2483 MOUNT PLEASANT ROAD SAN JOSE, CA 95148

BUILDING PERMIT SET



Consultant Address Address

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		1
No.	Description	Date

Farhad Taghibakhsh

2483 MOUNT PLEASANT ROAD, SAN JOSE CA 95148

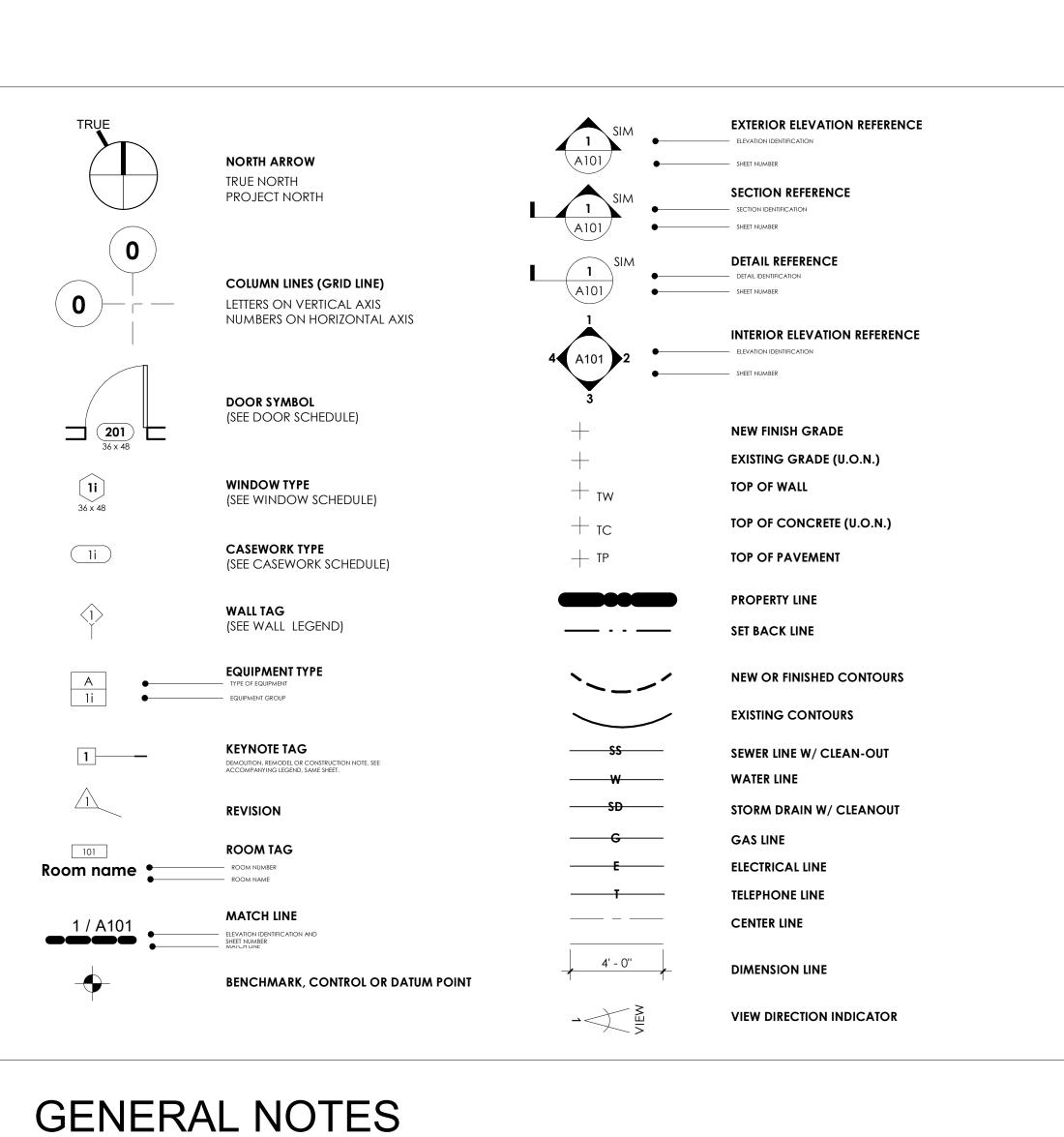
COVERSHEET

Project Number Project Number

Checked By

Issue Date

Author



PROJECT DATA

ASSESSOR'S PARCEL NUMBER

ZONING DISCTICT:

TYPE OF CONSTRUCTION:

USE:

FLOOR AREA CALCULATIONS (EXISTING & PROPOSED)

EXISTING FLOOR AREA

LEVEL 1 (EXCLUDING GARAGE) = 1743 SF

LEVEL 1(GARAGE ONLY)= 532SF LEVEL 2 = 618 SF

TOTAL EXISITING FLOOR AREA = 2893 SF

PROPOSED ADDITIONAL FLOOR AREA LEVEL 1 = 177 SF

LEVEL 2 = 175 SF TOTAL ADDITIONAL FLOOR AREA = 352 SF

TOTAL AREA AFTER CONSTRUCTION: 2893SF + 352 SF= 3245SF

Sheet Number **Sheet Name** A000 COVERSHEET GENERAL NOTES, SHEET INDEX & ABBREVIATIONS SITE PLAN 1959 SURVEY AND MAP FROM OFFICE OF **ASSESSOR** NEW ADDITION ENCROACHMENTS LEVEL 1&2 - EXISTING PLANS LEVEL 1&2 - DEMOLITION PLANS LEVEL 1&2- NEW PLANS **ELEVATIONS** SECTION ENLARGED PLANS AND INTERIOR ELEVATIONS PERSPECTIVES A107 PERSPECTIVES DOOR AND WINDOW SCHEDULE REFLECTED CEILING PLAN, ELECTRICAL AND LIGHTING PLANS PLUMBING PLANS GENERAL NOTES AND DETAILS GENERAL NOTES AND DETAILS FIRST FLOOR FOUNDATION PLAN AND DETAILS SECOND FLOOR PLAN AND DETAILS ROOF PLAN AND SECTION TITLE 24 T-101 TITLE 24 TITLE 24 T-103 T-104 TITLE 24

SHEET INDEX

PROJECT SCOPE

- 1- 177 SF ADDITION TO MAIN ENTRANCE OF THE BUILDING
- 175 SF ADDITION TO SECOND FLOOR MASTER BEDROOM
- CONVERTING EXISTING DINING ROOM TO AN OFFICE UNIT WITH NEW BATHROOM AND KITCHENETTE
- CONVERSION OF EXISTING BATHROOM TO NEW LAUNDRY ROOM

- ADDING NEW BATHROOM TO THE FIRST FLOOR ADDING NEW KITCHEN TO THE FIRST FLOOR

APPLICABLE CODE

SITE CONTEXT

654-12-10

RR-D1

TYPE-VB

RESIDENTIAL-R3

DIMENSIONS ON DRAWINGS: DO NOT SCALE THE DRAWINGS. USE WRITTEN DIMENSIONS. IF CONFLICTS EXIST NOTIFY THE OWNER BEFORE PROCEEDING WITH THE WORK. DIMENSIONS ARE TO THE FACE OF FINISH UNLESS OTHERWISE NOTED. 2. COORDINATION OF WORK: THE CONTRACTOR IS REPONSIBLE FOR THE COORDINATION OF HIS/HER WORK AND THAT OF ALL SUB-CONTRACTORS. VERIFY AND COORDINATE ALL ROUTING

WORK SUCH THAT CONFLICTS DO NOT OCCUR. NOTIFY OWNER OF PROBLEMATIC 17. ENGINEERING INSPECTIONS: ALL ENGINEERING INSPECTIONS REQUIRE 24-HOUR NOTICE. 3. CONFLICTS IN DOCUMENTS: NOTIFY OWNER IMMEDIATELY FOR CLARIFICATION SHOULD ANY CONFLICT IN INFORMATION FOUND IN THE DOCUMENTATION BE DISCOVERED.

AND DEBRIS AT ALL TIMES. DAILY ROAD CLEANUP WILL BE ENFORCED.

20. R314 CALIFORNIA RESIDENTIAL CODE: A SMOKE DETECTOR MUST BE INSTALLED IN ALL NEW AND EXISTING BEDROOMS, AS WELL AS THE PATHWAYS LEADING TO THE SLEEPING AREAS AND

PERFORMED UNDER SEPARATE PERMIT OBTAINED BY THE GENERAL CONTRACTOR. <u>6. AGENCY, INSPECTIONS, AND UTILITY COORDINATION:</u> THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED CITY AGENCY INSPECTIONS. IN ADDITION, THE CONTRACTOR IS TO COORDINATE WORK WITH ALL UTILITY COMPANIES (GAS, ELECTRICITY, WATER, PHONES, ETC.) SUCH THAT SERVICE TO THE SITE IS EITHER MAINTAINED OR PROVIDED

7. SPECIAL INSPECTIONS AND TESTING: IF REQUIRED BY THE GOVERNING AGENCIES, THE WNER IS TO PROVIDE REQUIRED SPECIAL INSPECTIONS AND TESTING VIA EITHER THE STRUCTURAL ENGINEER OR A LICENSED THIRD-PARTY TESTING AGENCY. THE GENERAL CONTRACTOR IS TO COORDINATE ALL WORK AND GIVE THE OWNER A MINIMUM FIVE DAY NOTIFICATION ONCE THE WORK IS READY FOR INSPECTION. KEEP ALL REPORTS FOR SUBMITTAL TO AUTHORITIES AT FINAL INSPECTION

OF MECHANICAL, ELECTRICAL, AND PLUMBING ITEMS, ROUGH-IN DIMENSIONS AND REQUIRED

CLEARANCES OF UTILITIES, APPLIANCES, AND OTHER ITEMS ASSOCIATED WITH THE PROJECT

4. CUTTING AND PATCHING: WHERE WORK REQUIRES CUTTING INTO OR DISRUPTION OF

5. TEMPORARY SHORING AND UNDERPINNING: IF REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHORING AND BRACING OF BOTH EXISTING AND NEW WORK AS REQUIRED TO STABILIZE THE WORK AND TO MINIMIZE RISK OF PROPERTY DAMAGE OR INJURY

ON SITE OR TO ADJACENT PROPERTIES. SHORING AND UNDERPINNING WORK IS TO BE

IN A TIMELY MANNER TO THE COMPLETION OF THE WORK. COORDINATE NEW SERVICE

LOCATIONS AND CONFIGURATIONS WITH THE APPROPRIATE PROVIDER AND THE OWNER

SURFACES. PATCHING INCLUDES FINISH PAINTING OF AREA DISRUPTED.

EXISTING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING BOTH THE AREA OF WORK AND ITS ADJACENT SURFACES TO MATCH ADJACENT EXISTING

8. SITE UTILITIES: THE CONTRACTOR IS TO CAREFULLY REVIEW ANY EXISTING UTILITIES AND IDENTIFY THOSE THAT REQUIRE RELOCATION WITH REGARD TO THE PROPOSED SCOPE OF WORK. CONTRACTOR IS TO IDENTIFY WHETHER UPGRADES ARE REQUIRED TO MEET THE THE REQUIREMENTS OF THE CODE. VERIFY THE EXISTING ELECTRICAL SERVICE, MAIN PANEL AND SUB-PANELS, WATER AND HVAC ARE ADEQUATE FOR THE PROPOSED SCOPE OF WORK.

9. PROTECTION OF PROPERTY: PROTECT THE ADJACENT PROPERTIES AND IMPROVEMENTS FROM ALL DISTURBANCES AND DAMAGE. DO NOT TRESPASS ON NEIGHBORING PROPERTY. IF REQUIRED, SUBMIT WRITTEN REQUEST TO NEIGHBOR(S) WITH COPY TO OWNER AT LEAST 10 DAYS PRIOR TO NEEDED DATE OF TRESPASS. IF ANY DAMAGE OR DISTURBANCE OCCURS TO NEIGHBORING PROPERTIES, RESTORE TO PREVIOUS EXISTING CONDITION AT NO

10. OWNER'S PROPERTY: IF OWNER'S FURNISHINGS, DECORATIONS OR OTHER PERSONAL PROPERTY ARE IN THE WAY OF THE NEW WORK, COORDINATE WITH THE OWNER FOR THEIR SAFE PROTECTION, RELOCATION, OR REMOVAL FROM THE JOBSITE PRIOR TO THE START OF THE

11. TEMPORARY BARRIERS: PROVIDE TEMPORARY BARRIERS TO PROTECT BOTH EXISTING AREAS AND NEW WORK COMPLETED FROM DISTURBANCE, DUST, DIRT, DEBRIS OR OTHER DAMAGE. IF ANY DISTURBANCE OR DAMAGE OCCURS, RESTORE TO PREVIOUS CONDITION AT NO

12. DEBRIS REMOVAL: MAINTAIN PREMISES AND PUBLIC PROPERTIES FREE FROM ACCUMULATION OF WASTE, DEBRIS AND RUBBISH CAUSED BY OPERATIONS. LEAVE THE JOBSITE

CLEAN AND SECURE AT THE END OF EACH WORKING DAY. 13. FINAL CLEANING: THE WORK INCLUDES FINAL CLEANING AT THE SITE INCLUDING THE BUILDING INTERIOR, EXTERIOR AND SITE. WIPE DOWN AND DUST ALL SURFACES, VACUUM OR

MOP ALL FLOORS, WASH AND POLISH GLASS, REMOVE ANY AND ALL PAINT SPOTS ON EXPOSED SURFACES AND REMOVE ALL DEBRIS AND TRASH.

14. WARRANTIES: ALL WORK PERFORMED IS TO BE GUARANTEED AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION, EXCEPT WHERE LONGER PERIODS ARE GIVEN BY PRODUCT MANUFACTURERS OR ELSEWHERE IN THE CONSTRUCTION DOCUMENTS. NEATLY ARRANGE ALL PRODUCT WARRANTIES, USER MANUALS AND OTHER PERTINENT MATERIALS AND PROVIDE THEM TO THE OWNER AT FINAL COMPLETION OF WORK.

5. DOORS AND WINDOWS: THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING DOOR AND A.) REVIEW ALL ROUGH OPENING SIZES AND LOCATIONS WITH DRAWINGS AND WINDOW SUPPLIER AT SITE PRIOR TO THE COMMENCEMENT OF WORK ON BOTH THE FOUNDATIONS AND THE ROUGH FRAMING. IMMEDIATELY NOTIFY OWNER AND DESIGNER OF ANY DISCREPANCIES OPENINGS SHOWN ON THE ARCHITECTURAL DRAWINGS AND THOSE AT THE FOUNDATIONS AND FRAMING AS DESCRIBED IN THE STRUCTUAL DRAWINGS.

B.) AT COMPLETION OF ROUGH FRAMING, REVIEW OPENINGS WITH DRAWINGS AND WINDOW

SUPPLIER. SUBMIT COPY OF WINDOW ORDER TO OWNER FOR REVIEW PRIOR TO PROCEEDING WITH ORDER. C.) VERIFY WITH SUPPLIER THAT WINDOWS TO BE USED FOR EGRESS PURPOSES MEET THE MINIMUM REQUIREMENTS SET FORTH IN THE BUILDING CODE. PROVIDE FIRE RATINGS AND TEMPERED GLAZING AS REQUIRED BY THE DRAWINGS OR AS SET FORTH IN THE BUILDING CODE. D.) COORDINATE INSTALLATION OF ALL EXTERIOR DOOR AND WINDOW ASSEMBLIES TO INSURE A WEATHER-TIGHT CONDITION.

16. MECHANICAL: THE CONTRACTOR IS TO PROVIDE DESIGN-BUILD SERVICES FOR THE PLUMBING AND MECHANICAL SCOPE OUTLINED IN THE DRAWINGS. COMPLY WITH ALL APPLICABLE CODES AND TITLE 24 ENERGY COMPLIANCE. SECURE AND PAY FOR ALL REQUIRED PERMITS. REVIEW DRAWINGS AND COORDINATE PATHWAYS SUCH THAT THEY ARE HIDDEN FROM VIEW. IF PATHWAYS CANNOT BE CONCEALED WITHIN THE WALLS, SOFFITS AND CEILING PROFILES AS SHOWN ON THE DRAWINGS. COORDINATE ALTERNATE LOCATIONS WITH DESIGNER AND OWNER ON SITE PRIOR TO PROCEEDING WITH THE WORK.

18. CONSTRUCTION WORKING HOURS: CONSTRUCTION WORKING HOURS SHALL NOT EXTEND BEYOND 7 A.M. TO 6 P.M., MONDAY THROUGH FRIDAY, WITHOUT SPECIFIC WRITTEN PERMISSION FROM THE CITY OF SAN JOSE

19. ROAD CLEANUP: ROADWAYS SHALL BE MAINTAINED CLEAR OF CONSTRUCTION MATERIALS

<u>21. R315 CALIFORNIA RESIDENTIAL CODE:</u> A CABON MONOXIDE DETECTOR MUST BE INSTALLED IN ALL NEW AND EXISTING DWELLINGS IN THE PATHWAYS LEADING TO THE SLEEPING AREA AND ON

DEMOLITION NOTES

I. DEMOLITION DRAWINGS ARE SCHEMATIC. REMOVE ALL WORK AS INDICATED AND AS REQUIRED TO COMPLETE NEW CONSTRUCTION AS INDICATED. REFER TO CIVIL ENGINEERING, LANDSCAPE, MECHANICAL AND ELECTRICAL DRAWINGS FOR FEATURES NOT OTHERWISE SHOWN.

2. NOTES AND SYMBOLS ARE TO APPLY AT ALL AREAS OF SIMILAR GRAPHIC REPRESENTATION. SUCH INDICATIONS MAY BE LIMITED TO PROMOTE CLARITY OR AVOID REDUNDANCY. NO LIMITATION OF APPLICATION SHALL BE CONSTRUED WITHOUT SPECIFIC NOTATION.

3. NOTIFY LOCAL AGENCY HAVING JURISDICTION PRIOR TO STARTING DEMOLITION WORK. COMPLY WITH ALL AGENCY REQUIREMENTS.

4. OWNER WILL REMOVE FURNITURE, STORED MATERIALS AND MOVABLE EQUIPMENT IN THE AREA

OF WORK PRIOR TO START OF DEMOLITION. 5. VERIFY EXISTING CONDITIONS AND INVERT ELEVATIONS OF UNDERGROUND UTILITIES PRIOR TO DEMOLITION. NOTIFY DESIGNER OF DISCREPANCIES AND REQUEST DIRECTION.

6. PROVIDE ALL SHORING, BRACING AND SUPPORTS REQUIRED TO PREVENT SETTLEMENT OR DISPLACEMENT. 7. DISCONNECT ALL AFFECTED UTILITIES PRIOR TO STARTING DEMOLITION WORK.

8. NEATLY CUT AND REMOVE SURFACES AND FINISHES AS REQUIRED OR TO A NATURAL POINT OF DIVISION TO ENABLE INSTALLATION OF UTILITIES OR OTHER CONCEALED WORK, WHETHER SPECIFICALLY SHOWN OR INFERRED FOR SUPPORT OR RENOVATION.

9. PROTECT EXISTING WORK DESIGNATED TO REMAIN FROM DAMAGE DUE TO DEMOLITION AND

10. REPAIR AND REPLACE ALL EXISTING SURFACES AND FINISHES TO MATCH EXISTING UNDISTURBED WORK. 11. CAP ALL ABANDONED UTILITIES BEHIND FACE OF NEW FINISHES, INCLUDING FINISH GRADE OR

PAVING, RECORD ALL LOCATIONS ON RECORD DOCUMENTS. 12. SEE STRUCTUAL DRAWINGS FOR DEMOLITION OF SHEAR WALLS, INTERIOR PARTITIONS, TRENCHES FOR INSTALLATION OF UNDERGROUND UTILITIES.

13. SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR DEMOLITION OF ITEMS NOT OTHERWISE INDICATED, INCLUDING UNDERGROUND OR CONCEALED UTILITIES AND SERVICES. 14. ALL DEMOLISHED MATERIALS ARE THE PROPERTY OF THE CONTRACTOR, EXCEPT FOR SUCH

ITEMS AS THE OWNER WISHES TO CLAIM. STOCKPILE THESE ITEMS ON THE SITE AS DIRECTED BY I5. REMOVE DEMOLISHED MATERIALS FROM SITE AND DISPOSE OF IN A LEGAL MANNER USING

18. REMOVE ALL EXISTING NAILS, TACKS, STAPLES, HANGER WIRES, SIGNAL WIRES, CABLES AND SIMILAR ITEMS FROM SURFACES TO REMAIN. PREPARE ALL REMAINING SURFACES / SUBSTRATE TO RECEIVE INDICATED FINISHES.

LOCAL RECYCLING FACILITIES.

19. REMOVE AND STORE DESIGNATED EQUIPMENT / MATERIALS FOR RE-INSTALLATION AS

HAZARDOUS MATERIALS AND TOXIC SUBSTANCES. 21. PRIOR TO START OF WORK, REFER TO HAZARDOUS MATERIALS SURVEY OR ABATEMENT DOCUMENTATION. HAZARDOUS MATERIALS MAY BE PRESENT ON THE SITE OR IN EXISTING CONSTRUCTION. THESE CONTRACT DOCUMENTS DO NOT CONTAIN MEASURES OR PRECAUTIONS

20. SELECTIVE DEMOLITON INDICATED IN THESE CONTRACT DOCUMENTS EXCLUDES REMOVAL OF

FOR HAZARDOUS MATERIALS ABATEMENT. 22. IF HAZARDOUS MATERIALS ARE DISCOVERED OR SUSPECTED DURING DEMOLITION OPERATIONS, STOP WORK AND NOTIFY OWNER'S REPRESENTATIVE FOR INSTRUCTIONS IMMEDIATELY. TAKE MEASURES TO PROTECT WORKERS AND PUBLIC. DIRECT ALL QUESTIONS ABOUT HAZARDOUS MATERIALS TO THE OWNER'S REPRESENTATIVE.

