#### **County of Santa Clara**

Department of Planning and Development Planning Office

County Government Center, East Wing, 7th Floor 70 West Hedding Street San Jose, California 95110-1705 (408) 299-5770 FAX (408) 288-9198 www.sccplanning.org



STAFF REPORT Zoning Administration May 5, 2022 **Public Hearing Item No. 1** 

Staff Contact: Charu Ahluwalia, Associate Planner (408) 299-5740, <u>charu.ahluwalia@pln.sccgov.org</u>

#### PLN21-011 (STANFORD UNIVERSITY) Architecture & Site Approval - Stanford Graduate School of Education Project

<u>Summary</u>: Consider request for an Architecture & Site Approval (ASA) and Grading Approval for the Stanford Graduate School of Education (GSE) project, including rehabilitation of the existing North Building (significant historic resource determined to be potentially eligible for listing), demolition of two out of three buildings of the Barnum Center (not a historic resource), construction of a new four-story South Building directly across from the North Building, and associated site improvements. The project site is located adjacent to the Green Library (a listed historic resource) and east of the Main Quadrangle (a listed historic resource), along Lasuen Mall, on Stanford Campus. Proposed grading quantities associated with the Grading Approval include 834 cubic yards (c.y.) of cut and 276 c.y. of fill, with a maximum depth of 9 feet.

Owner:Stanford UniversityApplicant:Michael Mithen, Project ManagerAddress:485 Lasuen Mall, StanfordAPN:142-07-085Supervisorial District:5

Community Plan Designation: Academic Campus Zoning: A1 (General Use) Project Area: 3.7 acres

#### **RECOMMENDED ACTIONS**

- A. Accept Addendum to 2000 Stanford Community Plan and GUP Program EIR; Attachment A; and,
- B. Grant a concurrent land use approval for an Architecture & Site Approval and Grading Approval, subject to Conditions of Approval in Attachment B.

#### ATTACHMENTS INCLUDED

- Attachment A Addendum to the Stanford University 2000 GUP Program EIR
- Attachment B Preliminary Conditions of Approval
- Attachment C Location & Vicinity Map
- Attachment D Proposed Plans
- Attachment E DPR for the Existing Graduate School of Education North Building and Barnum Center
- Attachment F Stanford GSE Project Statement of Compatibility (prepared by Stanford)
- Attachment G County Hired Historic Consultant (JRP Historical Consulting, Inc.) Peer Review Memoranda and Stanford's Response
- Attachment H 2000 Stanford GUP EIR Excerpt (Historic Resources Chapter)

#### **PROJECT DESCRIPTION**

The Graduate School of Education Project (project) proposes to create a complex that would consolidate the school's dispersed programs into one location. The proposed project includes rehabilitation of the existing Graduate School of Education North Building (significant historic resource determined potentially eligible for listing), demolition of two out of three buildings of the Barnum Center (not a historic resource), construction of a new four-story South Building directly across from the North Building, and associated site improvements including construction of a new courtyard located between the North and South Buildings. The site is located along Lasuen Mall in the Campus Center development district, as identified under the 2000 Stanford General Use Permit. Attachment C includes a location and vicinity map of the project site.

#### Rehabilitation of the Existing North Building

The North Building has been identified as a significant historic resource determined to be potentially eligible for listing in the California Register of Historic Resources (CRHC). It is a three-story building with an H-shaped plan with two small north and south courtyards. The building fronts Lasuen Mall and links to the adjacent Green Library building. The proposed rehabilitation includes the following:

- Restoration of the identified character-defining features concentrated on the primary **west façade** of the historic resource, including preservation and maintenance of existing arcades and classical features such as buttresses and brackets.
- Restoration of the **east and north facades** and modification to the secondary east façade, including lowering the existing north courtyard to bring light into the basement level.
- Restoration and addition of a glass and metal curtain wall to the existing secondary **south façade**.
- Removal, salvage, and re-installation of the existing clay tile roof and selected windows.

#### Modifications to the Barnum Center

Three existing buildings together form the Barnum Center. All three structures, including the Old Bookstore, Old Store, and 2007 buildings, have been evaluated, and none was considered eligible for listing in the CRHC. The project proposes to demolish the Old Store and 2007

buildings, with a total demolition area of 7,376 sq. ft. (7,198 GUP sq. ft.). The Old Bookstore building is proposed to be retained.

#### Construction of a new South Building

A new 60,052 sq. ft. (53,841 GUP sq. ft.) four-story South Building is proposed directly across from the North Building, adjacent to the Old Bookstore building. The proposed height of the building is 56 feet-6 inches, as measured from the ground level to the highest roof ridge. The four floors contain a mixture of classrooms, offices, conference rooms, and gathering spaces. A new landscaped courtyard is proposed between the North and South Buildings.

Attachment D includes the site plan, floor plans, and elevations for the proposed project.

Proposed grading quantities associated with the Grading Approval include 834 c.y. of cut and 276 c.y. of fill, with a maximum depth of 9 feet. The grading is for lowering the existing courtyard by the North Building east façade, to ensure proper drainage on the site, and overall site landscaping.

Two oak trees and thirteen non-oak trees over 12-inches in diameter are proposed for removal. Of these, two oak and three non-oak trees count as protected trees under the 2000 Stanford GUP and would be replaced by six new oak and three new non-oak trees. All remaining trees with a 12-inch or greater diameter surrounding the project site will be considered protected. No new parking is proposed with this project.

#### **REASONS FOR RECOMMENDATION**

### A. Environmental Review and Determination - California Environmental Quality Act ("CEQA")

The proposed project is in conformance with both the Stanford University 2000 Community Plan (SCP) and General Use Permit (GUP) and has no new effects beyond those analyzed in the Stanford University 2000 GUP Program Environmental Impact Report (Program EIR or EIR), certified by the Board of Supervisors in December 2000. The Program EIR analyzed the environmental impacts of campus development allowed under the SCP and GUP. The proposed project is within the scope of the campus development analyzed in the 2000 GUP. The 2000 GUP allows Stanford to construct up to 2,035,000 net square feet of academic and academic support uses on Stanford lands in specified development districts but does not identify the precise locations within particular development districts where construction will occur. Thus, site-specific analysis for Stanford projects is required to assess any potential impacts to listed historic resources or potential historical resources.

The significance of a historic resource is materially impaired when a project is demolished or materially alters the physical characteristics of a portion of a historic resource that conveys its historic significance, thereby justifying its inclusion or potential inclusion in the California Register. Under CEQA, a project that meets the Secretary of Interior's Rehabilitation Standards (SIS) for the treatment of Historic Properties is recognized to result in only a 'less-than-significant' impact. The proposed Stanford GSE Project is located on the Stanford University campus in an area that has several historical resources or potentially historic resources. The site for this project comprises of the historically significant existing North Building and is located across the street from Main Quadrangle, the most distinctive and character-defining built environment on the campus, and next to another sensitive historical resource, the Green Library.

As per the 2000 GUP mitigation, monitoring and reporting program, whenever new development is proposed in the immediate vicinity of a historic resource, or remodeling/alteration of a historic resource is proposed, Stanford submits a Statement of Compatibility (SOC) to the County Planning Office confirming that the new building construction and remodeling/alteration is compatible (as defined by the SIS with the historic resource(s).

The SOC concluded that the Stanford GSE project design meets the applicable SIS. JRP Historical Consulting, LLC, which peer-reviewed the SOC for the County, concurred with this evaluation. The project also includes demolition of two out of three buildings of the Barnum Center that have been determined to be <u>ineligible for listing (not a potential historic resource)</u>.

A CEQA Addendum to the 2000 GUP EIR has been prepared (See Attachment A) to record the site-specific analysis for this project, which determines the impact to North Building and nearby historic resources – Main Quadrangle and Green Library – to be <u>'less-than-significant</u>,' pursuant to CEQA.

#### **B.** Project Compliance

- 1. <u>Stanford Community Plan and GUP:</u> The Stanford GSE Project conforms to applicable Community Plan goals, strategies, and policies. Teaching, research, and administrative facilities are permitted uses within the Academic Campus land use designation, and as conditioned, will satisfy the requirements of the GUP Condition D.1.a. The 2000 SCP and GUP governs development projects on the Stanford campus. This project conforms to the criteria set forth by the GUP and provisions identified within the Community Plan, and is subject to compliance with the preliminary Conditions, outlined in Attachment B. The Stanford Community Plan and GUP are not a necessary attachment to this staff report; however, each document can be viewed on the County's website.
- 2. <u>ASA approval</u>: The project substantially conforms to the requirements and guidelines in the SCP and GUP. Pursuant to GUP Condition D(1)(a), site-specific applications allowed under the 2000 GUP shall be processed through the County's ASA application process, with review and approval by a Zoning Administration Hearing Officer through a duly noticed public hearing. Additionally, when there is potential for impacts to listed or potential historic resources, review the project by HHC is required, prior to the ZA public hearing.

A full project analysis follows in Section D of this report. The HHC was asked to review the project, with consideration of the entire administrative record, including Staff analysis of ASA

and Grading Approval required findings with all associated attachments, and provide a recommendation to the ZA Hearing Officer, to approve or deny the project.

#### C. ASA Findings:

Pursuant to §5.40.040 of the County Zoning Ordinance, the Zoning Administration Hearing Officer may grant an ASA contingent upon specific findings. In the following discussion, the scope-of-review findings are listed in **bold** with an explanation of how the project meets the required standard.

### 1. Adequate traffic safety, on-site circulation, parking and loading areas, and insignificant effect of the development on traffic movement in the area;

#### Long-term traffic

The project is an academic use (teaching, research, and administrative facilities) that would be located within an established area of the Stanford academic campus. Traffic impacts of academic projects in the core of the campus have been assessed in the programmatic 2000 General Use Permit Environmental Impact Report (GUP EIR). Many of the trips generated from the proposed project are anticipated to be on bicycles, walking or riding the Marguerite shuttle, rather than driving. The overall traffic coming to the Stanford campus would continue to be the same or would be well within the confines of the 2000 GUP. Therefore, the traffic would be consistent with that analyzed in the programmatic 2000 GUP EIR.

#### Short-term construction traffic

The project will result in short-term impacts related to construction activities; however, Conditions of Approval have been added to this project to mitigate these short-term impacts to a '*less-than-significant*' level. All construction trucks will be required to use approved truck routes, for transporting construction materials to and from the site. Furthermore, the project is conditioned to restrict construction material deliveries to non-peak hours, as defined in the 2000 GUP EIR. Compliance with the Conditions of Approval (Attachment B) will ensure that the short-term construction traffic associated with this project will not have a significant effect on traffic movement in the area.

#### Parking

Stanford addresses parking needs at the University in a comprehensive manner, staying within the parking cap established under the 2000 GUP. The project has no new proposed parking or removal of parking spaces. There is adequate commuter parking within this region of the campus to address current needs.

For the reasons stated above, this finding *can* be made.

## 2. Appearance of proposed site development and structures, including signs, will not be detrimental to the character of the surrounding neighborhood or zoning district;

Description of the surrounding neighborhood:

The subject project site is located within the core academic campus of Stanford, situated along Lasuen Mall. The location of the project is along a prominent public viewshed. As a pedestrian moves from Jane Stanford Way (the main pedestrian and bicycle street that runs across the front of the Stanford campus) onto Lasuen Mall, the pedestrian experiences an area that has several historical resources or potentially historic resources. The project site comprises of the historically significant existing North Building and is located across the street from Main Quadrangle, the most distinctive and character defining built environment on the campus, and adjacent to another historic resource, the Green Library. Both the Main Quad and the Green Library are listed historic resources (see Attachments C).

#### Compatibility with Historic Resources:

Pursuant to the 2000 GUP, whenever new development is proposed in the immediate vicinity of a historic resource, or remodeling/alteration of a historic resource is proposed, Stanford submits an SOC to the County Planning Office outlining design principles for the proposed new construction's compatibility with the historic resource(s). Stanford University provided a SOC for the North Building and South Building (see Attachment F) with compatibility analysis of the remodeling/alteration and new construction to nearby historic resources – Main Quad and Green Library - located in the immediate vicinity of the project site.

According to the SOC, the proposed design for the North Building remodeling/ alteration and design of the new South Building would meet the SIS and would be compatible with nearby historic resources – Main Quad and Green Library. The SOC was peer reviewed by a County-hired consulting firm, Historical Consulting, Inc. JRP and Staff concur with the analysis and conclusion in the SOC that the proposed project conforms to the SIS and would result in a *'less-than-significant'* impact to historical resources within and near the project site, as currently presented. The proposed project meets the SIS Rehabilitation Standards Nos. 1, 2, 3, 4, 5, 6, 7, 9 and 10, for the Treatment of Historic Properties. The table in Attachment A, CEQA Addendum, summarizes the SIS findings. For detailed discussion on the SIS findings please see Attachment F.

A historic resource could also be damaged from adjacent construction through vibrational impacts, (construction blasting or pile driving), or from other physical impacts through collapse and damage from construction machinery. Conditions of Approval in Attachment B requiring a construction protection plan and monitoring during construction would prevent these indirect impacts.

#### Neighborhood Compatibility of the New South Building

The proposed Stanford GSE South Building site is located along Lasuen Mall, a main pedestrian street on Stanford campus, and in the immediate vicinity of historic resources - Stanford GSE North Building, Main Quad and Green Library. Visual character of Lasuen Mall frontage, which includes both historically significant and new buildings, includes a variety of façade articulations, window openings and types, and other common and noticeable architectural elements, such as arches. Given the significant location of the project, substantial consideration of materials and design is essential to blend the new South Building with the exiting, older and significant structures along Lasuen Mall.

The proposed design for the South Building conforms to the massing (please see discussion under ASA Finding No. "8" for discussion on height, size, and scale) and material palette of the surrounding buildings. In response to the geometry of the North Building, the South Building's massing would be U-shaped, and the main entry would face the courtyard instead of Lasuen Mall. The massing relationship between the proposed South Building and the existing Barnum Center would emulate the varying size and mass of the North Building's projecting entrance portico. The original Barnum Center located in the foreground of the new South Building will continue to function programmatically as a part of the GSE. The color palette and materiality of the South Building would complement the North Building, Green Library, and the Main Quad, with hipped clay tile roof and buff stucco exterior.

To maintain continuity with the neighborhood character, facades of the South Building would be designed to respond to the varying site conditions. While the south façade massing and fenestration would be symmetrically designed, the north façade massing is asymmetrical in response to the North Building's corresponding fenestrations. Like the North Building, the South Building would have a curtain wall deeply set back into the north courtyard would relate in design. The east and west facades would have different fenestration types to better fit into the historic context. The west facade of the South Building would be composed of windows with muntin patterns that would add variety and emulate Barnum Center's muntin patterns.

For these reasons, and as described and analyzed above, the proposed GSE Buildings will be compatible, and this finding *can* be made.

### 3. Appearance and continued maintenance of proposed landscaping will not be detrimental to the character of the surrounding neighborhood or zoning district;

The GUP and the SCP require tree replacement for removal of protected trees that are 12 inches or greater in diameter, as measured at 4.5 feet from grade level. Tree replacement ratio is 3:1 for all protected oak trees and 1:1 for all protected non-oak trees. Two oak trees and thirteen non-oak trees over 12-inch diameter are being removed. Of these, two oak and three non-oak trees are considered protected and would be replaced by six new oak and three new non-oak trees. In addition, two non-oaks over 12-inch diameter are being relocated with this project. All remaining trees with a 12-inch or greater diameter surrounding the project site will be considered protected.

A preliminary landscape plan was submitted by the applicant for review. No preliminary issues of concern were found and the plan meets County requirements. The final landscape plan submitted into plan check, should the application be approved, shall meet the requirements of the SCP and GUP, be in substantial conformance to the landscape plan submitted with this application, and shall be similar to the existing site landscaping to ensure that the landscaping will not be detrimental to the character of the surrounding area. Any project that is approved would be subject to a standard condition

requiring that the landscaping meet the requirements of the SCP and GUP, as well as be similar to the existing site landscaping in the immediate area. The final landscape plan would also be subject to the requirements of the County Sustainable Landscape Ordinance. As such, the final landscape plan will blend in with the character of the surrounding area.

As such, this finding *can* be made.

### 4. No significant, unmitigated adverse public health, safety and environmental effects of proposed development;

The Program GUP EIR certified by the Board of Supervisors in December 2000 analyzed the environmental impacts of Stanford campus development allowed under the SCP and GUP. The proposed GSE project is within the scope of the development analyzed in the 2000 GUP EIR. All appropriate conditions of approval have been added to ensure conformance with the 2000 GUP EIR.

The CEQA Addendum analysis (Attachment A) concluded that the proposed project, including rehabilitation of the North Building, demolition of two buildings of the Barnum Center, and construction of the new South Building, would not result in any significant environmental impacts, as it relates to historic resources. The project has been reviewed with respect to all applicable regulations relating to public health and safety by County subject matter experts, including Land Development Engineering, Department of Environmental Health, and the Fire Marshal. All subject matter experts have recommended approval of the project with Conditions and determined that the project will not result in significant, unmitigated adverse public health, safety, or environmental effect. Furthermore, the CEQA analysis for the project determined that with the conditions of approval, the project would not result in any significant environmental impacts. As such, this finding *can* be made.

### 5. No adverse effect of the development on flood control, storm drainage, and surface water drainage;

The project site does not contain any creeks or streams. The project site is not located within a 100-year flood zone. The project has been reviewed by County Land Development and Engineering staff with respect to all applicable regulations relating to drainage and flood control. The project has been conditioned (Attachment B) to comply with the C3 requirements of the NPDES permit. As such, this finding *can* be made.

### 6. Adequate existing and proposed fire protection improvements to serve the development;

The Fire Marshal's Office has reviewed and conditioned the project to ensure existing and proposed fire protection access and water supply are in conformance with applicable regulations. Additionally, Conditions of Approval (Attachment B) have been included to ensure compliance with County regulations relating to fire protection. For these reasons, this finding *can* be made.

#### 7. No significant increase in noise levels;

Due to the nature of the proposed use, and its location within the Stanford Campus area, the project is not anticipated to cause any significant increases in noise levels to surrounding properties. The project may create short-term/temporary construction noise impacts due to construction activities and construction traffic. The project has been conditioned to require submittal of a Traffic and Construction Management Plan prior to building permit issuance. Furthermore, construction activities are limited to the hours of 7AM and 7PM, Monday through Saturday, with no construction activity occurring after 7PM, or on Sundays. Therefore, as conditioned, this finding *can* be made.

## 8. Conformance with zoning standards, unless such standards are expressly eligible for modification by the Zoning Administrator as specified in the Zoning Ordinance.

The property is zoned A1, which is the "General Use" zoning district, which provides for general purpose uses subject to discretionary land use approvals. The standards applicable to development within this zoning district are listed in Table 2.50-2 of the County Zoning Ordinance.

The proposed new South Building has four floors above grade and has a maximum height of 56'-6" as measured from the ground floor level to the roof ridge, which is over the general 35-foot zoning standard limitation in A1 district. The Zoning Administrator/Hearing Officer is allowed to make an exception based on the location and design of the project. The proposed height is generally consistent with the surrounding building character. The South Building's ridge height at 56'-6" would be equivalent to the 56'-0" ridge height of the North Building main façade and the Main Quad. As such, Staff recommends support of the increase to the height limitations for this project, and this finding *can* be made.

## 9. Conformance with the general plan and any applicable area or specific plan, or, where applicable, city general plan conformance for property located within a city's urban service area; and

The Stanford academic campus is primarily designated as Major Educational and Institutional Use within the County General Plan. The SCP identifies the project site for development of the Stanford GSE Project as Academic Campus. The proposed project is part of the surrounding academic buildings and complies with the applicable policies set forth in the Community Plan, with reference to SCP-LU1 and SCP-LU2, which allow teaching, research and administrative facilities as permitted uses within the Academic Campus land use designation. Based on the discussion, this finding *can* be made.

### 10. Substantial conformance with the adopted *"Guidelines for Architecture and Site Approval"* and other applicable guidelines adopted by the County.

As discussed above in more detail, under ASA Finding No. 2, the proposed project site is located along a prominent public viewshed on campus, immediately adjacent to two listed historic resources (Main Quad and Green Library). The discussion under ASA Finding No. 2 is also applicable and recounted for this finding (Finding No. 10).

Below are excerpts of the "*Guidelines for Architecture and Site Approval*", whereby Staff is able to support the project as currently designed:

<u>Guideline for Architecture and Site Approval, Chapter 1- Design, Section A -</u> <u>Architecture, Compatibility with Neighbors:</u>

Structures should relate in size and general appearance to adjacent buildings and to the neighborhood in which they are located. No structures will be approved which [are] aesthetically incompatible with the best neighboring structures. Site design, architecture and landscaping; use of similar roofing, wall material and complementary colors are means by which a proposed project can be made compatible with its neighbors.

The proposed design for the GSE project, as modified to address Staff's initial concerns, is compatible with the neighboring structures in terms of siting, similar roofing, use of complementary colors, and fenestration design. The proposed buildings also conform to the massing (please see discussion on height, size, and scale, under Finding No. 8) and material palette of the surrounding buildings with buff colored stucco exterior. Elevation design of the proposed South Building would be designed to respond to the varying site conditions and would incorporate common and noticeable architectural proportions of the adjacent/neighboring buildings to maintain neighborhood compatibility.

As detailed in the discussion above, the project is compatible with the County's *Guidelines for Architecture & Site Approval*, and Staff *can* make this finding.

#### D. Grading Findings:

Pursuant to Section C12-433, all Grading Approvals are subject to specific findings. In the following discussion, the scope-of-review findings are listed in **bold**, with an explanation of how the project meets the required standard.

## 1. The amount, design, location, and the nature of any proposed grading is necessary to establish or maintain a use presently permitted by law on the property.

Proposed estimated grading quantities associated with the grading approval are 834 c.y. of cut and 276 c.y. of fill, with a maximum depth of 9 feet. The majority of the cut generated will be due to the excavation for lowering the existing courtyard by the North Building east façade. Other grading is to ensure proper drainage on the site, and site landscaping. Grading will conform to natural terrain and existing topography of the site as much as possible. The amount, design, location, and nature of proposed grading is necessary to establish the new building, which is a permissible use in the Al zoning district, for the existing permitted use. As such, this finding *can* be made.

## 2. The grading will not endanger public and/or private property, endanger public health and safety, will not result in excessive deposition of debris or soil in the watercourse.

The applicant will be required to obtain a Grading Permit through the County's Land Development Engineering, which will ensure that that the project adequately drains to an approved location. No excessive material will be deposited onsite. All excess grading will be hauled to a County-approved off-site facility. Furthermore, no grading is proposed near a creek that may impair any existing spring or watercourse. As such, this finding *can* be made.

### **3.** Grading will minimize impacts to the natural landscape, scenic, biological and aquatic resources, and minimize erosion impacts.

The proposed grading has been designed to minimize impacts to existing landscaping, and will not result in any scenic, biological, or aquatic resource impacts. Two oak and thirteen non-oak trees over 12-inch diameter are being removed. Of these, two oak and three non-oak trees count as protected trees under the 2000 Stanford GUP. The project proposes to plant six new oak and three new non-oak replacement trees. Compliance to the conditions of approval (Attachment B) have been identified and are required to minimize impacts to the natural landscape, scenic, biological and aquatic resources, and minimize erosion impacts. As such, this finding *can* be made,

# 4. For grading associated with a new building or development site, the subject site shall be one that minimizes grading in comparison with other available development sites, taking into consideration other development constraints and regulations applicable to the project.

The site is relatively flat, with 1.7% cross slope from South to North and less than 1% slope from West to East. The project will demolish two buildings of the existing Barnum Center to establish the South Building. The finish floor level of the proposed South building is at roughly the same elevation of the existing Barnum Center. By reusing part of the Barnum Center location, the project would avoid grading on a new development site. The grading associated with the Grading Approval is primarily for lowering the existing courtyard by the North Building east façade. The proposed grading is in conformance with all applicable regulations. As such, this finding *can* be made.

## 5. Grading and associated improvements will conform with the natural terrain and existing topography of the site as much as possible and should not create a significant visual scar.

The new proposed South Building is designed to conform with existing topography to the maximum extent possible, to minimize grading and visual impacts. The project has been conditioned to require that the landscaping meet the requirements of the SCP and GUP, and to resemble the existing site landscaping in the immediate area. As such, this finding *can* be made.

#### 6. Grading conforms with any applicable general plan or specific plan policies; and

The proposed grading is in conformance with specific findings and policies identified in the County General Plan. The proposed grading would be designed to minimize grading and to reduce visual impacts from surrounding uses in keeping with General Plan policies. The proposed grading is compatible with the surrounding academic facilities in the area. As such, this finding *can* be made.

### 7. Grading substantially conforms with the adopted "Guidelines for Grading and Hillside Development" and other applicable guidelines adopted by the County.

The project site is in the Al zone on the academic campus of Stanford University. This finding *does not apply* to the site.

#### **ADDITIONAL INFORMATION**

#### D. <u>Historical Heritage Commission (HHC) Review & Recommendation</u>

#### **Role of HHC**

Pursuant to the GUP Condition of Approval 'O.2,' 2000 GUP EIR Mitigation Measure HA-1(a)(2), and related 2000 GUP EIR Mitigation, Monitoring and Reporting Program ("MMPR");

"If a construction project to be carried out pursuant to the General Use Permit includes remodeling of, or **development that could physically affect, a structure that is included in the Santa Clara County Heritage Resource Inventory,** the California Register of Historical Resources, or the National Register of Historic Places, or that County planning staff determines is eligible for listing or is a potential historic resource, the following shall apply:

2. <u>New Development:</u> New development plans shall be reviewed by the Santa Clara County Historic Heritage Commission for appropriateness of design and siting to ensure that the historical significance of the structure is not adversely affected. If the structure is listed on the California Register or the National Register, the HHC shall request SHPO comment prior to approving the proposed project."

The aforementioned EIR Mitigation Measure HA-1(a)(2) requires Stanford University ASA applications to be referred to the HHC, prior to the Zoning Administration public hearing, if the new development is located in proximity to historic or potentially historic resources, such as the subject application.

#### **HHC Recommendation**

The proposed Stanford GSE Project was reviewed by the HHC at the April 21, 2022, meeting. At the meeting, the HHC forwarded a recommendation to the ZA Hearing Officer to approve the concurrent land use entitlement for the Stanford GSE project ASA and Grading Approval, to allow rehabilitation of the existing North Building, partial demolition of Barnum Center, and construction of a new South Building at 507 Lasuen Mall, Stanford.

#### BACKGROUND

On December 12, 2000, the County approved the 2000 Stanford SCP and GUP, governing development projects on the Stanford campus. The GUP allows Stanford to construct up to 2,035,000 net square feet of academic and academic support uses, 3,018 new housing units, and 2,300 net new parking spaces on Stanford lands. The GUP was subsequently amended three times to move permitted academic square footage from one district to another, provide flexibility in type of housing construction, and for additional housing. The proposed project is located in the Campus Center Development District. The project will result in a net new construction of 48,193 academic square footage. As of April 2022, the existing square footage in the Campus Center Development District is 70,335 sq. ft. Should this project be approved, the balance allocation in the Campus Center District would be 22,142 sq. ft.

On January 26, 2021, a concurrent land use application for an ASA and Grading Approval was submitted for the project. The application was initially deemed incomplete for processing on February 25, 2021. The applicant resubmitted on August 23, 2021, November 22, 2021, and February 22, 2022. The application was deemed complete on March 22, 2022, pending a 30-day CEQA determination.

On April 21, 2022, the project was heard by the County HHC, pursuant to a duly noticed public hearing. The meeting notice was mailed to property owners within a 300-foot radius, and to the Stanford Master Mailing list on April 12, 2022. At the meeting, the HHC forwarded a recommendation of approval to the ZA Hearing Officer.

On April 22, 2022, a public notice for the public hearing before the Zoning Administration Hearing Officer was mailed to all property owners within a 300-foot radius, and to the Stanford Master Mailing list. The public notice was also published in the San Jose Post Record on April 21, 2022.

#### **STAFF REPORT REVIEW**

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Prepared by:	Charu Ahluwalia,	Associate Planner

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Reviewed by: Michael Meehan, Principal Planner

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### **ATTACHMENT A**

Addendum to 2000 Stanford Community Plan/ General Use Permit Program Environmental Impact Report (EIR)

#### **County of Santa Clara**

Department of Planning and Development Planning Office

County Government Center, East Wing, 7th Floor 70 West Hedding Street San Jose, California 95110-1705 (408) 299-5770 FAX (408) 288-9198 www.sccplanning.org



### ATTACHMENT A

#### ADDENDUM TO 2000 STANFORD COMMUNITY PLAN/GENERAL USE PERMIT PROGRAM ENVIRONMENTAL IMPACT REPORT

Pursuant to Section 15162 of the CEQA Guidelines, the County of Santa Clara has determined that the project described below is pursuant to or in furtherance of an Environmental Impact Report which has been previously adopted and does not involve new significant impacts beyond those analyzed in the previous Environmental Impact Report (EIR).

File Number	APN(s)	Date		
PLN21-011	142-07-085	04/11/2022		
Project Name	Project Type	Project Type		
Stanford Graduate School of Education Project	Architecture and Site Approval and Grading Approval			
Owner	Applicant	Applicant		
Stanford University Stanford University/ Michael Mithen		Michael Mithen		
Project Location				
485 Lasuen Mall, Stanford				
Project Description				

The proposed project is for the rehabilitation of the existing Graduate School of Education North Building (significant historic resource determined to be potentially eligible for listing), demolition of two out of three buildings of the Barnum Center (not a historic resource), construction of a new four-story South Building directly across from the North Building, and associated site improvements. The project site is located adjacent to the Green Library (a listed historic resource) and east of the Main Quadrangle (a listed historic resource), along Lasuen Mall, on Stanford Campus. Proposed grading quantities associated with the Grading Approval include 834 cubic yards (c.y.) of cut and 276 c.y. of fill, with a maximum depth of 9 feet.

#### **Background and Summary of Findings**

Per the California Environmental Quality Act (CEQA) of 1970 (as amended), all discretionary County actions that have the potential for environmental effects are subject to environmental review. A new Negative Declaration or EIR is **not required** if a previous CEQA document has been prepared and adopted or certified, which adequately address all the possible environmental impacts of the proposed project, and (a) no substantial changes are proposed in the project which will result in new significant environmental effects, (b) no substantial changes have occurred with respect to the circumstances under which will result in the identification of new significant impacts, or (c) no new information is available which shows that the project will have new significant impacts or mitigation measures and alternatives which were previously found to be infeasible would now in fact be feasible (CEQA Guidelines 15162).

The Planning Office evaluated the project described above and has determined that none of the circumstances exist which would require additional environmental review. The environmental impacts of the project have been adequately evaluated in the program EIR adopted by the Board of Supervisors on December, 15, 2000,

for the project entitled Stanford University Community Plan and General Use Permit ("2000 GUP EIR"), and no further environmental review is required under CEQA, and an Addendum to an EIR may be prepared for the described project.

**Historic Resources:** The 2000 GUP allows Stanford to construct up to 2,035,000 net square feet of academic and academic support uses, on Stanford lands in specified development districts, but does not identify the precise locations within particular development districts where construction will occur. Thus, site specific analysis for Stanford projects is required to access any potential impacts to listed historic resources or potential historical resources.

The significance of a historic resource is materially impaired when a project is demolished or materially alters the physical characteristics of a portion of a historic resource that conveys its historic significance, thereby justifying its inclusion or potential inclusion in the California Register. Under CEQA, a project that meets the Secretary of Interior's Rehabilitation Standards (SIS) for the treatment of Historic Properties is recognized to result in only a 'less-than-significant' impact.

The project site is located adjacent to the Green Library (a listed historic resource) and east of the Main Quadrangle (a listed historic resource), along Lasuen Mall, on Stanford Campus. Components of the project include:

#### • Rehabilitation of the Existing North Building

The existing Graduate School of Education North Building was built in 1938 by architect Bakewell and Brown. The Department of Parks and Recreation 523 form (DPR 523 form or DPR)for the North Building (see Attachment D), determined the building potentially eligible for listing under Criterion 3 of the California Register of Historic Resources (CRHC), for its architectural qualities. The proposed project includes rehabilitation of the North Building, including, (1) restoration of the identified character-defining features concentrated on the primary west façade of the historic resource, (2) restoration of the east and north facades and modification to the secondary east façade, including, lowering the existing north courtyard to bring light into the basement level, (3) restoration and addition of a glass and metal curtain wall to the existing secondary south façade, and (4) removal, salvage, and re-installation of the existing clay tile roof and selected windows.

