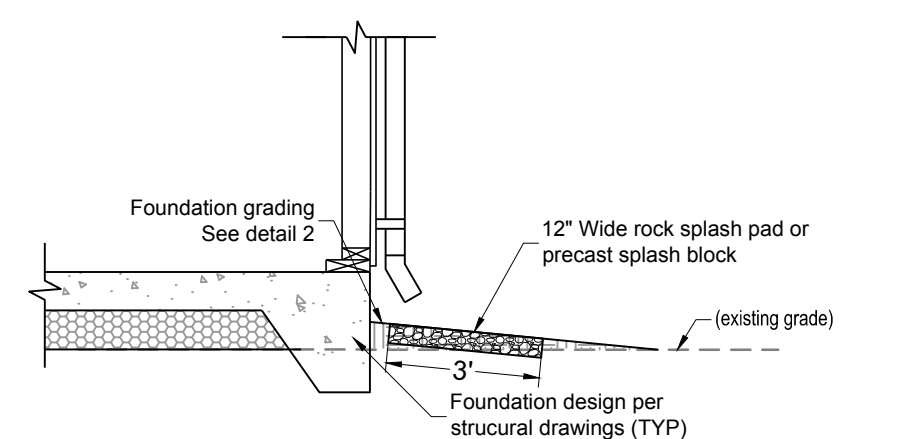
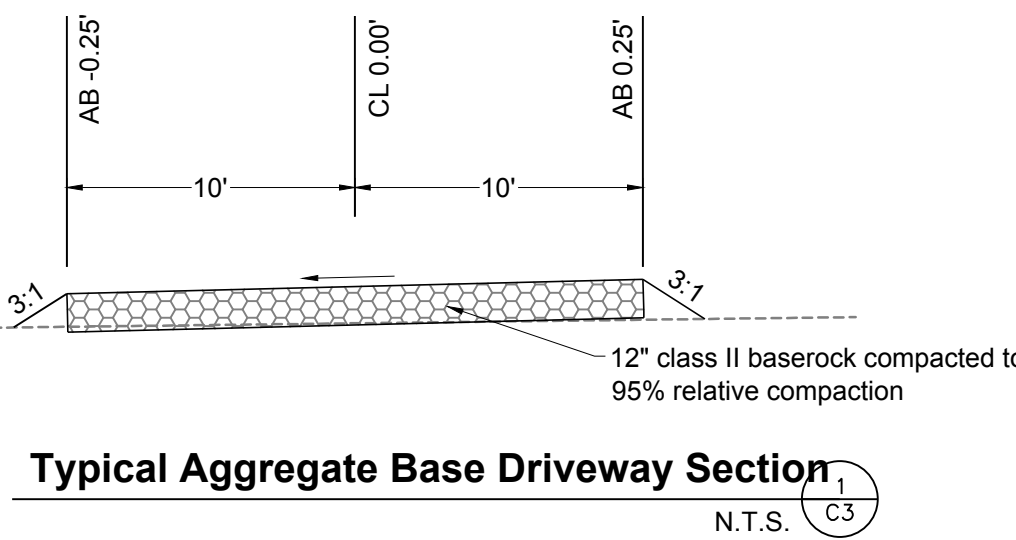
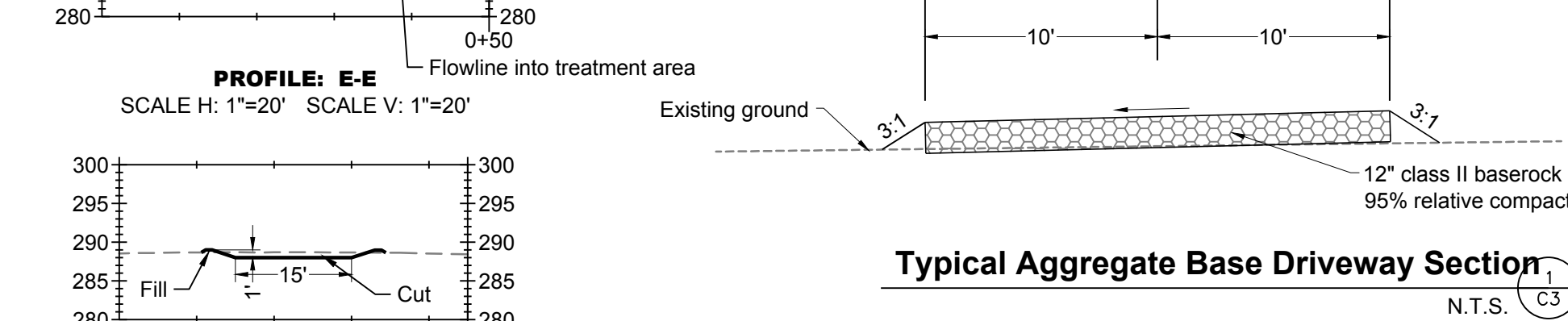
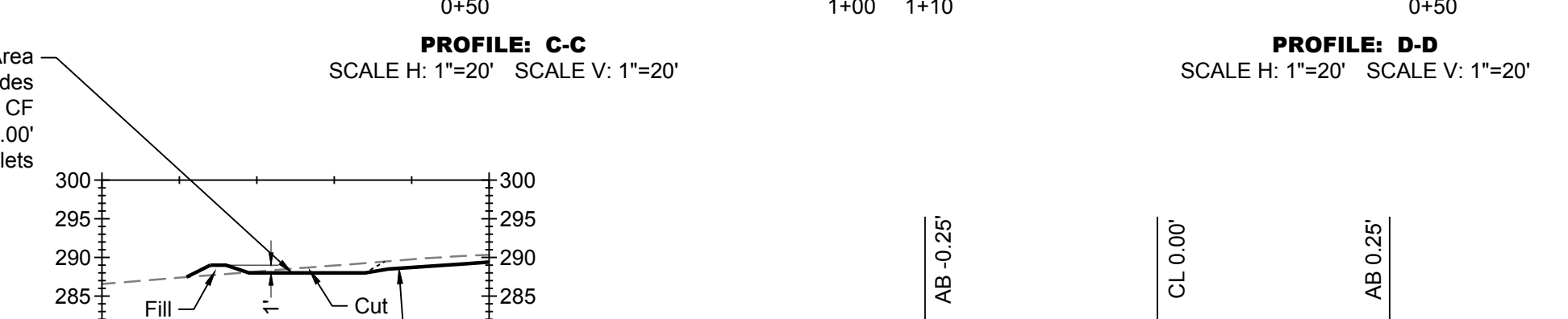
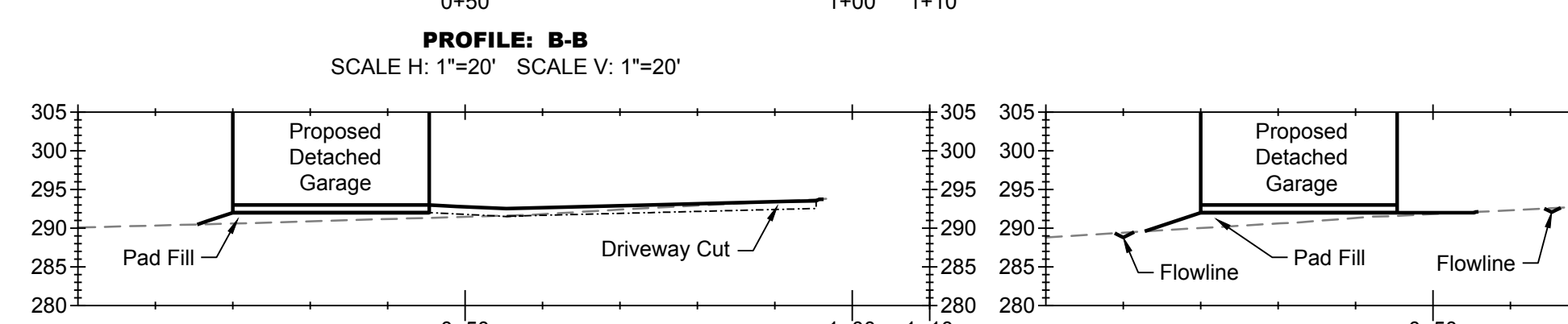