23. COORDINATE DEMOLITION WITH WORK OF HAZARDOUS MATERIAL ABATEMENT WORK AS DIRECTED BY OWNER.

CALIFORNIA BUILDING CODE, PART 2 CALIFORNIA RESIDENTIAL CODE, PART 2.5 CALIFORNIA ELECTRICAL CODE, PART 3 CALIFORNIA MECHANICAL CODE, PART 4 CALIFORNIA PLUMBING CODE, PART 5 2019 CALIFORNIA ENERGY CODE, PART 11

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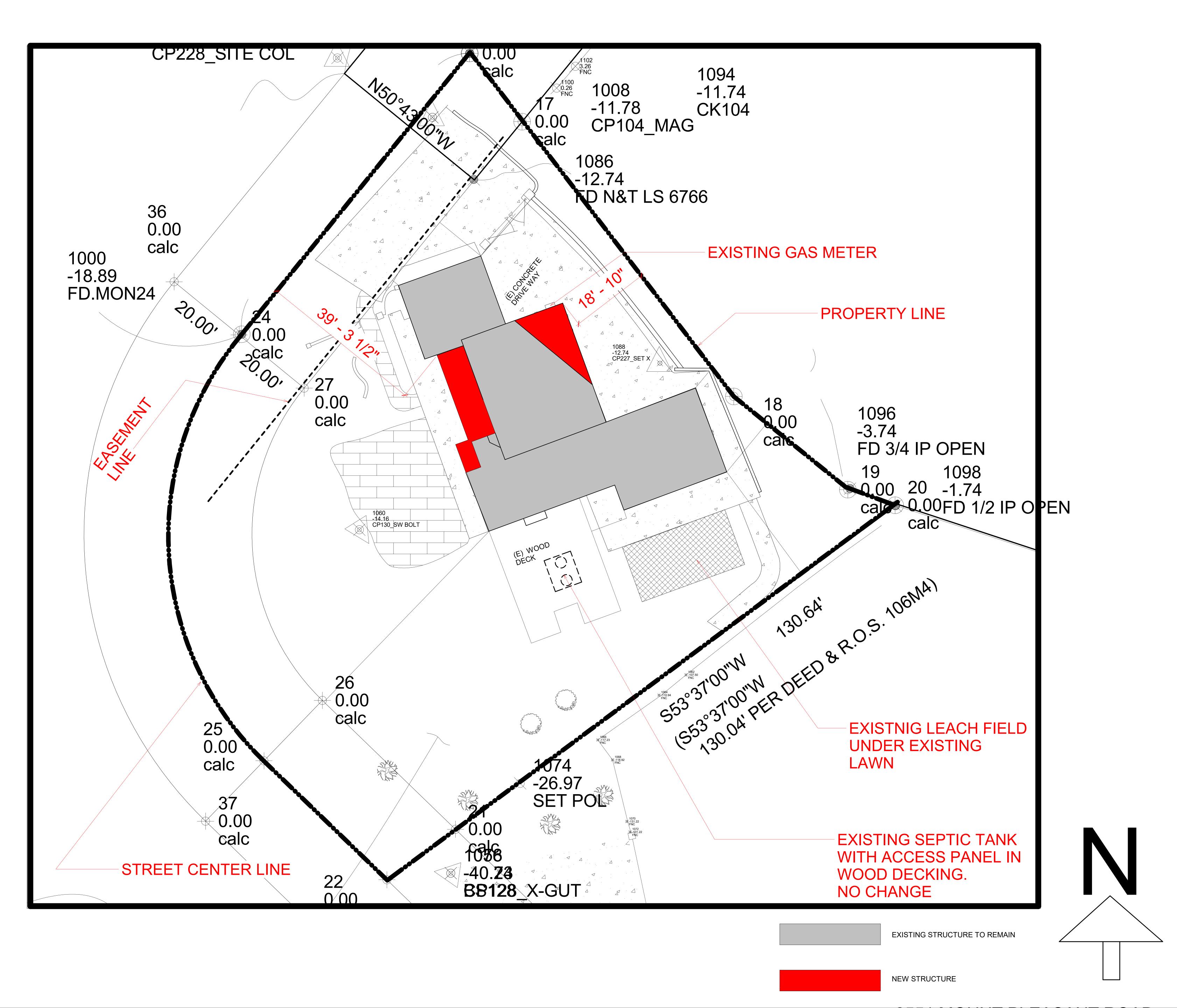
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Farhad Taghibakhsh

2483 MOUNT PLEASANT ROAD, SAN JOSE CA 95148

GENERAL NOTES, SHEET INDEX & ABBREVIATIONS

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SITE PLAN

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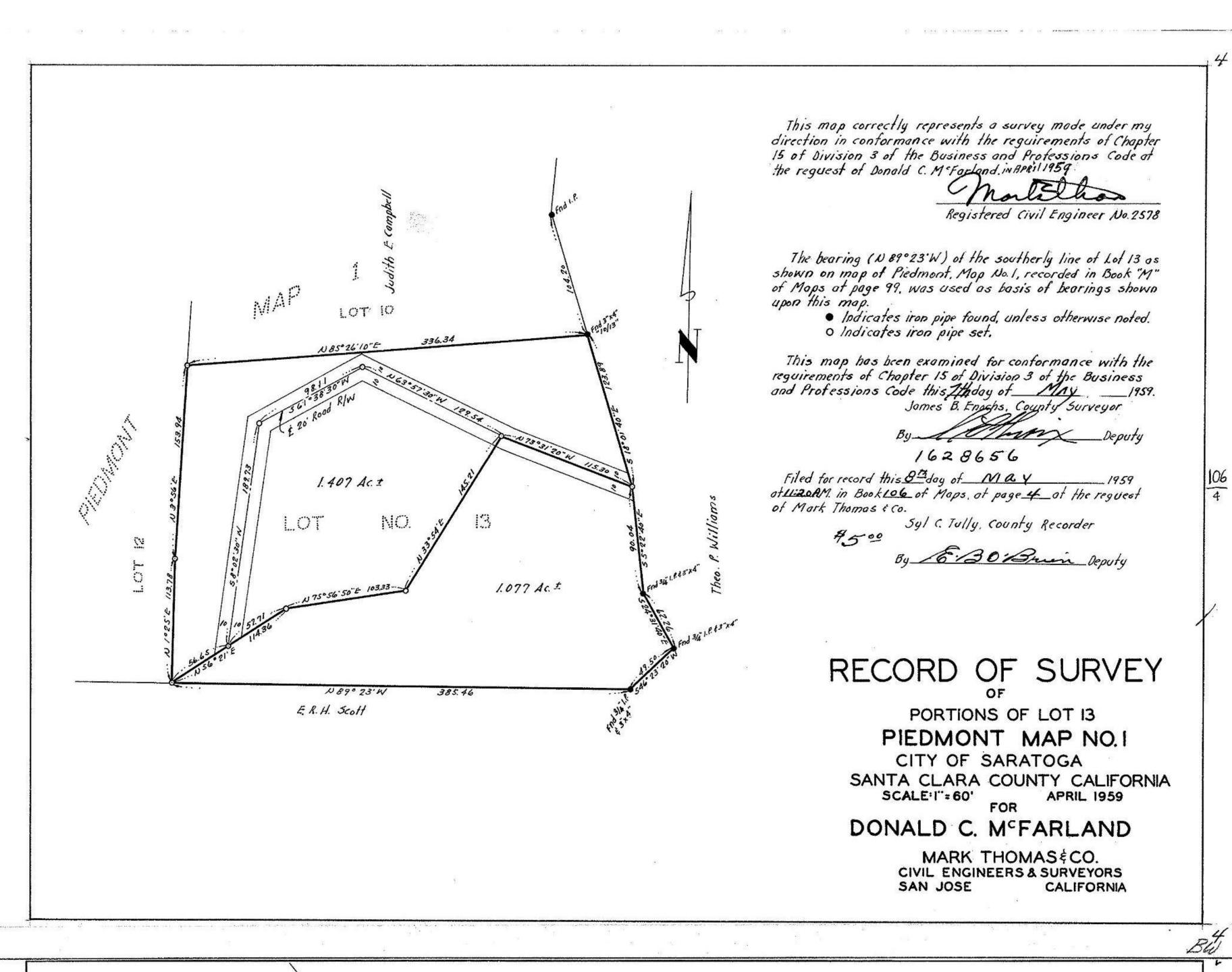
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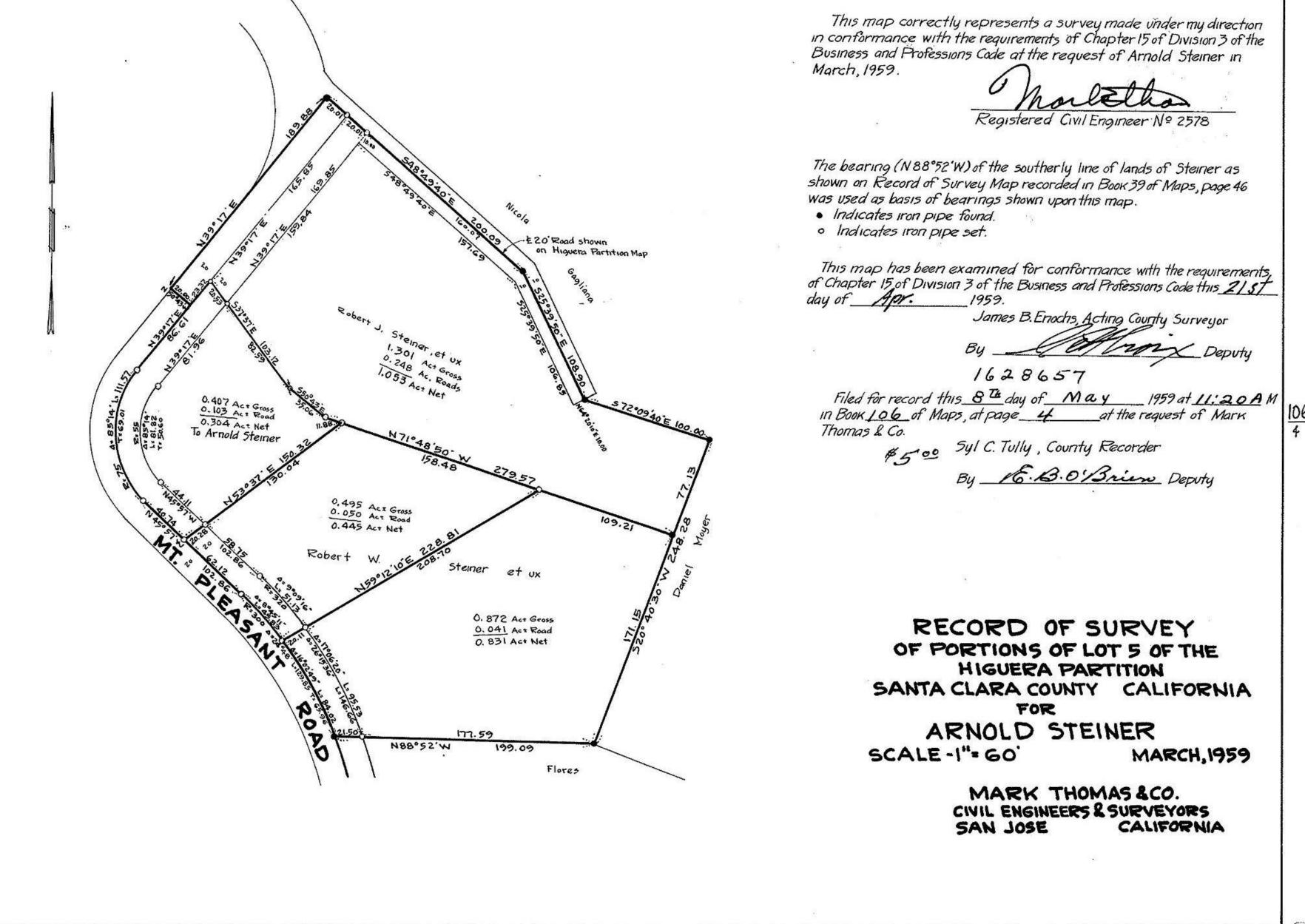
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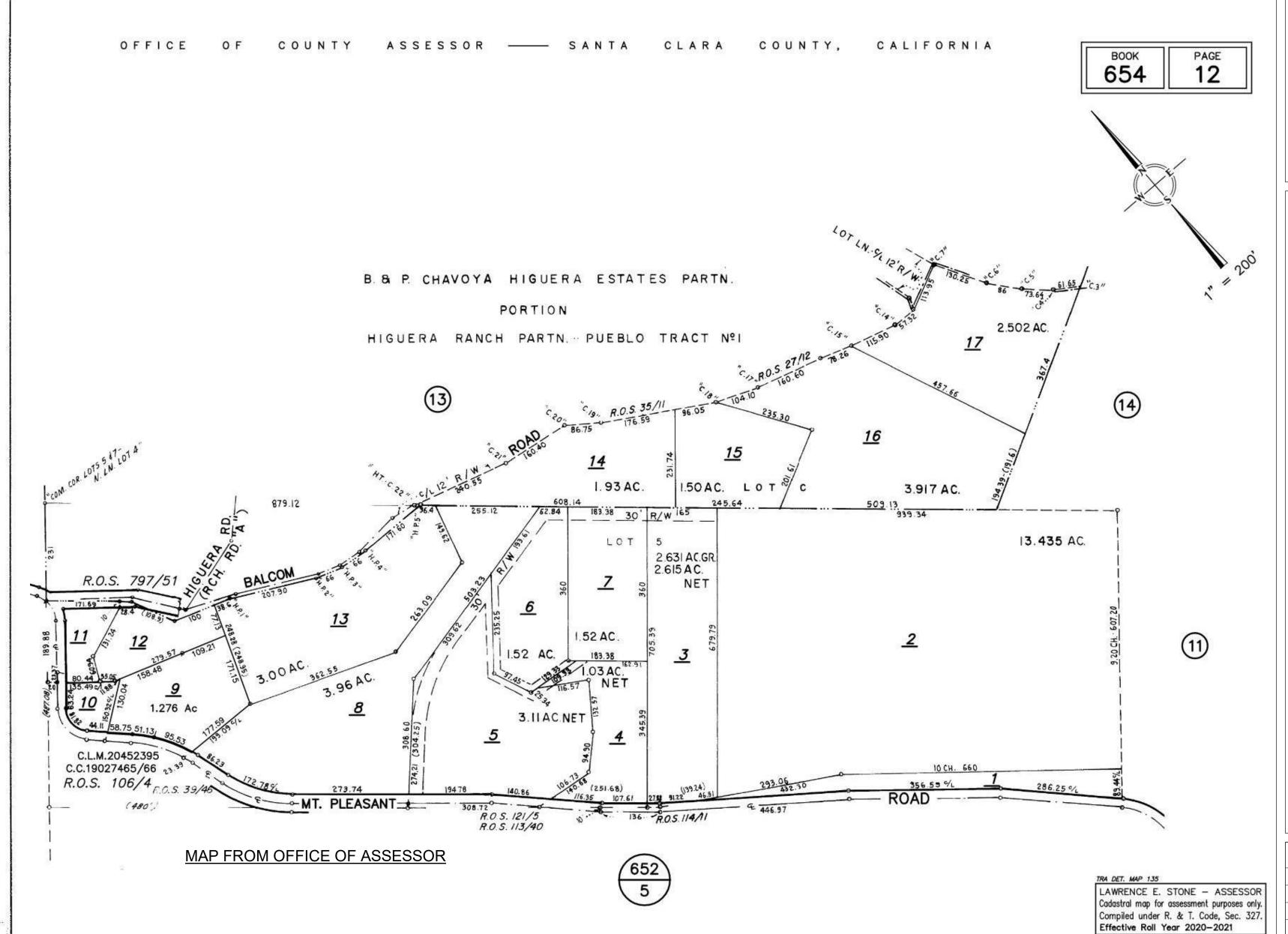
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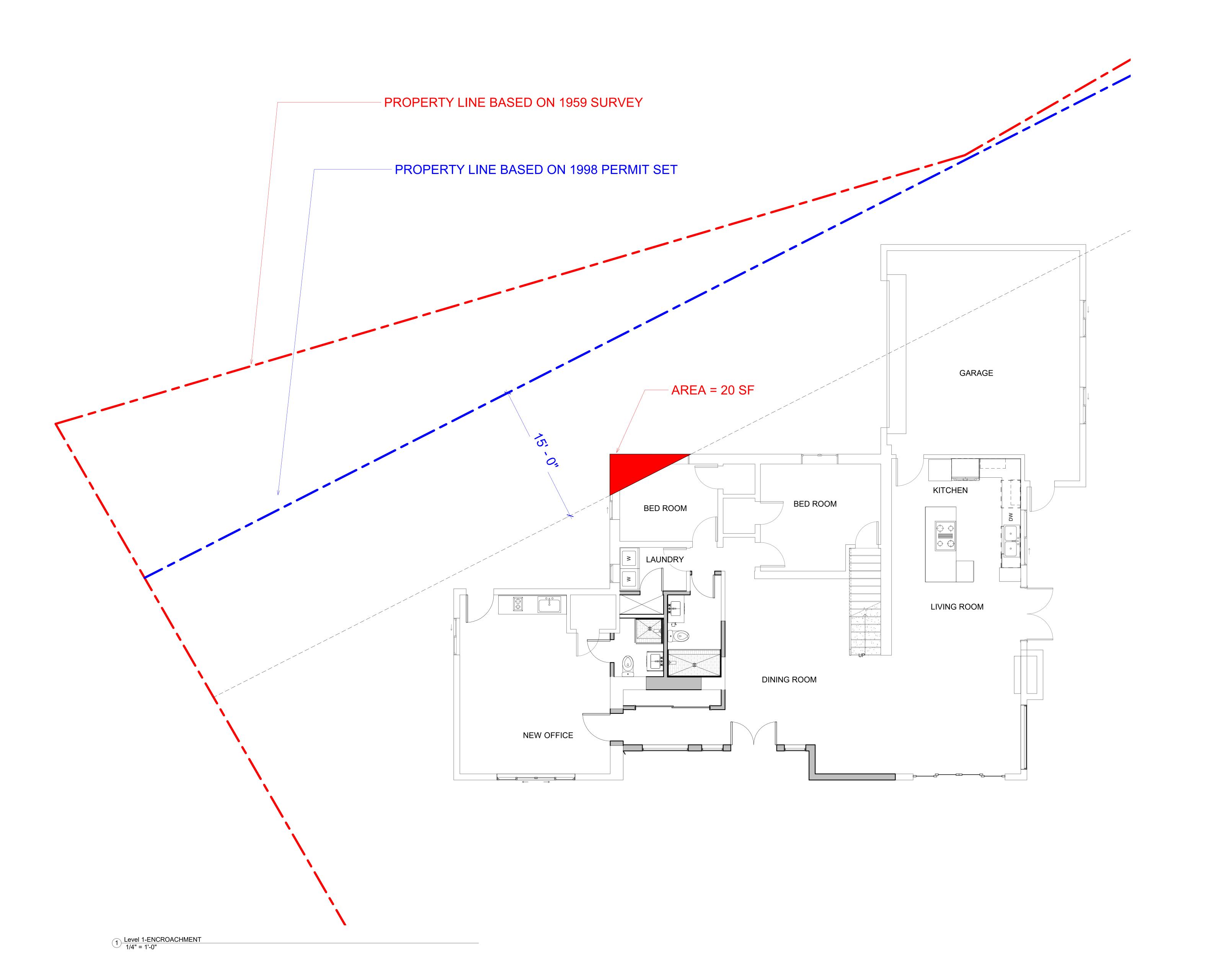
Farhad Taghibakhsh

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1959 SURVEY AND MAP FROM OFFICE OF ASSESSOR

