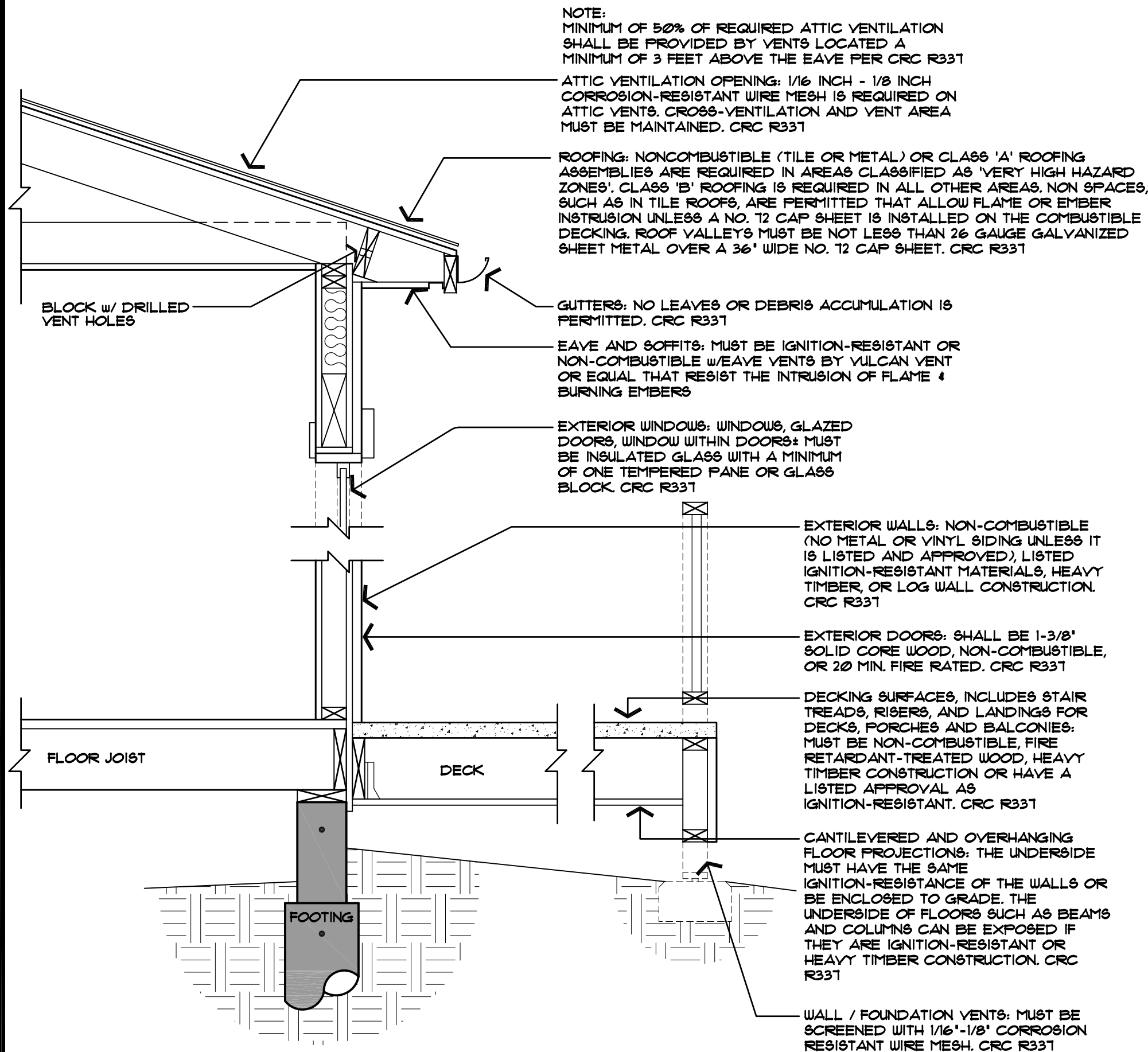


IGNITION-RESISTANT CONSTRUCTION DETAIL



IGNITION-RESISTANT CONSTRUCTION DETAIL

(NOTE: REFER TO THE REFERENCED 2019 CALIFORNIA BUILDING CODE SECTIONS FOR SPECIFIC REQUIREMENTS OR POSSIBLE EXCEPTIONS)

GEN. CONSTRUCTION NOTES

ANY VARIATION FROM THE SPECIFIED DESIGN, FINISH PRODUCTS OR EXTERIOR ELEVATION STYLE IS TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO CONSTRUCTION.