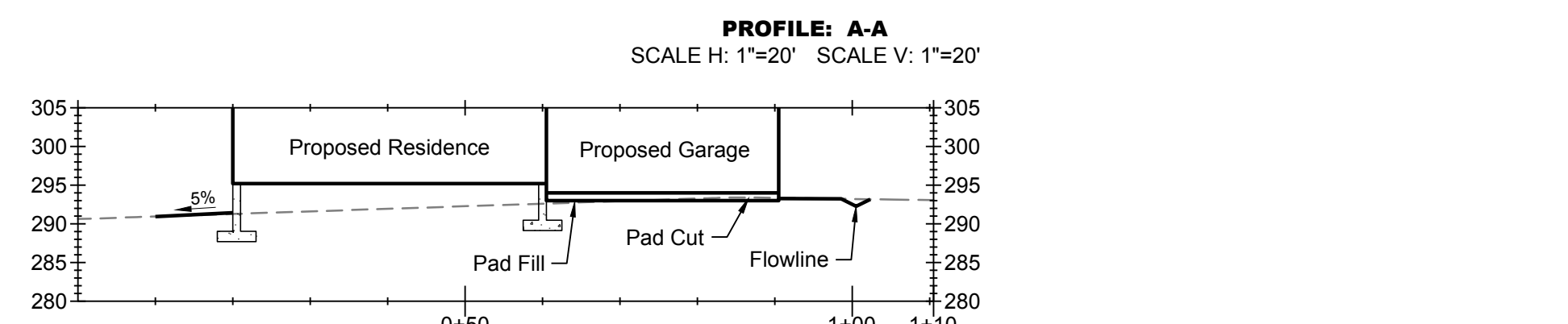
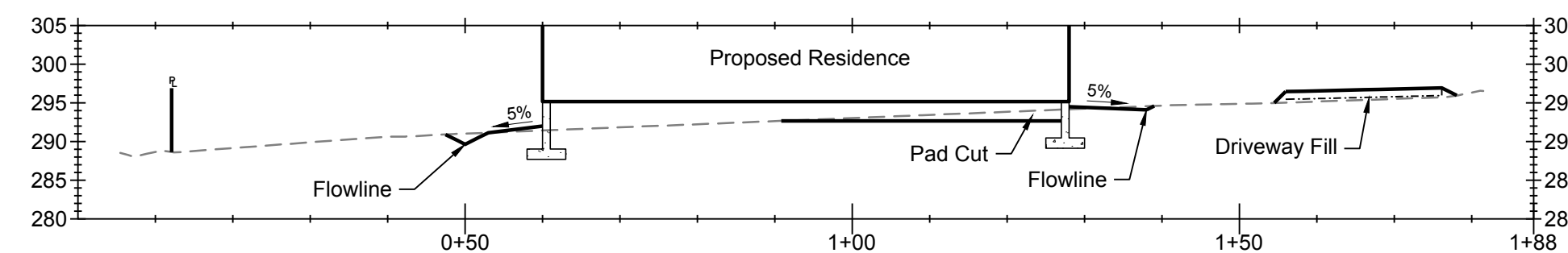
$V = \frac{A_1 + A_2}{2} \times L$
V = Volume (cubic feet)
A = Area of cut or fill (square feet)
L = Length between stations (feet)



