

# 2483 MOUNT PLEASANT ROAD SAN JOSE, CA 95148

BUILDING PERMIT SET



2807/2020 08:07:43

# 2483 MOUNT PLEASANT ROAD SAN JOSE, CA 95148

## BUILDING PERMIT SET



2807/2020 08:07:43

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Phone

# 2483 MOUNT PLEASANT ROAD SAN JOSE, CA 95148

## BUILDING PERMIT SET

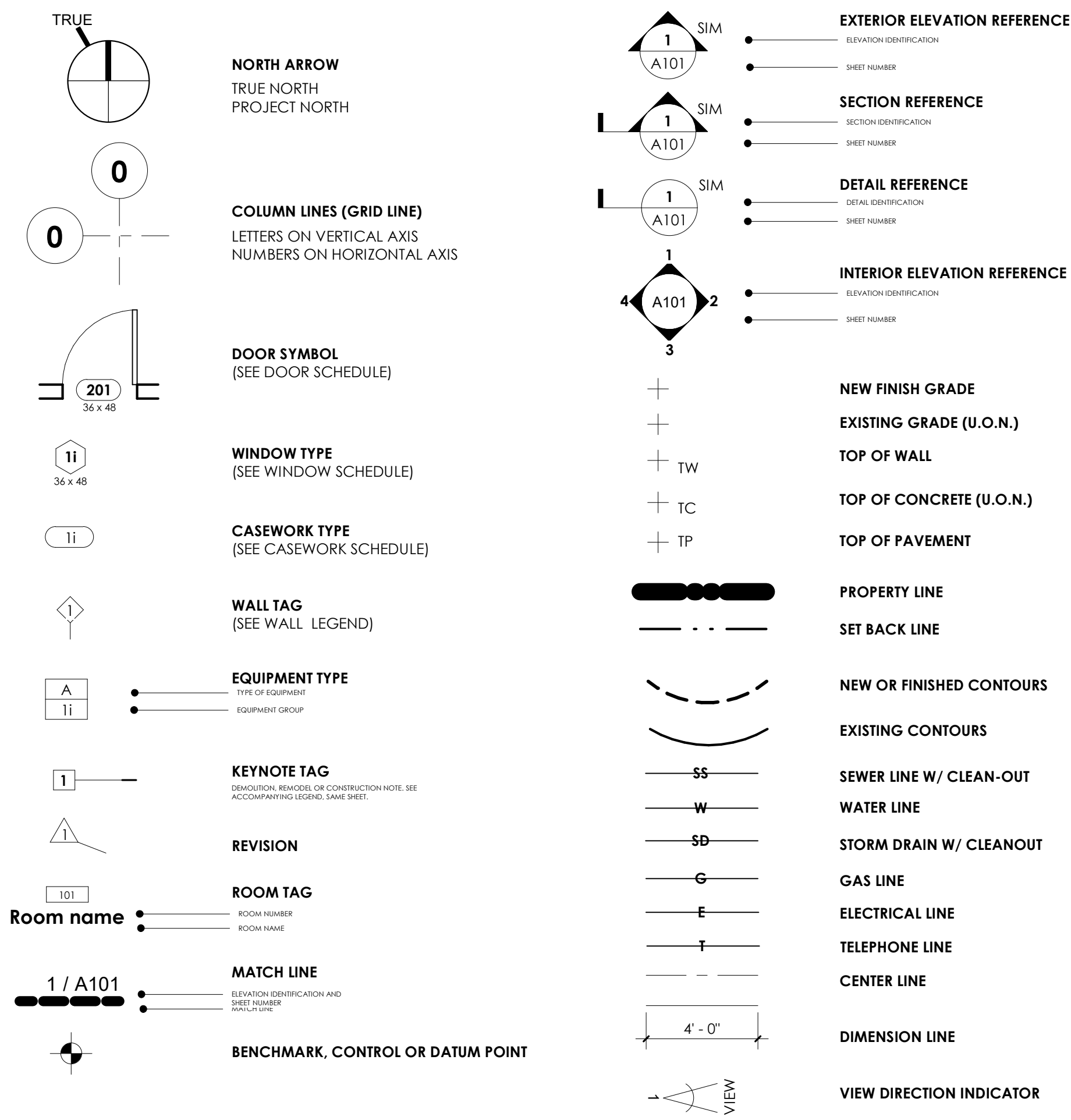


2807/2020 08:07:43

Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker

Scale





## GENERAL NOTES

- 1. DIMENSIONS ON DRAWINGS:** DO NOT SCALE THE DRAWINGS. USE WRITTEN DIMENSIONS. IF CONDITIONS EXIST NOTIFY THE OWNER BEFORE PROCEEDING WITH THE WORK. DIMENSIONS ARE TO THE FACE OF FINISH UNLESS OTHERWISE NOTED.
- 2. COORDINATION OF WORK:** THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL WORK WITH THE OWNER AND ALL TRADES AND COORDINATE ALL ROUTING OF MECHANICAL, ELECTRICAL, AND PLUMBING ITEMS, ROUGH-IN DIMENSIONS AND REQUIRED CLEARANCES OF UTILITIES, APPLIANCES, AND OTHER ITEMS ASSOCIATED WITH THE PROJECT AND THE CONTRACTOR. IF ANY CONFLICTS DO NOT OCCUR, NOTIFY OWNER OF PROBLEMATIC CONDITIONS.
- 3. CONFLICTS IN DOCUMENTS:** NOTIFY OWNER IMMEDIATELY FOR CLARIFICATION SHOULD ANY CONFLICT IN INFORMATION FOUND IN THE DOCUMENTATION BE DISCOVERED.
- 4. CUTTING AND PATCHING:** WHERE WORK REQUIRES CUTTING INTO OR DISRUPTION OF EXISTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING BOTH THE AREA OF WORK AND ITS ADJACENT SURFACES TO MATCH ADJACENT EXISTING SURFACES. PATCHING INCLUDES FINISH PAINTING OF AREA DISRUPTED.
- 5. TEMPORARY SHORING AND UNDERPINNING:** IF REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHORING AND BRACING OF BOTH EXISTING AND NEW WORK AS WELL AS THE NEW WORK TO BE CONSTRUCTED TO THE STABILITY OF THE PROPERTY DRAIN OR INJURY ON SITE OR TO ADJACENT PROPERTIES. SHORING AND UNDERPINNING WORK IS TO BE PERFORMED UNDER SEPARATE PERMIT OBTAINED BY THE GENERAL CONTRACTOR.
- 6. AGENCY INSPECTIONS, AND UTILITY COORDINATION:** THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED CITY AGENCY INSPECTIONS. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL CITY DEPT. OF PUBLIC WORKS (ELECTRICITY, WATER, PHONES, ETC.) SUCH THAT SERVICE TO THE SITE IS EITHER MAINTAINED OR PROVIDED IN A TIMELY MANNER TO THE COMPLETION OF THE WORK. COORDINATE NEW SERVICE LOCATIONS AND CONFIGURATIONS WITH THE APPROPRIATE PROVIDER AND THE OWNER.
- 7. SPECIAL INSPECTIONS AND TESTING:** IF REQUIRED BY THE GOVERNING AGENCIES, THE CONTRACTOR SHALL BE REQUIRED TO COORDINATE INSPECTIONS AND TESTING VIA EITHER THE STRUCTURAL ENGINEER OR A LICENSED THIRD-PARTY TESTING AGENCY. THE GENERAL CONTRACTOR IS TO COORDINATE ALL WORK AND GIVE THE OWNER A MINIMUM FIVE DAY NOTICE OF WHEN THE WORK IS TO BE COMPLETED. THE CONTRACTOR SHALL BE RESPONSIBLE TO KEEP ALL REPORTS FOR SUBMITTAL TO AUTHORITIES AT FINAL INSPECTION.
- 8. SITE UTILITIES:** THE CONTRACTOR IS TO CAREFULLY REVIEW ANY EXISTING UTILITIES AND IDENTIFY THOSE THAT REQUIRE RELOCATION WITH REGARD TO THE PROPOSED SCOPE OF WORK. CONTRACTOR IS TO IDENTIFY WHETHER UPDATES ARE REQUIRED TO MEET THE THE CITY OF LOS ANGELES CODE, CALIFORNIA ELECTRICAL SERVICE, MAIN PANEL AND SUB-PANELS, WATER AND HVAC ARE ADEQUATE FOR THE PROPOSED SCOPE OF WORK.
- 9. PROTECTION OF PROPERTY:** PROTECT THE ADJACENT PROPERTIES AND IMPROVEMENTS FROM ALL DISTURBANCES AND DAMAGE. DO NOT TRESPASS ON NEIGHBORING PROPERTY. IF REQUIRED, SUBMIT WRITTEN REQUEST TO NEIGHBOR(S) WITH COPY TO OWNER AT LEAST 10 DAYS PRIOR TO NEED DATE OF TRESPASS. IF ANY DAMAGE OR DISTURBANCE TO ADJACENT PROPERTY OR IMPROVEMENTS, RESTORE TO PREVIOUS EXISTING CONDITION NO ADDITIONAL COST TO OWNER.
- 10. OWNER'S PROPERTY:** IF OWNER'S FURNISHINGS, DECORATIONS OR OTHER PERSONAL PROPERTY ARE IN THE WAY OF THE NEW WORK, COORDINATE WITH THE OWNER FOR THEIR SAFE PROTECTION, RELOCATION, OR REMOVAL FROM THE JOBSITE PRIOR TO THE START OF THE WORK.
- 11. TEMPORARY BARRIERS:** PROVIDE TEMPORARY BARRIERS TO PROTECT BOTH EXISTING AND NEW WORK FROM COMPLETION FROM DISTURBANCE OF DIRT, DEBRIS OR OTHER DAMAGE. IF ANY DISTURBANCE OR DAMAGE OCCURS, RESTORE TO PREVIOUS CONDITION AT NO COST TO THE OWNER.
- 12. DEBRIS REMOVAL:** MAINTAIN PREMISES AND PUBLIC PROPERTIES FREE FROM ACCUMULATION OF WASTE, DEBRIS AND RUBBISH CAUGHT BY OPERATIONS. LEAVE THE JOBSITE CLEAN AND SECURE AT THE END OF EACH WORKING DAY.
- 13. FINAL CLEANING:** THE WORK INCLUDES FINAL CLEANING AT THE SITE INCLUDING THE INTERIOR AND EXTERIOR OF THE BUILDING. REMOVE ALL DUST AND SURFACES. VACUUM OR MOP ALL FLOORS, WASH AND POLISH GLASS, REMOVE ANY AND ALL PAINT SPOTS ON EXPOSED SURFACES AND REMOVE ALL DEBRIS AND TRASH.
- 14. WARRANTIES:** ALL WORK PERFORMED IS TO BE GUARANTEED AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. ALL DEFECTS MUST BE CORRECTED WITHIN 10 BUSINESS DAYS OF THE REPORTS OR ELSEWHERE IN THE CONSTRUCTION DOCUMENTS. NEATLY ARRANGE ALL PRODUCT MATERIALS, USER MANUALS AND OTHER PERTINENT MATERIALS AND PROVIDE THEM TO THE OWNER AT FINAL COMPLETION OF WORK.
- 15. DOORS AND WINDOWS:** THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING DOOR AND WINDOW COORDINATION:
1. REVIEW ALL DOOR AND WINDOW OPENING SIZES AND LOCATIONS WITH DRAWINGS AND WINDOW SUPPLIER AT SITE PRIOR TO THE COMMENCEMENT OF WORK ON BOTH THE FOUNDATIONS AND THE ROUGH FRAMING. IMMEDIATELY NOTIFY OWNER AND DESIGNER OF ANY DISCREPANCIES BETWEEN THE DOOR AND WINDOW OPENING SIZES AND LOCATIONS WITH THE DRAWINGS AND OPENINGS SHOWN ON THE ARCHITECTURAL DRAWINGS AND THOSE AT THE FOUNDATIONS AND FRAMING AS DESCRIBED IN THE STRUCTURAL DRAWINGS.
2. COORDINATE ALL DOOR AND WINDOW OPENINGS WITH DRAWINGS AND WINDOW SUPPLIER. SUBMIT COPY OF WINDOW ORDER TO OWNER FOR REVIEW PRIOR TO PROCEEDING WITH ORDER.
3. VERIFY THAT WINDOWS TO BE USED FOR EGRESS PURPOSES MEET THE MINIMUM REQUIREMENTS SET FORTH IN THE BUILDING CODE, PROVIDE FIRE RATINGS AND TEMPERED GLASSING AS REQUIRED BY THE DRAWINGS OR AS SET FORTH IN THE BUILDING CODE. COORDINATE ALL DOOR AND WINDOW ASSEMBLIES TO INSURE A WEATHER-TIGHT CONDITION.

# DEMOLITION NOTES

1. DEMOLITION DRAWINGS ARE SCHEMATIC. REMOVE ALL WORK AS INDICATED AND AS REQUIRED TO COMPLETE NEW CONSTRUCTION AS INDICATED. REFER TO CIVIL ENGINEERING, LANDSCAPE, MECHANICAL AND ELECTRICAL DRAWINGS FOR FEATURES NOT OTHERWISE SHOWN.
2. NOTES AND SYMBOLS ARE TO APPLY TO ALL AREAS OF SIMILAR GRAPHIC REPRESENTATION. ANYTHING NOT SPECIFICALLY MAY BE LIMITED TO PROMOTE CLARITY OR AVOID REDUNDANCY. NO LIMITATION OF APPLICATION SHALL BE CONSTRUED WITHOUT SPECIFIC NOTATION.
3. NOTIFY LOCAL AGENCY HAVING JURISDICTION PRIOR TO STARTING DEMOLITION WORK. COMPLY WITH ALL AGENCY REQUIREMENTS.
4. OWNER WILL REMOVE FURNITURE, STORED MATERIALS AND MOVABLE EQUIPMENT IN THE AREA OF WORK PRIOR TO START OF DEMOLITION.
5. VERIFY EXISTING CONDITIONS AND INVERT ELEVATIONS OF UNDERGROUND UTILITIES PRIOR TO DEMOLITION. NOTIFY DESIGNER OF DISCREPANCIES AND REQUEST DIRECTION.
6. PROVIDE ALL SHORING, BRACING AND SUPPORTS REQUIRED TO PREVENT SETTLEMENT OR DISPLACEMENT.
7. DISCONNECT ALL AFFECTED UTILITIES PRIOR TO STARTING DEMOLITION WORK.
8. NEATLY CUT AND REMOVE SURFACES AND FINISHES AS REQUIRED OR TO A NATURAL POINT OF FAILURE TO ENABLE INSTALLATION OF UTILITIES OR OTHER CONCEALED WORK, WHETHER SPECIFICALLY SHOWN OR INFERRED FOR SUPPORT OR RENOVATION.
9. PROTECT EXISTING WORK DESIGNATED TO REMAIN FROM DAMAGE DUE TO DEMOLITION AND RECONSTRUCTION WORK.
10. REPAIR AND REPLACE ALL EXISTING SURFACES AND FINISHES TO MATCH EXISTING UNDISTURBED WORK.
11. PAY ALL ABANDONED UTILITIES BEHIND FACE OF NEW FINISHES, INCLUDING FINISH GRADE OR PAVING, RECORD ALL LOCATIONS ON RECORD DOCUMENTS.
12. SEE STRUCTURAL DRAWINGS FOR DEMOLITION OF SHEAR WALLS, INTERIOR PARTITIONS, TRENCHES FOR INSTALLATION OF UNDERGROUND UTILITIES.
13. SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR DEMOLITION OF ITEMS NOT OTHERWISE INDICATED, INCLUDING UNDERGROUND OR CONCEALED UTILITIES AND SERVICES.
14. ALL DEMOLISHED MATERIALS ARE THE PROPERTY OF THE CONTRACTOR, EXCEPT FOR SUCH ITEMS AS THE OWNER WISHES TO CLAIM. STOCKPILE THESE ITEMS ON THE SITE AS DIRECTED BY THE OWNER.
15. REMOVE DEMOLISHED MATERIALS FROM SITE AND DISPOSE OF IN A LEGAL MANNER USING LOCAL RECYCLING FACILITIES.
16. REMOVE ALL EXISTING NAILS, TACKS, STAPLES, HANGER WIRES, SIGNAL WIRES, CABLES AND ALL OTHER ITEMS FROM SURFACES TO REMAIN. PREPARE ALL REMAINING SURFACES / SUBSTRATE TO RECEIVE INDICATED FINISHES.
17. REMOVE AND STORE DESIGNATED EQUIPMENT / MATERIALS FOR RE-INSTALLATION AS INDICATED.
18. SELECTIVE DEMOLITION INDICATED IN THESE CONTRACT DOCUMENTS EXCLUDES REMOVAL OF HAZARDOUS MATERIALS AND TOXIC SUBSTANCES.
19. PRIOR TO START OF WORK, REFER TO HAZARDOUS MATERIALS SURVEY OR ABATEMENT DOCUMENTATION. HAZARDOUS MATERIALS MAY BE PRESENT ON THE SITE OR IN EXISTING CONSTRUCTION. THESE CONTRACT DOCUMENTS DO NOT CONTAIN MEASURES OR PRECAUTIONS FOR HAZARDOUS MATERIALS ABATEMENT.
20. IF HAZARDOUS MATERIALS ARE DISCOVERED OR SUSPECTED DURING DEMOLITION OPERATIONS, STOP WORK AND NOTIFY OWNER'S REPRESENTATIVE FOR INSTRUCTIONS IMMEDIATELY. TAKE MEASURES TO PROTECT WORKERS AND PUBLIC. DIRECT ALL QUESTIONS ABOUT HAZARDOUS MATERIALS TO THE OWNER'S REPRESENTATIVE.
21. COORDINATE DEMOLITION WITH WORK OF HAZARDOUS MATERIAL ABATEMENT WORK AS DIRECTED BY OWNER.

## PROJECT DATA

**ASSESSOR'S PARCEL NUMBER:**

**ZONING DISCTICT:**

**TYPE OF CONSTRUCTION:**

**USE:**

### FLOOR AREA CALCULATIONS (EXISTING & PROPOSED)

EXISTING FLOOR AREA  
LEVEL 1 (EXCLUDING GARAGE) = 1743 SF  
LEVEL 1(GARAGE ONLY)= 532SF  
LEVEL 2 = 618 SF  
TOTAL EXISITING FLOOR AREA = 2893 SF

PROPOSED ADDITIONAL FLOOR AREA  
LEVEL 1 = 177 SF  
LEVEL 2 = 175 SF  
TOTAL ADDITIONAL FLOOR AREA = 352 SF

**TOTAL AREA AFTER CONSTRUCTION: 2893SF + 352 SF= 3245SF**

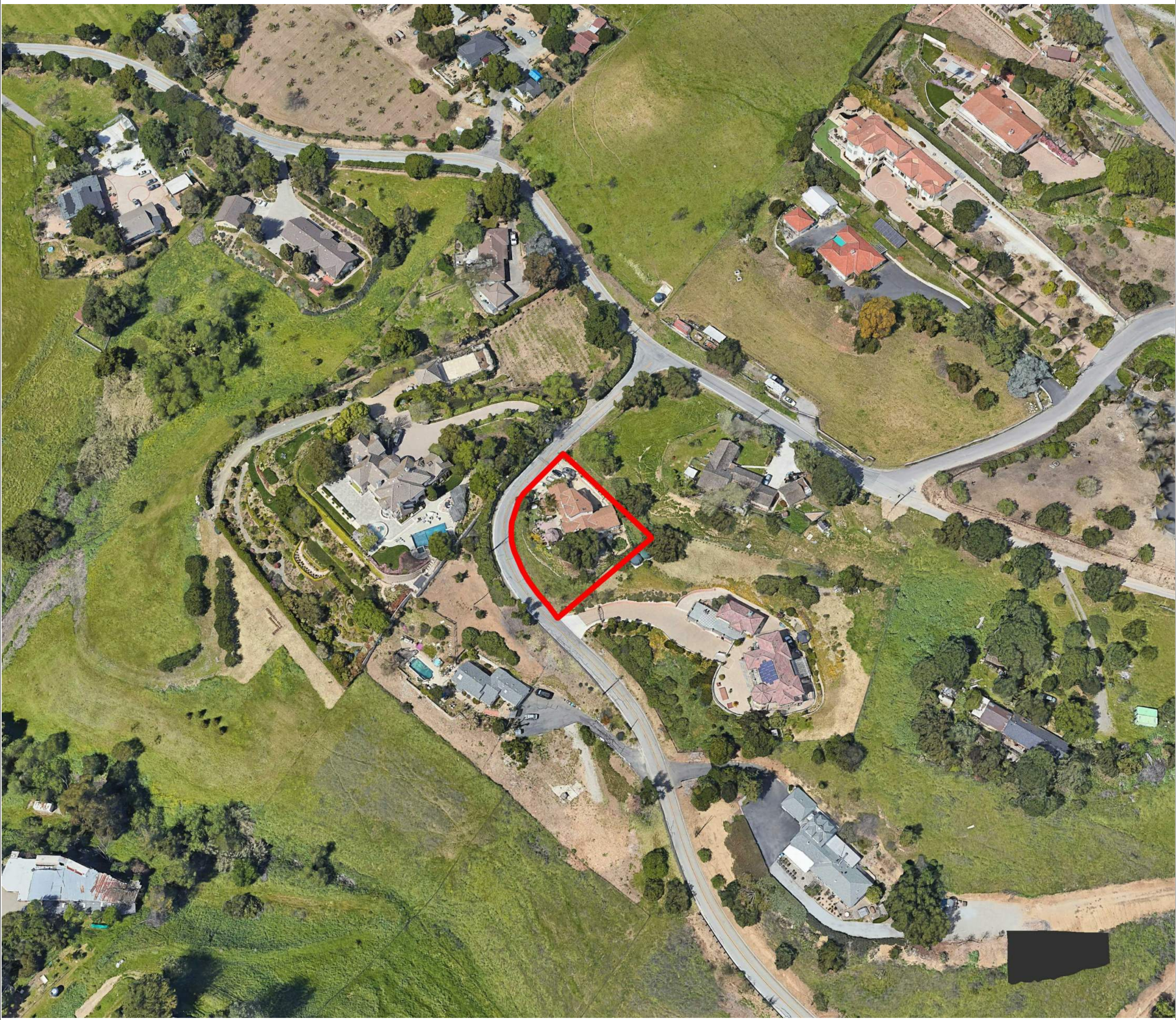
## PROJECT SCOPE

- 1- 177 SF ADDITION TO MAIN ENTRANCE OF THE BUILDING
- 2- 177 SF ADDITION TO SECOND FLOOR MASTER BEDROOM
- 3- CONVERTING EXISTING DINING ROOM TO AN OFFICE UNIT WITH  
NEW BATHROOM AND KITCHENETTE
- 4- CONVERSION OF EXISTING BATHROOM TO NEW LAUNDRY ROOM
- 5- ADDING NEW BATHROOM TO THE FIRST FLOOR
- 6- ADDING NEW KITCHEN TO THE FIRST FLOOR

## APPLICABLE CODE

- |      |                                       |    |
|------|---------------------------------------|----|
| 2019 | CALIFORNIA BUILDING CODE, PART 2      |    |
| 2019 | CALIFORNIA RESIDENTIAL CODE, PART 2.5 |    |
| 2019 | CALIFORNIA ELECTRICAL CODE, PART 3    |    |
| 2019 | CALIFORNIA MECHANICAL CODE, PART 4    |    |
| 2019 | CALIFORNIA PLUMBING CODE, PART 5      |    |
| 2019 | CALIFORNIA ENERGY CODE, PART          | 11 |

## SITE CONTEXT



SHEET INDEX	
Sheet Number	Sheet Name
A000	COVERSHEET
A001	GENERAL NOTES, SHEET INDEX & ABBREVIATIONS
A002	SITE PLAN
A003	1959 SURVEY AND MAP FROM OFFICE OF ASSESSOR
A004	NEW ADDITION ENCROACHMENTS
A100	LEVEL 1&2- EXISTING PLANS
A101	LEVEL 1&2- DEMOLITION PLANS
A102	LEVEL 1&2- NEW PLANS
A103	ELEVATIONS
A104	SECTION
A105	ENLARGED PLANS AND INTERIOR ELEVATIONS
A106	PERSPECTIVES
A107	PERSPECTIVES
A108	DOOR AND WINDOW SCHEDULE
E101	REFLECTED CEILING PLAN, ELECTRICAL AND LIGHTING PLANS
P101	PLUMBING PLANS
S1	GENERAL NOTES AND DETAILS
S2	GENERAL NOTES AND DETAILS
S3	FIRST FLOOR FOUNDATION PLAN AND DETAILS
S4	SECOND FLOOR PLAN AND DETAILS
S5	ROOF PLAN AND SECTION
T-101	TITLE 24
T-102	TITLE 24
T-103	TITLE 24
T-104	TITLE 24