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NEW ADDITION ENCROACHMENTS

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LEVEL 1&2 -EXISTING PLANS

Project Number

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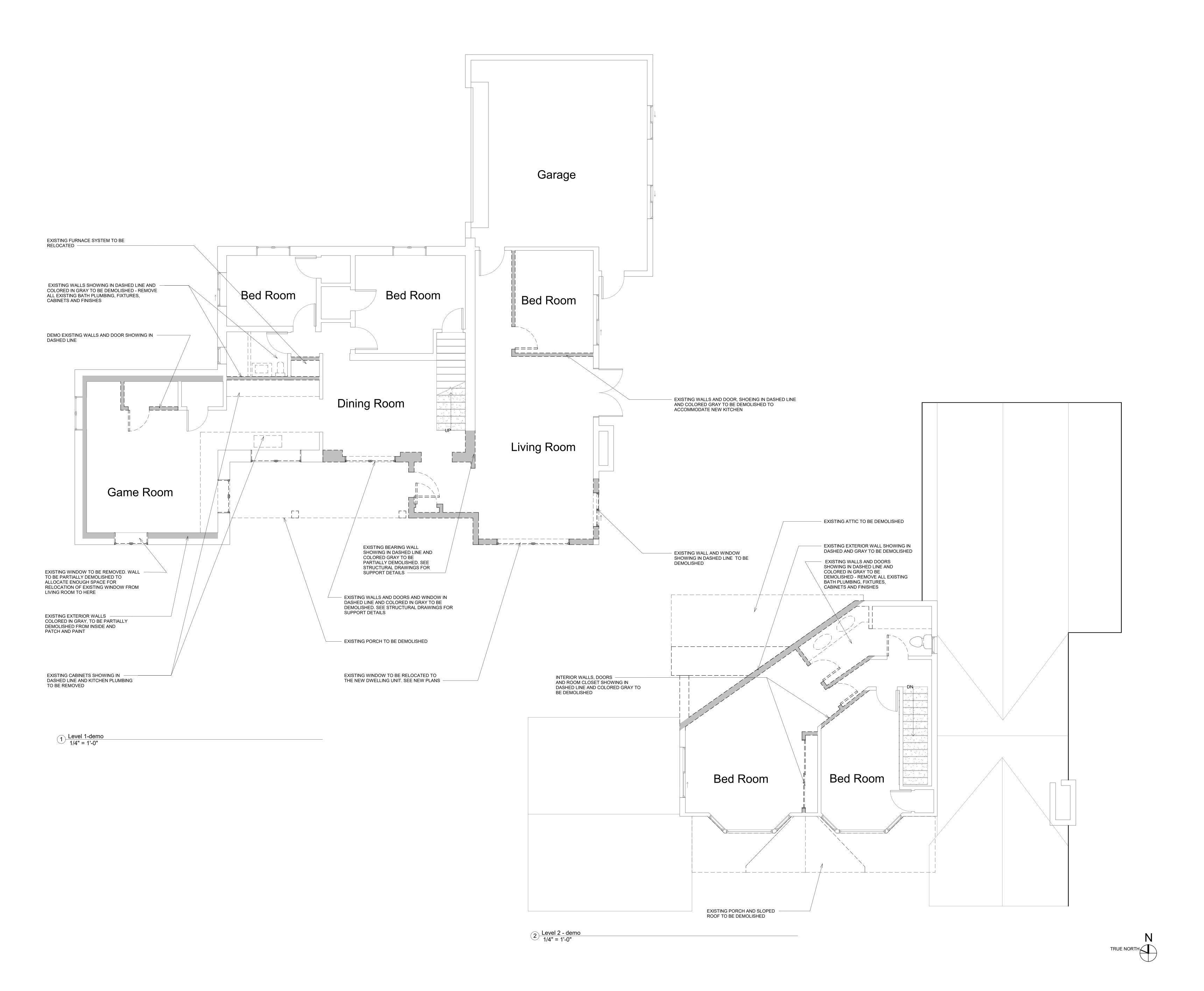
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> LEVEL 1&2 -DEMOLITION PLANS

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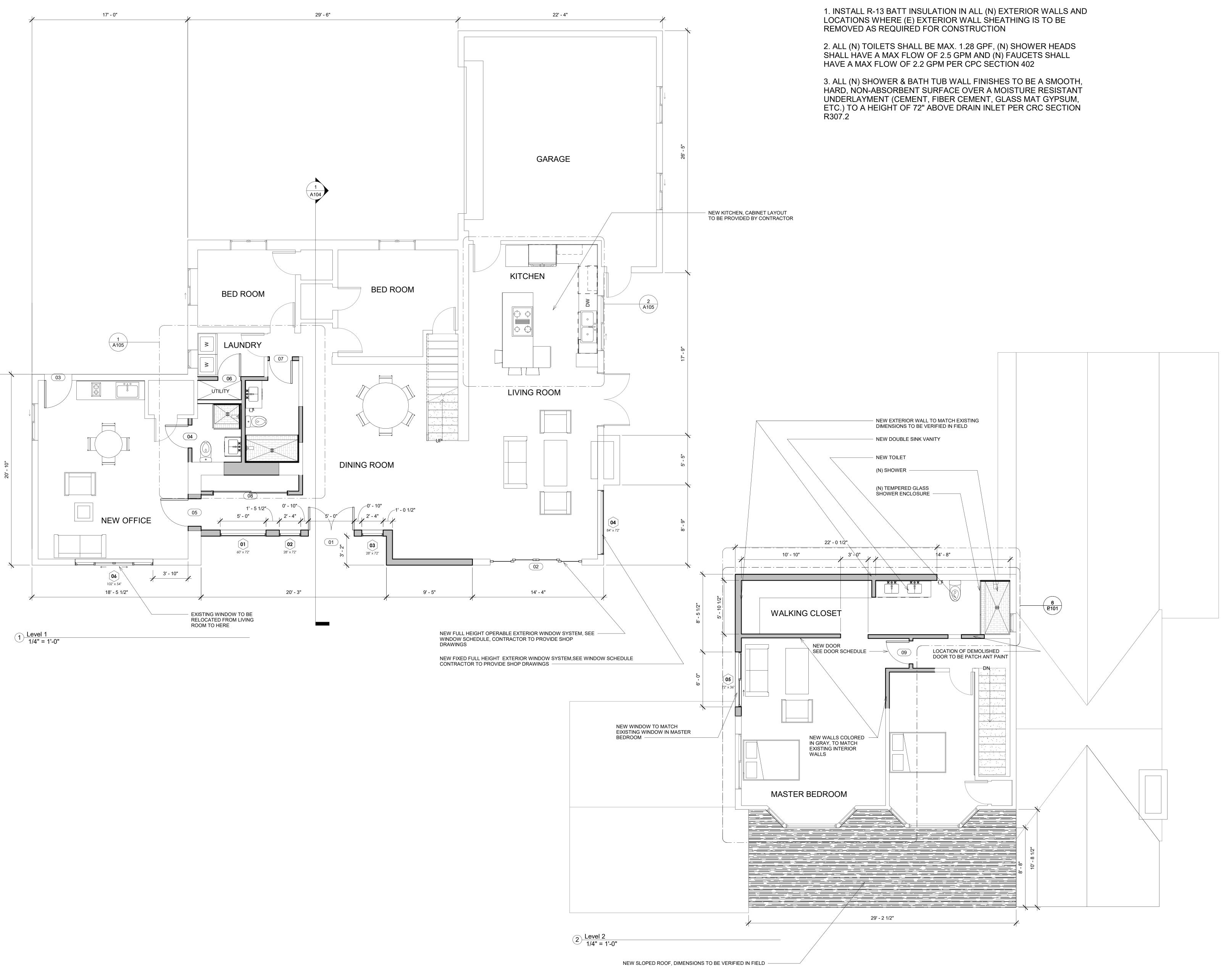
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GENERAL NOTES:

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LEVEL 1&2- NEW PLANS

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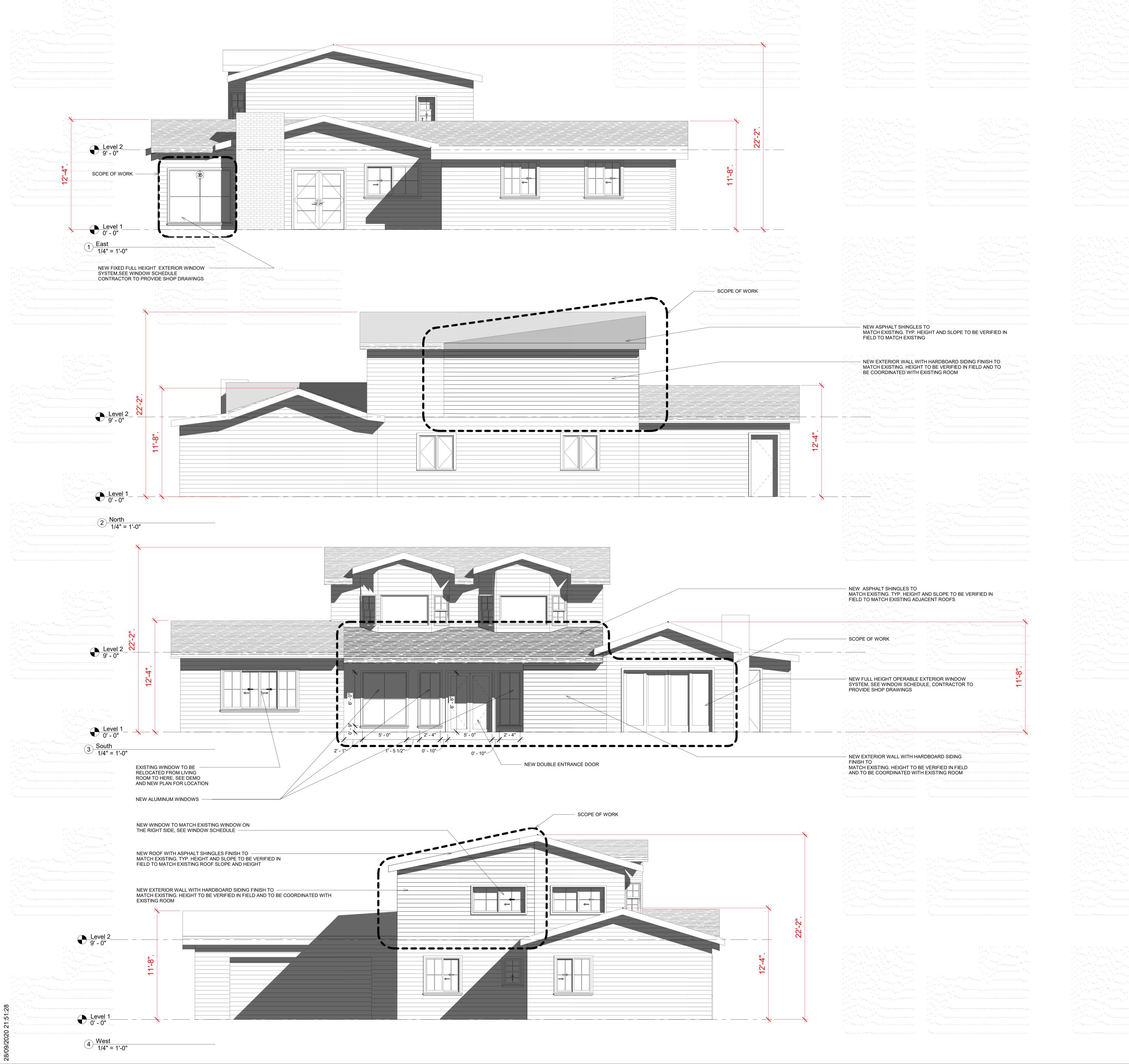
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1/4" = 1'-0"

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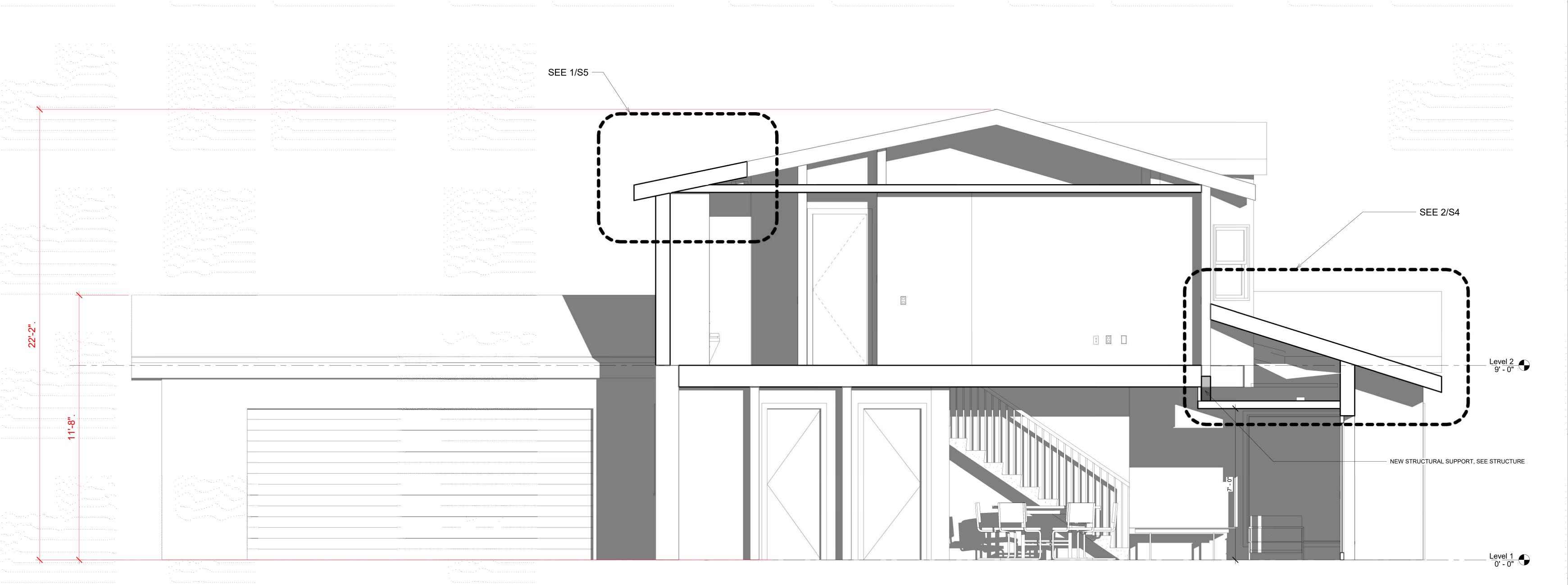
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2483 MOUNT PLEASANT ROAD, SAN JOSE CA

ELEVATIONS

Project Number	Project Number
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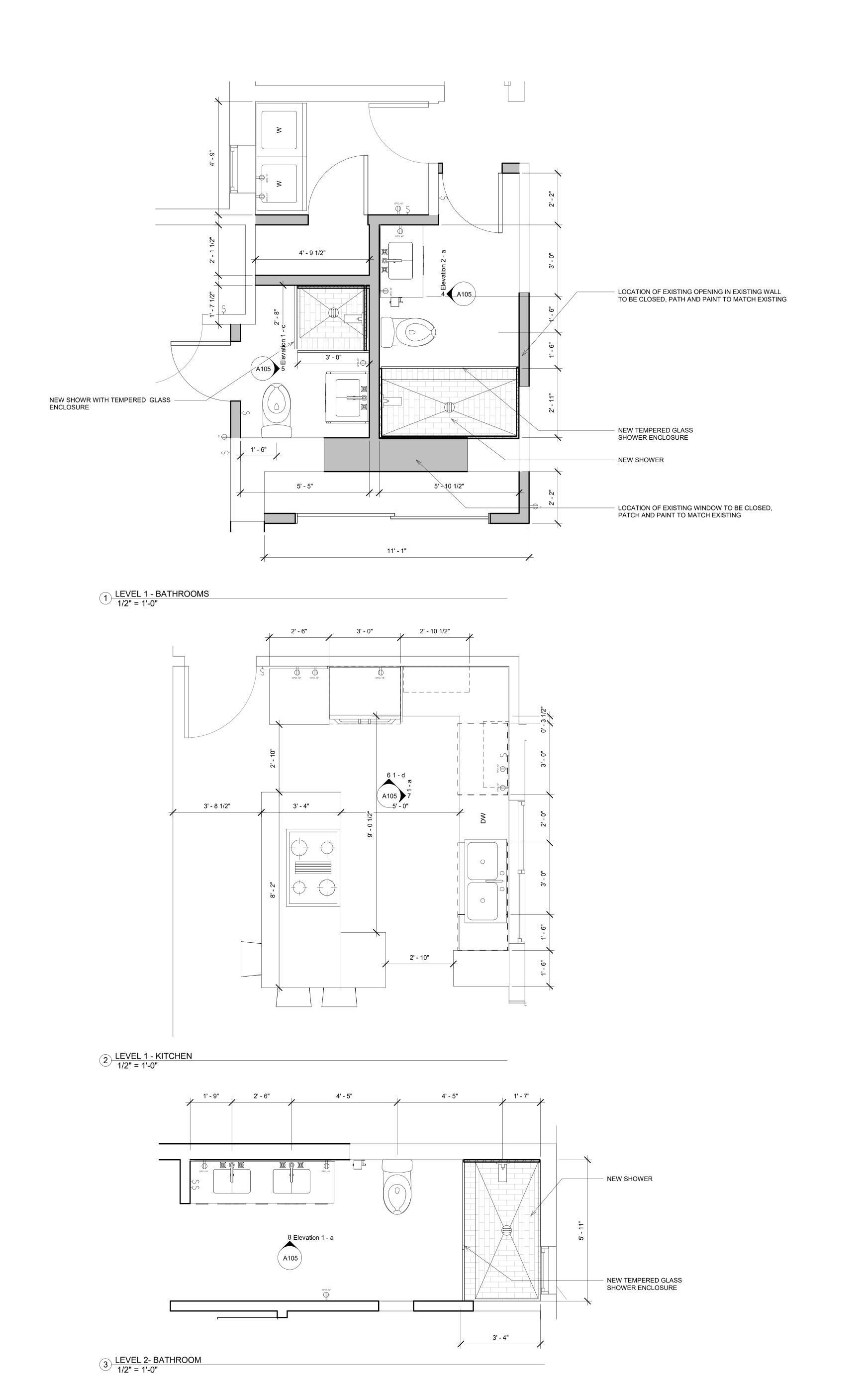
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1/2" =





> 8 Elevation 1 - a 1/2" = 1'-0"

NOTE:

PROVIDED LAYOUTS ARE FOR REFERENCE ONLY. CONTRACTOR TO PROVIDE SHOP DRAWINGS

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2483 MOUNT PLEASANT ROAD, SAN JOSE CA 95148

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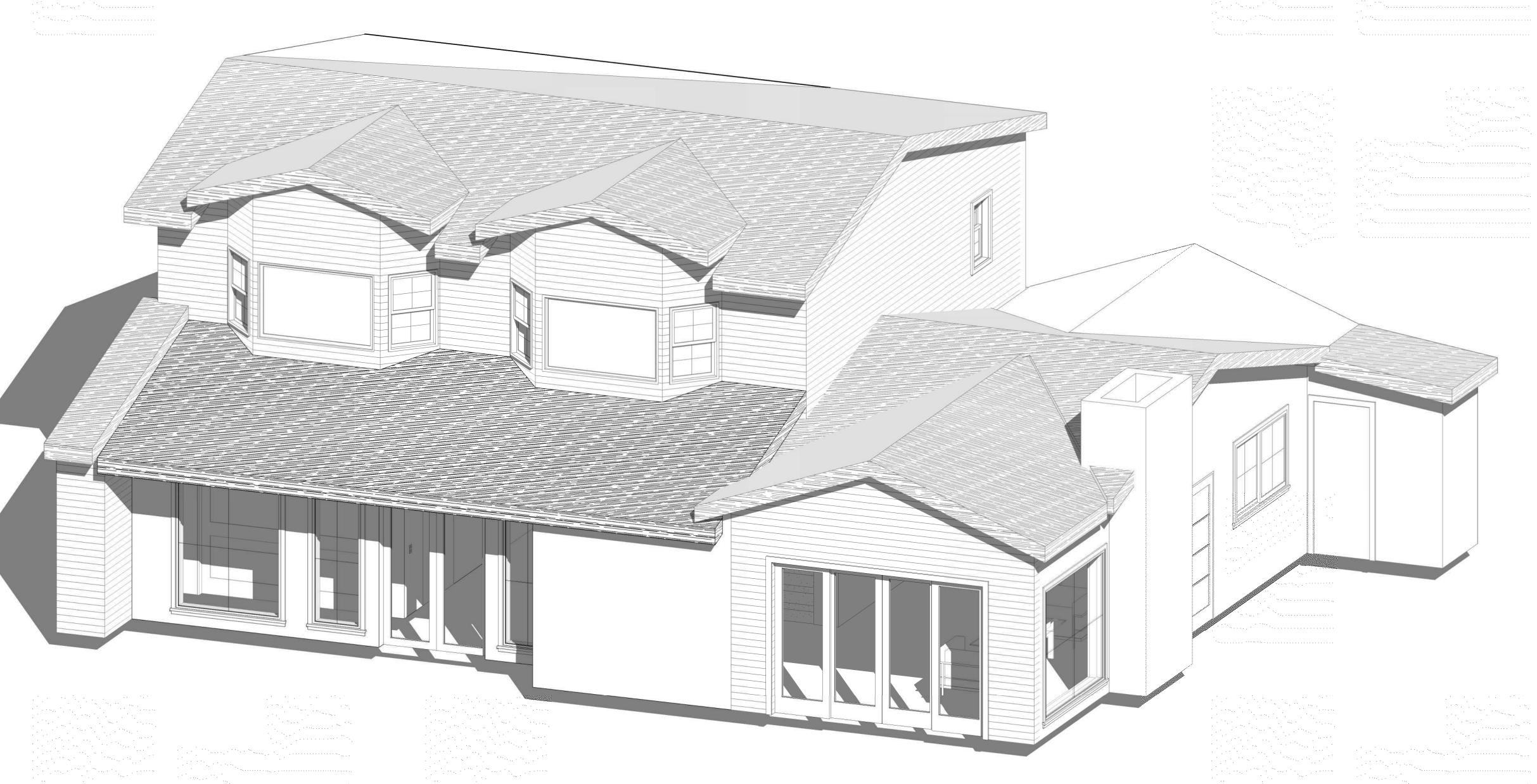
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1/2" = 1'-0"

