

### FIRE NOTES

FIRE PROTECTION WATER: FIRE PROTECTION WATER SYSTEM SHALL BE INSTALLED, FUNCTIONING AND INSPECTED PRIOR TO APPROVAL OF THE FOUNDATION. SYSTEM SHALL BE MAINTAINED IN GOOD WORKING ORDER AND ACCESSIBLE THROUGHOUT CONSTRUCTION. A STOP WORK ORDER MAY BE PLACED ON THE PROJECT IF THE REQUIRED HYDRANT SYSTEMS ARE NOT INSTALLED, ACCESSIBLE, AND/OR FUNCTIONING.

FIRE SPRINKLER SYSTEM: AN APPROVED RESIDENTIAL FIRE SPRINKLER SYSTEM COMPLYING WITH FIRE MARSHAL STANDARD CFMO-SP6 SHALL BE INSTALLED THROUGHOUT THE STRUCTURE.

THE FIRE SPRINKLER SYSTEM SHALL BE INSTALLED AND FINALED BY THE COUNTY OF SANTA CLARA FIRE DEPARTMENT PRIOR TO OCCUPANCY. A SEPARATE PERMIT SHALL BE OBTAINED FROM THE COUNTY OF SANTA CLARA FIRE DEPARTMENT BY A STATE LICENSED C-16 CONTRACTOR PRIOR TO INSTALLATION. PLEASE ALLOW FOR A MINIMUM OF 30 DAYS FOR PLAN REVIEW OF FIRE SPRINKLER PLANS BY THE COUNTY OF SANTA CLARA FIRE DEPARTMENT.

MAINTENANCE: FIRE PROTECTION WATER SYSTEMS AND EQUIPMENT SHALL BE ACCESSIBLE AND MAINTAINED IN OPERABLE CONDITION AT ALL TIMES, AND SHALL BE REPLACED OR REPAIRED WHERE DEFECTIVE. FIRE PROTECTION WATER SHALL BE MADE AVAILABLE TO THE FIRE DEPT.

FIRE DEPT. ACCESS ROADS, DRIVEWAYS, TURNOUTS, & TURNAROUNDS SHALL BE MAINTAINED FREE & CLEAR & ACCESSIBLE AT ALL TIMES FOR FIRE DEPT. USE. GATES SHALL BE MAINTAINED IN GOOD WORKING ORDER, & SHALL REMAIN IN COMPLIANCE WITH FIRE MARSHAL STANDARD CFMO-A3 AT ALL TIMES.

APPROVED NUMBER OR ADDRESSES shall be placed on all new buildings in such a position to be plainly visible & legible from the street or road fronting the property. Address numbers shall be Arabic & contrast with their background & be min. of 4" in ht. w/min. stroke width of 0.5 in. If means of private road and building cannot be viewed from public right of way, a pole or other sign/means shall be used to identify the structure. Numbers to be maintained per CFC Sec. 505.1.

### GEN. CONSTRUCTION NOTES

ANY VARIATION FROM THE SPECIFIED DESIGN, FINISH PRODUCTS OR EXTERIOR ELEVATION STYLE IS TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO CONSTRUCTION.

ANY DISCREPANCY DISCOVERED ON THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF D&Z DESIGN ASSOCIATES PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL WORK TO BE IN CONFORMANCE WITH 2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA RESIDENTIAL CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA HISTORICAL BUILDING CODE 2019 CALIFORNIA FIRE CODE 2019 CALIFORNIA EXISTING BUILDING CODE 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE 2019 CALIFORNIA REFERENCED STANDARDS CODE 2019 CALIFORNIA ELECTRICAL CODE AS WELL AS THE STATE AND LOCAL CODES.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.

VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BIDDING.

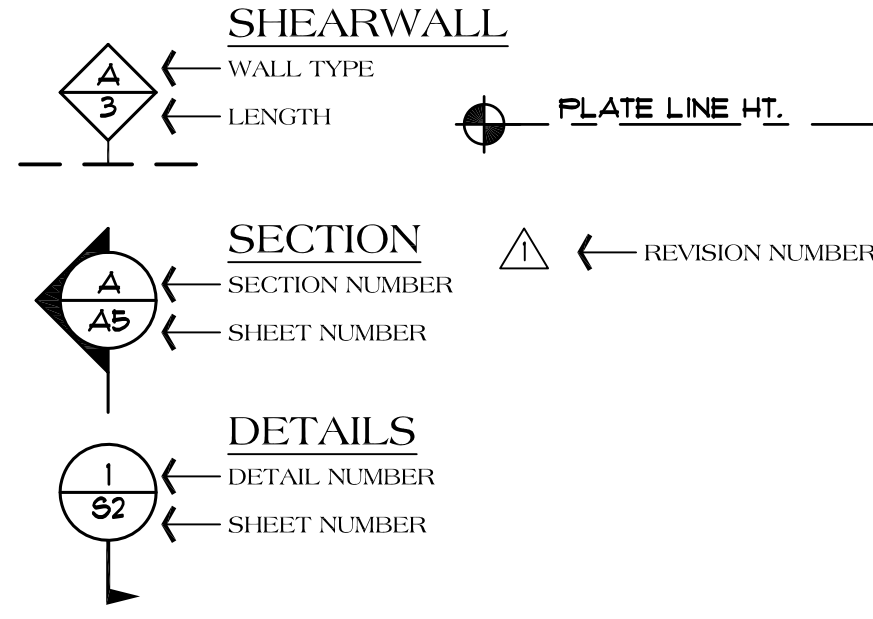
SLOPE ALL FINISH GRADES A MIN. OF 5% FOR 10'-0" AWAY FROM STRUCTURE FOR POSITIVE DRAINAGE @ LANDSCAPED AREAS & SLOPE GRADE 2% MIN. @ PAVED AREAS.

THE BUILDER SHALL PROVIDE THE BUILDING OWNER, MANAGER, AND THE ORIGINAL OCCUPANTS A LIST OF THE ENERGY-SAVING CONSERVATION FEATURES DEVICES, MATERIALS, AND COMPONENTS INSTALLED IN THE BUILDING, AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. SUCH FEATURES INCLUDE HEATING, COOLING, WATER HEATING, AND LIGHTING SYSTEMS, AS WELL AS INSULATION, WEATHERSTRIPPING WINDOW SHADES, AND THERMAL MASS MATERIALS. THE INSTRUCTIONS SHALL BE CONSISTANT WITH SPECIFICATIONS SET FORTH BY THE EXECUTIVE DIRECTOR

ALL WORK APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.C. TITLE 24 RESIDENTIAL ENERGY STANDARDS.

SEE SHEET T24 FOR ADDITIONAL ENERGY COMPLIANCE NOTES.

### SYMBOLS



NOTE: SEE SHEET EM1 FOR ELECTRICAL SYMBOLS LIST

### DEFERRED SUBMITTALS

DEFERRED SUBMITTALS: 1. INSTALL NEW NFPA 13D FIRE SPRINKLER SYSTEM UNDER SEPARATE PERMIT.

These deferred submittals shall first be submitted to the project designer and/or engineer for review & coordination, following the completion of project design/engineer review & coordination. A submittal to the County of Santa Clara shall be made for city review & approval, which shall include a letter stating this review & coordination has been performed & completed & that plans & calculations for the deferred items are found to be acceptable with no exceptions per CBC 2019.

### CONSULTANTS

CIVIL ENGINEER  
Hanna Brunetti  
7651 Egleberry Street  
Gilroy, California 95020  
(408) 842-2173

### VICINITY MAP



### SCOPE OF WORK

REMODEL AND ADDITION TO A 3100 sq.ft. EXISTING RESIDENCE TO INCLUDE A REMODEL AREA OF 936 sq.ft. A 555 sq.ft. MAIN LEVEL ADDITION, A 618 sq.ft. UPPER LEVEL ADDITION AND A 368 sq.ft. CARPORT ADDITION AND 3000 sq.ft. STEEL BUILDING W/ ATTACHED 126 sq.ft. COVERED STORAGE AREA AND GRADING APPROVAL TO ABATE VIOLATION

### DRAWING INDEX

T1 Title Sheet  
CIVIL  
1of2 Cover Sheet  
2of2 Grading Abatement Plan

DESIGN  
A1.1 Site Plan  
A1.2 BMP1  
A1.3 BMP2  
A2.1 Existing Floor/Demolition Plan  
A2.2 Proposed Main Level Floor Plan  
A2.3 Proposed Upper Level Floor Plan  
A2.4 Floor Area Diagram  
A3.1 Exterior Elevations  
A3.2 Exterior Elevations  
A4 Steel Building Floor Plan  
A5 Steel Building Exterior Elevations

### PROJECT DATA

OWNER:  
Edwin Pauneto  
14210 Lesley Lane  
San Martin, Ca. 95046  
408-590-6049

LOT DATA:  
APN: 825-30-024  
ZONING: RR-5Ac-d1  
LOT SIZE: 1.8 acres

Occupancy Group: R3/U  
Type of Construction: VB  
Sprinklered (House): YES  
Sprinklered (Steel Building): NO

DATA:  
3100 sq. ft. Main Level (e)  
555 sq. ft. Main Level (a)  
717 sq. ft. Upper Level (a)  
4372 sq. ft. Total Living Area  
368 sq. ft. Carport (a)  
87 sq. ft. Covered Porch (a)  
936 sq. ft. Remodel Area

3000 sq. ft. Steel Building  
126 sq. ft. Covered Storage

### ABBREVIATIONS

Table with 4 columns of abbreviations and their corresponding full names, such as AIR ANCHOR BOLT, ALUM ALUMINUM, ASPHALT ASPHALT, etc.

NO./ DATE/ REVISION table with 3 rows: 2-11-2021 PLANNING COMMENTS, 5-9-2022 PLANNING COMMENTS, 5-30-2023 PLANNING COMMENTS.

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF D&Z DESIGN ASSOCIATES, INC. AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE EXPRESS WRITTEN PERMISSION OF D&Z DESIGN ASSOCIATES, INC. ANY REPRODUCTION OR TRANSMISSION OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF D&Z DESIGN ASSOCIATES, INC. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES PRIOR TO COMMENCEMENT OF THE PROJECT. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

D&Z Design Associates, Inc. A California Corporation  
18640 Sutter Blvd., Suite 500  
Morgan Hill, California 95037  
Phone: (408) 775-7145 Fax: (408) 778-7004  
Email: dzdesign@earthlink.net

DRAWING TITLE: Title Sheet  
JOB TITLE: Pauneto Residence  
JOB ADDRESS: 14210 Lesley Lane San Martin, CA 95046

DATE: JAN. 9 2021  
SCALE: NONE  
PROJECT MANAGER: SCOTT ZAZULETA  
DRAWN: DZ4417  
JOB NO.: DZ4417  
SHEET: T1

# PAUNETO RESIDENCE

San Martin, CA 95046

14210 Lesley Lane

COUNTY OF SANTA CLARA

General Construction Specifications

GENERAL CONDITIONS

- 1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY... AND DATED... THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS...

CONSTRUCTION STAKING

- 1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS...

CONSTRUCTION INSPECTION

- 1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE. 2. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION...

SITE PREPARATION (CLEARING AND GRUBBING)

- 1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS: A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS...

UTILITY LOCATION, TRENCHING & BACKFILL

- 1. CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES. 2. ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY...

RETAINING WALLS

- 1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL. SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

GRADING

- 1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IT SHALL BE STRIPPED OF ALL VEGETATION. TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED...

Table with 4 columns: LOCATION, CUT (C.Y.), FILL (C.Y.), VERT. DEPTH. Rows include ABATEMENT AREA and TOTAL.

- NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE. EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE. 7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.

TREE PROTECTION

- 1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING: A. FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRUPLINE OF THE TREE OR GROVE OF TREES.

ACCESS ROADS AND DRIVEWAYS

- 1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT). 2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.

STREET LIGHTING

- 1. PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

SANITARY SEWER

- 1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY. 2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED.

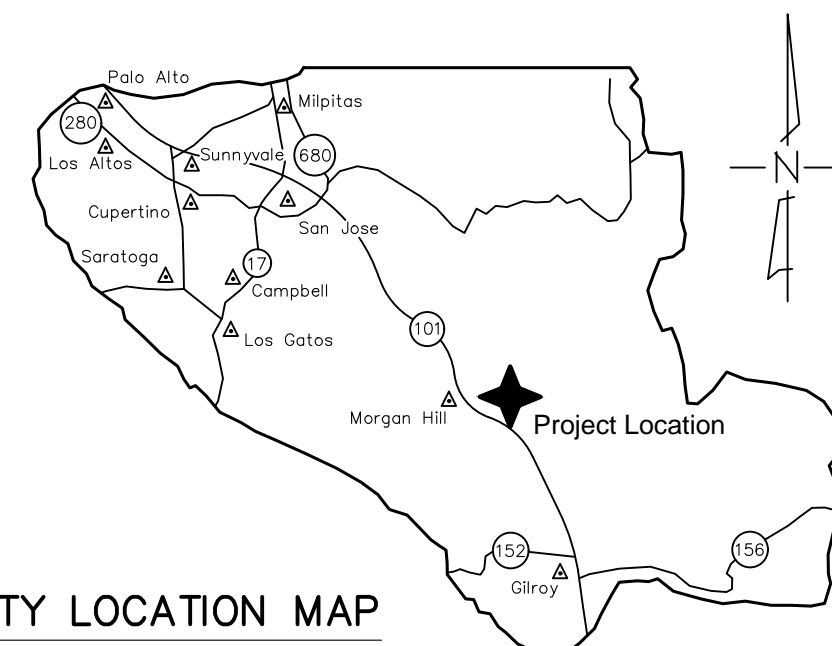
PORTLAND CEMENT CONCRETE

- 1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

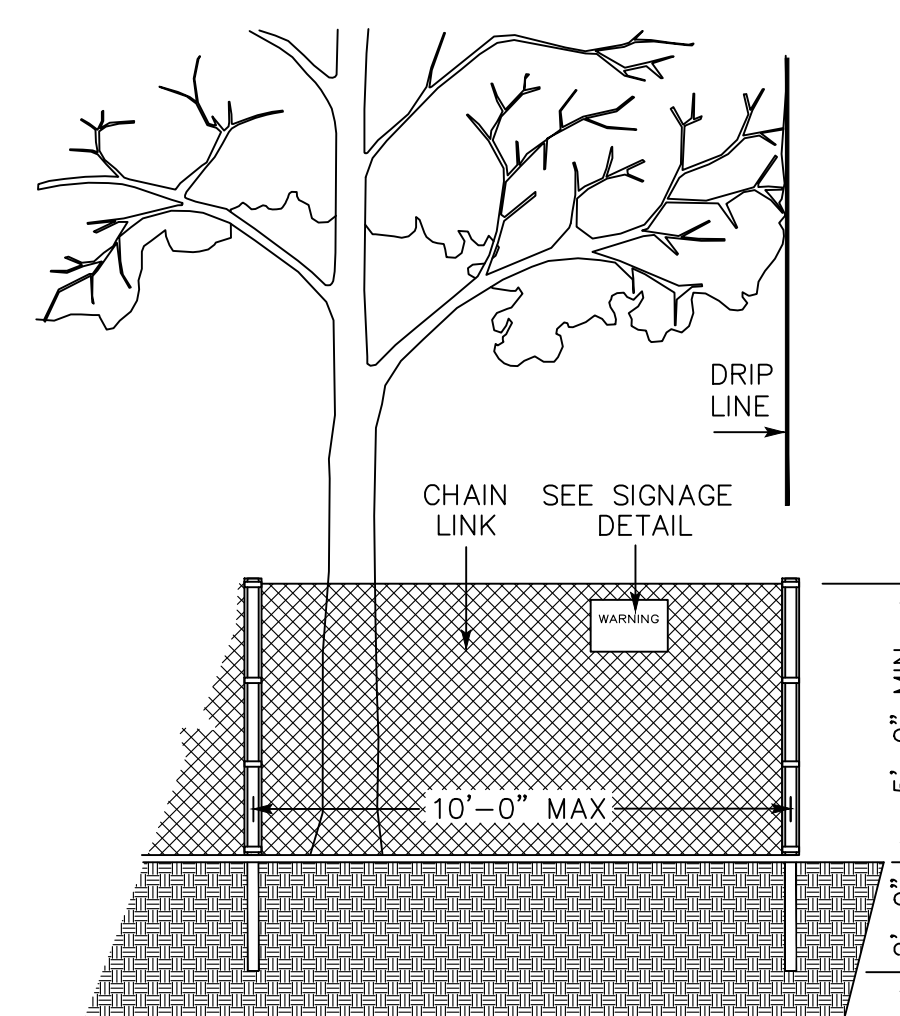
- 1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. 2. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD. 3. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.

COUNTY LOCATION MAP



SURVEY MONUMENT PRESERVATION

- 1. THE LANDOWNER/CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES. 2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY.



EXISTING TREE PROTECTION DETAILS

- 1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. 2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).

COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS ISSUED BY: DATE: ENCROACHMENT PERMIT NO.

COUNTY OF SANTA CLARA LAND DEVELOPMENT ENGINEERING & SURVEYING GRADING/DRAINAGE PERMIT NO. ISSUED BY: DATE:

NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT-OF-WAY WITHOUT AN ENCROACHMENT PERMIT, INCLUDING THE STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.

ENGINEER'S STATEMENT

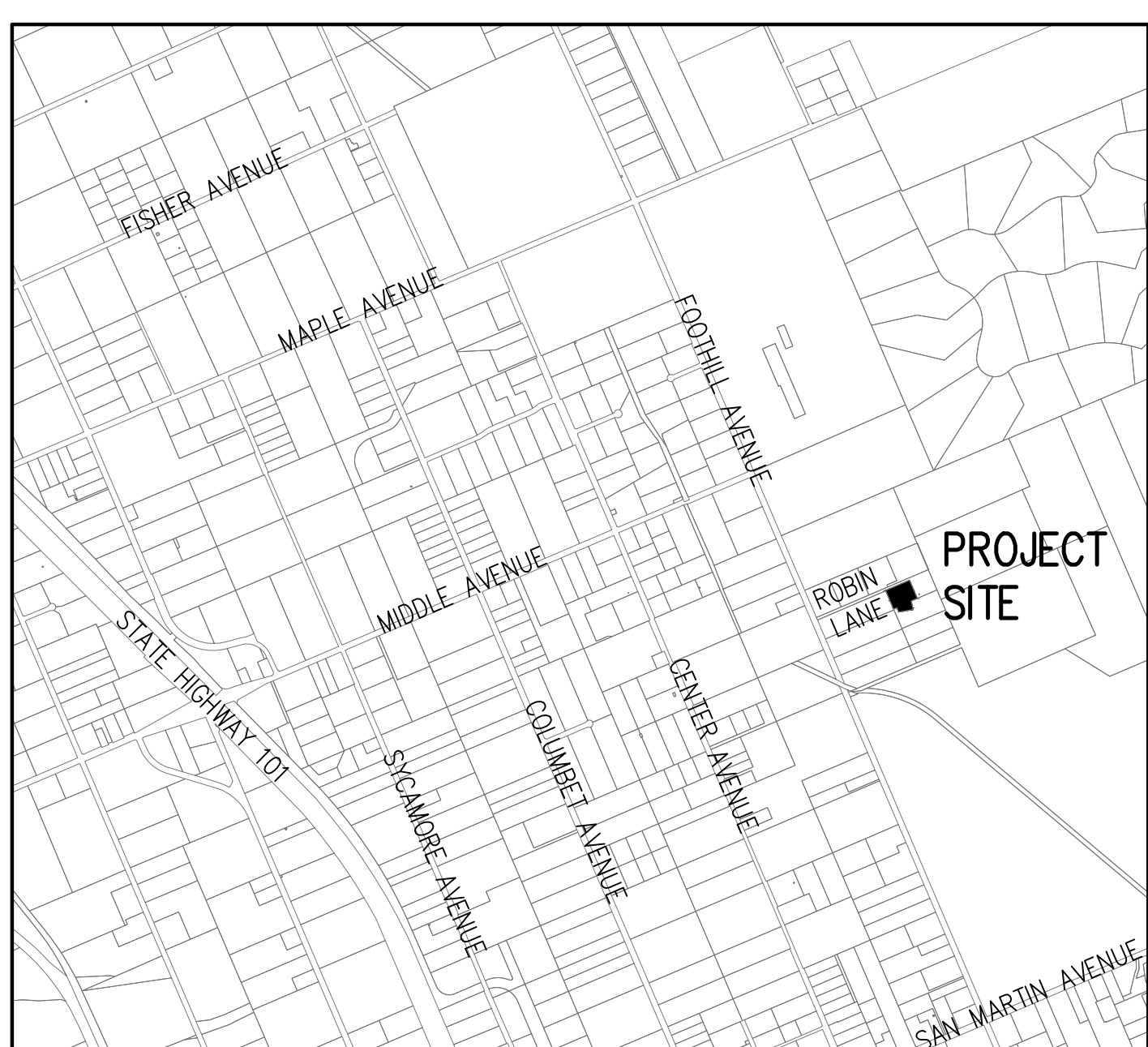
I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED FILE(S) NO.