ANY DISCREPANCY DISCOVERED ON THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF D&Z DESIGN ASSOCIATES PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL WORK TO BE IN CONFORMANCE WITH 2019 CBC, CRC, CFC, CMC, CPC, CEC AND 2019 CALIFORNIA ENERGY CODE AND 2019 CALIFORNIA GREEN BUILDING STANDARDS THE UNIFORM CODE FOR BUILDING CONSERVATION. THESE CODES, AS WELL AS THE STATE AND LOCAL AMENDMENT TO THEM.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.

VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BIDDING.

SLOPE ALL FINISH GRADES A MIN. OF 5% FOR 10'-0" AWAY" FROM STRUCTURE FOR POSITIVE DRAINAGE @ LANDSCAPED AREAS & SLOPE GRADE 2% MIN. @ PAVED AREAS.

THE BUILDER SHALL PROVIDE THE BUILDING OWNER, MANAGER, AND THE ORIGINAL OCCUPANTS A LIST OF THE ENERGY-SAVING CONSERVATION FEATURES DEVICES, MATERIALS, AND COMPONENTS INSTALLED IN THE BUILDING, AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. SUCH FEATURES INCLUDE HEATING, COOLING, WATER HEATING, AND LIGHTING SYSTEMS, AS WELL AS INSULATION, WEATHERSTRIPPING WINDOW SHADES, AND THERMAL MASS MATERIALS. THE INSTRUCTIONS SHALL BE CONSISTANT WITH SPECIFICATIONS SET FORTH BY THE EXECUTIVE DIRECTOR

ALL WORK APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.C. TITLE 24 RESIDENTIAL ENERGY STANDARDS.

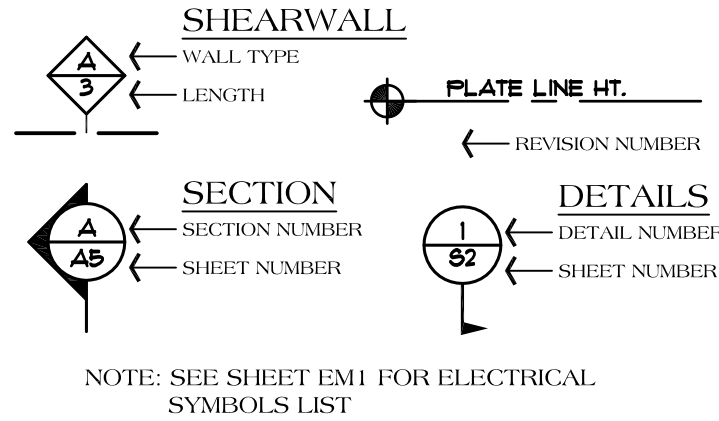
SEE SHEET T24 FOR ADDITIONAL ENERGY COMPLIANCE NOTES.

FIRE DEPT. ACCESS ROADS, DRIVEWAYS, TURNOUTS, & TURNAROUNDS SHALL BE MAINTAINED FREE & CLEAR & ACCESSIBLE AT ALL TIMES FOR FIRE DEPT. USE. GATES SHALL BE MAINTAINED IN GOOD WORKING ORDER, & SHALL REMAIN IN COMPLIANCE WITH FIRE MARSHAL STANDARD CFMO-A3 AT ALL TIMES.

GATES: GATES SHALL NOT OBSTRUCT THE REQUIRED WIDTH OR VERTICAL CLEARANCE OF THE DRIVEWAY & MAY REQUIRE A FIRE DEPARTMENT LOCK BOX/GATE SWITCH TO ALLOW FOR FIRE DEPARTMENT ACCESS. INSTALLATION SHALL COMPLY WITH CFMO-A3.

W.U.I.: THIS PROJECT IS LOCATED IN THE WILDLAND/URBAN INTERFACE FIRE AREA. COMPLIANCE WITH W.U.I. REGULATIONS IS REQUIRED. SEE W.U.I. NOTES ON THIS SHEET.