#### • Demolition of Two out of Three buildings of the Barnum Center

The DPR for the Barnum Center (see Attachment D), determined complex consisting of three structures – the Old Bookstore, Old Store, and 2007 buildings – as ineligible for listing (thus not a potential historic resource). The project proposes to demolish the Old Store and 2007 buildings.

#### • New South Building

A new four-story South Building is proposed directly across from the North Building (significant historic resource determined to be potentially eligible for listing), adjacent to the Barnum Center's Old Bookstore building.

Pursuant to the 2000 GUP, whenever new development is proposed in the immediate vicinity of a historic resource, or remodeling/alteration of a historic resource is proposed, Stanford submits an SOC to the County Planning Office outlining design principles for the proposed new construction's compatibility with the historic resource(s). Stanford University provided a SOC for the North Building and South Building (see Attachment E) with compatibility analysis of the remodeling/alteration and new construction to nearby historic resources – Main Quad and Green Library – located in the immediate vicinity of the project site.

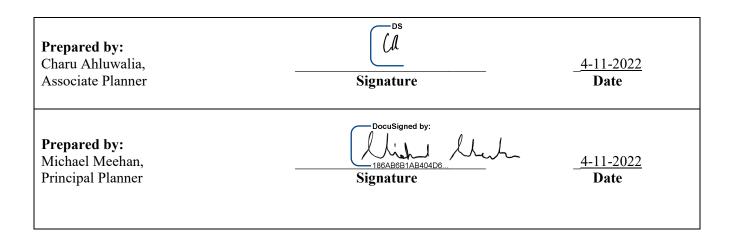
According to the SOC, the proposed design for the North Building remodeling/ alteration and design of the new South Building would meet the SIS and would be compatible with nearby historic resources – Main Quad

and Green Library. The SOC was peer reviewed by a County-hired consulting firm, Historical Consulting, Inc. JRP and Staff concur with the analysis and conclusion in the SOC that the proposed project conforms to the SIS and would result in a 'less-than-significant' impact to historical resources within and near the project site, as currently presented. The proposed project meets the SIS Rehabilitation Standards Nos. 1, 2, 3, 4, 5, 6, 7, 9, and 10, for the Treatment of Historic Properties. The table below summarizes the SIS findings.

Secretary of the Interior's Standards for Rehabilitation		Analysis	Findings	
1	A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.	The project would enable continued use of the North Building; it would continue to function as the School of Education's main facility. Consistent with the standards to retain the relevancy of the resource as an education facility, the non-character-defining Cubberley auditorium would be removed, and the vacated space would be adaptively modified to a collaborative space. The auditorium is "not character-defining feature" of the North Building as clarified in the 2021 DPR (see Attachment). The proposed addition of the metal and glass curtain wall to the North Building's secondary south façade requires changes that would enable the preservation of distinctive materials and features on the rest of the building to be consistent with Standard No. 1. (For detailed discussion please see Statement of Compatibility prepared by Stanford, Attachment E)	Meets Standard	
2	The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and <b>spatial</b> relationships that characterize a property will be avoided.	The proposed project would maintain the massing, retain the primary and secondary façade, and not alter any character-defining features of the historic resource. The North Building massing would be minimally altered as the South Building would be physically separated by an open space. The project would be consistent with Standard No. 2 (For detailed discussion please see Statement of Compatibility prepared by Stanford, Attachment E)	Meets Standard	
3	Each property will be recognized as a <b>physical record of its time</b> , <b>place</b> , <b>and use</b> . Changes that create <b>a false sense of historical</b> <b>development</b> , such as adding conjectural features or elements from other historic properties, will not be undertaken.	There are no changes proposed that might be mistaken for original features. The loss of historic material would be minimized to 8% and restrained to a secondary façade that is not visible from Lasuen Mall. The project's compatible material palette would represent its time, place, and use, yet appropriately establish continuity between the historic	Meets Standard	

		character and architectural styles of the resource. The design of the glass and metal addition would recall the proportions and rhythm of the existing historic building windows. The glass and metal addition to the south façade would be framed between new stucco panel-walls to provide continuity and transition from old to new. The project is consistent with Standard No. 3. (For detailed discussion please see Statement of Compatibility prepared by Stanford, Attachment E)	
4	Changes to a property that have acquired historic significance in their own right will be retained and preserved.	The proposed project scope would not affect any modifications to changes to a property that have acquired historic significance in their own right. Modifications to the North Building described above would not affect any such historic changes to a property. (For discussion on Barnum Center that has been evaluated and determined ineligible, refer to Attachment D)	Not Applicable
5	Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.	The proposed project scope would preserve historic fabric with some loss of material on a secondary façade. The primary character- defining west façade and secondary, secondary east façade would be preserved as- is. The secondary north façade would be restored with minor compatible modifications to accommodate the new program and to comply with current code. Where deterioration beyond repair has been identified the project would replace with matching material without altering any distinctive features, finishes, construction techniques and craftmanship that characterize the historic resource. The project would sensitively introduce new materials on the secondary south façade to respect yet clearly distinguish the new from the original. The project is consistent with Standard No. 5. (For detailed discussion please see Statement of Compatibility prepared by Stanford, Attachment E)	Meets Standard
6	Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive	Repair and replacement with matching features where necessary are identified and documented. The project is consistent with Standard No. 6.	Meets Standard

	feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.		
7	Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.	Treatments that cause damage would not be used. The project is consistent with Standard No. 7.	Meets Standard
8	Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.	The proposed project is located on the footprint of existing developed areas; no archeological resources are expected within the project boundary. If such resources are found during construction they would not be disturbed, unless monitored and mitigated as required by the 2000 General Use Permit Conditions of Approval.	Not Applicable
9	New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be <b>differentiated</b> <b>from the old and will be</b> <b>compatible with the historic</b> <b>materials, features, size, scale</b> <b>and proportion, and massing</b> to protect the integrity of the property and its environment.	The new work would be coherent, and clearly differentiated from the old to protect the integrity of the historic property and environment. The massing and height of the proposed project would have a subordinate relationship to its historic neighbors. The South Building's form, massing, detailing, fenestrations, materials, and style would take cues from the North Building. Overall, the South Building composition would be subordinate, compatible yet distinct and comfortably fit into the historic context. The project is consistent with Standard No. 9. (For detailed discussion please see Statement of Compatibility prepared by Stanford, Attachment E)	Meets Standard
10	New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.	The proposed South Building would be completely detached; therefore, if removed, it would not impair the essential form and integrity of the neighboring historic resources. The project is consistent with Standard No. 10.	Meets Standard



### **Attachment B**

Draft Conditions of Approval

#### ATTACHMENT B DRAFT CONDITIONS OF APPROVAL FOR ARCHITECTURE & SITE APPROVAL AND GRADING APPROVAL

Date:	May 5, 2022
<b>Owner/Applicant:</b>	Stanford University
Location:	485 Lasuen Mall, Stanford (APN: 142-07-085)
File Number:	PLN21-011
CEQA:	Addendum to 2000 Stanford Community Plan and General Use Permit (GUP) Program Environmental Impact Report (EIR)
Project Description:	Architecture & Site Approval and Grading Approval for the Stanford Graduate School of Education (GSE) project, including rehabilitation of the existing North Building (significant historic resource determined potentially eligible for listing), demolition of two out of three buildings of the Barnum Center (not a historic resource), construction of a new four- story South Building directly across from the North Building, and associated site improvements. The project site is located adjacent to the Green Library (a listed historic resource) and east of the Main Quadrangle (a listed historic resource), along Lasuen Mall, on Stanford Campus. Proposed grading quantities associated with the Grading Approval include 834 cubic yards (c.y.) of cut and 276 c.y. of fill, with a maximum depth of 9 feet.

If you have any question regarding the following preliminary conditions of approval, call the person whose name is listed as the contact for that agency. He or she represents a specialty or office and can provide details about the conditions of approval.

Agency	Name	Phone	E-mail
Planning	Charu Ahluwalia	(408) 299-5740	charu.ahluwalia@pln.sccgov.org
County Geologist	Jim Baker	(408) 299-5774	jim.baker@pln.sccgov.org
Land Development Engineering	Ed Duazo	(408) 299-5733	ed.duazo@pln.sccgov.org
Fire Marshal	Alex Goff	(408) 299-5763	alex.goff@sccfd.org
Department of Environmental Health	Darrin Lee	(408) 299-5748	darrin.lee@cep.sccgov.org
Building Inspection	Building Inspection Office	(408) 299-5700	

#### STANDARD CONDITIONS OF APPROVAL

#### **Building Inspection**

1. For detailed information about the requirements for a building permit, obtain a Building Permit Application Instruction handout from the Building Inspection Office or visit the website at <u>www.sccbuilding.org</u>.

#### Planning

2. Development and maintenance of the project site shall take place in accordance with approved plans, received by the Planning Department on February 22, 2022, and as approved by the Zoning Administration Hearing Officer. The project includes rehabilitation of the existing North Building (significant historic resource), demolition of Old Store and 2007 building located in the Barnum Center (not a historic resource), construction of a new fourstory South Building directly across from the North Building. The plans submitted into Plan Check shall be in substantial conformance with the approved plans. Changes to the design, quantity, location or other modifications to the approved plans may result in a Modification to the approved ASA and Grading Approval, and may be subject to additional review under the California Environmental Quality Act (CEQA). Additionally, modification may require additional review by the County's Historical Heritage Commission (HHC), at the discretion of the Zoning Administrator.

<u>NOTE 1</u>: The proposed GSE Project is located adjacent to the Green Library and Main Quad, which are listed historic resource.

<u>NOTE 2</u>: The existing North Building proposed for rehabilitation is a significant historic resource, that has been determined 'potentially eligible' for listing in the California Register of Historic Resources.

- 3. All historic materials and elements of the historically significant resources of the North Building, Green Library, and Main Quad shall be protected during all demolition and construction activities that are part of this entitlement and associated grading, drainage, and building permits.
- 4. A qualified preservation architect shall consult and monitor construction work and advise the contractors on protection measures to be adopted during construction.
- 5. File and obtain demolition, grading and building permits for all structures on the project site.
- 6. The project shall comply with the Stanford University 2000 GUP Conditions of Approval, and approved Stanford University 2000 GUP Mitigation Monitoring and Reporting Program.

- 7. Stanford shall be responsible for paying all reasonable costs associated with work by the County Planning Department, or with work conducted under the supervision of the County Planning Office, in conjunction with, or in any way related to the conditions of approval identified in this project. This includes but is not limited to costs for staff time, consultant fees, and direct costs associated with report production and distribution.
- 8. In the event that previously unidentified historic or prehistoric archaeological resources are discovered during construction, the contractor shall cease work in the immediate area and the County Planning Office and Campus Archaeologist shall be contacted. An independent qualified archaeologist retained by the County at the expense of Stanford shall assess the significance of the find and make mitigation recommendations.
- 9. If archeological resources are discovered as described above, construction monitoring shall be conducted at any time ground-disturbing activities (greater than 12 inches in depth) are taking place in the immediate vicinity of the identified resources. If monitoring does not produce evidence of significant cultural resources within the project area, further mitigation shall be limited to construction monitoring, unless additional testing or other specific mitigation measures are determined by a qualified archaeologist to be necessary to ensure avoidance of damage to significant archaeological resources. A technical report of findings describing the results of all monitoring program shall be implemented by an individual meeting the Secretary of Interior Professional Qualifications Standards in Archaeology (36 CFR 61); individual field monitors shall be qualified in the recognition of cultural resources and possess sufficient academic and field training as required to conduct the work effectively and without undue delay.
- 10. In the event that human skeletal remains are encountered, the applicant is required by County Ordinance No. B6-18 to immediately notify the County Coroner. Upon determination by the County Coroner that the remains are Native American, the coroner shall contact the California Native American Heritage Commission, pursuant to subdivision (c) of section 7050.5 of the Health and Safety Code and the County Coordinator of Indian affairs. No further disturbance of the site may be made except as authorized by the County Coordinator of Indian Affairs in accordance with the provisions of state law and this chapter. If artifacts are found on the site a qualified archaeologist shall be contacted along with the County Planning Office. No further disturbance of the artifacts may be made except as authorized by the County Planning Office.
- 11. In the event that fossilized shell or bone is uncovered during any earth-disturbing operation, contractors shall stop work in the immediate area of the find and notify the Campus Archaeologist and the County Building Inspector assigned to the project. The Campus Archaeologist shall visit the site and make recommendations for treatment of the find (including but not limited to consultation with a paleontologist and excavation, if warranted), which would be sent to the County Building Inspection Office and the County Planning

Office. If a fossil find is confirmed, it will be recorded with the United States Geological Survey and curated in an appropriate repository.

#### Department of Environmental Health

12. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m. on weekdays and Saturdays, or at any time on Sundays for the duration of construction.

#### <u>CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO DEMOLITION,</u> <u>GRADING OR BUILDING PERMIT ISSUANCE</u>

#### <u>Planning</u>

- 13. **Prior to demolition permit issuance and prior to any construction activities**, a qualified preservation architect shall submit a Demolition and Construction Protection Plan and letter attested by Stanford that certifies the construction impacts will not impact the integrity of the historically significant North Building, Green Library and Main Quad. Said Demolition and Construction Protection Plan shall be incorporated into the plans submitted for plan check and issued for demolition, grading and building permits.
- 14. Place a construction note on the site plan that states the following: "The Bay Area Air Quality Management District (BAAQMD) has identified a set of feasible PM10 control measures for all construction activities. These control measures, as previously required in the Program EIR, shall be adhered to during all construction activities.
  - A. Water all active construction areas at least twice daily;
  - *B.* Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard;
  - C. Pave, apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at construction sites;
  - D. Sweep daily (with water sweepers) all paved access roads, parking areas and staging areas at construction sites;
  - *E.* Sweep streets daily (with water sweepers) if visible soil material is carried onto adjacent public streets;
  - *F.* Hydroseed or apply (non-toxic) soil stabilizers to inactive construction areas (previously graded areas inactive for ten days or more);
  - *G.* Enclose, cover, water twice daily or apply (non-toxic) soil binders to exposed stockpiles (dirt, sand,);
  - *H. Limit traffic speeds on unpaved roads to 15 mph;*
  - *I. Install fiber rolls, sandbags or other erosion control measures to prevent silt runoff to public roadways;*
  - J. Replant vegetation in disturbed areas as quickly as possible;

- *K.* Install wheel washers for all existing trucks, or wash off the tires of tracks of all trucks and equipment leaving the site; and
- L. Suspend excavation and grading activity when winds (instantaneous gusts) exceed 25 mph."
- 15. Place a construction note on the site plan that states the following: "All construction contractors shall properly maintain the equipment and where feasible, use "clean fuel" equipment and emissions control technology (e.g., CNG fired engines, catalytic converters, particulate traps, etc.). Measures to reduce diesel emission would be considered feasible when they are capable of being used on equipment without interfering substantially with equipment performance."
- 16. Submit site plan that shows all pedestrian and bicycle corridors along with public transit stops adjacent to the project site and indicate how bicycle, pedestrian, and public transit access and circulation will be maintained during construction. Bicycle and pedestrian access onto the campus and around the site (outside construction areas) shall not be substantially limited by construction activities associated the project. In addition, access to public transit shall not be limited, which could include the relocation or removal of adjacent bus stops.
- 17. Final grading permit plans shall include the following construction notes:
  - A. Stanford shall make feasible attempts to limit the number of construction material deliveries from 7:00 a.m. to 9:00 a.m. and from 4:00 p.m. to 6:00 p.m. (peak-hours) on weekdays. Construction material delivery shall not result in reduction in on-street parking; reduction in pedestrian, bicycle, and public transit access; use of non-truck routes by construction traffic; damage to roadways; and interference with special events (This construction note shall be included in the Final grading permit plans). Stanford shall provide estimated total construction material deliveries, as well as estimated material deliveries, between these peak-hours as part of the Construction Logistics and Management Plan, and provide notice to residents and interested parties for deliveries during peak hours.
  - B. Trucks exporting/importing dirt and building materials for the project shall use approved truck routes shown in the 2000 GUP, as designated by the cities of Palo Alto and Menlo Park.
- 18. Submit a Final Construction Management and Logistics Plan for approval by Planning and Land Development Engineering, **prior to issuance of any grading permits**, that clearly identifies the elements listed below:
  - A. Provide the location, anticipated quantities and time frame for construction staging and earthwork stockpiling associated with this project. Said location is required to be approved by Planning and Land Development Engineering.
  - B. Provide off-street construction related parking. Identify off-street parking location(s) on site plan for all construction related vehicles (employee parking and construction equipment) throughout the construction period. If adequate parking cannot be

provided on the construction sites, identify on the site plan or vicinity map the satellite parking location(s) that will be used.

- C. Prohibit impacts to accessing public transit access and movement of public transit vehicles. Identify on site plan all temporary or permanent access limitations, reroutes, lane closures, or limits to public transit movements or place a note on the site plan stating, *"No temporary or permanent access limitations, re-routes, lane closures, or limits to public transit movement are permitted."*
- D. Prohibit roadway construction activities from reducing roadway capacity during Stanford major athletic and special events. Stanford shall not limit roadway capacity during special events or during major athletic events, which attract a large number of visitors to the campus.
- E. Provide written notification to Stanford Police and Palo Alto Fire Department regarding construction location and construction dates. Include in the notices alternate evacuation and emergency route designations to maintain response times during construction periods, if applicable. Provide one copy of the notices to the County.
- F. Provide written notification to all contractors and subcontractors regarding appropriate routes and weight limits and speed limits for local roads used to access construction sites. Provide one copy of the notices to the County Planning Office.
- G. Provide notification to the Cities of Palo Alto and Menlo Park of the construction schedule and include a copy of the Santa Clara County approved Construction and Traffic Management Plan. Provide one copy of the notices to the County Planning Office.

19. The following tree removal/protection requirements shall apply:

- A. Removal of two oak and thirteen non-oak trees over 12 inches in diameter at 4.5 feet above grade is permitted with this project. Of these, two oak and three non-oak trees count as protected trees under the 2000 Stanford GUP. Six replacement oak trees and three replacement non-oak trees are to be planted on-site. In addition, relocation of two non-oaks over 12-inch diameter is permitted with this project
- B. All other trees in the project area shall remain and are protected after the approval of this ASA and Grading Approval, per plan L1.01 (Tree Protection, Disposition and Relocation Plan).
- C. If any trees are proposed to be removed after the approval of the ASA, further review by the Planning Office may be required to assess the visual impact of the tree removal to the project and surrounding area.
- D. Final grading plans shall show the size and species of all trees over 12 inches in diameter (at 4.5 feet above grade) within the proposed work area for the project and clearly label all trees proposed for removal. This shall include all trees where construction will occur within the dripline of the tree.
- E. An I.S.A.-certified arborist shall review final grading plans. The objective shall be to ensure that all the trees adjacent to the improvements will not be damaged or removed.
- F. A certified arborist shall monitor the construction and provide written recommendations to preserve any potentially impacted trees associated with the proposed improvements. Submit a plan-review letter prior to the issuance of the final

grading permit evaluating consistency of final grading plans with these mitigations and a construction-observation letter prior to the issuance of final occupancy summarizing implementation of these mitigation measures.

- i. Provide two copies of an arborist report that recommends effective tree protection measures for the site's existing trees that have not been slated for removal. Protection measures must be in place prior to construction activity commencing.
- 20. Adequate signs shall be posted along the street frontages or in front of the project site, no smaller than 1,296 square inches in size, containing the name, telephone number, and email address of the appropriate Stanford person the public may contact to register a complaint about construction noise. Additionally, Stanford shall create an outreach and information portal to facilitate information and alerts to be delivered to the immediate neighborhoods on construction activities. Stanford shall keep a written record of all such complaints and shall provide copies of these records to the County Planning Office.
- 21. Preconstruction surveys for nesting raptors and migratory birds shall be conducted by a qualified ornithologist to identify active nests that may be disturbed during project implementation. Between January 1 and April 30, preconstruction surveys shall be conducted no more than 14 days prior to the initiation of construction activities or tree removal. Between May 1 and August 31, preconstruction surveys no more than 30 days prior to the initiation of these activities. Stanford University shall conduct an additional preconstruction survey within 24 hours of initiation of construction activities, by the Campus Biologist, to verify no new nesting has occurred. If an active nest is found near, or in close proximity to, the construction area where the nest could be disturbed by these activities, the ornithologist or Campus Biologist, shall, in consultation with the California Department of Fish and Game, designate a construction free buffer zone (typically 250 feet) around the nest.
- 22. Landscape Plan: The requirements of Division B33 of the County Ordinance Code (Sustainable Landscape Ordinance) shall apply. As proposed, if the total landscape area exceeds 2,500 sq. ft., and a landscape documentation package shall be submitted **prior to building permit issuance** for review and approval. New landscaping shall be similar to existing landscaping on-site and meet all Stanford Community Plan and General Use Permit requirements. The submittal shall include a landscaping plan and irrigation plan, stamped and signed by a licensed landscape architect. Submit two (2) copies of the final landscape plan and associated irrigation systems, prepared and stamped by a licensed landscape architect.

The landscape ordinance and supporting information can be found on the Planning Department web site:

https://www.sccgov.org/sitesidpd/PlansOrdinances/Landscape/Pages/weloapply.aspx

23. Incorporate any applicable water conservation and recycling measures into the project building plans, which may include but not be limited to: water efficient landscape, landscape water management, and public outreach.

24. Submit a detailed lighting plan **prior to building permit issuance** which includes all new exterior lighting. The Lighting Plan shall provide light fixture details with lighting profiles and product-specific information that includes the following information:

Depict the extent of illumination from all new outdoor lighting (photometric plan). Ensure absence of upward glow. Use "state-of-the-art" luminaries including those with high beam efficiency.

#### County Geologist

25. Rutherford-Chekene's report (dated 3-27-2020) indicates "The potential for ground deformation on the site due to the effects of the Stock Farm Monocline area is moderate to high." **Prior to grading/building permit issuance**, submit a letter from the structural engineer that confirms the design will accommodate vertical deformation 0.3 inch and horizontal shortening of 0.04 inch, respectively, over a distance of 100 feet.

#### Land Development Engineering

- 26. Obtain a Grading Permit from Land Development Engineering (LDE) prior to beginning any construction activities. Issuance of the grading permit is required prior to LDE clearance of the building permit (building and grading permits can be applied for concurrently). If the grading and building construction are to be phased, then issuance of the foundation permit shall be contingent on issuance of the rough grading permit, and issuance of the final grading permit shall be contingent on issuance of the final/finish grading permit. The process for obtaining a Grading Permit and the forms that are required can be found at the following web page: <a href="https://www.sccgov.org/sites/dpd/Iwantto/Permits/Pages/GP.aspx">https://www.sccgov.org/sites/dpd/Iwantto/Permits/Pages/GP.aspx</a>
- 27. Final plans shall include a single sheet which contains the County standard notes and certificates as shown on County Standard Cover Sheet. Plans shall be neatly and accurately drawn, at an appropriate scale that will enable ready identification and recognition of submitted information.
- 28. Final grading plans shall be prepared by a licensed civil engineer for review and approval by LDE and the scope of work shall be in substantial conformance with the conditionally approved preliminary plans on file with the Planning Office. Include plan, profile, typical sections, and contour grading for all street, road, driveway, structures and other improvements as appropriate for construction. The final design shall be in conformance with all currently adopted standards and ordinances. The following standards (Land Development Engineering Standards and Policies Manual, Volume 1, and 2007 Santa Clara County Drainage Manual) are available on-line:
  - <u>https://www.sccgov.org/sites/dpd/DocsForms/Documents/StandardsPoliciesManual\_Vol</u>
     <u>1.pdf</u>

- <u>https://library.municode.com/ca/santa\_clara\_county/codes/code\_of\_ordinances?nodeId=</u> <u>TITCCODELAUS\_DIVC12SULADE\_CHIIIGRDR#TOPTITLE</u>
- 29. Survey monuments shall be shown on the improvement plan to provide sufficient information to locate the proposed improvements and the property lines. Existing monuments must be exposed, verified, and noted on the grading plans. Where existing monuments are below grade, they shall be field-verified by the surveyor and the grade shall be restored and a temporary stake shall be placed identifying the location of the found monument. If existing survey monuments are not found, temporary staking delineating the property line may be placed **prior to construction** and new monuments shall be set **prior to final acceptance of the improvements**. The permanent survey monuments shall be set pursuant to the State Land Surveyor's Act. The land surveyor or engineer in charge of the boundary survey shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.
- 30. The improvement plans shall include an Erosion and Sediment Control Plan that outlines seasonally appropriate erosion and sediment controls during the construction period). Include the County's Standard Best Management Practice Plan Sheets BMP-1 and BMP-2 with the Plan Set.
- 31. All new on-site utilities, mains, and services shall be placed underground and extended to serve the proposed development. All extensions shall be included in the improvement plans. Off-site work should be coordinated with any other undergrounding to serve other properties in the immediate area.
- 32. In the grading plans, include a stormwater management plan that details how the project complies with Provision C.3 of the current NPDES Municipal Regional Permit. Include C.3 sizing calculations to support the information provided in the stormwater management plan.
- 33. Include at least one of the following site design measures in the project design: (a) direct hardscape and/or roof runoff onto vegetated areas, (b) collect roof runoff in cisterns or rain barrels for reuse, or (c) construct hardscape (driveway, walkways, patios, etc.) with permeable surfaces. Though only one site design measure is required, it is encouraged to include multiple site design measures in the project design. For additional information, refer to the C.3 Stormwater Handbook (June 2016) available on-line at:

www.scvurppp.org > Elements > New Development and Redevelopment > SCVURPPP C.3 Stormwater Handbook

34. Indicate on the grading plans the land area that will be disturbed. If one care or more of land area will be disturbed, file a Notice of Intent (NOI) with the State Water Resources Control Board for coverage under the State General Construction Permit. The SWRCGB will issue a Waste Discharge Identification (WDID) number. The WDID number shall be shown on the grading plans.

- 35. Demonstrate that the on-site drainage will be controlled in such a manner as to not increase the downstream peak flow for the 10-year and 100-year storm event or cause a public nuisance.
- 36. Submit one copy of the signed and stamped of the geotechnical report for the project.
- 37. Submit a geotechnical plan review letter, signed and stamped by the Project Geotechnical Engineer certifying that the geotechnical recommendation in the geotechnical report have been incorporated into the improvement plan.
- 38. Submit an updated Credit/Usage Capacity Tracking Sheet for the Stanford University East Campus C.3 Regional Stormwater Capture Facility.

#### Fire Marshal's Office

- 39. The scope of this review is for fire protection water supply and fire department access only. An additional review for further compliance with the California Fire and Building Code will be performed by Fire Marshal office when a complete set of construction drawings is submitted for building permit application.
- 40. A written construction site safety plan shall be submitted directly to the Fire Marshal's Office prior to approval of any Land Development Engineering construction permit (if required) or prior to approval of the grading permit.

#### Fire Protection Water Supply:

<u>Important:</u> Fire protection water system shall be installed and inspected prior to approval of the foundation or final inspection for construction with completely noncombustible components. System shall be maintained in good working order and accessible throughout construction. A Stop-Work Order may be placed on the project if the required hydrant systems are not installed, accessible, and/or functioning.

- 41. Minimum fire-flow for this facility/structure shall be 1,625 gallons per minute (gpm) at 20 pounds per square inch (psi) for 2 hours based the largest structure (94,495 sf. type IIIB construction). NOTE: The fire-flow may be adjusted depending upon the final size of the structure shown on the building permit set of drawings to meet Appendix B or the CFC.
  - a) A NPFA 13 fire sprinkler reduction has been applied from the original requirement of 6,500 gpm at 20 psi.
- 42. Standard hydrant(s) shall be provided within 400-ft. of all portions of the/all structure(s). The number of hydrants shall be determined by Table C105.1 and the number needed to meet the distance requirement. Hydrant placement shall be approved by this office.

43. At the time of plan submittal for building permit, provide written verification from the water company that these condition can be satisfied. NOTE: water company must supply location
 File No. PLN21-011
 Zoning Administration May 5, 2022

of nearest hydrant(s) in addition to available fire-flow at 20 psi.

44. A separate permit shall be obtained from the Fire Marshal's Office by a state-licensed contractor prior to installation of hydrant system and any listed fire pump. Please allow for a minimum of 30 days for plan review.

#### Fire Department Access

<u>Important:</u> All required access roads, driveways, turnarounds, and turnouts shall be installed, and serviceable prior to approval of the foundation and shall be maintained throughout construction. A Stop-Work order may be placed on the project if required driving surfaces are not installed, accessible, and/or maintained.

- 45. These are minimum Fire Marshal standards. Should these standards conflict with any other local, state, or federal requirement, the most restrictive shall apply. Construction of access roads and driveways shall use good engineering practice.
- 46. See CFMO-C7 for minimum requirements for access roads/driveways during construction.
- 47. Fire department Access Roads shall be provided within 150-ft. of all exterior portions of all structures. Access roads shall comply with the following:
  - A. Width: Clear width of drivable surface of 20-ft.
  - B. Vertical Clearance: 15-ft.
  - C. Inside Curve Radius: 42-ft.
  - D. Grade: Maximum grade shall not exceed 15%
  - E. Surface: All driving surfaces shall be all-weather and capable of sustaining 75,000-pound gross vehicle weight.
  - F. Dead-end Roads: Dead-end roads in excess of 150-ft. in length shall be provided with an approved turnaround meeting County Standard SD-16. All turnarounds shall have a slope of not more than 5% in any direction.
  - G. Secondary Access Road: A secondary access road shall be provided because it has been determined by the Fire Marshal that access by a single road might be impaired by vehicle congestion, condition of terrain, climatic conditions or other factors that could limit access. Plans are to show Lomita Drive connecting to Jane Stanford Way, sheet C9 doesn't clearly show this entire road as fire department access.
  - H. Gates: Gates shall not obstruct the required width or vertical clearance of the driveway and may require a Fire Department Lock Box/Gate Switch to allow for fire department access. Installation shall comply with CFMO-A3.
  - I. All fire apparatus access roads meeting the minimum width shall have permanent "no parking fire lane" signs located so that all access roads are clearly identified and the required clearance maintained as per CFC 503.3.
  - J. A number address approved by the Building Inspection Office shall be placed on the building (or at the entrance to the facility) in such a position as to be plainly visible and legible from the street or road fronting the property. Please reference

#### CFC §505.1.

#### Department of Environmental Health

48. Prior to issuance of a building permit, provide/ include Stanford's wastewater and domestic capacity letters.

#### <u>CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO OCCUPANCY OR</u> <u>FINAL INSPECTION</u>

#### <u>Planning</u>

- 49. For each 11,763 net square feet of academic space built, Stanford shall either: (1) provide one affordable housing unit on the Stanford campus; or (2) make an appropriate cash payment in-lieu of providing the housing unit equal to the "BMR" payment that the City of Palo Alto is charging to commercial development projects when the project is built. The payment shall be made to an escrow account established and maintained by the County.
- 50. All grading materials and stockpiled materials shall be removed and disposed at an approved location.
- 51. Following completion of construction, contact the Planning Department (Charu Ahluwalia at 408-299-5740) **at least two weeks in advance** to set up an appointment to schedule a site visit to verify the development is per approved plans.

#### Land Development Engineering

- 52. Construct the improvements. Construction staking is required and shall be the responsibility of the developer.
- 53. Existing and set permanent survey monuments shall be verified by inspectors **prior to final acceptance of the improvements** by the County. Any permanent survey monuments damaged or missing shall be reset by a licensed land surveyor or registered civil engineer authorized to practice land surveying and they shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.
- 54. Submit as-built plans. If there have been any changes to the stormwater management plan (e.g., a change in new/replacement impervious area, change in credit/capacity usage, etc.), submit an updated Credit/Usage Capacity Tracking Sheet with the as-built plans.

#### Fire Marshal's Office

#### Fire Sprinklers:

File No. PLN21-011 Zoning Administration May 5, 2022

- 55. The building shall be equipped with an approved automatic fire sprinkler system complying with NFPA 13.
- 56. The fire sprinkler system shall be installed and finaled by this office **prior to occupancy**. A separate permit shall be obtained from the Fire Marshal's Office by a state licensed C-16 contractor prior to installation. Please allow for a minimum of 30 days for plan review of fire sprinkler plans.