DATE 6/9/27 R.C.E. NO. EXP 6-30-

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE CHRISTOPHER L. FREITAS R.C.E. NO. 42107 EXPIRES 3/31/



VICINITY MAP NO SCALE

SCOPE OF WORK

- 1. THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE EROSION CONTROL PLAN. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE DESIGN OF THE EROSION CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSION CONTROL PLANS TO PREVENT ILLICIT DISCHARGES FROM THE SITE DURING CONSTRUCTION. 2. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND CERTIFIED ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGICAL REPORTS SHALL BE SUBMITTED PRIOR TO GRADING COMPLETION AND RELEASE OF BOND.

PRELIMINARY PLANS NOT FOR CONSTRUCTION

SHEET INDEX

Table with 2 columns: Sheet Number, Description. Row 1: 1 COVER SHEET. Row 2: 2 GRADING PLAN.

ENGINEER'S NAME: HANNA & BRUNETTI

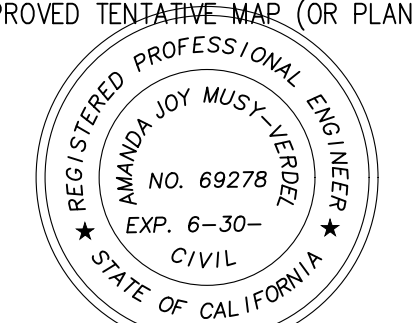
ADDRESS: 7651 EGGLEBERRY STREET, GILROY CA 95020

PHONE NO. 408 842-2173 FAX NO. 408 842-3662

IMPROVEMENT PLANS

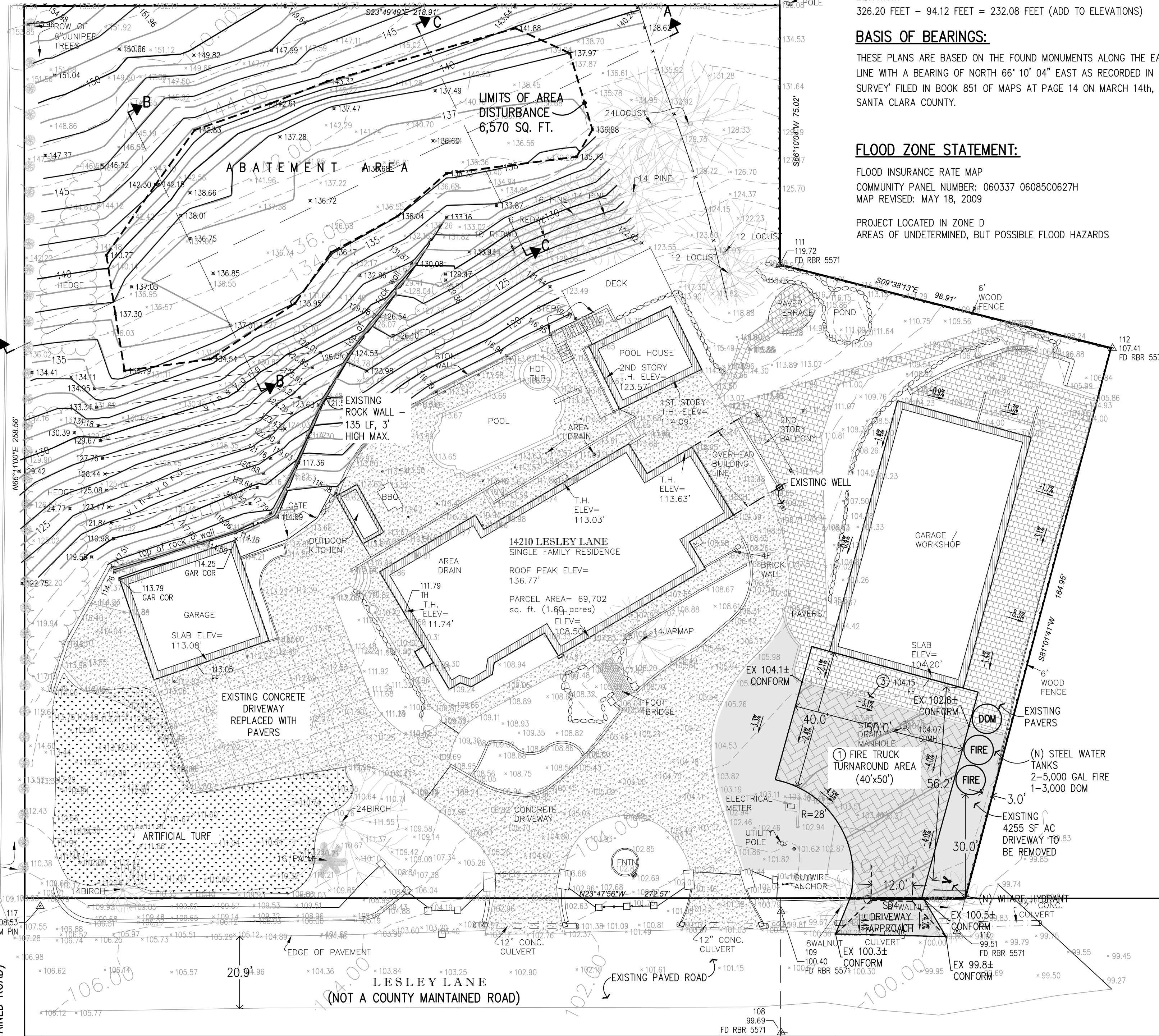
FOR THE HOME GRADING ON THE LANDS OF PAUNETO 14210 LESLEY LANE, SAN MARTIN ALL OF PARCEL 1, IN THE UNINCORPORATED AREA COUNTY OF SANTA CLARA, AS SHOWN UPON THAT CERTAIN RECORD OF SURVEY FILED ON MARCH 14th, 2012 IN BOOK 851 OF MAPS, PAGE 14 SANTA CLARA COUNTY, CALIFORNIA A.P.N.: 825-30-024

Table with 4 columns: Revision Number, Date, APN, Sheet. Row 1: Revision 1, Date, APN 825-30-024, Sheet 1 of 2.



THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS IN THE ENGINEER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

ROBIN LANE  
(NOT A COUNTY MAINTAINED ROAD)



**BENCHMARK:**  
 BENCHMARK ID: BM540  
 ELEVATION: 326.20 FEET (NAVD88)  
 ORGANIZATION: SANTA CLARA VALLEY WATER DISTRICT

**DESCRIPTION:**  
 BRASS DISK ON EASTERLY SIDE OF FOOTHILL AVENUE; ON TOP OF 18 INCH WIDE CONCRETE HEADWALL FOR DRIVEWAY CULVERT; 1 FOOT EASTERLY OF WESTERLY EDGE OF SOUTHERLY HEADWALL; ACROSS FROM ADDRESS #14105 FOOTHILL AVENUE; 0.1 MILES SOUTHERLY FROM ROBIN LANE. UNINCORPORATED SANTA CLARA COUNTY.

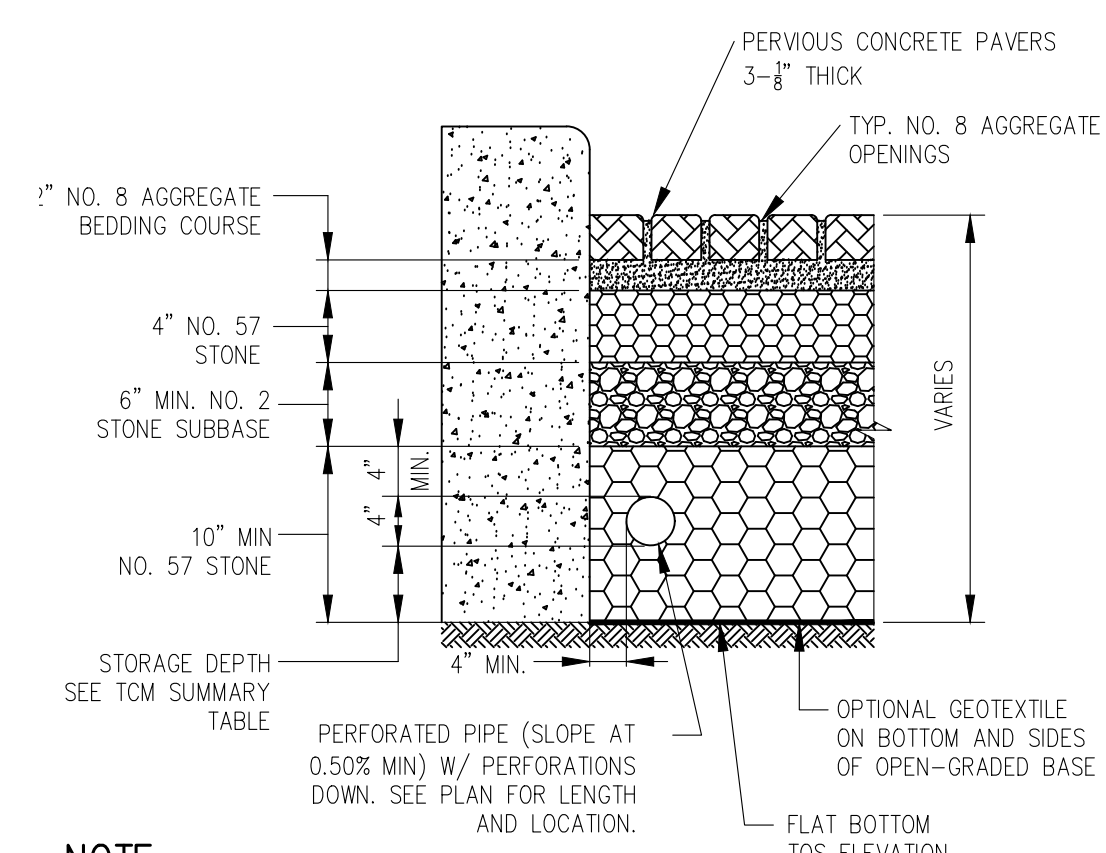
**EQUATION:**  
 326.20 FEET - 94.12 FEET = 232.08 FEET (ADD TO ELEVATIONS)

**BASIS OF BEARINGS:**  
 THESE PLANS ARE BASED ON THE FOUND MONUMENTS ALONG THE EASTERLY BOUNDARY LINE WITH A BEARING OF NORTH 66° 10' 04" EAST AS RECORDED IN THE 'RECORD OF SURVEY' FILED IN BOOK 851 OF MAPS AT PAGE 14 ON MARCH 14th, 2012. RECORDS OF SANTA CLARA COUNTY.

**FLOOD ZONE STATEMENT:**  
 FLOOD INSURANCE RATE MAP  
 COMMUNITY PANEL NUMBER: 060337 06085C0627H  
 MAP REVISED: MAY 18, 2009  
 PROJECT LOCATED IN ZONE D  
 AREAS OF UNDETERMINED, BUT POSSIBLE FLOOD HAZARDS

IMPERVIOUS AREA	AREA - SF
RESIDENCE	4124
DETACHED GARAGE	1080
DRIVEWAY	8018
WALK AROUND HOUSE	1063
OUTDOOR KITCHEN	110
POOL DECK	1669
POOL HOUSE	539
SHOP	3024
PAVERS AROUND SHOP*	3844
<b>TOTAL</b>	<b>23471</b>

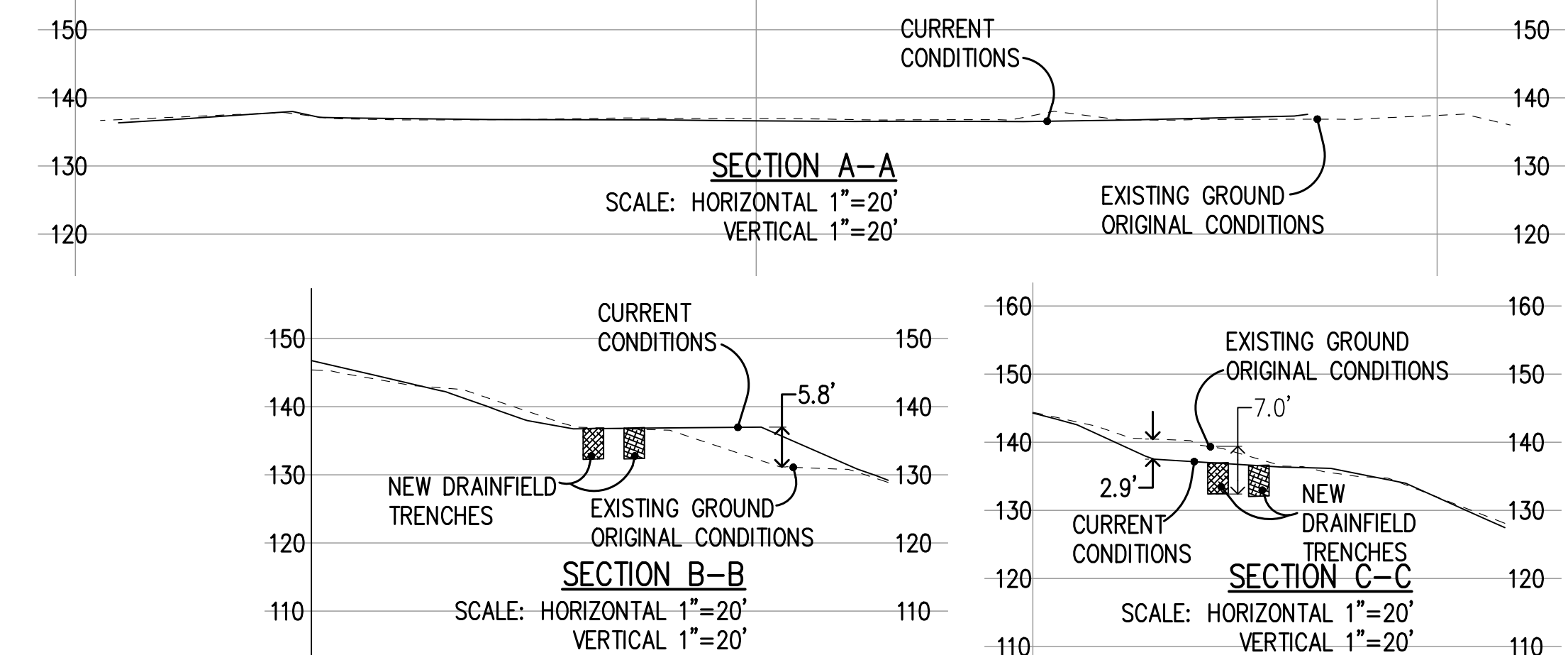
\* PERVIOUS PAVERS AROUND THE SHOP IS THE ONLY IMPERVIOUS AREA ADDED TO THE SITE AFTER 2006 PER THE COUNTY AERIALS.



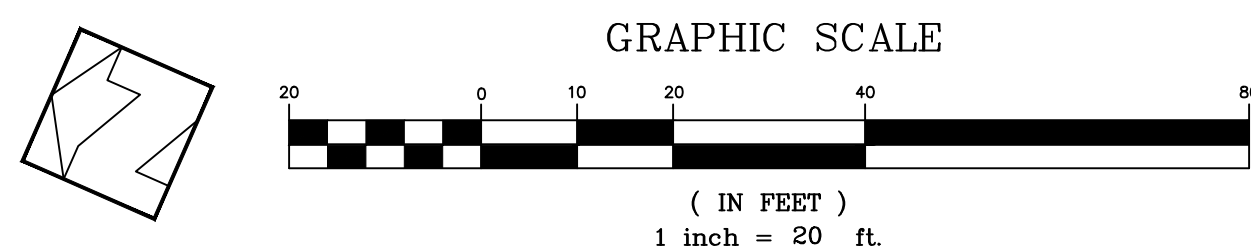
**NOTE:**  
 PRELIMINARY STORM DRAIN CALCULATIONS TO MITIGATE THE 10-YEAR & 100-YEAR STORMS FOR THE PAVING AROUND THE SHOP, THE IMPERVIOUS AREA ADDED AFTER 2006, REQUIRES 4" OF GRAVEL STORAGE. A STORM DRAINAGE CALCULATION REPORT WILL BE SUBMITTED FOR PERMIT.

**PERVIOUS PAVER DETAIL**  
 NOT TO SCALE

- PROJECT NOTES:**
- THE LOCATION OF THE BUILDING PADS AND/OR FOUNDATIONS ARE TO BE ESTABLISHED BY A PERSON AUTHORIZED TO PRACTICE LAND SURVEYING. A LETTER SIGNED AND SEALED BY THAT AUTHORIZED PERSON, STATING THAT HE/SHE HAS LOCATED THE BUILDING CORNERS, AND THEIR LOCATIONS CONFORM TO COUNTY BUILDING SETBACK REQUIREMENTS PER THE APPROVED BUILDING PLANS IS REQUIRED TO BE SUBMITTED TO THE COUNTY ENGINEER.
  - THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE GROUND WHICH ARE SHOWN TO BE REMOVED. ANY OTHER SUCH TREES ARE NOT TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
  - NO TREES ARE TO BE REMOVED
  - PRIOR TO GRADING COMPLETION AND RELEASE OF BOND, ALL GRADED AREAS SHALL BE RESEED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADED SLOPES AND REDUCE THE POTENTIAL FOR EROSION ON THE SUBJECT SITE.
  - BOTH DRAINFIELDS MUST BE STAKED AND STRUNG PRIOR TO APPROVAL OF THE SEPTIC DESIGN TO VERIFY THAT THE PROPOSED SEPTIC DESIGN WILL ACTUALLY FIT INTO THE PROPOSED LEACHFIELD AREA, AND CONFORM TO ALL REQUIRED SETBACKS.
  - IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 50 METERS (150 FEET) OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.
  - NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
  - ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
  - IN THE EVENT THAT ARCHAEOLOGICAL FEATURES SHOULD BE DISCOVERED AT ANY TIME DURING THE GRADING, SCRAPING OR EXCAVATION, ALL WORK SHOULD BE HALTED IN THE VICINITY OF THE FIND AND AN ARCHAEOLOGIST SHOULD BE CONTACTED IMMEDIATELY TO EVALUATE THE DISCOVERED MATERIAL TO ASSESS ITS AREAL EXTENT, CONDITION, AND SCIENTIFIC SIGNIFICANCE. IF THE DISCOVERED MATERIAL IS DEEMED POTENTIALLY SIGNIFICANT, A QUALIFIED ARCHAEOLOGIST SHOULD MONITOR ANY SUBSEQUENT ACTIVITY IN THE VICINITY.
  - IN THE EVENT THAT HUMAN SKELETAL REMAINS ARE ENCOUNTERED, THE APPLICANT IS REQUIRED BY COUNTY ORDINANCE NO. B6-18 TO IMMEDIATELY NOTIFY THE COUNTY CORONER. UPON DETERMINATION BY THE COUNTY CORONER THAT THE REMAINS ARE NATIVE AMERICAN, THE CORONER SHALL CONTACT THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION, PURSUANT TO SUBDIVISION (c) OF SECTION 7050.5 OF THE HEALTH AND SAFETY CODE AND THE COUNTY COORDINATOR OF INDIAN AFFAIRS. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE COUNTY CHAPTER. IF ARTIFACTS ARE FOUND ON THE SITE A QUALIFIED ARCHAEOLOGIST SHALL BE CONTACTED ALONG WITH THE COUNTY PLANNING OFFICE. NO FURTHER DISTURBANCE OF THE ARTIFACTS MAY BE MADE EXCEPT AS AUTHORIZED BY THE COUNTY PLANNING OFFICE.
  - THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
  - UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%.
  - ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION.
  - ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THIS PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
  - AN APPROVED RESIDENTIAL FIRE SPRINKLER SYSTEM COMPLYING WITH FIRE MARSHAL STANDARD CFM0-SP6 IS REQUIRED TO BE INSTALLED THROUGHOUT THE STRUCTURE.
  - ALL NEW ON-SITE UTILITIES, MAINS AND SERVICES SHALL BE PLACED UNDERGROUND AND EXTENDED TO SERVE THE PROPOSED RESIDENCE.
  - A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND CERTIFIED ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGICAL REPORTS SHALL BE SUBMITTED PRIOR TO GRADING COMPLETION AND RELEASE OF BOND.
  - ALL ROOF RUNOFF SHALL BE DIRECTED TO LANDSCAPED OR NATURAL AREAS AWAY FROM BUILDING FOUNDATIONS, TO ALLOW FOR STORM WATER INFILTRATION INTO THE SOIL AND SHEET FLOW.