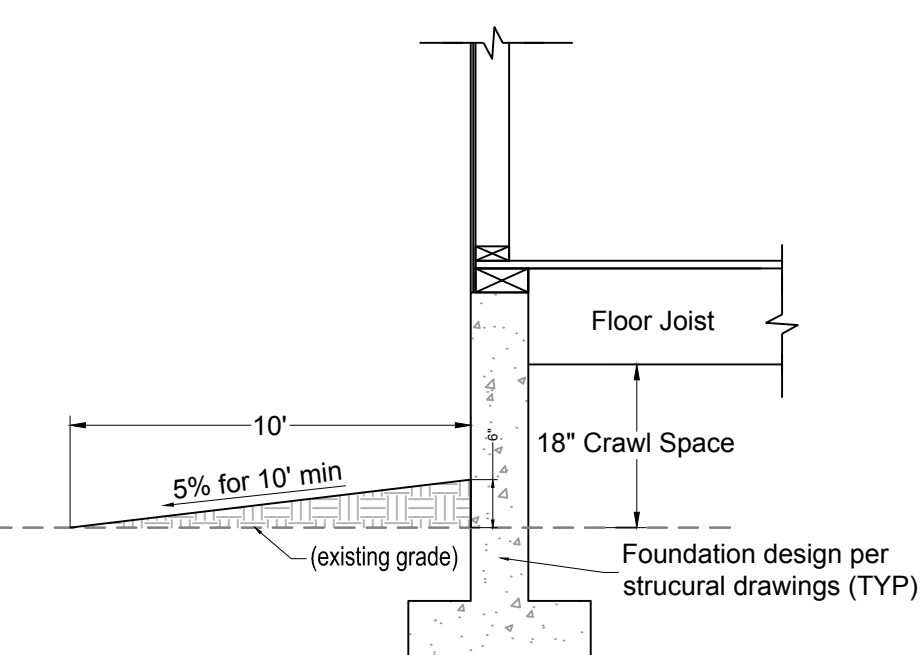
Driveway Volume
Total Cut = 3538.51 cf = 131.06 CY
Total Fill = 523.83 cf = 19.40 CY