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Farhad Taghibakhsh

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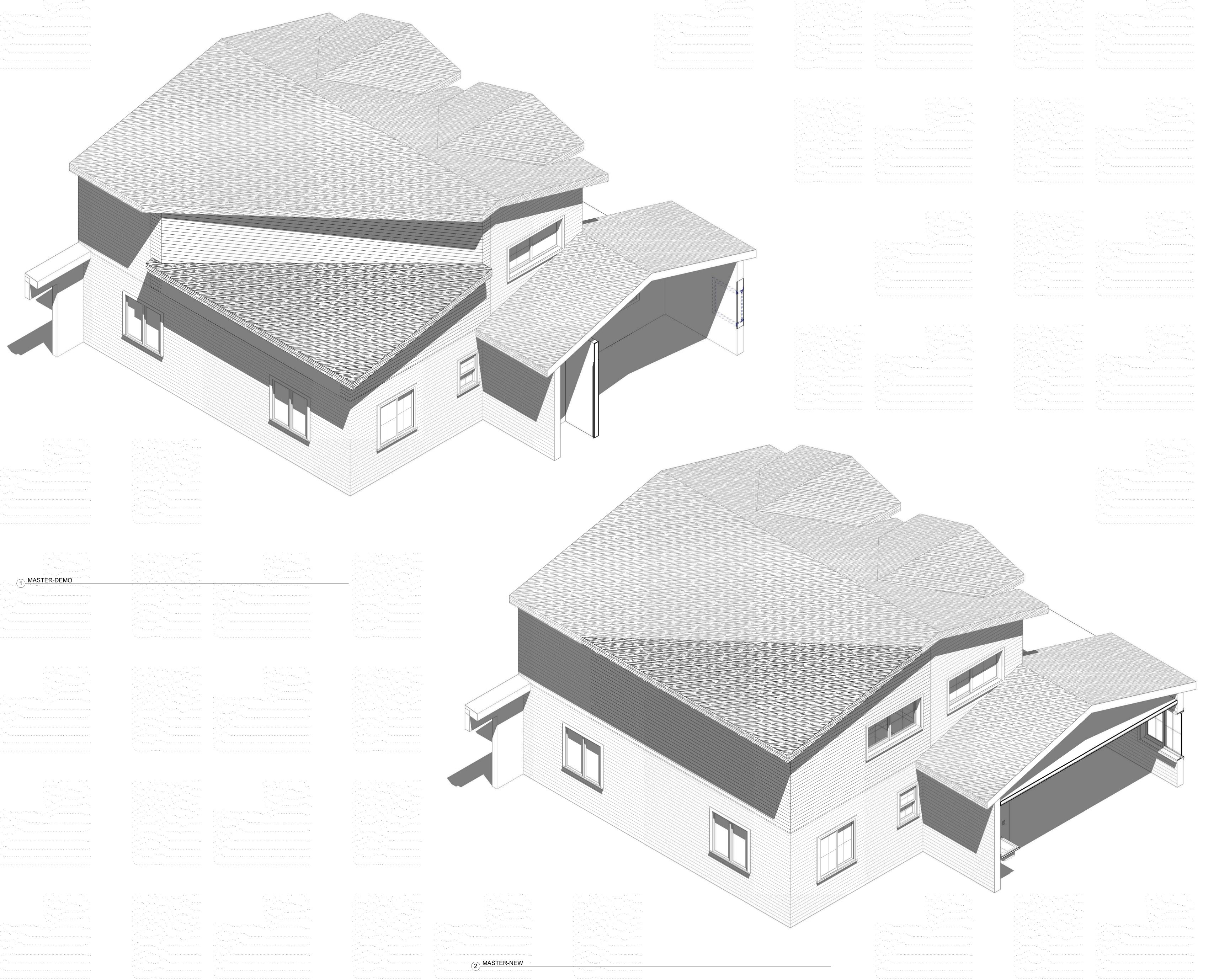
PERSPECTIVES

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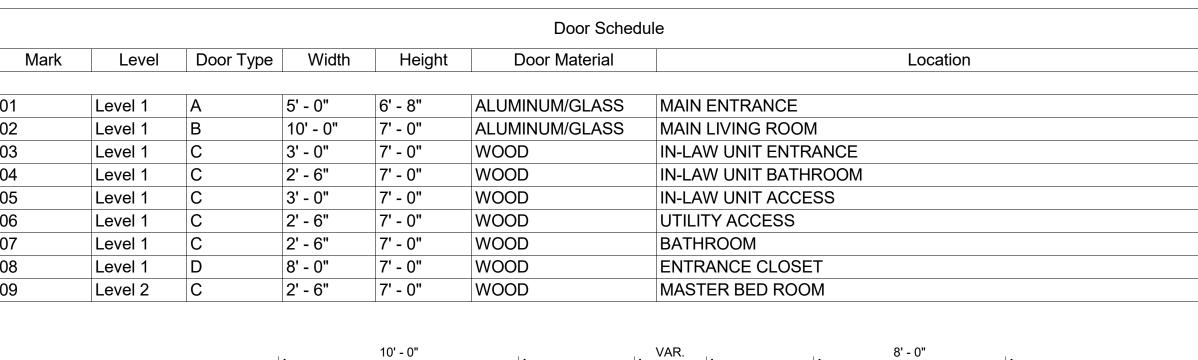
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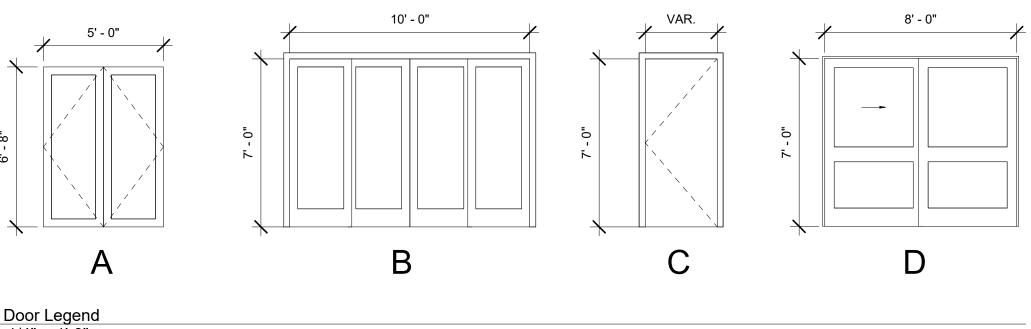
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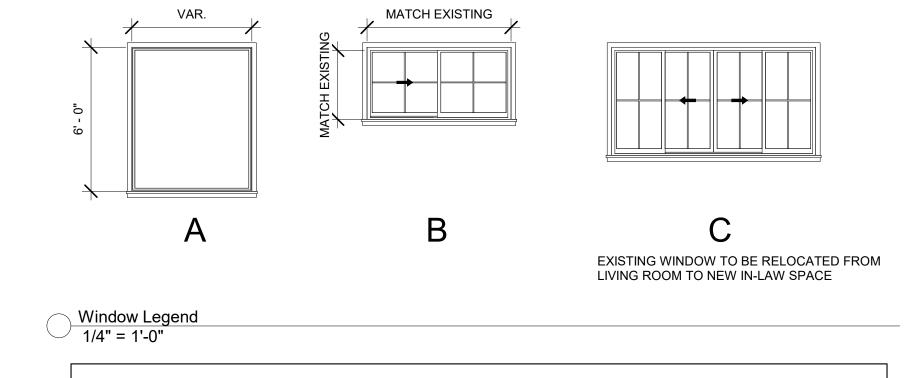
2483 MOUNT PLEASANT ROAD, SAN JOSE CA 95148

PERSPECTIVES





	Window Schedule						
Mark	Level	Window Type	Width	Height	Window Material	Window Location	Comments
01	Level 1	Α	5' - 0"	6' - 0"	ALUMINUM	MAIN ENTRANCE	
02	Level 1	Α	2' - 4"	6' - 0"	ALUMINUM	MAIN ENTRANCE	
03	Level 1	Α	2' - 4"	6' - 0"	ALUMINUM	MAIN ENTRANCE	
04	Level 1	Α	7' - 0"	6' - 0"	ALUMINUM	LIVING ROOM	
05	Level 2	В	6' - 0"	3' - 0"	ALUMINUM	MASTER BED ROOM	TO MATCH EXISTING
06	Level 1	С	8' - 6"	4' - 6"	ALUMINUM	IN-LAW UNIT	RELOCATED FROM EXISTING LIVING ROOM



NEW WINDOWS AND DOORS TO MEET 0.40U/0.25SHGC PER TITLE 24 REPORT

DOOE AND WINDOW SCHEDULE GENERAL NOTES:

- 1. DIMENSIONS SHOWN FOR DOORS ARE FINISHED DIMENSIONS UNLESS OTHERWISE NOTED. CONTRACTOR TO CONFIRM DIMENSIONS REQUIRED AT ROUGH OPENINGS PRIOR TO ORDERING AND INSTALLING DOORS.
- 2. DIMENSIONS SHOWN AT SLIDING GLASS DOORS ARE ROUGH OPENING DIMENSIONS. CONTRACTOR TO CONFIRM DIMENSIONS IN FIELD PRIOR TO ORDERING AND INSTALLING DOORS.
- 3. FINISH OF DOOR HARDWARE AND HINGES TO MATCH, TYP.
- 4. ALL WOOD DOORS TO BE FLUSH, SOLID CORE, U.O.N
- 5. SAFETY GLAZING: PROVIDE TEMPERED SAFETY GLAZING AT ALL VERTICAL HUMAN IMPACT LOAD LOCATIONS AND "HAZARDOUS LOCATIONS"REQUIRED PER CBC 2406.4. COMPLY WITH ANSI Z97.1 AND LABEL EACH PANE PER CBC 2406.2.
- 6. TEMPERED PANES: EACH 6MM TEMPERED PANE COMPOSED OF A SINGLE THICKNESS OF TEMPERED GLASS, CLEAR OR TINTED AS INDICATED FOR APPLICATION AND LOCATION IN ASSEMBLIES.
- 7. EXTERIOR GLAZING: DOUBLE GLAZED SEALED INSULATING GLASS, 24 MM ASSEMBLY COMPOSED OF 2-6MM PANES OF TEMPERED GLAZING PER GLAZING

FINISH HARDWARE: PROVIDE FINISH HARDWARE AT ALL OPENINGS OF SPECIFIED DESIGN SUITABLE FOR PROPER FUNCTION OF THE OPENING AS INDICATED. INCLUDE ALL NECESSARY FASTENERS OF HARMONIZING MATERIAL AND FINISH FOR ALL HARDWARE.

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DOOR AND WINDOW SCHEDULE

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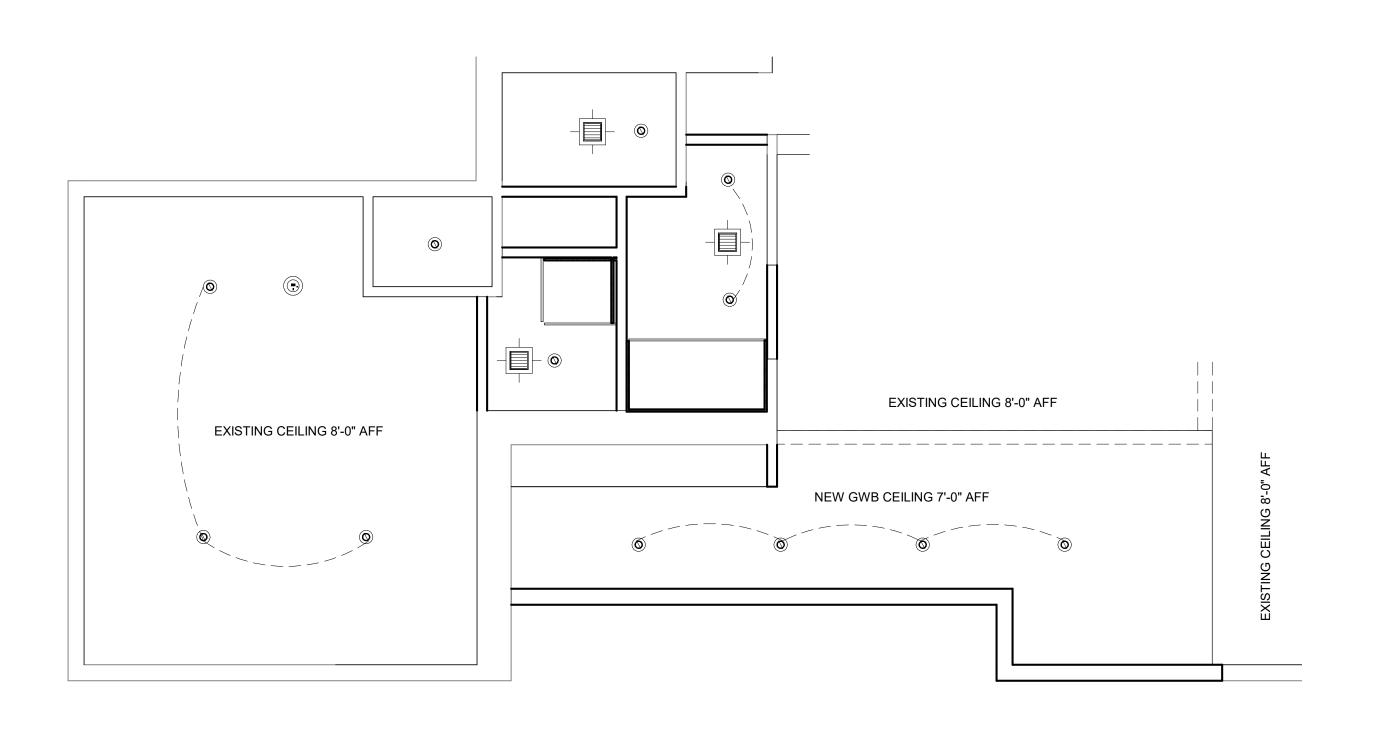
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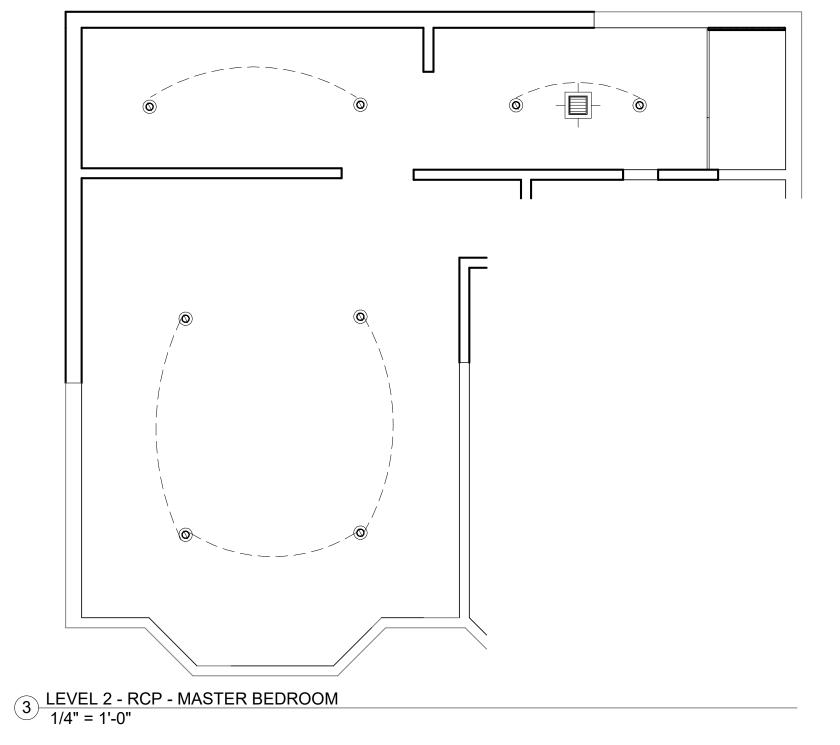
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ale 1/4" = 1'-0"

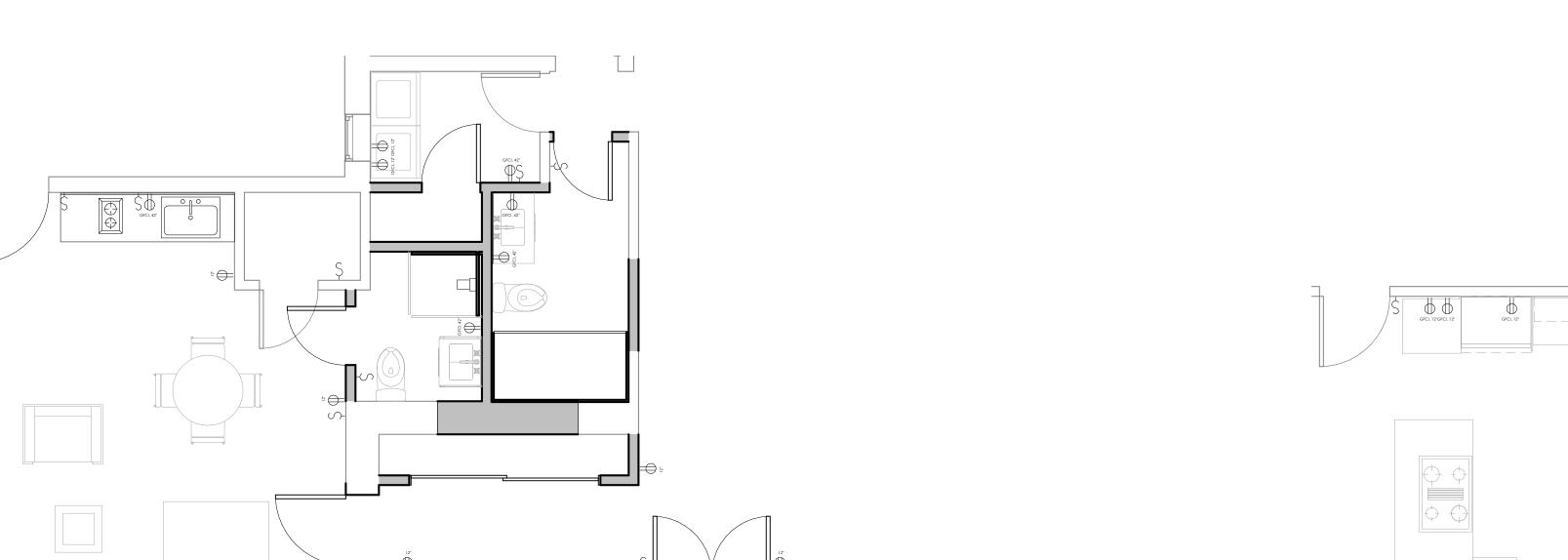
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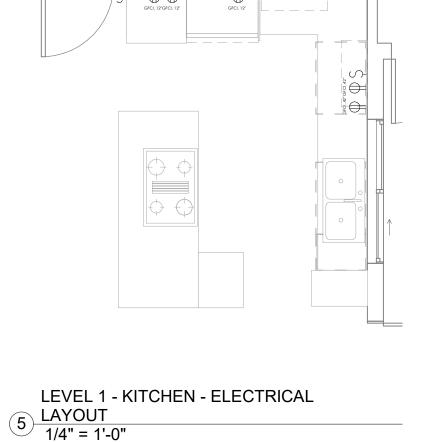


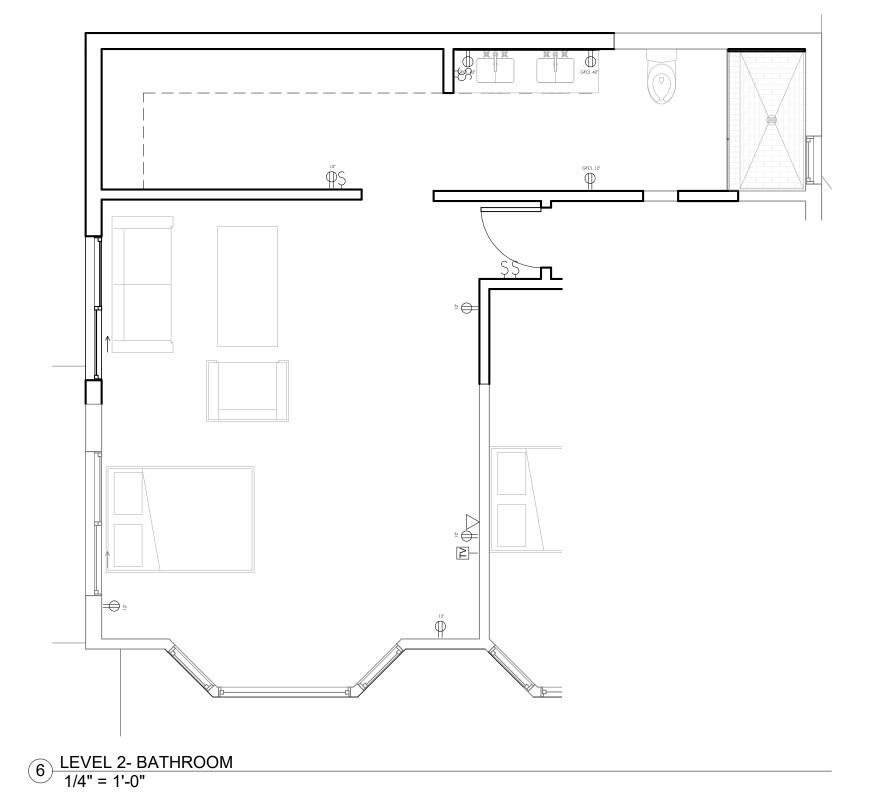


LEVEL 1 RCP -NEW DESIGN -BATHROOM-LAUNDRY AND NEW IN-LAW

2 <u>LEVEL 1 - RCP - KITCHEN</u> 1/4" = 1'-0"







LIGHTING AND ELECTRICAL LEGEND:

- RECESSED LED CAN LIGHT FIXTURE
- HANGING LIGHT FIXTURE
- **BATHROOM FAN**

LEVEL 1 - BATHROOM-LAUNDRY AND NEW IN-LAW UNIT ELECTRICAL LAYOUT
1/4" = 1'-0"

- SMOKE/CARBON MONOXIDE DETECTOR
- LIGHTING SWITCH
- DUPLEX OUTLET (12" A.F.F/U.O.N)
- GFCI DUPLEX OUTLET (SEE HEIGHTS ON PLANS)
- LIGHTING AND ELECTRICAL LEGEND
 1/4" = 1'-0"

LIGHTING AND ELECTRICAL GENERAL NOTES:

- AND IF NEEDED, ACTUAL BUILT CONDITIONS PRIOR TO INSTALL
- KITCHEN LIGHTING AT LEAST 50% OF THE INSTALLED WATTAGE SHALL BE HIGH-EFFICACY (FLUORESCENT, LED) AND SWITCHED SEPERATELY FROM THE LOW-EFFICACY LIGHTING.