- CONSTRUCTION NOTES:**
- PROVIDE PERVIOUS PAVER SURFACE CAPABLE OF 75,000 LBS LOADING
  - CONFORM TO EXISTING BASEROCK
  - CONFORM TO EXISTING PAVER SURFACE



**PRELIMINARY PLANS**  
 NOT FOR CONSTRUCTION

APPROVED FOR ISSUANCE  
 REFER TO ENCROACHMENT AND/OR  
 CONSTRUCTION PERMIT AND PLAN  
 COVER SHEET FOR SPECIAL  
 CONDITIONS AND PERMIT NUMBERS

DATE	REVISIONS:	DESCRIPTION	BY:

**HANNA-BRUNETTI**  
 CIVIL ENGINEERS - LAND SURVEYORS  
 CONSTRUCTION MANAGERS  
 7651 EIGLEBERRY STREET - GILROY - 95020 - CALIFORNIA  
 OFFICE (408) 842-2173 - FAX (408) 842-3682  
 EMAIL: ENGINEERING@HANNABRUNETTI.COM

DATE: FEBRUARY 2021  
 HORIZ. SCALE: 1"=20'  
 VERT. SCALE: NONE  
 DESIGNED BY: AM  
 CHECKED BY: TM  
 DRAWN BY: TM

date: \_\_\_\_\_ 20  
 Hanna - Brunetti  
 Amanda Joy Musy-Verdel  
 R.C.E. # 69278  
 expires: 6/30/



REFERENCES

UNINCORPORATED  
 FEBRUARY 2021

Lands of Pauneto - 14210 Lesley Lane - apn 825-30-024

# Grading Plan

APPLICANT: PAUNETO

ROAD: 14210 LESLEY LANE

COUNTY FILE NO.: PLN21-005

SANTA CLARA COUNTY  
 CALIFORNIA

SHEET  
**2**  
 OF 2  
 JOB NO.  
**18075**

D:\design\22\_11\13\2024\_8:35 AM\_2453\projects\2017\624417-Pauneto\Architectural\Design\Review\A1.1\_Architectural\_Site\_Plan.dwg

**GENERAL NOTES:**

VERIFY LOCATION OF ALL UTILITIES @ JOB SITE.

SLOPE ALL FINISH GRADES A MIN. OF 5% FOR 10'-0" AWAY FROM STRUCTURE FOR DRAINAGE @ LANDSCAPED AREAS & MIN. 2% SLOPE @ PAVED AREAS.

ALL DOWNSPOUTS SHALL DIRECT RAINWATER AWAY FROM FOUNDATION

ALL CONCRETE 'FLATWORK' (DRIVEWAY, WALKS, ETC.) SHALL BE CONSTRUCTED IN ACCORDANCE W/ THE C.B.C.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT BY EARTH SYSTEMS PACIFIC, REPORT # GH-12828-SA, DATED 10/28/15

← INDICATES DRAINAGE



**EROSION CONTROL PLAN NOTES**

1. All erosion control measures shall be onsite and readily accessible prior to construction.
2. Sweep or scrape up soils tracked onto the road at the end of each day. Do not hose into street, gutter, or storm drain.
3. Re-vegetate disturbed areas. Exposed bare dirt shall be covered with mulch, jute netting or other erosion control blanket.
4. All temporary stockpiles shall be covered with 6 mil. plastic sheets, suitably anchored.
5. The site shall be monitored by the contractor/owner after rain event to verify erosion control measures are functioning.

PROVIDE FIBER ROLL STORM WATER DRAINAGE & RETENTION DURING CONSTRUCTION AS SHOWN PER DETAIL 1/MP2

PROVIDE FIBER ROLL STORM WATER DRAINAGE & RETENTION DURING CONSTRUCTION

**SITE PLAN**

apn: 825-30-024  
scale: 1/16" = 1'-0"

NO./ DATE/ REVISION
2-11-2021 PLANNING COMMENTS
5-9-2022 PLANNING COMMENTS
5-30-2023 PLANNING COMMENTS

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF DAZ WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF DAZ. COPYRIGHT LAWS AND MAY NOT BE REPRODUCED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF DAZ. PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF DAZ. THESE PLANS SHALL BE SUBJECT TO THE ATTENTION OF DAZ DESIGN ASSOCIATES PRIOR TO COMMENCEMENT OF THE PROJECT. ALL DIMENSIONS SHALL BE IN FEET UNLESS OTHERWISE SPECIFIED. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

**Design Associates, Inc.**  
A California Corporation  
18640 Sutter Blvd., Suite 500  
Morgan Hill, California 95037  
Phone: (408) 778-1445 Fax: (408) 778-7004  
E-mail: info@da-inc.com

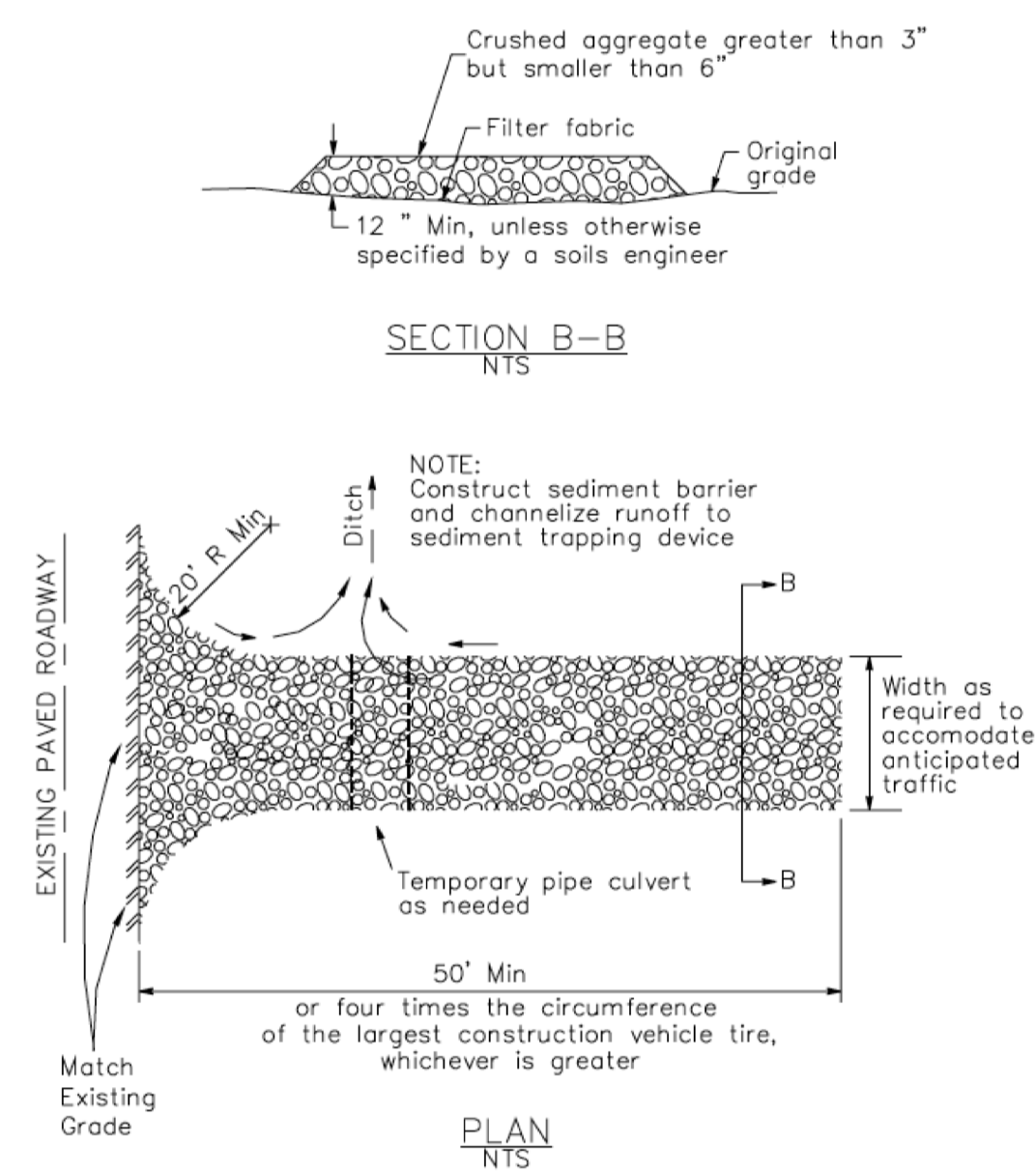
<b>DRAWING TITLE</b>	Site Plan
<b>JOB TITLE</b>	Pauneto Residence
<b>JOB ADDRESS</b>	14210 Lesley Lane San Martin, CA 95046

<b>DATE</b>	JAN 8 2021
<b>SCALE</b>	1/16" = 1'-0"
<b>PROJECT MANAGER</b>	SCOTT ZAZULETA
<b>DRAWN</b>	SEZ
<b>JOB NO.</b>	DZ4417
<b>SHEET</b>	

**A1**

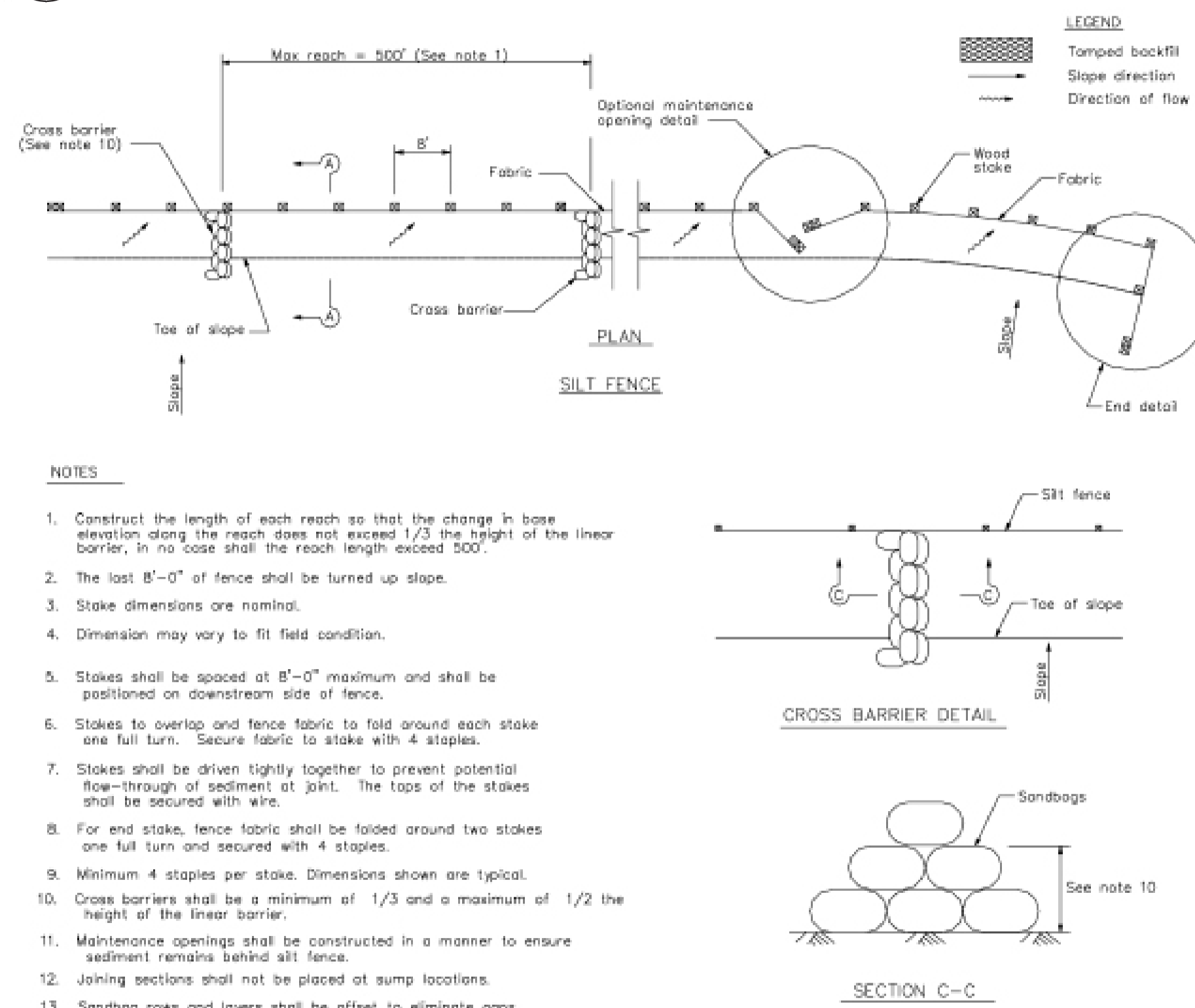
### 3 Stabilized Construction Entrance/Exit

CASQA Detail TC-1



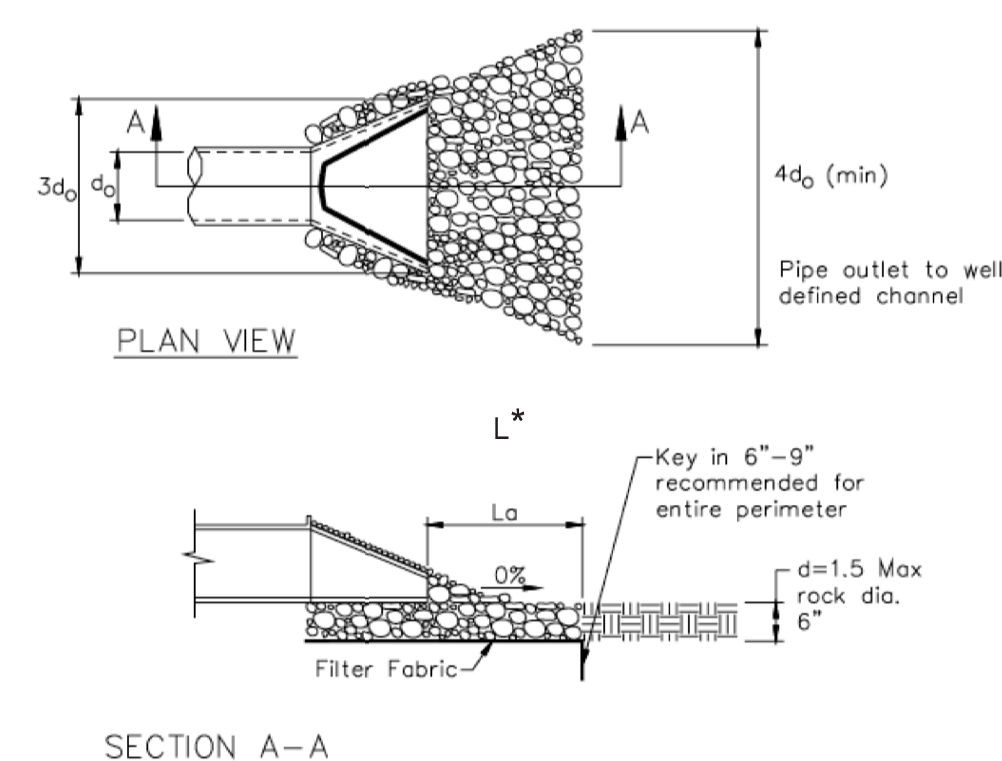
### 1 Silt Fence

CASQA Detail SE-1



### 4 Velocity Dissipation Devices

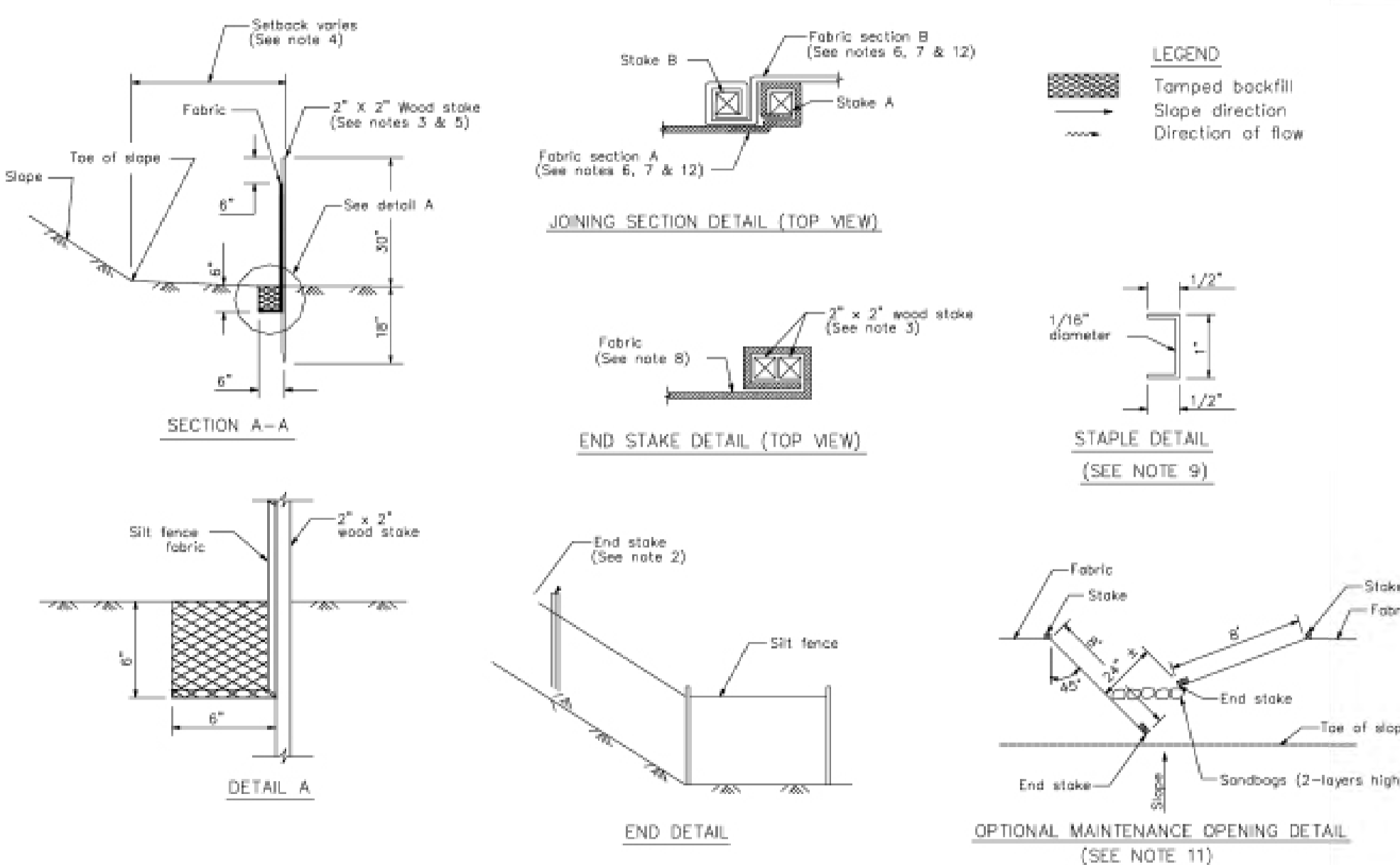
CASQA Detail EC-10



\* Length per ABAG Design Standards

### 2 Silt Fence

CASQA Detail SE-1



#### STANDARD BEST MANAGEMENT PRACTICE NOTES

- Solid and Demolition Waste Management:** Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or latest.
- Hazardous Waste Management:** Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- Spill Prevention and Control:** Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
- Vehicle and Construction Equipment Service and Storage:** An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
- Material Delivery, Handling and Storage:** In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- Handling and Disposal of Concrete and Cement:** When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
- Pavement Construction Management:** Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- Contaminated Soil and Water Management:** Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
- Sanitary/Septic Water Management:** Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
- Inspection & Maintenance:** Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

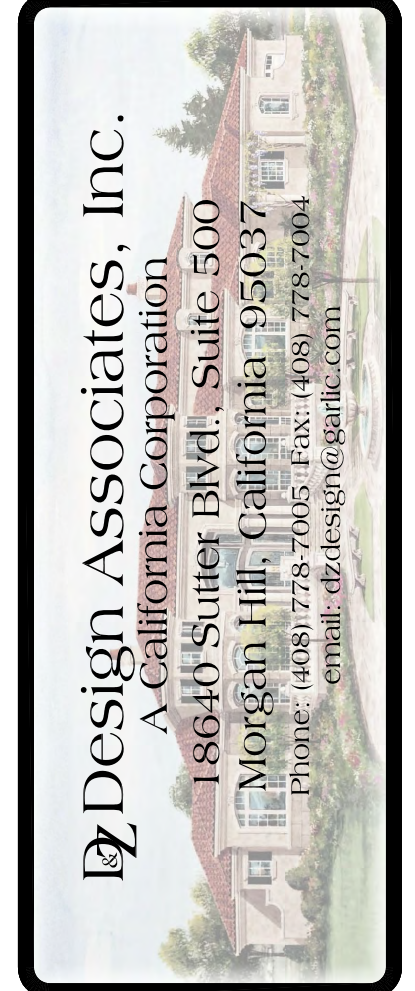
#### STANDARD EROSION CONTROL NOTES

- Sediment Control Management:**
  - Tracking Prevention & Clean Up:** Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.
  - Storm Drain Inlet and Catch Basin Inlet Protection:** All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber rolls or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.
  - Storm Water Runoff:** No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.
  - Dust Control:** The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.
  - Stockpiling:** Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures (tarps, straw bales, silt fences, etc.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.
- Erosion Control:** During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
- Inspection & Maintenance:** Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- Project Completion:** Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

## Project Information

NO./ DATE/ REVISION

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF DMZ. NO PART OF THESE PLANS OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN PERMISSION OF DMZ DESIGN ASSOCIATES. ANY REPRODUCTION OR TRANSMISSION OF THESE PLANS OR ANY INFORMATION CONTAINED HEREIN WITHOUT THE EXPRESS WRITTEN PERMISSION OF DMZ DESIGN ASSOCIATES PRIOR TO COMMENCEMENT OF THE PROJECT SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO DMZ DESIGN ASSOCIATES. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.