### **ATTACHMENT C**

Location and Vicinity Map



Stanford University



Project

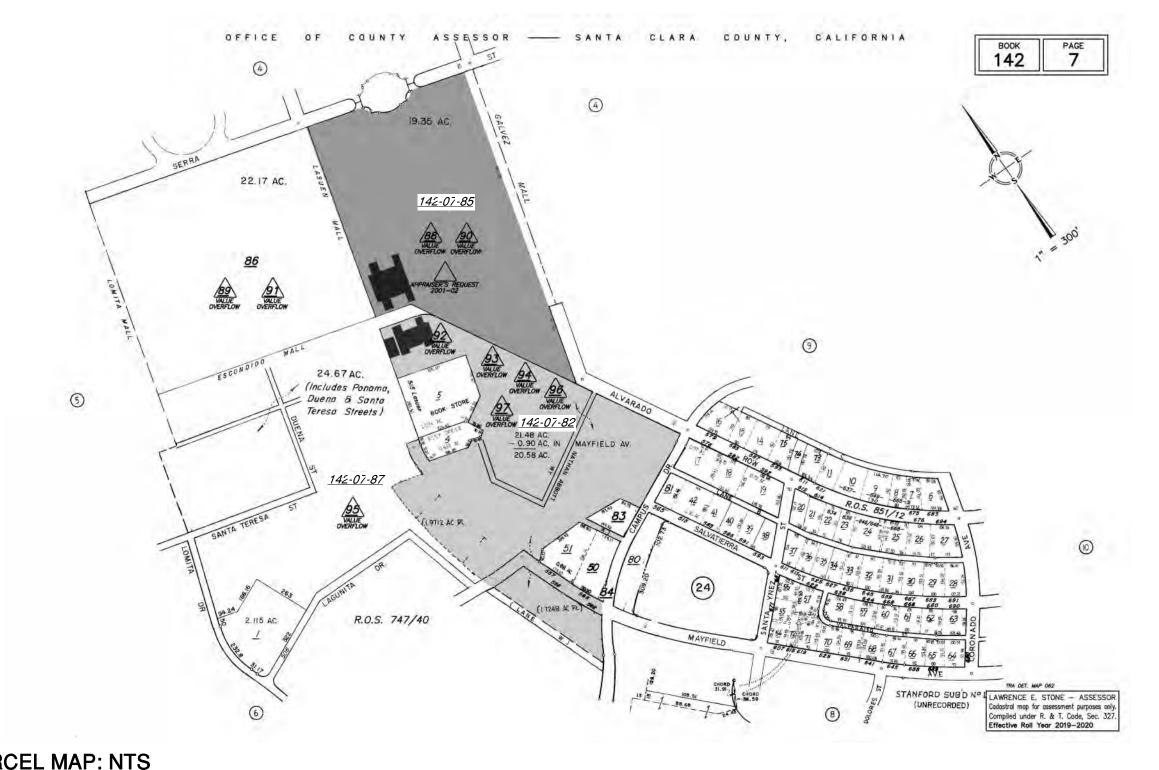
Location

#### **ATTACHMENT D**

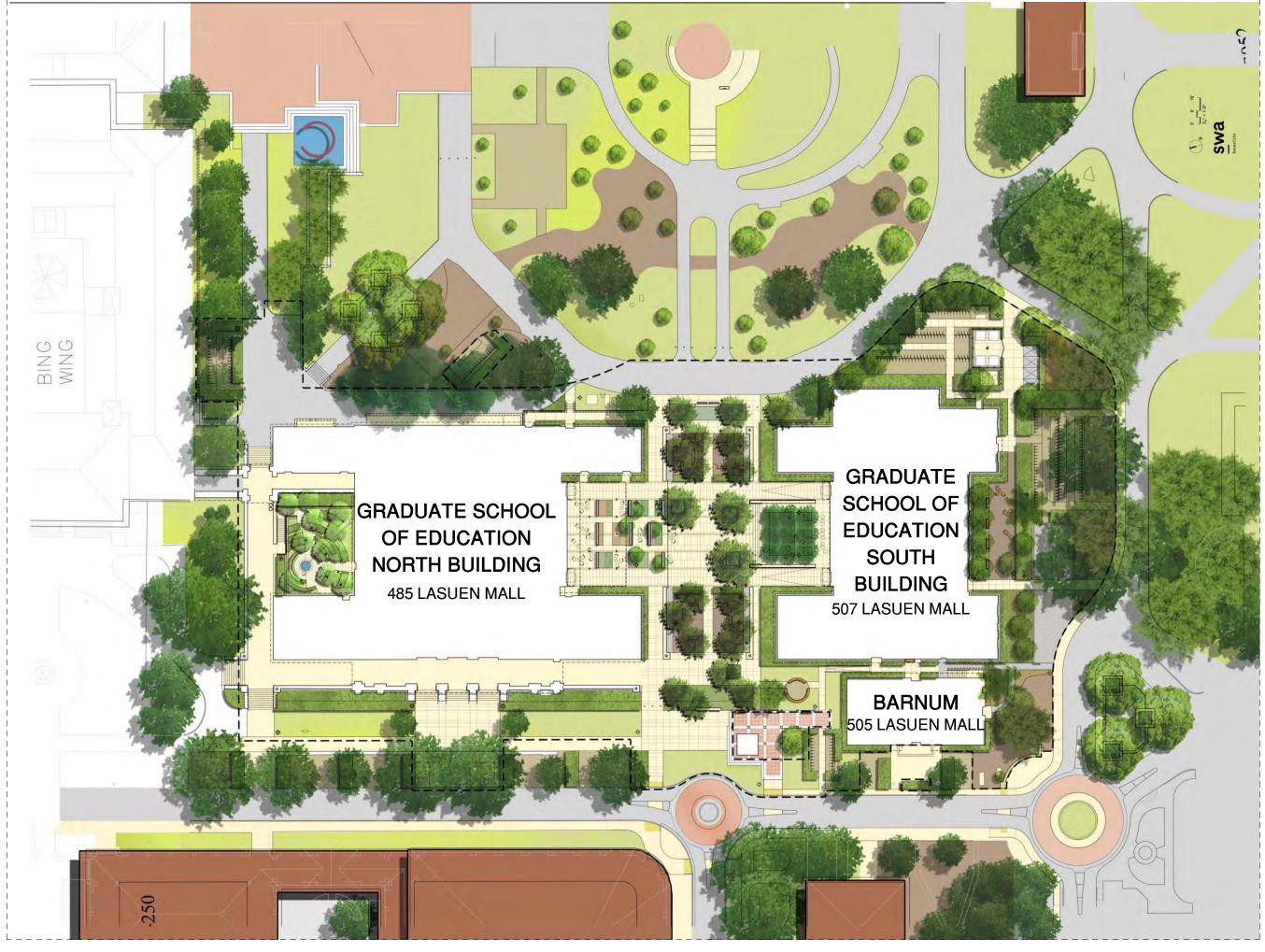
Proposed Plans -Graduate School of Education Project

# **GRADUATE SCHOOL OF EDUCATION: ASA APPLICATION**

STANFORD PROJECT # 5363 BLDG ID GSE North Building (03-300), Barnum (03-050), & GSE South Building (03-320) PARCEL # 142-07-085, 142-07-082, & 142-07-087 485, 505 & 507 LASUEN MALL, STANFORD, CA 93405



#### ASSESSOR'S PARCEL MAP: NTS



SITE AREA PLAN: NTS

### **SHEET INDEX - ASA**

GENERAL	
AA0.0	ASA SUBMITTAL COVER SHEET
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AA0.2	EXISTING CONDITIONS
AA0.3	EXISTING CONDITIONS
AA0.4	SITE LOGISTICS PLAN
AA0.5	SITE ALIGNMENT
AA0.6	SITE ALIGNMENT
NA0.1	NB GUP ANALYSIS EXISTING
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NA0.10	BASEMENT DEMOLITION PLAN
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NA0.14	ROOF DEMOLITION PLAN
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SA0.3	FIRE TRUCK ACCESS PLAN AND
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C1.01	EXISTING CONDITIONS
C1.01	EXISTING CONDITIONS
C1.02 C2.01	SITE UTILITY DEMOLITION PLAN
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C2.02 C3.01	PROPOSED UTILITY PLAN
C3.01	PROPOSED UTILITY PLAN
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C4.01 C5.00	SECTIONS
C5.01	SECTIONS
C5.02 C6.00	SECTIONS STORMWATER MANAGEMENT PLAN
C6.00 C7.01	FIRE TRUCK ACCESS
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### **CODE INTERPRETATIONS**

NORTH BUILDING		SOUTH BUILDING & B	ARNUM		
OCCUPANCY TYPE: A-3 ALL FL B ALL FL S-2 BASEM			TH FLOO LOORS	R	
TYPE OF CONSTRUCT NORTH BUILDING:	ION: IIIB	TYPE OF CONSTRUC SOUTH BUILDING:	TION: IIA	BARNUM:	VB, UNRATED
STRUCTURE RATING: 2 HR FIRE-RATED EXT. 0 HR RATED STRUCTU	LOAD BEARING WALLS, RAL FRAME	STRUCTURE RATING SOUTH BUILDING: 1 H		BARNUM:	NONE
FIRE SPRINKLER:	YES	FIRE SPRINKLER:	YES		
BUILDING HEIGHT:	56'	BUILDING HEIGHTS: SOUTH BLDG	56'-6 1/2	2" BARNUM :	30'9"
ALLOWABLE HEIGHT:	65'	ALLOWABLE HEIGHT: SOUTH BLDG:	65'	BARNUM:	60'
BUILDING AREAS: NORTH BUILDING: BASEMENT FIRST FLOOR: SECOND FLOOR: THIRD FLOOR:	27,659 24,671 25,100 17,065	BUILDING AREAS: SOUTH BUILDING: FIRST FLOOR: SECOND FLOOR: THIRD FLOOR: FOURTH FLOOR:	17,412 16,683 16,683 7,536		453 3,485
TOTAL:	94,495	TOTAL:	58,314	TOTAL:	3,938
ALLOWABLE AREA: ABOVE GRADE: BELOW GRADE:	A OCCUPANCY 115,630 62,000	ALLOWABLE AREA: A (FOURTH FLOOR): B (FLOORS 1-3):	SEPAF 25,420 61,500		CIES

# Client/Owner

Ph Fax

Plea Pho

# **GUP SQUARE FOOTAGE ANALYSIS**

SEE SHEETS NA0.1 THROUGH SHEET SA0.2 FOR DETAILED ANALYSIS

BUILDING	METHOD 2 (GUP)	GSF
EXISTING CONDITIONS:		
GRADUATE SCHOOL OF EDUCATION NORTH BLDG.	88,184 SF	92,394 GSF
BARNUM EXISTING TO BE DEMOLISHED EXISTING TO REMAIN	7,198 SF 3,485 SF	7,376 GSF 3,938 GSF
PROJECT TOTALS	98,867 SF	103,708 GSF
PROPOSED CONDITION:		
GRADUATE SCHOOL OF EDUCATION NORTH BLDG.	89,672 SF	94,495 GSF
GRADUATE SCHOOL OF EDUCATION SOUTH BLDG.	53,841 SF	60,052 GSF
BARNUM EXISTING TO REMAIN	3,485 SF	3,938 GSF
PROJECT TOTALS	146,998 SF	158,485 GSF
PROJECT NET ADDITIONAL	48,131 SF	54,777 GSF

#### **PROJECT DESCRIPTION** NORTH BUILDING (NB):

MAJOR RENOVATION AND HISTORIC REHABILITATION OF AN EXISTING REINFORCED CONCRETE AND STEEL BUILDING FOR USE AS CLASSROOMS, OFFICES, LIBRARY, AND LECTURE HALL (NO CHANGE OF USE)

BARNUM & SOUTH BUILDING (SB)

DEMOLITION OF AN EXISTING TWO-STORY ADDITION TO A 1913 SINGLE STORY MASONRY BUILDING, AND THE CONSTRUCTION OF A NEW FOUR STORY STEEL-FRAMED OFFICE AND CLASSROOM BUILDING ADJACENT ON THE SAME SITE. BOTH STRUCTURES WILL BE FULLY SPRINKLED AND HAVE NEW MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTIONS SYSTEMS.

#### SITE DATA INFORMATION **GENERAL SITE INFORMATION**

APN #1; PARCEL SIZE (WITHIN LIMITS OF WORK): APN #2; PARCEL SIZE (WITHIN LIMITS OF WORK): APN #3; PARCEL SIZE (WITHIN LIMITS OF WORK): DEVELOPMENT DISTRICT: LAND USE DESIGNATION: **BUILDING FOOTPRINT:** SITE AREA: DEMOLITION AREA:

142-07-082 ; 1.26 ACRES 142-07-085 ; 1.51 ACRES 142-07-087 ; 0.30 ACRES A1 ACADEMIC SB: 17,369 SF | NB: 24,671 SF 3.07 ACRES 0.13 ACRES

## **PROJECT DIRECTORY**

lient/Owner tanford University				EDUCATION
40 Bonair Siding itanford, CA 94305 hone: 650.996.6754	Mike Mithen	Project Manager	mithen@stanford.edu	485 LASUEN MALL
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ax: 650.328.1888 Villiam Rawn Associates, Architec	Alexandria Evans Alex Siegel	Designer Designer	aevans@cawarchitects.com asiegel@cawarchitects.com	ASA SUBMITTAL COVER SHEET
0 Post Office Square, Suite 1010 toston, MA 02109 hone: 617.423.3470	Doug Johnston Erik Tellander	Principal Senior Associate	djohnston@rawnarch.com etellander@rawnarch.com	
andscape Engineer WA 200 Bridgeway Boulevard O Box 5904 ausalito, CA 94966 hone: 415.332.5100	John Wong Bill Hynes	Principal Project Manager	jwong@swagroup.com whynes@swagroup.com	PROJECT NO.         17013           DRAWN BY         TK / AS
tivil Engineer KF Engineers				CHECKED BY MA
670 Willow Road, Suite 250 leasanton, CA 94588 hone: 925.396.7700	John Lamon Steven Reynolds Chelsea Mudgett	Associate Project Manager Project Engineer	jlamon@bkf.com sreynolds@bkf.com cmudgett@bkf.com	SHEET AAO.O



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WILLIAM RAWN ASSOCIATES | Architects, Inc 10 Post Office Sq. Suite 1010

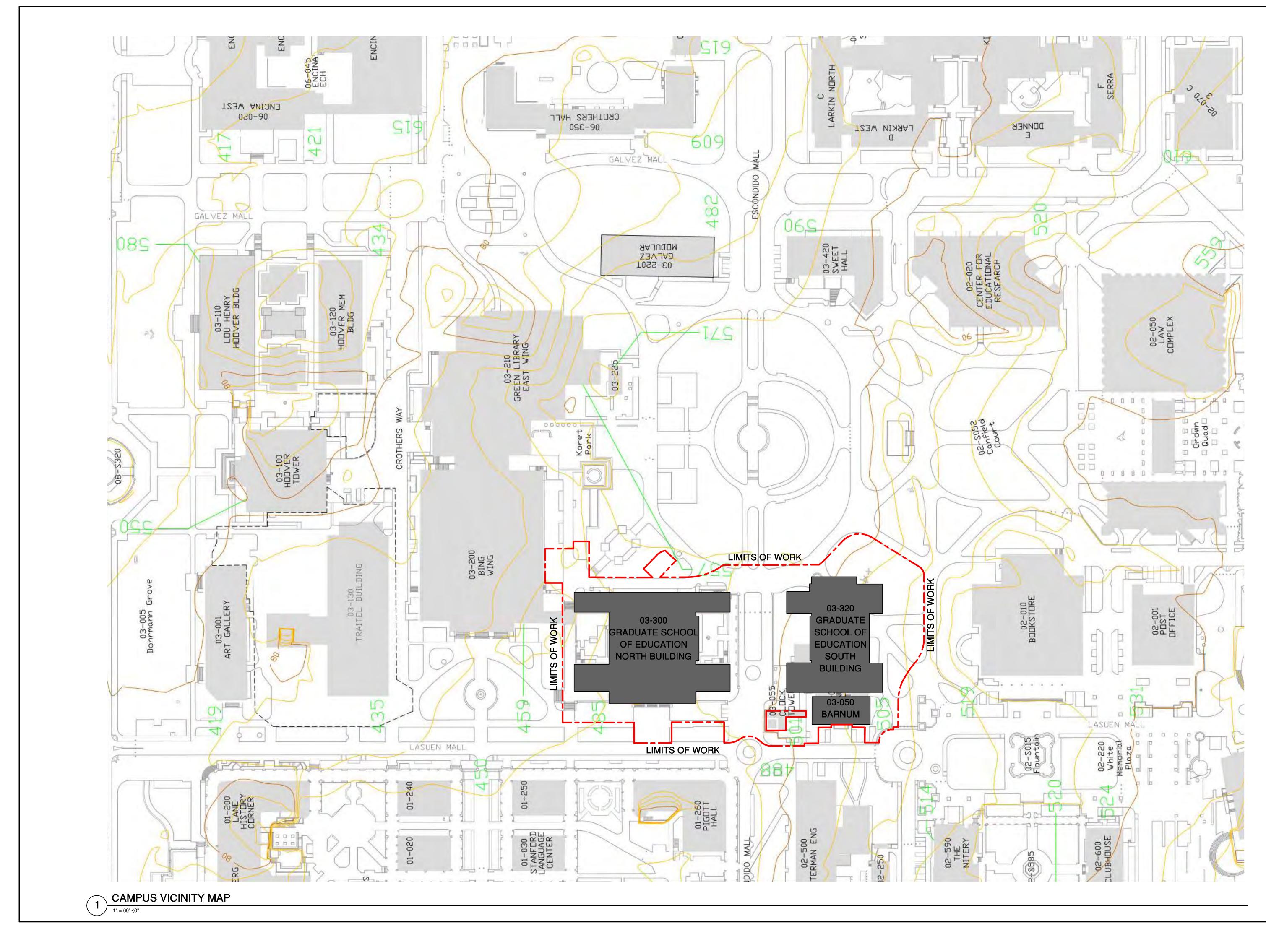
Boston, MA 02109

CONSULTANTS

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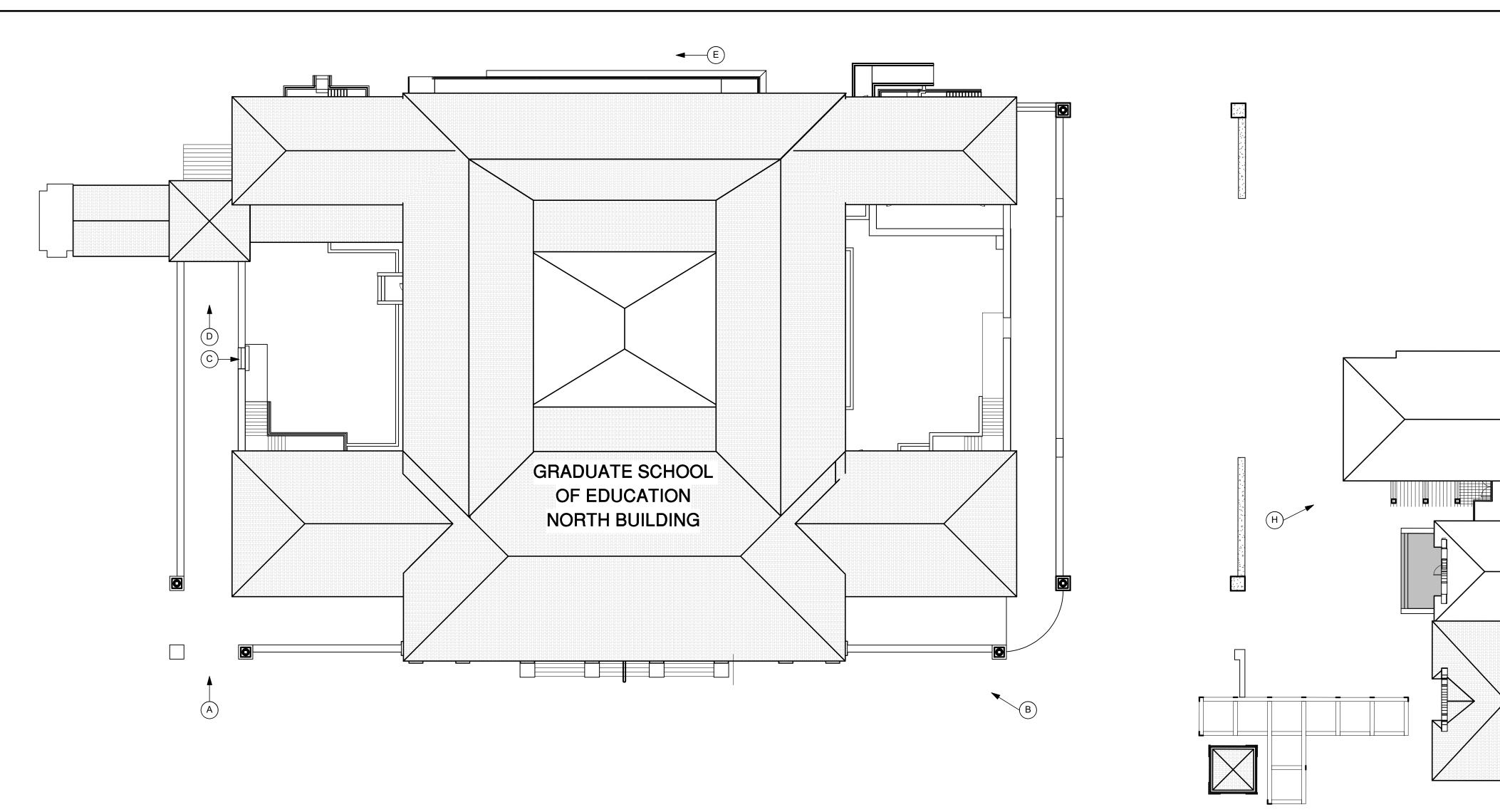
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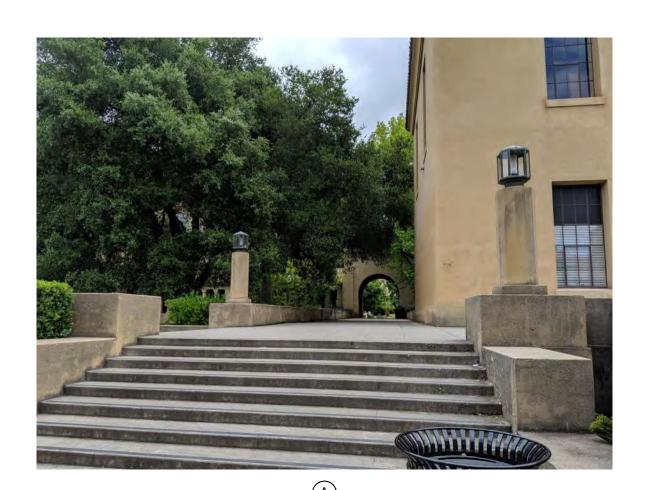


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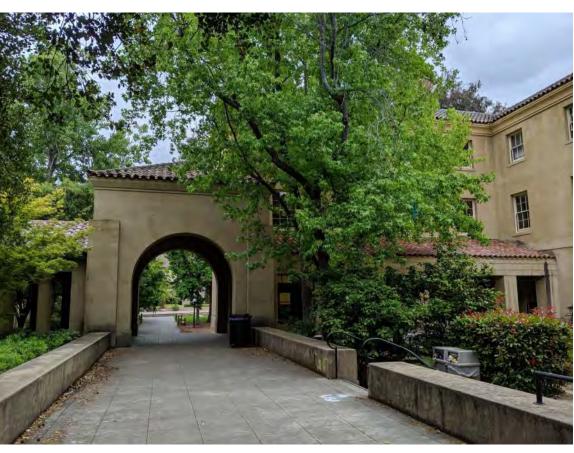




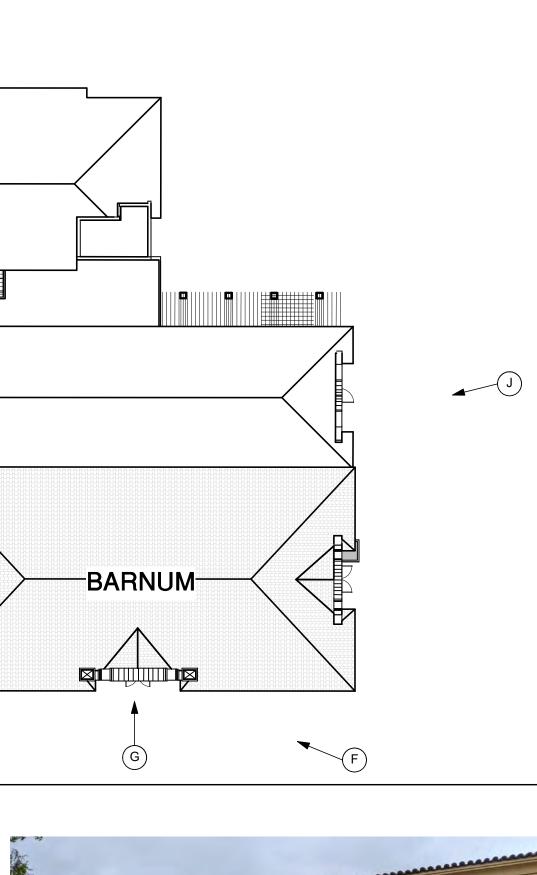


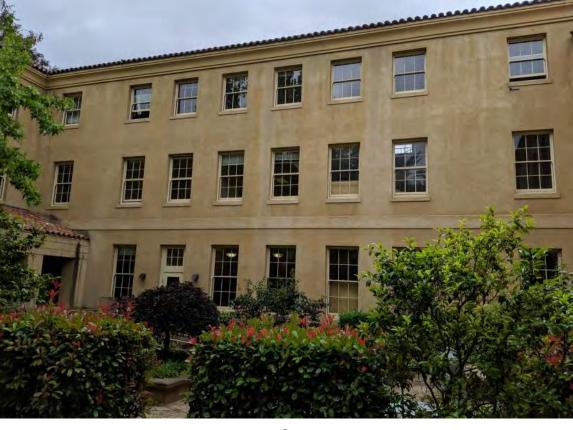






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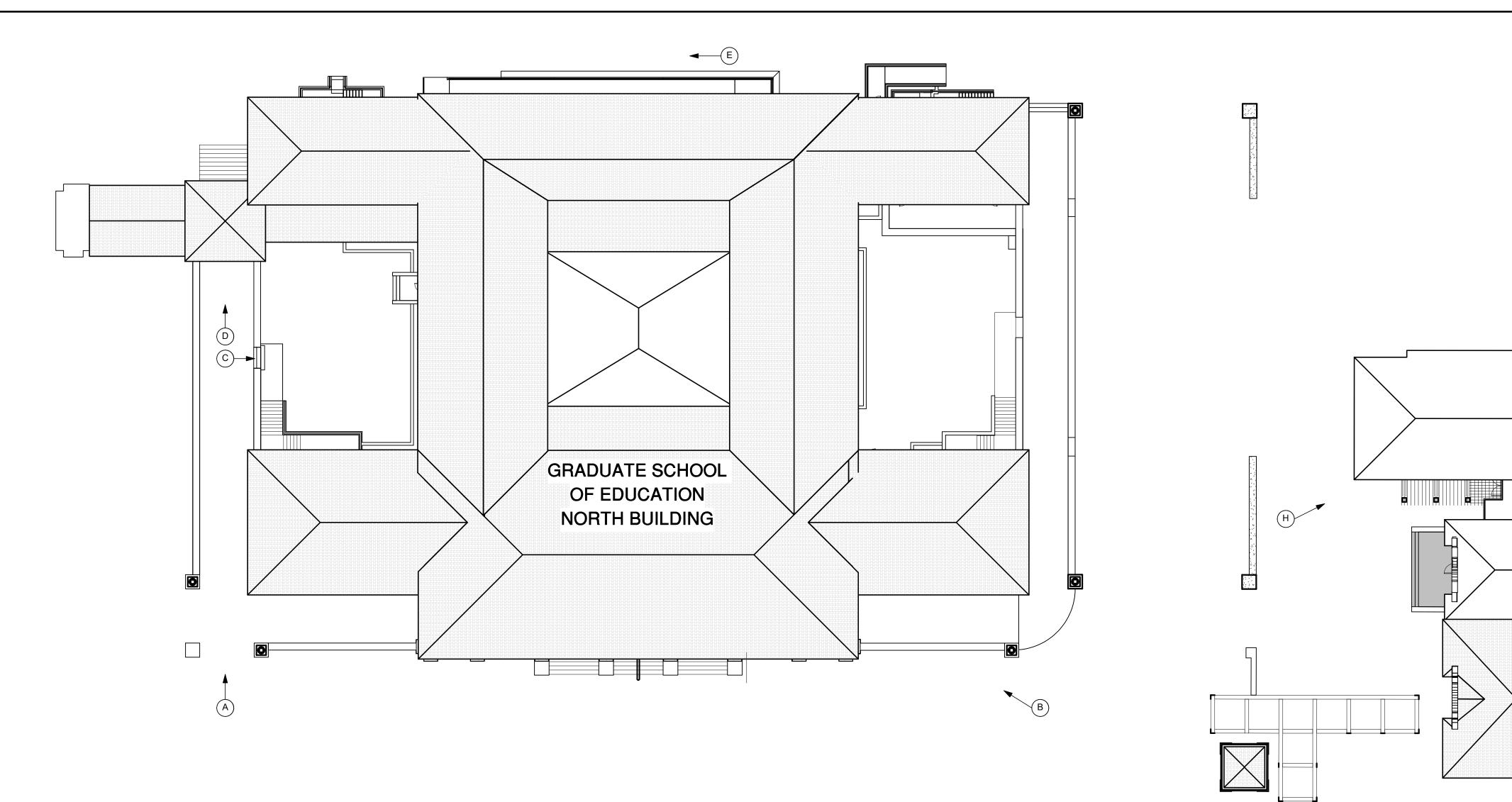




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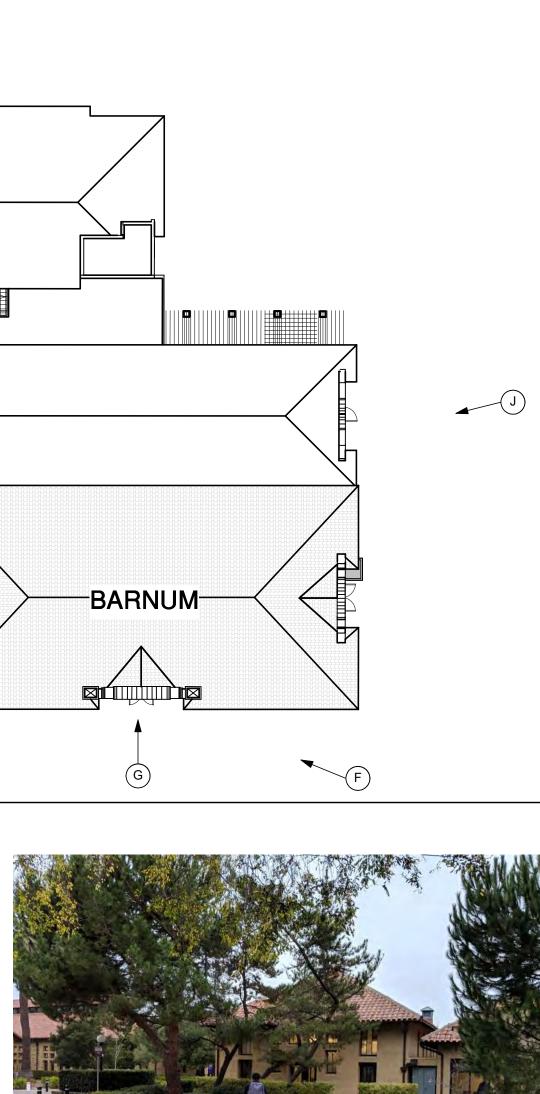