- ALL OTHER ROOMS EXCEPT CLOSETS <70 SQ. FT. HIGH-EFFICACY OR CONTROLLED BY MANUAL-ON MOTION SENSOR OR CONTROLLED BY A DIMMER
- OUTDOOR LIGHTING ATTACHED TO THE BUILDING HIGH EFFICACY OR CONTROLLED BY A MOTION SENSOR AND PHOTO CONTROL. METAL HALLIDE IS ALSO A HIGH-EFFICACY OPTION. • LIGHT FIXTURES RECESSED IN AN INSULATED GASKET ARE REQUIRED TO BE ICAT RATED, AND SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND CEILING. 150 (K) (6)
- VERIFY SMOKE DETECTORS ARE INSTALLED AS INDICATED WITH HARDWIRE @ BATTERY BACK-UP PER CODE REQUIREMENTS, TYP. ALL SMOKE DETECTORS IN THE RESIDENCE SHALL BE PROVIDED WITH AC POWER AND BE INTERCONNECTED FOR SIMULTANEOUS ALARM. DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM, OUTSIDE OF SLEEPING ROOMS CENTRALLY LOCATED IN THE CORRIDOR AND OVER THE CENTER OF STAIRWAYS WITH A MINIMUM OF ONE DETECTOR PER STORY OF THE OCCUPIED PORTION OF THE RESIDENCE. BATTERY IS ACCEPTABLE ONLY IF SCOPE DOES NOT ALLOW
- INSTALLATION OF AC POWER. • CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN EXISTING DWELLINGS WHEN A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS IN VALUATION OF WORK PERFORMED. CARBON MONOXIDE ALARMS SHALL BE LOCATED OUTSIDE OF EACH DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A
- DWELLING UNIT INCLUDING BASEMENTS PER CRC R315.1 AND R315.2.
- ALL BEDROOMS/LIVING ROOM/FAMILY ROOM/GUEST ROOM RECEPTACLES SHALL BE AFCI BREAKERS FOR NEW CIRCUTS AND (E) CIRCUTS WHERE POSSIBLE OR SIGNIFICANTLY ALTERED. ALL RECEPTACLES LOCATED AT EXTERIOR SHALL BE GFCI AND PROTECTED WITH WATERPROOF COVERS.
- ALL RECEPTACLES IN BEDROOMS/LIVING ROOM/FAMILY ROOM/GUEST ROOM SHALL BE TAMPERPROOF. ALL LIGHTING IN BEDROOMS/LIVING ROOM/FAMILY ROOM/GUEST ROOM SHALL BE CONTROLLED BY DIMMER.

A/V & DATA GENERAL NOTES:

• ALL AUDIO VISUAL & DATA SUBJECT TO DESIGN BUILD BY GENERAL CONTRACTOR OR A/V CONSULTANT IF HIRED. CABLE TO BE SPEC'D. AS FOLLOWS: DATA EQUALS CAT6 RISER OR PLENUM GRADE. COAXIAL EQUALS RG6 QUAD-SHIELD. TELEPHONE EQUALS CAT 3 MIN., CAT5E PREFFEREED. USE DIFFERENT COLOR SHIELDING BTW TELEPHONE AND DATA. IF A/V CONSULTANT IS ENGAGED, GENERAL CONTRACTOR TO COORDINATE WITH CONSULTANT PRIOR TO WORK.

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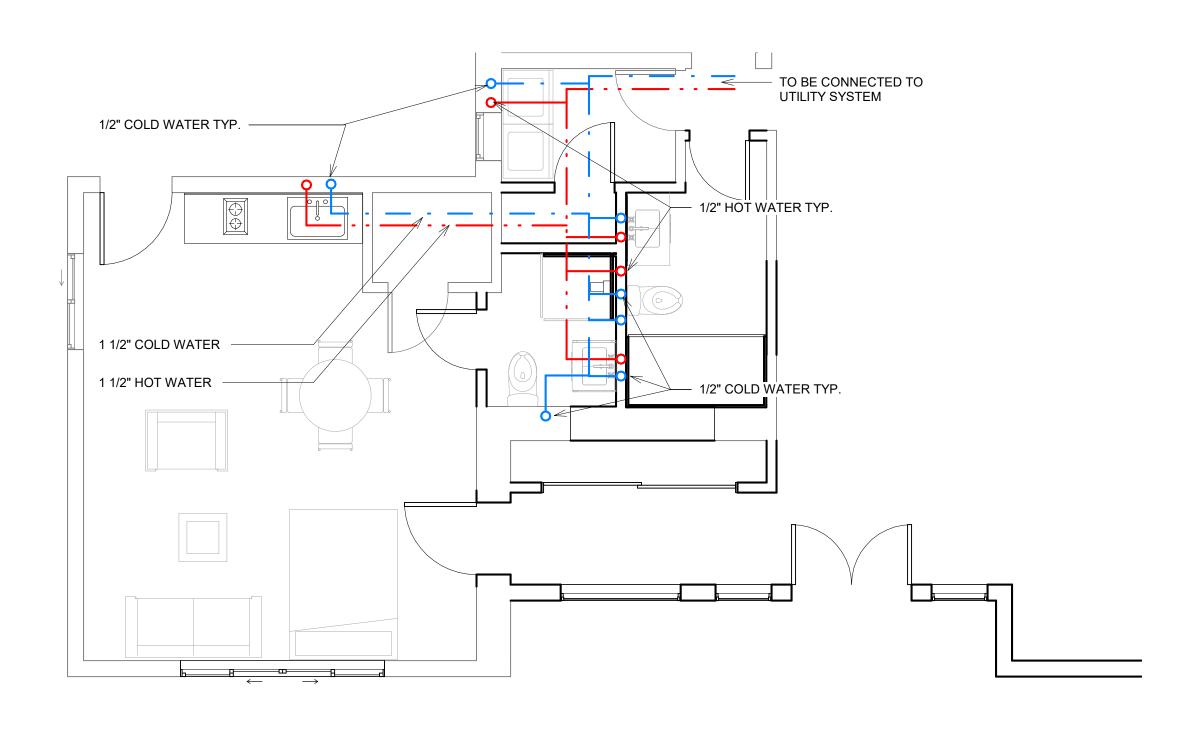
> Farhad Taghibakhsh

2483 MOUNT PLEASANT ROAD, SAN JOSE CA 95148

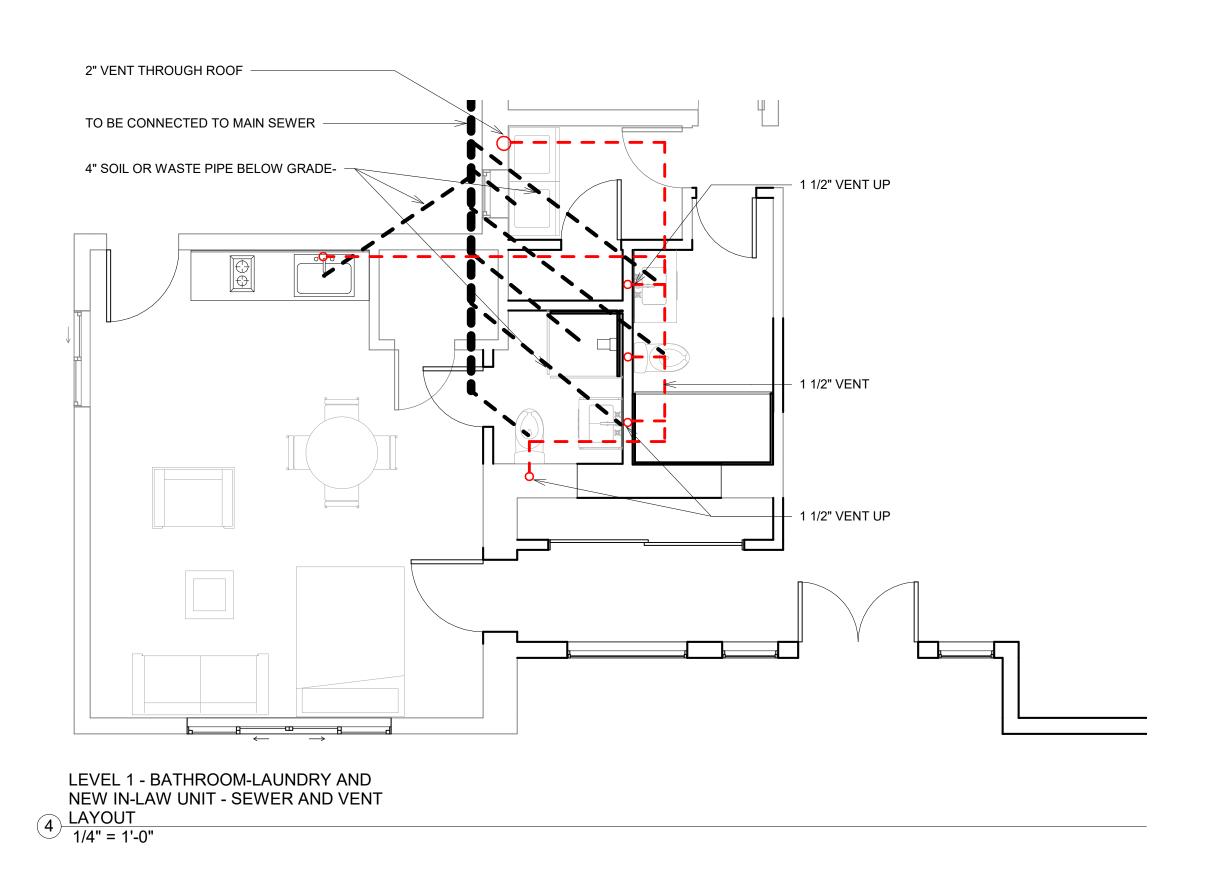
REFLECTED CEILING PLAN, ELECTRICAL AND LIGHTING PLANS

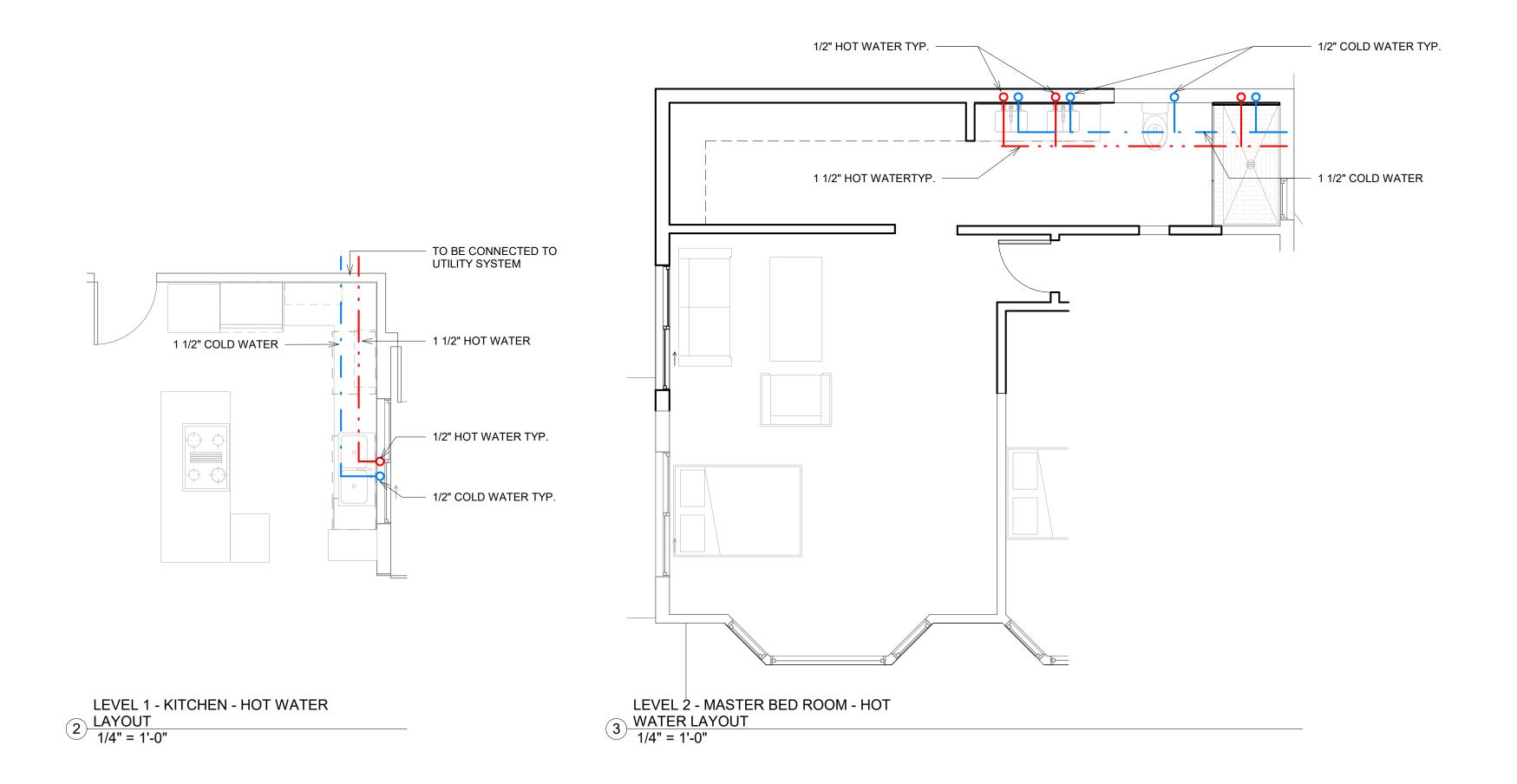
Project Number Project Number Issue Date Author Drawn By Checker Checked By

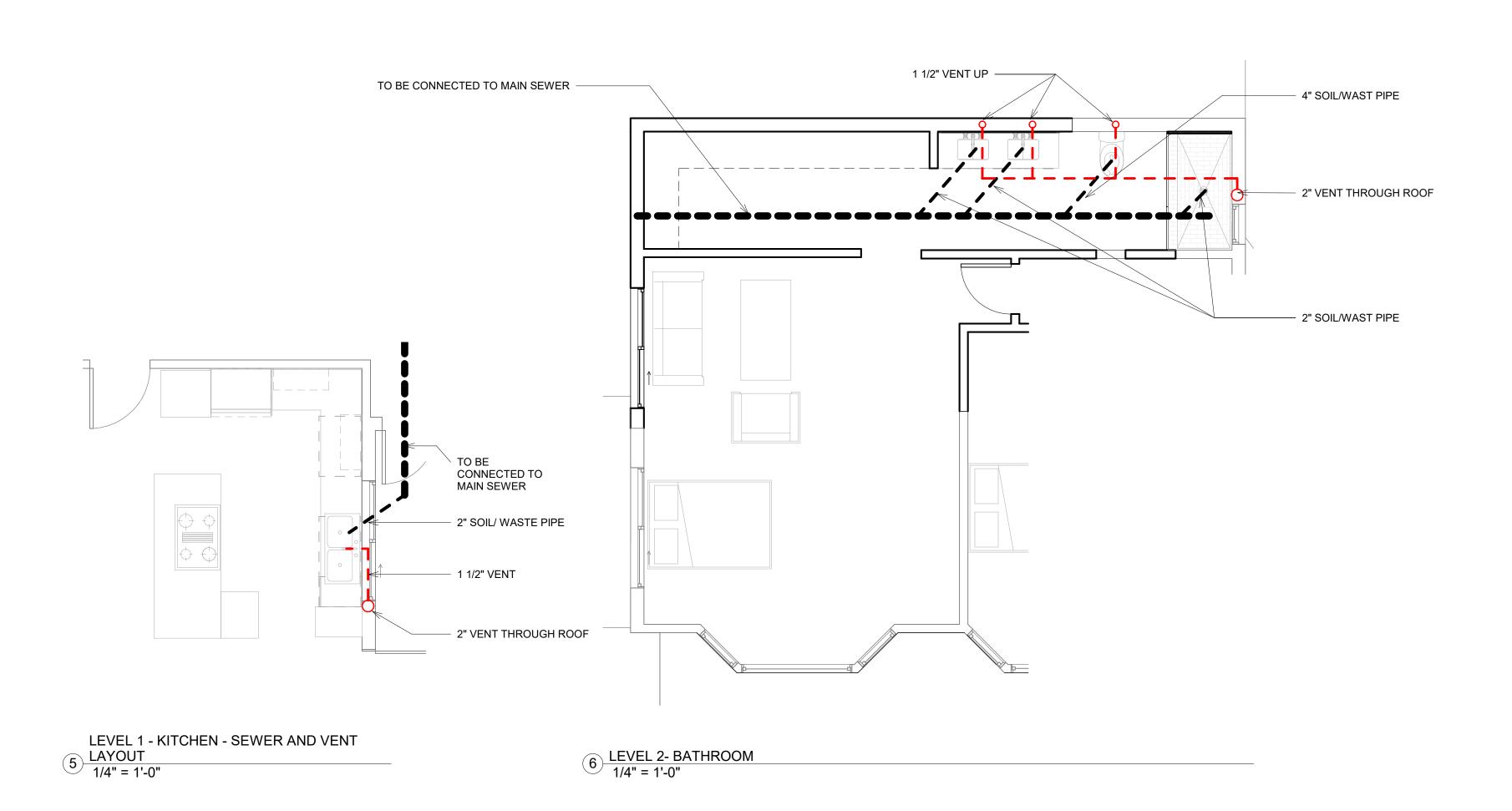
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NOTE:
HOT WATER PIPES TO RECEIVE INSULATION

Consultant Address Address Address Phone Consultant Address Address Address

Phone

No.	Description	Date

Farhad Taghibakhsh

2483 MOUNT PLEASANT ROAD, SAN JOSE CA 95148

PLUMBING PLANS

Project Number

Date

Drawn By

Checked By

Project Number

Issue Date

Author

Checked By

P101

STRUCTURAL NOTES

GENERAL

- A. THESE NOTES APPLY TO ALL DRAWINGS AND GOVERN UNLESS OTHERWISE NOTED OR SPECIFIED. WHENEVER THERE APPEARS TO BE A CONFLICT BETWEEN THE NOTES, DRAWINGS, OR SPECIFICATIONS, THE MORE CONSERVATIVE OR STRINGENT EQUIREMENT WILL GOVERN, UNLESS OTHERWISE STATED BY THE ENGINEER.
- B. VERIFY ALL EXISTING CONDITIONS AND PROPOSED DIMENSIONS AT JOB SITE. COMPARE STRUCTURAL DRAWINGS WITH ARCHITECTURAL, ECHANICAL, AND ELECTRICAL DRAWINGS BEFORE COMMENCING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES AND DO NOT PROCEED WITH AFFECTED WORK UNTIL THEY ARE RESOLVED. DO NOT SCALE DRAWINGS.
- C. UNLESS OTHERWISE SHOWN OR NOTED, ALL TYPICAL DETAILS SHALL BE USED WHERE APPLICABLE.
- D. ALL DETAILS SHALL BE CONSIDERED TYPICAL AT SIMILAR CONDITIONS.
- E. SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF THE PERSONS AND PROPERTY, AND FOR ALL NECESSARY INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE ARCHITECT'S OR ENGINEER'S JOB SITE REVIEW IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY

2. TESTS & INSPECTIONS

- A. PROVIDE TESTS AND SPECIAL INSPECTIONS FOR ALL ITEMS AS REQUIRED BY SECTION 1704 OF THE CALIFORNIA BUILDING CODE AND LOCAL JURISDICTION. WHERE THERE APPEARS TO BE A CONFLICT BETWEEN BUILDING CODES, THE MORE STRINGENT REQUIREMENTS GOVERN, UNLESS STATED OTHERWISE BY THE ENGINEER.
- B. THE OWNER SHALL BE RESPONSIBLE FOR RETAINING AN INDEPENDENT TESTING LAB TO PERFORM ALL REQUIRED TESTING AND INSPECTIONS.
- C. THE FOLLOWING SPECIFIC ITEMS SHALL BE INSPECTED AND/OR TESTED BY THE TESTING LAB: 1. REINFORCING BARS AND THREADED BOLTS EPOXY GROUTED INTO EXISTING WALLS, FOOTINGS, BEAMS, COLUMNS, ETC.
- 2. CONCRETE STRENGTH (SEE BELOW FOR STRENGTH REQUIREMENTS). D. THE FOLLOWING SPECIFIC ITEMS SHALL BE INSPECTED BY THE ENGINEER OF RECORD:
- 1. REINFORCING STEEL PLACEMENT. 2. NAILING OF PLYWOOD SHEAR WALLS AND DIAPHRAGMS.
- E. PROVIDE PERIODIC INSPECTION AS REQUIRED BY SECTION 1707.3 FOR NAILING, BOLTING, ANCHORING AND OTHER FASTENING COMPONENTS WITHIN THE SEISMIC FORCE RESISTING SYSTEM INCLUDING WOOD SHEARWALLS, WOOD DIAPHRAGMS, DRAG STRUTS, BRACES, SHEAR PANEL AND HOLDOWNS.
- F. THE CONTRACTOR SHALL NOTIFY THE ENGINEER A MINIMUM OF 48 HOURS PRIOR TO TIME OF INSPECTION.