DRAWING TITLE	BMP/Erosion Control Details
JOB TITLE	Pauneto Residence
JOB ADDRESS	14210 Lesley Lane San Martin, CA 95046

DATE	JAN 8 2021
SCALE	NONE
PROJECT MANAGER	SCOTT ZAZULETA
DRAWN	DZ
JOB NO.	DZ4417
SHEET	A1.2

## Best Management Practices and Erosion Control Details Sheet 1

### County of Santa Clara



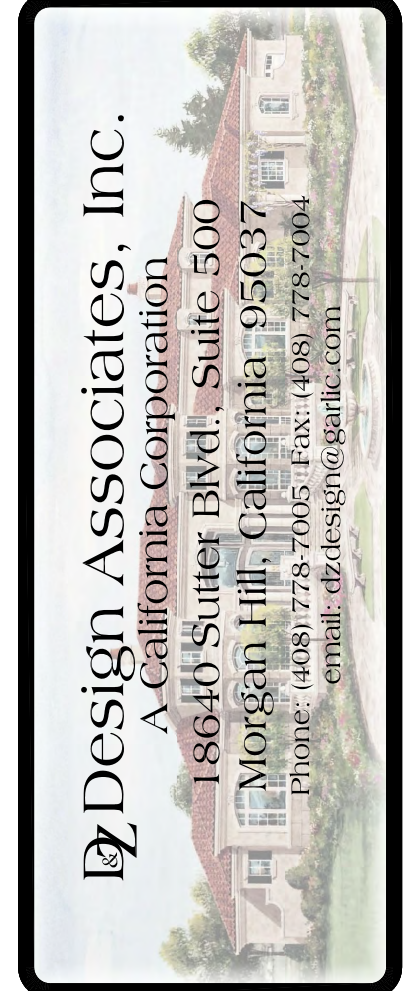
## BMP-1

D:\design2\_4113\2023\_8\30 AM\_Z:\projects\2017\4417-Pauneto\Architectural\Design\Design\_Review\4-A1.2\_BMP-1.dwg

Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

NO.	DATE	REVISION

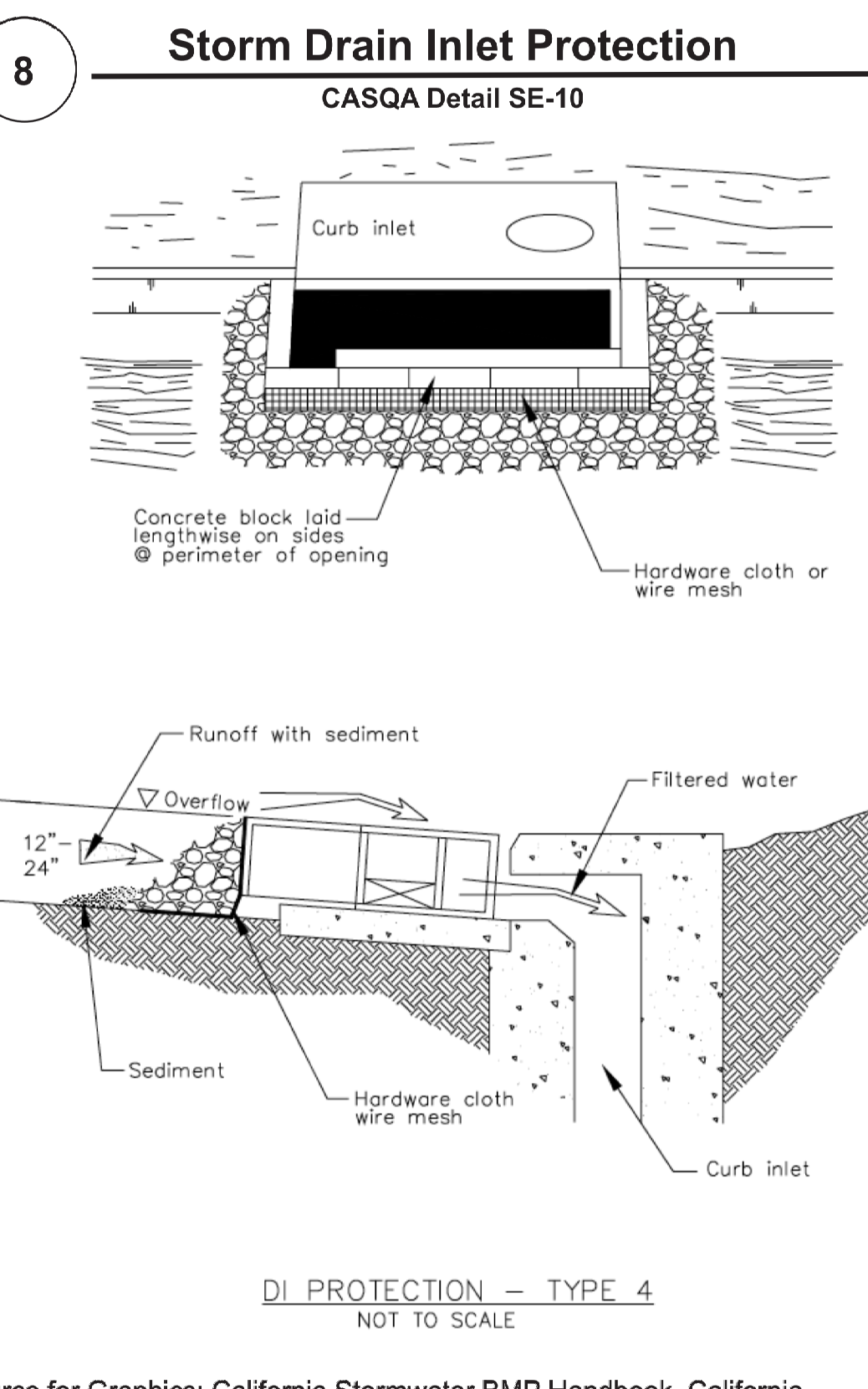
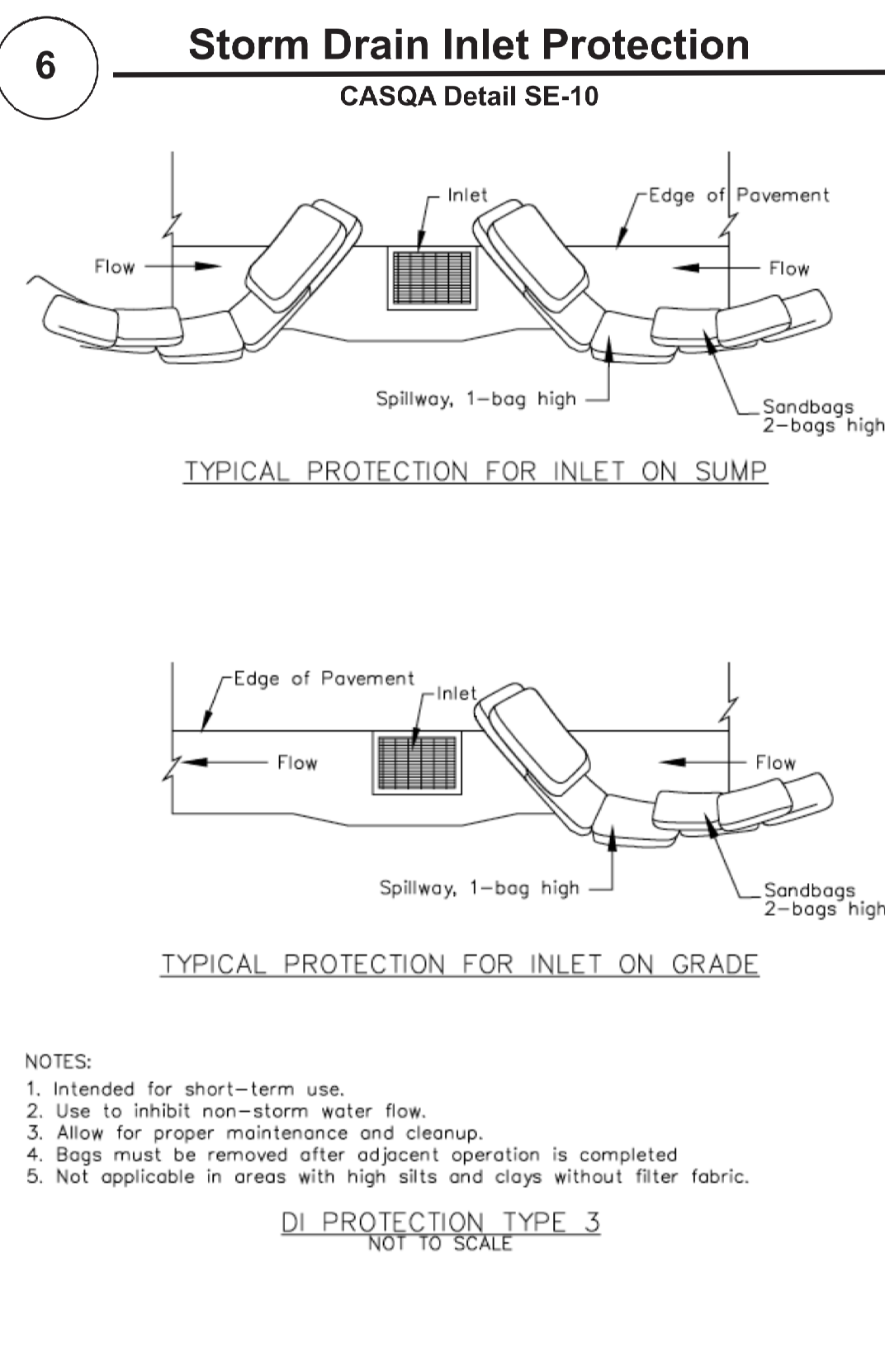
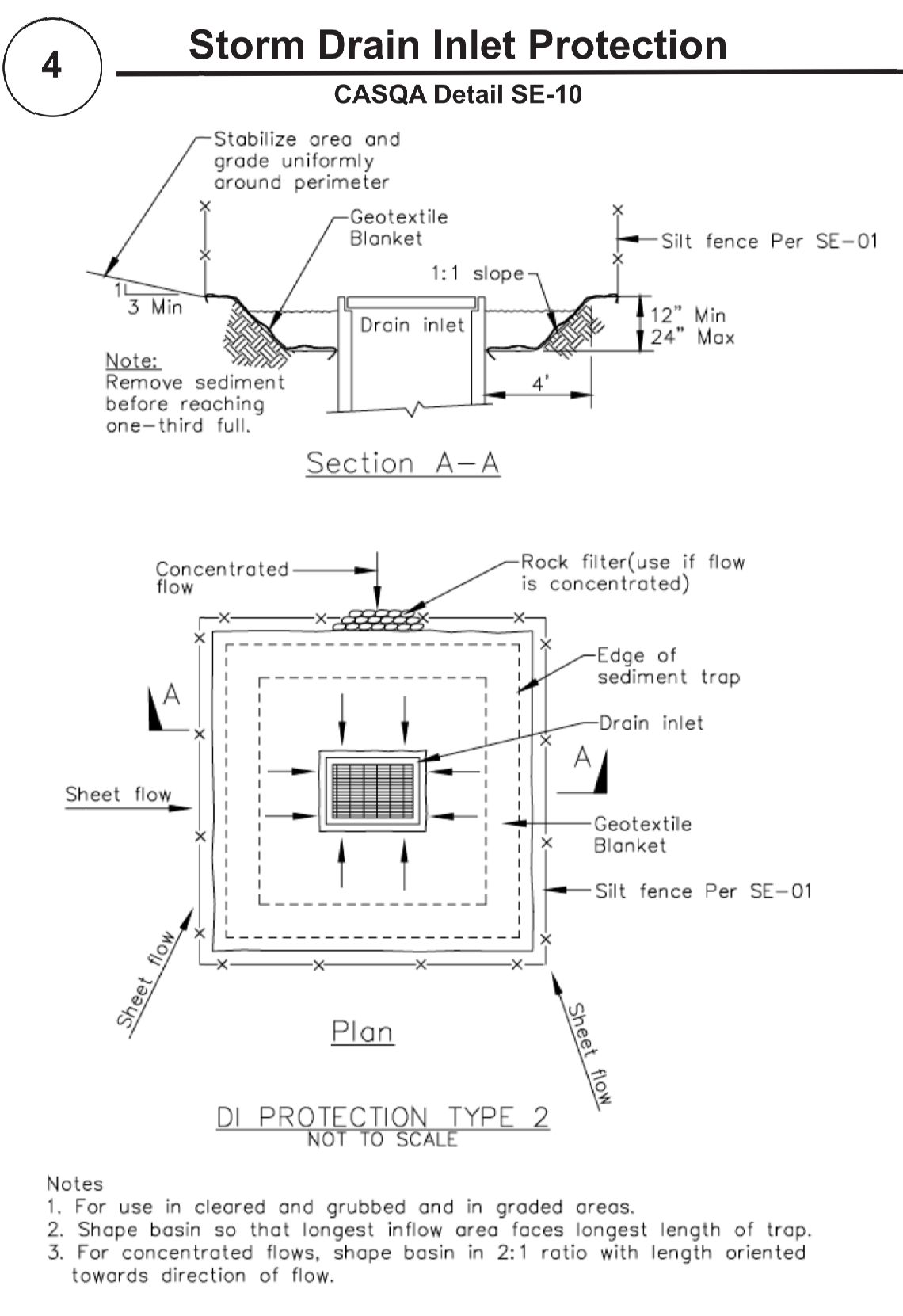
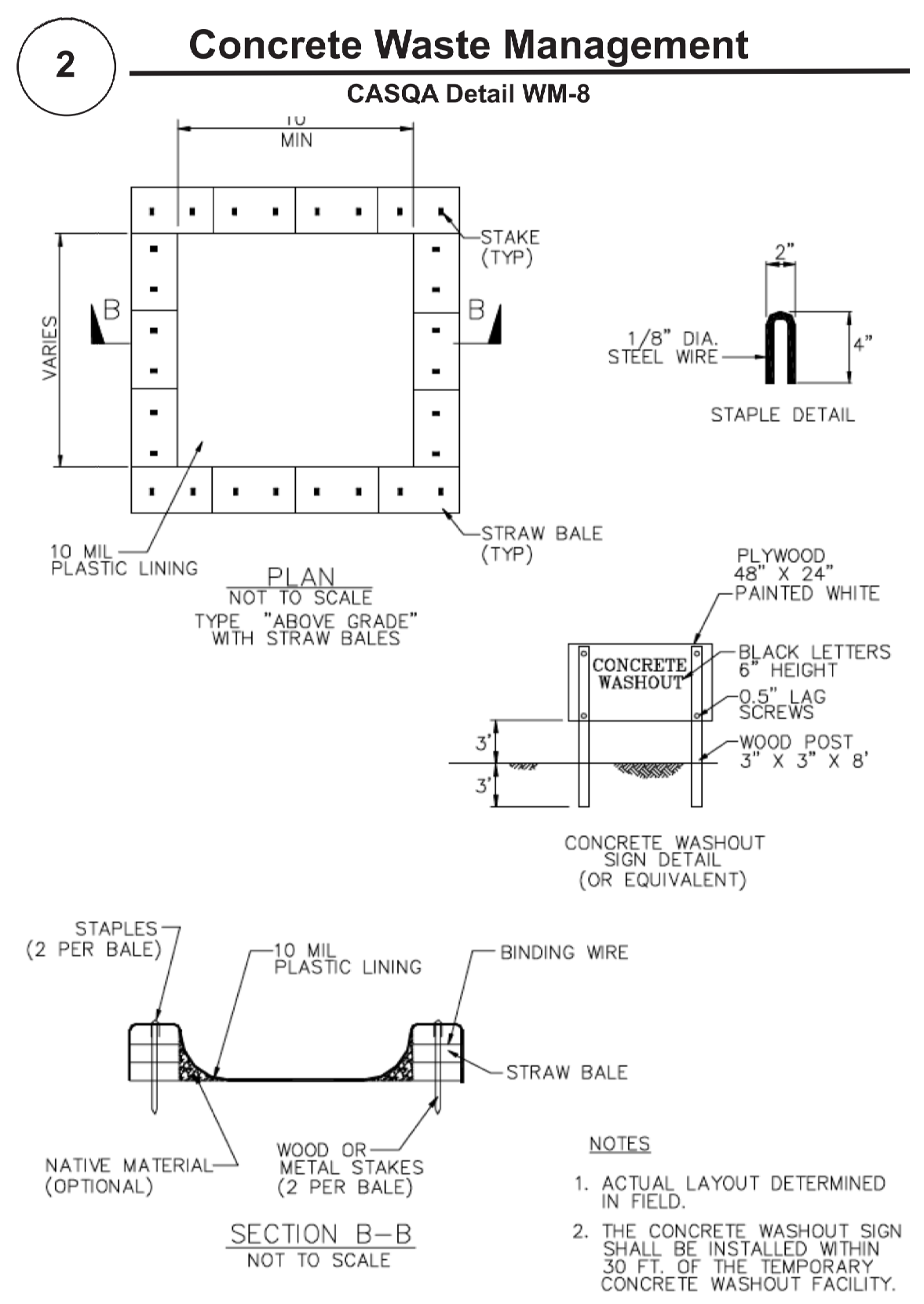
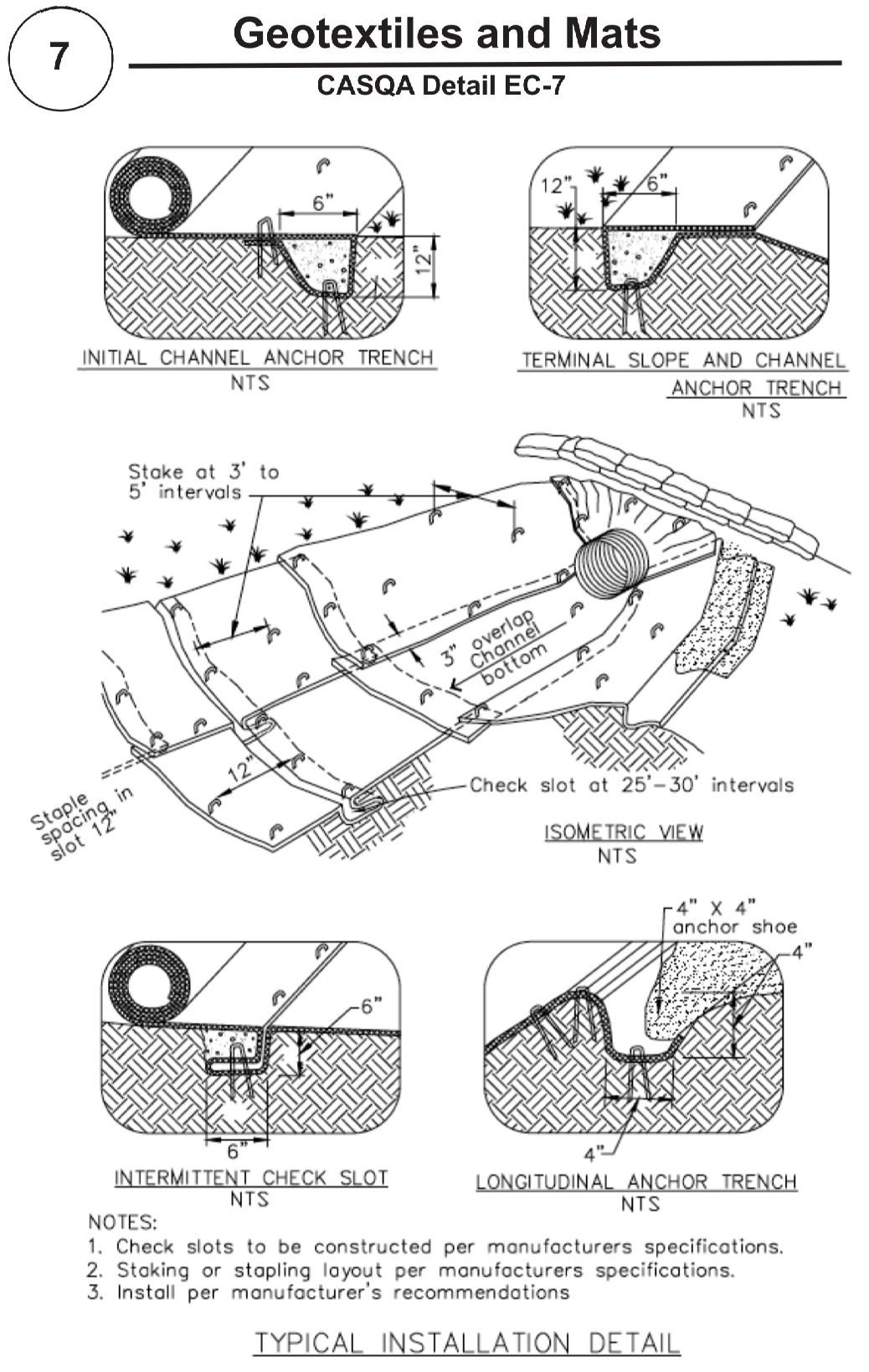
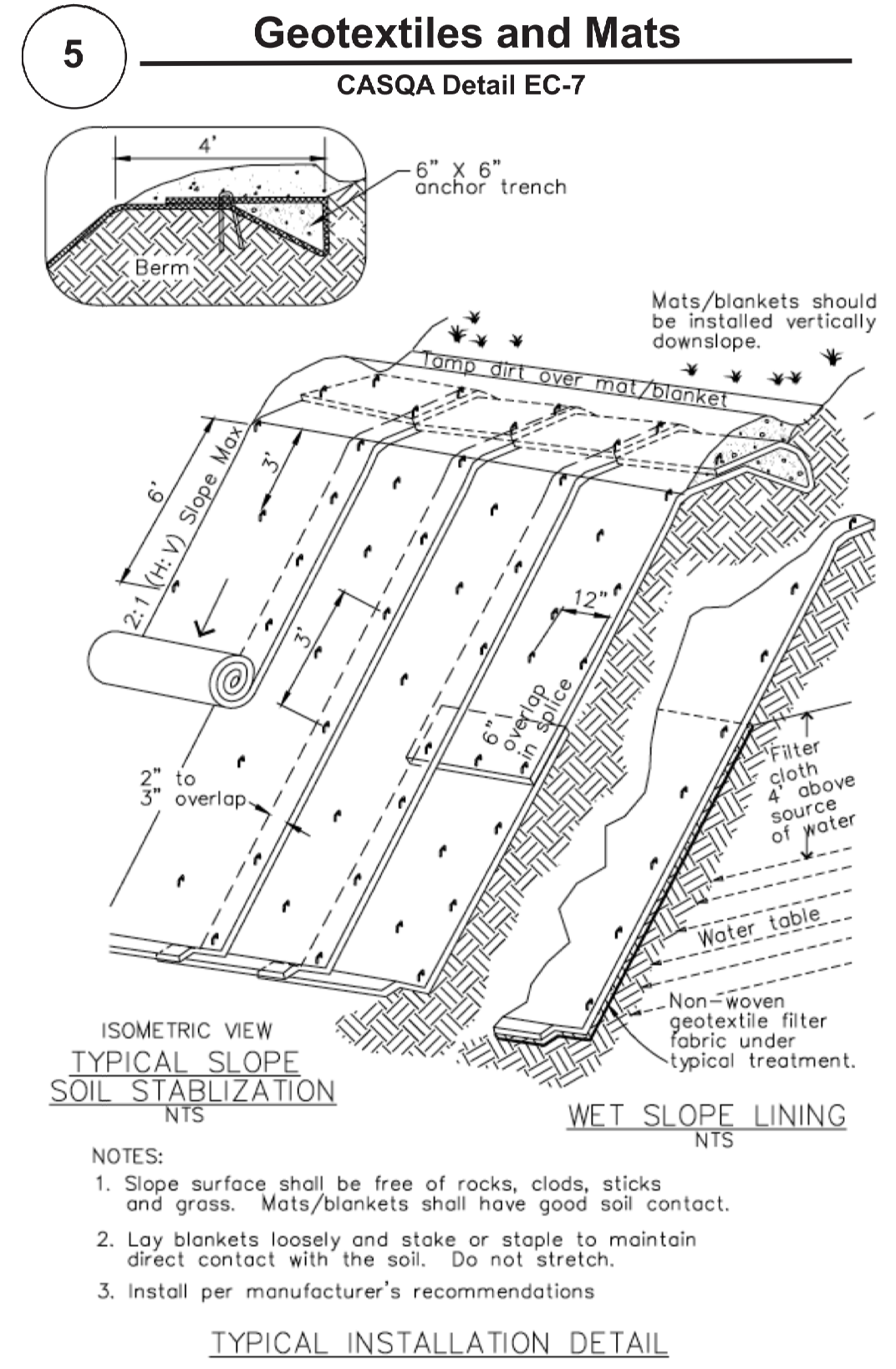
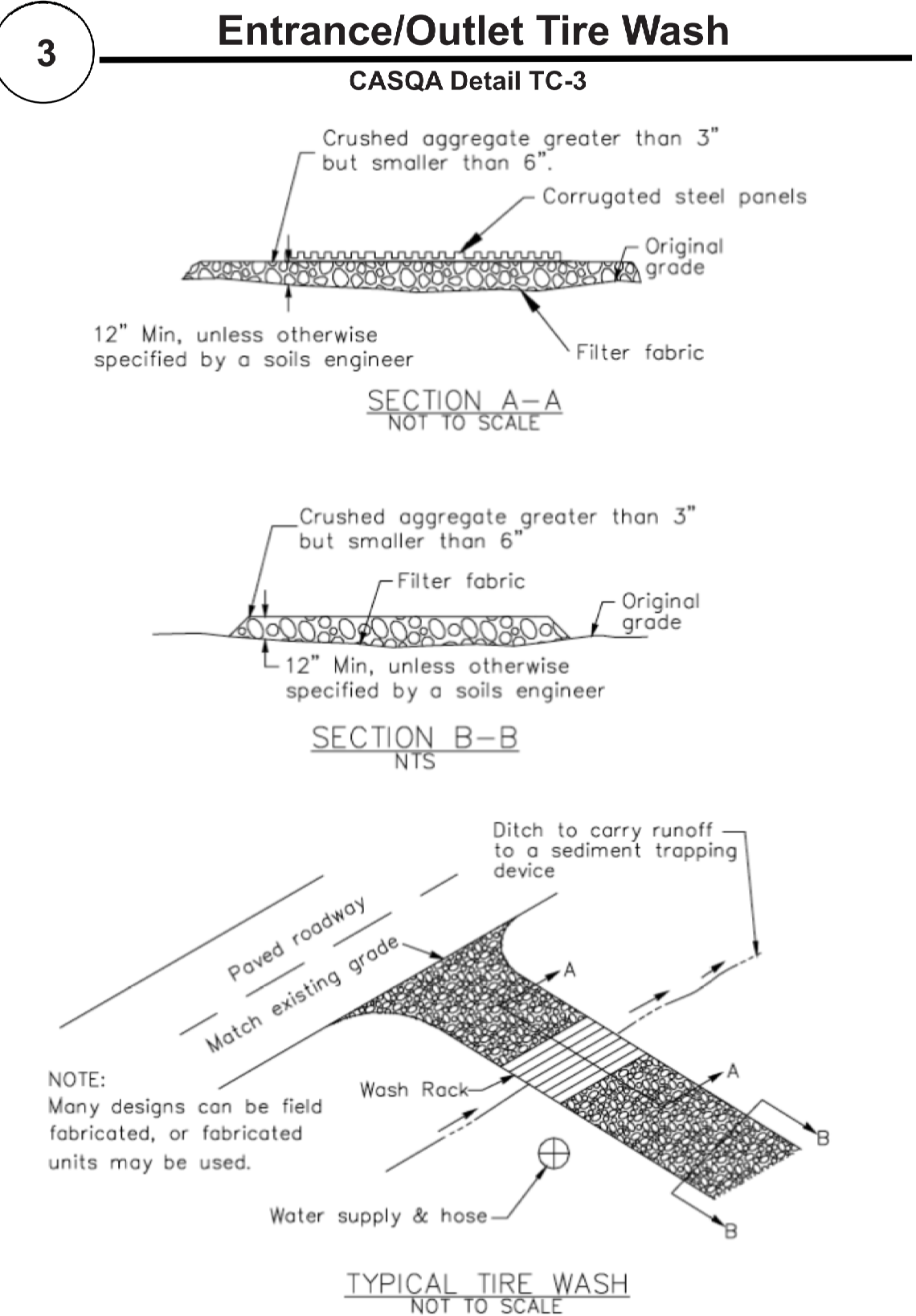
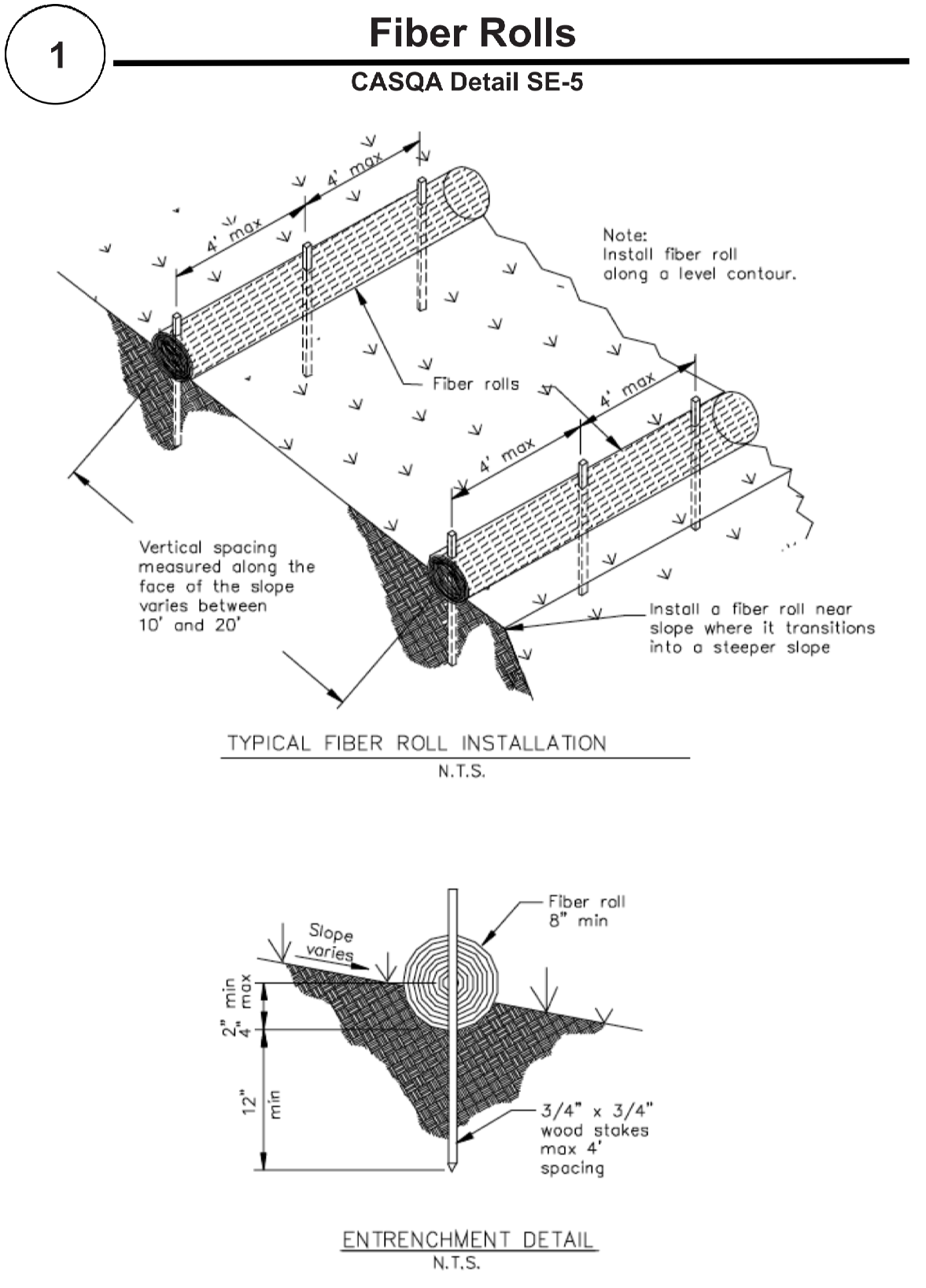
THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF DMZ. NO PART OF THESE PLANS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN PERMISSION OF DMZ DESIGN ASSOCIATES. ANY REUSE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF DMZ DESIGN ASSOCIATES. DMZ DESIGN ASSOCIATES SHALL BE HELD HARMLESS FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THESE PLANS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF THE PROJECT. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF THE PROJECT. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF THE PROJECT.