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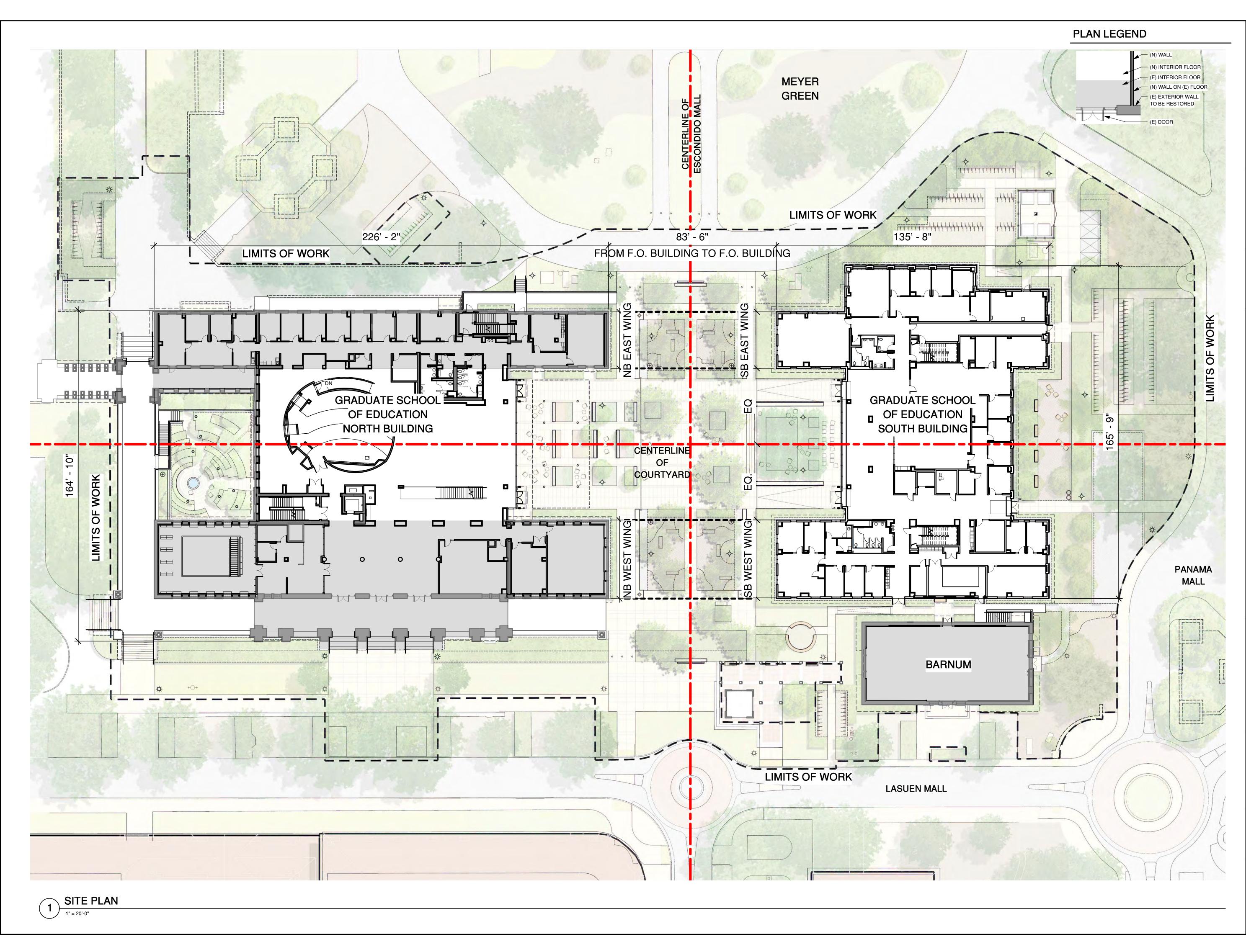


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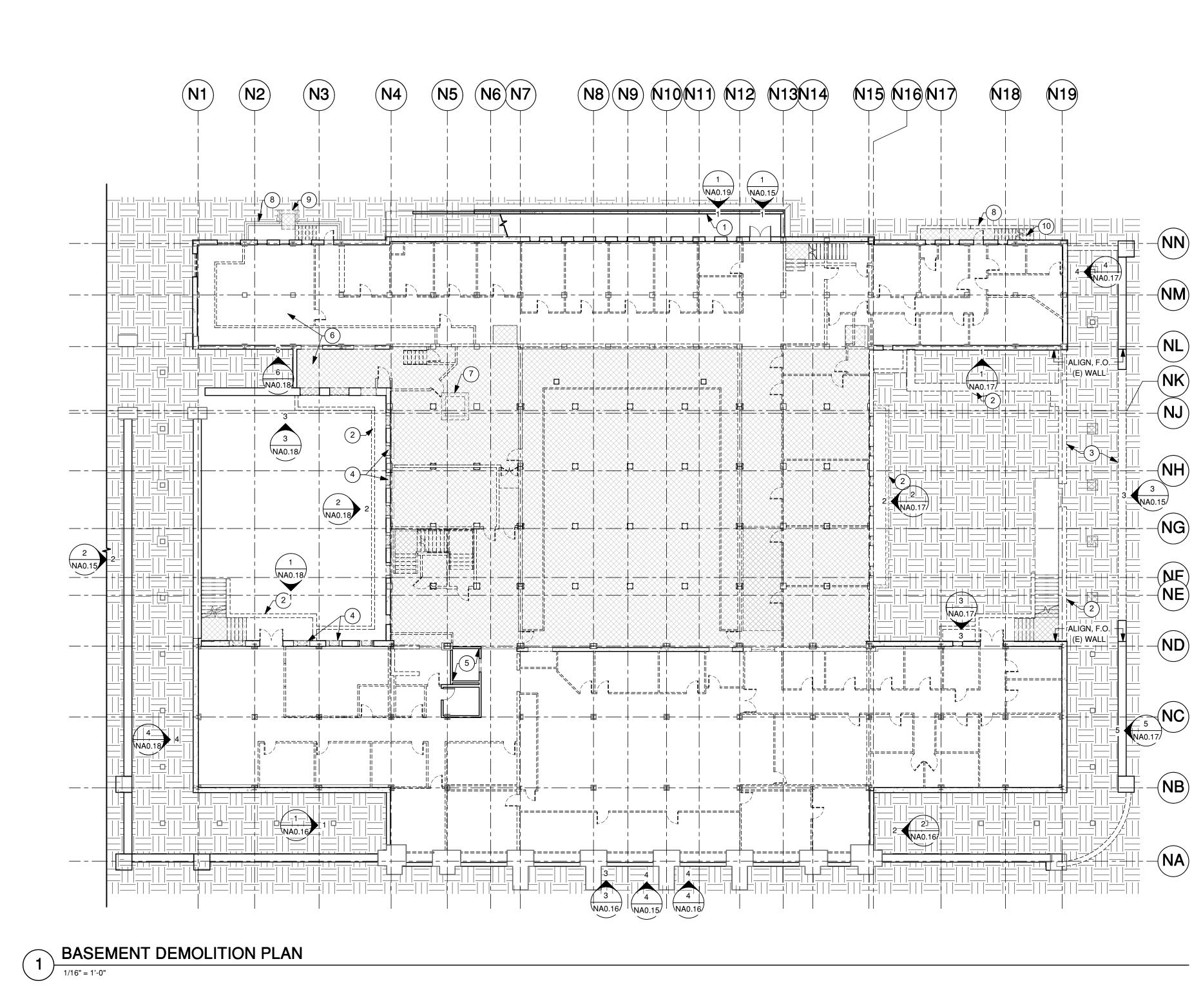
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- 1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND REMOVAL OF HAZARDOUS MATERIAL WITHIN THE BUILDING DEMO SCOPE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO GYPSUM BOARD, DOORS, VCT FLOOR FINISHES, SINKS, CASEWORK, CEILING FINISHES, PIPING, CONDUIT, ETC. THE CONTRACTOR SHALL REVIEW THE HAZARDOUS MATERIAL ASSESSMENT REPORT AND SPECIFICATIONS PROVIDED BY THE OWNER, AND VERIFY THE EXTENT OF THE SCOPE IN THE FIELD, PRIOR TO BIDDING.
- 2. DEMOLISH ALL (E) INTERIOR FLOOR FINISHES, UNLESS OTHERWISE NOTED, RAISED FLOOR SYSTEMS, TOPPING MATERIAL MASTIC, AND BASE, TYPICAL THROUGHOUT . REMOVE ALL GLUES, ADHESIVES, SCREWS, NAILS, AND HARDWARE, AND BEADBLAST THE (E) CONCRETE SLAB TO PREPARE FOR NEW FLOOR FINISH.
- 3. DEMOLISH ALL (E) INTERIOR CEILING FINISHES THROUGHOUT, UNLESS OTHERWISE NOTED. REMOVE T-BAR CEILING SYSTEMS, GYPSUM BOARD SOFFITS AND FRAMING, CEILING GRILLES, DEVICES, ASSOCIATED ATTACHMENTS FOR THE SYSTEM, ETC.
- 4. REMOVE ALL MECHANICAL, ELECTRICAL, PLUMBING, TELECOM, FIRE ALARM, AND FIRE PROTECTION, TYPICAL THROUGHOUT, UNO. THIS INCLUDES BUT IS NOT LIMITED TO MECHANICAL UNITS IN THE BASEMENT, RADIATORS, ELECTRICAL PANELS, GAS PIPING, STEAM PIPING, (E) SUMP PUMP SYSTEM, ETC.
- 5. DEMOLISH ALL WALL AND ROOF INSULATION.
- 6. DEMOLISH ALL CASEWORK, CABINETRY, DISPLAY RACKS, SHELVING, AND THROUGHOUT U.O.N.
- 7. TERMINATE ALL (E) ABANDONED PLUMBING, MECHANICAL, OR ELECTRICAL UTILITIES . CONCEAL WITHIN WALL OR BELOW SLAB . CUT AND PATCH FINISH AS REQUIRED . (E) UNUSED AND CAPPED UTILITIES SHALL NOT BE LEFT EXPOSED.
- MODIFIED FOR ELEVATOR TO SERVE BASEMENT LEVEL AND LEVEL 1 ONLY.



9. REMOVE ALL INTERIOR EXPOSED PIPING, CONDUIT, AND FIXTURES THAT ARE UNUSED, ABANDONED, OR REPLACED WITH NEW WORK AS A PART OF THIS PROJECT, WHETHER SPECIFICALLY NOTED OR NOT.

10. REMOVE ALL EXPOSED NON-STRUCTURAL METAL FASTENERS AND NON-STRUCTURAL FASTENERS EXPOSED BY DEMOLITION, TYPICAL THROUGHOUT THE ENTIRE BUILDING INTERIOR AND EXTERIOR.

FURNITURE SYSTEMS, INCLUDING FASTENERS AND ATTACHMENTS, TYPICAL 11. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIRING ALL (E) SURFACES, MATERIALS, OR FINISHES TO REMAIN THAT BECOME DAMAGED DURING DEMOLITION OR CONSTRUCTION WORK. CONTRACTOR AND SUB-CONTRACTOR(S) SHALL ALSO FIELD INSPECT ALL (E) CONDITIONS WHICH MAY REMAIN, IDENTIFY ANY DAMAGED CONDITIONS, AND PROVIDE PATCHING AND REPAIR AS NEEDED.

12. FIELD WALK AND VERIFY SALVAGE ITEMS LIST WITH OWNER. DEMOLISH ALL REMAINING 8. EXISTING ELEVATOR HOISTWAY TO BE SHORTENED & RELATED CONSTRUCTION ITEMS NOT SALVAGED, WHETHER LISTED OR NOT. REMOVE ALL DOOR LOCKSETS AND CLOSURES, WALL-MOUNTED WHITEBOARDS, BULLETIN BOARDS, MIRRORS, CLOCKS, FIRE EXTINGUISHERS, CEILING FANS, EQUIPMENT, TV BRACKETS, PROJECTOR SCREENS, AND ANY OTHER SIMILAR ITEMS.

- 13. WHERE WALL DEMOLITION IS NOTED, REMOVE WALL FRAMING, CONCRETE CURB, AND ASSOCIATED HARDWARE, ETC, U.O.N., PREPARE SURFACE TO RECEIVE NEW WORK, S.S.D. FOR STRUCTURAL SCOPE, TYP.
- 14. RESTORE ALL DOORS AND WINDOWS. PROVIDE NEW PANELS, GLASS LITES, HARDWARE, FRAMES, AND TRIM AS REQUIRED.
- 15. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAWCUTTING AND TRENCHING TO ACCOMMODATE NEW STRUCTURAL & BUILDING SYSTEMS . KEEP SAWCUTTING TO A MINIMUM IN SIZE AND LOCATION: DIMENSIONS ARE SHOWN FOR REFERENCE & SHOULD BE VERIFIED IN THE FIELD. NOTIFY ARCHITECT SHOULD LOCATIONS DIFFER FROM THOSE PROVIDED ON PLANS. DO NOT REMOVE ANY CONC. FTGS. U.O.N. BY STRUCTURAL DRAWINGS.
- 16. LEAVE CLEAN, STRAIGHT EDGES WITH NO LOOSE OR CRACKED MATERIAL WHERE NEW FINISHES SUCH AS PLASTER, TRIM, OR SEALANT WILL ADJOIN (E) FINISHES.
- 17. CLEAN AND PREPARE ALL (E) SURFACES TO RECEIVE NEW WORK.
- 18. SEE STRUCTURAL NARRATIVE FOR SHORING REQUIREMENTS.

### DEMO FLOOR PLAN LEGEND

(E) WALL OR PARTITION TO REMAIN [\_\_\_\_\_] (E) WALL OR PARTITION TO BE REMOVED

BAAAAAAAAA (E) FLOOR TO BE REMOVED

#### **KEYNOTES - DEMOLITION**

#### (1) (E) RAMP AND RETAINING WALL TO REMAIN

- 2 DEMOLISH (E) AREAWAY, INCLUDING ASSOCIATED STAIRS, RAILING, CONDUIT, AND LIGHT FIXTURES, U.O.N.
- 3 DEMOLISH (E) SUSPENDED SLAB ABOVE AND BELOW-GRADE RETAINING WALLS 4 PROVIDE NEW OPENINGS FOR NEW WINDOWS AND DOORS
- 5 (E) ELEVATOR TO BE REMOVED AND REPLACED WITH (N), SEE GENERAL NOTE 8/A1.00. 6 (E) MECHANICAL ROOMS. REMOVE ALL EQUPIMENT, CURBS, PIPING, PANELS,
- CONDUIT, ETC.
- 7 EXISTING SUMP AREAS TO BE INFILLED PER STRUCTURAL
- 8 (E) AREAWAY TO REMAIN
- 9 DEMOLISH (E) STAIRS AND ASSOCIATED RAILINGS 10 DEMOLISH (E) STAIR. PREPARE FOR (N) WALL AND SITE WORK

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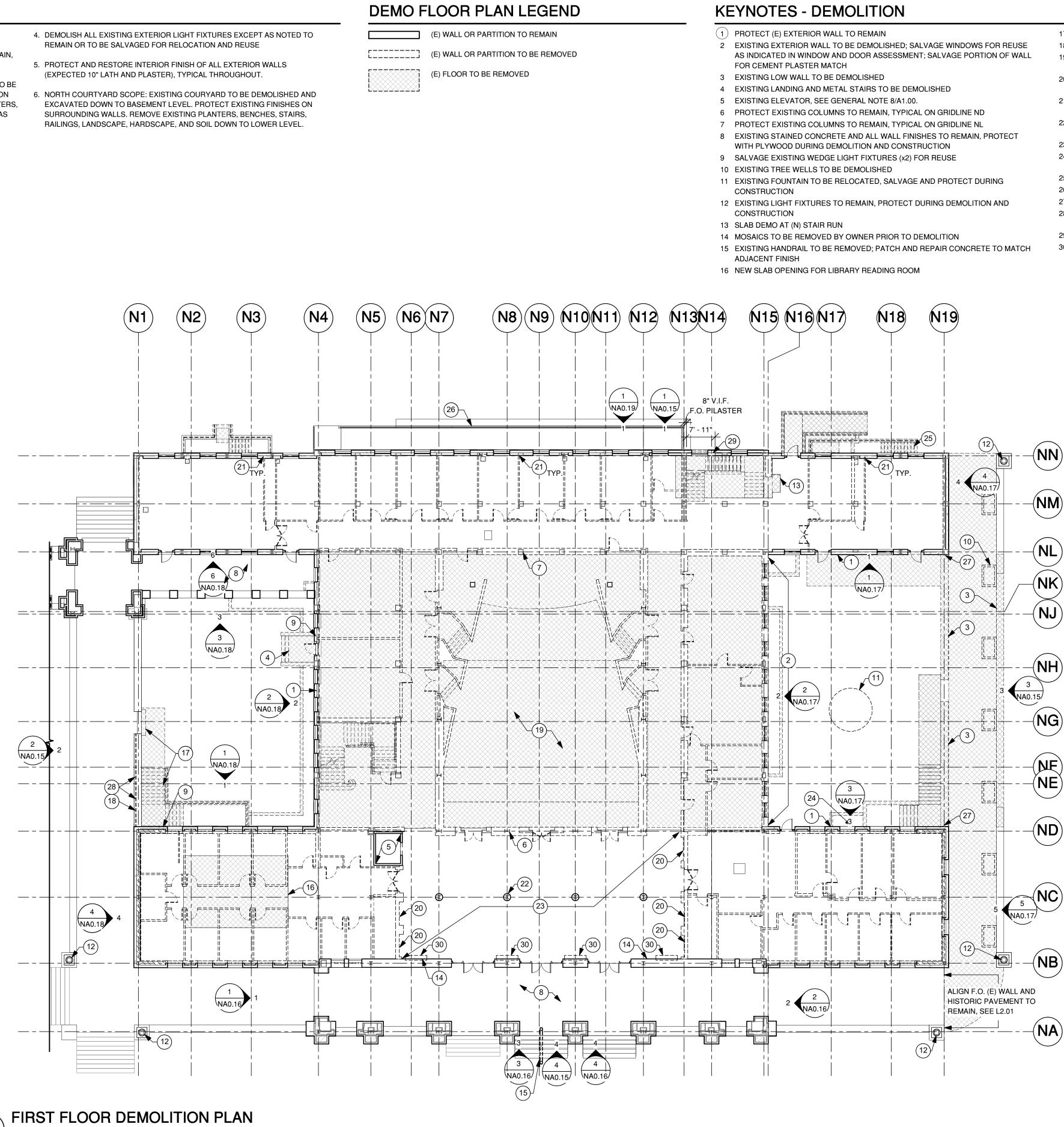
1. SEE GENERAL NOTES ON NA0.10

- 2. PROTECT EXISTING EXTERIOR STONE AND STUCCO FINISHES TO REMAIN, TYPICAL THROUGHOUT.
- 3. SOUTH COURTYARD SCOPE: EXISTING BIRCH TREES AND FOUNTAIN TO BE RELOCATED TO NORTH COURTYARD. SEE TREE RELOCATION SCOPE ON L1.1. DEMOLISH ALL REMAINING MATERIALS. REMOVE EXISTING PLANTERS, BENCHES, STAIRS, RAILINGS, LANDSCAPE, AND HARDSCAPE EXCEPT AS NOTED.

1

1/16" = 1'-0"

- (EXPECTED 10" LATH AND PLASTER), TYPICAL THROUGHOUT.



EXISTING CONCRETE STAIRS AND METAL HANDRAILS TO BE DEMOLISHED EXISTING RAILING TO BE DEMOLISHED EXISTING AUDITORIUM, INCLUDING ALL FRAMING AND SLABS, TO BE DEMOLISHED		VV
ON LEVELS 1, 2, AND 3 POTENTIAL LOCATION OF (E) MURAL, REMOVE COVER BOARD AND CONFIRM W/	ARCHIT	ECTS
UNIVERSITY IF MURALS ARE TO BE SALVAGED OR DEMOLISHED PATCH AND REPAIR (E) INTERIOR PLASTER ON EXTERIOR WALL WHERE DEMOLISHED INTERIOR WALLS JOIN, TYP.	455 LAMBERT AVENUE PALO WWW.CAWARCHITECTS.COM · 650.328.18	
PROTECT (E) PLASTER COLUMNS AND TILE BASE TO REMAIN, TYPICAL ON GRIDLINE NC	COPYRIGHT 2007 BY CAW ARCHITECT	INC
PROTECT (E) TILE FLOOR & COFFERED CEILING TO REMAIN IN LOBBY (E) WINDOWS TO BE RESTORED; REFER TO WINDOW AND DOOR ASSESSMENT FOR SCOPE OF REFURBISHMENT DEMO (E) STAIR. REPAIR ALL EXISTING SURFACES WITH PLASTER FINISH	WILLIAM RAWN ASSOCIATE	S   Architects, Inc. 10 Post Office Sq. Suite 1010 Boston, MA 02109
PROTEXT (E) RAILING TO REMAIN DEMO (E) PARTIAL HEIGHT WALL. REPAIR EXISTING PLASTER AT WALL RETURN	STAMP	
PATCH AND REPAIR CORES IN (E) LOW WALL FROM RAILING REMOVAL. MATCH (E) PLASTER FINISH DEMOLISH EXISTING INTERIOR FURRED WALL FOR NEW DOOR AND RECESS		
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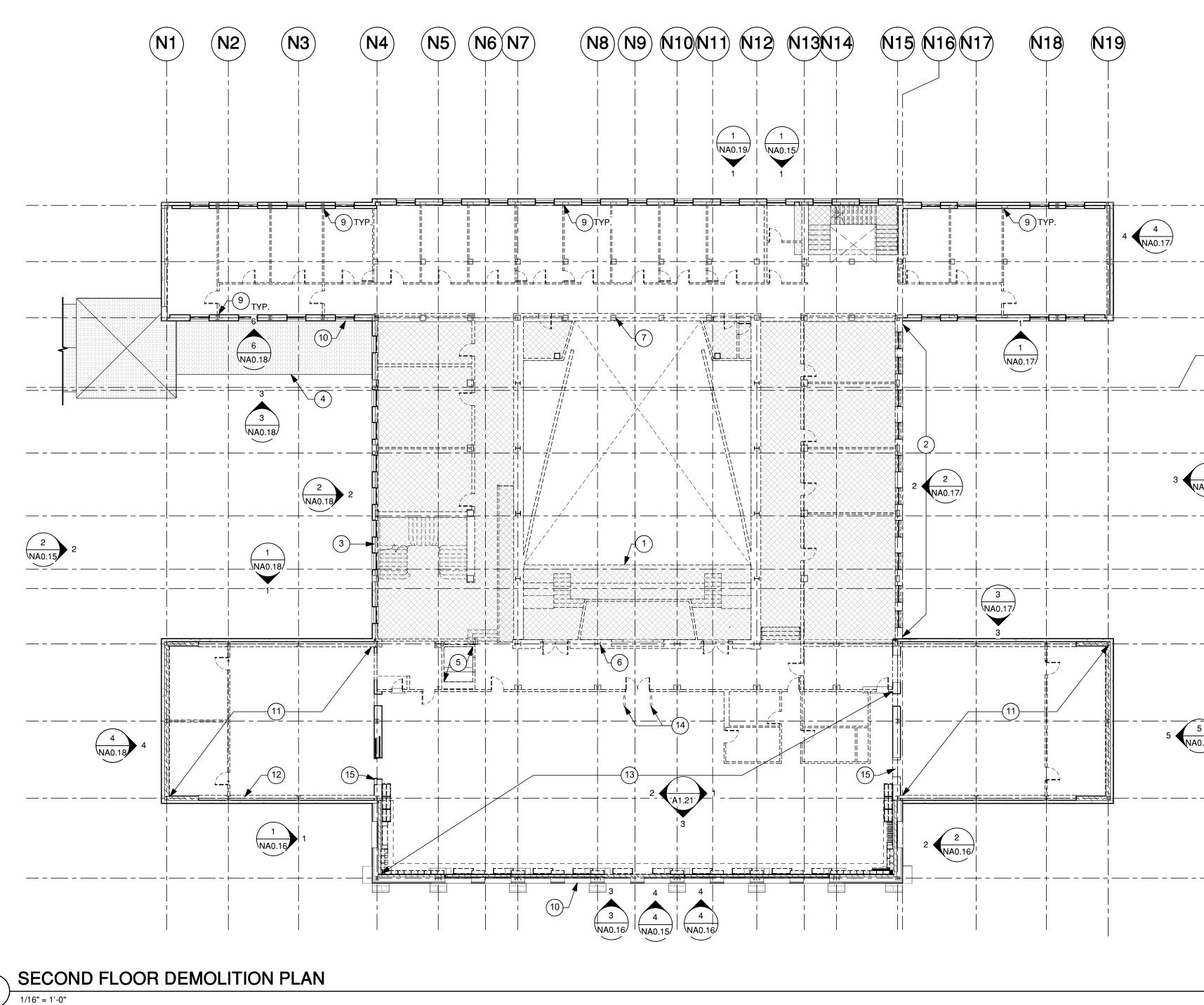
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1. SEE GENERAL NOTES ON NA0.10 AND NA0.11

2. REFER TO DEMOLITION ELEVATIONS FOR SCOPE OF EXISTING CASEWORK

1

MODIFICATIONS



#### DEMO FLOOR PLAN LEGEND

(E) WALL OR PARTITION TO REMAIN

[\_\_\_\_\_] (E) WALL OR PARTITION TO BE REMOVED

P\_\_\_\_\_\_\_\_\_ (E) FLOOR TO BE REMOVED

**KEYNOTES - DEMOLITION** 

- (1) EXISTING CUBBERLY AUDITORIUM TO BE DEMOLISHED 2 EXISTING EXTERIOR WALL TO BE DEMOLISHED; SALVAGE WINDOWS FOR REUSE AS INDICATED IN WINDOW AND DOOR ASSESSMENT; SALVAGE PORTION OF WAL FOR CEMENT PLASTER MATCH
- 3 EXISTING WALL TO REMAIN, REMOVE SLAB UP TO INTERIOR FACE OF WALL 4 PROTECT EXISTING ROOF TILES DURING DEMOLITION. ROOF TILES TO BE REMOVED, CLEANED, AND STORED FOR RE-INSTALLATION. FOLLOW UNIVERSITY
- STANDARDS NOTED IN SPECIFICATION. 5 EXISTING ELEVATOR AND ALL ASSOCIATED CONSTRUCTION TO BE REMOVED ON LEVEL 2 AND 3, SEE GENERAL NOTE 8/A1.00
- 6 PROTECT EXISTING COLUMNS TO REMAIN, TYPICAL ON GRIDLINE ND
- 7 PROTECT EXISTING COLUMNS TO REMAIN, TYPICAL ON GRIDLINE NL

E	9	PATCH EXISTING INTERIOR PLASTER ON EXTERIOR WALL WHERE DEMOLISHED INTERIOR WALLS JOIN, TYP.		7 W
- LL	10	EXISTING WINDOWS TO BE RESTORED IN PLACE; REFER TO WINDOW AND DOOR ASSESSMENT FOR SCOPE OF REFURBISHMENT	ARCHITE	CTS
	11	EXISTING CEILING TO REMAIN. PATCH & REPAIR AS REQUIRED FOR NEW	AKCHIIE	613
Y	12	CONSTRUCTION DEMOLISH SURFACE MOUNTED POWER RECEPTACLES & RACEWAYS	455 LAMBERT AVENUE PALO A	
N		EXISTING CEILING TO BE DEMOLISHED REMOVE AND SALVAGE EXISTING BOOK THEFT DETECTORS. STORE FOR REUSE.	WWW.CAWARCHITECTS.COM • 650.328.1818	<ul> <li>FAX: 650.328.1888</li> </ul>
		DEMOLISH (E) FRAMED STUCCO WALL FINISH FOR NEW DOOR ROUGH OPENING.	COPYRIGHT 2017 BY CAW ARCHITECTS. INC	
		SEE DOOR DETAILS ON A7.13.	WILLIAM RAWN ASSOCIATES	
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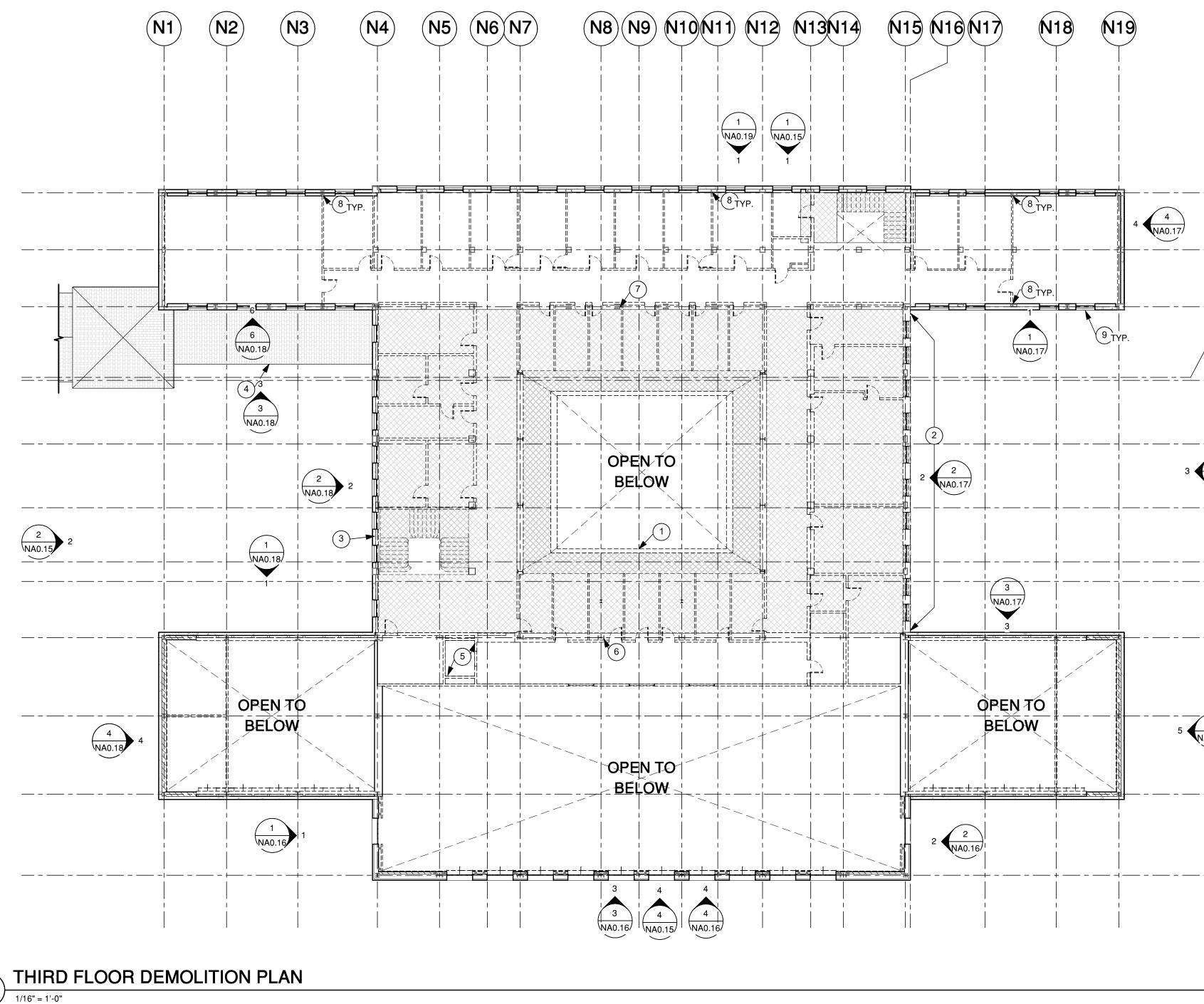
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1. SEE GENERAL NOTES ON NA0.10 AND NA0.11

2. REFER TO DEMOLITION ELEVATIONS FOR SCOPE OF EXISTING CASEWORK

1

MODIFICATIONS



#### DEMO FLOOR PLAN LEGEND



(E) WALL OR PARTITION TO REMAIN

[\_\_\_\_\_] (E) WALL OR PARTITION TO BE REMOVED

(E) FLOOR TO BE REMOVED

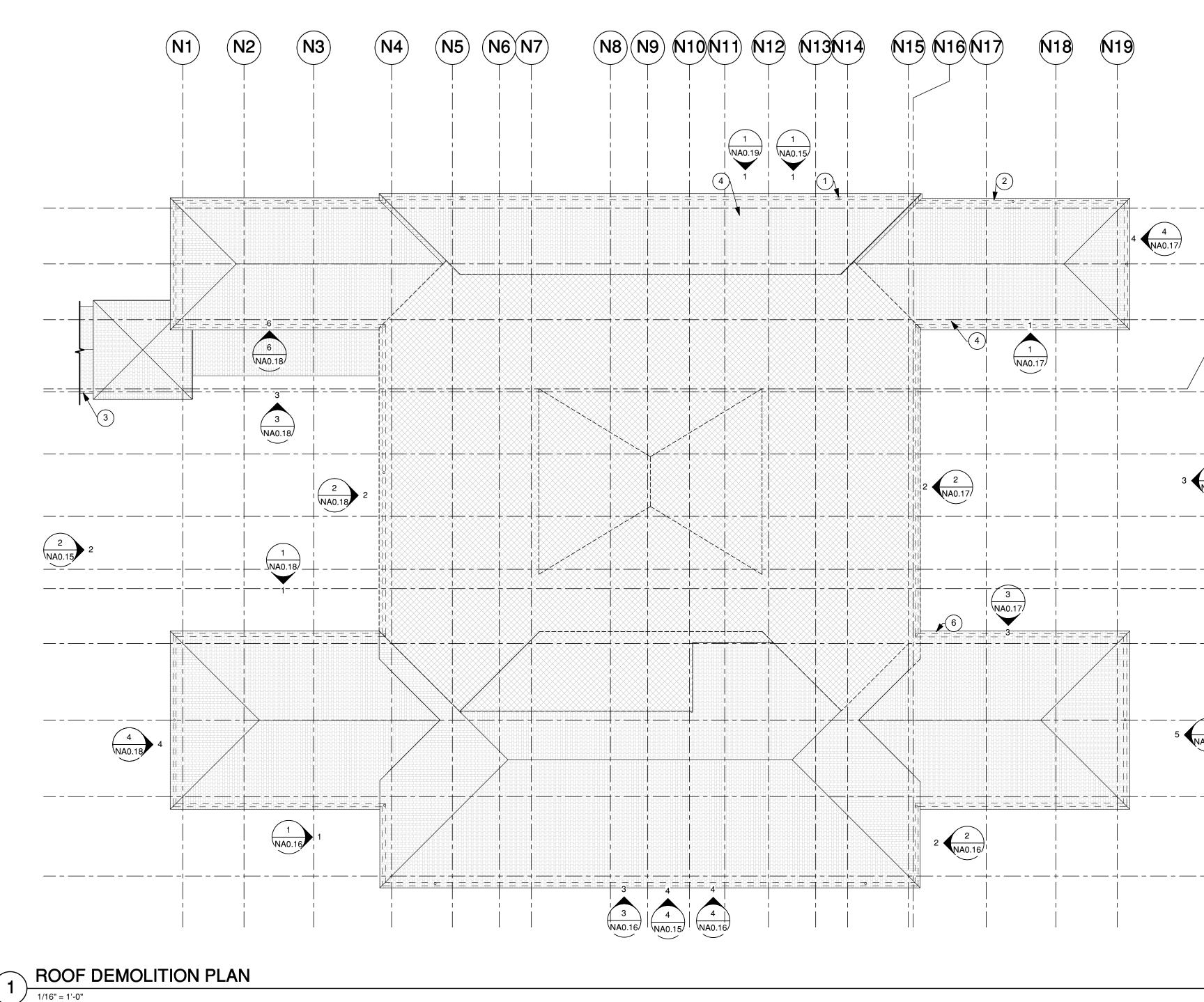
#### **KEYNOTES - DEMOLITION**

- (1) EXISTING CUBBERLY AUDITORIUM TO BE DEMOLISHED 2 EXISTING EXTERIOR WALL TO BE DEMOLISHED; SALVAGE WINDOWS FOR RE AS INDICATED IN WINDOW AND DOOR ASSESSMENT; SALVAGE PORTION OF FOR CEMENT PLASTER MATCH
- 3 EXISTING WALL TO REMAIN, REMOVE SLAB UP TO INTERIOR FACE OF WALL
- 4 PROTECT EXISTING ROOF TILES DURING DEMOLITION. ROOF TILES TO BE REMOVED, CLEANED, AND STORED FOR RE-INSTALLATION. FOLLOW UNIVER STANDARDS NOTED IN SPECIFICATION.