3. DESIGN BASIS

- CONSTRUCT IN CONFORMANCE WITH THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
- 4. FRAMING LUMBER (UNLESS OTHERWISE NOTED) A. ALL FRAMING LUMBER SHALL BE GRADED PER WCLIB GRADING RULES NO. 16.
- B. ALL POSTS 4x6 AND LARGER SHALL BE DOUGLAS FIR, SELECT STRUCTURAL. POST SMALLER THAN 4X6 SHALL BE DOUGLAS FIR, #1.
- C. ALL BEAMS SHALL BE DOUGLAS FIR, #1.
- D. ALL STUDS, PLATES, BLOCKING, ETC., SHALL BE DOUGLAS FIR, CONSTRUCTION GRADE.
- E. ALL JOISTS AND RAFTERS SHALL BE DOUGLAS FIR #2 OR BETTER.

PLYWOOD

- A. EACH PANEL SHALL BE IDENTIFIED WITH THE APPROPRIATE GRADE, TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION, AND SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE U. S. PRODUCT STANDARD PS-1.
- B. PLYWOOD SHEETS SHALL BE THICKNESS NOTED ON DRAWINGS.
- C. PLYWOOD SHEETS AT FLOORS AND ROOFS SHALL BE LAID WITH FACE GRAIN PERPENDICULAR TO JOISTS AND RAFTERS.
- D. UNLESS OTHERWISE NOTED ON THE DRAWINGS, TYPICAL ROOF PLYWOOD SHALL BE UNBLOCKED 5/8 INCH 32/16 CDX WITH 8d NAILS @ 6" O.C. @ PANEL EDGES AND WITH 8d NAILS @ 12" O.C. IN THE FIELD. PROVIDE PLYCLIPS BETWEEN JOISTS WHERE EDGES ARE NOT BLOCKED.
- E. UNLESS OTHERWISE NOTED ON THE DRAWINGS, TYPICAL FLOOR PLYWOOD SHALL BE UNBLOCKED 3/4 INCH 40/20 T&G CDX WITH 10d NAILS @ 6" O.C. @ PANEL EDGES AND WITH 10d NAILS @ 10" O.C. IN THE FIELD (CONTRACTOR MAY OMIT T&G WHERE BLOCKED EDGES ARE SPECIFIED ON THE DRAWINGS).
- F. UNLESS OTHERWISE SPECIFIED IN A SHEAR WALL SCHEDULE ON THE DRAWINGS. ALL NEW EXTERIOR WALL PLYWOOD SHALL TYPICALLY BE 1/2 INCH 24/0 CDX WITH 8d NAILS @ 6" O.C. AT ALL PANEL EDGES AND WITH 8d NAILS @ 12" O.C. IN THE FIELD IN ACCORDANCE WITH SHEAR WALL TYPE 1.

6. ROUGH CARPENTRY

- A. FOR SCHEDULE OF MINIMUM NAILING SEE TABLE 2304.9.1 OF THE LATEST CALIFORNIA BUILDING CODE. 16 PENNY VINYL COATED SINKERS MAY BE SUBSTITUTED FOR 16 PENNY BOX OR COMMON NAILS FOR ROUGH FRAMING. SINKERS SHALL NOT BE USED WITH METAL CONNECTORS.
- B. SILLS AND LEDGERS ON CONCRETE SHALL BE PRESSURE TREATED DOUGLAS FIR. SILLS AND LEDGERS SHALL BE FASTENED TO THE CONCRETE WITH A MINIMUM OF TWO FASTENERS PER PIECE AND NO FASTENERS FURTHER THAN 9 INCHES FROM END OF PIECE.
- C. PLACE JOISTS WITH CROWN UP.
- D. RE-TIGHTEN ALL BOLTS PRIOR TO CLOSING IN WALLS.
- E. USE GALVANIZED NAILS, BOLTS, AND HARDWARE WHERE EXPOSED TO WEATHER.

0.76

- F. BLOCK ALL JOISTS AT SUPPORTS PER REQUIREMENTS OF UNIFORM BUILDING
- G. ALL TIMBER FASTENERS NOT SPECIFICALLY DETAILED ON THE DRAWINGS SHALL BE SIMPSON COMPANY'S STANDARD FASTENERS OR APPROVED EQUAL, UPON ENGINEER'S REVIEW.

7. DESIGN CRITERIA

	ADS 20 PSF 40 PSF 60 PSF		
WIND SF SEISMIC SITE CLA	DESIGN CATEGORY	B 110 E D 1.0 1.11 1.66 1.66 0.76	MPH

TIMBER CONNECTORS AND CONNECTIONS

- 1. NAILS: ALL NAILS SHALL BE COMMON WIRE NAILS UNLESS SHOWN OTHERWISE ON THE DRAWINGS. NAILS SHALL NOT BE DRIVEN CLOSER TOGEATHER THAN 1/2 OF THEIR LENGTH NOR CLOSER TO THE EDGE OF THE MEMBER THAN 1/4 OF THEIR LENGTH. PRE-DRILL HOLES WHERE WOOD TENDS TO SPLIT. THE PENETRATION OF THE NAIL INTO THE PIECE RECEIVING THE POINT SHALL NOT BE LESS THAN 1/2 THE NAIL LENGTH. REFER TO DETAIL 1
- 2. BOLTS: ALL BOLTS IN TIMBER CONNECTORS SHALL BE MACHINE BOLTS WITH STANDARD PLATE WASHERS UNDER HEADS AND NUTS, BEARING ON WOOD UNLESS NOTED OTHERWISE ON THE DRAWINGS. ALL WASHERS EXPOSED TO VIEW SHALL BE MALLEABLE IRON WASHERS UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION FOR MINIMUM SIZES OR PLATE WASHERS.
- 3. HOLES: FOR BOLTED CONNECTIONS: HOLES IN TIMBER SHALL BE DRILLED WITH A BIT 1/32" LARGER THAN THE NOMINAL DIAMETER OF THE BOLT. HOLES IN METAL PLATES AND PLATE WASHERS MAY BE PUNCHED WITH A DIAMETER 1/16" LARGER THAN THE NOMINAL DIAMETER OF THE
- 4. JOIST: HANGERS AND FRAMING HARDWARE: FOR JOIST HANGER DESIGNATION, REFER TO PRODUCT MANUFACTURED BY THE SIMPSON CO. APPROVED ALTERNATES OF EQUAL QUALITY AND STRENGTH CAN BE USED.

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MASOUD SALAMAT S.E.

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Walnut Creek, CA 94598

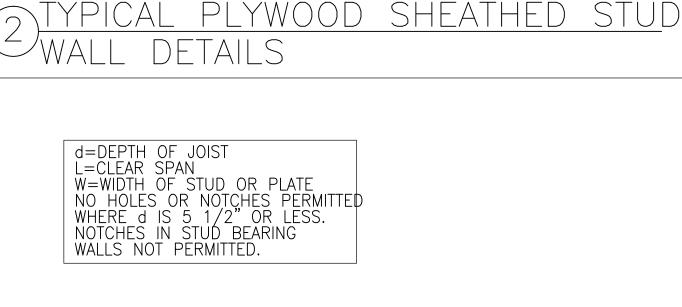
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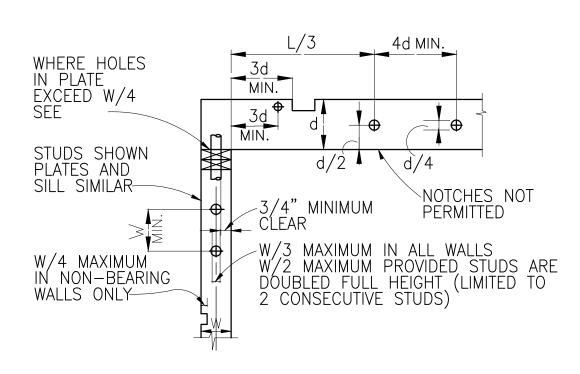
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ISSUE DATE: 7/30/2020 SPACE PLAN DATE:

> DRAWING TITLE GENERAL NOTES AND DETAILS

> > DRAWING NUMBER:





NAILING SCHEDULE

BUILT-UP HEADERS AND BEAMS: FACE NAILS EACH FACE, TOP AND BOTTOM STAGGERER 3 20d @ 32"O.C.

16d @ 6"O.C.

EDGE NAILING

16d @ 3"O.C.

WHERE OCCURS

EDGE NAILING

NAILING

3 - 8d

3 - 8d

4-10d

16d @ 24"O.C. 16d @ 12"O.C.

16d @ 24"O.C.

10d @ 12"O.C. TOE NAILS, EACH

FACE STAGGERED

EDGE NAILING

16d @ 12'O.C., TYPICAL 16d @ 3"O.C. WHERE PLYWOOD OCCURS ON BOTH FACES OF STUD

~16d @ 6"O.C. TYPICAL

16d @ 3"O.C. WHERE PLYWOOD OCCURS ON BOTH FACES OF STUD

EDGE NAILING

-2-20d

CONNECTION

SOLID BLOCKING: OVER WALLS TO PLATE, TOE NAILS

JOIST OR RAFTER TO WALL PLATE OR

FACE NAILS @ EACH END OF MEMBER

MULTIPLE STUDS, FACE NAILS EACH STUD

HOLDOWN OR

HDU2=8" MIN.

HDU4=8" MIN.

HDU5=8" MIN.

TIEDOWN WHERE

OCCURS, TYPICAL

STUDS @ WALL CORNERS AND INTERSECTIONS, FACE NAILS

FOR OTHER NAILING NOT SHOWN SEE CBC TABLE 2304.9.1

TO JOISTS, TOE NAILS EACH END

BUILT-UP POSTS EACH STUD

STRIPPING ON JOISTS

16d @ 24"O.C.

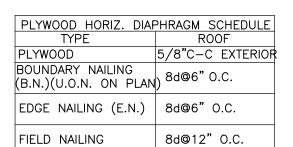
TYPICAL

EDGE NAILING

EDGE NAILING

16d @ 6"O.C. TYPICAL 16d @ 3"O.C. WHERE PLYWOOD OCCURS ON BOTH FACES OF STUD

BEAM, TOE NAILS.

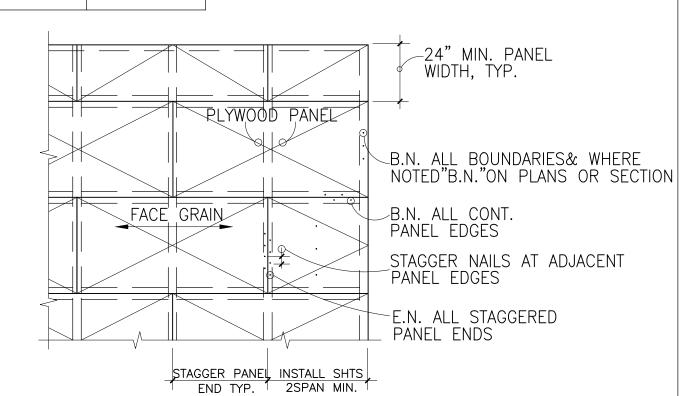


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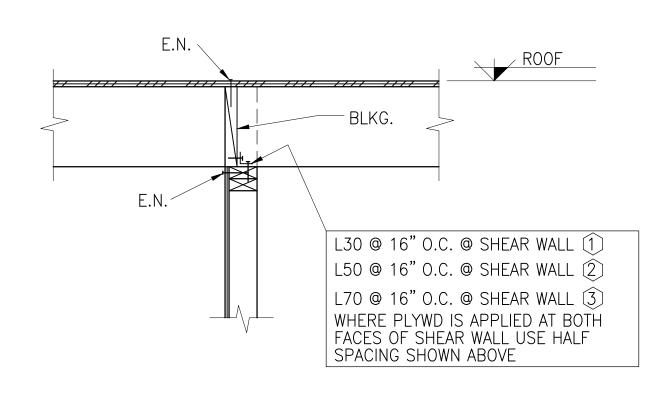
1. MINIMUM NAIL LENGTH SHALL 18 2 INCHES.

2. APPLY CONTINUOUS LINE OF GLUE CONFORMING TO SPECIFICATIONS TO JOISTS AND BLOCKING PRIOR TO LAYING FLOOR PLYWOOD PANELS.

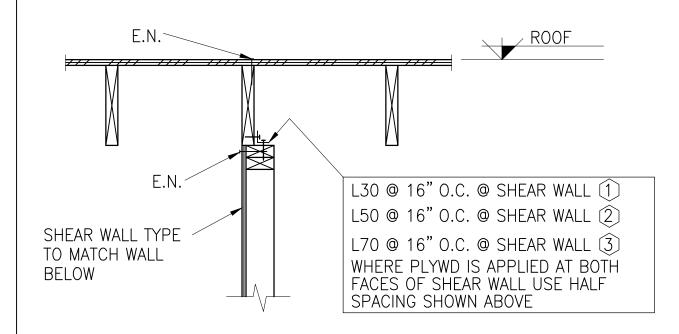
3. .131 P-NAILS MAY BE USED AT CONTRACTOR OPTION WHERE NAILS ARE PNEUMATICALLY DRIVEN. NAIL HEADS SHALL NOT BE DRIVEN INTO OR THROUGH FACE VENEER OF PLYWOOD SHEATHING.



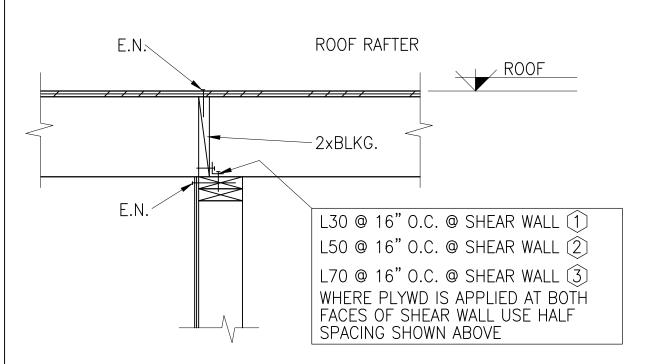
(1) TYPICAL PLYWOOD SHEATHED DIAPHRAGM



SHEAR WALL PARALLEL TO ROOF JOIST



SHEAR WALL PARALLEL TO ROOF JOIST



SHEAR WALL PERPENDICULAR TO ROOF JOIST

SHEAR TRANSFER AT INTERIOR
SHEAR WALLS

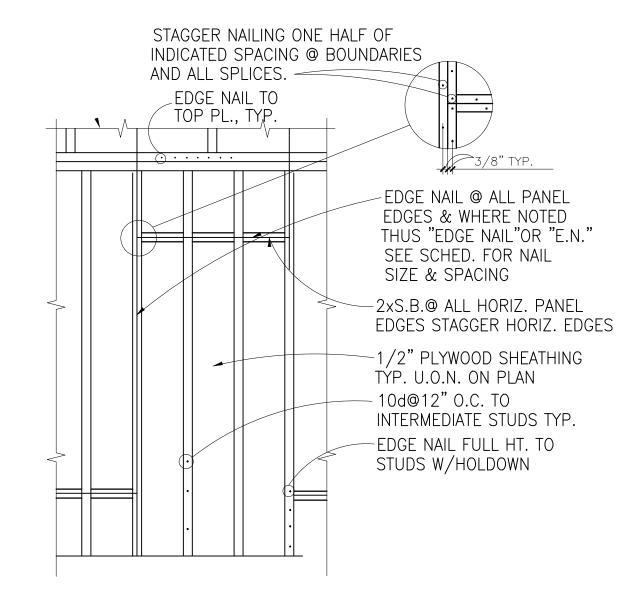
PLYWWOOD WALL SCHEDULE							
MARK	# OF SIDES	FOF SIDES EDGE NAILING ANCHOR BOLTS	ANCHOD DOLTS	EMBEDMENT		CAPACIT	
MARK	# OF SIDES			EPOXY	(PLF)		
1	1	10d @ 6" O.C.	5/8"ø @ 30" O.C.	9"	5"	310	
2	1	10d @ 4" O.C.	5/8"ø @ 24" O.C.	9"	5"	460	
3	1	10d @ 3" O.C.	5/8"ø @ 16" O.C.	9"	5"	600	

NOTES:

1. MINIMUM NAIL LENGTH SHALL BE 2 INCHES.

- 2. USE COMMON RING SHANK OR SCREW SHANK NAILS.
- 3. .131 P-NAILS MAY BE USED AT CONTRACTOR OPTION WHERE NAILS ARE PNEUMATICALLY DRIVEN. NAIL HEADS SHALL NOT BE DRIVEN INTO OR THROUGH FACE VENEER OF PLYWOOD SHEATHING.
- 4. WHERE PLYWOOD IS SHOWN ON BOTH SIDES OF A WALL SPACING OF THE ANCHOR BOLTS SHOULD BE HALF THE DISTANCE SHOWN ABOVE.
- 5. ALL NEW ANCHOR BOLTS AT EXISTING FOUNDATIONS SHOULD BE SET WITH SET—X EPOXY WITH THE EMBEDMENTS SHOWN. ANCHOR BOLTS SHALL BE SIMPSON RFB BOLTS W/ SIMPSON SET—X EPOXY.
- 6. PROVIDE 3x STUDS AT SILL PLATES & PANEL JOINT FRAMINGS FOR SHEAR WALL
- TYPES 2 & 3 OR IF PLYWOOD IS USED AT BOTH SIDES OF A SHEAR WALL.

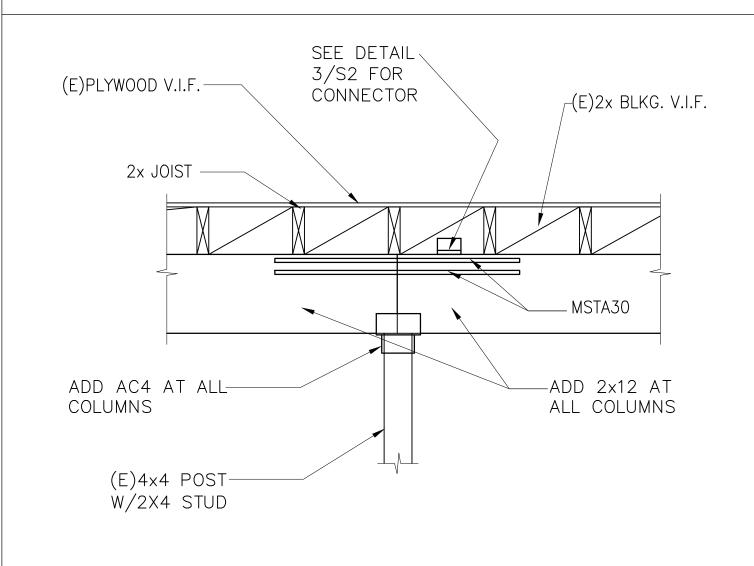
 7. PROVIDE 3"x3"x0.229" PLATE WASHER FOR ALL ANCHOR BOLTS PER CALIFORNIA
- RESIDENTIAL CODE, 2010 EDITION.



NOTES:

- 1. AT ALL INTERIOR PLYWOOD SHEAR WALLS, USE4'x10'SHEETS PLACED FULL HEIGHT VERTICALLY ELIMINATING ALL HORIZONTAL PANELS EDGE JOINTS WHERE APPLICABLE 2. FRAME ALL PLYWOOD SHEATHED WALLS SAME AS BEARING WALLS, EXCEPT AS SHOWN, SEE ELEVATION.
- 3. AT DOUBLE SHEATHED WALLS, BOTH VERTICAL AND HORIZONTAL INTERIOR JOINTS ON OPPOSITE SIDES OF WALL SHALL BE STAGGERED

(3) TYPICAL PLYWOOD SHEATED WALLS



TYPICAL OPENING REINF. AROUND

OPENINGS IN-LINE WITH SHEAR WALLS

MASOUD SALAMAT S.E.