DRAWING TITLE	BMP/Erosion Control Details
JOB TITLE	Pauneto Residence
JOB ADDRESS	14210 Lesley Lane San Martin, CA 95046

DATE	JAN 8 2021
SCALE	NONE
PROJECT MANAGER	SCOTT ZAZULETA
DRAWN	DZ
JOB NO.	DZ4417
SHEET	A1.3

# Project Information



## Best Management Practices and Erosion Control Details Sheet 2

### County of Santa Clara



# BMP-2

D:\design\2021\12\2021\_12\_20\_03\_10\_26\_AM\_Z:\projects\2021\12\4417\_Pauneto\Architectural\Design\Design\_Review\A1.3\_BMP2.dwg

Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

NO./ DATE/ REVISION
2-11-2021 PLANNING COMMENTS

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF DMZ. COPYRIGHT LAWS AND MAY NOT BE REPRODUCED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF DMZ DESIGN ASSOCIATES. NO PART OF THESE PLANS OR OTHER SITES IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DMZ DESIGN ASSOCIATES. PRIOR TO COMMENCEMENT OF THE PROJECT, THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

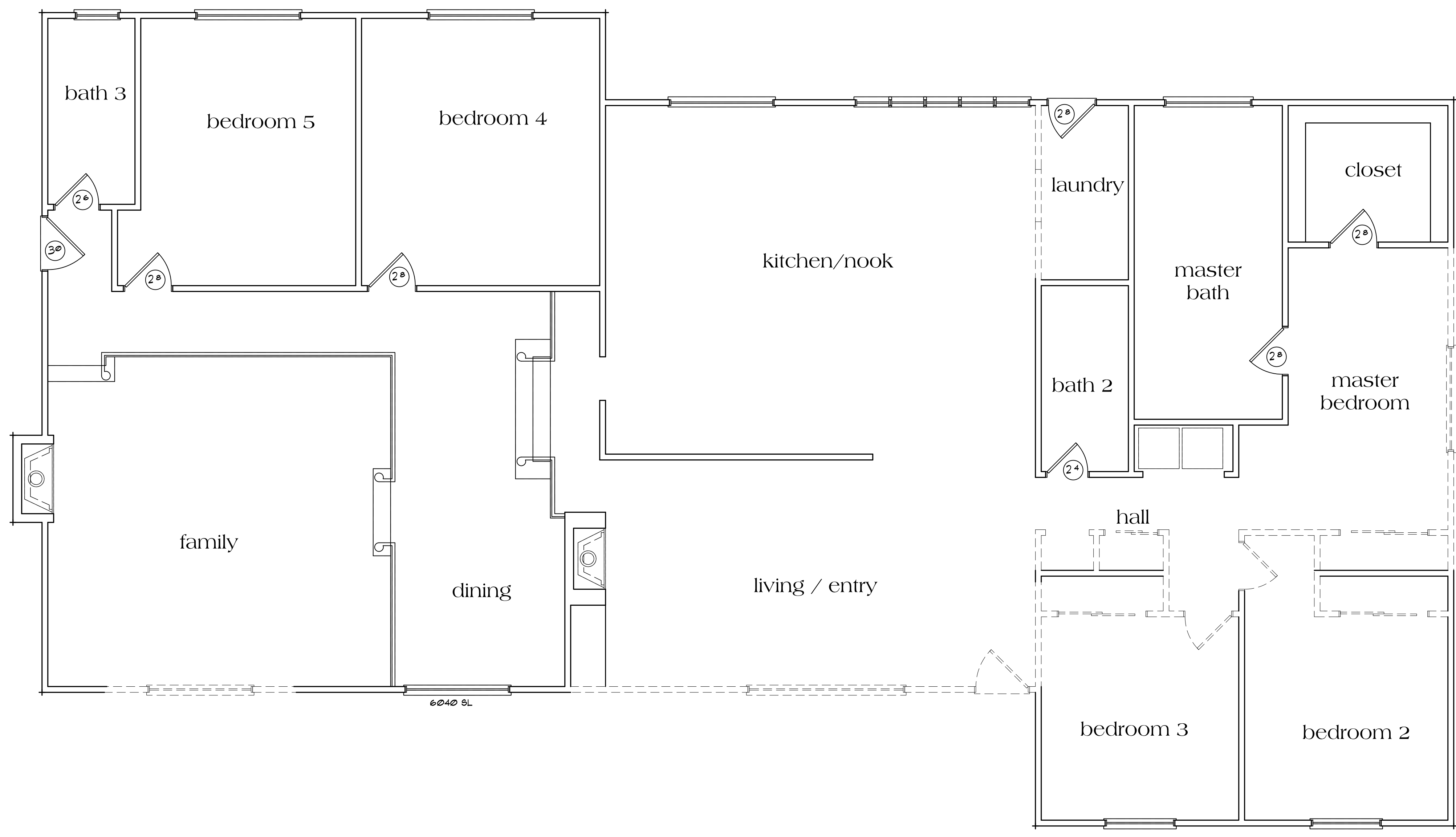
**DMZ Design Associates, Inc.**  
 A California Corporation  
 18640 Sutter Blvd., Suite 500  
 Morgan Hill, California 95037  
 Phone: (408) 778-7145 Fax: (408) 778-7004  
 Email: dmz.design@bentrac.com

DRAWING TITLE	Existing Floor Plan
JOB TITLE	Pauneto Residence
JOB ADDRESS	14210 Lesley Lane San Martin, CA 95046

DATE	JAN 9 2021
SCALE	1/4" = 1'-0"
PROJECT MANAGER	SCOTT ZAZULETA
DRAWN	SZMP
JOB NO.	DZ4417
SHEET	A2.1

**Santa Clara County REBUILD Determination and Points Allocation**

A. Existing Residence					
	Existing L.F.	Replaced/ Modified L.F.	Ratio	Maximum Points	Resulting Points
1 Foundation - Perimeter	257	52.66	0.205	25	5.12
2 Slab	N/A				
3 Walls - All walls in linear feet	544.33	123.5	0.227	50	11.34
4 Roof	3129	422.43	0.135	25	3.38
Existing Residence Sub-total					19.84
B. Proposed Additions					
	Area in S.F.		Ratio 1 pt/ 40 S.F.		Sub-Total Points
	1272				31.8
<b>TOTAL POINT ALLOCATION</b>					<b>51.64</b>



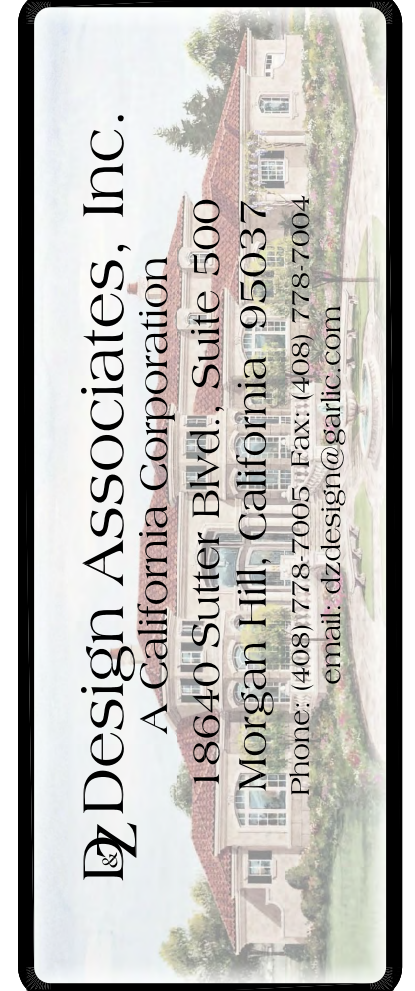
**Existing Floor/Demolition Plan**  
 3100 sq. ft. Existing

**WALL LEGEND:**  
 ——— INDICATES EXIST. WALL TO REMAIN  
 - - - - - INDICATES EXIST. TO BE REMOVED

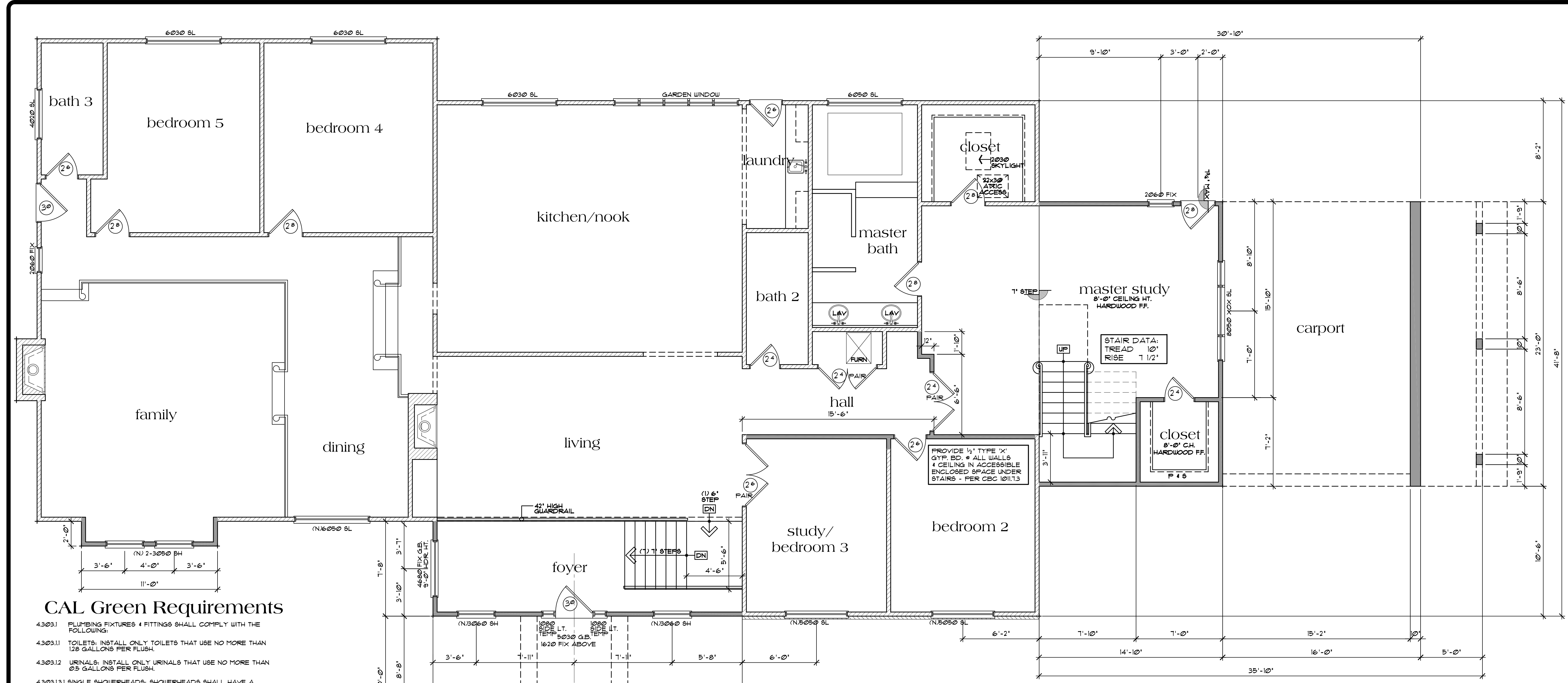
scale: 1/4" = 1'-0"

NO.	DATE	REVISION
1	2-11-2021	PLANNING COMMENTS

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF DMZ. NO PART OF THESE PLANS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE EXPRESS WRITTEN PERMISSION OF DMZ DESIGN ASSOCIATES. ANY REUSE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF DMZ DESIGN ASSOCIATES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES PRIOR TO COMMENCEMENT OF THE PROJECT. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.