SYMBOLS



DRAWING INDEX

T1	Title Sheet
A1	Architectural Site Plan
A2	Floor Plan / Elevations / Electrical

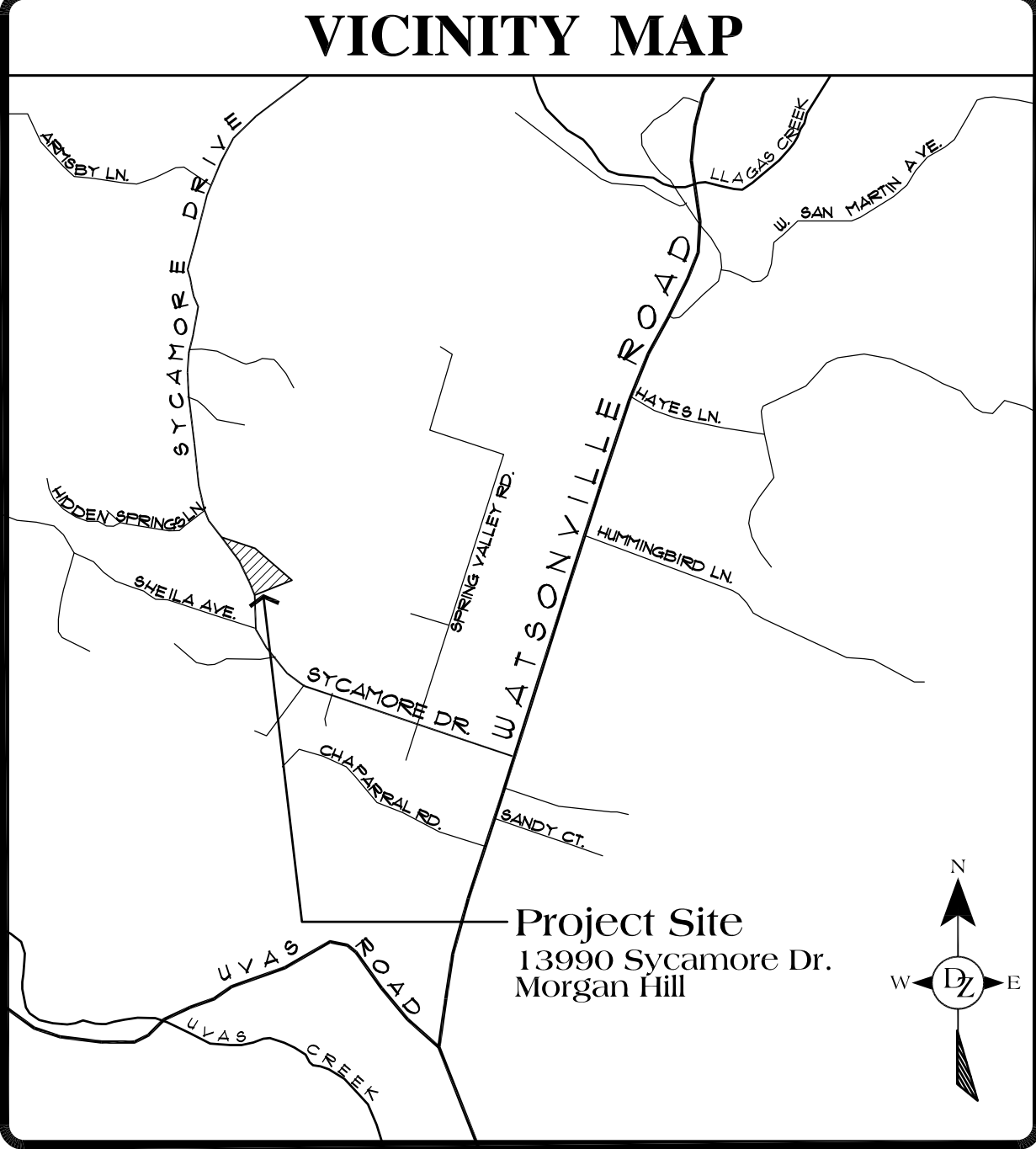
SAMMUT GARAGE

MORGAN HILL, CALIFORNIA

13990 Sycamore Drive

SCOPE OF WORK
SPECIAL PERMIT FOR 600 SQ. FT. DETACHED GARAGE

PROJECT DATA
OWNER:
George and Sandra Sammut
13990 Sycamore Drive
Morgan Hill, California 95037
408-497-6011
LOT DATA:
APN: 776-05-020
ZONING: RR - Rural Residential
LOT SIZE: 4.25 Acres Net
Occupancy Group: U
Type of Construction: VB
DETACHED GARAGE DATA:
600 sq. ft. Detached Garage