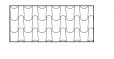
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٤ RSITY	INTERIOR WALLS JOIN, TYP.	455 LAMBERT AVENUE PALC WWW.CAWARCHITECTS.COM · 650.328	) ALTO, CA 94306
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1. SEE GENERAL NOTES ON NA0.10 AND NA0.11

- ROOF SCOPE: EXISTING CLAY ROOF TILES TO BE REMOVED, CLEANED, AND STORED FOR RE-INSTALLATION. EXISTING SHEATHING TO BE INSPECTED AND ANY DAMAGED OR DETERIORATED SHEATHING TO BE REPLACED IN KIND.
- 3. VERIFY CONTINUOUS MEMBRANE WATERPROOFING EXISTS IN GOOD CONDITION IN ALL AREAS. REPLACE WATERPROOFING IF CONDITION IS POOR PER UNIVERSITY REVIEW



### DEMO ROOF PLAN LEGEND



FAAAAAAAAA

(E) ROOF TO BE REMOVED AND REINSTALLED WITH SEISMIC WIRING

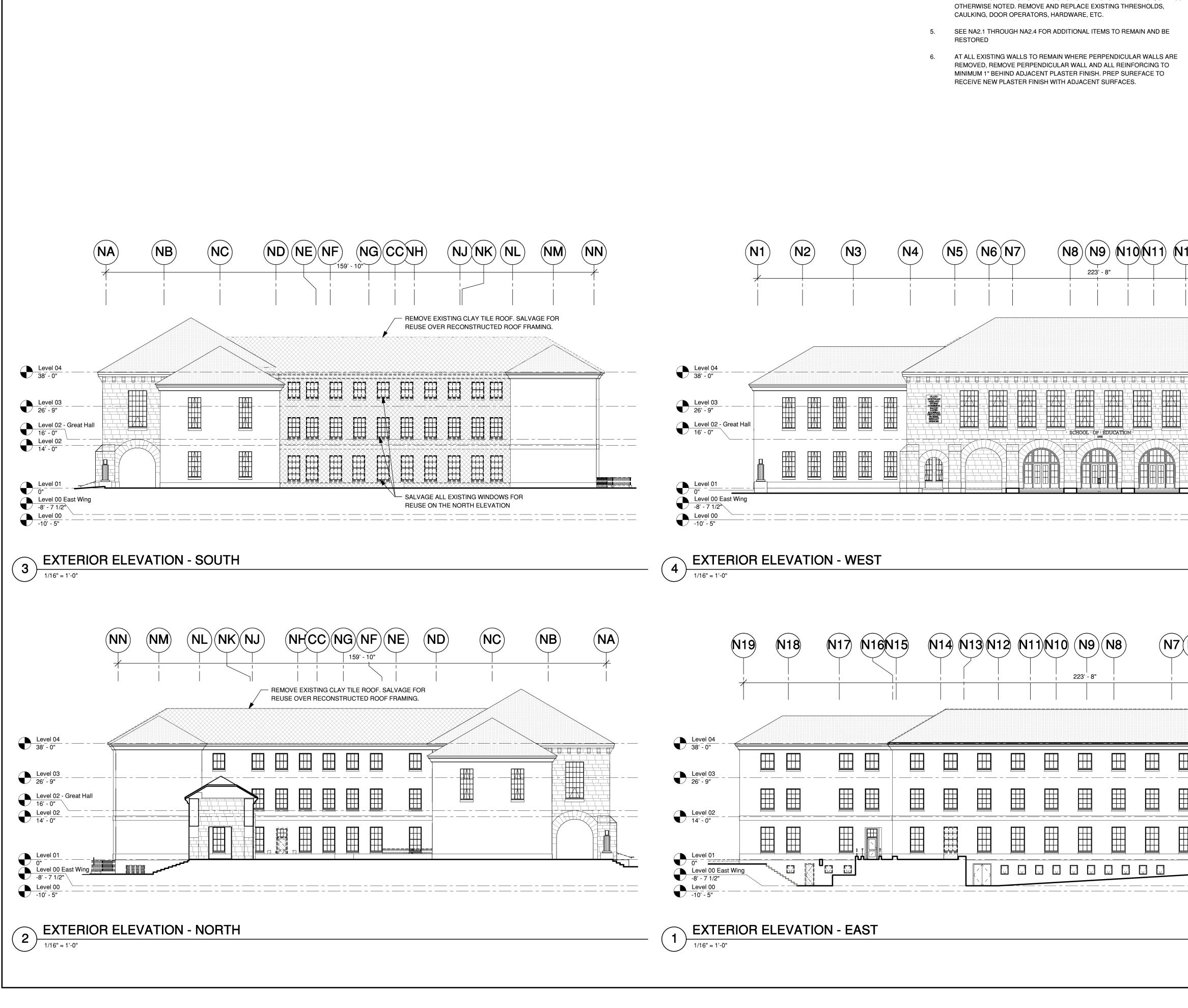
(E) ROOF TO BE REMOVED AND RECONSTRUCTED PER PROPOSED ROOF PLAN. SALVAGE ALL CLAY TILES FOR REUSE.

#### **KEYNOTES - DEMOLITION**

- 1 EXISTING ROOF DRAINS TO BE REMOVED AND REPLACED WITH NEW
- 2 EXISTING GUTTERS TO BE PROTECTED AND REUSED3 EXISTING WALKWAY ROOF NOT IN SCOPE
- PROTECT EXISTING ROOF TILES DURING DEMOLITION. ROOF TILES TO BE
   REMOVED, CLEANED, AND STORED FOR RE-INSTALLATION. FOLLOW UNIVERSI
- STANDARDS NOTED IN SPECIFICATION.6 PROTECT EXISTING CORNICE UP TO CORNER OF WALL AT GRIDLINE N15

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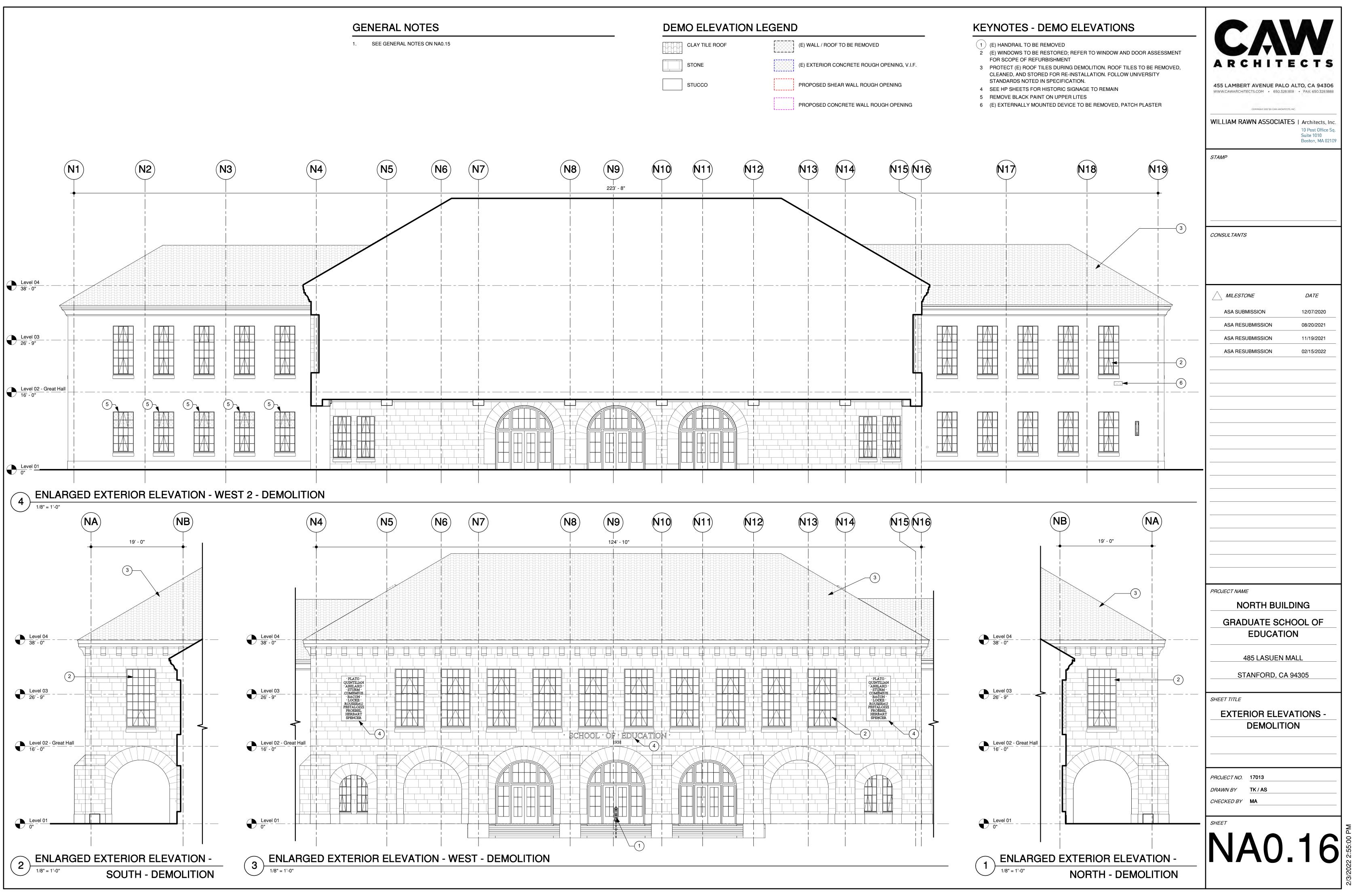
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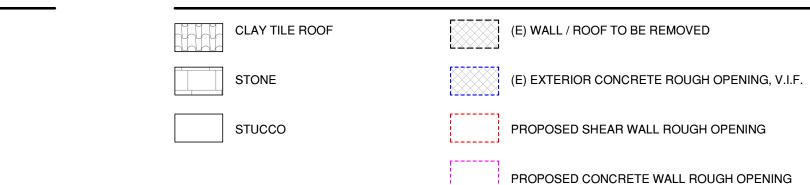
EXISTING EXTERIOR STONE AND STUCCO FINISHES TO REMAIN, TYPICAL. PROTECT DURING DEMOLITION AND CONSTRUCTION.

- REMOVE ALL EXISTING LIGHT FIXTURES, PIPING, CONDUIT, SENSORS, 2. SIGNAGE, AND MISCELLANEOUS FASTENERS OR OTHER ITEMS ON EXTERIOR WALLS, UNLESS OTHERWISE NOTED.
- SEE NA0.14 FOR ROOF DEMOLITION SCOPE. 3.
- ALL EXTERIOR WINDOWS AND DOORS TO BE RESTORED IN PLACE, UNLESS 4.

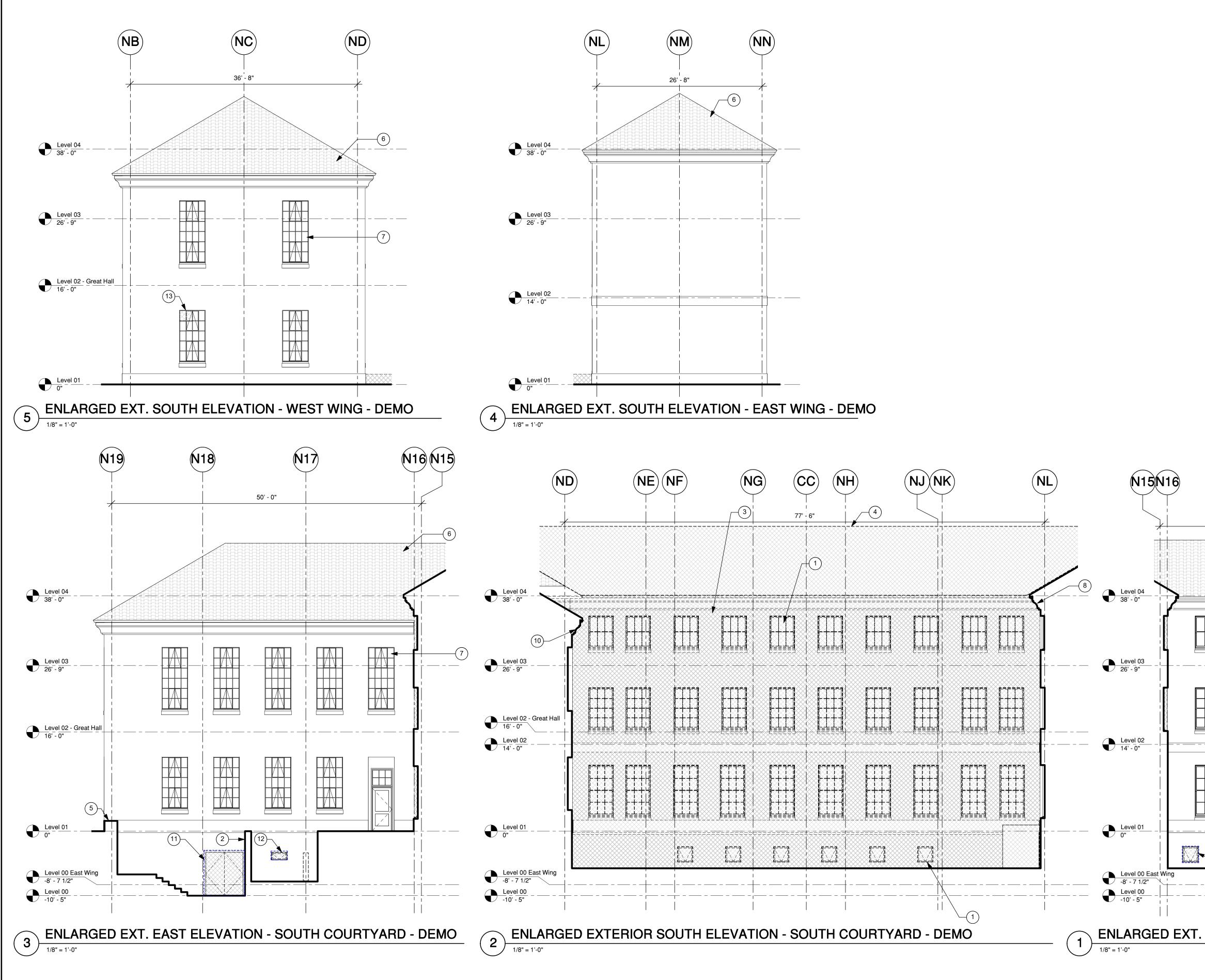
DEMO ELEVATION LEGEND	
CLAY TILE ROOF	CAW
STONE	ARCHITECTS
STUCCO	455 LAMBERT AVENUE PALO ALTO, CA 94306 WWW.CAWARCHITECTS.COM · 650.328.1818 · FAX: 650.328.1888
(E) WALL / ROOF TO BE REMOVED	COPYRIGHT 2017 BY CAW ARCHITECTS, INC.
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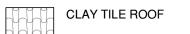




1. SEE GENERAL NOTES ON NA0.15







STONE

STUCCO

(E) WALL / ROOF TO BE REMOVED 

(E) EXTERIOR CONCRETE ROUGH OPENING, V.I.F.

PROPOSED SHEAR WALL ROUGH OPENING

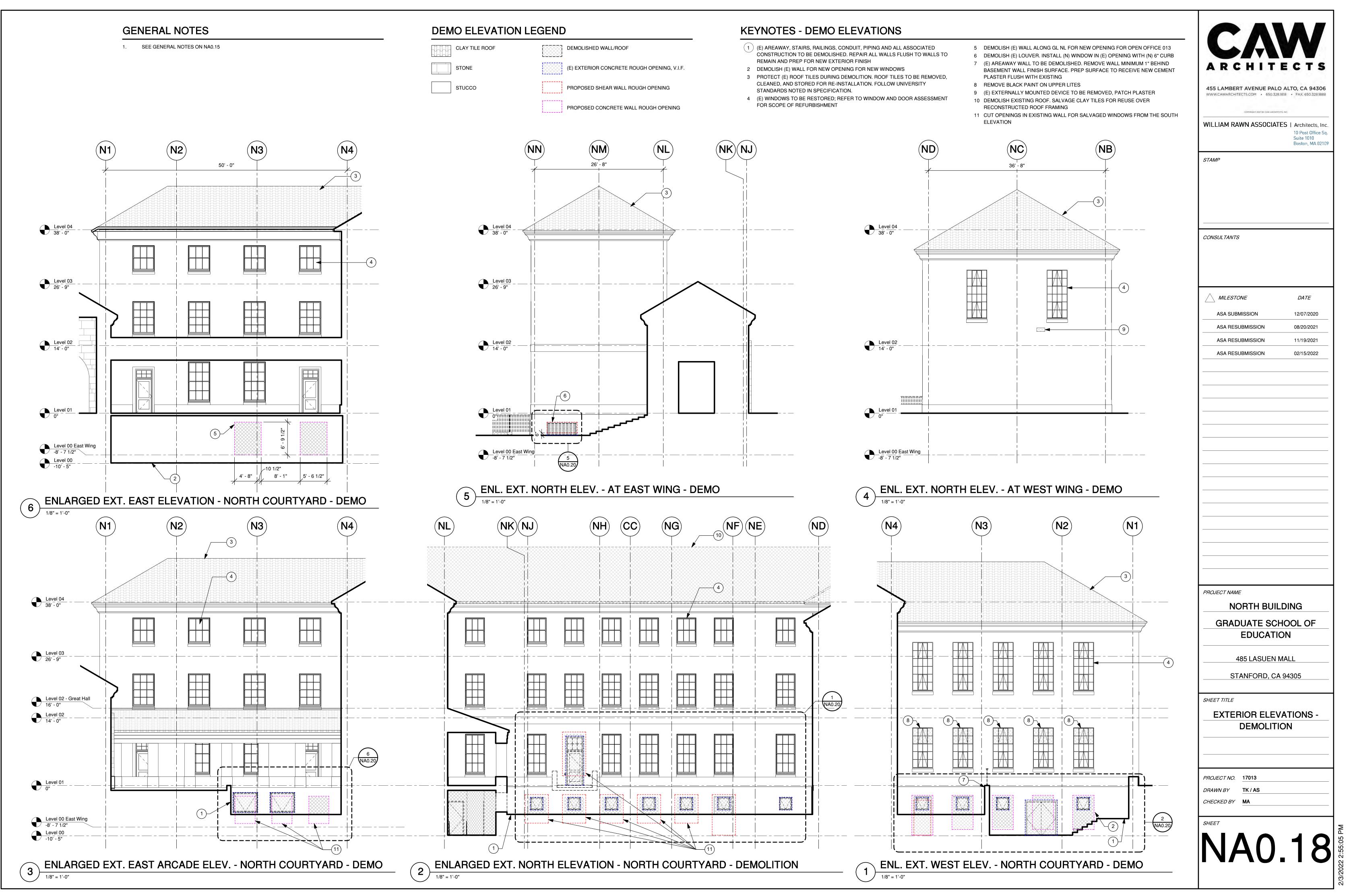
PROPOSED CONCRETE WALL ROUGH OPENING

### **KEYNOTES - DEMO ELEVATIONS**

- (1) SALVAGE (E) WINDOWS FOR REUSE AS INDICATED IN WINDOW AND DOOR ASSESSMENT
- 2 (E) AREAWAY TO BE DEMOLISHED. REMOVE WALL MINIMUM 1" BEHIND BASEMENT WALL FINISH SURFACE. SKIM SURFACE AND PREP TO RECEIVE WATERPROOFING 3 (E) WALL TO BE DEMOLISHED. PROTECT ADJACENT CONSTRUCTION DURING
- DEMOLITION; SALVAGE PORTION OF WALL FOR CEMENT PLASTER MATCH 4 (E) ROOF TO BE DEMOLISHED. SALVAGE CLAY TILES FOR REUSE OVER
- RECONSTRUCTED ROOF FRAMING 5 (E) PARTIAL HEIGHT WALL TO BE DEMOLISHED. REPAIR (E) PLASTER AT WALL
- RETURN 6 PROTECT (E) ROOF TILES DURING DEMOLITION. ROOF TILES TO BE REMOVED,
- CLEANED, AND STORED FOR RE-INSTALLATION. FOLLOW UNIVERSITY STANDARDS NOTED IN SPECIFICATION. 7 (E) WINDOWS TO BE RESTORED; REFER TO WINDOW AND DOOR ASSESSMENT
- FOR SCOPE OF REFURBISHMENT 8 PROTECT (E) CORNICE. REPAIR TO FACE OF (N) WALL AT GRIDLINE N15
- 10 PROTECT (E) CORNICE. REPAIR TO FACE OF (N) WALL AT GRIDLINE N15
- 11 (E) DOOR TO BE DEMOLISHED. INFILL OPENING WITH CONCRETE PER STRUCTURAL DRAWINGS. (N) CONCRETE TO BE FLUSH WITH ADJACENT WALL FINISH. PREP TO RECEIVE NEW WATERPROOFING
- 12 (E) WINDOW TO BE DEMOLISHED. INFILL OPENING WITH CONCRETE PER STRUCTURAL DRAWINGS. (N) CONCRETE TO BE FLUSH WITH ADJACENT WALL FINISH. PREP TO RECEIVE NEW WATERPROOFING
- 13 REMOVE (E) DEVICES AT WINDOW AND PREP FOR NEW GLAZING

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N	17			19
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MILESTONE         ASA SUBMISSION         ASA RESUBMISSION         ASA RESUBMISSION	DATE 12/07/2020 08/20/2021 11/19/2021
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485 LASUEN M	
EXTERIOR ELEV	
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1. SEE GENERAL NOTES ON NA0.15



#### DEMO ELEVATION LEGEND

CLAY TILE ROOF	(E) WALL / ROOF TO BE REMOVED
STONE	(E) EXTERIOR CONCRETE ROUGH OPENING, V.I.F.
STUCCO	PROPOSED SHEAR WALL ROUGH OPENING
	PROPOSED CONCRETE WALL ROUGH OPENING

### **KEYNOTES - DEMO ELEVATIONS**

- (1) (E), STAIRS, RAILINGS, CONDUIT, PIPING, ETC. TO BE DEMOLISHED 2 PROTECT (E) ROOF TILES DURING DEMOLITION. ROOF TILES TO BE REMOVED, CLEANED, AND STORED FOR RE-INSTALLATION. FOLLOW UNIVERSITY STANDARDS NOTED IN SPECIFICATION.
- 3 (E) WINDOWS TO BE RESTORED; REFER TO WINDOW AND DOOR ASSESSMENT FOR SCOPE OF REFURBISHMENT

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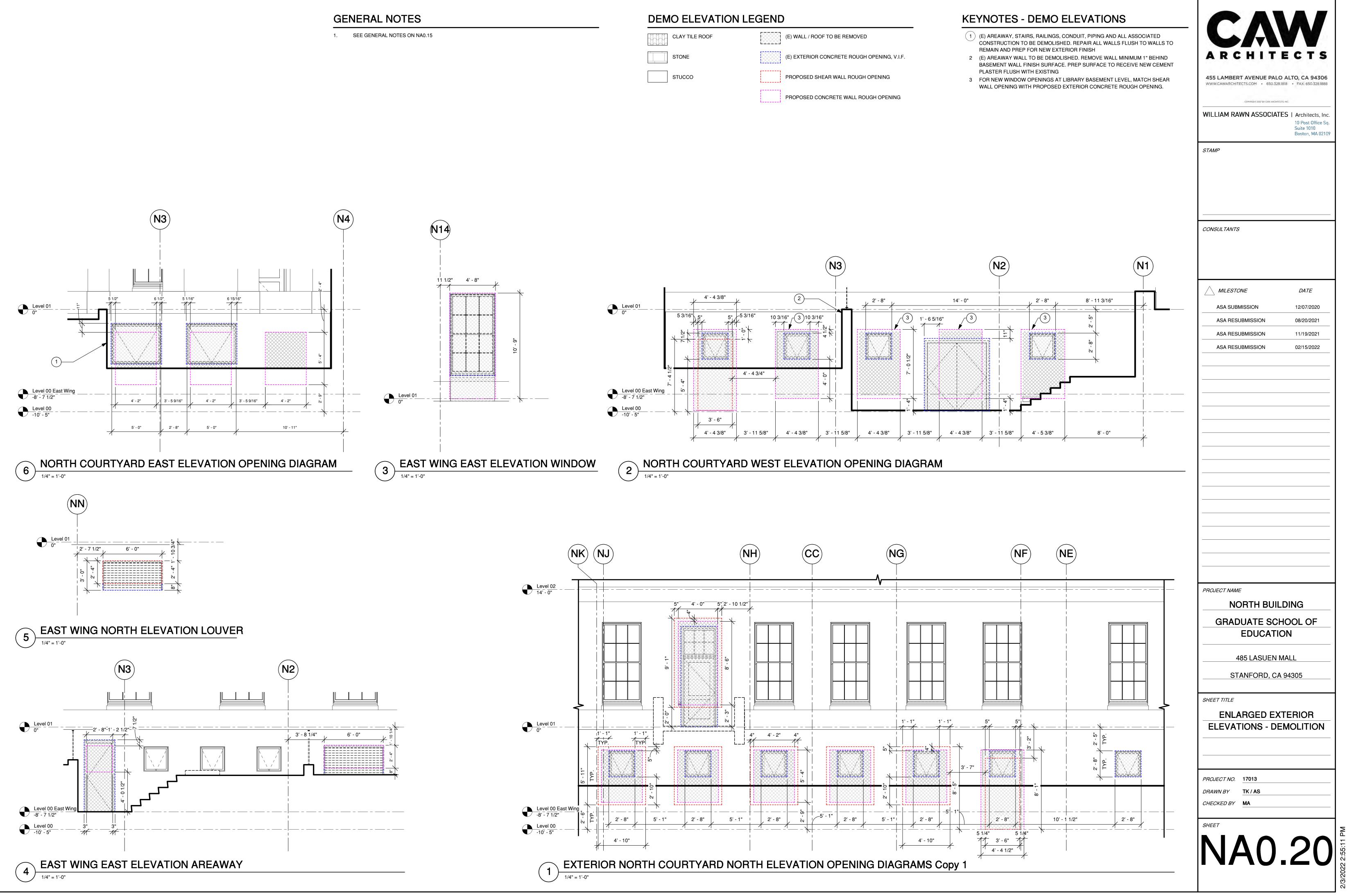
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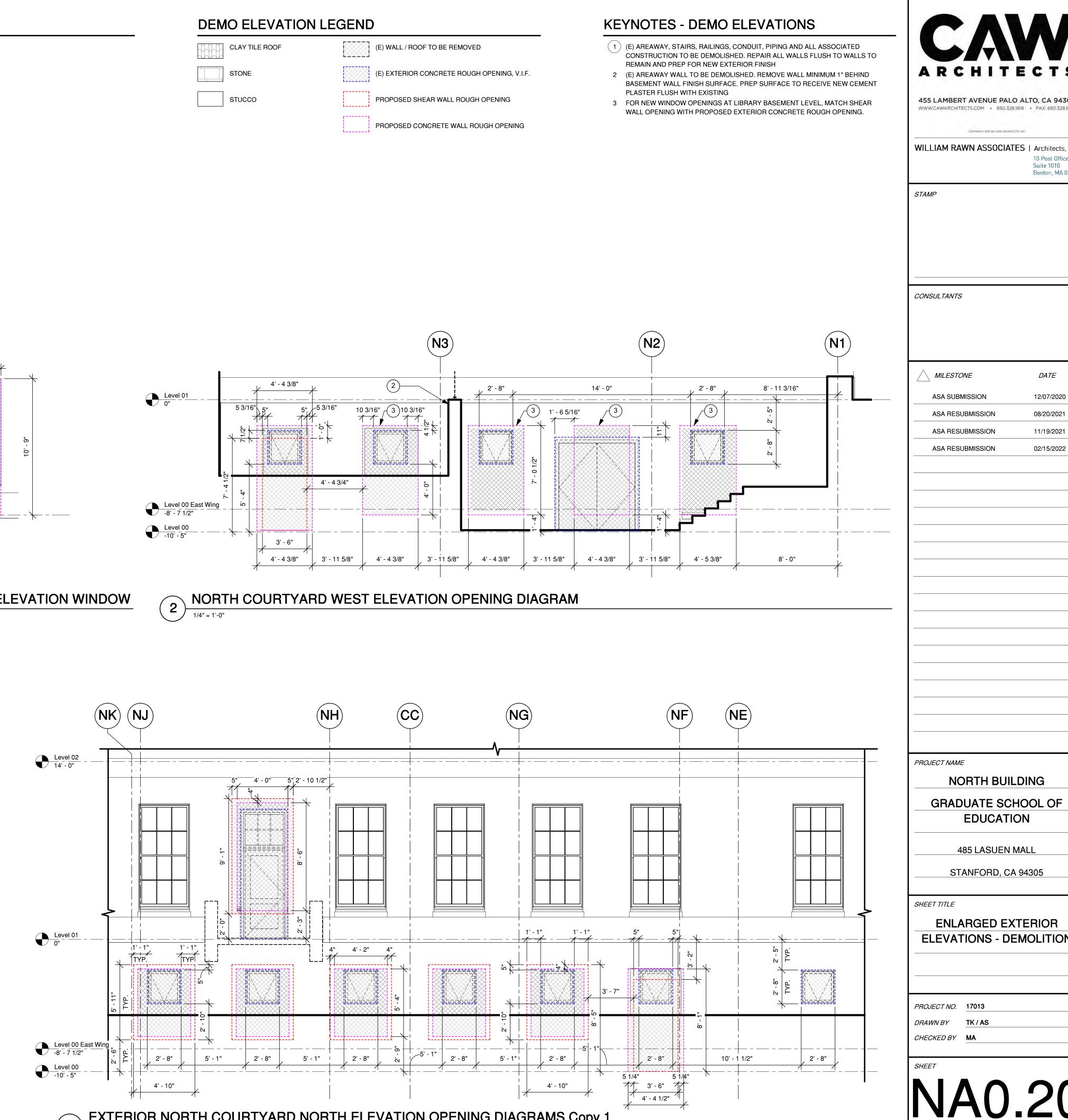
Boston, MA 02109