Main Level Floor Plan	
PAUNETO RESIDENCE	
14210 LESLEY LANE	
SAN MARTIN, CA 95046	
DATE	JAN 8 2021
SCALE	1/4" = 1'-0"
PROJECT MANAGER	SCOTT ZAZULETA
DRAWN	MB
JOB NO.	D24417
SHEET	A2.2



### CAL Green Requirements

- 4.3.03.1 PLUMBING FIXTURES & FITTINGS SHALL COMPLY WITH THE FOLLOWING:
  - 4.3.03.1.1 TOILETS: INSTALL ONLY TOILETS THAT USE NO MORE THAN 120 GALLONS PER FLUSH.
  - 4.3.03.1.2 URINALS: INSTALL ONLY URINALS THAT USE NO MORE THAN 25 GALLONS PER FLUSH.
  - 4.3.03.1.3.1 SINGLE SHOWERHEADS: SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF 2.0 GPM AT 80 PSIG.
  - 4.3.03.1.3.2 MULTIPLE SHOWERHEADS IN ONE SHOWER: THE MAXIMUM COMBINED FLOW RATE OF ALL SHOWERHEADS IS 7.0 GPM AT 80 PSIG, OR ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT ONE TIME.
  - 4.3.03.1.4.1 LAVATORY FAUCETS: LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.2 GPM AT 60 PSIG.
  - 4.3.03.1.4.2 KITCHEN FAUCETS: KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GPM AT 60 PSIG.
- 4.4.06.1 RODENT PROOFING: ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- 4.4.08.1 A MINIMUM OF 50% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE.
- 4.5.03.1 INSTALL ONLY A DIRECT-VENT SEALED-COMBUSTION GAS OR SEALED WOOD-BURNING FIREPLACE, OR A SEALED WOODSTOVE.
- 4.5.04.1 ALL DUCT & OTHER RELATED AIR INTAKE & DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
- 4.5.04.2.1 ADHESIVES, SEALANTS & CAULKS SHALL BE COMPLIANT WITH VOC & OTHER TOXIC COMPOUND LIMITS PER CALGREEN CODE 4.504.2.1.
- 4.5.04.2.2 PAINTS, STAINS & OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
- 4.5.04.2.3 AEROSOL PAINTS & COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC & OTHER TOXIC COMPOUNDS.
- 4.5.04.3 ALL CARPET INSTALLED SHALL MEET ONE OF THE FOLLOWING TESTING & PRODUCT REQUIREMENTS:
  1. CARPET & RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM
  2. CALIFORNIA DEPT. OF PUBLIC HEALTH VOC TESTING & EVALUATION, N9F/AN9 140 - GOLD LEVEL
  3. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD
- 4.5.04.3.1 ALL CARPET CUSHION TO MEET CARPET & RUG INSTITUTE'S GREEN LABEL PROGRAM
- 4.5.04.3.2 ALL CARPET ADHESIVES SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1
- 4.5.04.4 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM
- 4.5.04.5 PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), & HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS

SEE EMISSION LIMITATION TABLES ON SHEET

### Proposed Main Level Floor Plan

- 3100 sq. ft. Main Level (e)
- 555 sq. ft. Main Level (a)
- 717 sq. ft. Upper Level (a)
- 4372 sq. ft. Total Living Area
- 368 sq. ft. Carport (a)
- 87 sq. ft. Covered Porch (a)
- 936 sq. ft. Remodel Area

#### Wall Legend

- EXISTING WALL
- NEW WALL

scale: 1/4" = 1'-0"

#### GENERAL NOTES:

- WINDOW & DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL WINDOW & DOOR SIZES SHALL BE FRAMED & SET PER MFG. SPECIFICATIONS. MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIER'S AND/OR OWNER'S SPECIFICATIONS. WINDOWS TO BE DUAL-PANED w/ MIN. (1) TEMP. PANE (UNO.)
- ALL EXTERIOR HEADERS SHALL BE # 6-8" UNO.
- ALL EXTERIOR DOORS SHALL BE AT LEAST 1 3/4" THICK
- ALL GLASS DOORS, GLASS WITHIN 24" OF DOORS & WITHIN 18" OF FLOORS, GLASS SUBJECT TO HUMAN IMPACT, ETC. SHALL BE SAFETY TEMPERED PER R308.4
- BEDROOM WINDOWS SHALL HAVE MAX 44" HEIGHT TO CLEAR OPENING & MIN. NET CLEAR OPENINGS OF 20" IN WIDTH & 24" IN HEIGHT w/ MIN. CLEAR OPENING OF 5.1 FEET PER R301.1
- BATHUBS AND SHOWER FLOORS AND WALLS ABOVE BATHUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET (72" INCHES) ABOVE THE FLOOR PER CRC SECTION R307.2
- WATER HEATERS & FURNACES TO BE C.E.C. CERTIFIED. WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE.
- PROVIDE COMBUSTION AIR FOR FUEL BURNING APPLIANCES PER CMC CHAPTER 7 & CPC CHAPTER 5.
- WATER HEATERS SHALL BE STRAPPED WITHIN THE UPPER & LOWER 1/3 OF THE HEATER. STRAPS SHALL BE LOCATED A MIN. OF 4 INCHES FROM ANY CONTROLS. WATER HEATER TO BE ON PLATFORM 18 INCHES MIN. ABOVE FF. - TYPICAL PER CMC & CBC.
- OPENINGS AROUND GAS VENTS, DUCTS & PIPING AT EACH FLOOR SHALL BE FIRE STOPPED.
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILING SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 36 GAGE (0.48 MM) SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE PER CRC R302.9.2.

- INSTALL PRE-FAB MTL FIREPLACES PER MFG.'S SPECIFICATIONS. PROVIDE APPROVED TESTING NUMBERS TO BUILDING DEPT. PRIOR TO INSTALLATION.
- PROVIDE FIRE-STOPPS IN OPENINGS AT FLOOR & CEILING OF ALL FIREPLACES PER CRC R1003.9.
- PROVIDE AC/DC SMOKE DETECTORS WITHIN EACH SLEEPING ROOM & CENTRALLY LOCATED IN CORRIDORS OR AREAS GIVING ACCESS TO EACH SLEEPING AREA. ALL DETECTORS TO BE INTERCONNECTED TYPICAL.
- PROVIDE AC/DC CARBON MONOXIDE DETECTORS CENTRALLY LOCATED IN CORRIDORS OR AREAS GIVING ACCESS TO EACH SLEEPING AREA. ALL DETECTORS TO BE INTERCONNECTED TYP.
- WRAP ALL EXTERIOR WALLS WITH CDX PLYWOOD SHEATHING - TYPICAL THROUGHOUT
- ALL HOSE BIBBS SHALL HAVE NON-REMOVABLE TYPE BACK-FLOW PREVENTION DEVICE.
- PLUMBING CONTRACTOR SHALL PROVIDE T & P VALVE ON WATER HEATER AND ROUTE DISCHARGE LINE TO EXTERIOR. CBC 608.4 & 608.5
- IN SHOWERS & TUB/SHOOWER COMBINATIONS, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES PER CFC 408.3.
- NO UNDERFLOOR CLEANOUT SHALL BE LOCATED MORE THAN 20 FEET FROM AN ACCESS DOOR, TRAP DOOR, OR CRAWL HOLE PER CFC 101.
- PLUMBING DRAIN WASTE AND VENT AND/OR MECHANICAL DUCTING ALONG WITH ELECTRICAL PANEL WIRING SIZING CALCULATIONS MAY BE REQUIRED TO BE PROVIDED IF THE FIELD INSPECTOR REQUESTS THESE ITEMS.
- IF STRUCTURE IS TO HAVE PROPANE GAS-PROVIDE FOR DRAINAGE OF L.F. GAS TO EXTERIOR (TYPICAL)
- GUEST ROOMS AND HABITABLE ROOMS WITHIN A DWELLING UNIT OR CONGREGATE RESIDENCE SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS WITH AN AREA NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS WITH A MINIMUM OF 10 SQUARE FEET PER CBC SECTION 1209 & CRC R303.

- LIMITATION OF HOT WATER IN BATHUBS & WHIRLPOOL BATHUBS: THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATHUB & WHIRLPOOL BATHUB FILLER SHALL BE LIMITED TO 120°F (49°C) BY A DEVICE THAT CONFORMS TO ASSE 1010 STANDARD FOR WATER TEMPERATURE LIMITING DEVICES OR CSA B125.3 STANDARD FOR PLUMBING FITTINGS. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION PER CFC SECTION 409.4.
- WATER-RESISTANT GYPSUM BACKING BOARD SHOULD NOT BE USED IN THE FOLLOWING LOCATIONS PER CBC:
  - 1) OVER A VAPOR RETARDER
  - 2) IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY
  - 3) ON CEILING WHERE FRAME SPACING EXCEEDS 12 INCHES ON CENTER.
- PROVIDE BLOCKING IN WALL AT ALL TOWEL BAR LOCATIONS. VERIFY LOCATIONS w/ OWNER IN FIELD.
- PROVIDE BULLNOSE CORNERS AT ALL INTERIOR WALLS.
- ALL WINDOWS TO BE WELD-WEN OR EQUAL, DUAL PANE w/ MIN. (1) TEMPERED PANE w/ ALUMINUM CLAD EXTERIOR w/ BROWN FRAMES.
- ALL INTERIOR DOORS TO BE 6'-8" HT.
- ALL DOORS w/ GLASS TO HAVE DUAL PANE GLAZING w/ LOW 'E' AND TEMPERED GLASS.
- ALL WALLS TO BE 2x4 DF. STUDS SPACED AT 16" O.C. (UNO.). ALL EXTERIOR WALLS TO HAVE R-19 INSULATION.
- ALL FLOORS TO HAVE RADIANT HEATING.

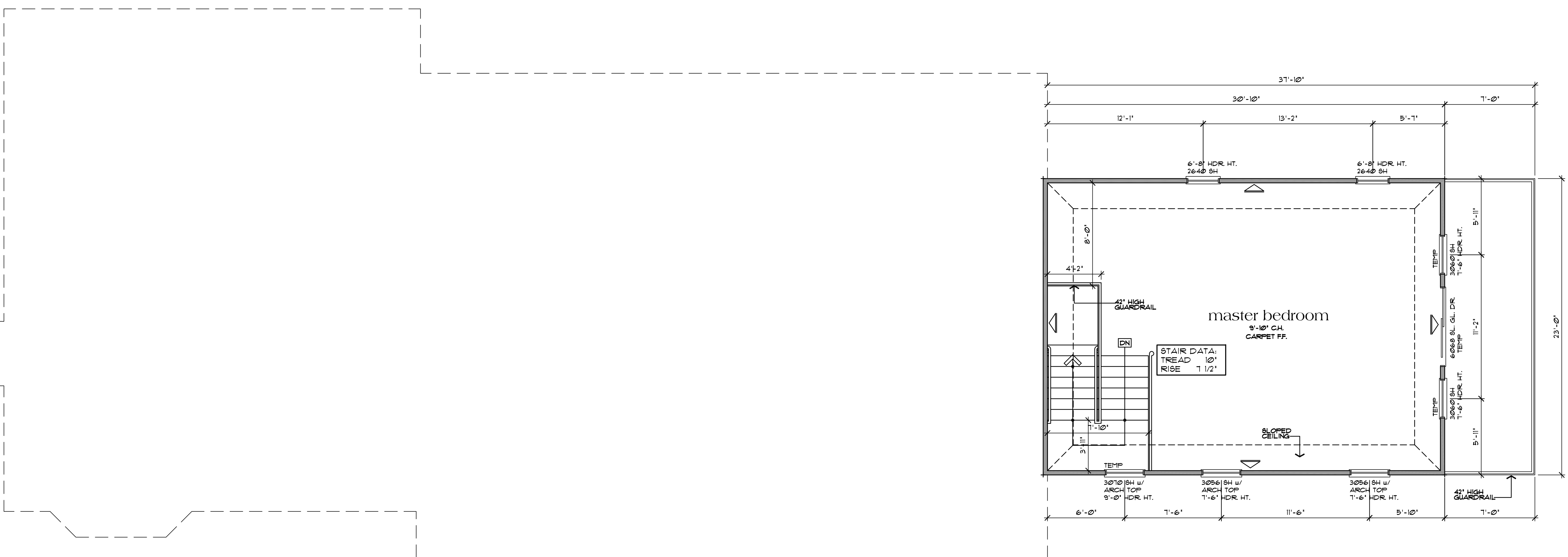
D:\design\2111\320204\_8:36 AM\_21dproj\2017\24417-Pauneto\Architectural\Design\Review\A2.2-Proposed Main Level FF.dwg



NO./ DATE/ REVISION

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF DMZ. NO PART OF THESE PLANS OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN PERMISSION OF DMZ DESIGN ASSOCIATES. ANY REUSE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF DMZ DESIGN ASSOCIATES. DMZ DESIGN ASSOCIATES SHALL BE HELD HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING ATTORNEY'S FEES, ARISING FROM OR RESULTING FROM THE USE OF THESE PLANS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES PRIOR TO COMMENCEMENT OF THE PROJECT. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

**DMZ Design Associates, Inc.**  
 A California Corporation  
 18646 Sutter Blvd., Suite 500  
 Morgan Hill, California 95037  
 Phone: (408) 778-7145 Fax: (408) 778-7004  
 Email: info@dmzdesign.com Website: www.dzdesign.com



**Proposed Upper Level Floor Plan**  
 618 sq. ft. Upper Level (a) scale: 1/4" = 1'-0"

**CAL Green Requirements**

- 4.30.3.1 PLUMBING FIXTURES & FITTINGS SHALL COMPLY WITH THE FOLLOWING:
- 4.30.3.1.1 TOILETS: INSTALL ONLY TOILETS THAT USE NO MORE THAN 1.28 GALLONS PER FLUSH.
- 4.30.3.1.2 URINALS: INSTALL ONLY URINALS THAT USE NO MORE THAN 0.5 GALLONS PER FLUSH.
- 4.30.3.1.3 SINGLE SHOWERHEADS: SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF 2.0 GPM AT 80 PSI.
- 4.30.3.1.3.1 MULTIPLE SHOWERHEADS IN ONE SHOWER: THE MAXIMUM COMBINED FLOW RATE OF ALL SHOWERHEADS IS 2.0 GPM AT 80 PSI, OR ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT ONE TIME.
- 4.30.3.1.4 LAVATORY FAUCETS: LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.2 GPM AT 80 PSI.
- 4.30.3.1.4.1 KITCHEN FAUCETS: KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GPM AT 80 PSI.
- 4.30.3.2 PLUMBING FIXTURES & FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE.
- 4.40.6.1 RODENT PROOFING: ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- 4.40.8.1 A MINIMUM OF 90% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE.
- 4.50.3.1 INSTALL ONLY A DIRECT-VENT SEALED-COMBUSTION GAS OR SEALED WOOD-BURNING FIREPLACE, OR A SEALED WOODSTOVE.
- 4.50.4.1 ALL DUCT & OTHER RELATED AIR INTAKE & DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
- 4.50.4.2.1 ADHESIVES, SEALANTS & CAULKS SHALL BE COMPLIANT WITH VOC & OTHER TOXIC COMPOUND LIMITS PER CALGREEN CODE 4.50.4.2.1.
- 4.50.4.2.2 PAINTS, STAINS & OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
- 4.50.4.2.3 AEROSOL PAINTS & COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC & OTHER TOXIC COMPOUNDS.
- 4.50.4.3.1 ALL CARPET INSTALLED SHALL MEET ONE OF THE FOLLOWING TESTING & PRODUCT REQUIREMENTS:  
 1. CARPET & RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM  
 2. CALIFORNIA DEPT. OF PUBLIC HEALTH VOC TESTING & EVALUATION  
 3. NSF/ANSI 140 - GOLD LEVEL  
 4. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD
- 4.50.4.3.2 ALL CARPET CUSHION TO MEET CARPET & RUG INSTITUTE'S GREEN LABEL PROGRAM
- 4.50.4.3.3 ALL CARPET ADHESIVES SHALL MEET THE REQUIREMENTS OF TABLE 4.50.4.1
- 4.50.4.4 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM
- 4.50.4.5 PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), & HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS  
 SEE EMISSION LIMITATION TABLES ON SHEET

**GENERAL NOTES:**

- WINDOW & DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL WINDOW & DOOR SIZES SHALL BE FRAMED & SET PER MFG. SPECIFICATIONS. MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIER'S AND/OR OWNER'S SPECIFICATIONS. WINDOWS TO BE DUAL-PANED w/ MIN. (1) TEMP. PANE (UNO.)
- ALL EXTERIOR HEADERS SHALL BE # 6'-8" UNO.
- ALL EXTERIOR DOORS SHALL BE AT LEAST 1 3/4" THICK
- ALL GLASS DOORS, GLASS WITHIN 24" OF DOORS & WITHIN 18" OF FLOORS, GLASS SUBJECT TO HUMAN IMPACT, ETC. SHALL BE SAFETY TEMPERED PER R308.4
- BEDROOM WINDOWS SHALL HAVE MAX 44" HEIGHT TO CLEAR OPENING & MIN. NET CLEAR OPENINGS OF 20" IN WIDTH & 24" IN HEIGHT w/ MIN. CLEAR OPENING OF 5.1 FEET PER R301.1
- BATHUB AND SHOWER FLOORS AND WALLS ABOVE BATHUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET (72" INCHES) ABOVE THE FLOOR PER CRC SECTION R301.2
- WATER HEATERS & FURNACES TO BE C.E.C. CERTIFIED. WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE.
- PROVIDE COMBUSTION AIR FOR FUEL BURNING APPLIANCES PER CMC CHAPTER 7 & CPC CHAPTER 5.
- WATER HEATERS SHALL BE STRAPPED WITHIN THE UPPER & LOWER 1/3 OF THE HEATER STRAPS SHALL BE LOCATED A MIN. OF 4 INCHES FROM ANY CONTROLS. WATER HEATER TO BE ON PLATFORM 18 INCHES MIN. ABOVE FF. - TYPICAL PER CMC & CBC.
- OPENINGS AROUND GAS VENTS, DUCTS & PIPING AT EACH FLOOR SHALL BE FIRE STOPPED.
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 36 GAGE (0.48 MM) SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE PER CRC R302.9.2.
- INSTALL PRE-FAB MTL. FIREPLACES PER MFG.'S SPECIFICATIONS. PROVIDE APPROVED TESTING NUMBERS TO BUILDING DEPT. PRIOR TO INSTALLATION.
- PROVIDE FIRE-STOPPS IN OPENINGS AT FLOOR & CEILING OF ALL FIREPLACES PER CRC R1003.19.