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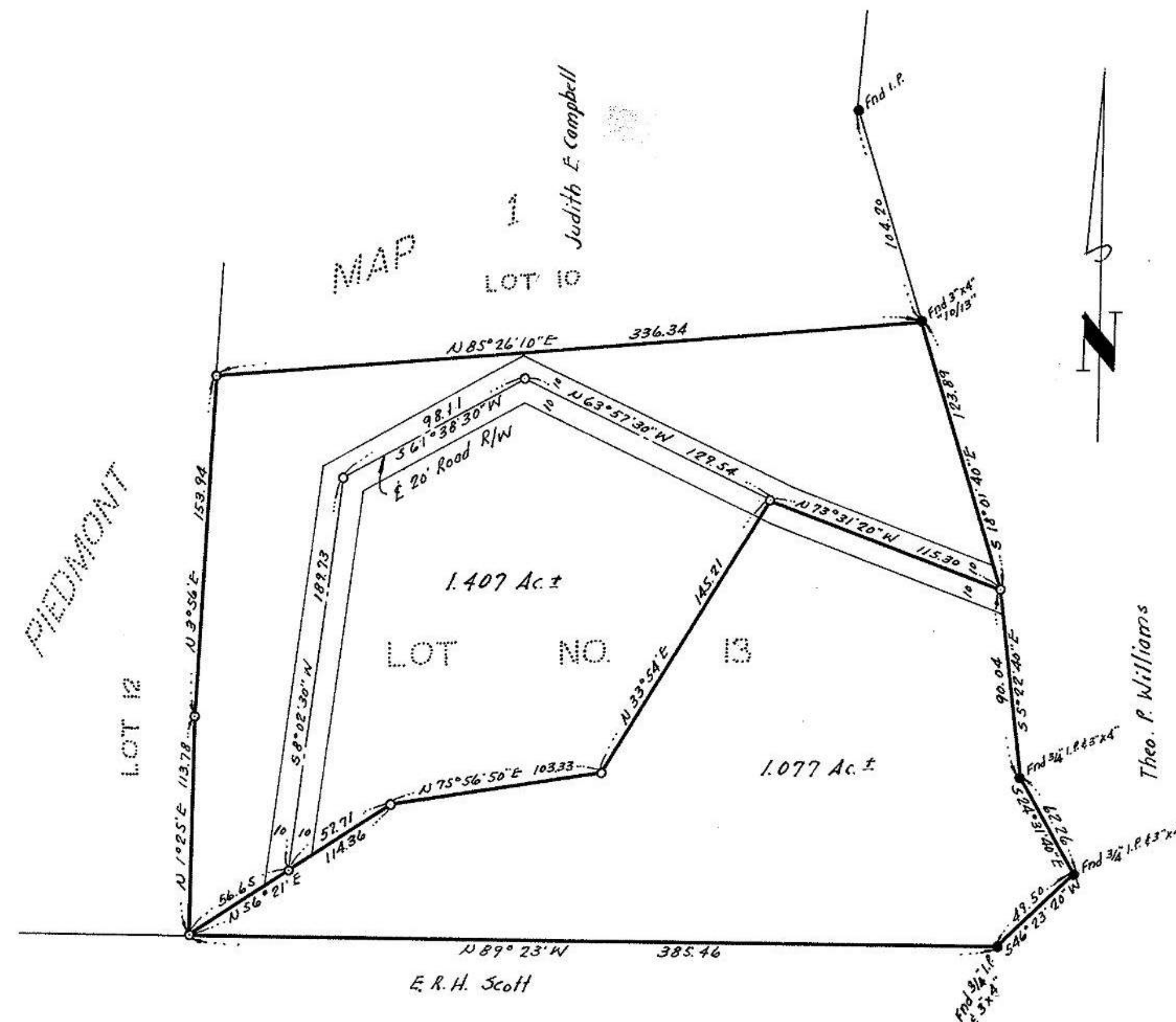
# GENERAL NOTES, SHEET INDEX & ABBREVIATIONS

Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A001	
Scale	1/4" = 1'-0"










This map correctly represents a survey made under my direction in conformance with the requirements of Chapter 15 of Division 3 of the Business and Professions Code at the request of Donald C. McFarland, in April 1959.

Portland, IN April 11, 1934  
  
 Registered Civil Engineer No. 2578

The bearing (N 89° 23' W) of the southerly line of Lot 13 as shown on map of Piedmont, Map No. 1, recorded in Book "M" of Maps at page 99, was used as basis of bearings shown upon this map.

- Indicates iron pipe found, unless otherwise noted.
- Indicates iron pipe set.

This map has been examined for conformance with the requirements of Chapter 15 of Division 3 of the Business and Professions Code this 14 day of May, 1959.

James B. Enchs, County Surveyor

By [Signature] Deputy  
1628656

Filed for record this 8<sup>th</sup> day of May 1959  
at 11:20 AM in Book 106 of Maps, at page 4 of the request  
of Mark Thomas & Co.

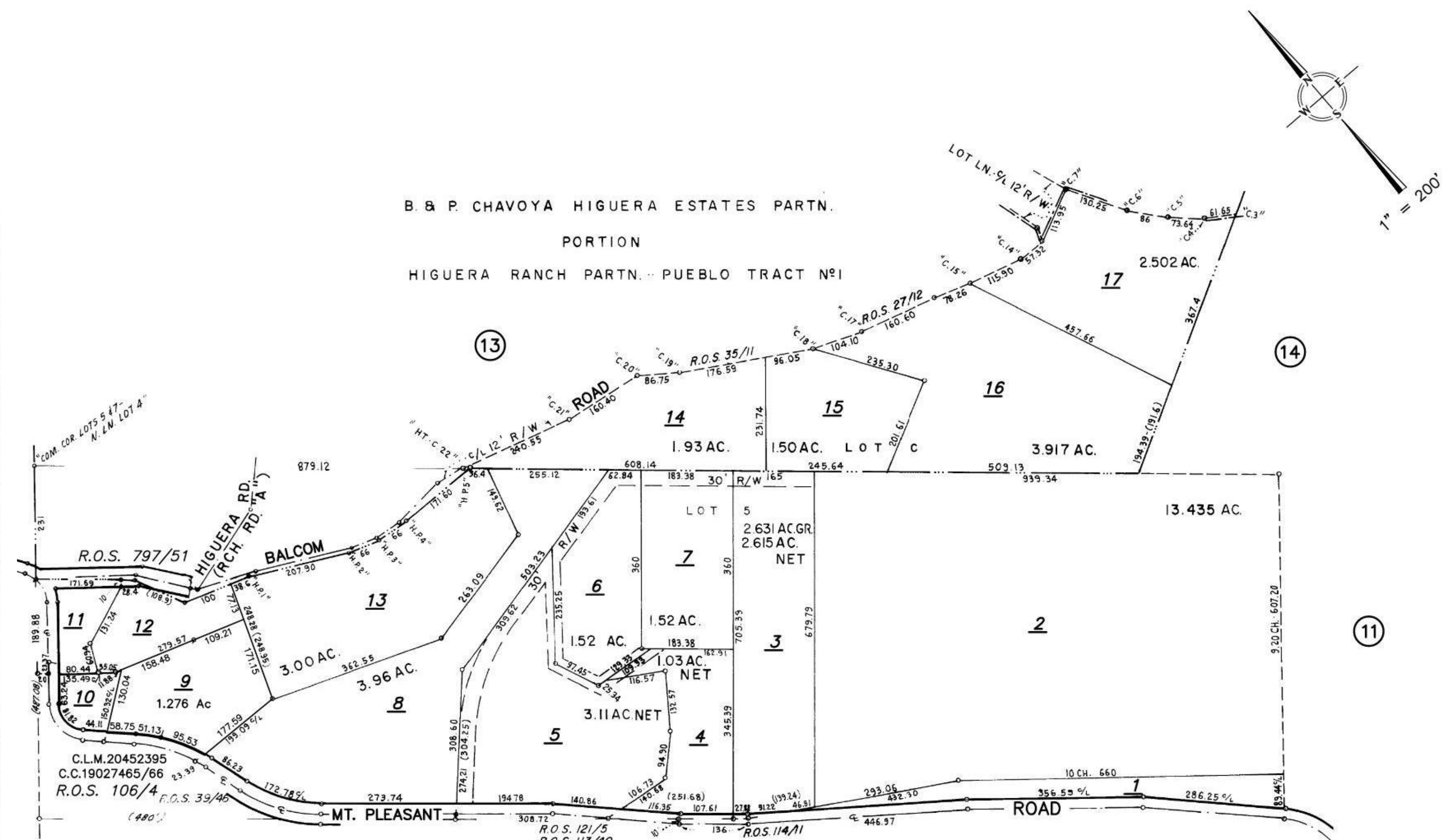
Syl C. Tully, County Recorder

By E. B. Brinn Deputy

# RECORD OF SURVEY

PORTIONS OF LOT 13  
PIEDMONT MAP NO.1  
CITY OF SARATOGA  
SANTA CLARA COUNTY CALIFORNIA  
SCALE 1"=60' APRIL 1959  
DONALD C. MCFARLAND

MARK THOMAS & CO.  
CIVIL ENGINEERS & SURVEYORS  
SAN JOSE CALIFORNIA



MAP FROM OFFICE OF ASSESSOR

$$\frac{652}{5}$$

LAWRENCE E. STONE - ASSESSOR  
Cadastral map for assessment purposes only.  
Compiled under R. & T. Code, Sec. 327.  
Effective Roll Year 2020-2021



This map correctly represents a survey made under my direction in conformance with the requirements of Chapter 15 of Division 3 of the Business and Professions Code at the request of Arnold Steiner in March, 1959.

*Mark Elton*  
Registered Civil Engineer No 2578

The bearing (N88°52'W) of the southerly line of lands of Steiner as shown on Record of Survey Map recorded in Book 39 of Maps, page 46 was used as basis of bearings shown upon this map.

- Indicates iron pipe found.
- Indicates iron pipe set.

This map has been examined for conformance with the requirements of Chapter 15 of Division 3 of the Business and Professions Code this 21st day of Apr. 1959.

James B. Enoch, Acting County Surveyor

By [Signature] Deputy  
1628657

Filed for record this 8<sup>th</sup> day of May 1959 at 11:20 A M  
in Book 106 of Maps, at page 4 at the request of Mark  
Thomas & Co.

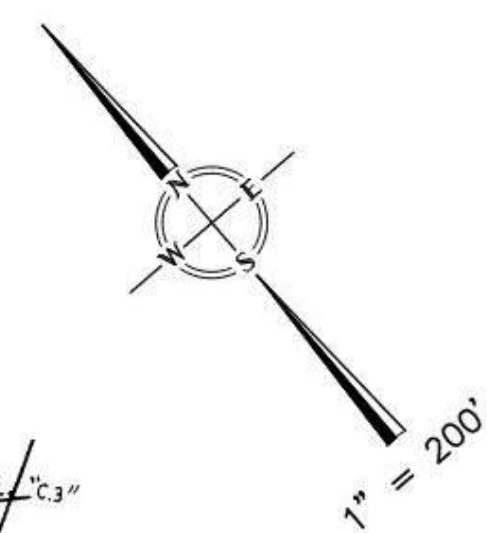
#500 Syl C. Tully, County Recorder

By E. B. O'Brien Deputy

RECORD OF SURVEY  
OF PORTIONS OF LOT 5 OF THE  
HIGUERA PARTITION  
SANTA CLARA COUNTY CALIFORNIA  
FOR  
ARNOLD STEINER  
SCALE - 1" = 60' MARCH, 1959

MARK THOMAS & CO.  
CIVIL ENGINEERS & SURVEYORS  
SAN JOSE CALIFORNIA

BOOK <b>654</b>	PAGE <b>12</b>
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1959 SURVEY AND  
MAP FROM  
OFFICE OF  
ASSESSOR

Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker

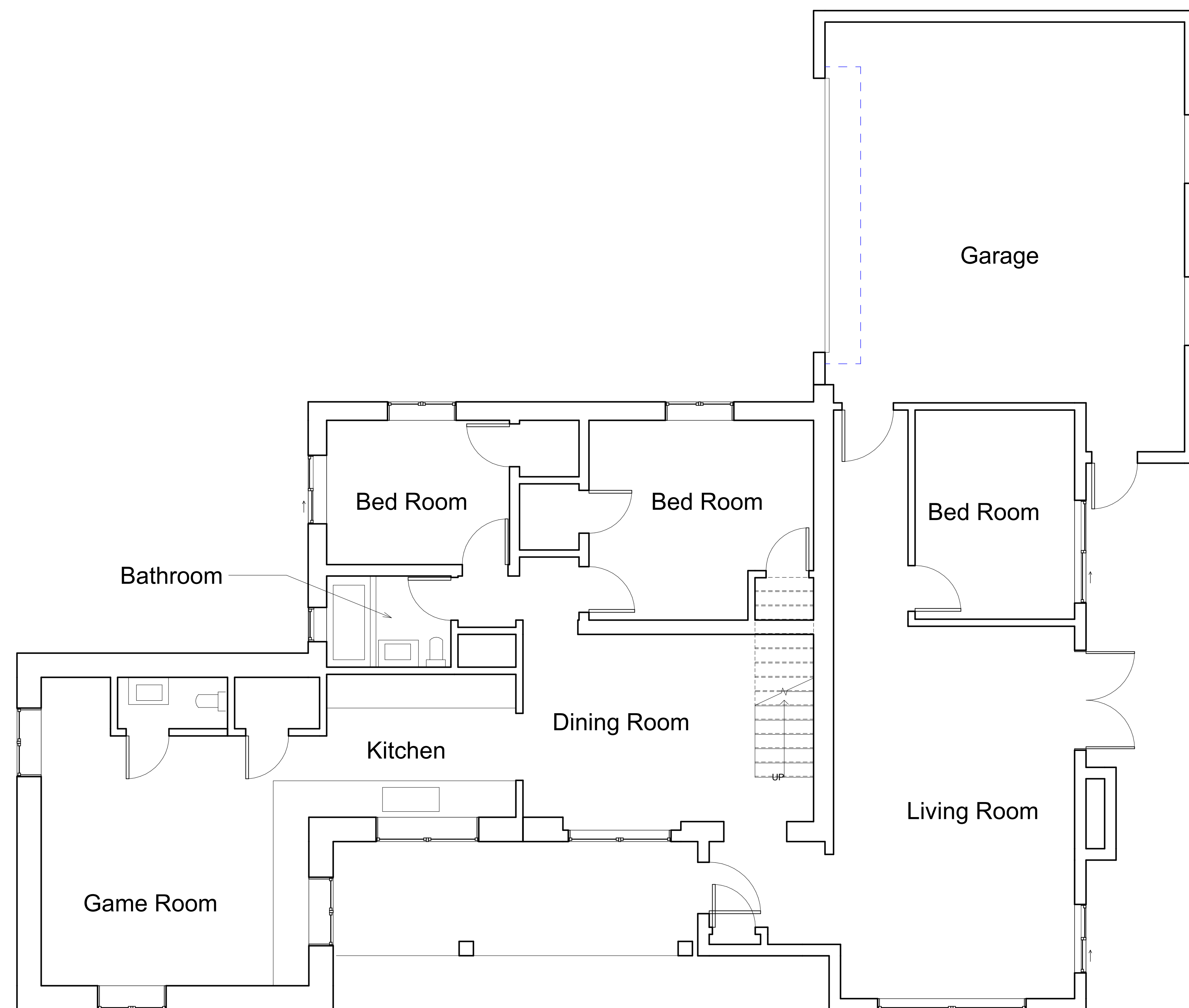
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Scale

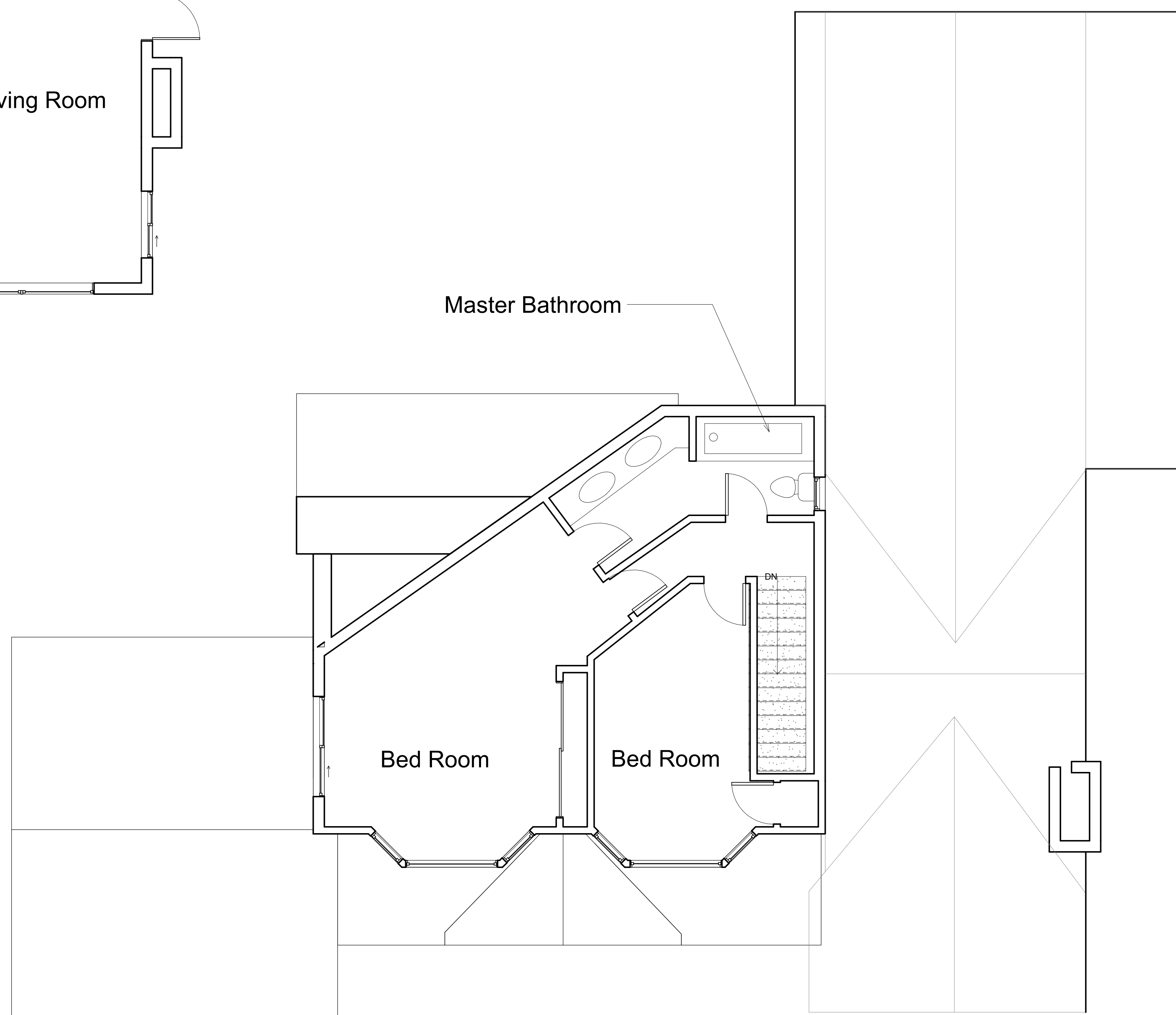








① Level 1-Existing  
1/4" = 1'-0"



② Level 2 - Existing  
1/4" = 1'-0"



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## LEVEL 1&2 - EXISTING PLANS

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Date	Issue Date
Drawn By	Author
Checked By	Checke

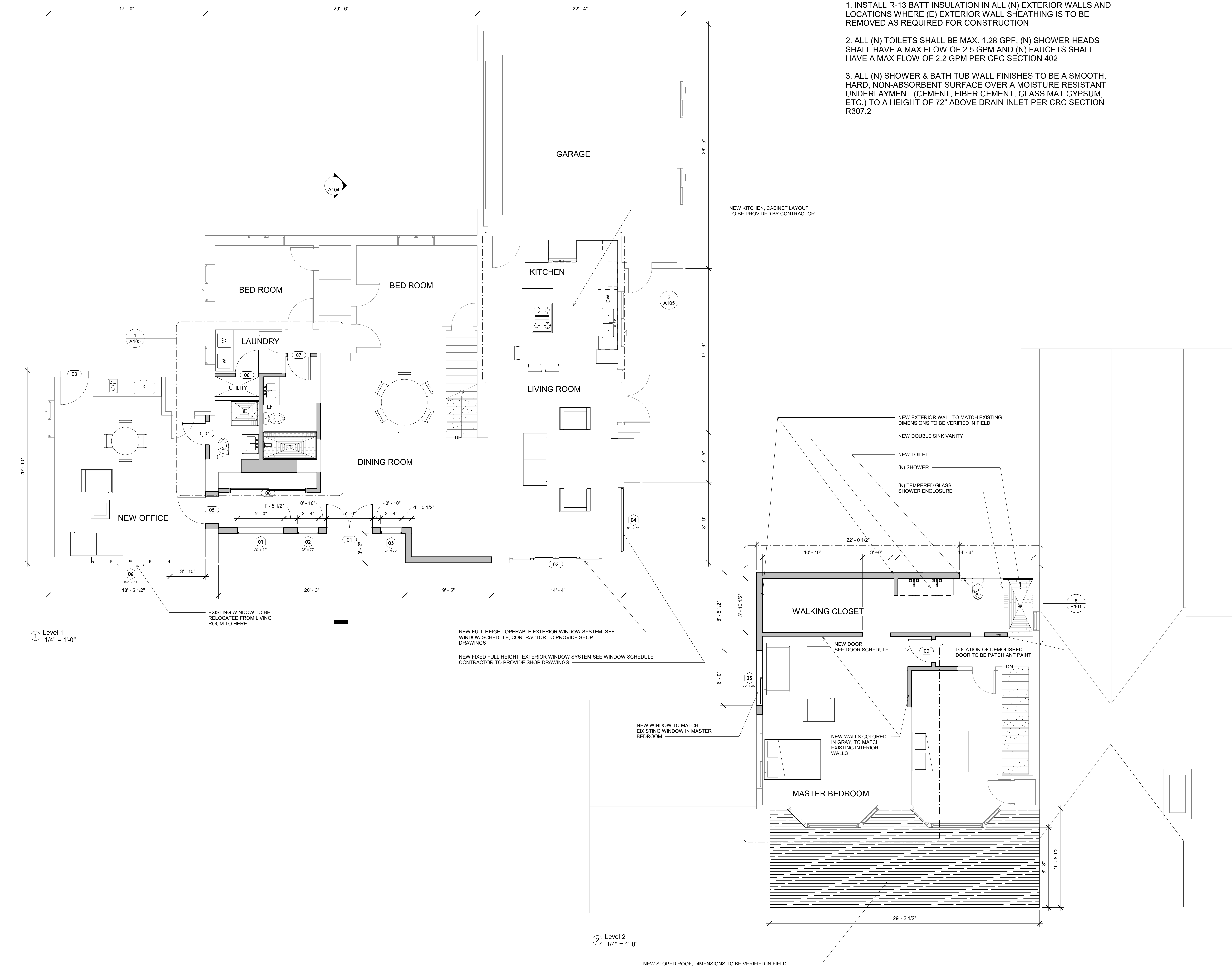
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Scale	1/4" = 1'-0"
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GENERAL NOTES:

1. INSTALL R-13 BATT INSULATION IN ALL (N) EXTERIOR WALLS AND LOCATIONS WHERE (E) EXTERIOR WALL SHEATHING IS TO BE REMOVED AS REQUIRED FOR CONSTRUCTION

2. ALL (N) TOILETS SHALL BE MAX. 1.28 GPF, (N) SHOWER HEADS SHALL HAVE A MAX FLOW OF 2.5 GPM AND (N) FAUCETS SHALL HAVE A MAX FLOW OF 2.2 GPM PER CPC SECTION 402

3. ALL (N) SHOWER & BATH TUB WALL FINISHES TO BE A SMOOTH, HARD, NON-ABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT (CEMENT, FIBER CEMENT, GLASS MAT GYPSUM, ETC.) TO A HEIGHT OF 72" ABOVE DRAIN INLET PER CRC SECTION R307.2

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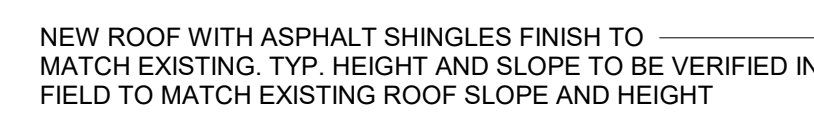
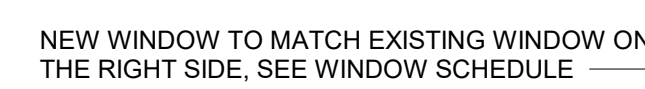
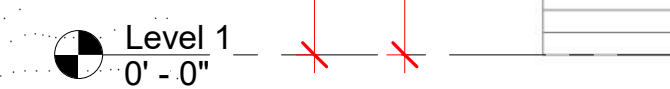
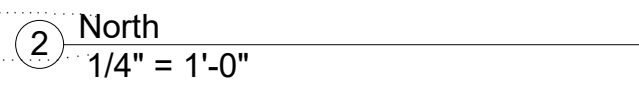
## LEVEL 1&2- NEW PLANS

Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker

A102

Scale	1/4" = 1'-0"
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95148

## ELEVATIONS

Project Number	Project Number
Date	Issue Date
Drawn By	Author
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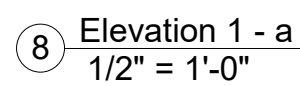
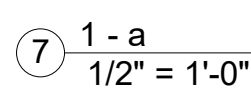
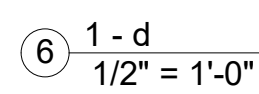
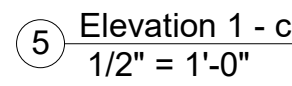
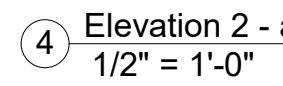
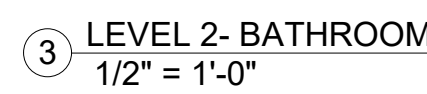
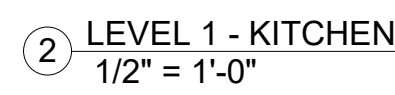
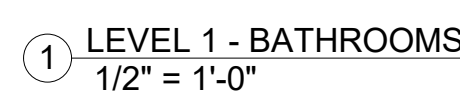
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Scale	1/4" = 1'-0"
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PROVIDED LAYOUTS ARE FOR REFERENCE ONLY. CONTRACTOR TO PROVIDE SHOP DRAWINGS

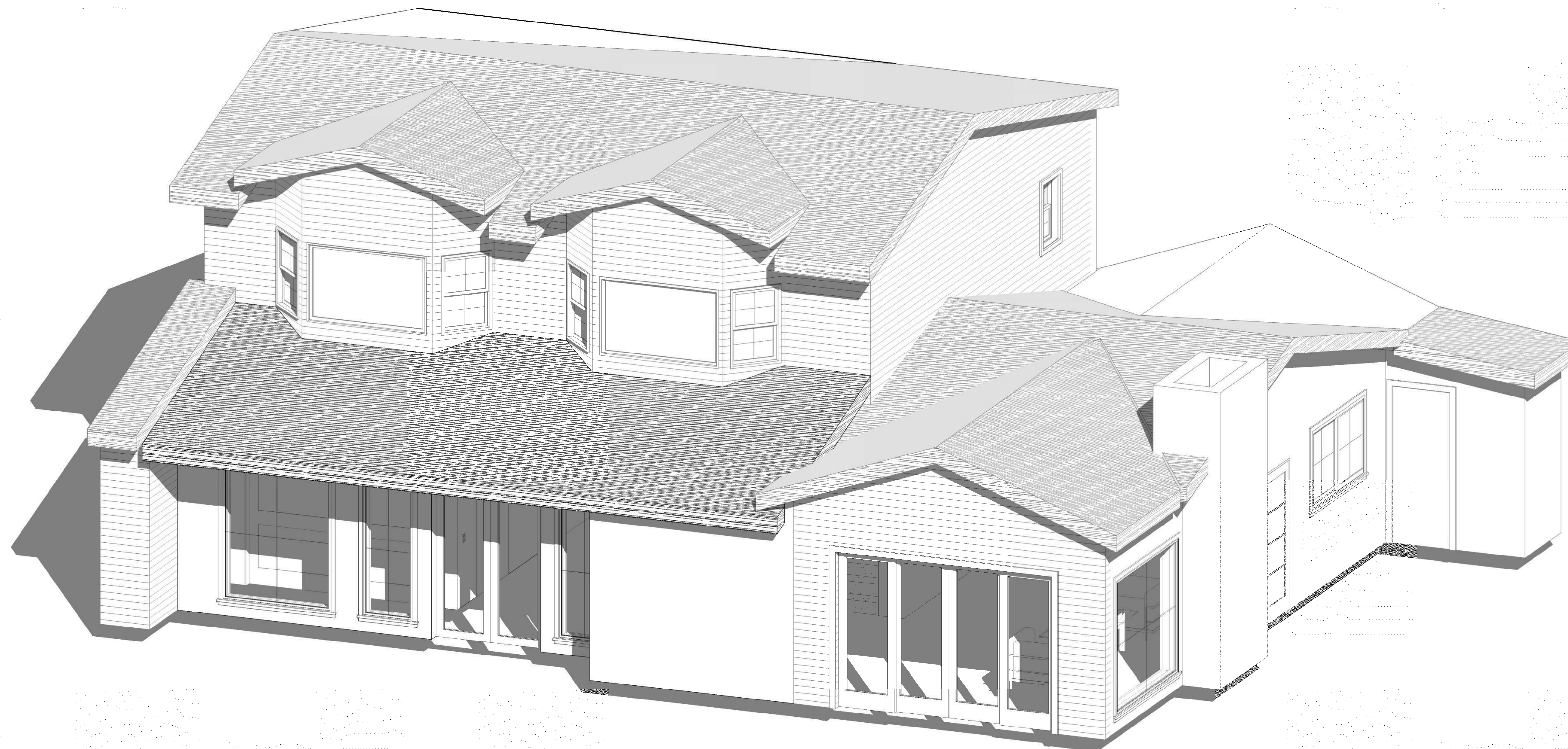
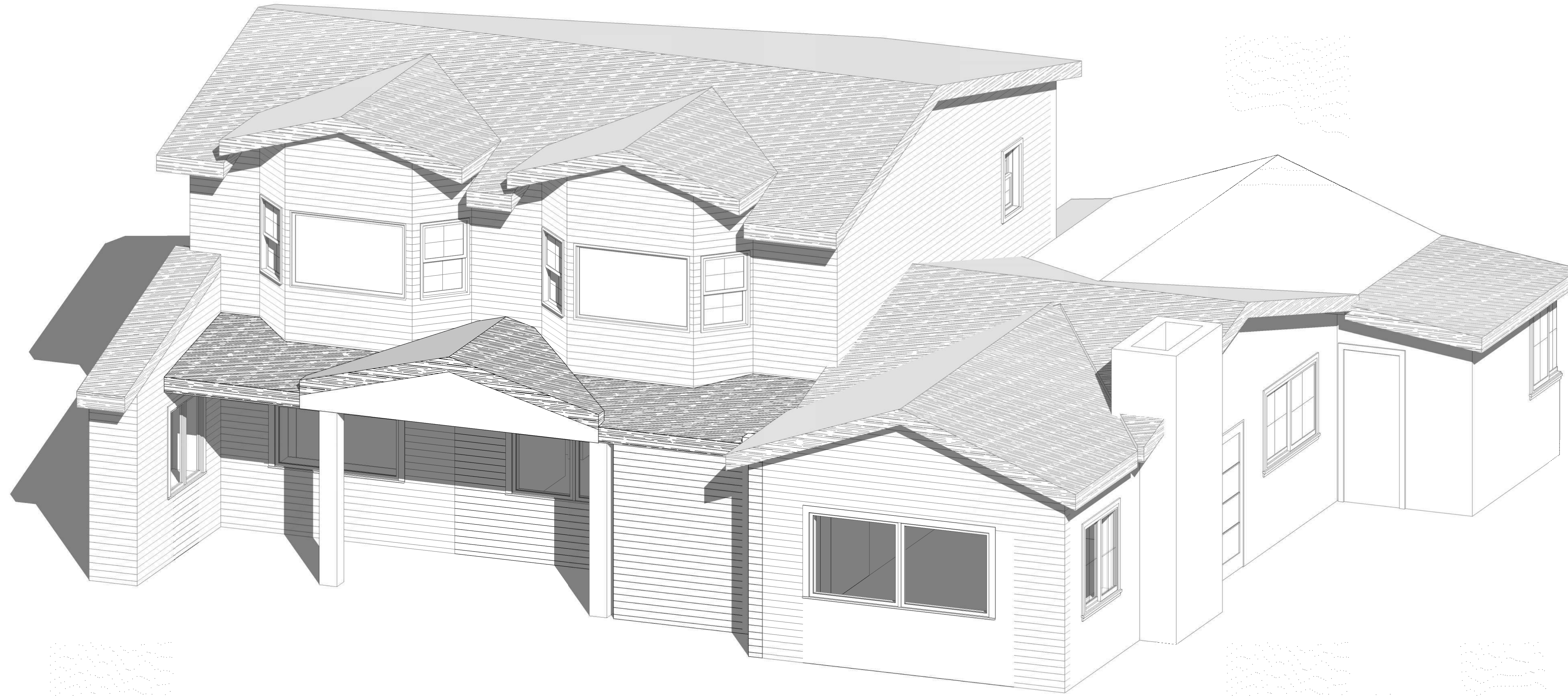
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# ENLARGED PLANS AND INTERIOR ELEVATIONS

# A105

Scale  $1/2" = 1'-0"$





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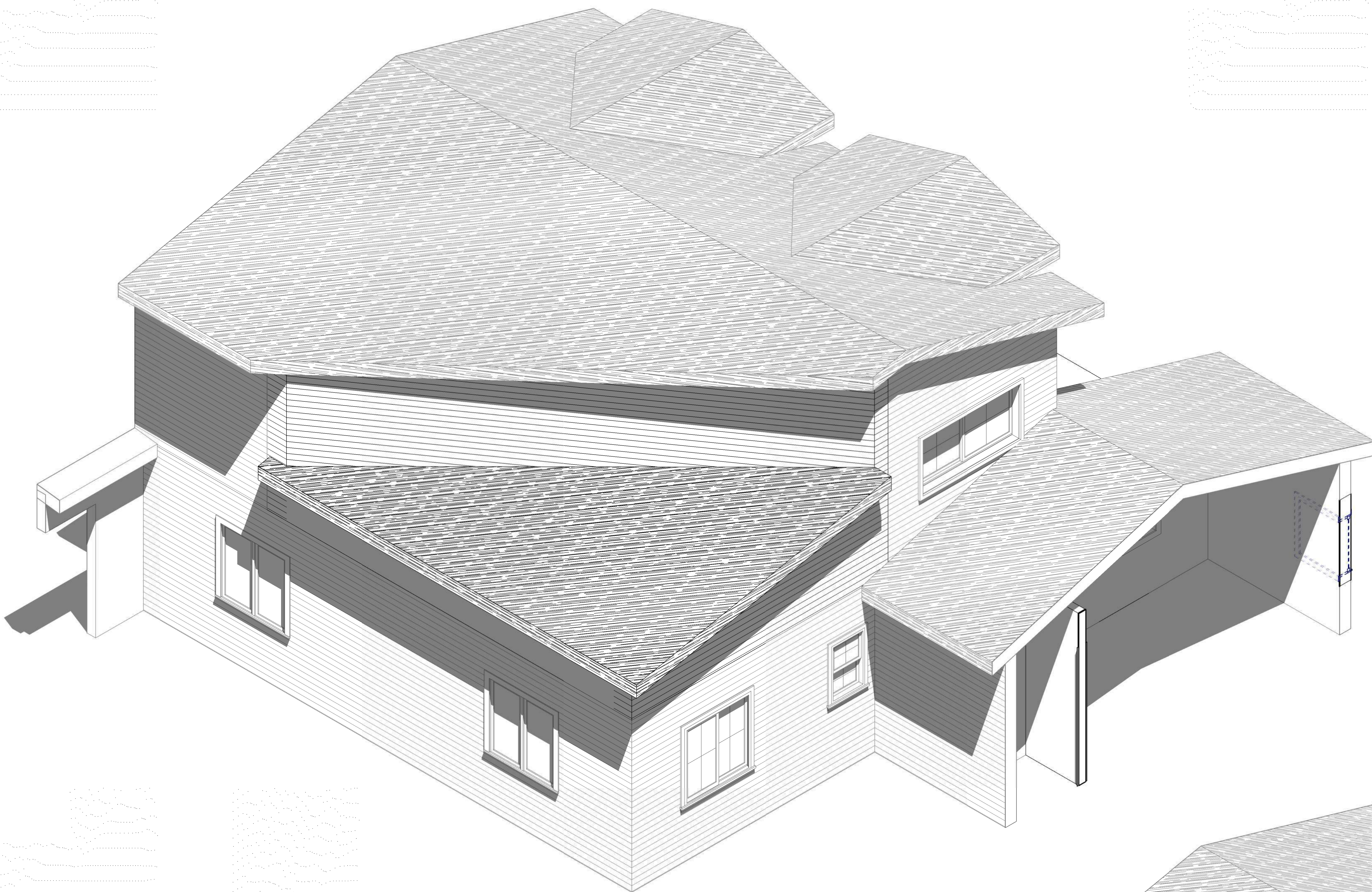
## PERSPECTIVES

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Date	Issue Date
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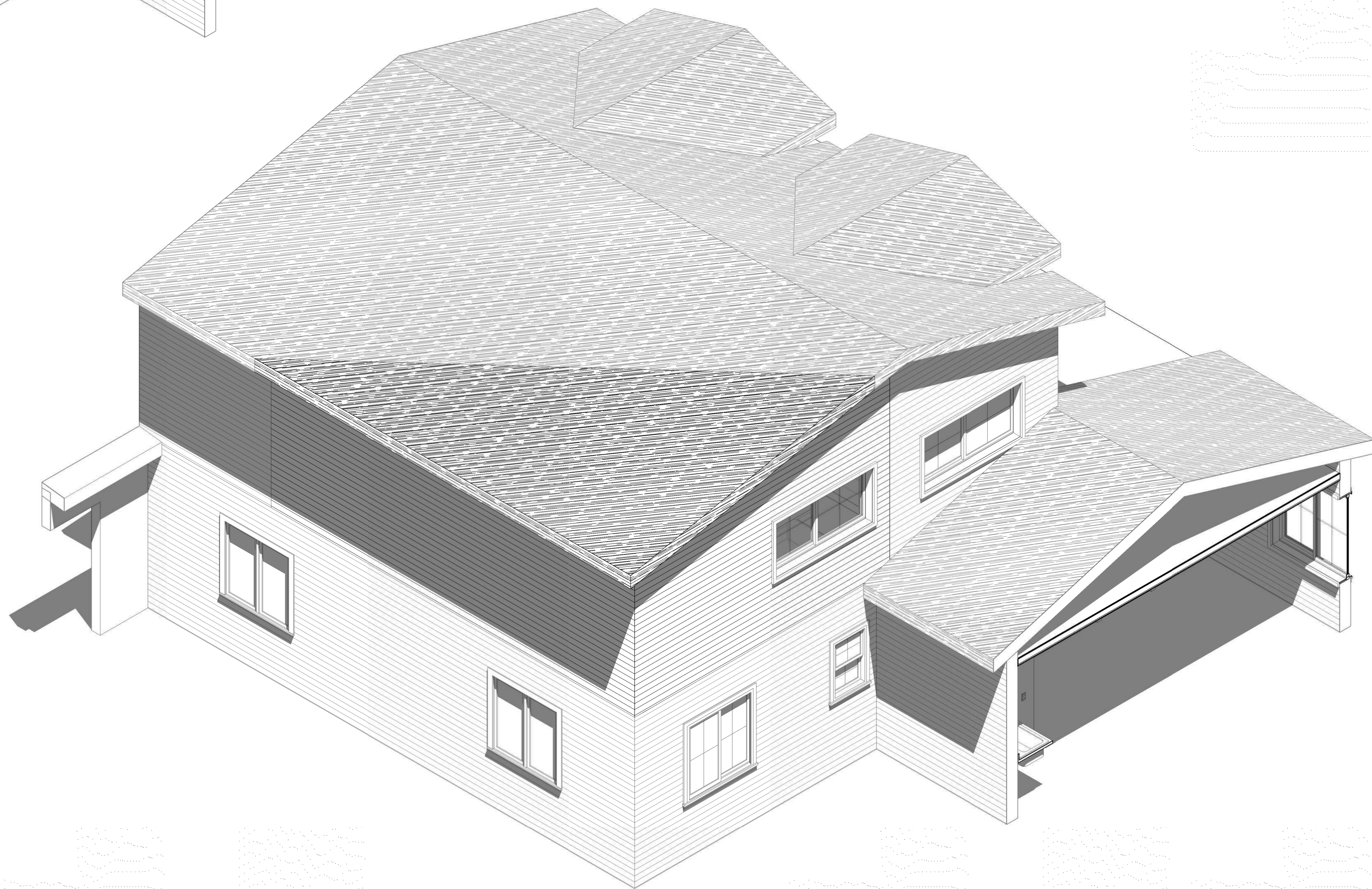
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## 1 MASTER-DEMO



2 MASTER-NEW

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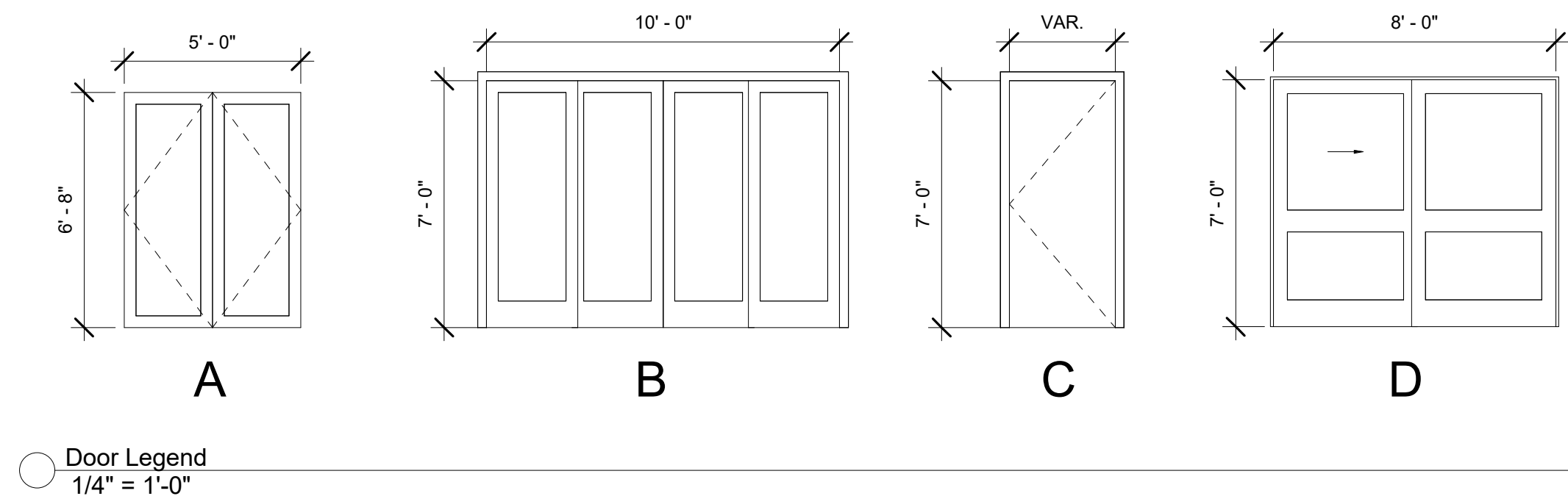
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## PERSPECTIVES

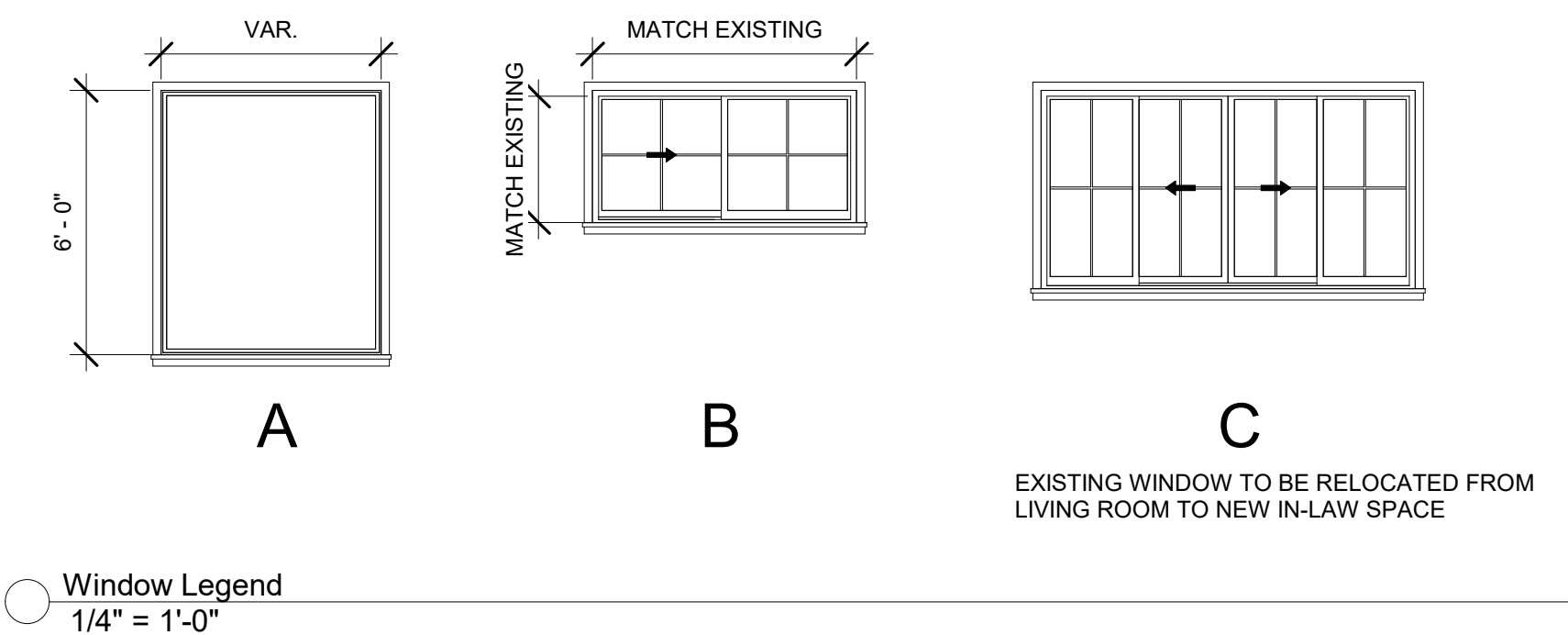
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Door Schedule						
Mark	Level	Door Type	Width	Height	Door Material	Location
01	Level 1	A	5' - 0"	6' - 8"	ALUMINUM/GLASS	MAIN ENTRANCE
02	Level 1	B	10' - 0"	7' - 0"	ALUMINUM/GLASS	MAIN LIVING ROOM
03	Level 1	C	3' - 0"	7' - 0"	WOOD	IN-LAW UNIT ENTRANCE
04	Level 1	C	2' - 6"	7' - 0"	WOOD	IN-LAW UNIT BATHROOM
05	Level 1	C	3' - 0"	7' - 0"	WOOD	IN-LAW UNIT ACCESS
06	Level 1	C	2' - 6"	7' - 0"	WOOD	UTILITY ACCESS
07	Level 1	C	2' - 6"	7' - 0"	WOOD	BATHROOM
08	Level 1	D	8' - 0"	7' - 0"	WOOD	ENTRANCE CLOSET
09	Level 2	C	2' - 6"	7' - 0"	WOOD	MASTER BED ROOM



Window Schedule							
Mark	Level	Window Type	Width	Height	Window Material	Window Location	Comments
01	Level 1	A	5' - 0"	6' - 0"	ALUMINUM	MAIN ENTRANCE	
02	Level 1	A	2' - 4"	6' - 0"	ALUMINUM	MAIN ENTRANCE	
03	Level 1	A	2' - 4"	6' - 0"	ALUMINUM	MAIN ENTRANCE	
04	Level 1	A	7' - 0"	6' - 0"	ALUMINUM	LIVING ROOM	
05	Level 2	B	6' - 0"	3' - 0"	ALUMINUM	MASTER BED ROOM	TO MATCH EXISTING
06	Level 1	C	8' - 6"	4' - 6"	ALUMINUM	IN-LAW UNIT	RELOCATED FROM EXISTING LIVING ROOM



## NEW WINDOWS AND DOORS TO MEET 0.40U/0.25SHGC PER TITLE 24 REPORT

**DOOE AND WINDOW SCHEDULE GENERAL NOTES:**

1. DIMENSIONS SHOWN FOR DOORS ARE FINISHED DIMENSIONS UNLESS OTHERWISE NOTED. CONTRACTOR TO CONFIRM DIMENSIONS REQUIRED AT ROUGH OPENINGS PRIOR TO ORDERING AND INSTALLING DOORS.
2. DIMENSIONS SHOWN AT SLIDING GLASS DOORS ARE ROUGH OPENING DIMENSIONS. CONTRACTOR TO CONFIRM DIMENSIONS IN FIELD PRIOR TO ORDERING AND INSTALLING DOORS.
3. FINISH OF DOOR HARDWARE AND HINGES TO MATCH, TYP.
4. ALL WOOD DOORS TO BE FLUSH, SOLID CORE, U.O.N
5. SAFETY GLAZING: PROVIDE TEMPERED SAFETY GLAZING AT ALL VERTICAL HUMAN IMPACT LOAD LOCATIONS AND "HAZARDOUS LOCATIONS" REQUIRED PER CBC 2406.4. COMPLY WITH ANSI Z97.1 AND LABEL EACH PANE PER CBC 2406.2.
6. TEMPERED PANES: EACH 6MM TEMPERED PANE COMPOSED OF A SINGLE THICKNESS OF TEMPERED GLASS, CLEAR OR TINTED AS INDICATED FOR APPLICATION AND LOCATION IN ASSEMBLIES.
7. EXTERIOR GLAZING: DOUBLE GLAZED SEALED INSULATING GLASS, 24 MM ASSEMBLY COMPOSED OF 2-6MM PANES OF TEMPERED GLAZING PER GLAZING

**FINISH HARDWARE:** PROVIDE FINISH HARDWARE AT ALL OPENINGS OF SPECIFIED DESIGN SUITABLE FOR PROPER FUNCTION OF THE OPENING AS INDICATED. INCLUDE ALL NECESSARY FASTENERS OF HARMONIZING MATERIAL AND FINISH FOR ALL HARDWARE.