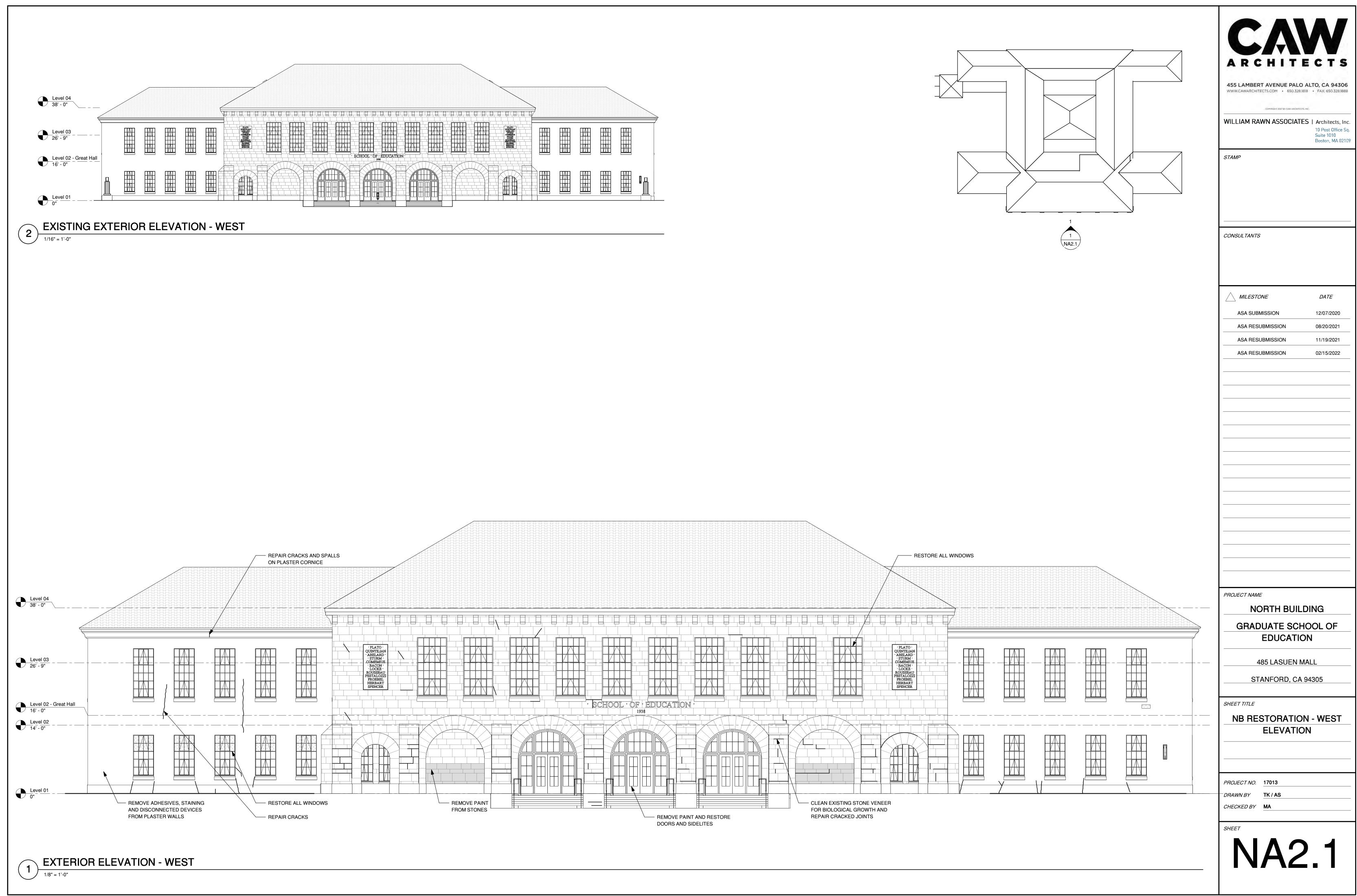
Suite 1010

- 4 SEE DEMO PLANS FOR STAIRS TO BE REMOVED. REPAIR BUILDING WALL AND PREP EXPOSED SURFACES FOR CEMENT PLASTER
- 5 (E) DOOR TO BE DEMOLISHED. (N) WINDOW TO BE INSTALLED IN (E) DOOR OPENING. INFILL REST OF (E) OPENING WITH NEW CEMENT PLASTER FINISH TO MATCH ADJACENT
- 6 (E) WINDOW TO BE DEMOLISHED. DEMOLISH WALL BELOW (E) SILL FOR (N) DOOR 7 REMOVE (E) DEVICES AT WINDOW AND PREP FOR NEW GLAZING
- 8 (E) EXTERNALLY MOUNTED DEVICE TO BE REMOVED, PATCH PLASTER
- 9 (E) DOOR TO BE DEMOLISHED. INFILL REST OF (E) OPENING WITH NEW CEMENT PLASTER FINISH TO MATCH ADJACENT

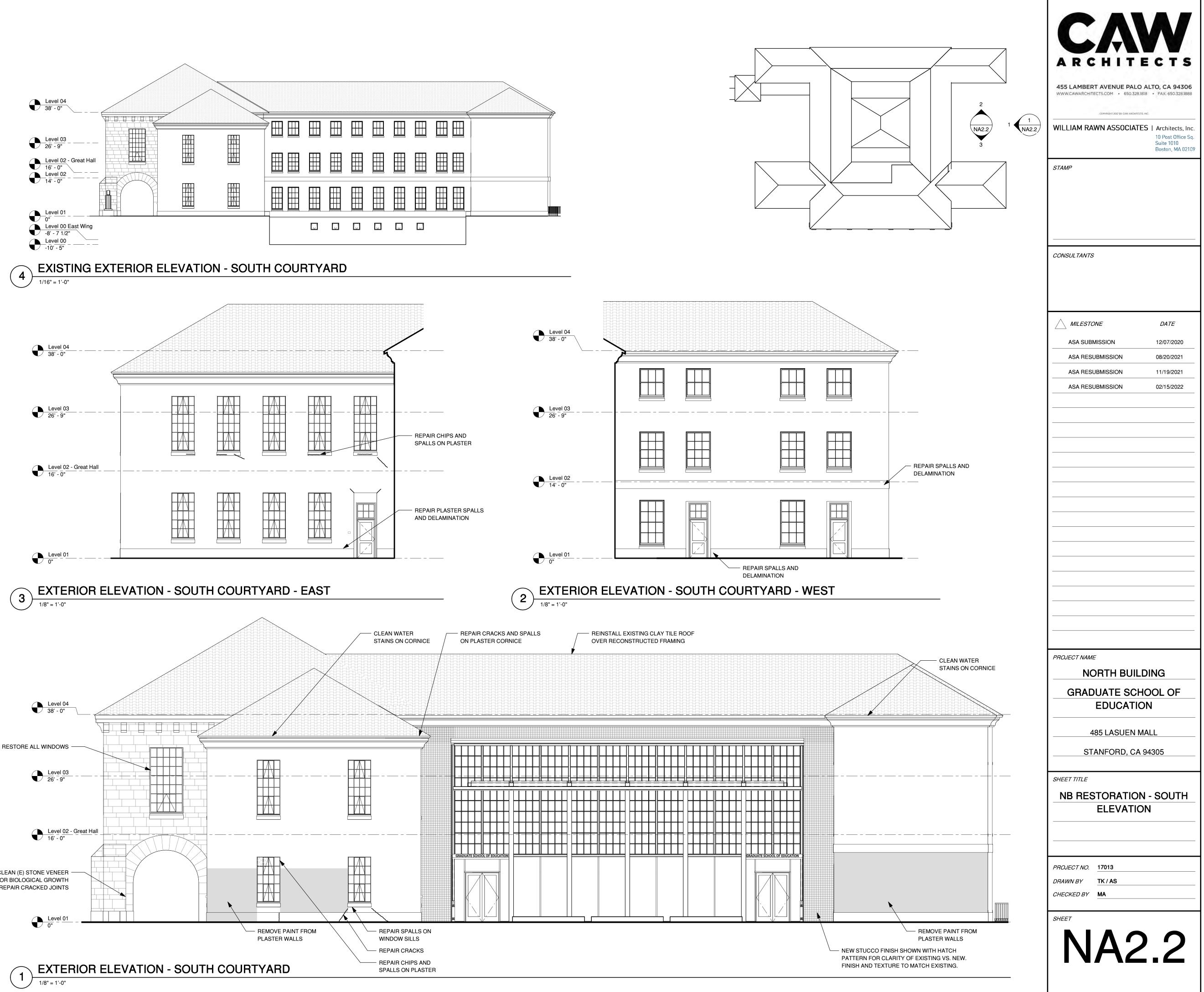


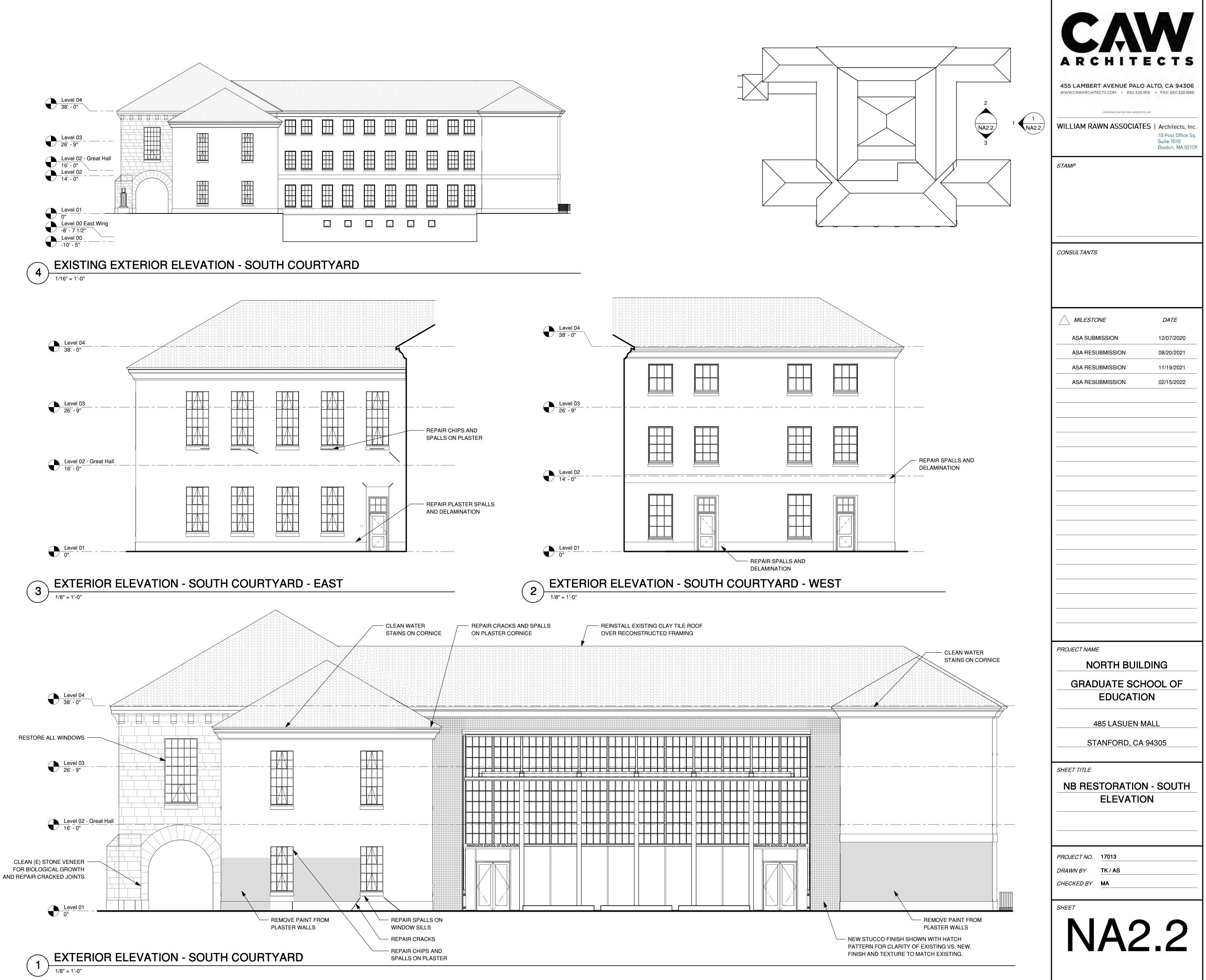


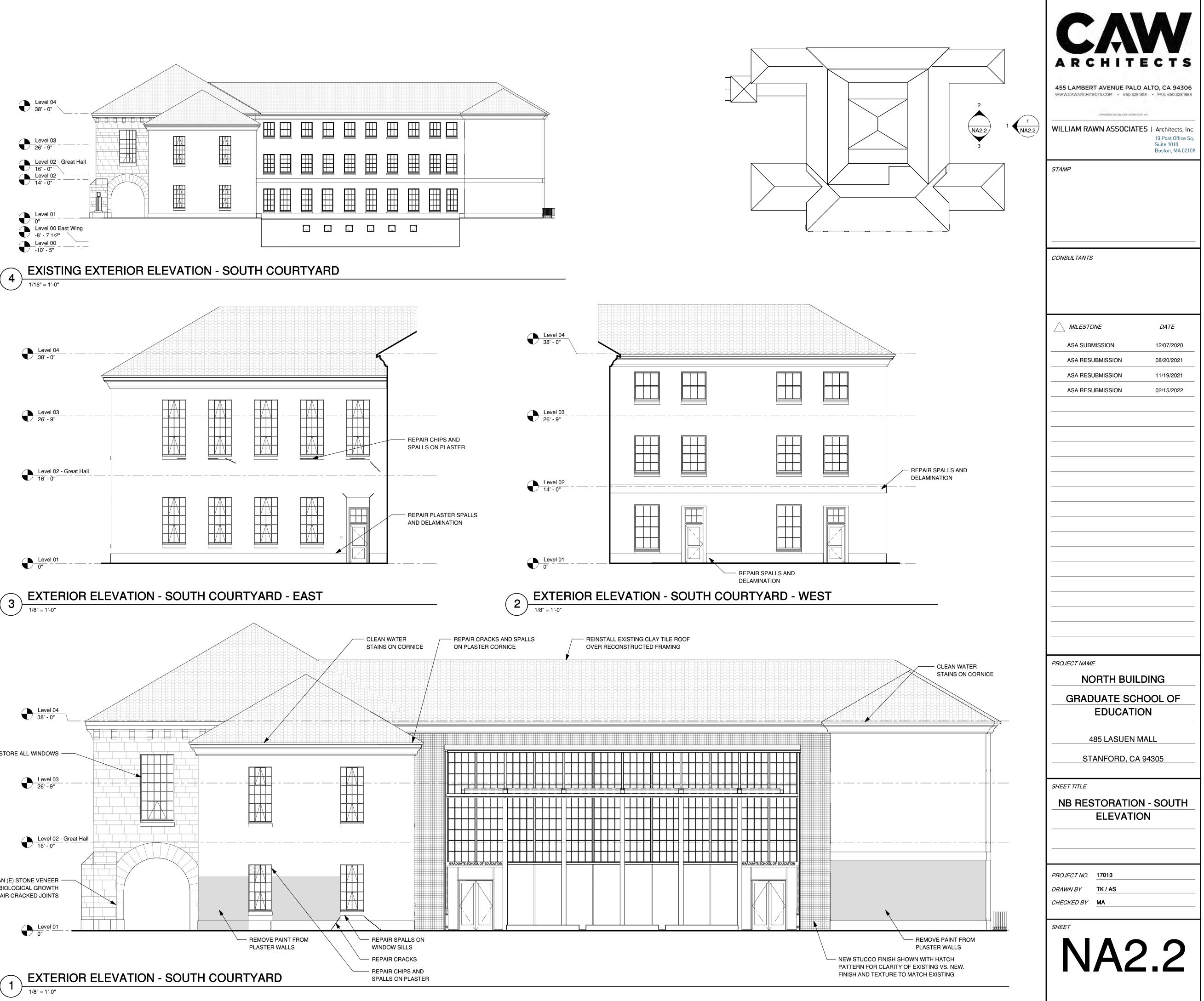


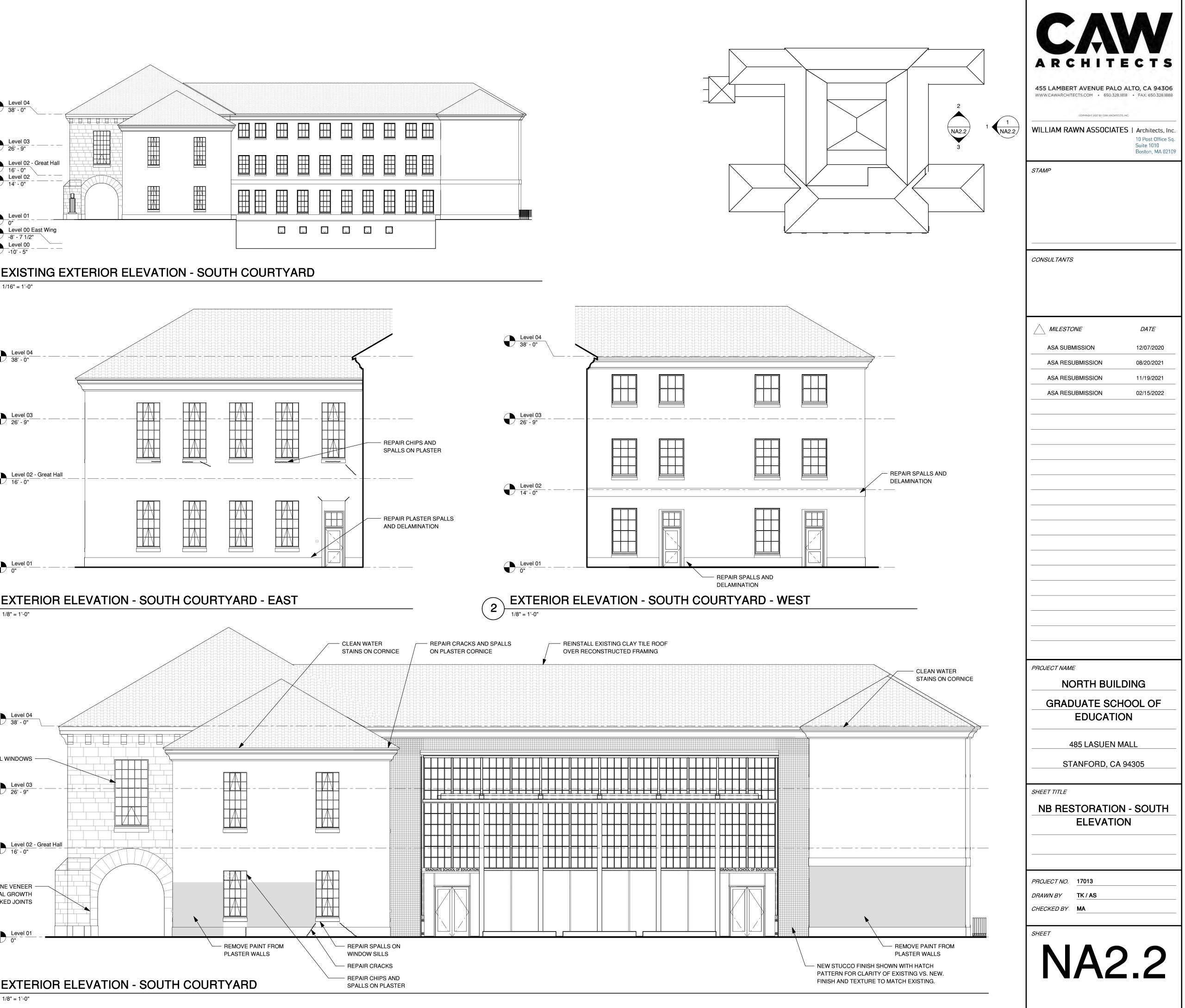


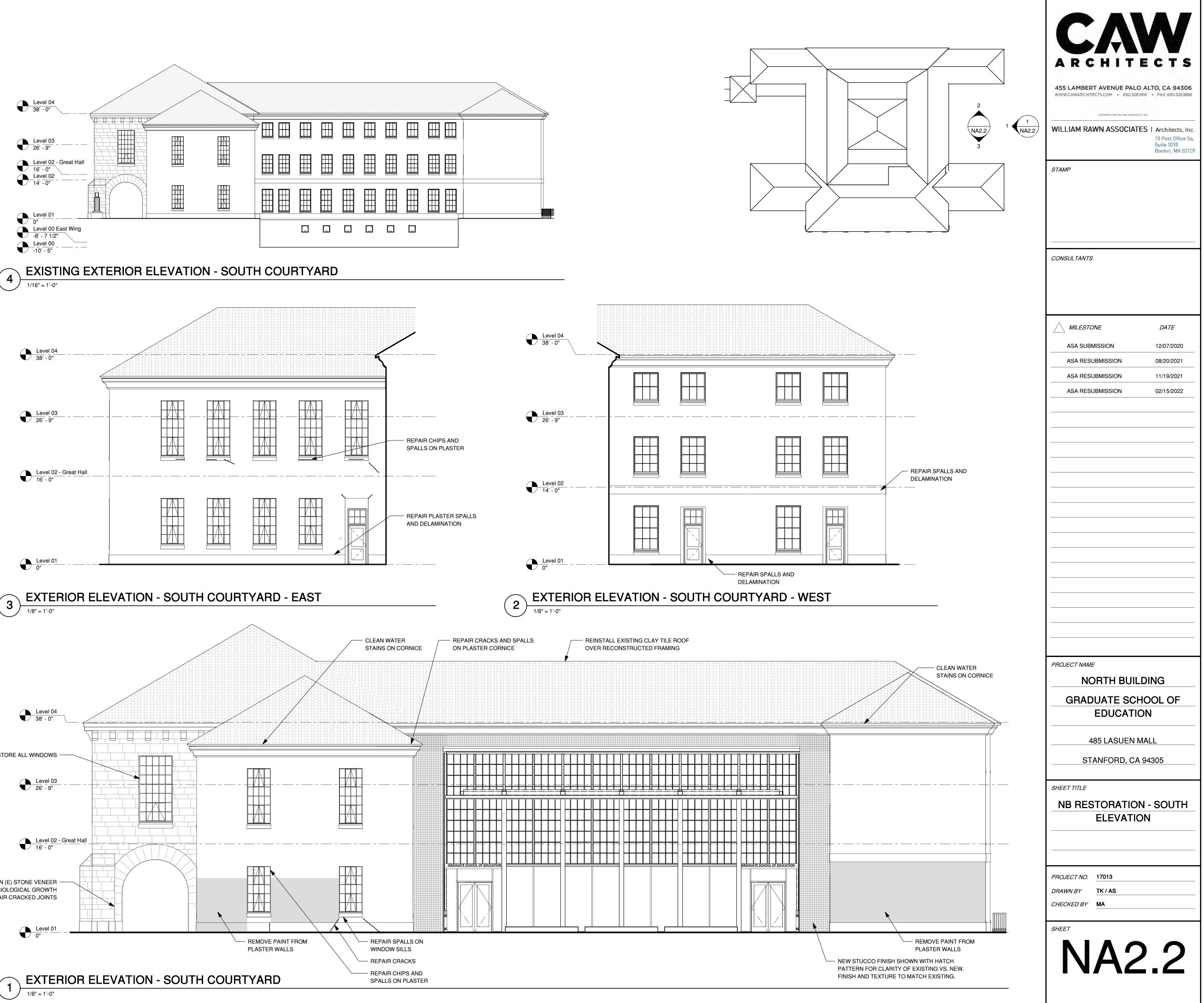
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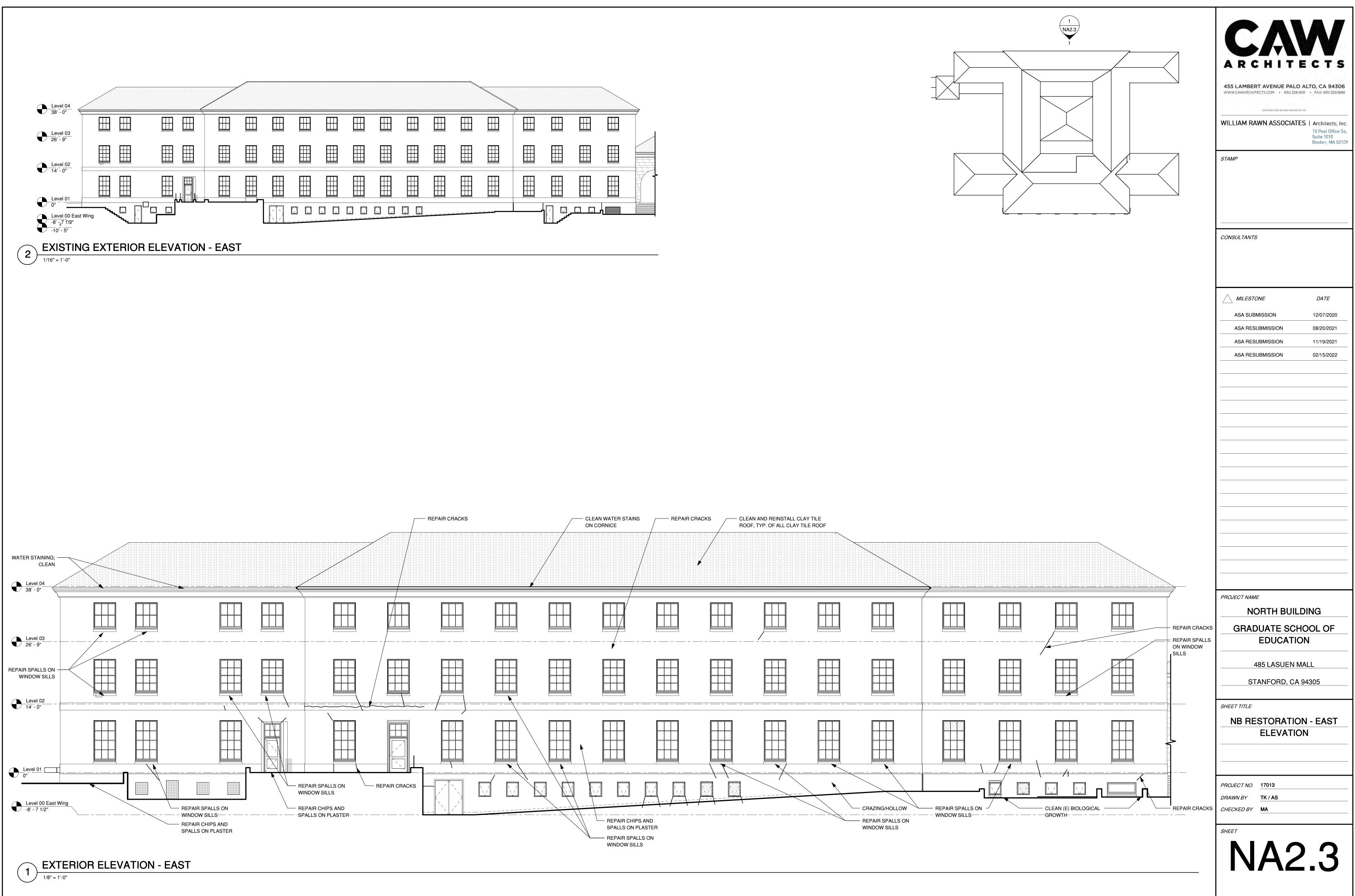