- PROVIDE AC/DC SMOKE DETECTORS WITHIN EACH SLEEPING ROOM & CENTRALLY LOCATED IN CORRIDORS OR AREAS GIVING ACCESS TO EACH SLEEPING AREA. ALL DETECTORS TO BE INTERCONNECTED TYPICAL.
- PROVIDE AC/DC CARBON MONOXIDE DETECTORS CENTRALLY LOCATED IN CORRIDORS OR AREAS GIVING ACCESS TO EACH SLEEPING AREA. ALL DETECTORS TO BE INTERCONNECTED TYP.
- URAP ALL EXTERIOR WALLS WITH CDX PLYWOOD SHEATHING - TYPICAL THROUGHOUT
- ALL HOSE BIBBS SHALL HAVE NON-REMOVABLE TYPE BACK-FLOW PREVENTION DEVICE.
- PLUMBING CONTRACTOR SHALL PROVIDE T & P VALVE ON WATER HEATER AND ROUTE DISCHARGE LINE TO EXTERIOR. CBC 620.4 & 620.5
- IN SHOWERS & TUBS/SHOWER COMBINATIONS, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES PER CFC 409.3.
- NO UNDERFLOOR CLEANOUT SHALL BE LOCATED MORE THAN 20 FEET FROM AN ACCESS DOOR, TRAP DOOR, OR CRAWL HOLE PER CFC 701.
- PLUMBING DRAIN WASTE AND VENT AND/OR MECHANICAL DUCTING ALONG WITH ELECTRICAL PANEL/WIRING SIZING CALCULATIONS MAY BE REQUIRED TO BE PROVIDED IF THE FIELD INSPECTOR REQUESTS THESE ITEMS.
- IF STRUCTURE IS TO HAVE PROPANE GAS-PROVIDE FOR DRAINAGE OF L.P. GAS TO EXTERIOR (TYPICAL)
- GUEST ROOMS AND HABITABLE ROOMS WITHIN A DWELLING UNIT OR CONGREGATE RESIDENCE SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS WITH AN AREA NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS WITH A MINIMUM OF 10 SQUARE FEET PER CBC SECTION 1209 & CRC R303.
- LIMITATION OF HOT WATER IN BATHUBS & WHIRLPOOL BATHUBS: THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATHUB & WHIRLPOOL BATHUB FILLER SHALL BE LIMITED TO 120°F (49°C) BY A DEVICE THAT CONFORMS TO ASSE 1010 STANDARD FOR WATER TEMPERATURE LIMITING DEVICES, OR CSA B125.3 STANDARD FOR PLUMBING FITTINGS. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION PER CFC SECTION 409.4.
- WATER-RESISTANT GYPSUM BACKING BOARD SHOULD NOT BE USED IN THE FOLLOWING LOCATIONS PER CBC:  
 1) OVER A VAPOUR RETARDER  
 2) IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY  
 3) ON CEILING WHERE FRAME SPACING EXCEEDS 12 INCHES ON CENTER.

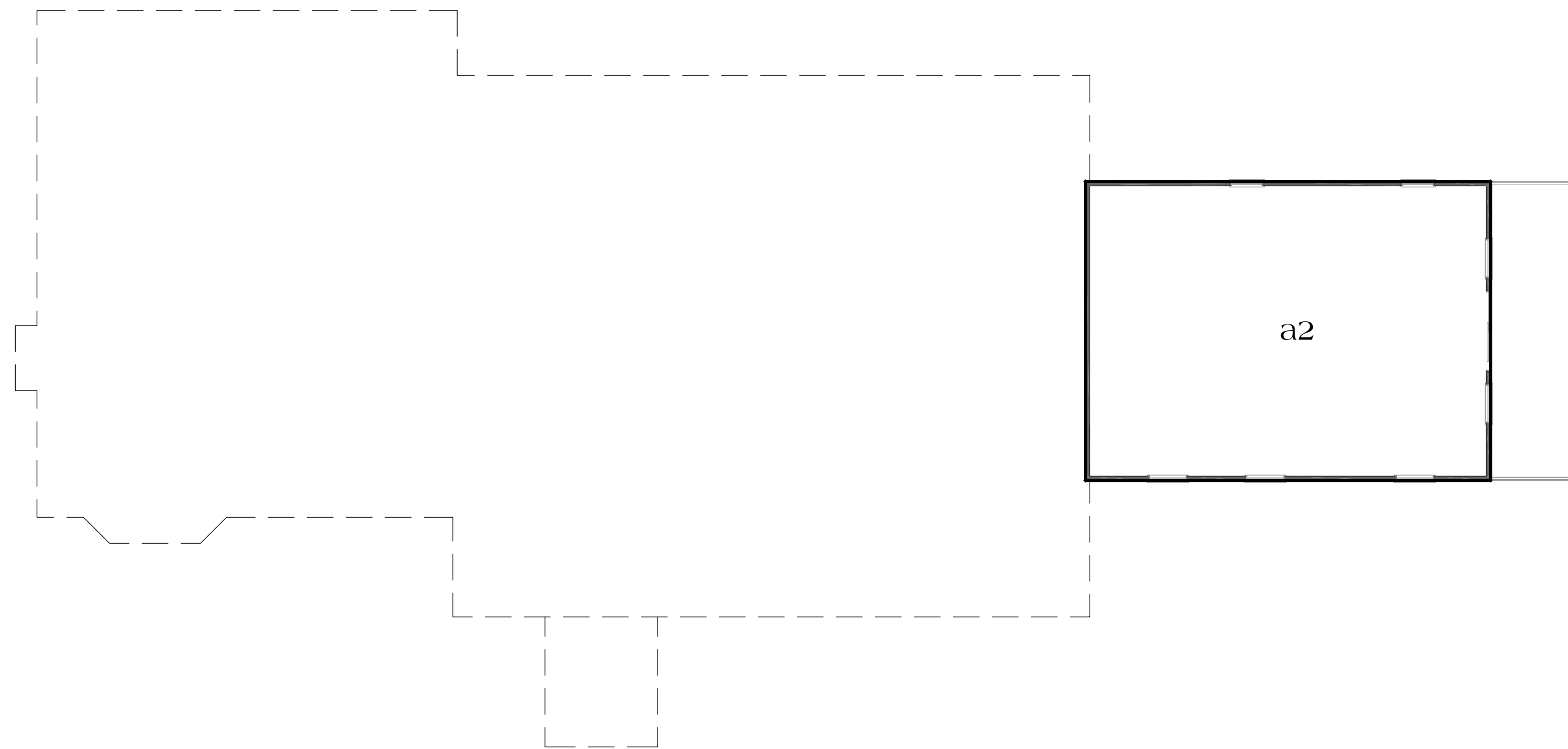
- PROVIDE BLOCKING IN WALL AT ALL TOWEL BAR LOCATIONS. VERIFY LOCATIONS w/ OWNER IN FIELD.
- PROVIDE BULLNOSE CORNERS AT ALL INTERIOR WALLS.
- ALL WINDOWS TO BE JELD-WEN OR EQUAL, DUAL PANE w/ MIN. (1) TEMPERED PANE w/ ALUMINUM CLAD EXTERIOR w/ BROWN FRAMES.
- ALL INTERIOR DOORS TO BE 8'-0" HT.
- ALL DOORS w/ GLASS TO HAVE DUEL PANE GLAZING w/ LOW 'E' AND TEMPERED GLASS.
- ALL WALLS TO BE 2x6 D.F. STUDS SPACED AT 16" O.C. (UNO.).
- ALL EXTERIOR WALLS TO HAVE R-19 INSULATION.
- ALL FLOORS TO HAVE RADIANT HEATING.

D:\design\22\_11\13\2024\_8:37 AM\_24\projects\2017\44417\_Pauneto\Architectural\Design\Drawings\7\_A2.3\_Proposed Upper Level.FP.dwg

**Proposed Upper Level Floor Plan**  
 Pauneto Residence  
 14210 Lesley Lane  
 San Martin, CA 95046

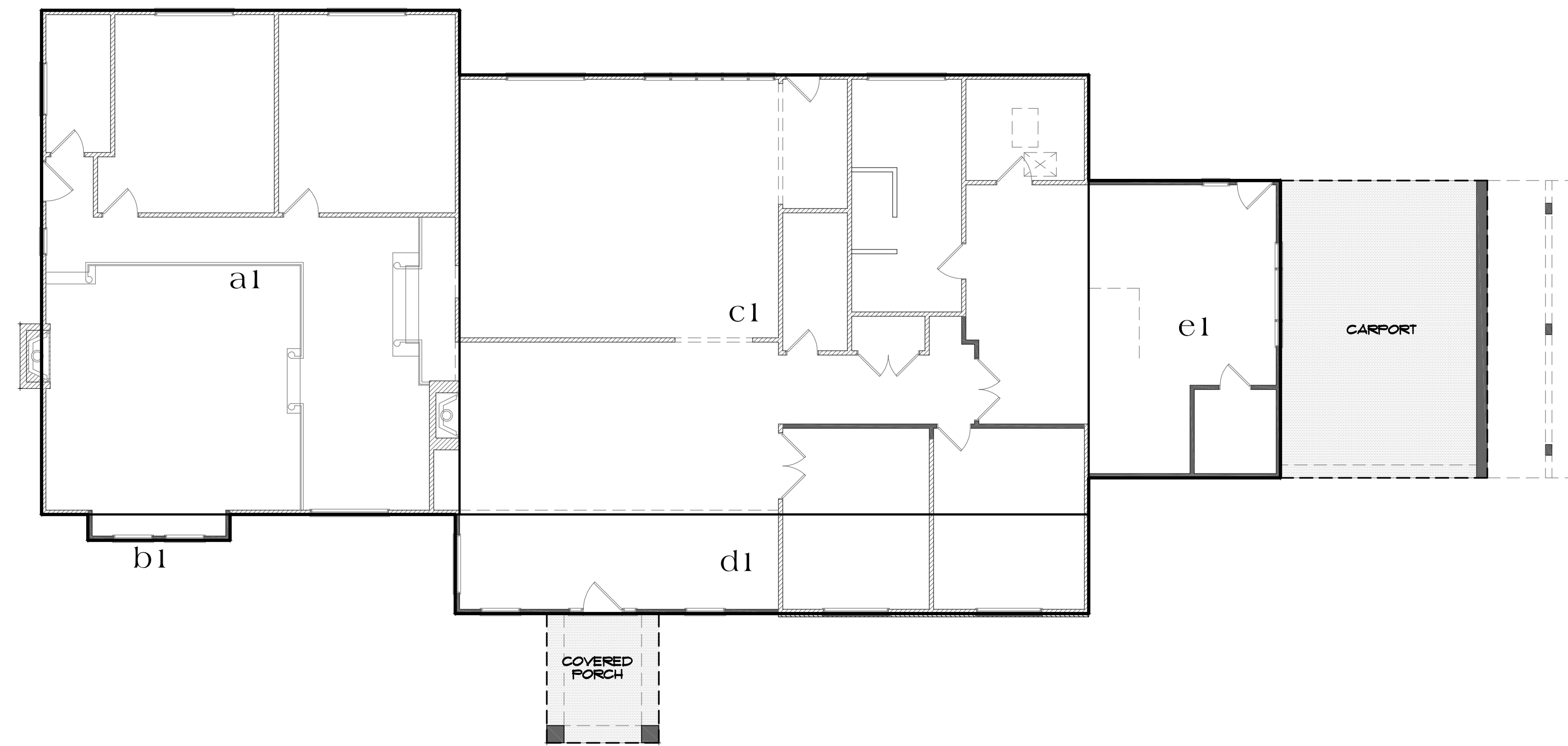
DATE: JAN. 9 2021  
 SCALE: 1/4" = 1'-0"  
 PROJECT MANAGER: SCOTT ZAZULETA  
 DRAWN: SEZ  
 JOB NO.: DZ4417  
 SHEET: A2.3

D:\design\22\_11\13\2024\_8:37 AM\_24\project\2017\24417-Pauneto\Architectural\Design\Design Reviews\A2.4 Floor Area Diagram.dwg



**Upper Level**

scale: 1/8"=1'-0"



**Main Level**

scale: 1/8"=1'-0"

3100 sq. ft. Main Level (e)  
 555 sq. ft. Main Level (a)  
 717 sq. ft. Upper Level (a)  
 4372 sq. ft. Total Living Area  
 368 sq. ft. Carport (a)  
 936 sq. ft. Remodel Area

Main Level		
a1	32'-4"x39'-0"	1261.00 s.f.
b1	11'-0"x2'-0"	22.00 s.f.
c1	48'-8"x34'-0"	1654.66 s.f.
d1	49'-0"x7'-8"	375.66 s.f.
e1	14'-10"x23'-0"	341.68 s.f.
total		3655.00 s.f.

Upper Level		
a2	31'-2"x23'-0"	717.00 s.f.
total		717.00 s.f. $\Delta$

total living area	4372.00 s.f.
carport	368.00 s.f.
covered porch	87.00 s.f.
Total Structure	4827.00 s.f.

NO./ DATE/ REVISION
5-21-18 PLAN CHECK
5-9-2022 PLANNING COMMENTS
5-30-2023 PLANNING COMMENTS

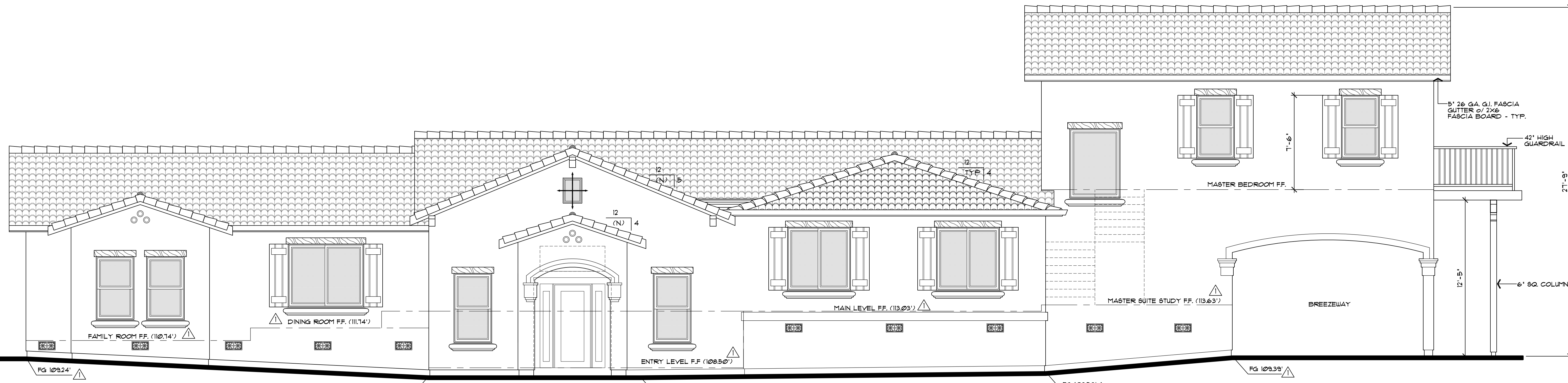
THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF DMZ ARCHITECTURE. NO PART OF THESE PLANS OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN PERMISSION OF DMZ ARCHITECTURE. PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF DMZ ARCHITECTURE. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES PRIOR TO COMMENCEMENT OF THE PROJECT. DMZ DESIGN ASSOCIATES SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

**DZ Design Associates, Inc.**  
 A California Corporation  
 18640 Sutter Blvd., Suite 500  
 Morgan Hill, California 95037  
 Phone: (408) 778-7145 Fax: (408) 778-7004  
 Email: dz@design@barrac.com

DRAWING TITLE	Floor Area Diagram
JOB TITLE	Pauneto Residence
JOB ADDRESS	14210 Lesley Lane San Martin, CA 95046

DATE	JAN 9 2021
SCALE	1/8"=1'-0"
PROJECT MANAGER	SCOTT ZAZULETA
DRAWN	SEZ
JOB NO.	DZ4417
SHEET	

**A2.4**



front elevation



rear elevation

- 1 ROOFING MATERIAL:  
Eagle Roofing Products  
'Capistrano - San Benito Blend'
- 2 BASE COLOR (Stucco Siding):  
Kelly-Moore  
'Tan Oak' #KM5715 LRV 43
- 3 PAINT TRIM COLOR:  
(Shutters, Eaves, Gutter, Barge Rafter, Trim Band @ Eave and Window Headers)  
Kelly-Moore  
'Americano' #KM4512-5 LRV 6
- 4 WINDOW SILL & TRIM:  
Kelly-Moore  
'Toscana' #232 LRV 26
- 5 COLUMNS & BEAMS:  
Kelly-Moore  
'Americano' #KM4512-5 LRV 6

\*All Exterior Windows & Doors also to be Milgard "Tuscany Vinyl" in Bronze LRV 6

NO./ DATE/ REVISION
2-11-2021 FLANNING COMMENTS
5-9-2022 FLANNING COMMENTS
5-30-2023 FLANNING COMMENTS

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF DAZ. NO PART OF THESE PLANS OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DAZ. PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF DAZ. DAZ ASSOCIATES SHALL BE HELD RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE INFORMATION PROVIDED HEREON IS THE PROPERTY OF DAZ DESIGN ASSOCIATES PRIOR TO COMMENCEMENT OF THE PROJECT. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

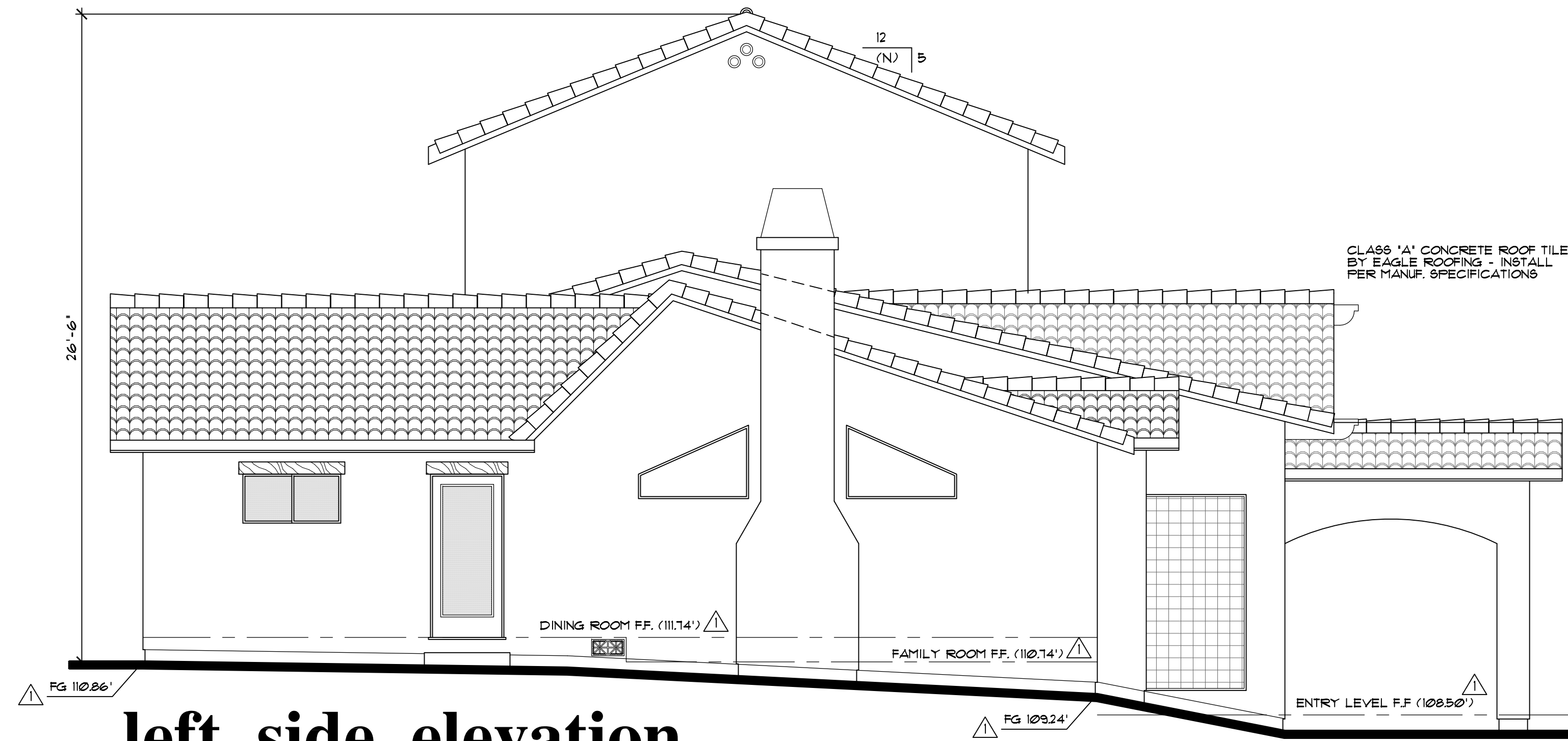
**Design Associates, Inc.**  
A California Corporation  
18640 Sutter Blvd., Suite 500  
Morgan Hill, California 95037  
Phone: (408) 778-7145 Fax: (408) 778-7004  
Email: [info@designassoc.com](mailto:info@designassoc.com)