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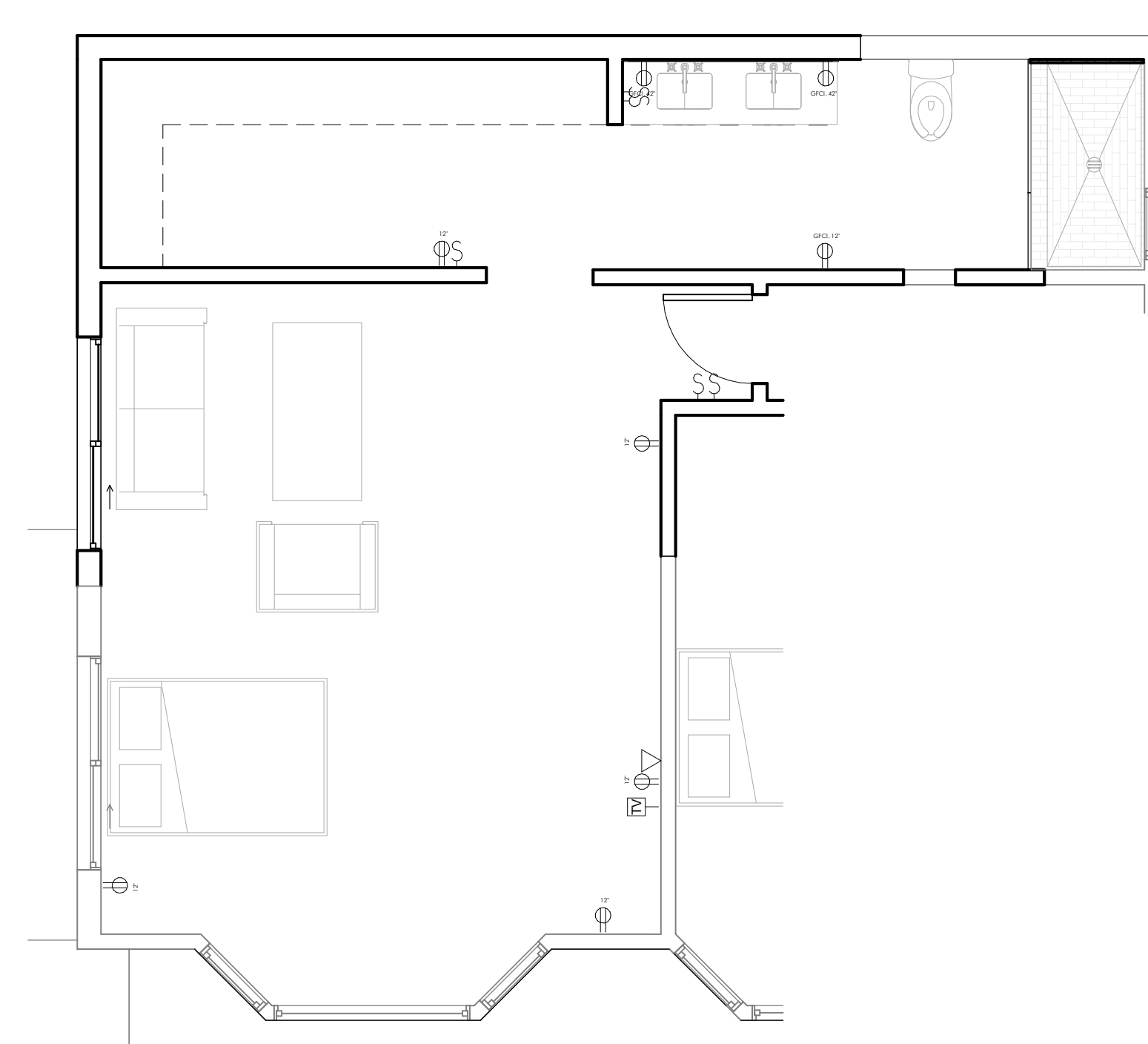
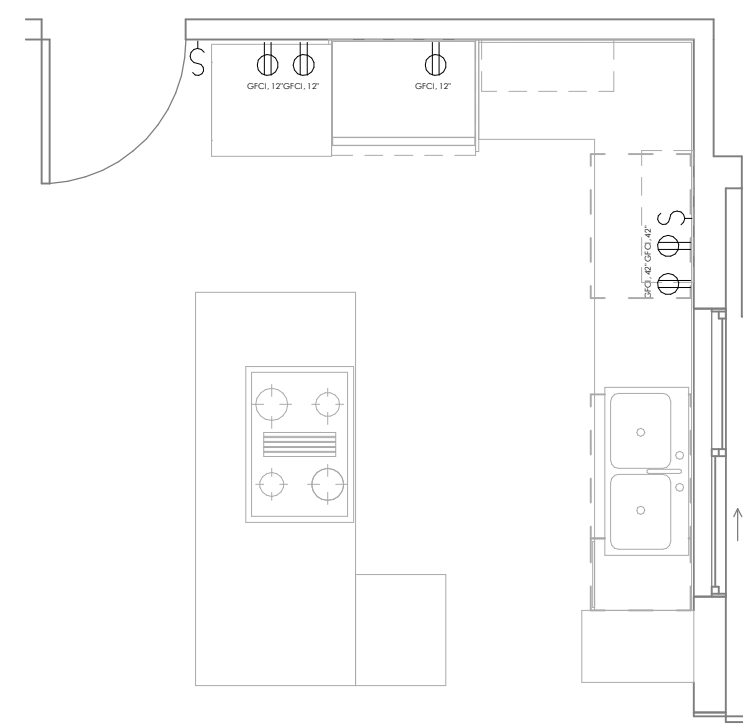
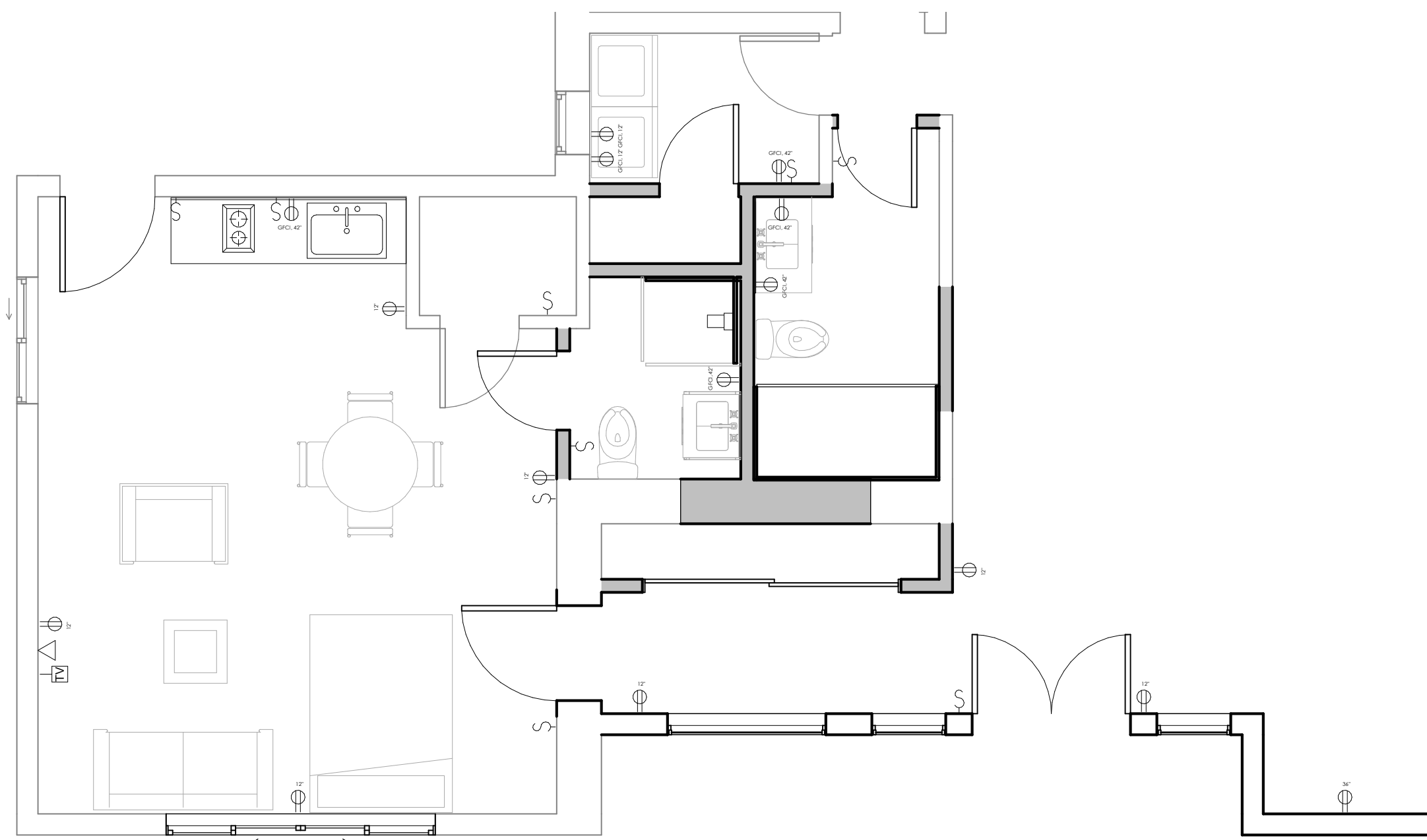
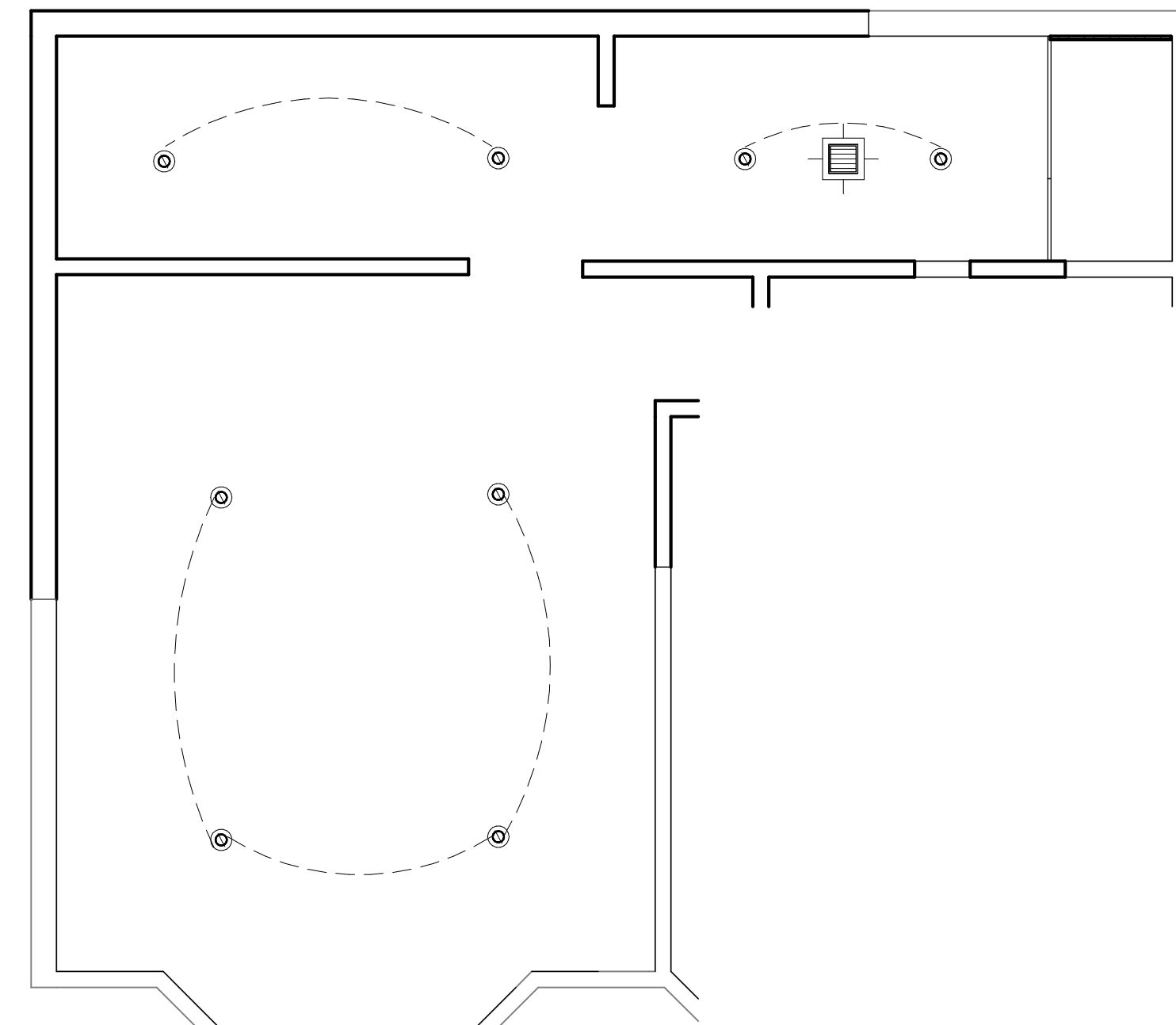
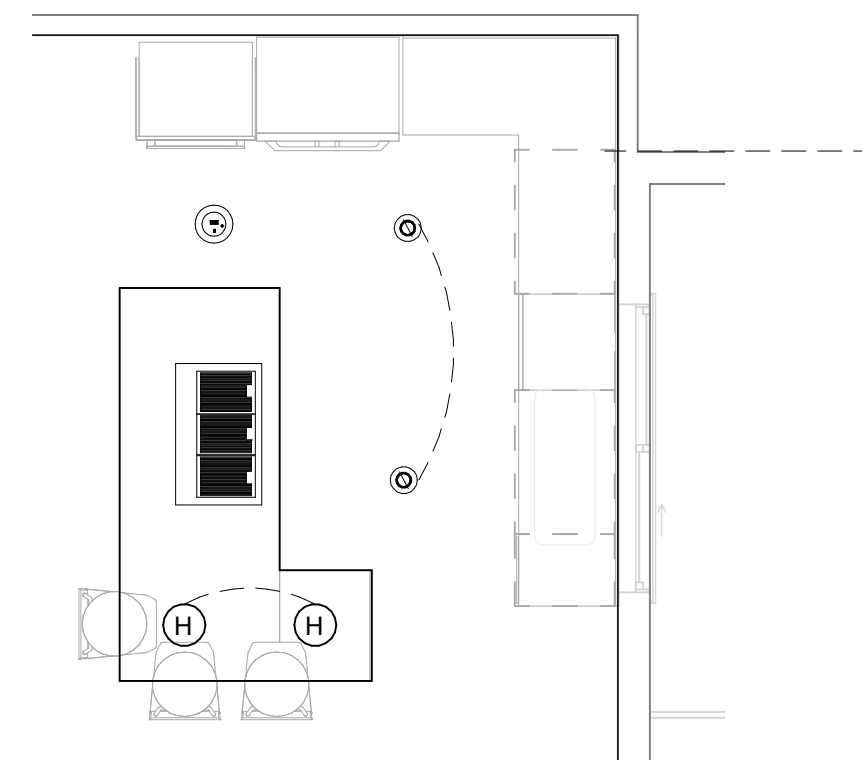
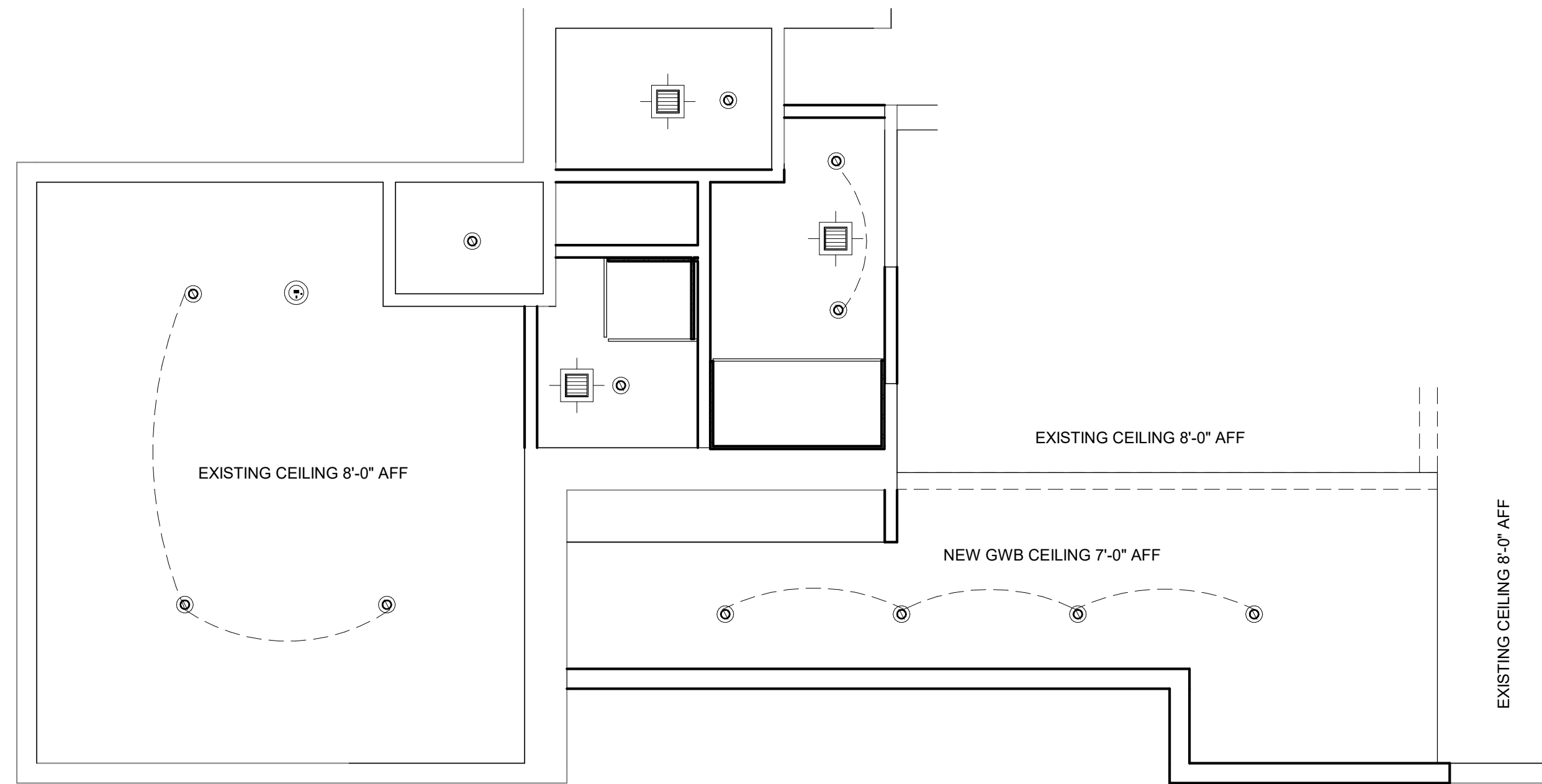
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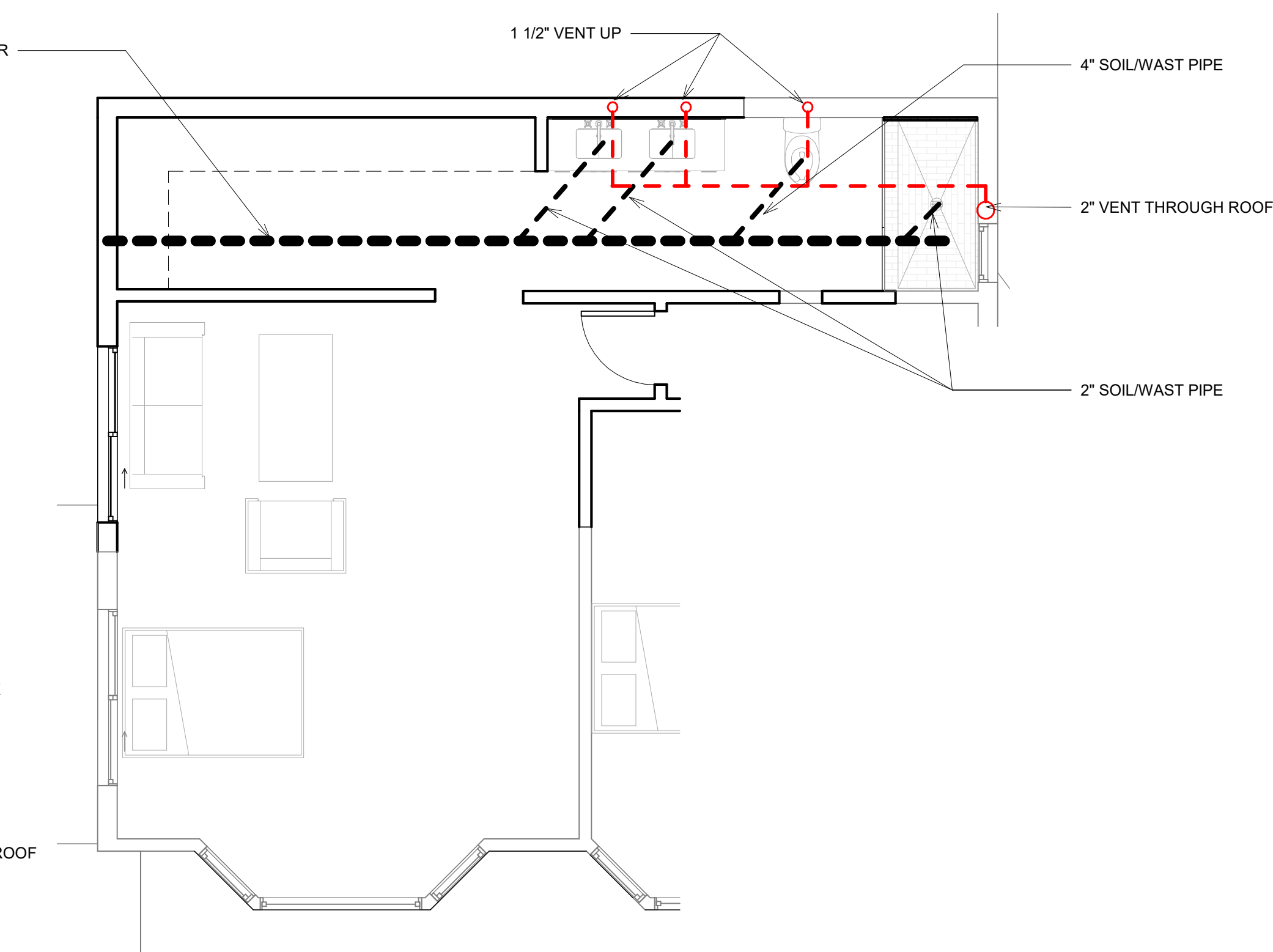
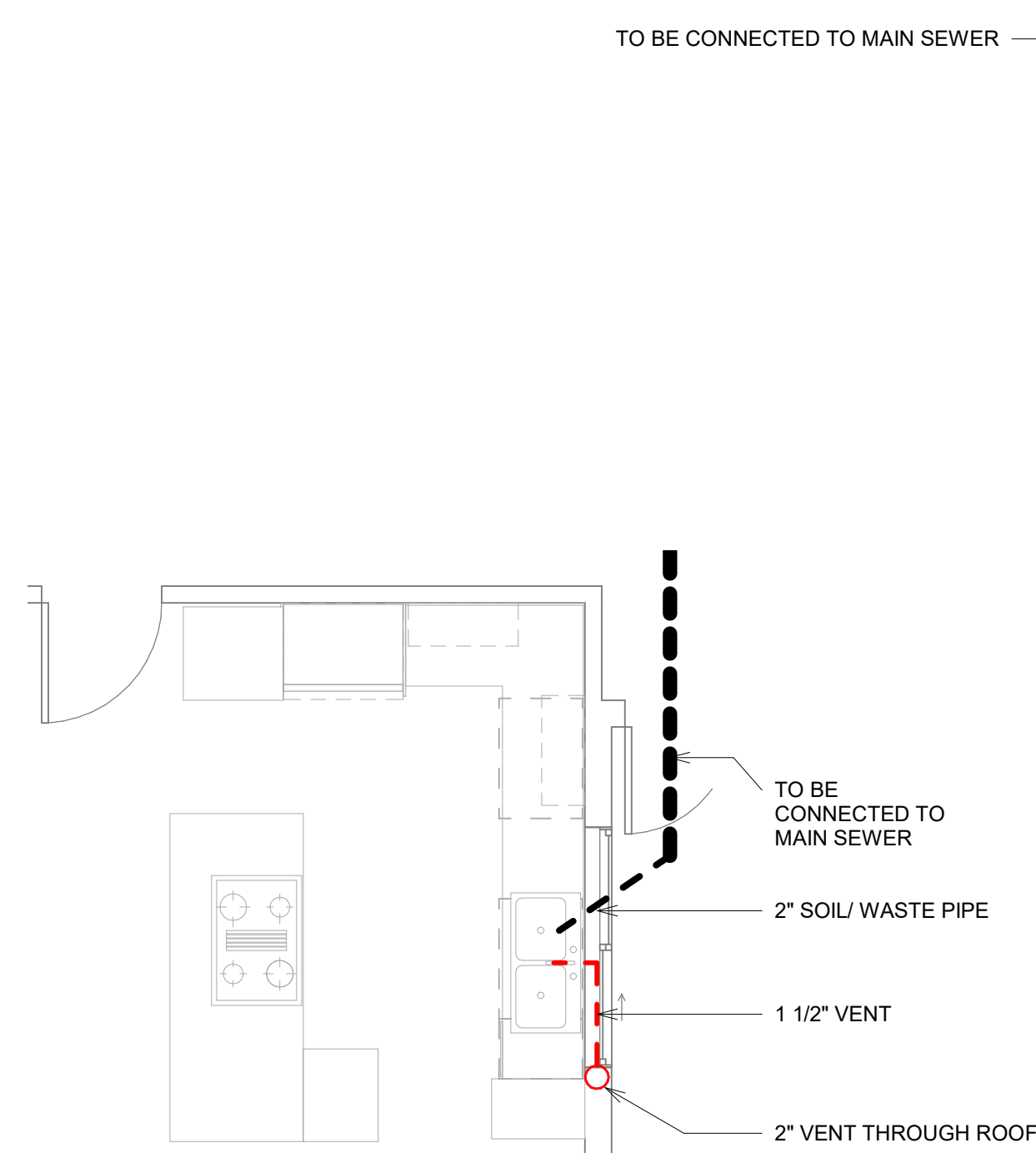
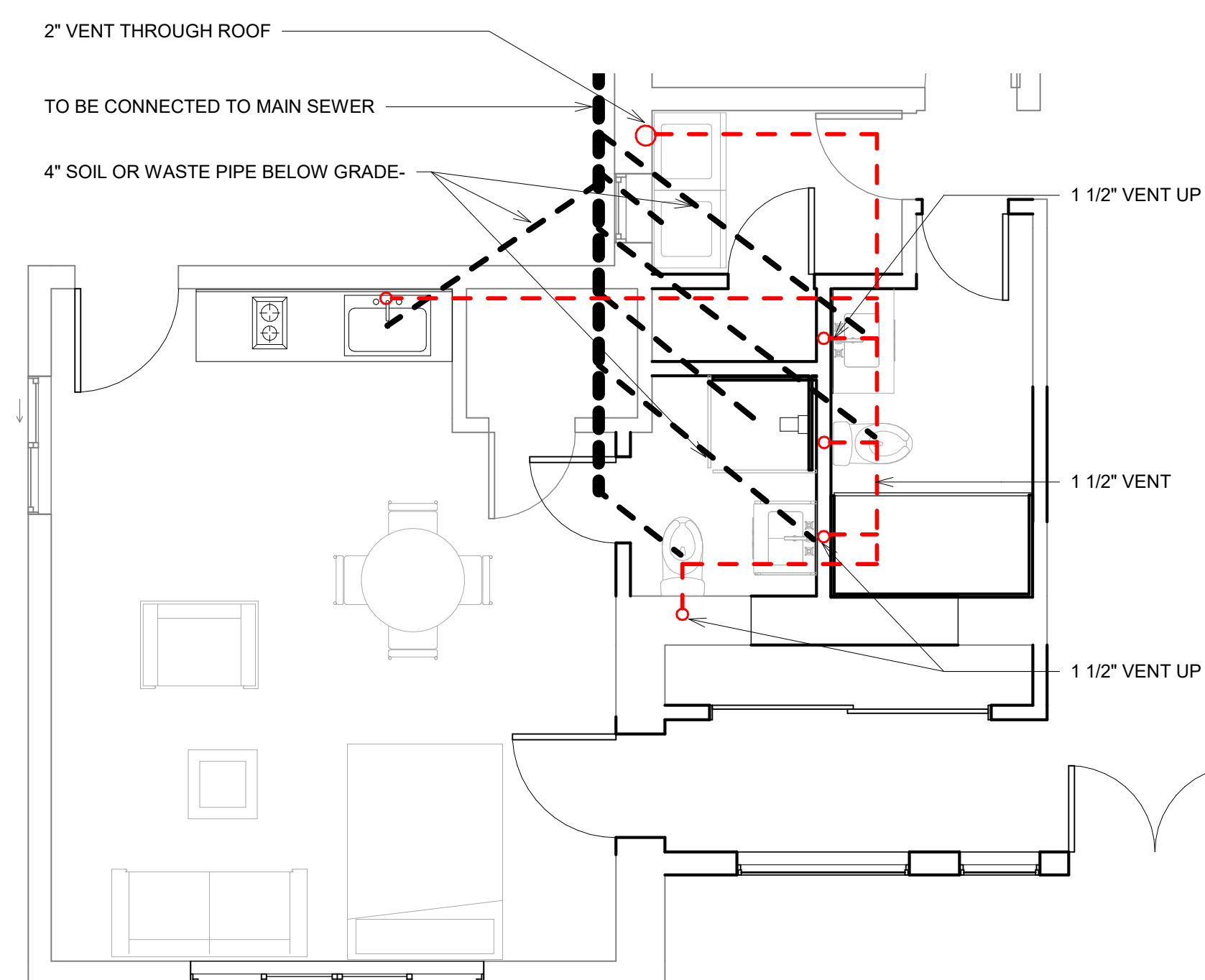
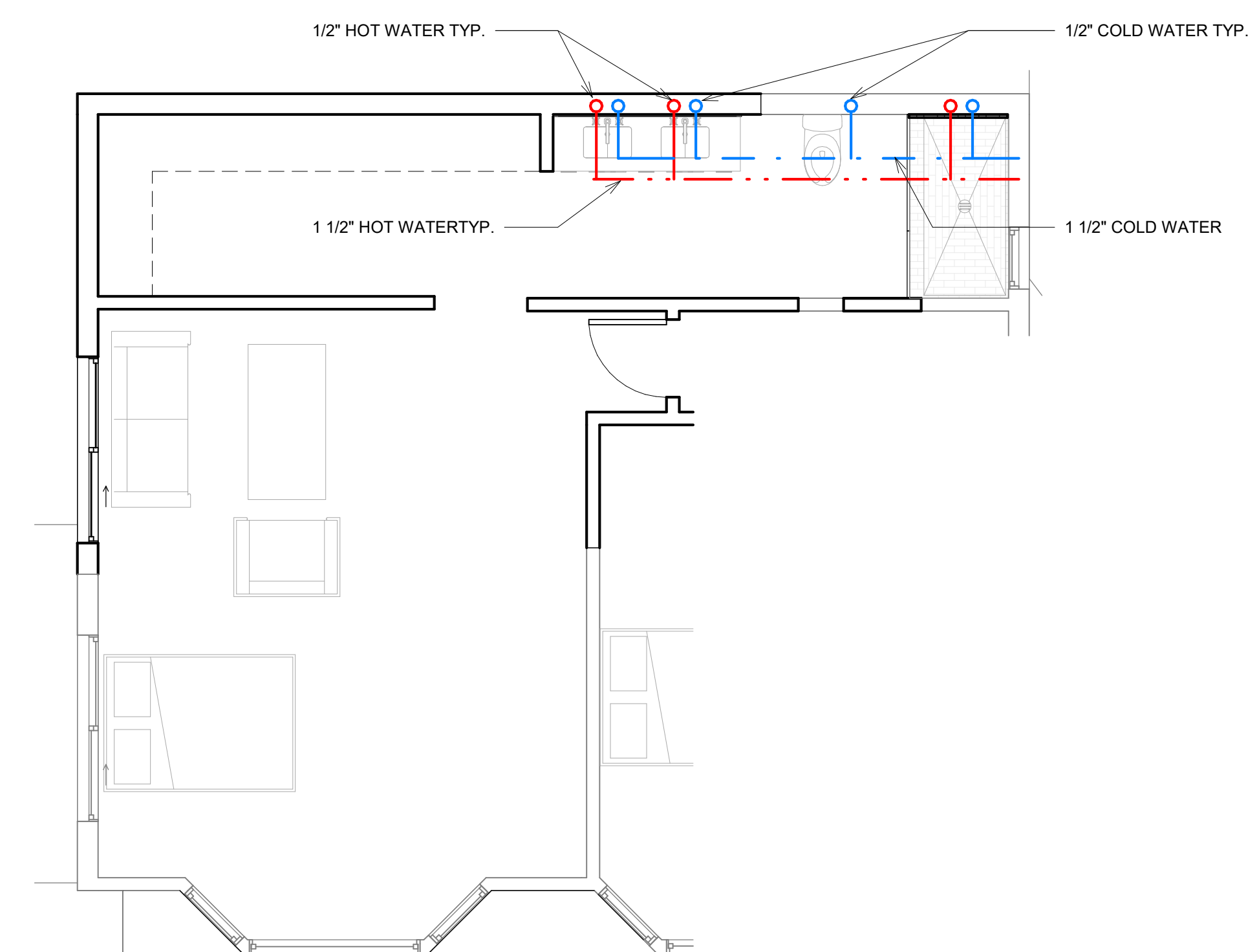
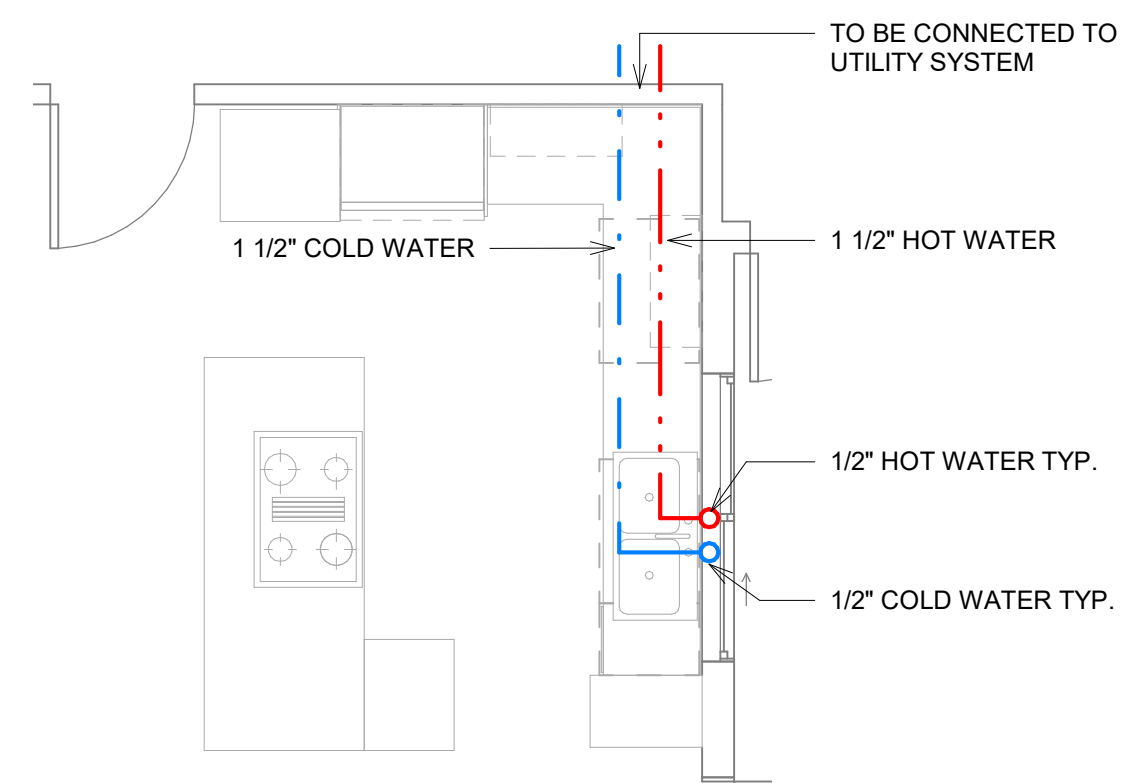
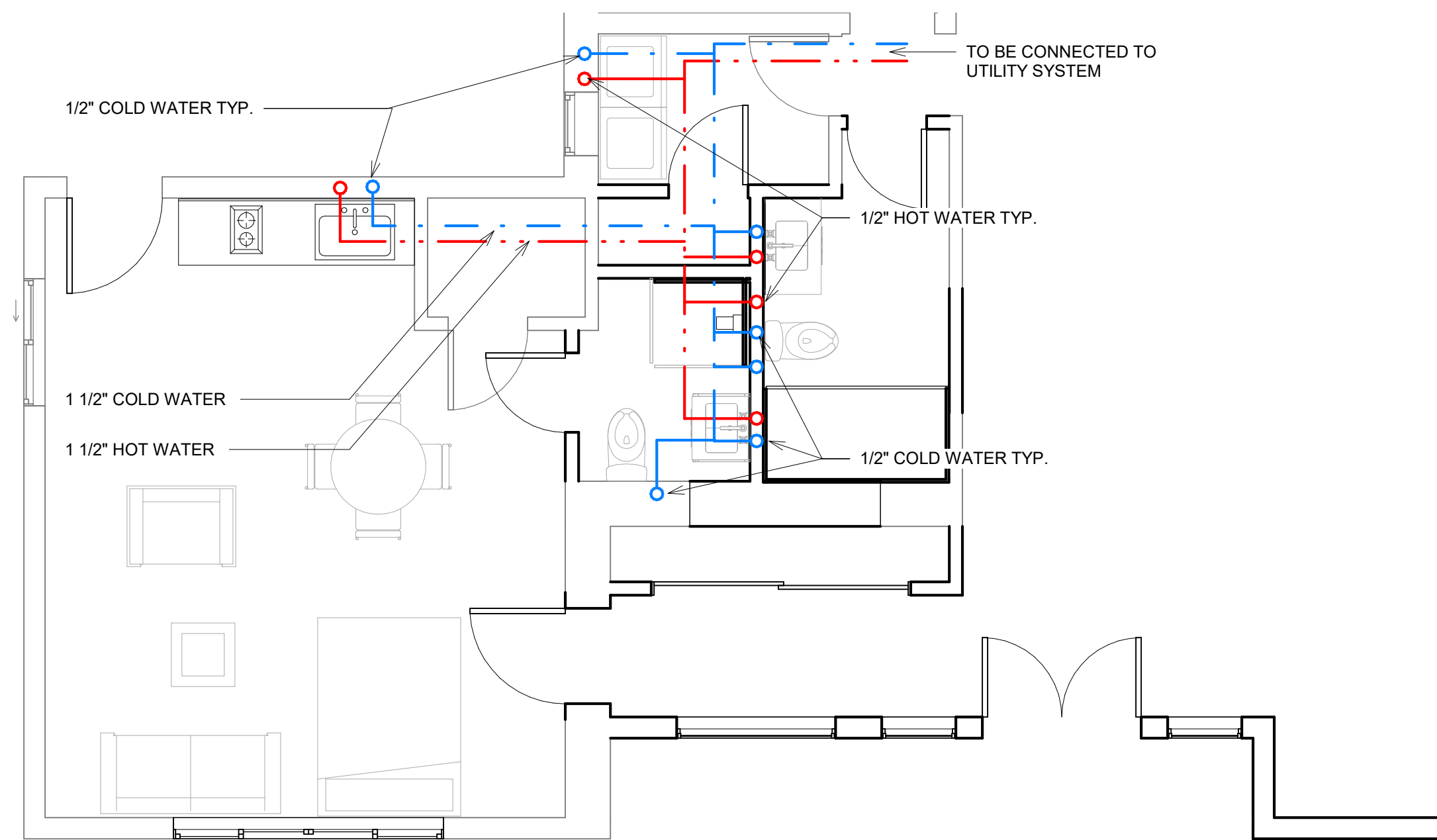
# DOOR AND WINDOW SCHEDULE

Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker
A108	
Scale	1/4" = 1'-0"









**NOTE:**  
HOT WATER PIPES TO RECEIVE INSULATION

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## PLUMBING PLANS

Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker

# P101

Scale	1/4" = 1'-0"
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STRUCTURAL NOTES

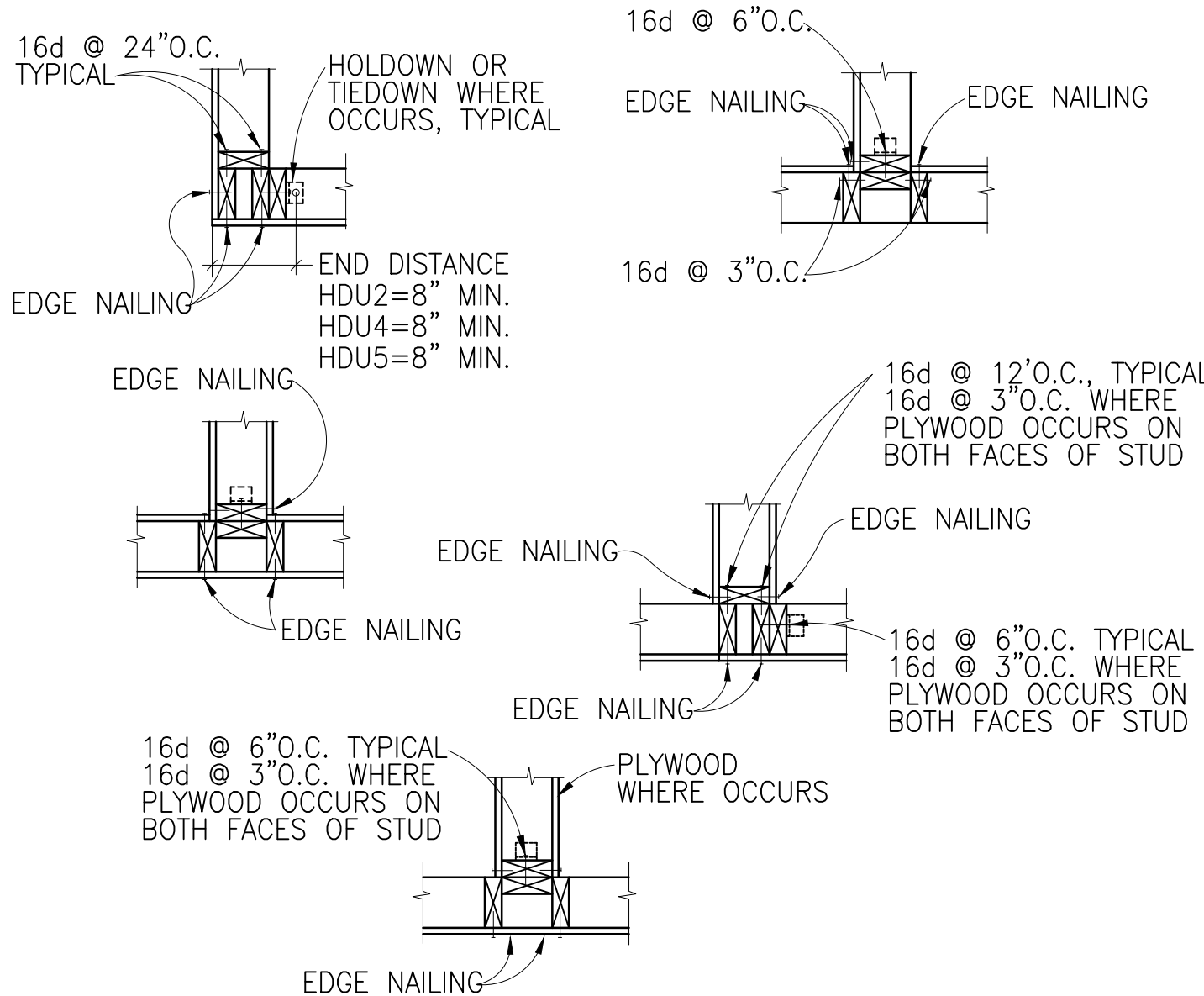
1. GENERAL
- A. THESE NOTES APPLY TO ALL DRAWINGS AND GOVERN UNLESS OTHERWISE NOTED OR SPECIFIED. WHENEVER THERE APPEARS TO BE A CONFLICT BETWEEN THE NOTES, DRAWINGS, OR SPECIFICATIONS, THE MORE CONSERVATIVE OR STRINGENT REQUIREMENT WILL GOVERN, UNLESS OTHERWISE STATED BY THE ENGINEER.
- B. VERIFY ALL EXISTING CONDITIONS AND PROPOSED DIMENSIONS AT JOB SITE. COMPARE STRUCTURAL DRAWINGS WITH ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS BEFORE COMMENCING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES AND DO NOT PROCEED WITH AFFECTED WORK UNTIL THEY ARE RESOLVED. DO NOT SCALE DRAWINGS.
- C. UNLESS OTHERWISE SHOWN OR NOTED, ALL TYPICAL DETAILS SHALL BE USED WHERE APPLICABLE.
- D. ALL DETAILS SHALL BE CONSIDERED TYPICAL AT SIMILAR CONDITIONS.
- E. SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF THE PERSONS AND PROPERTY, AND FOR ALL NECESSARY INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE ARCHITECT'S OR ENGINEER'S JOB SITE REVIEW IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
2. TESTS & INSPECTIONS
- A. PROVIDE TESTS AND SPECIAL INSPECTIONS FOR ALL ITEMS AS REQUIRED BY SECTION 1704 OF THE CALIFORNIA BUILDING CODE AND LOCAL JURISDICTION. WHERE THERE APPEARS TO BE A CONFLICT BETWEEN BUILDING CODES, THE MORE STRINGENT REQUIREMENTS GOVERN, UNLESS STATED OTHERWISE BY THE ENGINEER.
- B. THE OWNER SHALL BE RESPONSIBLE FOR RETAINING AN INDEPENDENT TESTING LAB TO PERFORM ALL REQUIRED TESTING AND INSPECTIONS.
- C. THE FOLLOWING SPECIFIC ITEMS SHALL BE INSPECTED AND/OR TESTED BY THE TESTING LAB:
1. REINFORCING BARS AND THREADED BOLTS EPOXY GROUTED INTO EXISTING WALLS, FOOTINGS, BEAMS, COLUMNS, ETC.
2. CONCRETE STRENGTH (SEE BELOW FOR STRENGTH REQUIREMENTS).
- D. THE FOLLOWING SPECIFIC ITEMS SHALL BE INSPECTED BY THE ENGINEER OF RECORD:
1. REINFORCING STEEL PLACEMENT.
2. NAILING OF PLYWOOD SHEAR WALLS AND DIAPHRAGMS.
- E. PROVIDE PERIODIC INSPECTION AS REQUIRED BY SECTION 1707.3 FOR NAILING, BOLTING, ANCHORING AND OTHER FASTENING COMPONENTS WITHIN THE SEISMIC FORCE RESISTING SYSTEM INCLUDING WOOD SHEARWALLS, WOOD DIAPHRAGMS, DRAG STRUTS, BRACES, SHEAR PANEL AND HOLDOWNS.
- F. THE CONTRACTOR SHALL NOTIFY THE ENGINEER A MINIMUM OF 48 HOURS PRIOR TO TIME OF INSPECTION.
3. DESIGN BASIS
- A. CONSTRUCT IN CONFORMANCE WITH THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
4. FRAMING LUMBER (UNLESS OTHERWISE NOTED)
- A. ALL FRAMING LUMBER SHALL BE GRADED PER WCLIB GRADING RULES NO. 16.
- B. ALL POSTS 4x6 AND LARGER SHALL BE DOUGLAS FIR, SELECT STRUCTURAL. POST SMALLER THAN 4x6 SHALL BE DOUGLAS FIR, #1.
- C. ALL BEAMS SHALL BE DOUGLAS FIR, #1.
- D. ALL STUDS, PLATES, BLOCKING, ETC., SHALL BE DOUGLAS FIR, CONSTRUCTION GRADE.
- E. ALL JOISTS AND RAFTERS SHALL BE DOUGLAS FIR #2 OR BETTER.