Earthwork Quantities				
	Cut	Fill	Max Cut	Max Fill
Residence	44 cy	31 cy	0.00 ft	0.75 ft
Attached Garage	45 cy	32 cy	1.00 ft	1.75 ft
Detached Garage	3 cy	43 cy	0.33 ft	1.25 ft
Exterior Foundation	0 cy	27 cy	0.00 ft	0.50 ft
Driveway	131 cy	19 cy	0.75 ft	0.75 ft
Detention Pond	13 cy	5 cy	1.25 ft	2.00 ft
Drainage Ditches	3.6 cy	0 cy	0.75 ft	0.00 ft
Total	147.6 cy	82 cy		

Note: Total earthwork quantities do not include excavation earthwork from buildings.



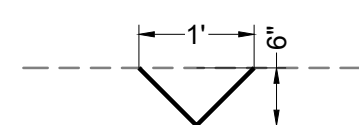
Downspout and Splash Block Detail
N.T.S.



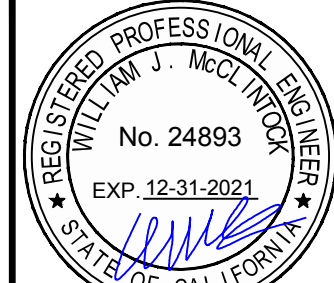
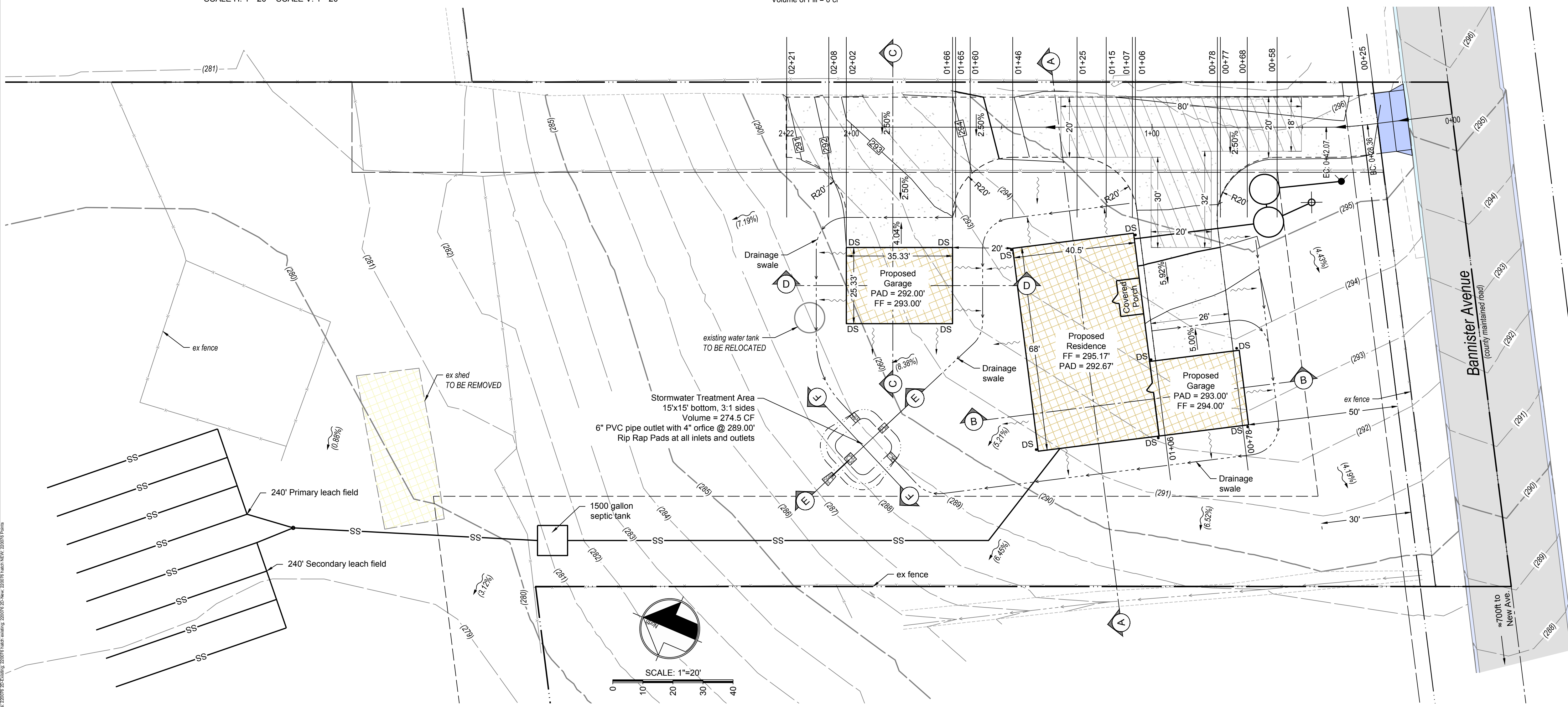
Exterior Foundation Grade @ Structure
N.T.S.

Area of Fill = 2.5 sf.
Length around footings = 290 ft.
Volume of Fill = 725 cf = 26.85 CY

Drainage Swale Calculations



Area of Cut = .25 sf.
Length of Ditch = 388 ft.
Volume of Cut = 97 cf = 3.6 CY



3/11/2021

MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037

Grading Calculation, Profile, & Sections
Bannister Avenue - APN 830-16-022/026

DATE: 3/11/2021
SCALE: As Noted
DRAWN BY: DF
CHECKED BY: WJM
JOB NO: 220076
SHEET 2
OF 2