DRAWING TITLE	Exterior Elevations
JOB TITLE	Pauneto Residence
JOB ADDRESS	14210 Lesley Lane San Martin, CA 95046

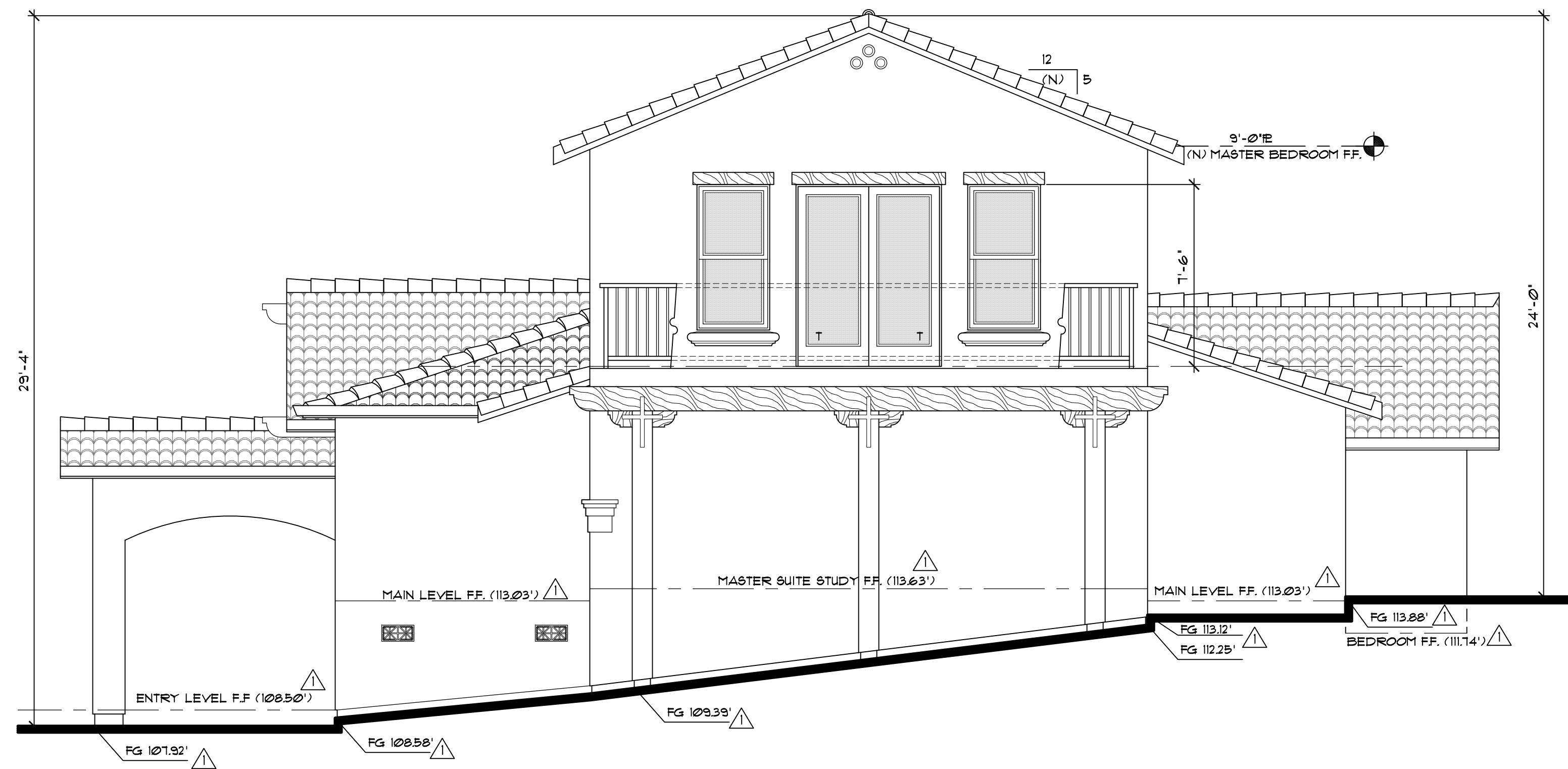
DATE	JAN 9 2021
SCALE	1/4" = 1'-0"
PROJECT MANAGER	SCOTT ZAZULETA
DRAWN	SEZ
JOB NO.	DZ4417
SHEET	

A3.1

D:\design\21\11\3\2024\_8:38 AM\_Z4417\Pauneto\Architectural\Design\Reviews\A3\_Main House Exterior



left side elevation



right side elevation

NO./ DATE/ REVISION

- 2-11-2021 PLANNING COMMENTS
- 5-9-2022 PLANNING COMMENTS
- 5-30-2023 PLANNING COMMENTS

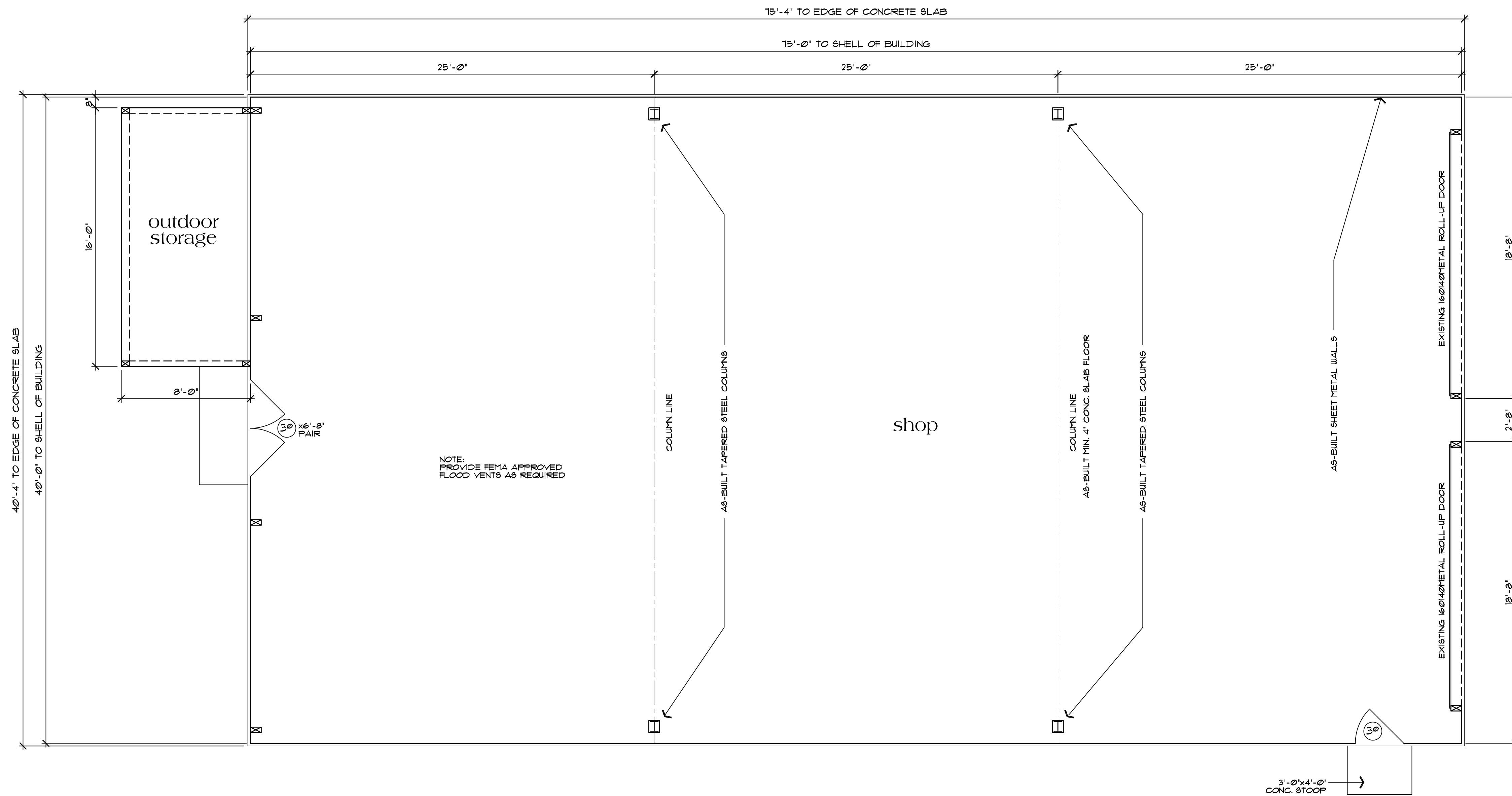
THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF DAZ. COPYRIGHT LAWS AND MAY NOT BE REPRODUCED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN CONSENT OF DAZ. PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF DAZ. DESIGN ASSOCIATES SHALL BE HELD RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CLIENT AND THE DESIGN ASSOCIATES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

**DZ Design Associates, Inc.**  
 A California Corporation  
 18640 Sutter Blvd., Suite 500  
 Morgan Hill, California 95037  
 Phone: (408) 778-7145 Fax: (408) 778-7004  
 Email: dz\_design@barrac.com

DRAWING TITLE	Exterior Elevations
JOB TITLE	Pauneto Residence
JOB ADDRESS	14210 Lesley Lane San Martin, CA 95046

DATE	JAN 9 2021
SCALE	1/4" = 1'-0"
PROJECT MANAGER	SCOTT ZAZULETA
DRAWN	SEZ
JOB NO.	DZ4417
SHEET	

A3.2



### Accessory Structure Floor Plan

3000 sq. ft. shop  
128 sq. ft. outdoor storage

scale: 1/4" = 1'-0"

D:\design\22\_11\13\2024\_8:40 AM\_24\projects\2017\624417-Pauneto\Architectural\Design\Review\10-44-Shop Building FP.dwg

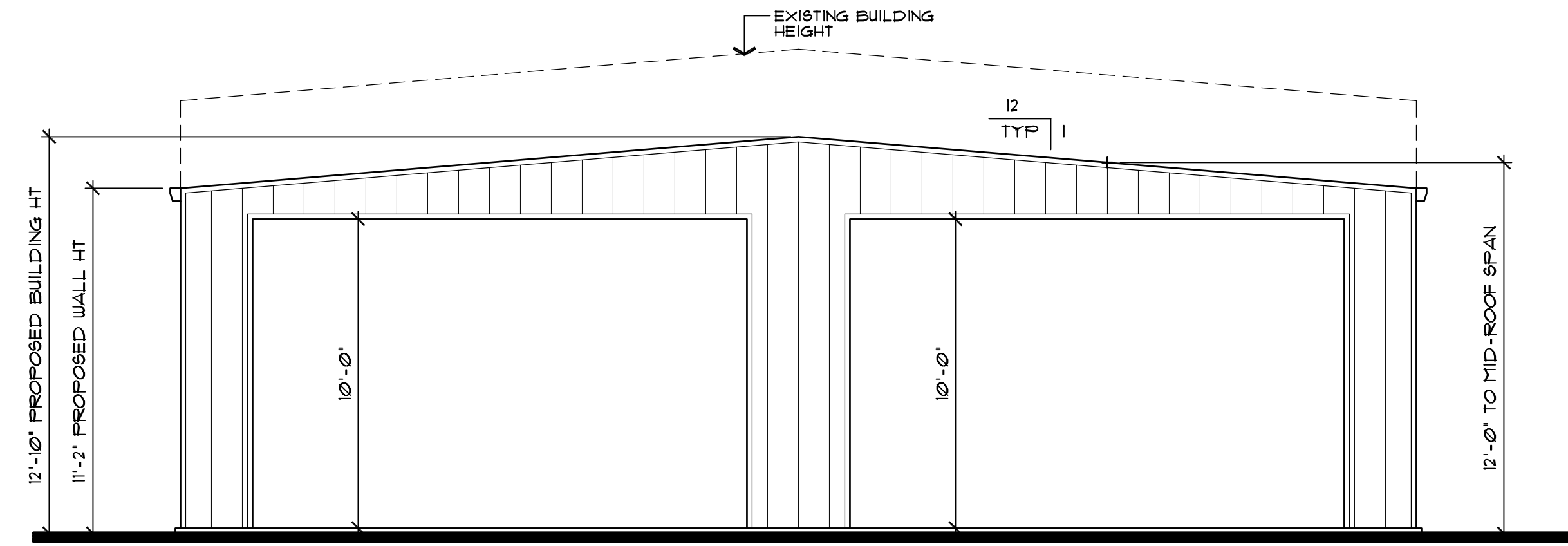
NO./ DATE/ REVISION
3-13-2023 PLAN CHECK
5-9-2022 PLANNING COMMENTS
5-30-2023 PLANNING COMMENTS

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF DMZ. NO PART OF THESE PLANS OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DMZ DESIGN ASSOCIATES. PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF DMZ DESIGN ASSOCIATES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES PRIOR TO COMMENCEMENT OF THE PROJECT. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

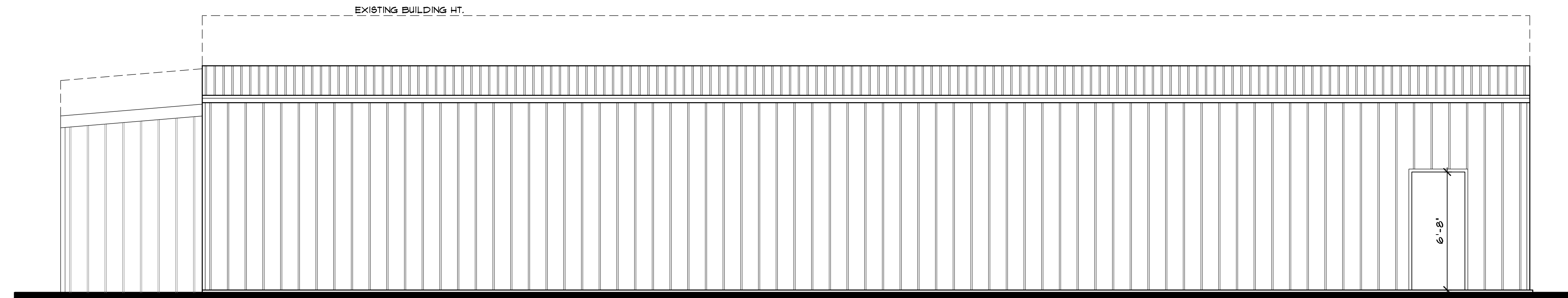


DRAWING TITLE	Floor Plan
JOB TITLE	Pauneto Residence
JOB ADDRESS	14210 Lesley Lane San Martin, CA 95046

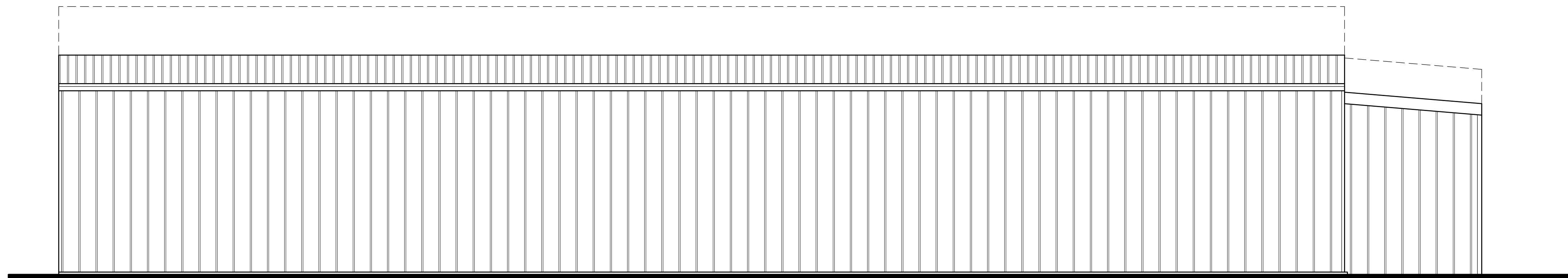
DATE	JAN 9 2021
SCALE	1/4" = 1'-0"
PROJECT MANAGER	SCOTT ZAZULETA
DRAWN	SEN
JOB NO.	DZ4417
SHEET	A4



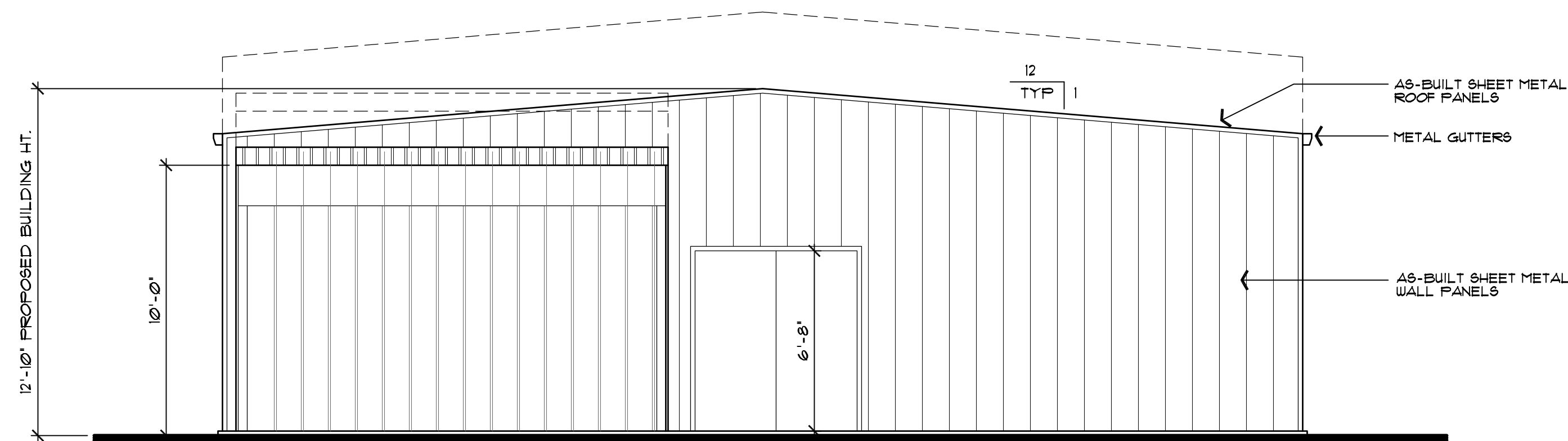
west elevation



north elevation



south elevation



east elevation

- 1 ROOFING MATERIAL:  
Eagle Roofing Products  
'Capistrano - San Benito Blend'
- 2 BASE COLOR (Stucco Siding):  
Kelly-Moore  
'Tan Oak' #KM5715 LRV 43
- 3 PAINT TRIM COLOR:  
(Shutters, Eaves, Gutter, Barge Rafter, Trim Band @ Eave and Window Headers)  
Kelly-Moore  
'Americano' #KM4512-5 LRV 6
- 4 WINDOW SILL & TRIM:  
Kelly-Moore  
'Toscana' #232 LRV 26
- 5 COLUMNS & BEAMS:  
Kelly-Moore  
'Americano' #KM4512-5 LRV 6

\*All Exterior Windows & Doors also to be Milgard "Tuscany Vinyl" in Bronze LRV 6

NO./ DATE/ REVISION

2-13-2019  
PLAN CHECK

3-9-2022  
PLANNING COMMENTS

3-30-2023  
PLANNING COMMENTS

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF DMZ ARCHITECTURE. NO PART OF THESE PLANS OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN PERMISSION OF DMZ ARCHITECTURE. ANY REUSE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF DMZ ARCHITECTURE. DMZ ARCHITECTURE SHALL BE LIABLE TO THE EXTENT OF THE DESIGN ASSOCIATES PRIOR TO COMMENCEMENT OF THE PROJECT. THE DESIGN ASSOCIATES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

**DZ Design Associates, Inc.**  
A California Corporation  
18640 Sutter Blvd., Suite 500  
Morgan Hill, California 95037  
Phone: (408) 778-7145 Fax: (408) 778-7004  
Email: dz@dzdesign.com

DRAWING TITLE  
**Exterior Elevations**

JOB TITLE  
**Pauneto Residence**

JOB ADDRESS  
**14210 Lesley Lane  
San Martin, CA 95046**

DATE  
**JAN 9 2021**

SCALE  
**1/4" = 1'-0"**

PROJECT MANAGER  
**SCOTT ZAZULETA**

DRAWN  
**SEN**

JOB NO.  
**DZ4417**

SHEET

**A5**