5. PLYWOOD
- A. EACH PANEL SHALL BE IDENTIFIED WITH THE APPROPRIATE GRADE, TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION, AND SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE U. S. PRODUCT STANDARD PS-1.
- B. PLYWOOD SHEETS SHALL BE THICKNESS NOTED ON DRAWINGS.
- C. PLYWOOD SHEETS AT FLOORS AND ROOFS SHALL BE LAID WITH FACE GRAIN PERPENDICULAR TO JOISTS AND RAFTERS.
- D. UNLESS OTHERWISE NOTED ON THE DRAWINGS, TYPICAL ROOF PLYWOOD SHALL BE UNBLOCKED 5/8 INCH 32/16 CDX WITH 8d NAILS @ 6" O.C. @ PANEL EDGES AND WITH 8d NAILS @ 12" O.C. IN THE FIELD. PROVIDE PLYCLIPS BETWEEN JOISTS WHERE EDGES ARE NOT BLOCKED.
- E. UNLESS OTHERWISE NOTED ON THE DRAWINGS, TYPICAL FLOOR PLYWOOD SHALL BE UNBLOCKED 3/4 INCH 40/20 T&G CDX WITH 10d NAILS @ 6" O.C. @ PANEL EDGES AND WITH 10d NAILS @ 10" O.C. IN THE FIELD (CONTRACTOR MAY OMIT T&G WHERE BLOCKED EDGES ARE SPECIFIED ON THE DRAWINGS).
- F. UNLESS OTHERWISE SPECIFIED IN A SHEAR WALL SCHEDULE ON THE DRAWINGS, ALL NEW EXTERIOR WALL PLYWOOD SHALL TYPICALLY BE 1/2 INCH 24/0 CDX WITH 8d NAILS @ 6" O.C. AT ALL PANEL EDGES AND WITH 8d NAILS @ 12" O.C. IN THE FIELD IN ACCORDANCE WITH SHEAR WALL TYPE 1.
6. ROUGH CARPENTRY
- A. FOR SCHEDULE OF MINIMUM NAILING SEE TABLE 2304.9.1 OF THE LATEST CALIFORNIA BUILDING CODE. 16 PENNY VINYL COATED SINKERS MAY BE SUBSTITUTED FOR 16 PENNY BOX OR COMMON NAILS FOR ROUGH FRAMING. SINKERS SHALL NOT BE USED WITH METAL CONNECTORS.
- B. SILLS AND LEDGERS ON CONCRETE SHALL BE PRESSURE TREATED DOUGLAS FIR. SILLS AND LEDGERS SHALL BE FASTENED TO THE CONCRETE WITH A MINIMUM OF TWO FASTENERS PER PIECE AND NO FASTENERS FURTHER THAN 9 INCHES FROM END OF PIECE.
- C. PLACE JOISTS WITH CROWN UP.
- D. RE-TIGHTEN ALL BOLTS PRIOR TO CLOSING IN WALLS.
- E. USE GALVANIZED NAILS, BOLTS, AND HARDWARE WHERE EXPOSED TO WEATHER.
- F. BLOCK ALL JOISTS AT SUPPORTS PER REQUIREMENTS OF UNIFORM BUILDING CODE.
- G. ALL TIMBER FASTENERS NOT SPECIFICALLY DETAILED ON THE DRAWINGS SHALL BE SIMPSON COMPANY'S STANDARD FASTENERS OR APPROVED EQUAL, UPON ENGINEER'S REVIEW.
7. DESIGN CRITERIA
- |                         |         |
|-------------------------|---------|
| LIVE LOADS              |         |
| ROOF:                   | 20 PSF  |
| FLOOR:                  | 40 PSF  |
| DECK:                   | 60 PSF  |
| WIND EXPOSURE           | B       |
| WIND SPEED              | 110 MPH |
| SEISMIC DESIGN CATEGORY | E       |
| SITE CLASS              | D       |
| IMPORTANCE FACTOR       | 1.0     |
| Sds                     | 1.11    |
| Sms                     | 1.66    |
| Ss                      | 1.66    |
| S1                      | 0.76    |
| Sd1                     | 0.76    |

NAILING SCHEDULE	
CONNECTION	NAILING
JOIST OR RAFTER TO WALL PLATE OR BEAM, TOE NAILS.	3-8d
SOLID BLOCKING: OVER WALLS TO PLATE, TOE NAILS TO JOISTS, TOE NAILS EACH END	3-8d 4-10d
BUILT-UP HEADERS AND BEAMS: FACE NAILS EACH FACE, TOP AND BOTTOM STAGGERED @ EACH END OF MEMBER	8d @ 32"O.C. 2-20d
MULTIPLE STUDS, FACE NAILS EACH STUD	16d @ 24"O.C.
BUILT-UP POSTS EACH STUD	16d @ 12"O.C.
STUDS @ WALL CORNERS AND INTERSECTIONS, FACE NAILS	16d @ 24"O.C.
STRIPPING ON JOISTS	10d @ 12"O.C. TOE NAILS, EACH FACE STAGGERED

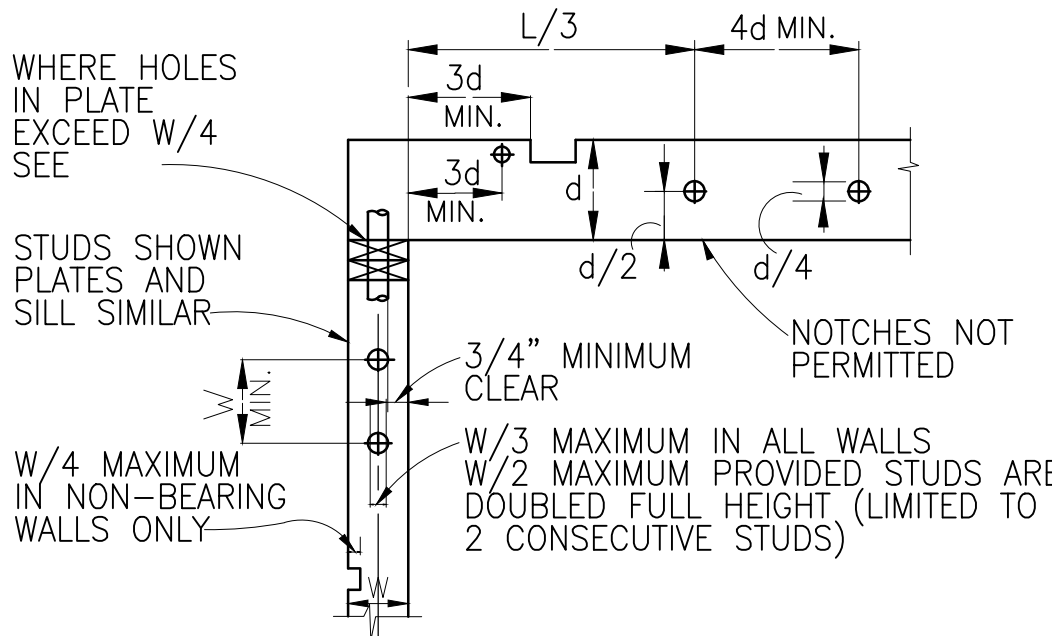
FOR OTHER NAILING NOT SHOWN SEE CBC TABLE 2304.9.1

1 TYPICAL WOOD NAILING SCHEDULE U.O.N



2 TYPICAL PLYWOOD SHEATHED STUD WALL DETAILS

d=DEPTH OF JOIST  
L=CLEAR SPAN  
W=WIDTH OF STUD OR PLATE  
NO HOLES OR NOTCHES PERMITTED WHERE d IS 5 1/2" OR LESS.  
NOTCHES IN STUD BEARING WALLS NOT PERMITTED.



3 HOLES AND NOTCHES IN SAWN LUMBER JOISTS AND STUDS

TIMBER CONNECTORS AND CONNECTIONS

1. NAILS: ALL NAILS SHALL BE COMMON WIRE NAILS UNLESS SHOWN OTHERWISE ON THE DRAWINGS. NAILS SHALL NOT BE DRIVEN CLOSER TOGETHER THAN 1/2 OF THEIR LENGTH NOR CLOSER TO THE EDGE OF THE MEMBER THAN 1/4 OF THEIR LENGTH. PRE-DRILL HOLES WHERE WOOD TENDS TO SPLIT. THE PENETRATION OF THE NAIL INTO THE PIECE RECEIVING THE POINT SHALL NOT BE LESS THAN 1/2 THE NAIL LENGTH. REFER TO DETAIL 1.
2. BOLTS: ALL BOLTS IN TIMBER CONNECTORS SHALL BE MACHINE BOLTS WITH STANDARD PLATE WASHERS UNDER HEADS AND NUTS, BEARING ON WOOD UNLESS NOTED OTHERWISE ON THE DRAWINGS. ALL WASHERS EXPOSED TO VIEW SHALL BE MALLEABLE IRON WASHERS UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION FOR MINIMUM SIZES OR PLATE WASHERS.
3. HOLES: FOR BOLTED CONNECTIONS: HOLES IN TIMBER SHALL BE DRILLED WITH A BIT 1/32" LARGER THAN THE NOMINAL DIAMETER OF THE BOLT. HOLES IN METAL PLATES AND PLATE WASHERS MAY BE PUNCHED WITH A DIAMETER 1/16" LARGER THAN THE NOMINAL DIAMETER OF THE BOLT.
4. JOIST: HANGERS AND FRAMING HARDWARE: FOR JOIST HANGER DESIGNATION, REFER TO PRODUCT MANUFACTURED BY THE SIMPSON CO. APPROVED ALTERNATES OF EQUAL QUALITY AND STRENGTH CAN BE USED.

4 TYPICAL JOIST HANGERS, NAILS, BOLTS AND WASHERS

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REMODELING AND ADDITION TO:  
MR. TAGHIBAKHSH RESIDENCE  
2483 MOUNT. PLEASANT RD.  
SAN JOSE, CA

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ISSUE DATE: 7/30/2020  
SPACE PLAN DATE:

DRAWING TITLE:  
GENERAL NOTES  
AND DETAILS

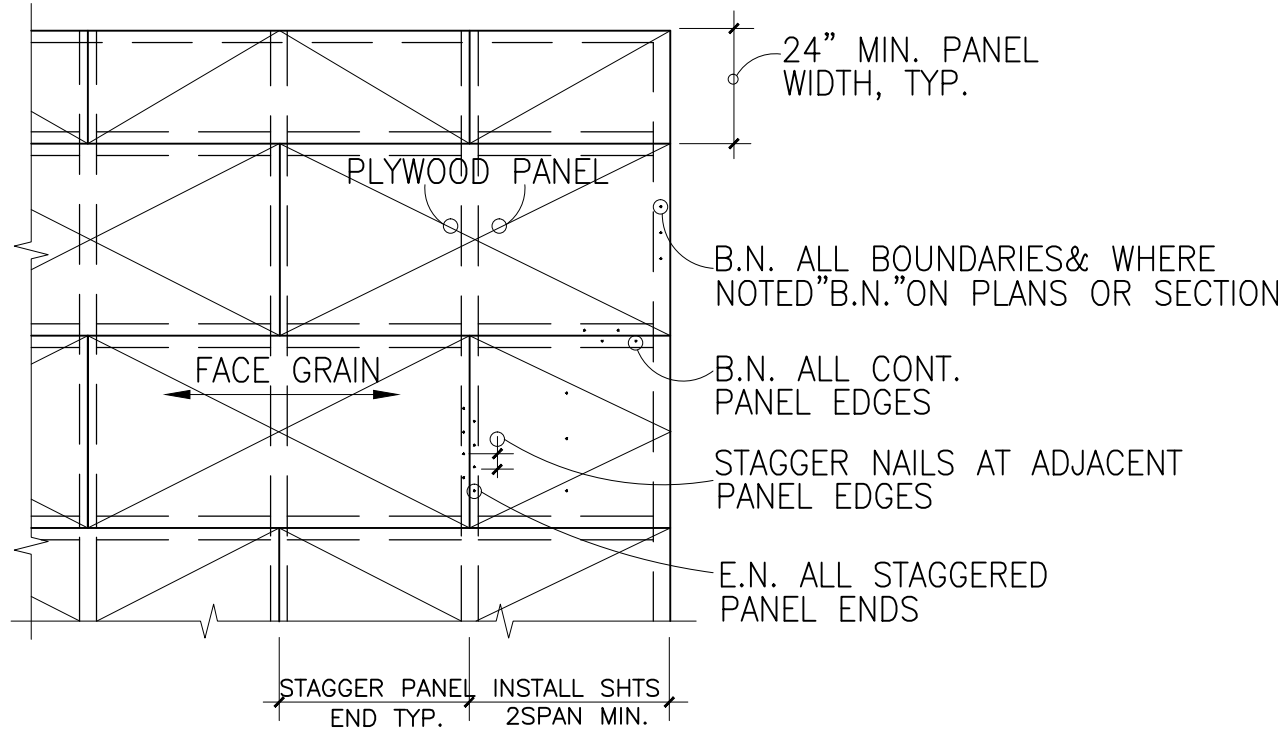
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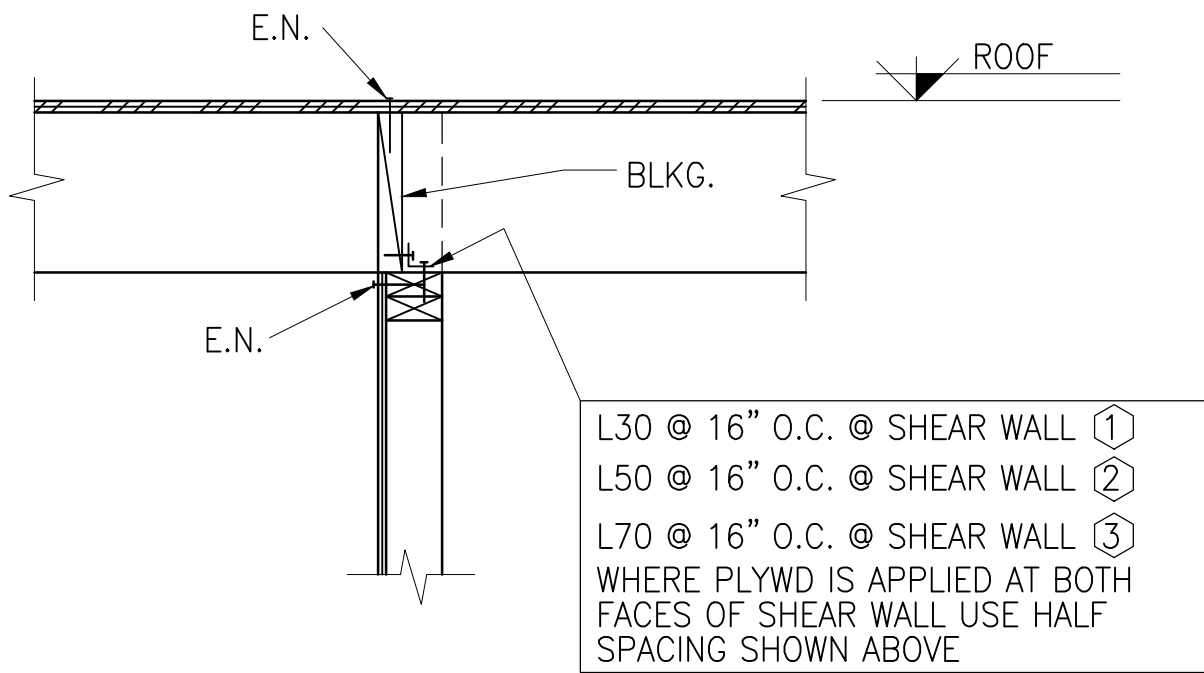


PLYWOOD HORIZ. DIAPHRAGM SCHEDULE	
TYPE	ROOF
PLYWOOD	5/8"C-C EXTERIOR
BOUNDARY NAILING (B.N.)(U.O.N. ON PLAN)	8d@6" O.C.
EDGE NAILING (E.N.)	8d@6" O.C.
FIELD NAILING	8d@12" O.C.

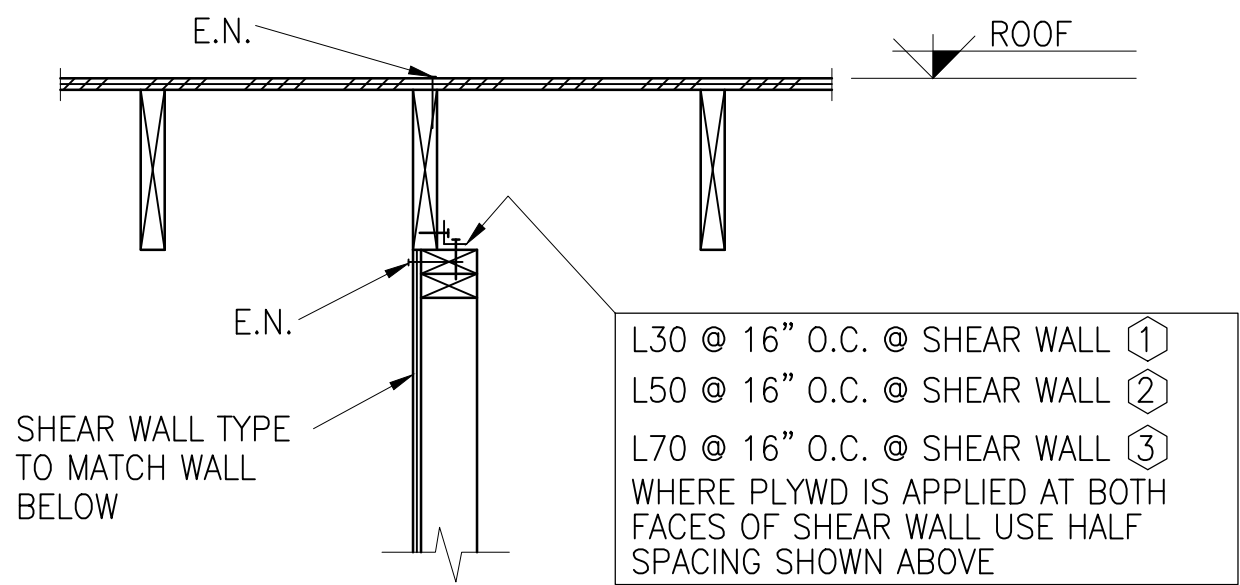
- NOTES:
1. MINIMUM NAIL LENGTH SHALL BE 2 INCHES.
  2. APPLY CONTINUOUS LINE OF GLUE CONFORMING TO SPECIFICATIONS TO JOISTS AND BLOCKING PRIOR TO LAYING FLOOR PLYWOOD PANELS.
  3. .131 P-NAILS MAY BE USED AT CONTRACTOR OPTION WHERE NAILS ARE PNEUMATICALLY DRIVEN. NAIL HEADS SHALL NOT BE DRIVEN INTO OR THROUGH FACE VENEER OF PLYWOOD SHEATHING.



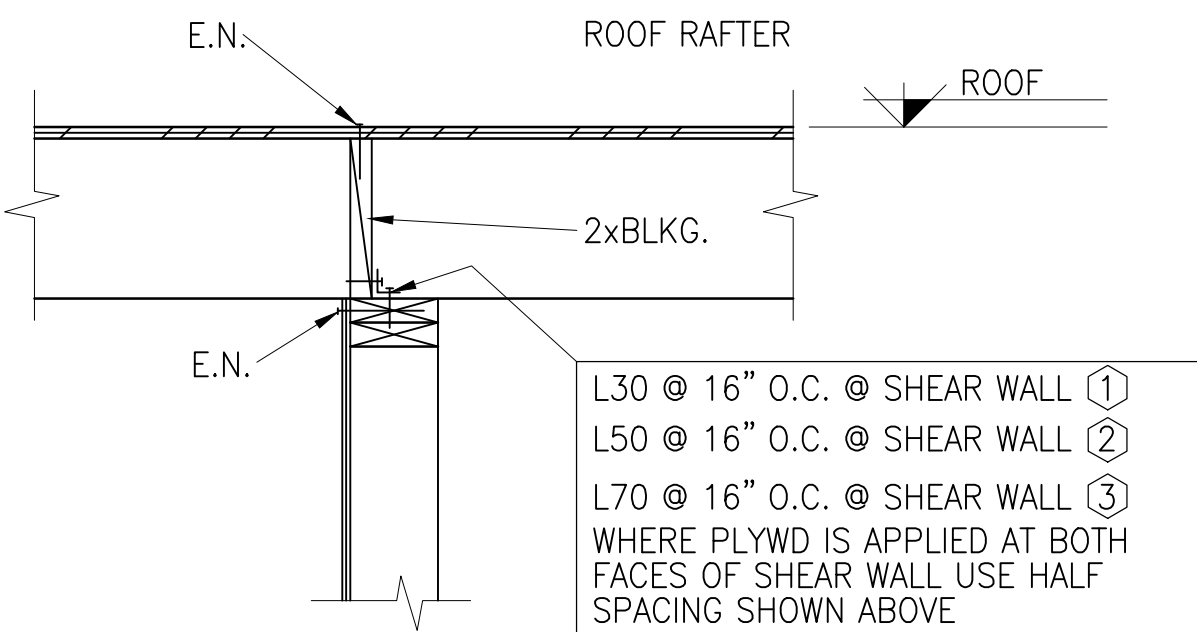
### 1 TYPICAL PLYWOOD SHEATHED DIAPHRAGM



#### SHEAR WALL PARALLEL TO ROOF JOIST



#### SHEAR WALL PARALLEL TO ROOF JOIST

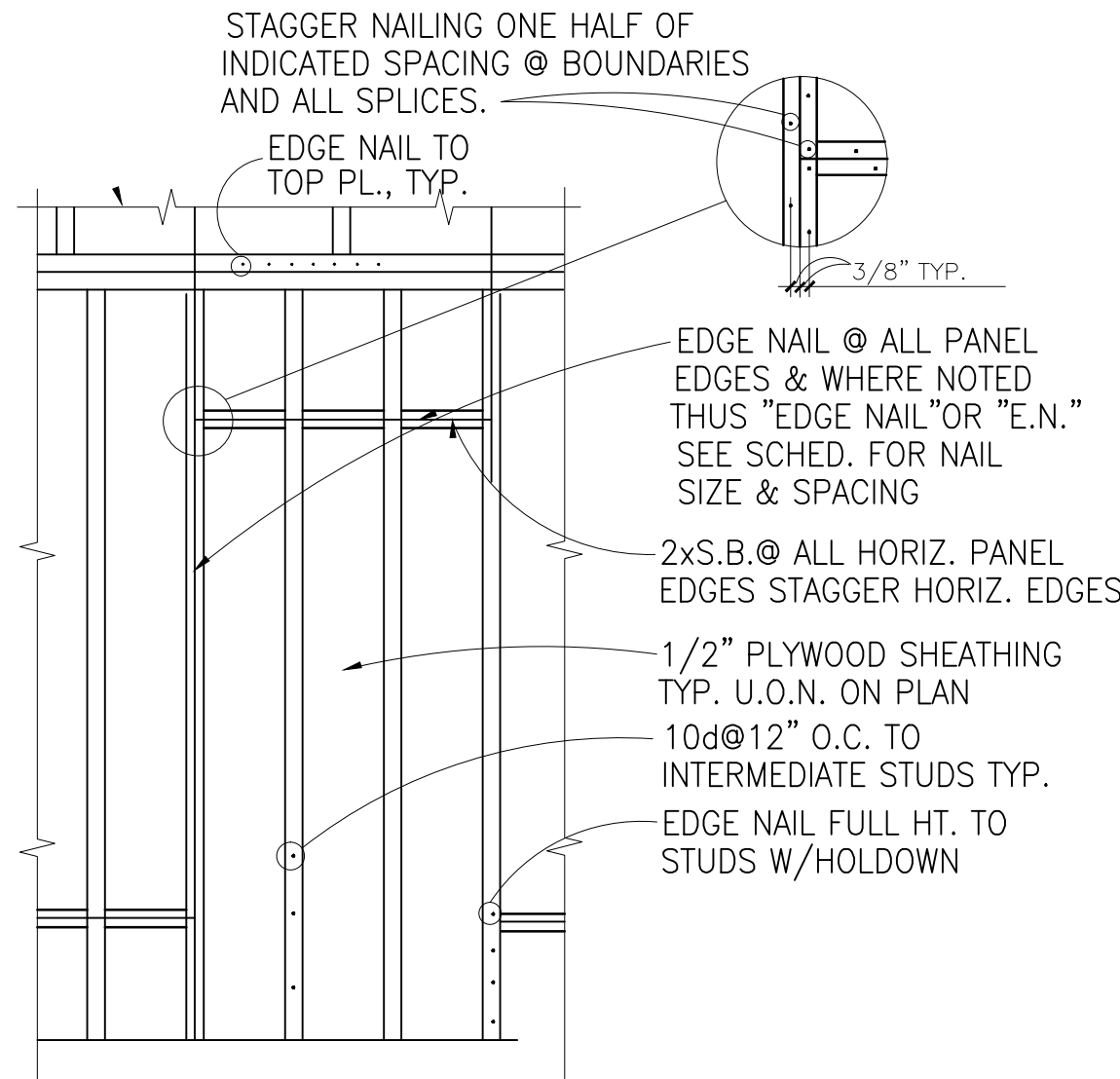


#### SHEAR WALL PERPENDICULAR TO ROOF JOIST

### 2 SHEAR TRANSFER AT INTERIOR SHEAR WALLS

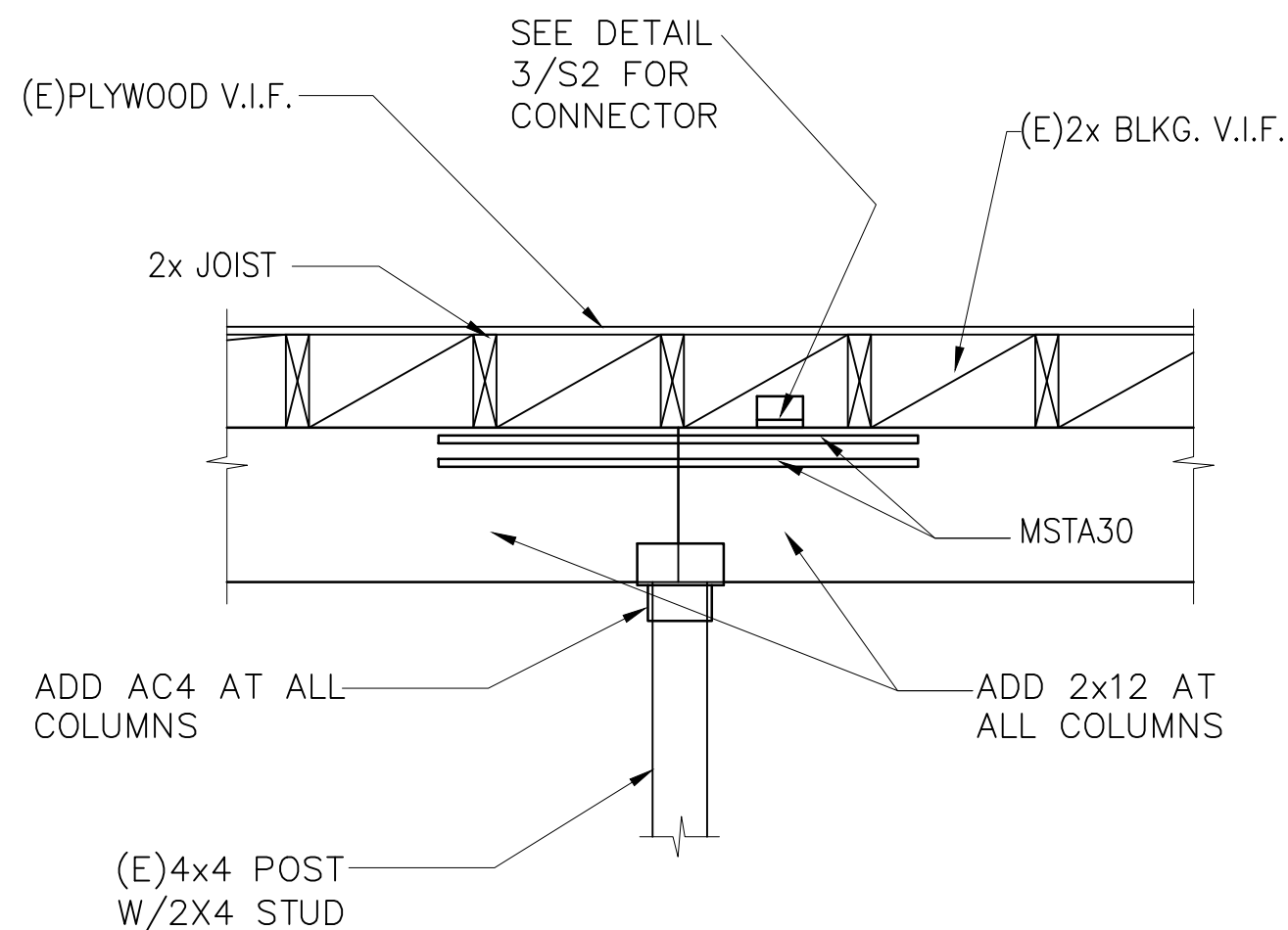
PLYWOOD WALL SCHEDULE						
MARK	# OF SIDES	EDGE NAILING	ANCHOR BOLTS	EMBEDMENT		CAPACITY
					EPOXY (PLF)	
①	1	10d @ 6" O.C.	5/8" @ 30" O.C.	9"	5"	310
②	1	10d @ 4" O.C.	5/8" @ 24" O.C.	9"	5"	460
③	1	10d @ 3" O.C.	5/8" @ 16" O.C.	9"	5"	600