W.U.I. NOTES

Materials, Systems and Methods of Construction
Roofing Assemblies
Roofing assemblies shall be designed to prevent the intrusion of flames and embers between the roof covering and the roof decking.
Roof valley flashing shall be made of not less than 26-gauge galvanized sheet metal installed over a minimum 36" wide underlayment of one layer of 72# cap sheet running the full length of the valley.
Roof gutters shall be designed to prevent the accumulation of leaves and debris in the gutter.
Attic Ventilation
Roof and attic vents shall be designed to resist the intrusion of flames and embers into the attic of a structure, or shall be protected with corrosion-resistant, noncombustible wire mesh with 1/8" openings, or equivalent.
Eave and cornice vents shall be designed to resist the intrusion of flames and embers into the attic of a structure, or shall be protected with corrosion-resistant, noncombustible wire mesh with 1/8" openings, or equivalent.
Eave protection - Eaves and soffits shall be protected by ignition-resistant materials or noncombustible construction on the exposed underside.
Exterior Walls
Exterior walls shall be designed using ignition-resistant materials, noncombustible construction, heavy timber, log wall construction, or equivalent.
Exterior wall coverings shall extend from the top of the foundation to the roof, and terminate at 2' nominal solid wood blocking between the rafters at all roof overhangs, or terminate at an eave enclosure.
Exterior wall vents shall be designed to resist the intrusion of flame and embers into the structure, or shall be protected with a corrosion-resistant, noncombustible wire mesh with 1/8" openings, or equivalent.
Exterior window, window wall, and glazed door assemblies shall have a 20 minute fire-resistant rating, or be designed using insulating glass units with a minimum of one tempered pane, or glass block units.
Exterior door assemblies shall have a 20-minute fire-resistant rating, or be designed using noncombustible construction, or be constructed of solid-core wood having stiles and rails not less than 1-3/8" thick, and field panels not less than 1-1/4" thick.
Exterior vehicle access doors shall be non-combustible or exterior fire-retardant treated wood.
Decking
Deck surfaces; stair treads, risers and landings; porches; and balconies within 10 feet of the primary structure shall comply with the following:
* Shall be designed using ignition-resistant materials, noncombustible construction, heavy timber, exterior fire-retardant treated wood or equivalent.
* The use of paints, coatings, stains or other surface treatments are not an approved method of protection.
Underfloor and appendages protection
The underside of cantilevered and overhanging appendages and floor projections shall maintain the ignition-resistant integrity of exterior walls, or the projections shall be enclosed to grade.
Ancillary buildings and structures
Ancillary buildings and structures, and detached accessory structures, shall comply with the above provisions.
Prior to building permit final approval, the property shall be in compliance with the state's vegetation clearance requirements.

NO./ DATE/ REVISION

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED. ANY REVISIONS TO THESE PLANS ARE THE PROPERTY OF D&Z DESIGN ASSOCIATES. THESE PLANS ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF D&Z DESIGN ASSOCIATES. ANY USE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF D&Z DESIGN ASSOCIATES. PRIOR TO COMMENCEMENT OF THE WORK, THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE PRECEDENCE OVER SCALED DIMENSIONS.

D&Z Design Associates, Inc.
A California Corporation
18646 Sutter Blvd., Suite 500
Morgan Hill, California 95037
Phone: (408) 778-7045 • Fax: (408) 778-7064
email: d&zdesign@bahc.com

DRAWING TITLE	Title Sheet
JOB TITLE	Sammut Garage
JOB ADDRESS	13990 Sycamore Drive Morgan Hill, California

DATE	DEC. 16, 2020
SCALE	NONE
PROJECT MANAGER	D. MERCADO
DRAWN	
JOB NO.	DZ27120
SHEET	

T1

Roads & Airports Construction Notes For Property Owners Template

Erosion and Sediment Control Notes:

- The Owner, Contractor, and/or any person performing construction activities shall install and maintain construction Best Management Practices (BMPs) on the project site and within the Santa Clara County Road Right of Way throughout the duration of construction and until the establishment of permanent stabilization and sediment control to prevent the discharge of pollutants including sediment, construction materials, excavated materials, waste materials into the Santa Clara County Road Right of Way, storm sewer waterways, and roadway infrastructure. BMPs shall include, but not be limited to, the following:
 - Prevention of pollutants in storm water discharges from the construction site and the contractor's material and equipment laydown/staging areas,
 - Prevention of tracking of mud, dirt and construction materials onto public road right of way, and
 - Prevention of discharge of water runoff during dry and wet weather conditions onto public road right of way.
- The Owner, Contractor and/or any person performing construction activities shall ensure that all temporary construction facilities, including but not limited to construction materials, deliveries, hazardous and non-hazardous material storage, equipment, tools, portable toilets, concrete washout, garbage containers, laydown yards, secondary containment areas, etc. are located outside the Santa Clara County Road Right of Way.

