

1. All culverts shall be made of high density polyethylene (HDPE), polyvinyl chloride (PVC), or reinforced concrete (RCP). All culverts shall have a smooth interior.
2. Inlets shall be made of concrete and have a smooth bottom.
3. All roof downspouts shall be connected to the storm drain system as shown and directed into the treatment area.
4. Paved surfaces adjacent to foundations shall be sloped away at a minimum of 2%. Unpaved surfaces adjacent to foundations shall be sloped away at a minimum of 5%.
5. All non improved disturbed areas shall be hydro seeded with native vegetation.











1. Fire Sprinklers shall be a deferred submittal.
2. Existing residence does not have fire sprinklers.
3. Property is located in the State Response Area.
4. Property is in Wildland Urban Interface (WUI).
5. Structures to meet WUI construction requirements.
6. Property to maintain defensible space at all times.
7. Driveway width will be maintained at 12' minimum with a clear height of 13' 6".
8. Existing driveway capable of supporting 75,000 lbs.
9. All proposed driveways to be made of an all weather surface capable of supporting 75,000 lbs.
10. All proposed driveways shall have a max. slope of 16%.

Proposed Floor Area	
Proposed Residence	2,418 SF
Proposed Attached Garage	325 SF
Total Floor Area	2,743 SF

Tree Removal Summary		
#	Species	Size
1	Walnut	24"

Area of Disturbance = 12,510 SF

Legend for the cross-section diagram:

-  (ex structure)
-  (ex pavement)
-  (ex gravel)
-  Proposed Structure
-  Proposed Baserock Driveway
-  Proposed Concrete
-  Proposed Pavement
-  Existing Contour