- NOTES:
1. MINIMUM NAIL LENGTH SHALL BE 2 INCHES.
  2. USE COMMON RING SHANK OR SCREW SHANK NAILS.
  3. .131 P-NAILS MAY BE USED AT CONTRACTOR OPTION WHERE NAILS ARE PNEUMATICALLY DRIVEN. NAIL HEADS SHALL NOT BE DRIVEN INTO OR THROUGH FACE VENEER OF PLYWOOD SHEATHING.
  4. WHERE PLYWOOD IS SHOWN ON BOTH SIDES OF A WALL SPACING OF THE ANCHOR BOLTS SHOULD BE HALF THE DISTANCE SHOWN ABOVE.
  5. ALL NEW ANCHOR BOLTS AT EXISTING FOUNDATIONS SHOULD BE SET WITH SET-X EPOXY WITH THE EMBEDMENTS SHOWN. ANCHOR BOLTS SHALL BE SIMPSON RFB BOLTS W/ SIMPSON SET-X EPOXY.
  6. PROVIDE 3x STUDS AT SILL PLATES & PANEL JOINT FRAMINGS FOR SHEAR WALL TYPES 2 & 3 OR IF PLYWOOD IS USED AT BOTH SIDES OF A SHEAR WALL.
  7. PROVIDE 3"x3"x0.229" PLATE WASHER FOR ALL ANCHOR BOLTS PER CALIFORNIA RESIDENTIAL CODE, 2010 EDITION.



- NOTES:
1. AT ALL INTERIOR PLYWOOD SHEAR WALLS, USE 4'x10' SHEETS PLACED FULL HEIGHT VERTICALLY ELIMINATING ALL HORIZONTAL PANELS EDGE JOINTS WHERE APPLICABLE
  2. FRAME ALL PLYWOOD SHEATHED WALLS SAME AS BEARING WALLS, EXCEPT AS SHOWN, SEE ELEVATION.
  3. AT DOUBLE SHEATHED WALLS, BOTH VERTICAL AND HORIZONTAL INTERIOR JOINTS ON OPPOSITE SIDES OF WALL SHALL BE STAGGERED

### 3 TYPICAL PLYWOOD SHEATED WALLS

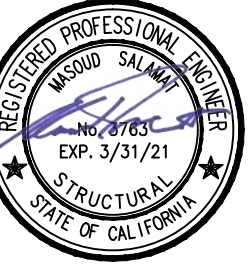


### 4 TYPICAL OPENING REINF. AROUND OPENINGS IN-LINE WITH SHEAR WALLS

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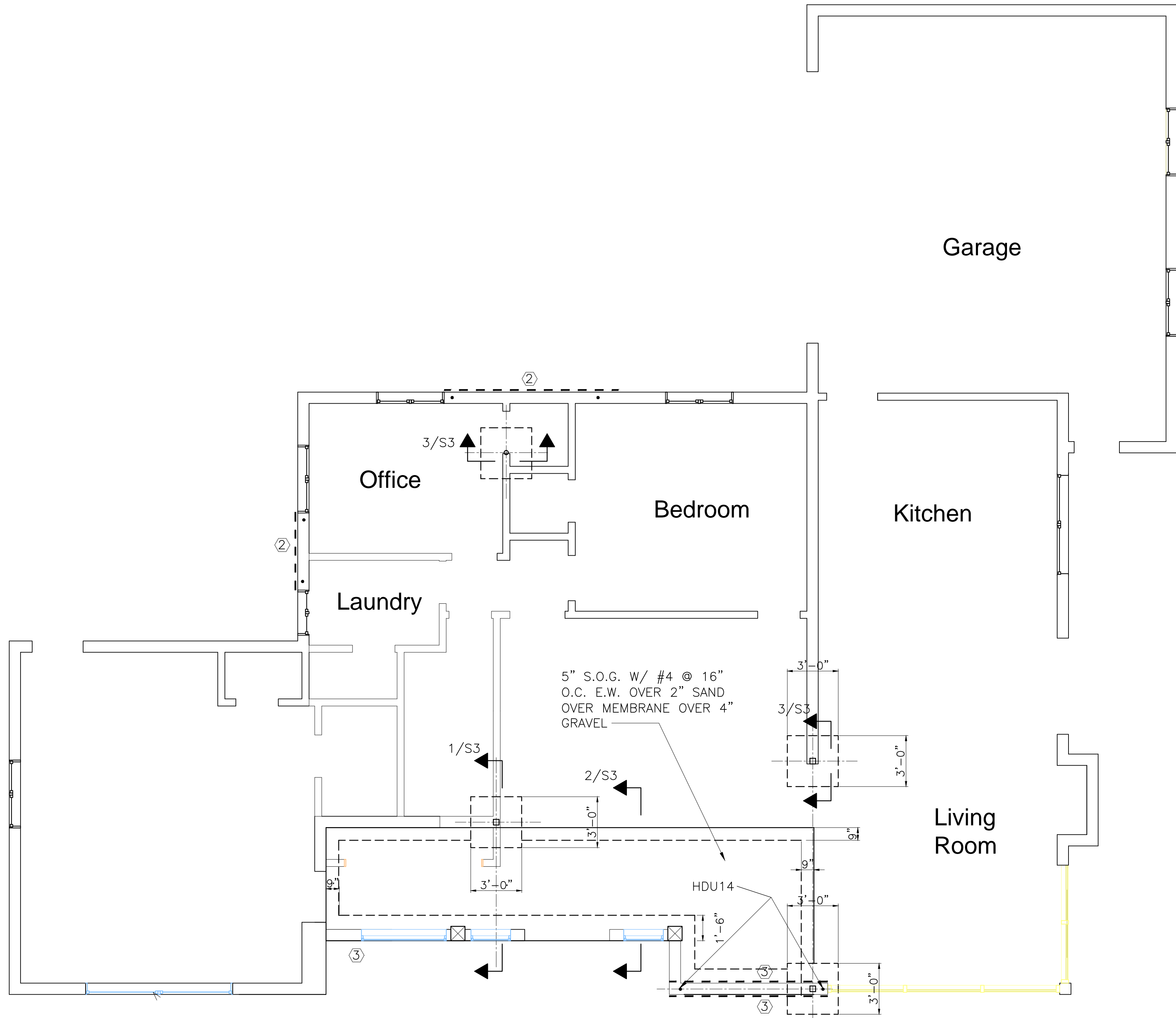
ISSUE DATE: 7/30/2020  
SPACE PLAN DATE:

DRAWING TITLE:  
GENERAL NOTES  
AND DETAILS

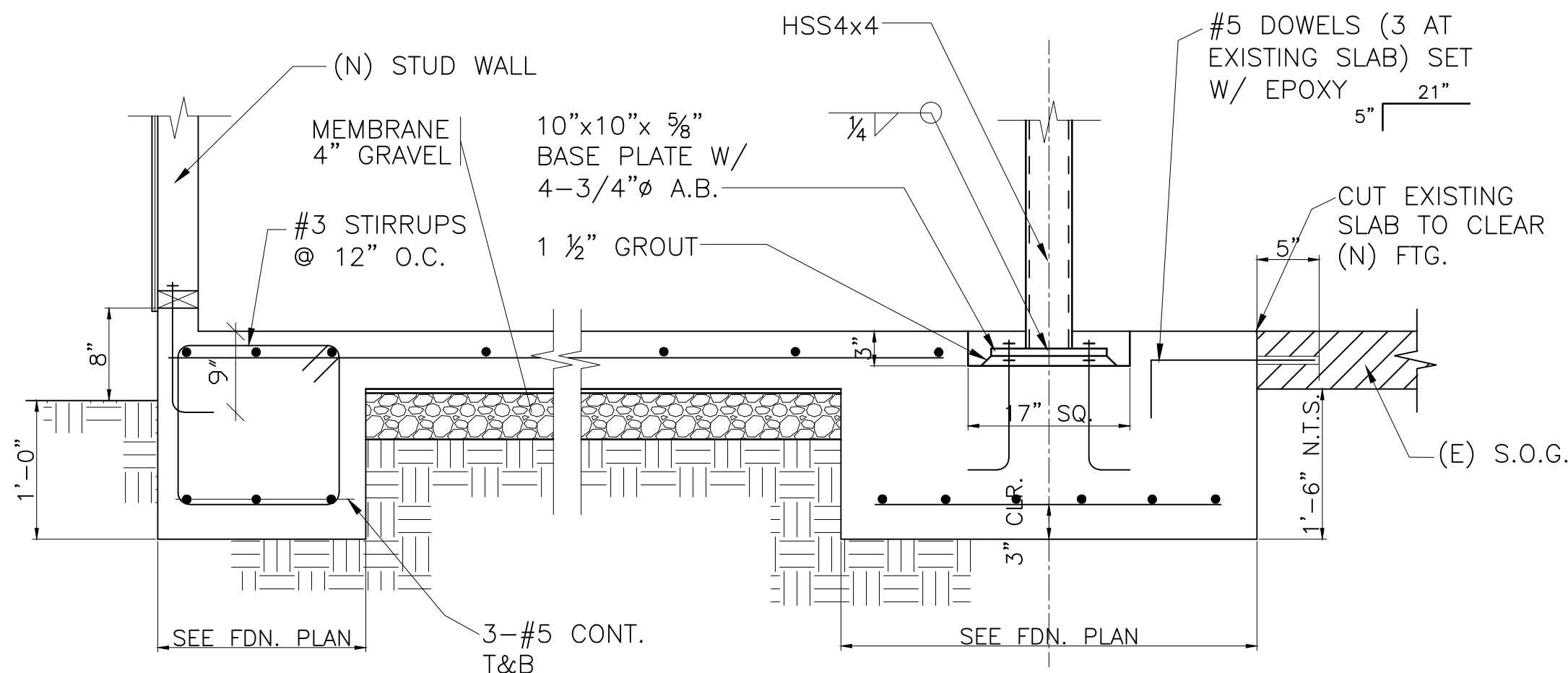
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S2

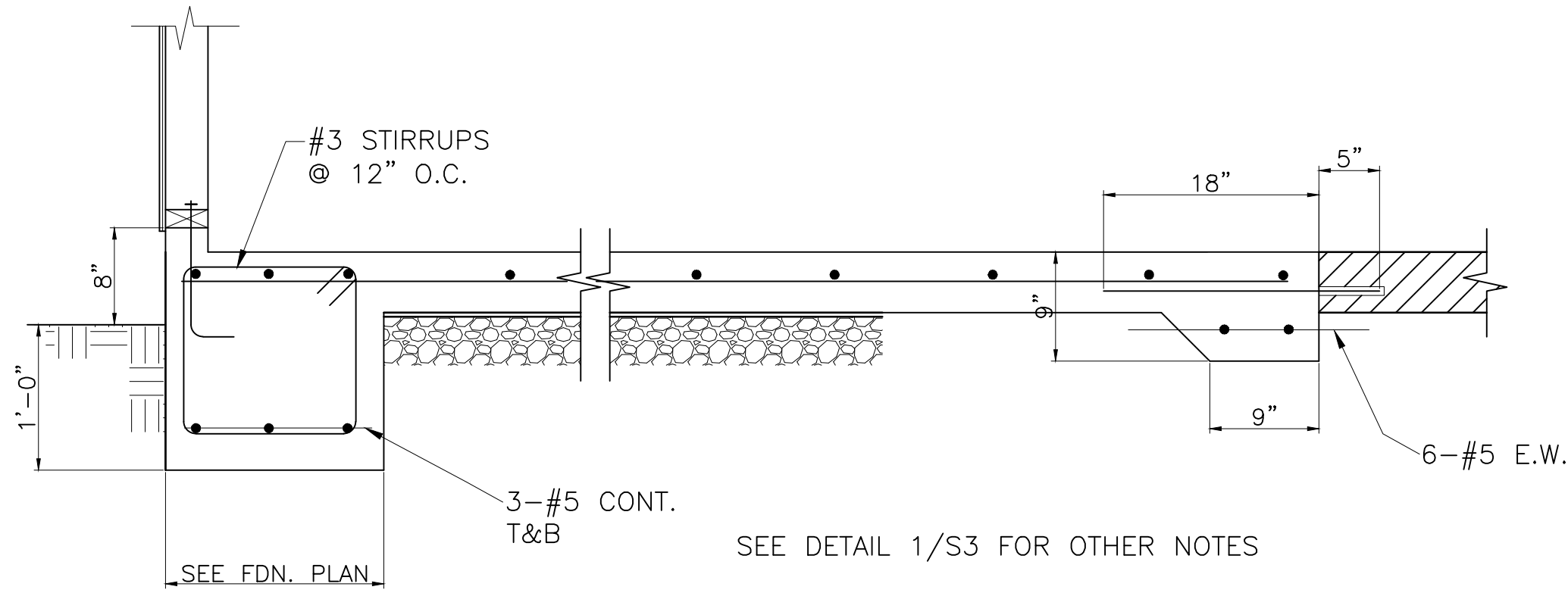




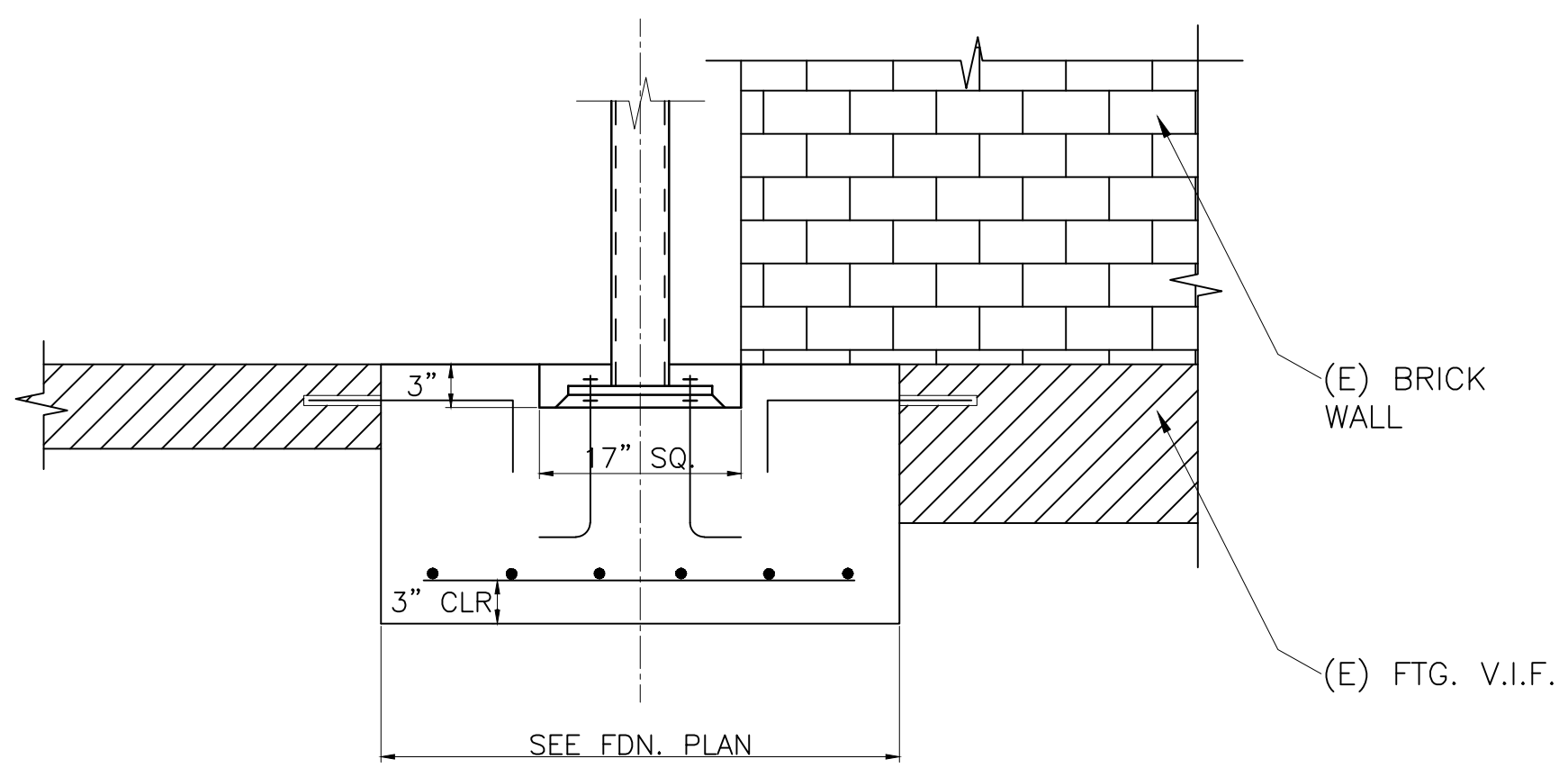
1ST FLOOR /FOUNDATION PLAN  
1/4" = 1'-0"