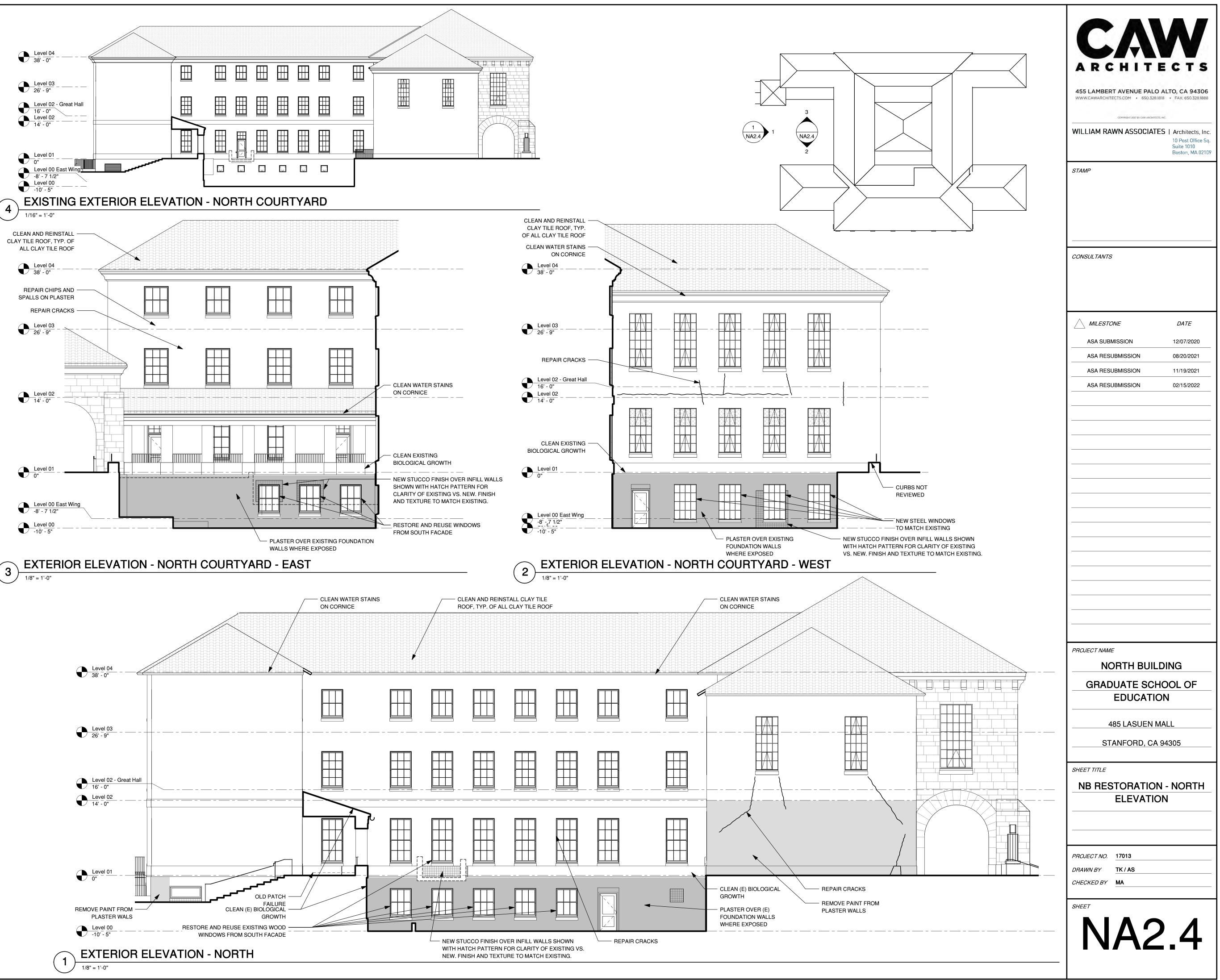


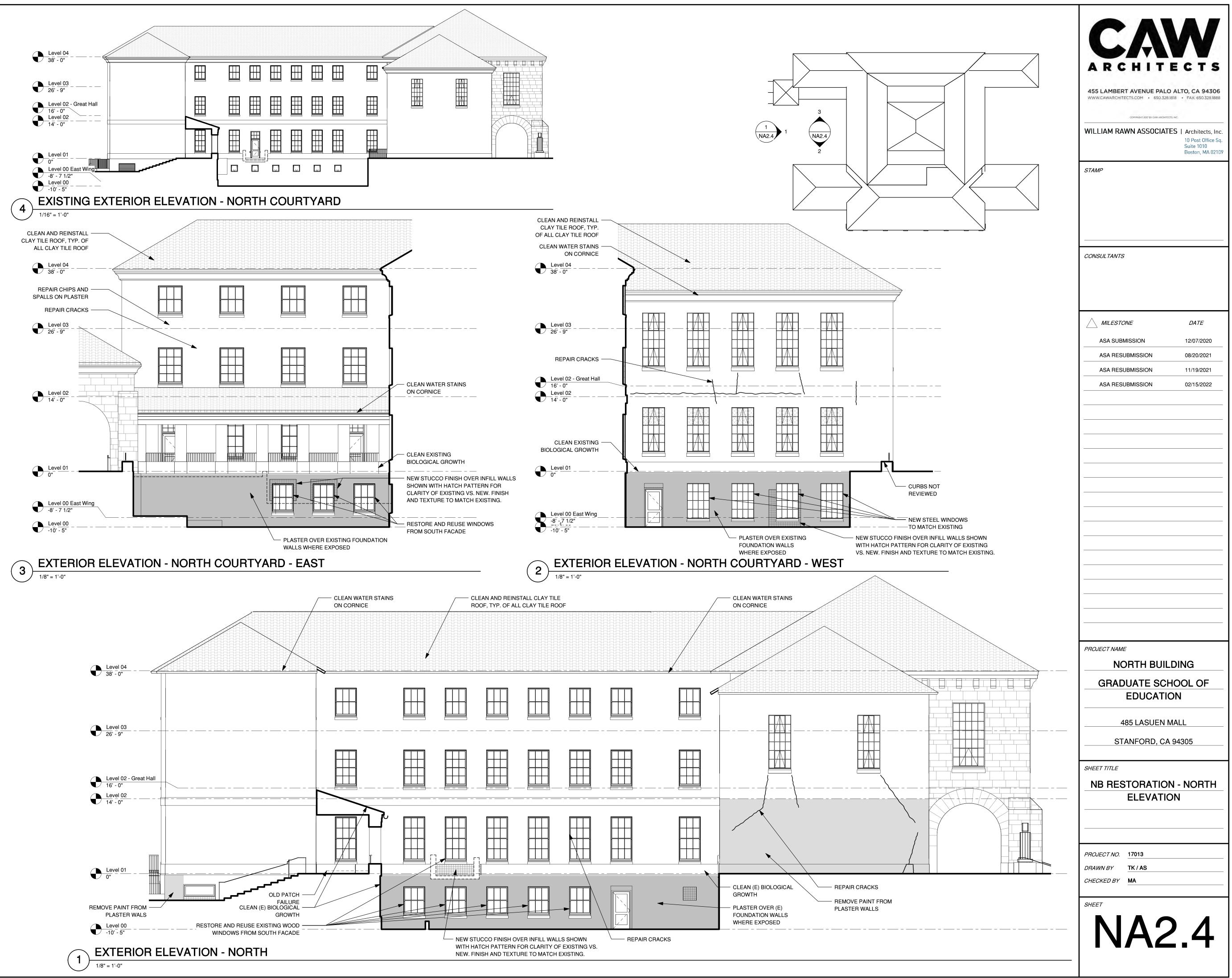


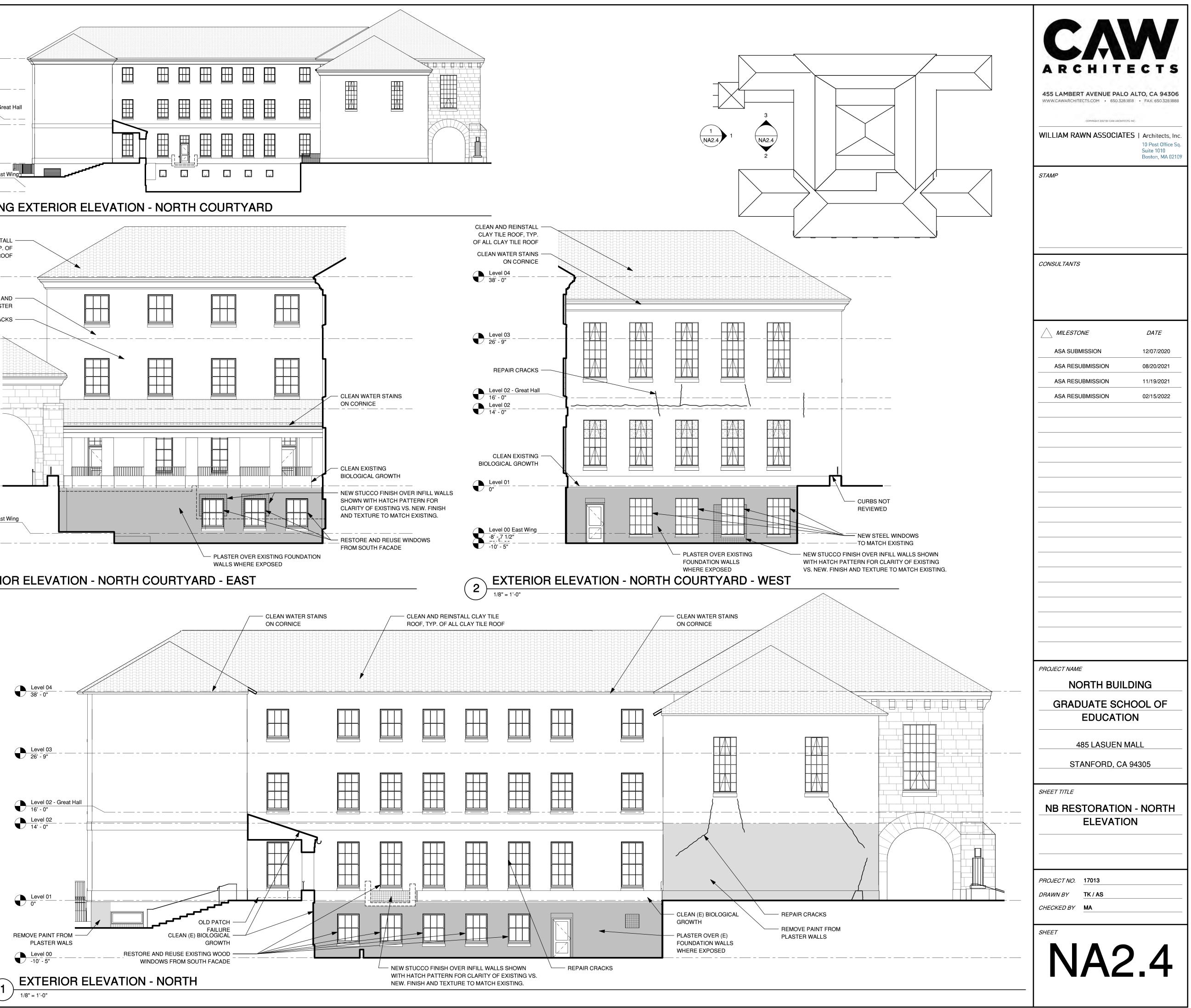




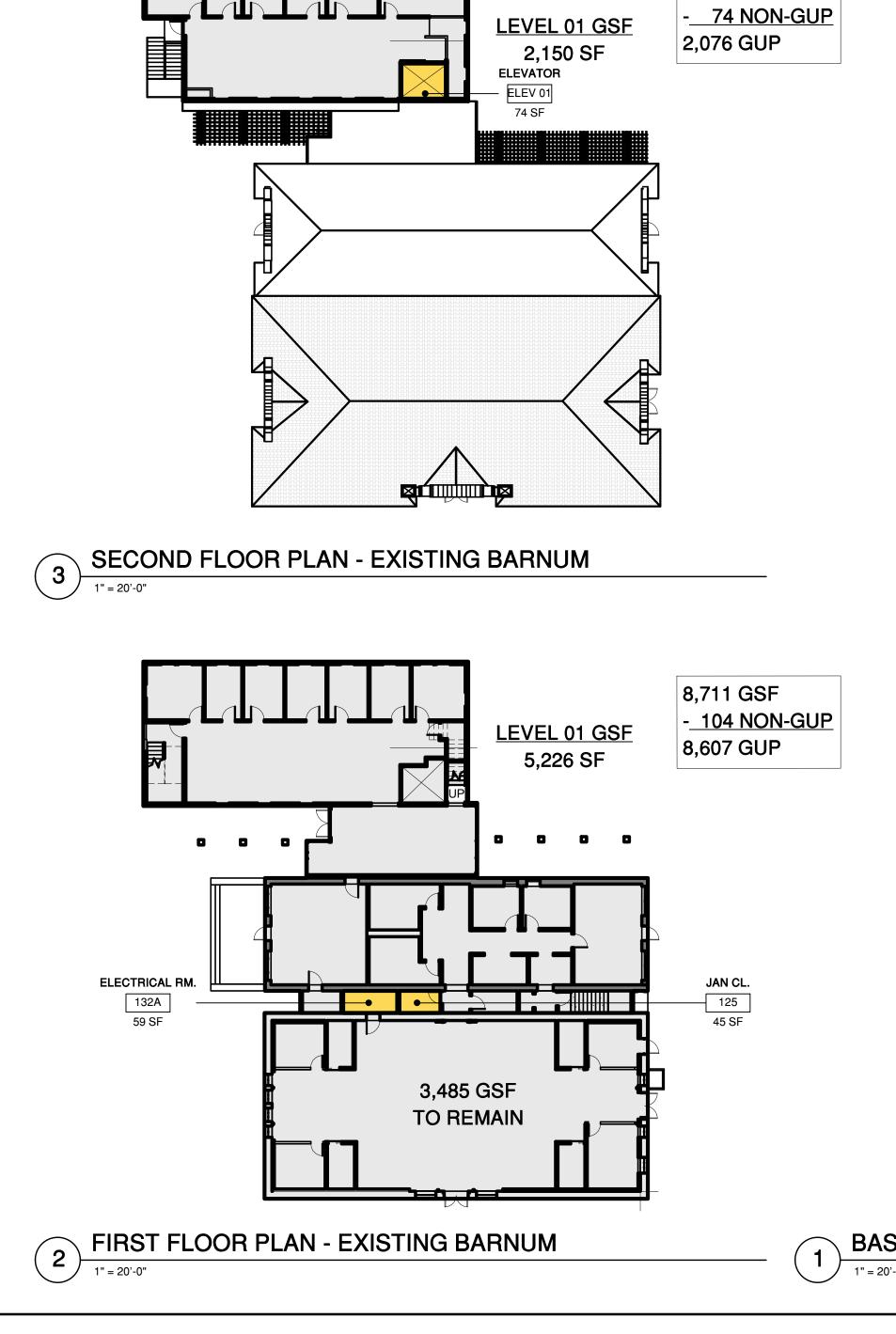
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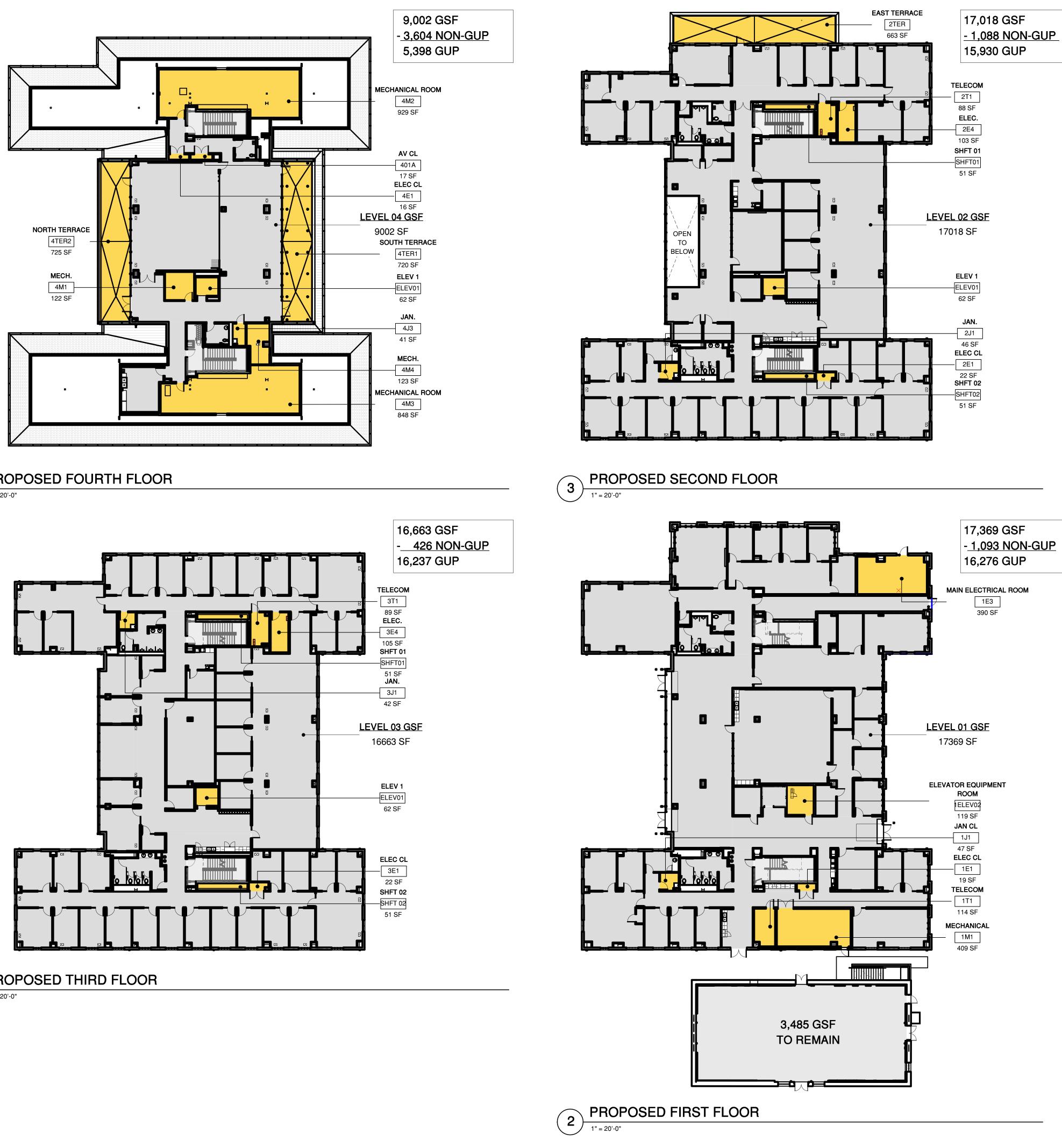


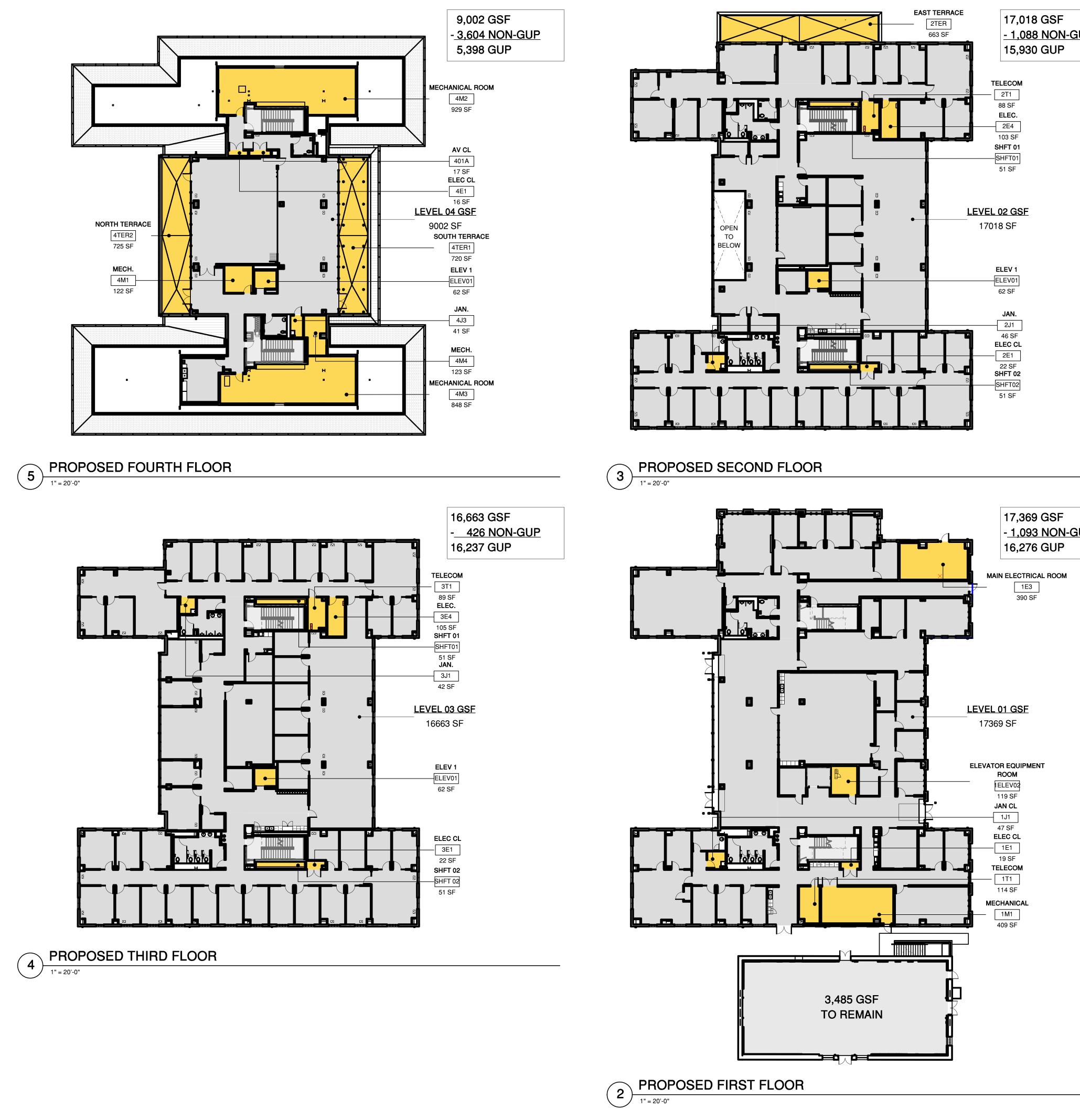


2,150 GSF

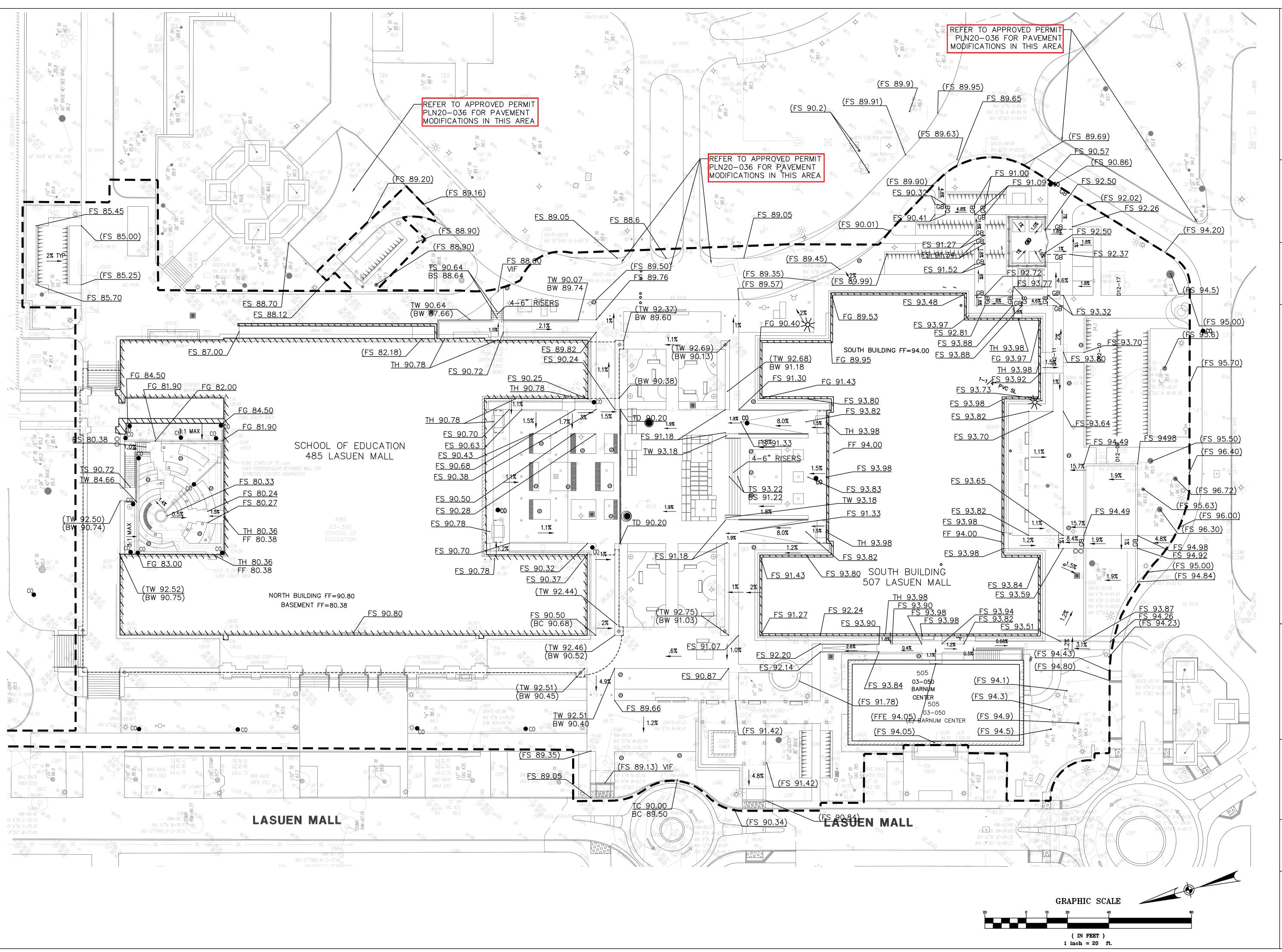
GUP       GROSS         SECOND FLOOR       8,007 SF         BASEMENT       0 SF         453 GSF       2,150 GSF         TOTAL       10,683 SF         11,314 GSF         BARNUM FAMILY CENTER (PORTION TO BE DEMOLISHED)         GUP       GROSS         SECOND FLOOR       2,076 SF         SECOND FLOOR       2,076 SF         SECOND FLOOR       2,076 SF         SECOND FLOOR       3,122 SF         TOTAL       7,198 SF         OTAL       7,198 SF         OTAL       3,485 SF         ASAEMENT       0 SF         453 GSF         TOTAL       3,485 SF         ASAES SF       3,938 GSF
TOTAL       10,683 SF       11,314 GSF         BARNUM FAMILY CENTER (PORTION TO BE DEMOLISHED)       GUP       GROSS         SECOND FLOOR       2,076 SF       2,150 GSF         FIRST FLOOR       5,122 SF       8,711 GSF         BASEMENT       0 SF       453 GSF         TOTAL       7,198 SF       7,376 GSF         BARNUM FAMILY CENTER (PORTION TO REMAIN)       GUP         SECOND FLOOR       3,485 SF       3,485 GSF         BASEMENT       0 SF       453 GSF         TOTAL       3,485 SF       3,938 GSF         TOTAL       3,485 SF       3,938 GSF         AA RESUMISSION       0020021         AA RESUMISSION       00210021         AA RESUMISSION       00210021<
BARNUM FAMILY CENTER (PORTION TO BE DEMOLISHED)       WILLIAM RAWN ASSOCIATES 1 And rest into the second of the sec
GUP         GROSS           SECOND FLOOR         2,076 SF         2,150 GSF           FIRST FLOOR         5,122 SF         8,711 GSF           BASEMENT         0 SF         453 GSF           TOTAL         7,198 SF         7,376 GSF           BARNUM FAMILY CENTER (PORTION TO REMAIN)         COMBINITY           GUP         GROSS           SECOND FLOOR         3,485 SF         3,485 GSF           BASEMENT         0 SF         453 GSF           TOTAL         3,485 SF         3,938 GSF
TOTAL       7,198 SF       7,376 GSF         BARNUM FAMILY CENTER (PORTION TO REMAIN)
ARRNUM FAMILY CENTER (PORTION TO REMAIN) GUP GUP GROSS SECOND FLOOR 0 SF 0 GSF BASEMENT 0 SF 453 GSF TOTAL 3,485 SF 3,938 GSF TOTAL 3,485 SF 3,938 GSF As submission 1207/200 As RESUMISSION 02015022 AS RESUMISSION 0215022 AS RESUMISSION 021502 AS RESUMISSION 02150 A
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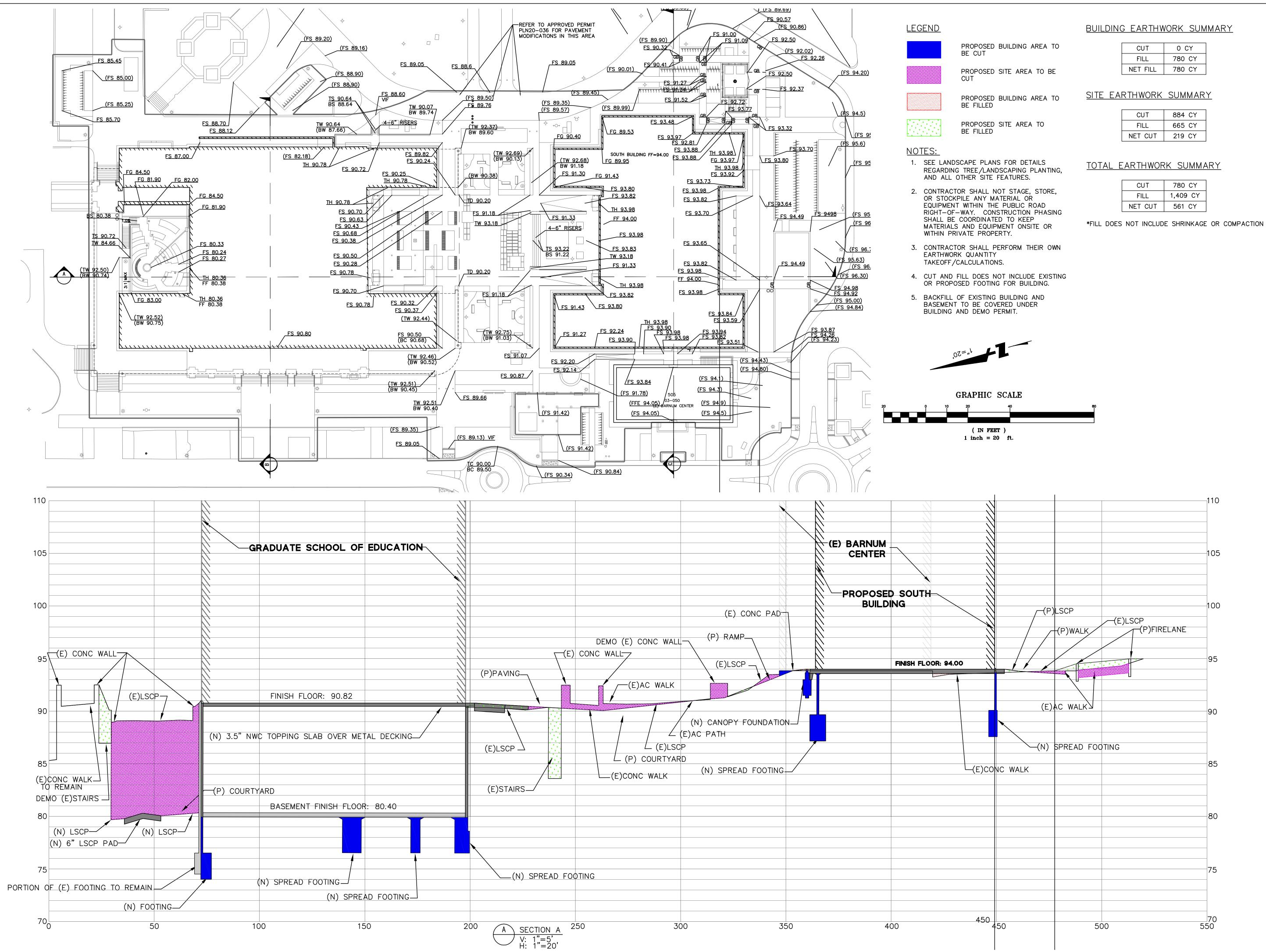