Consulting Engineers

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REMODELING AND ADDITION TO:
MR. TAGHIBAKHSH RESIDENCE
2483 MOUNT. PLEASANT RD.
SAN JOSE, CA

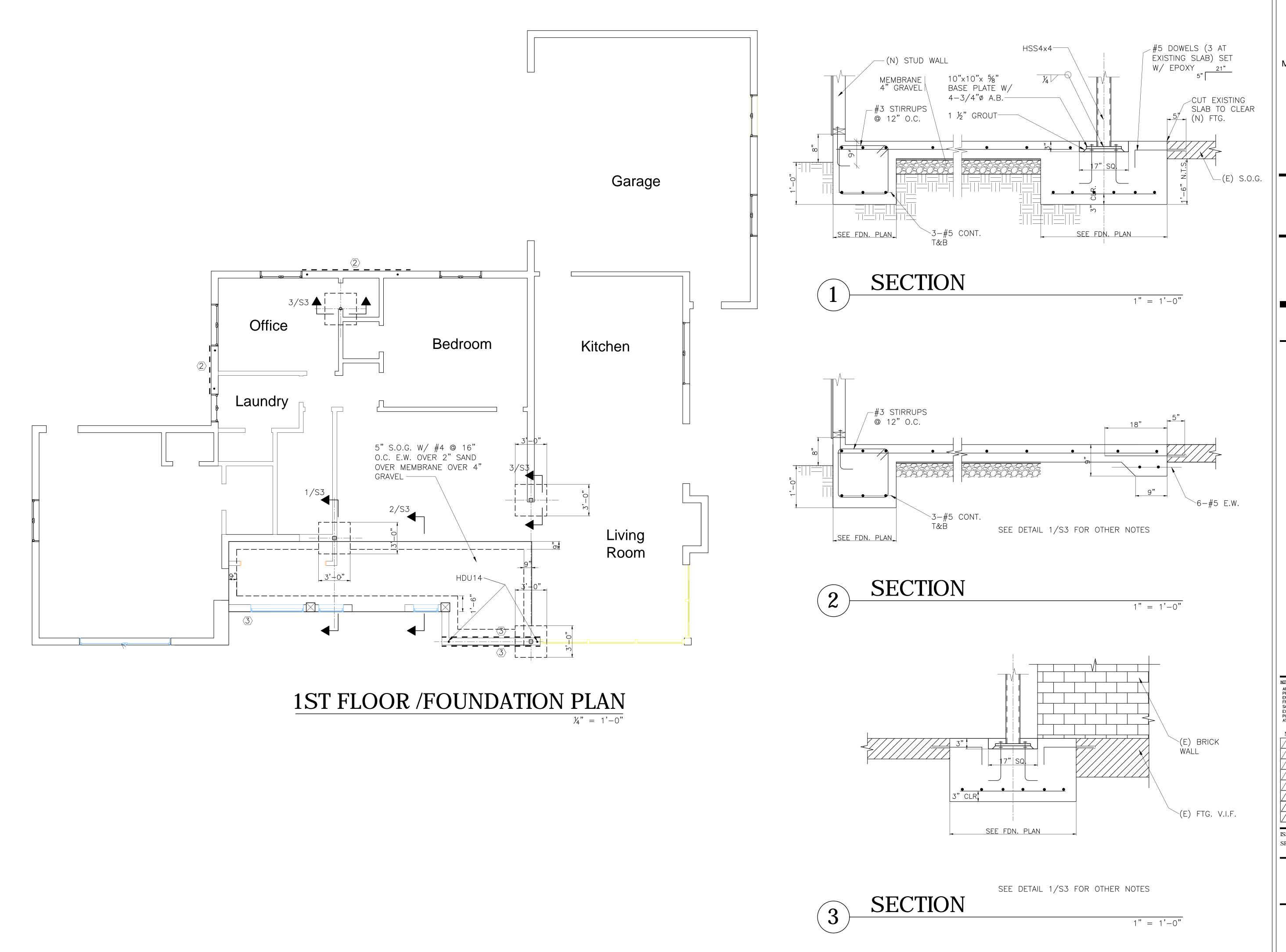
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ISSUE DATE: 7/30/2020 SPACE PLAN DATE:

DRAWING TITLE:
GENERAL NOTES
AND DETAILS

DRAWING NUMBER:

S2



MASOUD SALAMAT S.E.

Consulting Engineers

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REMODELING AND ADDITION TO MR. TAGHIBAKHSH RESIDENCE 2483 MOUNT. PLEASANT RD.

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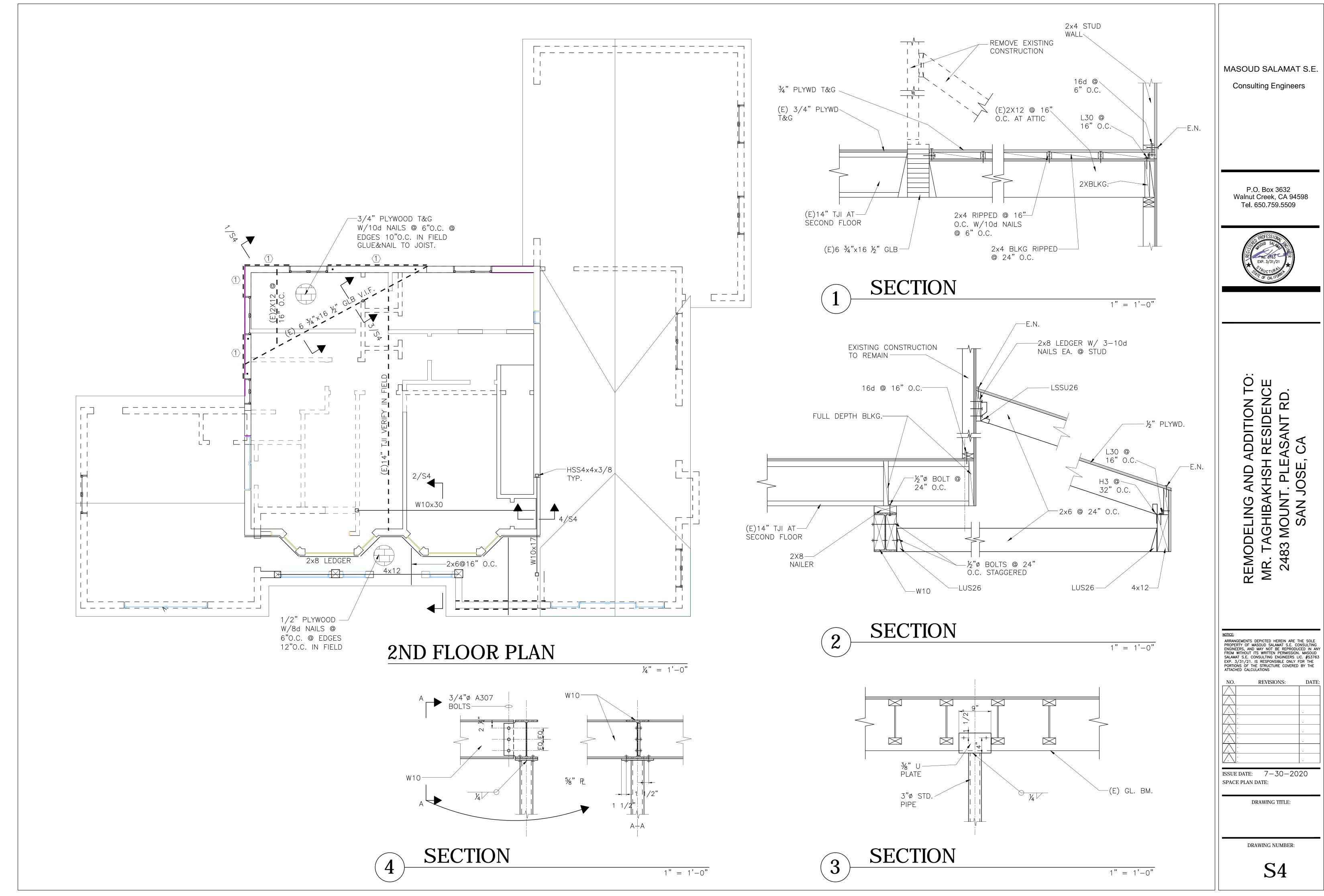
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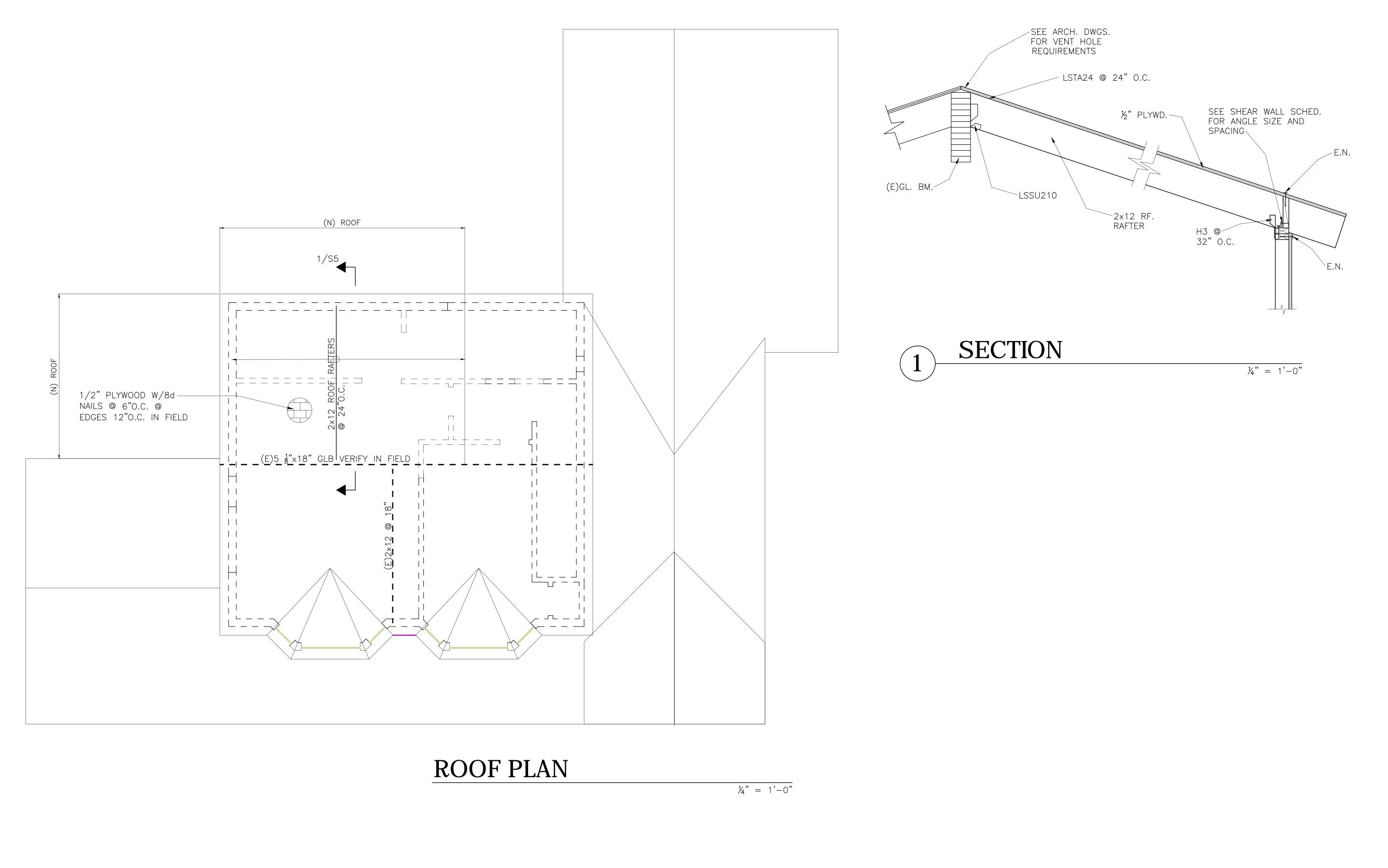
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REMODELING AND ADDITION TO:
MR. TAGHIBAKHSH RESIDENCE
2483 MOUNT. PLEASANT RD.
SAN JOSE, CA

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ISSUE DATE: 7-30-2020 SPACE PLAN DATE:

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Calculation Description: Title 24 Analysis

Project Name: Residentail Addition Remodel Calculation Date/Time: 2020-07-27T17:05:37-07:00

CF1R-PRF-01E (Page 1 of 9)

Input File Name: yazd 2483 mount pleasant.ribd19x

0.1							
01	Project Name	Residentail Addition Remodel					
02	Run Title	Title 24 Analysis	Title 24 Analysis				
03	Project Location	2483 Mount Pleasant Road					
04	City	San Jose	05	Standards Version	2019		
06	Zip code		07	Software Version	EnergyPro 8.1		
08	Climate Zone	4	09	Front Orientation (deg/ Cardinal)	250		
10	Building Type	Single family	11	Number of Dwelling Units	1		
12	Project Scope	AdditionAlteration	13	Number of Bedrooms	5		
14	Addition Cond. Floor Area (ft ²)	352	15	Number of Stories	2		
16	Existing Cond. Floor Area (ft ²)	2332	17	Fenestration Average U-factor	0.4		
18	Total Cond. Floor Area (ft ²)	2684	19	Glazing Percentage (%)	16.43%		
20	ADU Bedroom Count	0	21	ADU Conditioned Floor Area	0		
22	Is Natural Gas Available?	Yes					

COMPLIANCE	RESULTS
01	Building Complies with Computer Performance
02	Building does not require field testing or HERS verification
03	This building incorporates one or more Special Features shown below

	ENERGY USE SUMMARY							
Energy Use (kTDV/ft ² -yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement				
Space Heating	70,85	71	-0.15	-0.2				
Space Cooling	51.11	47.79	3.32	6.5				
IAQ Ventilation	0	0	0					
Water Heating	16.73	16.73	0	0				
Self Utilization Credit	n/a	0	0	n/a				
Compliance Energy Total	138.69	135.52	3.17	2.3				

Registration Number:

CERTIFICATE OF COMPLIANCE

Project Name: Residentail Addition Remodel

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Registration Date/Time:

HERS Provider:

CA Building Energy Efficiency Standards - 2019 Residential Compliance

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Calculation

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Input File Name: yazd 2483 mount pleasant.ribd19x	

01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft ²)	Window and Door Area (ft2)	Tilt (deg)	Wall Exceptions	Status	Verified Existing Condition
Front-45	Existing	R-0 Wall	205	n/a	60	32	90	none	Existing	No
Front	Existing	R-0 Wall	250	Front	819	148	90	none	Existing	No
Front+45	Existing	R-0 Wall	295	n/a	60	30	90	none	Existing	No
Left	Existing	R-0 Wall	340	Left	531	35	90	none	Existing	No
Rear	Existing	R-0 Wall	70	Back	819	70	90	none	Existing	No
Right	Existing	R-0 Wall	160	Right	531	66	90	none	Existing	No
New Front	Addition	R-15 Wall	250	Front	270	76	90	none	New	n/a
New Left	Addition	R-15 Wall	340	Left	165	24	90	none	New	n/a
New Rear	Addition	R-15 Wall	70	Back	198	0	90	none	New	n/a
Roof	Existing	R-19 Roof Attic	n/a	n/a	1910	n/a	n/a		Existing	No
Roof 2	Addition	R-30 Roof Attic	n/a	n/a	177	n/a	n/a		New	n/a
Raised Floor	Existing	R-0 Floor Crawlspace	n/a	n/a	1910	n/a	n/a		Existing	No
Raised Floor 2	Addition	R-19 Floor Crawlspace	n/a	n/a	177	n/a	n/a		New	n/a

01	02	03	04	05	06	07	08	09	10
Name	Construction	Туре	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof	Status	Verified Existing
Attic Existing	Attic RoofExisting	Ventilated	4	0.1	0.85	No	No	Existing	No
Attic Addition	Attic RoofAddition	Ventilated	4	0.1	0.85	No	No	New	n/a

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Project Name: Residentail Addition Remodel

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Input File Name: yazd 2483 mount pleasant.ribd19x

REQUIRED SPECIAL FEATURES

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

New ductwork added is less than 40 ft. in length

HERS FEATURE SUMMARY

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry

Building-level Verifications:

-- None --Cooling System Verifications:

-- None --

Heating System Verifications:

-- None --

HVAC Distribution System Verifications: -- None --

Domestic Hot Water System Verifications:

-- None --

BUILDING - FEATURES INFORMA	ATION					
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft ²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Residentail Addition Remodel	2684	1	5	2	0	1

E INFORMATION 01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft ²)	Avg. Ceiling Height	Water Heating System 1	Water Heating System 2
Existing	Conditioned	Existing FAU1	2332	9	DHW Sys 1	N/A
Addition	Conditioned	Existing FAU1	352	9	DHW Sys 1	N/A

Registration Number:

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CERTIFICATE OF COMPLIANCE

FENESTRATION / GLAZING

Project Name: Residentail Addition Remodel Calculation Description: Title 24 Analysis

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Input File Name: yazd 2483 mount pleasant.ribd19x

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Туре	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition
Existing Window	Window	Front-45		205			1	32	1.28	Table 110.6-A	0.8	Table 110.6-B	Bug Screen	Existing	No
Window	Window	Front	Front	250			1	108	0.4	NFRC	0.25	NFRC	Bug Screen	Altered	No
Existing Window 2	Window	Front	Front	250			1	40	1.28	Table 110.6-A	0.8	Table 110.6-B	Bug Screen	Existing	No
Existing Window 3	Window	Front+45		295			1	30	1.28	Table 110.6-A	0.8	Table 110.6-B	Bug Screen	Existing	No
Existing Window 4	Window	Left	Left	340			1	35	1.28	Table 110.6-A	0.8	Table 110.6-B	Bug Screen	Existing	No
Existing Window 5	Window	Rear	Back	70			1	30	1.28	Table 110.6-A	0.8	Table 110.6-B	Bug Screen	Existing	No
Window 2	Window	Right	Right	160			1	42	0.4	NFRC	0.25	NFRC	Bug Screen	Altered	No
Existing Window 6	Window	Right	Right	160			1	24	1.28	Table 110.6-A	0.8	Table 110.6-B	Bug Screen	Existing	No
Window 3	Window	New Front	Front	250			1	76	0.4	NFRC	0.25	NFRC	Bug Screen	New	n/a
Window 4	Window	New Left	Left	340			1	24	0.4	NFRC	0.25	NFRC	Bug Screen	New	n/a

OPAQUE DOORS					
01	02	03	04	05	06
Name	Side of Building	Area (ft²)	U-factor	Status	Verified Existing Condition
Door	Rear	40	0.5	Existing	No

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Farhad Taghibakhsh

2483 MOUNT PLEASANT ROAD, SAN JOSE CA 95148

TITLE 24

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CA Building Energy Efficiency Standards - 2019 Residential Compliance

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OPAQUE SURFACE CONSTR	RUCTIONS						
01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-0 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.361	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Exterior Finish: 3 Coat Stucco
R-15 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-15	None / None	0.095	Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Exterior Finish: 3 Coat Stucco
R-0 Wall1	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-O	None / None	0.277	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Other Side Finish: Gypsum Board
Attic RoofExisting	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / None	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4
Attic RoofAddition	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / None	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4
R-0 Floor Crawlspace	Floors Over Crawlspace	Wood Framed Floor	2x12 @ 16 in. O. C.	R-0	None / None	0.216	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x12
R-19 Floor Crawlspace	Floors Over Crawlspace	Wood Framed Floor	2x10 @ 16 in. O. C.	R-19	None / None	0.046	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: R-19 / 2x10
R-19 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-19	None / None	0.049	Over Ceiling Joists: R-9.9 insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board

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Input File Name: yazd 2483 mount pleasant.ribd	19x

VATER HEATING - HERS	VERIFICATION						
01	02	03	04	05	06	07	08
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Central DHW Distribution	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required	Not Required

CE CONDITIONING SYS	TEMS	an a					115	1125		115
01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Heating Unit Name	Cooling Unit Name	Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Heating Equipment Count	Cooling Equipment Count
Existing FAU1	Heating and cooling system other	Heating Component 1	Cooling Component 1	HVAC Fan 1	Air Distribution System 1	n/a	Existing	No	1	1

C - HEATING UNIT TYPES			960
01	02	03	04
Name	System Type	Number of Units	Heating Efficiency
Heating Component 1	Central gas furnace	1	AFUE-80

HVAC - COOLING UNIT TY	'PES						
01	02	03	04	05	06	07	08
Name	System Type	Number of Units	Efficiency EER	Efficiency SEER	Zonally Controlled	Mulit-speed Compressor	HERS Verification
Cooling Component 1	No Cooling	1			Not Zonal	Single Speed	n/a

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OPAQUE SURFACE CONSTRUCTIONS 02 03 04 08 nterior / Exterior **Total Cavity Construction Type** Surface Type Framing U-factor **Assembly Layers** Continuous Construction Name R-value Over Ceiling Joists: R-20.9 insul. Ceilings (below Wood Framed 2x4 @ 24 in. O. C. Cavity / Frame: R-9.1 / 2x4 R-30 Roof Attic R-30 None / None 0.032 Ceiling Inside Finish: Gypsum Board

0.4	T and	- T	(A)
01	02	03	04
Quality Insulation Installation (QII)	Quality Installation of Spray Foam Insulation	Building Envelope Air Leakage	CFM50
Not Required	Not Required	Not Required	n/a

01	02	03	04	05	06	07	08	09	10
Name	System Type	Distribution Type	Water Heater Name (#)	Solar Heating System	Compact Distribution	HERS Verification	Status	Verified Existing Condition	Existing Water Heating System
DHW Sys 1	Domestic Hot Water (DHW)	Standard Distribution System	DHW Heater 1 (1)	n/a	None	n/a	Existing	No	

VATER HEAT	ATER HEATERS												
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Heating Element Type	Tank Type	# Units	Tank Vol. (gal)	Energy Factor or Efficiency	Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff.	1st Hr. Rating or Flow Rate	NEEA Heat Pump Brand or Model	Tank Location or Ambient Condition	Status	Verified Existing Condition
DHW Heater 1	Gas	Small Storage	1	50	0.53-EF	<= 75 kBtu/hr	0	80	n/a	n/a	n/a	Existing	No

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IVAC - DISTI	RIBUTION SYSTEMS														
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
			Duct Ins	. R-value	Duct Lo	cation	Surfac	e Area							
Name	Туре	Design Type	Supply	Return	Supply	Return	Supply	Return	Bypass Duct	Duct Leakage	HERS Verification	Status	Verified Existing Condition	Existing Distribution system	New Ducts 40 ft
Air Distributi on System 1	Unconditioned attic	Non- Verified	R-6	R-6	Attic	Attic	n/a	n/a	No Bypass Duct	Existing (not specified)	Air Distributi on System 1-hers- dist	Existing + New	No	n/a	n/a

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No.	Description	Date

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2483 MOUNT PLEASANT ROAD, SAN JOSE CA 95148

TITLE 24

Project Number Project Number Issue Date Drawn By Author Checked By Checker

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Caladatian Daniel III and Amelia