1 SECTION  
1" = 1'-0"



2 SECTION  
1" = 1'-0"



3 SECTION  
1" = 1'-0"

MASOUD SALAMAT S.E.  
Consulting Engineers

P.O. Box 3632  
Walnut Creek, CA 94598  
Tel. 650.759.5509



REMODELING AND ADDITION TO:  
MR. TAGHIBAKHSH RESIDENCE  
2483 MOUNT. PLEASANT RD.  
SAN JOSE, CA

NOTICE:  
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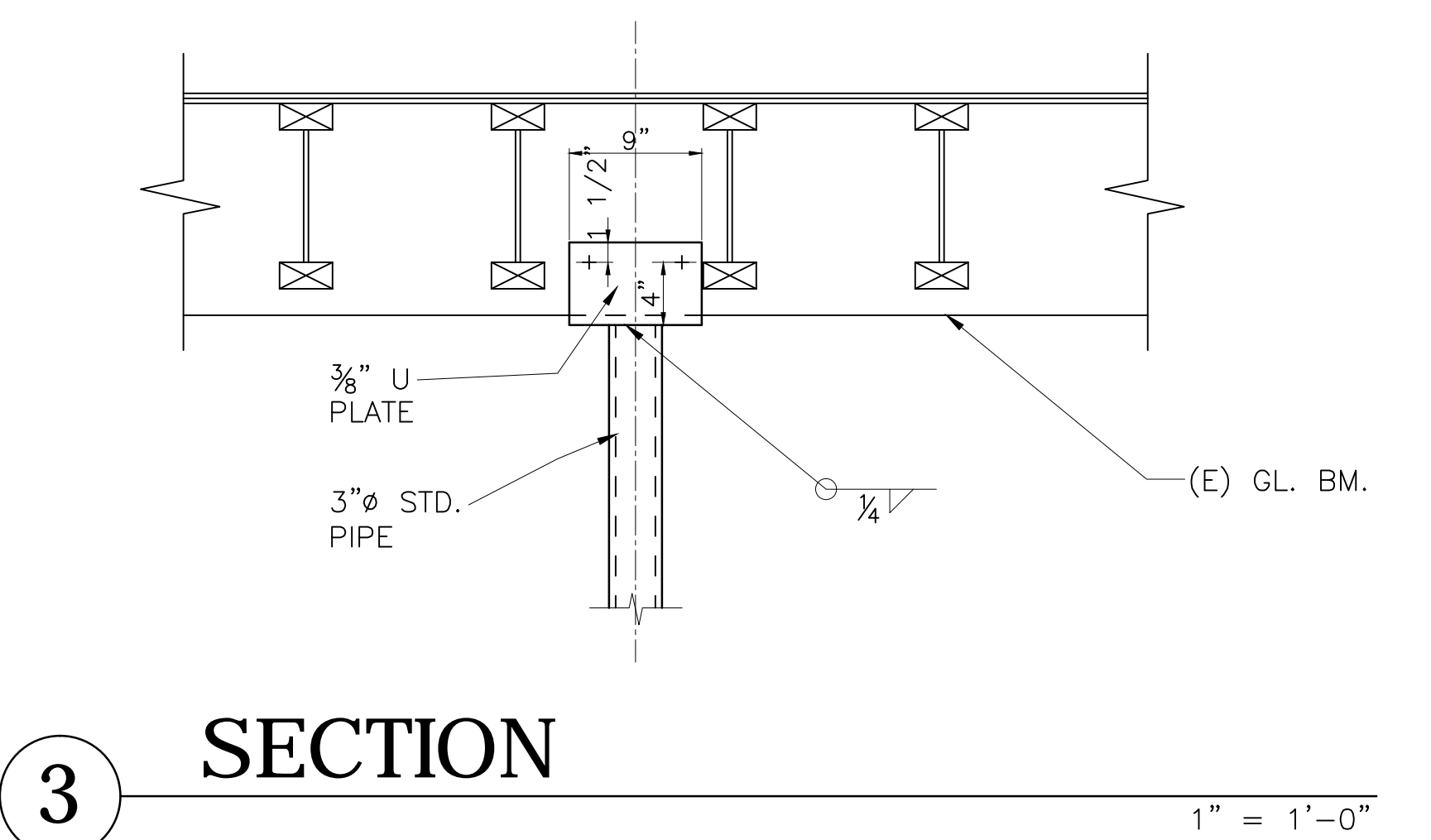
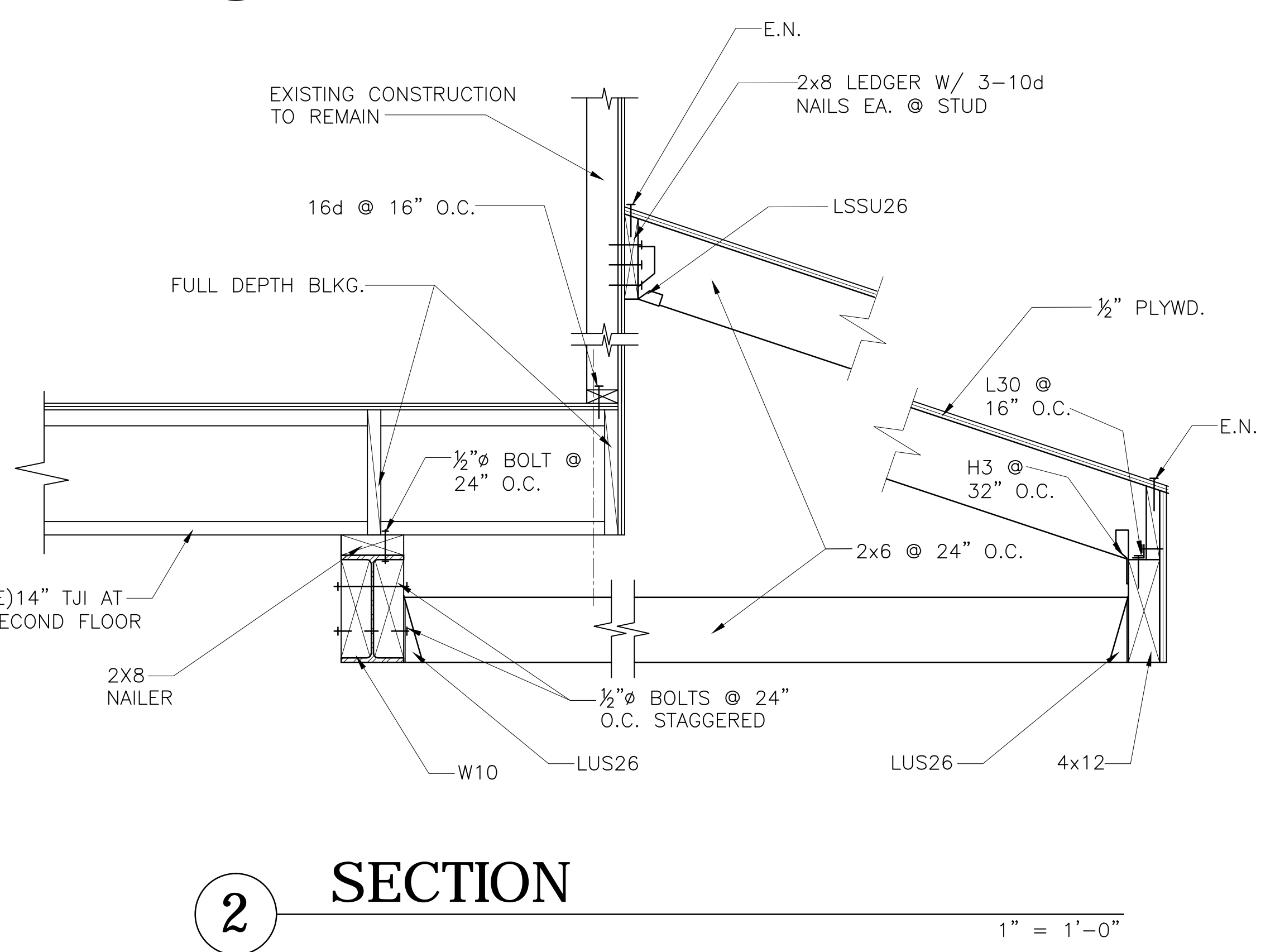
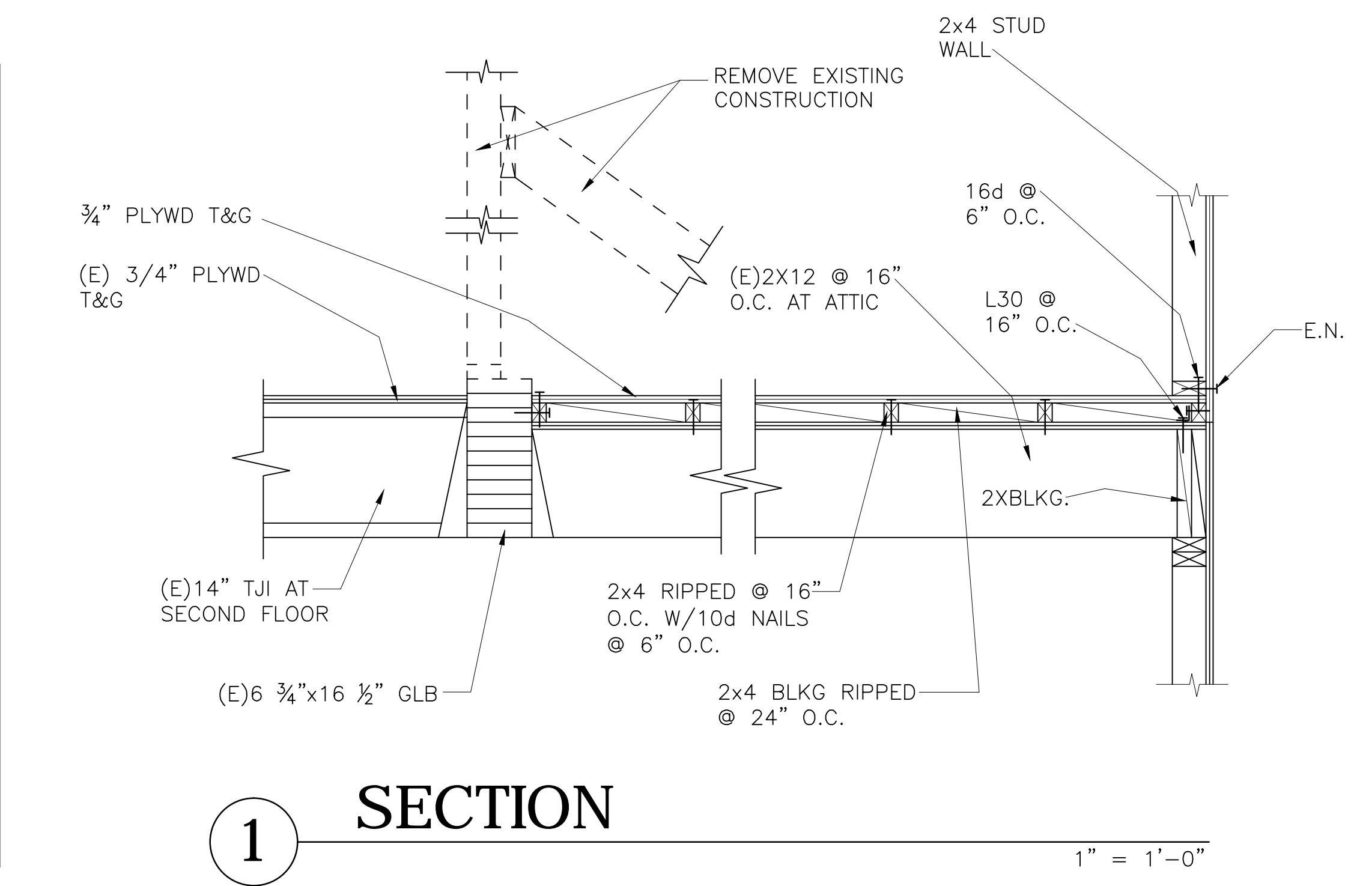
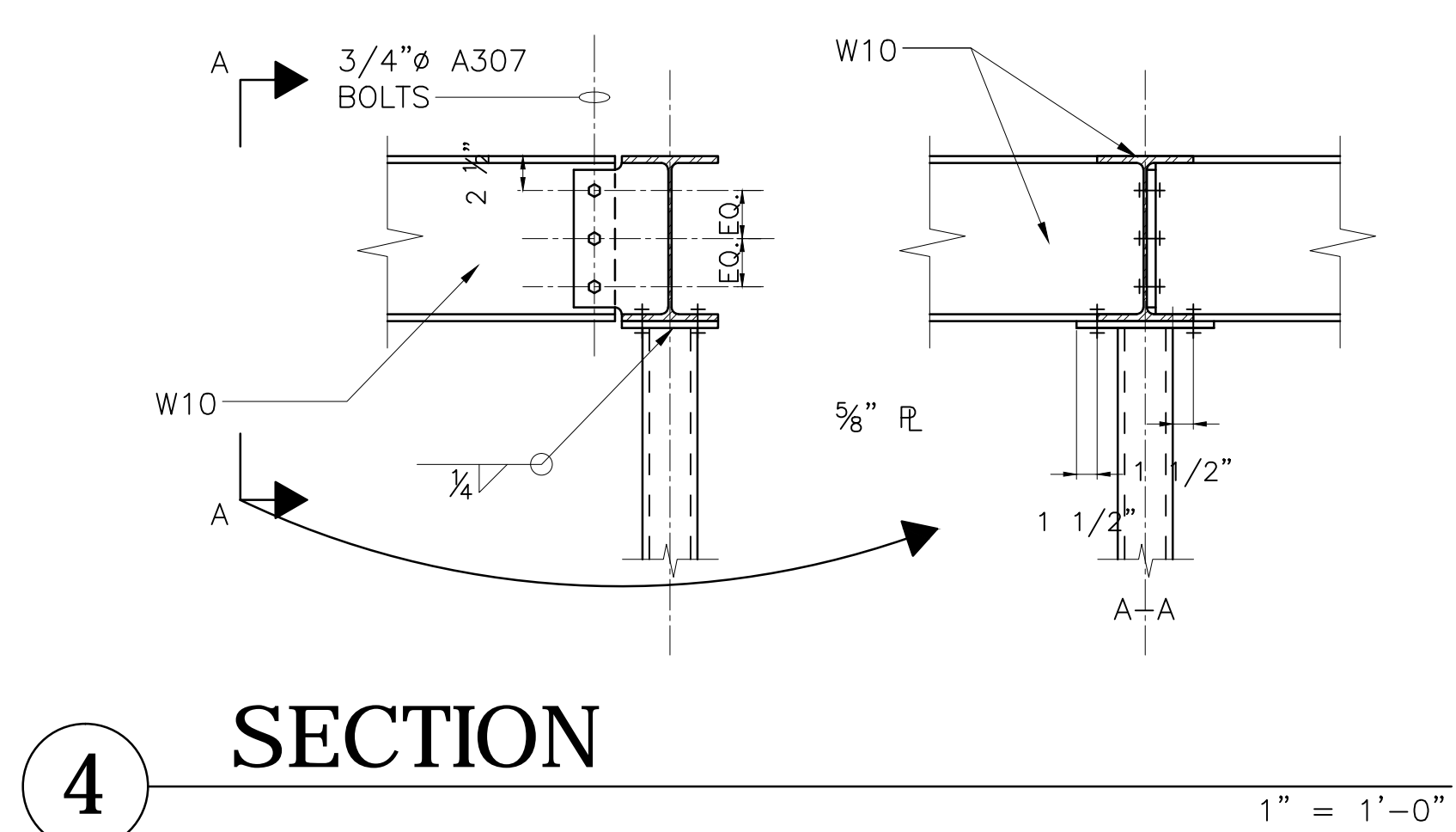
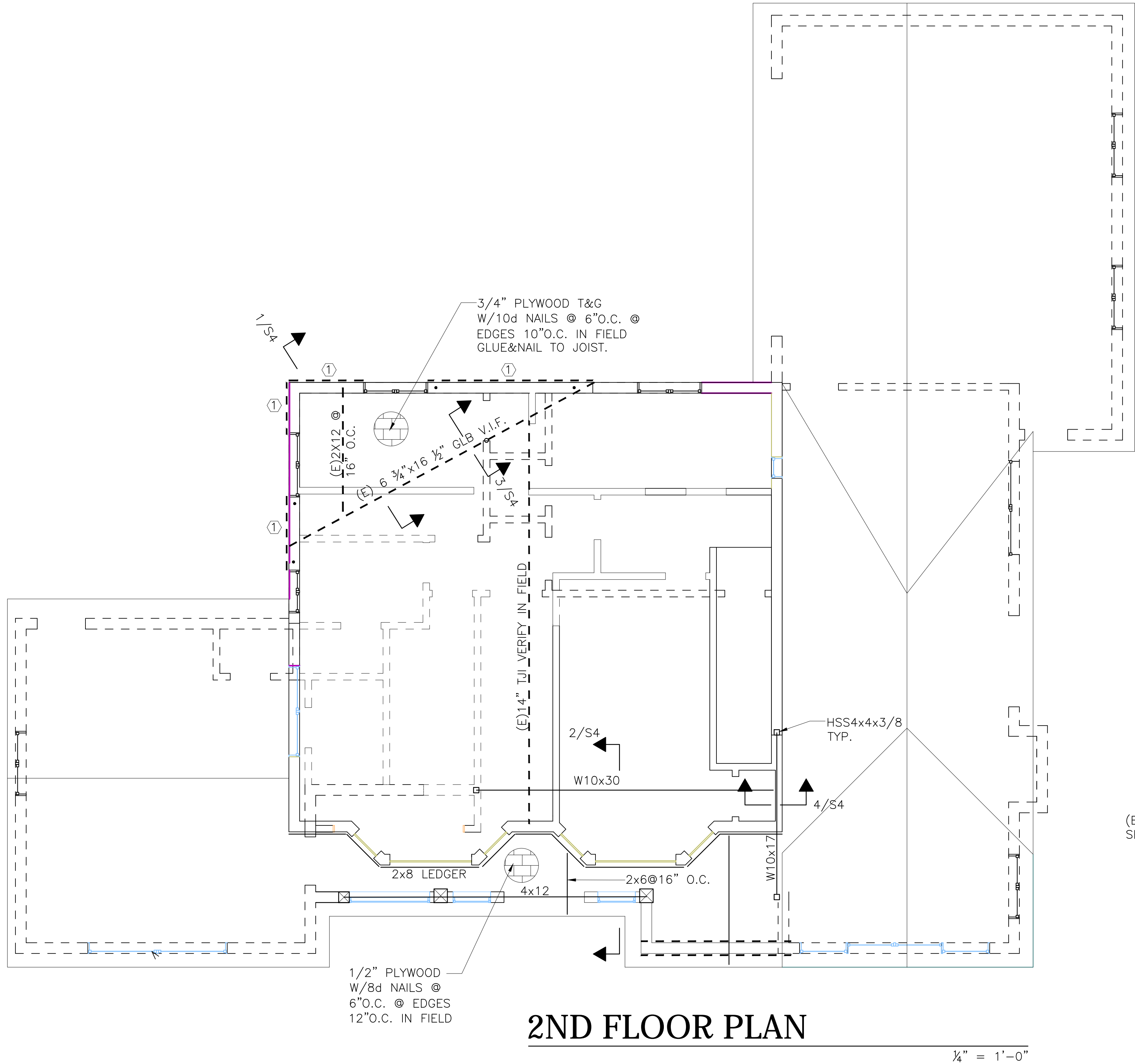
ISSUE DATE: 7-30-2020  
SPACE PLAN DATE:

DRAWING TITLE:

DRAWING NUMBER:

S3





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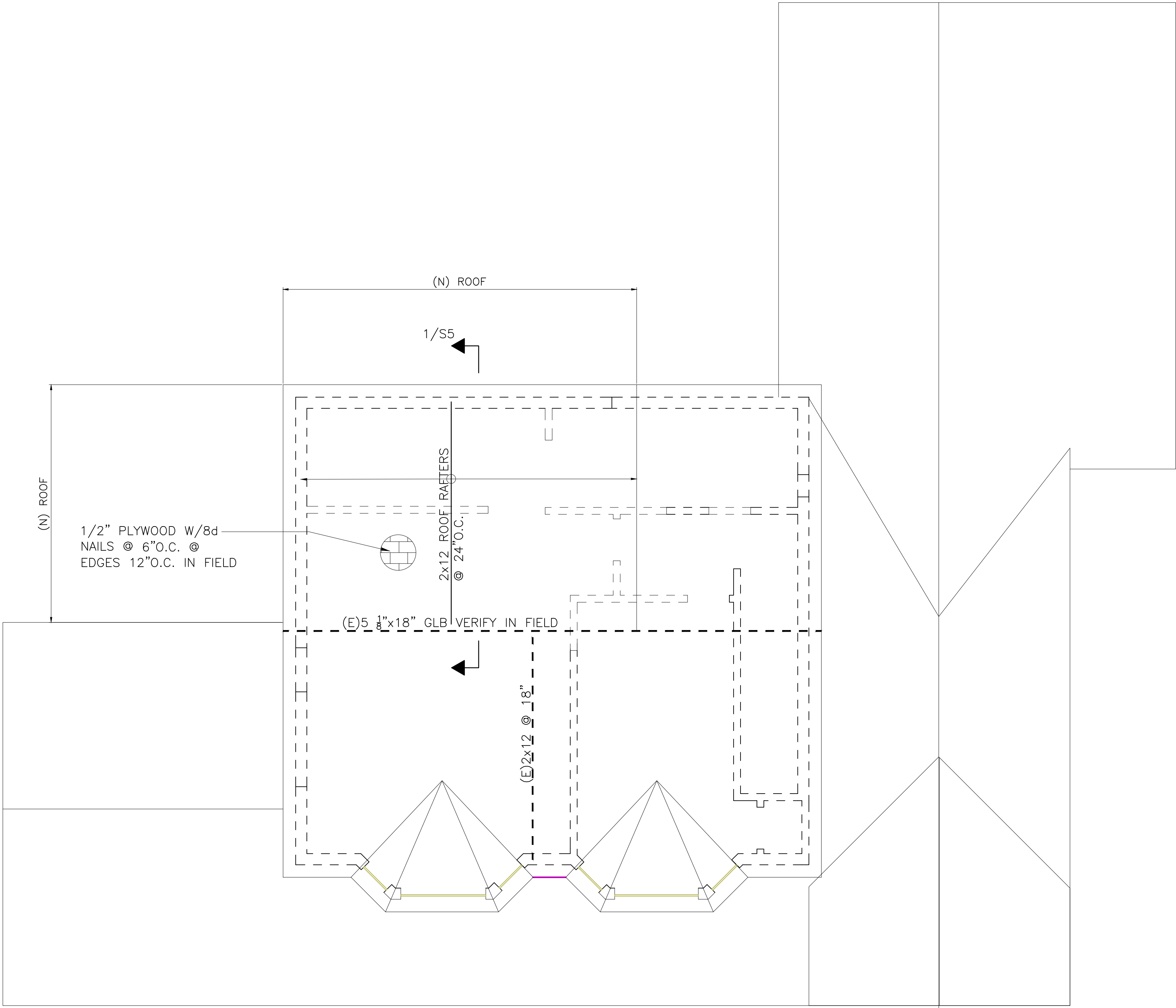
ISSUE DATE: 7-30-2020  
SPACE PLAN DATE:

DRAWING TITLE:

DRAWING NUMBER:

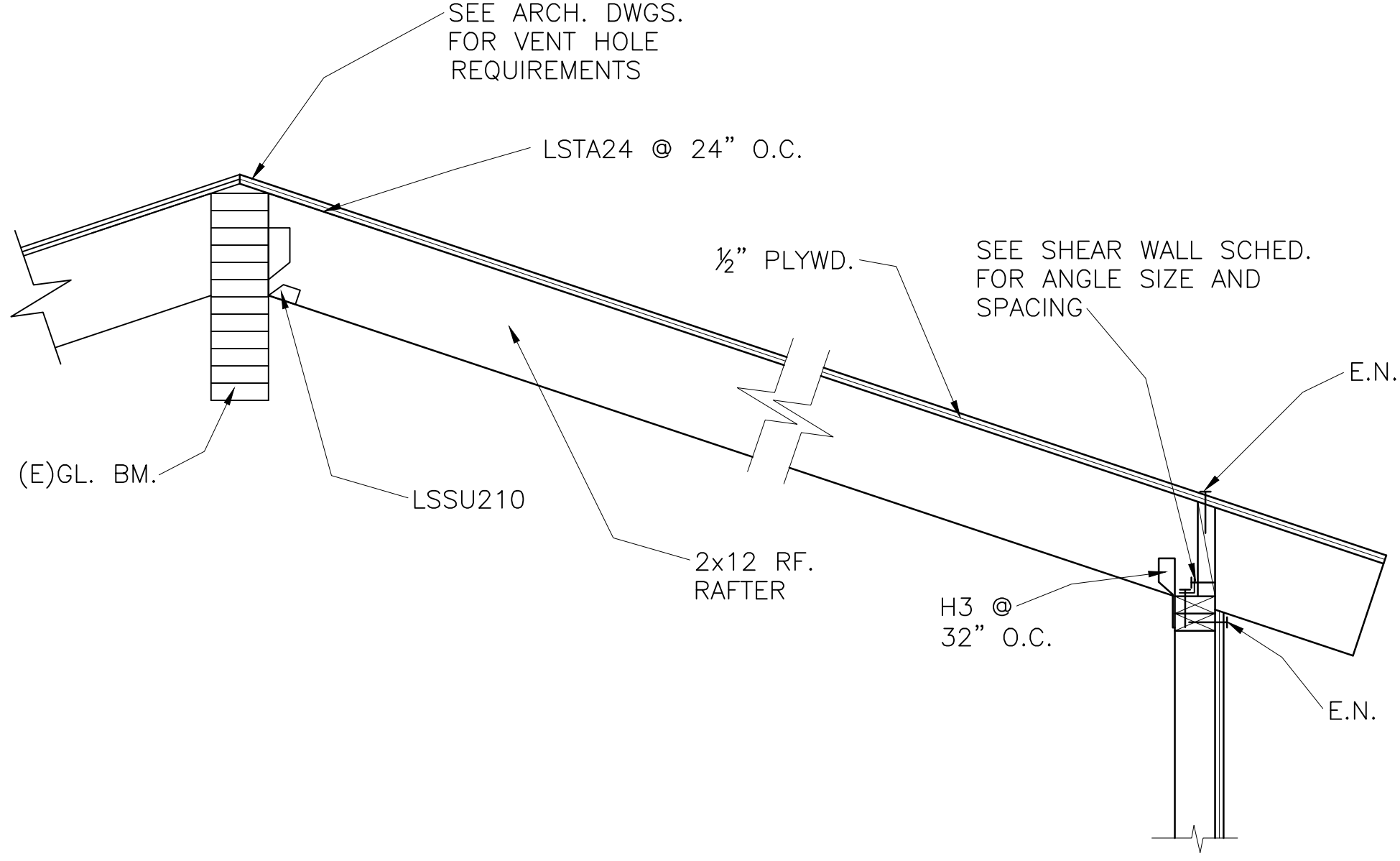
S4





ROOF PLAN

1/4" = 1'-0"



1 SECTION

1/4" = 1'-0"

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ISSUE DATE: 7-30-2020  
SPACE PLAN DATE:

DRAWING TITLE:

DRAWING NUMBER:

S5















RESIDENTIAL MEASURES SUMMARY							RMS-1
Project Name <i>Residential Addition Remodel</i>		Building Type <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Multi Family <input type="checkbox"/> Addition Alone <input checked="" type="checkbox"/> Existing+ Addition/Alteration		Date <i>7/27/2020</i>			
Project Address <i>2483 Mount Pleasant Road San Jose</i>		California Energy Climate Zone <i>CA Climate Zone 04</i>		Total Cond. Floor Area <i>2,684</i>	Addition <i>352</i>	# of Units <i>1</i>	
INSULATION							
Construction	Type	Cavity	Area (ft <sup>2</sup> )	Special Features		Status	
Wall	Wood Framed	- no insulation	28			Existing	
Wall	Wood Framed	- no insulation	671			Existing	
Wall	Wood Framed	- no insulation	30			Existing	
Wall	Wood Framed	- no insulation	496			Existing	
Wall	Wood Framed	- no insulation	749			Existing	
Door	Opaque Door	- no insulation	40			Existing	
Wall	Wood Framed	- no insulation	465			Existing	
Roof	Wood Framed Attic	R 19	1,910			Existing	
FENESTRATION		Total Area:	441	Glazing Percentage:	16.4%	New/Altered Average U-Factor:	0.40
Orientation	Area(ft <sup>2</sup> )	U-Fac	SHGC	Overhang	Sidefins	Exterior Shades	Status
Right (SW)	32.0	1.280	0.80	none	none	N/A	Existing
Front (W)	108.0	0.400	0.25	none	none	N/A	Altered
Front (W)	40.0	1.280	0.80	none	none	N/A	Existing
Front (NW)	30.0	1.280	0.80	none	none	N/A	Existing
Left (N)	35.0	1.280	0.80	none	none	N/A	Existing
Rear (E)	30.0	1.280	0.80	none	none	N/A	Existing
Right (S)	42.0	0.400	0.25	none	none	N/A	Altered
Right (S)	24.0	1.280	0.80	none	none	N/A	Existing
Front (W)	76.0	0.400	0.25	none	none	N/A	New
Left (N)	24.0	0.400	0.25	none	none	N/A	New
HVAC SYSTEMS							
Qty.	Heating	Min. Eff	Cooling	Min. Eff	Thermostat	Status	
1	Central Furnace	80% AFUE	No Cooling	14.0 SEER	Setback	Existing	
HVAC DISTRIBUTION							
Location	Heating	Cooling	Duct Location	Duct R-Value	Status		
Existing FAU	Ducted	Ducted	Attic	6.0	Altered		
WATER HEATING							
Qty.	Type	Gallons	Min. Eff	Distribution	Status		