Permanent Monuments/ Monument Preservation:

- In accordance with the California Professional Land Surveyors' Act (Business and Professions Code) Chapter 15 Sections 8771 and 8725.1, California Penal Code 605, and California Government Code 27581, the Owner, Contractor, and/or any person performing construction activities that will or may disturb an existing roadway/ street monument, corner stake, or any other permanent surveyed monument and/or as shown on the plan sheet shall ensure that a Corner Record and/or Record of Survey are filed with the County Surveyor Office prior to disturbing said monuments. All disturbed or destroyed monuments shall be reset and filed in compliance with Section 8771.

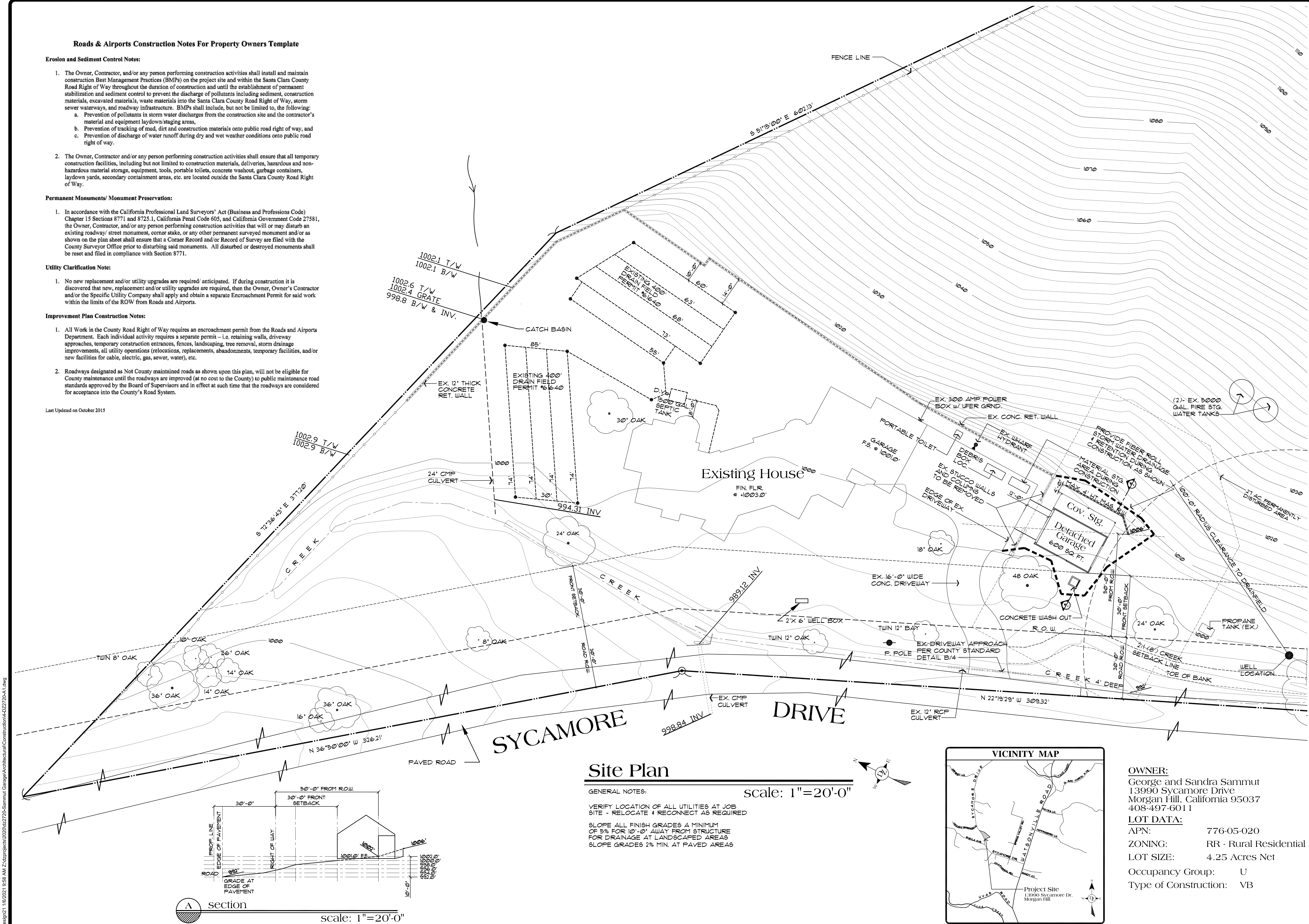
Utility Clarification Note:

- No new replacement and/or utility upgrades are required/ anticipated. If during construction it is discovered that new, replacement and/or utility upgrades are required, then the Owner, Owner's Contractor and/or the Specific Utility Company shall apply and obtain a separate Encroachment Permit for said work within the limits of the ROW from Roads and Airports.