Calculation Description: Title 24 Analysis	Input File Name: yazd 2483 mount pleasant.ribd19x
DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	
1. I certify that this Certificate of Compliance documentation is accurate a	and complete.
Documentation Author Name:	Documentation Author Signature:
Robert Mao, PE, CEA	1 Janes
Company:	Signature Date:
The Energy Consulting Company	7/27/2020
Address:	CEA/ HERS Certification Identification (If applicable):
6367 Swainland Road	
City/State/Zip:	Phone:
Oakland, CA 94611	510 387-2756
RESPONSIBLE PERSON'S DECLARATION STATEMENT	
I certify that the energy features and performance specifications identi	accept responsibility for the building design identified on this Certificate of Compliance. ified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. is Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets,
Responsible Designer Name:	Responsible Designer Signature:
Company: Farhad Taghibalhsh	Date Signed:
2483 Mount Pleasant Road	License:
City/State/Zip: San Jose, CA	Phone:

Registration Number: Registration Date/Time: HERS Provider:

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2483 MOUNT PLEASANT ROAD, SAN JOSE CA 95148

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RESI	DENT	IAL MEAS	URES SI	JMM.	ARY					RMS-1
Project N Reside		dition Remod	el	Buil	ding Type	☑ Singl ☐ Multi			one Addition/Alteration	Date 7/27/2020
Project A			I MAR MAN I DESCRIPTION	1 N 28 CHEST		ergy Climate		Total Cond. Floor	CONTRACTOR SAMPLE SAMPL	20 20
		easant Road	San Jose	C	A Clim	ate Zone	04	2,684	352	1
	ATION			20201		Area	828	EE 85000 0000		1 Sept. 2008
Const	truction	ı Type		Cav	/ity	(ft^2)	S	pecial Featu	ıres	Status
Wall	Wood Fi	ramed		- no in	sulation	28				Existing
Wall	Wood Fi	ramed		- no in	sulation	671				Existing
Wall	Wood Fi	ramed		- no in	sulation	30				Existing
Wall	Wood Fi	ramed		- no in	sulation	496				Existing
Wall	Wood Fi	ramed		- no in	sulation	749				Existing
Door	Opaque			- no in	sulation	40				Existing
Wall	Wood Fi	ramed		- no in	sulation	465				Existing
Roof		ramed Attic	4	R 19		1,910		*		Existing
	STRAT	0	Total Area:	441	377.2	Percentage		88	d Average U-Factor	
Orien	tation	Area(ft²)	U-Fac S	HGC	Overl	hang S	Sidef	ins Exterio	r Shades	Status
Right (SV	Ŋ	32.0	1.280	0.80	none		none	N/A		Existing
Front (W)		108.0	0.400	0.25	none	1	none	N/A		Altered
Front (W)		40.0	1.280	0.80	none	ı	none	N/A		Existing
Front (NV	V)	30.0	1.280	0.80	none		none	N/A		Existing
Left (N)		35.0	1.280	0.80	none	1	none	N/A		Existing
Rear (E)		30.0	1.280	0.80	none	1	none	N/A		Existing
Right (S)		42.0	0.400	0.25	none	ı	none	N/A		Altered
Right (S)		24.0	1.280	0.80	none		none	N/A		Existing
Front (W)	9	76.0	0.400	0.25	none	20	one	N/A		New
Left (N)		24.0	0.400	0.25	none	:://	none	N/A		New
HVAC	SYSTE	EMS								
Qty.	Heatin		Min. Eff	Co	oling		Min	. Eff	Thermostat	Status
1	Central Fu	<u> </u>	80% AFUE	111111111111111111111111111111111111111	Cooling		1814/ROHDA		Setback	Existing
HVAC	DISTR	IBUTION							Duct	
Locat	ion	Hea	ating	Co	oling	Duct	Loca	ation	R-Value	Status
Existing F	AU	Ducted		Duc	ted	Attic			6.0	Altered
WATE	R HEA	TING								
			Gall	ons	Min.	Eff D)istri	bution		Status
	Туре	IING	Gall	ons	Min.	Eff C	Distri	bution		
		0.6	r Number: 3385							7777
EnergyP	m Q 4 hir	normus off	r Millionham 2006					ID: 20072	27	Page 12 of 1



	2019 Low-Rise Residential Mandatory Measures Summary
§ 150.0(h)3A:	Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any dryer
§ 150.0(h)3B:	Liquid Line Drier. Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the manufacturer's instructions.
§ 150.0(j)1:	Storage Tank Insulation. Unfired hot water tanks, such as storage tanks and backup storage tanks for solar water-heating systems, must have a minimum of R-12 external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank.
§ 150.0(j)2A:	Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation. All domestic hot water piping must be insulated as specified in Section 609.11 of the California Plumbing Code. In addition, the following piping conditions must have a minimum insulation wall thickness of one inch or a minimum insulation R-value of 7.7: the first five feet of cold water pipes from the storage tank; all hot water piping with a nominal diameter equal to or greater than 3/4 inch and less than one inch; all hot water piping with a nominal diameter less than 3/4 inch that is: associated with a domestic hot water recirculation system, from the heating source to storage tank or between tanks, buried below grade, and from the heating source to kitchen fixtures.*
§ 150.0(j)3:	Insulation Protection. Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind as required by Section 120.3(b). Insulation exposed to weather must be water retardant and protected from UV light (no adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and non-crushable casing or sleeve.
§ 150.0(n)1:	Gas or Propane Water Heating Systems. Systems using gas or propane water heaters to serve individual dwelling units must include all of the following: A dedicated 125 volt, 20 amp electrical receptacle connected to the electric panel with a 120/240 volt 3 conductor, 10 AWG copper branch circuit, within three feet of the water heater without obstruction. Both ends of the unused conductor must be labeled with the word "spare" and be electrically isolated. Have a reserved single pole circuit breaker space in the electrical panel adjacent to the circuit breaker for the branch circuit and labeled with the words "Future 240V Use"; a Category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed; a condensate drain that is no more than two inches higher than the base of the water heater, and allows natural draining without pump assistance; and a gas supply line with a capacity of at least 200,000 Btu per hour.
§ 150.0(n)2:	Recirculating Loops. Recirculating loops serving multiple dwelling units must meet the requirements of § 110.3(c)5.
§ 150.0(n)3:	Solar Water-heating Systems. Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing agency that is approved by the Executive Director.
Ducts and Fans	Measures:
§ 110.8(d)3:	Ducts. Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC). If a contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement.
§ 150.0(m)1:	CMC Compliance. All air-distribution system ducts and plenums must meet the requirements of the CMC §§ 601.0, 602.0, 603.0, 604.0, 605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts and plenums must be insulated to a minimum installed level of R-6.0 or a minimum installed level of R-4.2 when ducts are entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8). Portions of the duct system completely exposed and surrounded by directly conditioned space are not required to be insulated. Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure system that meets the applicable requirements of UL 181, UL 181B, or UL 181B or aerosol sealant that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than 1/4 inch, the combination of mastic and either mesh or tape must be used. Building cavities, support platforms for air handlers, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used to convey conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platforms must not be compressed to cause reductions in the cross-sectional area.
§ 150.0(m)2;	Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct construction, connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands.
§ 150.0(m)3:	Field-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes, mastics, sealants, and other requirements specified for duct construction.
§ 150.0(m)7;	Backdraft Damper. Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic dampers.
§ 150.0(m)8:	Gravity Ventilation Dampers. Gravity ventilating systems serving conditioned space must have either automatic or readily accessible, manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents.
§ 150.0(m)9:	Protection of Insulation. Insulation must be protected from damage, sunlight, moisture, equipment maintenance, and wind. Insulation exposed to weather must be suitable for outdoor service. For example, protected by aluminum, sheet metal, painted canvas, or plastic cover. Cellular foam insulation must be protected as above or painted with a coating that is water retardant and provides shielding from solar radiation.
§ 150.0(m)10:	Porous Inner Core Flex Duct. Porous inner core flex ducts must have a non-porous layer between the inner core and outer vapor barrier.
§ 150.0(m)11:	Duct System Sealing and Leakage Test. When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with § 150.0(m)11 and Reference Residential Appendix RA3.
§ 150.0(m)12:	Air Filtration. Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13 or equivalent filters. Filters for space conditioning systems must have a two inch depth or can be one inch if sized per Equation 150.0-A. Pressure drops and labeling must meet the requirements in §150.0(m)12. Filters must be accessible for regular service.*
§ 150.0(m)13:	Space Conditioning System Airflow Rate and Fan Efficacy. Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be ≥ 350 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.45 watts per CFM for gas furnace air handlers and ≤ 0.58 watts per CFM for all others. Small duct high velocity systems must provide an airflow ≥ 250 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.62 watts per CFM. Field verification testing is required in accordance with Reference Residential Appendix RA3.3.*

					RMS-1
Remodel	Building Type				7/27/2020
t Road San Jose	A STATE OF THE PROPERTY OF THE PARTY OF THE		March 1 To a recommendate of the State of th	Area Addition 352	# of Units
		Area	1019377011		
pe	Cavity	(ft ²)	Special Featur	res	Status
//Crawl Space	- no insulation	1,910			Existing
	R 15	533			New
ttic	R 30	177			New
	- no insulation	100			New
/Crawl Space	R 19	177			New
Tarray catazora a	Service Processing	DIVANO, WALLES	See Managery To Statement devices in the Letter	enso i a Storina eliktrozensko AK inta	VANCAGE:
		(612)		71 2700	
$a(\pi)$ U-Fac Si	HGC Overi	nang Sid	etins Exterior	Snades	Status
Min. Eff	Cooling	N	lin. Eff	Γhermostat	Status
Min. Eff ION Heating	Cooling	Duct Lo		Thermostat Duct R-Value	Status
	Remodel t Road San Jose pe //Crawl Space //Crawl Space Total Area:	Remodel t Road San Jose California Energy CA Clim California Energy CA Clim Cavity - no insulation R 15 Attic R 30 - no insulation W/Crawl Space R 19 Total Area: 441 Glazing	Remodel California Energy Climate Zore t Road San Jose CA Climate Zone 04 Area Cavity (ft²) Crawl Space - no insulation R 15 - no insulation 1,910 R 15 - no insulation 100 Crawl Space Total Area: 441 Glazing Percentage:	Building Type Single Family Addition Alo Multi Family Existing + Ad California Energy Climate Zone Total Cond. Floor / CA Climate Zone 04 2,684 Area Cavity (ft²) Special Feature Cavity (ft²) Special Feature Cavity (ft²) Special Feature Cavity (ft²) Total Feature Cavity (ft²) Special Feature Cavity (ft²)	Multi Family Existing + Addition/Alteration



2010 Low-Dica Pacidential Mandatory Measures Summary

Requirements f	or Ventilation and Indoor Air Quality:
§ 150.0(o)1:	Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(o)1.
§ 150.0(o)1C:	Single Family Detached Dwelling Units. Single family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow provided at rates determined by ASHRAE 62.2 Sections 4.1.1 and 4.1.2 and as specified in § 150.0(o)1C.
§ 150.0(o)1E:	Multifamily Attached Dwelling Units. Multifamily attached dwelling units must have mechanical ventilation airflow provided at rates in accordance with Equation 150.0-B and must be either a balanced system or continuous supply or continuous exhaust system. If a balanced system is not used, all units in the building must use the same system type and the dwelling-unit envelope leakage must be ≤ 0.3 CFM at 50 P (0.2 inch water) per square foot of dwelling unit envelope surface area and verified in accordance with Reference Residential Appendix RA3.8.
§ 150.0(o)1F:	Multifamily Building Central Ventilation Systems. Central ventilation systems that serve multiple dwelling units must be balanced to provide ventilation airflow for each dwelling unit served at a rate equal to or greater than the rate specified by Equation 150.0-B. All unit airflows must be within 20 percent of the unit with the lowest airflow rate as it relates to the individual unit's minimum required airflow rate needed for compliance.
§ 150.0(o)1G:	Kitchen Range Hoods. Kitchen range hoods must be rated for sound in accordance with Section 7.2 of ASHRAE 62.2.
§ 150.0(o)2:	Field Verification and Diagnostic Testing. Dwelling unit ventilation airflow must be verified in accordance with Reference Residential Appendix RA3.7. A kitchen range hood must be verified in accordance with Reference Residential Appendix RA3.7.4.3 to confirm it is rated by HVI to comply with the airflow rates and sound requirements as specified in Section 5 and 7.2 of ASHRAE 62.2.
Pool and Spa S	ystems and Equipment Measures:
§ 110.4(a):	Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: a thermal efficiency that complies with the Appliance Efficiency Regulations; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heating.
§ 110.4(b)1:	Piping. Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, or dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating.
§ 110.4(b)2:	Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover.
§ 110.4(b)3:	Directional Inlets and Time Switches for Pools. Pools must have directional inlets that adequately mix the pool water, and a time switch tha will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
§ 110.5:	Pilot Light. Natural gas pool and spa heaters must not have a continuously burning pilot light.
§ 150.0(p):	Pool Systems and Equipment Installation. Residential pool systems or equipment must meet the specified requirements for pump sizing, florate, piping, filters, and valves.*
Lighting Measu	res:
§ 110.9:	Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirement of § 110.9.*
§ 150.0(k)1A:	Luminaire Efficacy. All installed luminaires must meet the requirements in Table 150.0-A.
§ 150.0(k)1B:	Blank Electrical Boxes. The number of electrical boxes that are more than five feet above the finished floor and do not contain a luminaire or other device must be no greater than the number of bedrooms. These electrical boxes must be served by a dimmer, vacancy sensor control, of fan speed control.
§ 150.0(k)1C:	Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must meet all of the requirements for: insulation contact (IC) labeling; air leakage; sealing; maintenance; and socket and light source as described in § 150.0(k)1C.
§ 150.0(k)1D:	Electronic Ballasts for Fluorescent Lamps. Ballasts for fluorescent lamps rated 13 watts or greater must be electronic and must have an
§ 150.0(k)1E:	output frequency no less than 20 kHz. Night Lights, Step Lights, and Path Lights. Night lights, step lights and path lights are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided they are rated to consume no more than 5 watts of power and emit no more than 150 lumens.
§ 150.0(k)1F:	Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § 150.0(k).*
§ 150.0(k)1G:	Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8.*
§ 150.0(k)1H:	Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.
§ 150.0(k)1l:	Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit remove than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed
§ 150.0(k)2A:	Interior Switches and Controls. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A.
§ 150.0(k)2B;	Interior Switches and Controls. Exhaust fans must be controlled separately from lighting systems.*
§ 150.0(k)2C:	Interior Switches and Controls. Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned ON and OFF.*
§ 150.0(k)2D:	Interior Switches and Controls. Controls and equipment must be installed in accordance with manufacturer's instructions.
§ 150.0(k)2E:	Interior Switches and Controls. Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the control is installed to comply with § 150.0(k).
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2019 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. *Exceptions may apply.

Building Envelop			
§ 110.6(a)1:	Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283 or AAMA/WDMA/CSA 101/I.S.2/A440-2011.*		
§ 110.6(a)5:	Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(a).		
§ 110.6(b):	Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather-stripped.		
§ 110.7;	Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather stripped.		
§ 110.8(a):	Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).		
§ 110.8(g):	Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g).		
§ 110.8(i):	Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified on the CF1R.		
§ 110.8(j):	Radiant Barrier. When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs		
§ 150.0(a):	Ceiling and Rafter Roof Insulation. Minimum R-22 insulation in wood-frame ceiling; or the weighted average U-factor must not exceed 0.043. Minimum R-19 or weighted average U-factor of 0.054 or less in a rafter roof alteration. Attic access doors must have permanently attached		
§ 150.0(b):	Loose-fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value.		
§ 150.0(c):	Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing of have a U-factor of 0.071 or less. Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.102. Masonry walls must meet Tables 150.1-A or B.*		
§ 150.0(d):	Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor.*		
§ 150.0(f):	Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).		
§ 150.0(g)1:	Vapor Retarder. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to § 150.0(d).		
§ 150.0(g)2:	Vapor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation. Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a		
§ 150.0(q):	maximum U-factor of 0.58; or the weighted average U-factor of all fenestration must not exceed 0.58.*		
Fireplaces, Deco	ative Gas Appliances, and Gas Log Measures:		
§ 110.5(e)	Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces.		
§ 150.0(e)1:	Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.		
§ 150.0(e)2:	Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device."		
§ 150.0(e)3:	Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control.*		
*1.000.000 to to to	ng, Water Heating, and Plumbing System Measures:		
§ 110.0-§ 110.3:	Certification. Heating, ventilation and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the California Energy Commission."		
§ 110.2(a):	HVAC Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-K.*		
§ 110.2(b):	Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating.		
§ 110.2(c):	Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a		
§ 110.3(c)4:	water Heating Recirculation Loops Serving Multiple Dwelling Units. Water heating recirculation loops serving multiple dwelling units must meet the air release valve, backflow prevention, pump priming, pump isolation valve, and recirculation loop connection requirements of § 110.3(c)4.		
§ 110.3(c)6:	Isolation Valves. Instantaneous water heaters with an input rating greater than 6.8 kBtu per hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.		
§ 110.5:	Pilot Lights. Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances (except appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu per hour); and pool and spa heaters.		
§ 150.0(h)1:	Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards		

	2019 Low-Rise Residential Mandatory Measures Summary
§ 150.0(k)2G:	Interior Switches and Controls. An energy management control system (EMCS) may be used to comply with control requirements if it: provides functionality of the specified control according to § 110.9; meets the Installation Certificate requirements of § 130.4; meets the EMCS requirements of § 130.0(e); and meets all other requirements in § 150.0(k)2.
§ 150.0(k)2H:	Interior Switches and Controls. A multiscene programmable controller may be used to comply with dimmer requirements in § 150.0(k) if it provides the functionality of a dimmer according to § 110.9, and complies with all other applicable requirements in § 150.0(k)2.
§ 150.0(k)2l:	Interior Switches and Controls. In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces must be controlled by an occupant sensor or a vacancy sensor providing automatic-off functionality. If an occupant sensor is installed, it must be initially configured to manual-on operation using the manual control required under Section 150.0(k)2C.
§ 150.0(k)2J:	Interior Switches and Controls. Luminaires that are or contain light sources that meet Reference Joint Appendix JA8 requirements for dimming, and that are not controlled by occupancy or vacancy sensors, must have dimming controls.*
§ 150.0(k)2K:	Interior Switches and Controls. Under cabinet lighting must be controlled separately from ceiling-installed lighting systems.
§ 150.0(k)3A:	Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must meet the requirement in item § 150.0(k)3Ai (ON and OFF switch) and the requirements in either § 150.0(k)3Aii (photocell and either a motion sensor or automatic time switch control) or § 150.0(k)3Aii (astronomical time clock), or an EMCS.
§ 150.0(k)3B:	Residential Outdoor Lighting. For low-rise residential buildings with four or more dwelling units, outdoor lighting for private patios, entrances, balconies, and porches; and residential parking lots and carports with less than eight vehicles per site must comply with either § 150.0(k)3A or with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.
§ 150.0(k)3C:	Residential Outdoor Lighting. For low-rise residential buildings with four or more dwelling units, any outdoor lighting for residential parking lots or carports with a total of eight or more vehicles per site and any outdoor lighting not regulated by § 150.0(k)3B or § 150.0(k)3D must comply with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.
§ 150.0(k)4:	Internally illuminated address signs. Internally illuminated address signs must comply with § 140.8; or must consume no more than 5 watts of power as determined according to § 130.0(c).
§ 150.0(k)5:	Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in Sections 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.
§ 150.0(k)6A:	Interior Common Areas of Low-rise Multifamily Residential Buildings. In a low-rise multifamily residential building where the total interior common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the interior common areas in that building must be comply with Table 150.0-A and be controlled by an occupant sensor.
§ 150.0(k)6B:	common area in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common areas in that building must: i. Comply with the applicable requirements in Sections 110.9, 130.0, 130.1, 140.6 and 141.0; and ii. Lighting installed in corridors and stairwells must be controlled by occupant sensors that reduce the lighting power in each space by at least 50 percent. The occupant sensors must be capable of turning the light fully on and off from all designed paths of ingress and egress.
Solar Ready Bui	ldings:
§ 110.10(a)1:	Single Family Residences. Single family residences located in subdivisions with 10 or more single family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b) through § 110.10(e).
§ 110.10(a)2:	Low-rise Multifamily Buildings. Low-rise multi-family buildings that do not have a photovoltaic system installed must comply with the requirements of § 110.10(b) through § 110.10(d).
§ 110.10(b)1:	Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet. For low-rise multi-family buildings the solar zone must be located on the roof or overhang of the building, or on the roof or overhang of another structure located within 250 feet of the building, or on covered parking installed with the building project, and have a total area no less than 15 percent of the total roof area of the building excluding any skylight area. The solar zone requirement is applicable to the entire building, including mixed occupancy.*
§ 110.10(b)2:	Azimuth. All sections of the solar zone located on steep-sloped roofs must be oriented between 90 degrees and 300 degrees of true north.
§ 110.10(b)3A:	Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment.*
§ 110.10(b)3B:	Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the distance, measured in the horizontal plane, of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.*
§ 110.10(b)4:	Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.
§ 110.10(c):	Interconnection Pathways. The construction documents must indicate: a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.
§ 110.10(d):	Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b) through § 110.10(c) must be provided to the occupant.
§ 110.10(e)1:	Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.
§ 110.10(e)2:	Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric".

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No.	Description	Date		

Farhad Taghibakhsh

2483 MOUNT PLEASANT ROAD, SAN JOSE CA 95148

TITLE 24

	Project Number	Project Number
	Date	Issue Date
	Drawn By	Author
	Checked By	Checker