Improvement Plan Construction Notes:

- All Work in the County Road Right of Way requires an encroachment permit from the Roads and Airports Department. Each individual activity requires a separate permit - i.e. retaining walls, driveway approaches, temporary construction entrances, fences, landscaping, tree removal, storm drainage improvements, all utility operations (relocations, replacements, abandonments, temporary facilities, and/or new facilities for cable, electric, gas, sewer, water), etc.
- Roadways designated as Not County maintained roads as shown upon this plan, will not be eligible for County maintenance until the roadways are improved (at no cost to the County) to public maintenance road standards approved by the Board of Supervisors and in effect at such time that the roadways are considered for acceptance into the County's Road System.

Last Updated on October 2015



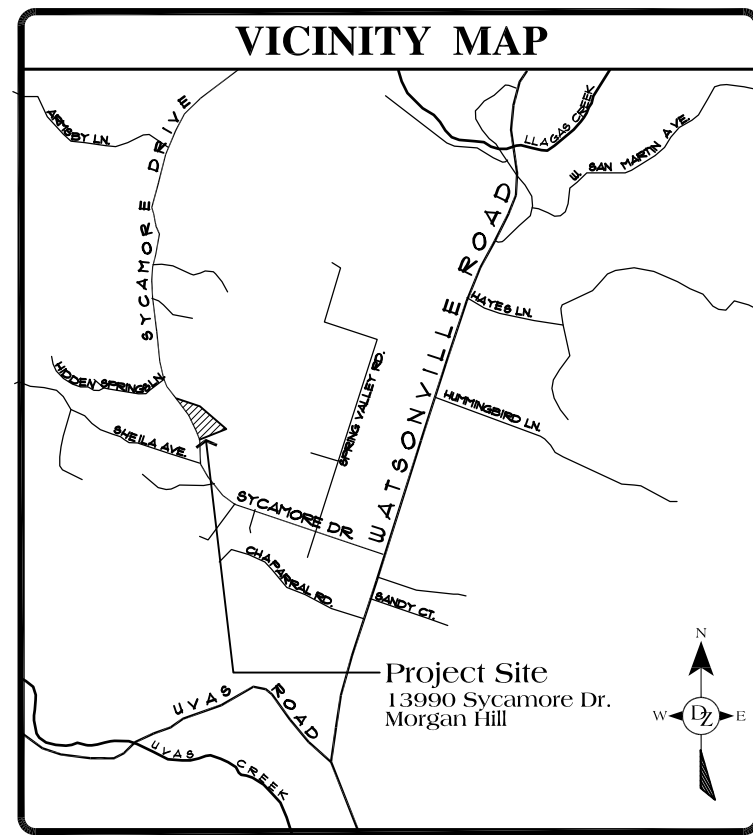
Site Plan

GENERAL NOTES:

VERIFY LOCATION OF ALL UTILITIES AT JOB SITE - RELOCATE & RECONNECT AS REQUIRED

SLOPE ALL FINISH GRADES A MINIMUM OF 5% FOR 10'-0" AWAY FROM STRUCTURE FOR DRAINAGE AT LANDSCAPED AREAS
SLOPE GRADES 2% MIN. AT PAVED AREAS

scale: 1"=20'-0"



OWNER:

George and Sandra Sammut
13990 Sycamore Drive
Morgan Hill, California 95037
408-497-6011

LOT DATA:

APN: 776-05-020
ZONING: RR - Rural Residential
LOT SIZE: 4.25 Acres Net
Occupancy Group: U
Type of Construction: VB

NO./ DATE/ REVISION

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D&Z Design Associates, Inc.
A California Corporation
18646 Sutter Blvd., Suite 500
Morgan Hill, California 95037
Phone: (408) 776-7045 Fax: (408) 776-7004
E-Mail: d&z@dag.com

DRAWING TITLE
Site Plan

JOB TITLE
Sammut Garage

JOB ADDRESS
13990 Sycamore Drive
Morgan Hill, California

DATE
DEC. 16, 2020

SCALE
1" = 20'-0"

PROJECT MANAGER
D. MERCADO

DRAWN
DZ

JOB NO.
DZ2720

SHEET

A1

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