				<b>A /</b>
SOUTH BUILDING				
	GUP	GROSS		
FOURTH FLOOR THIRD FLOOR	5,398 SF 16,237 SF	9,002 GSF 16,663 GSF	ARCHITE	CIS
SECOND FLOOR	15,930 SF	17,018 GSF	455 LAMBERT AVENUE PALO A	LTO, CA 94306
FIRST FLOOR	16,276 SF	17,369 GSF	WWW.CAWARCHITECTS.COM • 650.328.1818	<ul> <li>FAX: 650.328.1888</li> </ul>
TOTAL	53,841 SF	60,052 GSF	UCOPYRIGHT 2007 BY CAW ARCHITECTS WC	
BARNUM FAMILY C	ENTER			Suite 1010 Boston, MA 02109
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FIRST FLOOR <u>BASEMENT FLOOR</u>	3,485 SF	3,485 GSF 453 GSF		
TOTAL	3,485 SF	3,938 GSF		
			CONSULTANTS	
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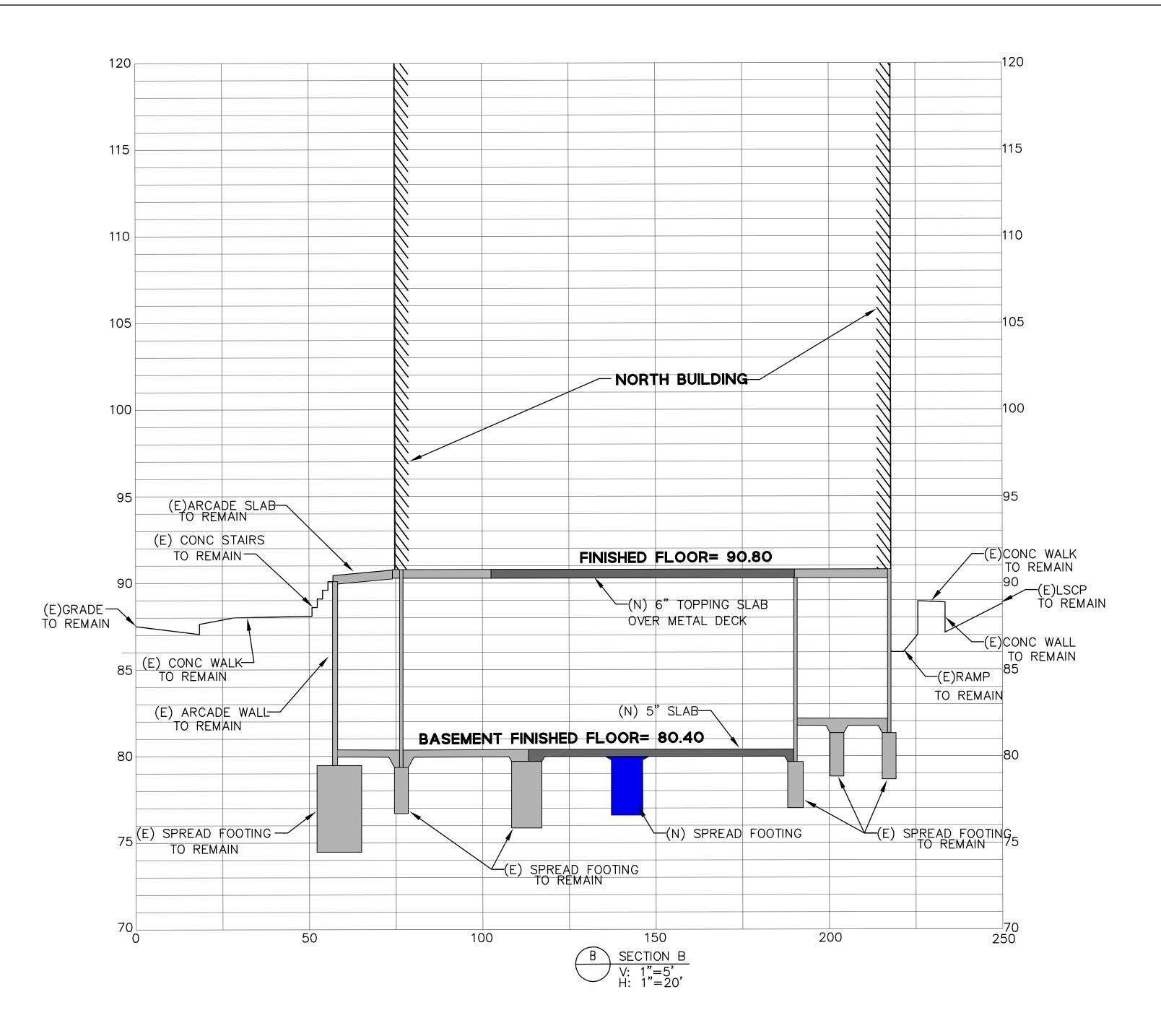
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CONSULTANTS	BKF ENGINEERS 4670 WILLOW ROAD SUITE 250 PLEASANTON, CA 94588 (925) 396-7700 www.bkf.com
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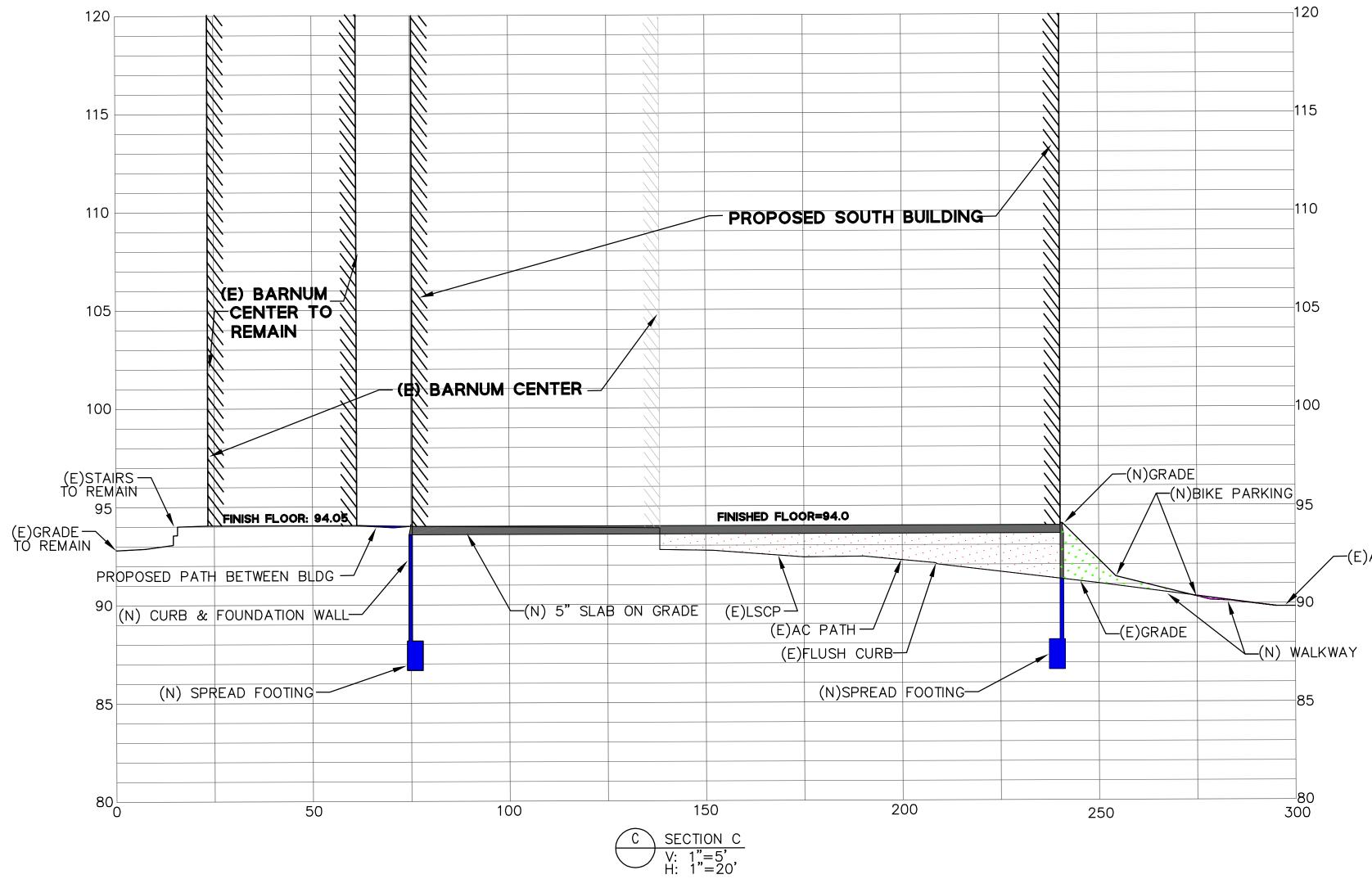
#### BUILDING EARTHWORK SUMMARY

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SUITE 250 PLEASANTON, CA 94588 (925) 396-7700 www.bkf.com	
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RESUBMISSION         11/19/2021           ASA RESUBMITTAL         2/15/2022	
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#### **ATTACHMENT E**

DPR 523 Forms -1) Graduate School of Education North Building 2) Barnum Center

#### STANFORD UNIVERSITY TREE AND SHRUB PROTECTION GUIDELINES

- WE HAVE STRICT REQUIREMENTS WHICH INCLUDE THE POINTS LISTED BELOW AND ADDITIONAL PROCEDURES AS DETAILED IN THE FDG SPECIFICATIONS GUIDELINE 01 56 39 TREE AND PLANT PROTECTION.
- 2. THE ROOT ZONE OF ALL TREES MUST BE PROTECTED ON ALL CONSTRUCTION PROJECTS, AS DESCRIBED BELOW. A TREE'S ROOT ZONE IS DEFINED AS-LISTED IN DEFINITIONS 1.3B. 3. A STANFORD GROUNDS CERTIFIED ARBORIST SHALL BE CONTACTED TO EVALUATE ALL WORK WITHIN ANY TREES ROOT ZONES.
- 4. ALL TREES TO REMAIN ON A PROJECT SHALL HAVE PROTECTIVE FENCING INSTALLED PER THE TREE
- PROTECTION DRAWING INCLUDED IN THE PLAN SET. 5. PROTECTIVE FENCING SHALL BE CHAIN LINK ON SECURE FOOTINGS, OR IMBEDDED AS REQUIRED BY THE CAMPUS PLANNING AND DESIGN OFFICE OR A STANFORD GROUNDS CERTIFIED ARBORIST, THAT WILL NOT FALL OVER ONTO TREES.
- 6. PROTECTIVE FENCING SHALL BE PLACED AT THE OUTER EDGE OF THE ROOT ZONE, AS PER TREE PROTECTION PLAN L1.01, AND WHEREVER POSSIBLE AS SHOWN ON THE TREE PROTECTION DRAWING. IF PROJECT CONSTRAINTS DO NOT ALLOW FOR FENCING AT THE OUTER EDGE OF THE ROOT ZONE, FENCING MUST BE PLACED AS CLOSE TO THIS AS POSSIBLE AND APPROVED AFTER IT IS IN PLACE BY A STANFORD UNIVERSITY GROUNDS CERTIFIED ARBORIST.
- 7. LAYDOWN, STAGING AND PARKING AREAS SHALL BE APPROVED BY THE STANFORD UNIVERSITY ARCHITECT/CAMPUS PLANNING DEPARTMENT AND SHALL BE SHOWN ON THE PLANS IF WITHIN THE PROJECT LIMIT AREA, OR ON THE CONSTRUCTION LOGISTICS PLAN IF OUTSIDE THE PROJECT LIMIT AREA. ALL TREE PROTECTION GUIDELINES APPLY TO TREES IN LAYDOWN, STAGING AND PARKING AREAS AS WELL AS TO TREES WITHIN THE PROJECT LIMITS.
- CONSTRUCTION MATERIALS/EQUIPMENT/PERSONAL VEHICLES SHALL NOT BE STORED, PARKED OR TEMPORARILY PLACED IN THE ROOT ZONE OF ANY TREES. NOTHING SHALL BE STORED OR PLACED TEMPORARILY WITHIN PROTECTIVE FENCING, TO AVOID SOIL COMPACTION AND SOIL CONTAMINATION UNDER TREES. ROOT ZONES OF TREES SHALL NOT BE DRIVEN OVER. PROVIDE ALTERNATIVE ROUTES FOR CONSTRUCTION TRAFFIC OF ANY KIND INCLUDING CARS, PEOPLE, TRACTORS, EQUIPMENT, CRANES, OR ANY OTHER TRAFFIC AND ALL STAGING OR STORAGE AREAS.
- PROTECT OVERHANGING TREE CANOPIES FROM CONSTRUCTION DAMAGE. IF DRIVE AISLES ARE 9 ANTICIPATED UNDER LOW CANOPIES CALL FOR AN EVALUATION BY A STANFORD GROUNDS CERTIFIED ARBORIST TO DETERMINE APPROPRIATE MEASURES.
- 10. THERE SHALL BE NO GRADE CHANGE WITHIN A MINIMUM OF TEN FEET OF THE TRUNK OF EXISTING TREES, AND PREFERABLY NONE WITHIN THE ENTIRE ROOT ZONE. NATIVE OAKS ARE PARTICULARLY SENSITIVE TO GRADE CHANGES.
- 11. NO RINSING, CLEANING EQUIPMENT OR DUMPING CONSTRUCTION LIQUID MATERIALS SHALL BE ALLOWED IN THE TREE ROOT ZONE, OR IN AN AREA THAT DRAINS INTO THE ROOT ZONE. CARE SHALL BE TAKEN IN CLEANING UP EQUIPMENT. THERE SHALL BE NO STORAGE OF DUMPSTERS OR ACCUMULATED DEBRIS FROM DEMOLITION ON OR AROUND THE ROOT ZONES OF EXISTING TREES AND SHRUBS.
- 12. EXISTING TREES SHALL BE MONITORED WEEKLY AND IRRIGATED AS NEEDED DURING THE COURSE OF CONSTRUCTION.
- 13. NO LIME OR OTHER SOIL TREATMENT SHALL BE APPLIED WITHOUT THE CONSENT OF A STANFORD GROUNDS CERTIFIED ARBORIST.
- 14. ALL TRENCHING SHALL CONFORM TO THE FOLLOWING GUIDELINES. a. A STANFORD GROUNDS CERTIFIED ARBORIST IS REQUIRED TO BE PRESENT TO SUPERVISE ANY TRENCHING, DIGGING OR EXCAVATION OF ANY KIND WITHIN A TREES' ROOT ZONE.
  - b. ROOTS LARGER THAN 2 INCHES IN DIAMETER SHALL NOT BE SEVERED WITHOUT CALLING A STANFORD GROUNDS CERTIFIED ARBORIST FOR CUTTING OR REVIEW.
  - c. TUNNELING OR BORING UNDER ROOTS RATHER THAN PRUNING IS PREFERRED. d. DIGGING WITHIN A TREE'S ROOT ZONE SHALL BE AVOIDED. IF IT IS NECESSARY, HAND DIGGING SHALL BE USED FOR ANY TRENCHING WITHIN THE TREE'S ROOT ZONE UNLESS OTHERWISE
  - APPROVED BY A STANFORD GROUNDS CERTIFIED ARBORIST. e. ALL ROOTS THAT NEED TO BE CUT SHALL BE PERPENDICULAR PRUNED CLEANLY, NOT TORN.

THE PRECEDING GUIDELINES SHALL BE CONSIDERED MINIMUM REQUIREMENTS. THE GREATER THE DISTANCE OF TREE PROTECTION PROVIDED THE GREATER THE INSTANCE OF TREE SUCCESS IN CONSTRUCTION AREAS.

#### TREE NOTES

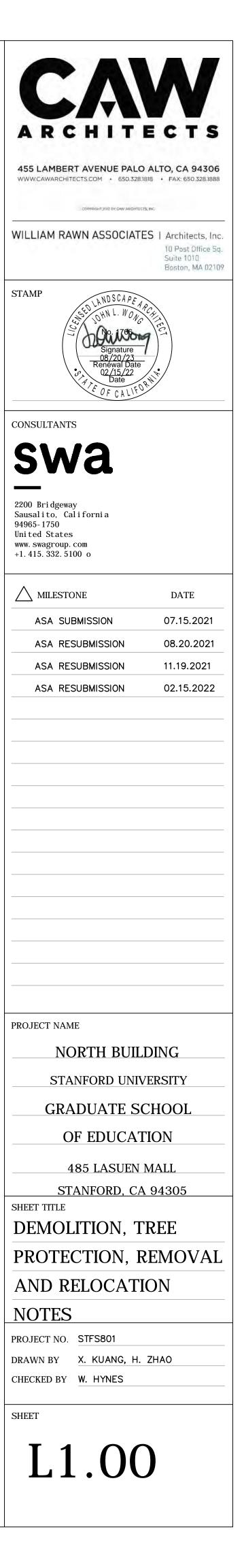
- 1. CONTRACTOR SHALL TAG ALL TREES TO BE REMOVED, RELOCATED AND PROTECTED. CONTRACTOR SHALL REVIEW ALL TREES WITH THE OWNER AND THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL & **RELOCATION.**
- 2. PLEASE CONTACT A STANFORD ARBORIST TO BE PRESENT FOR NECESSARY ROOT EXCAVATION, DURING THE REMOVAL OF EXISTING PARKING LOT. CURB-PERIMETERS. SIDEWALKS AND OR AGGREGATE PATHWAYS, WHERE ANY TRENCHING MAY SEVER TREE ROOTS. THERE ARE MANY ESTABLISHED TREES IN NARROW PLANTING AREAS AND THESE TREE ROOTS HAVE GROWN NEXT TO OR UNDER SUCH CONCRETE, AGGREGATE WALK WAYS, AND PAST CURBS AND INTO THE PARKING LOT PERIMETERS. STANFORD ARBORIST'S ARE REQUIRED TO OVERSEE CONSTRUCTION WORK THAT IS DONE UNDER TREES, INCLUDING ROOT PRUNING.
- 3. THIS IS A LIST OF STANFORD UNIVERSITY ARBORISTS:
- MICHAEL GLADDEN (650) 313–9436 4. ALL EXISTING LANDSCAPED AREA AND IRRIGATION ARE TO BE RESTORED AND OPERATIONAL WITH PRIOR APPROVAL OF THE STANFORD UNIVERSITY ARCHITECT AND PLANNING OFFICE AND STANFORD GROUNDS SERVICES.
- 5. ONLY HAND EXCAVATION IS TO BE DONE FOR GRUBBING UNDERNEATH THE CANOPIES OR WITHIN ANY PROTECTED EXISTING TREES' ROOTZONE. FOLLOW ALL STANFORD UNIVERSITY TREE AND SHRUB PROTECTION GUIDELINES (AS SHOWN ABOVE) AND REFER TO THE FDG DOCUMENTATION.
- 6. COORDINATE WITH STANFORD ARBORIST PRIOR TO BEGINNING CONSTRUCTION IF PRUNING TO EXISTING TREES WILL BE NECESSARY IN ORDER TO COMPLETE THE REQUIRED WORK.

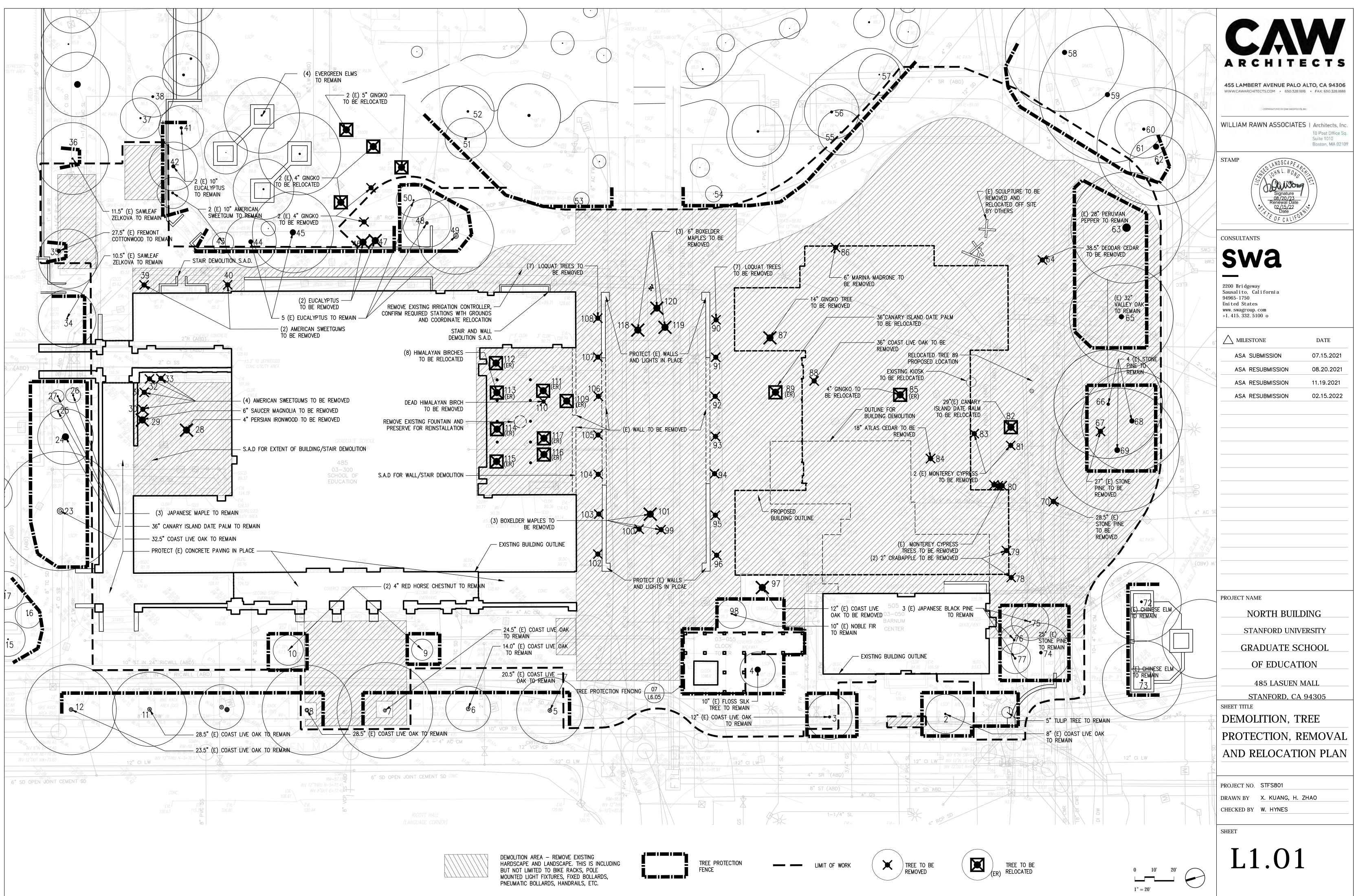
MGLADDEN@STANFORD.EDU

NUMBER	BOTANICAL NAME	COMMON NAME	CALIPER	LOCATION	BARNUM AS
28	PARROTIA PERSICA	PERSIAN IRONWOOD	3.5"	SUNKEN COURTYARD	N
29	MAGNOLIA SOULANGEANA	SAUCER MAGNOLIA	6"	SUNKEN COURTYARD	N
30	LIQUIDAMBAR STYRACIFLUA	SWEETGUM	11.5"	SUNKEN COURTYARD	N
31	LIQUIDAMBAR STYRACIFLUA	SWEETGUM	15.5"	SUNKEN COURTYARD	N
32	LIQUIDAMBAR STYRACIFLUA	SWEETGUM	9.5"	SUNKEN COURTYARD	N
33	LIQUIDAMBAR STYRACIFLUA	SWEETGUM	11.5"	SUNKEN COURTYARD	N
39	LIQUIDAMBAR STYRACIFLUA	SWEETGUM	11"	ADJACENT TO BUILDING FOOTPRINT	N
40	LIQUIDAMBAR STYRACIFLUA	SWEETGUM	10.5"	ADJACENT TO BUILDING FOOTPRINT	N
16	EUCALYPTUS SIDEROXYLON	RED IRONBARK	17"	ADJACENT TO BUILDING FOOTPRINT	N
17	EUCALYPTUS SIDEROXYLON	RED IRONBARK	29"	ADJACENT TO BUILDING FOOTPRINT	N
54	CEDRUS DEODARA	DEODAR CEDAR	38.5"	ADJACENT TO BUILDING FOOTPRINT	N
	PINUS PINEA	ITALIAN STONE PINE	27"	ADJACENT TO BUILDING FOOTPRINT	N
70	PINUS PINEA	ITALIAN STONE PINE	28.5"	ADJACENT TO BUILDING FOOTPRINT	N
78	MALUS SP.	CRABAPPLE	1.5"	ADJACENT TO BUILDING FOOTPRINT	Y
79	MALUS SP.	CRABAPPLE	1.5"	ADJACENT TO BUILDING FOOTPRINT	Y
<u> </u>	HESPEROCYPARIS MACROCARPA	MONTEREY CYPRESS	28.5"	ADJACENT TO BUILDING FOOTPRINT	Y
3 <u>0</u> 31	HESPEROCYPARIS MACROCARPA	MONTEREY CYPRESS	5.5"	ADJACENT TO BUILDING FOOTPRINT	Y
33	HESPEROCYPARIS MACROCARPA	MONTEREY CYPRESS	13.5"	ADJACENT TO BUILDING FOOTPRINT	Y
34	CEDRUS ATLANTICA	ATLAS CEDAR	23"	ADJACENT TO BUILDING FOOTPRINT	Y
36	ARBUTUS 'MARINA'	MARINA MADRONE	6"	ADJACENT TO BUILDING FOOTPRINT	N
37	GINGKO BILOBA	MAIDENHAIR TREE	16"	S. BUILDING FOOTPRINT	N
38 38	QUERCUS AGRIFOLIA	COAST LIVE OAK	36.5"	ADJACENT TO BUILDING FOOTPRINT	
90	ERIOBOTRYA JAPONICA	JAPANESE LOQUAT	4.5"	EXISTING CENTRAL COURTYARD	
90 91	ERIOBOTRYA JAPONICA	JAPANESE LOQUAT	6"	EXISTING CENTRAL COURTYARD	
92	ERIOBOTRYA JAPONICA	JAPANESE LOQUAT	6.5"	EXISTING CENTRAL COURTYARD	
93	ERIOBOTRYA JAPONICA	JAPANESE LOQUAT	6"	EXISTING CENTRAL COURTYARD	
)4	ERIOBOTRYA JAPONICA	JAPANESE LOQUAT	6"	EXISTING CENTRAL COURTYARD	
9 <del>4</del> 95		JAPANESE LOQUAT	6.5"		
	ERIOBOTRYA JAPONICA	JAPANESE LOQUAT	4.5"	EXISTING CENTRAL COURTYARD	
)6 \	ERIOBOTRYA JAPONICA		12"	EXISTING CENTRAL COURTYARD	
97	QUERCUS AGRIFOLIA	COAST LIVE OAK	9.5"	ADJACENT TO BUILDING FOOTPRINT	
99	ACER NEGUNDO 'FLAMINGO'	FLAMINGO BOX ELDER		EXISTING CENTRAL COURTYARD	Ť
00	ACER NEGUNDO 'FLAMINGO'	FLAMINGO BOX ELDER	10.5"	EXISTING CENTRAL COURTYARD	
01	ACER NEGUNDO 'FLAMINGO'	FLAMINGO BOX ELDER	9.5"	EXISTING CENTRAL COURTYARD	Y
02	ERIOBOTRYA JAPONICA	JAPANESE LOQUAT	14"	EXISTING CENTRAL COURTYARD	N
03	ERIOBOTRYA JAPONICA	JAPANESE LOQUAT	10"	EXISTING CENTRAL COURTYARD	N
04	ERIOBOTRYA JAPONICA	JAPANESE LOQUAT	10"	EXISTING CENTRAL COURTYARD	N
05	ERIOBOTRYA JAPONICA	JAPANESE LOQUAT	18.5"	EXISTING CENTRAL COURTYARD	<u>N</u>
06	ERIOBOTRYA JAPONICA	JAPANESE LOQUAT	1.5"	EXISTING CENTRAL COURTYARD	N
07	ERIOBOTRYA JAPONICA	JAPANESE LOQUAT	14.5"	EXISTING CENTRAL COURTYARD	N
08	ERIOBOTRYA JAPONICA	JAPANESE LOQUAT	10"	EXISTING CENTRAL COURTYARD	<u>N</u>
10	BETULA UTILIS VAR.JACQUEMONTII	HIMALAYAN BURCH	3"	EXISTING CENTRAL COURTYARD	<u>N</u>
18	ACER NEGUNDO 'FLAMINGO'	FLAMINGO BOX ELDER	6"	EXISTING CENTRAL COURTYARD	<u>N</u>
19	ACER NEGUNDO 'FLAMINGO'	FLAMINGO BOX ELDER	5.5"	EXISTING CENTRAL COURTYARD	N
20	ACER NEGUNDO 'FLAMINGO'	FLAMINGO BOX ELDER	5.5"	EXISTING CENTRAL COURTYARD	N
004	GINGKO BILOBA	MAIDENHAIR TREE	4"	FIRE LANE TURN AROUND	
005	GINGKO BILOBA	MAIDENHAIR TREE	4"	FIRE LANE TURN AROUND	
006	GINGKO BILOBA	MAIDENHAIR TREE	5"	FIRE LANE TURN AROUND	
007	GINGKO BILOBA	MAIDENHAIR TREE	4"	FIRE LANE TURN AROUND	

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NUMBER	ELOCATION LIST BOTANICAL NAME	COMMON NAME	CALIPER	PROPOSED LOCATION	BARNUM ASA
82	PHOENIX CANARIENSIS	CANARY ISLAND DATE PALM	29"	SOUTH COURTYARD AT BARNUM	Y
85	GINGKO BILOBA	MAIDENHAIR TREE	4"	MARY BELL FLOYD GARDEN	Y
89	PHOENIX CANARIENSIS	CANARY ISLAND DATE PALM	36"	SOUTH COURTYARD	N
109	BETULA UTILIS VAR. JACQUEMONTII	HIMALAYAN BIRCH	5.5"	SUNKEN COURTYARD	N
111	BETULA UTILIS VAR. JACQUEMONTII	HIMALAYAN BIRCH	4"	SUNKEN COURTYARD	N
112	BETULA UTILIS VAR. JACQUEMONTII	HIMALAYAN BIRCH	4"	SUNKEN COURTYARD	N
113	BETULA UTILIS VAR. JACQUEMONTII	HIMALAYAN BIRCH	5.5"	SUNKEN COURTYARD	N
114	BETULA UTILIS VAR. JACQUEMONTII	HIMALAYAN BIRCH	5.5"	SUNKEN COURTYARD	N
115	BETULA UTILIS VAR. JACQUEMONTII	HIMALAYAN BIRCH	4.5"	SUNKEN COURTYARD	N
116	BETULA UTILIS VAR. JACQUEMONTII	HIMALAYAN BIRCH	4"	SUNKEN COURTYARD	N
117	BETULA UTILIS VAR. JACQUEMONTII	HIMALAYAN BIRCH	3"	SUNKEN COURTYARD	N
1008	GINGKO BILOBA	MAIDENHAIR TREE	5"	MARY BELL FLOYD GARDEN	









SITE PLAN NOTES

- 1. LOCATION OF ALL ABOVE GROUND ELEMENTS TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT OR STANFORD REPRESENTATIVE.
- 2. PROPOSED ELEMENTS, INCLUDING UTILITIES, LOCATED AMONG EXISTING TREES SHALL BE REVIEWED IN FIELD WITH LANDSCAPE ARCHITECT AND STANFORD ARBORIST PRIOR TO EXCAVATING.
- 3. PROVIDE 4'X4' SQUARE MOCKUPS FOR ALL CONCRETE FLATWORK FOR REVIEW AND APPROVAL
- 4. PROVIDE MOCKUP OF 4' LONG SECTION OF STEPS WITH CONTRASTING STRIPE FOR REVIEW AND APPROVAL.
- 5. TRASH AND RECYCLE BINS TO BE DETERMINED AND WILL BE LOCATED BY LANDSCAPE ARCHITECT OR STANFORD REPRESENTATIVE PRIOR TO ORDERING OR INSTALLATION.
- 6. ALL EXISTING AND PROPOSED ASPHALT, MULCH AND AGGREGATE PATHS TO HAVE METAL HEADERS.
- 7. TAKE ALL DIMENSIONS PERPENDICULAR TO ANY REFERENCE LINE, WORK LINE, FACE OF BUILDING, FACE OF WALL, OR CENTERLINE, AS INFERRED ON DRAWINGS.
- 8. ALL WORK PERFORMED WITHIN THE DRIP LINE OF TREES DESIGNATED "EXISTING TREES TO REMAIN" SHALL BE DONE BY HAND LABOR.

- 9. ALL ANGLES TO BE 90 DEGREES UNLESS OTHERWISE NOTED. MAINTAIN HORIZONTAL ALIGNMENT OF ADJACENT ELEMENTS AS NOTED ON DRAWINGS.
- 10. HOLD TOPS OF WALLS AND FENCES LEVEL UNLESS OTHERWISE NOTED
- 11. REFERENCE TO NORTH REFERS TO TRUE NORTH, REFERENCE TO SCALE IS FOR FULL-SIZED DRAWINGS ONLY. DO NOT SCALE FROM REDUCED DRAWINGS.
- 12. DIMENSIONS TAKE PRECEDENCE OVERS SCALES SHOWN ON DRAWINGS.
- 13. NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS
- 14. DO NOT INSTALL ANY WORK ON STRUCTURE PRIOR TO REVIEW OF WATERPROOFING BY ARCHITECT. 15. ALL CONCRETE SLABS, RAMPS, OR STEP FOOTINGS
- SHALL BE DOWELED INTO ABUTTING WALLS, FOUNDATIONS AND FOOTINGS USING BARS OF THE SAME SIZE AND SPACING UNLESS OTHERWISE NOTED.

PAVING	SCHI	EDULE (P)								
SYMBOL	KEY	DESCRIPTION	MATERIAL	SUPPLIER	SIZE	COLOR	FINI	SH	JOINT	REMARK
E.J.	P1	COLORED CONCRETE 1	INTEGRAL COLOR CONCRETE	DAVIS COLOR	_	PALOMINO - 5447	MEDIUM E	TCH SAWO	CUT	MOCKUP REQUIRED
E.J.	P2	COLORED CONCRETE 2	INTEGRAL COLOR CONCRETE	DAVIS COLOR	-	MESA BUFF – 5447	MEDIUM E	TCH SAW	CUT	MOCKUP REQUIRED
E.J.	(P3)	COLORED CONCRETE 3	INTEGRAL COLOR CONCRETE	DAVIS COLOR	-	MESA BUFF – 5447	LIGHT ETC	H SAWO	CUT	MOCKUP REQUIRED
	<b>(P4)</b>	STANDARD CONCRETE	_	_	-	STANDARD GRAY	LIGHT ETC	H SAW	CUT	GLARE REDUCING AGENT
	(P5)	DECOMPOSED GRANITE	CRUSHED AGGREGATE	TMT ENTERPRISES, INC.	1/4"	FELTON GOLD	_	_		STABILIZED USE BINDER PER SPECIFICATIONS
	(P6)	ASPHALT PAVING	ASPHALT	_	-	-	_	_		_
	(P7)	GRAVEL	FELTON QUARRY GOLD	_	3/4" AGGREGATE	TAN	_	_		_
	<b>(P8)</b>	RIVERWASHED PEBBLE	LA PAZ PEBBLES	LYNGSO, WWW.LYNGSOGARDEN.COM 650.364.1730	1-2"	MEXICAN BLACK	_	_		PROVIDE MARKUP FOR REVIEW
* *	(P9)	SMALL FIR BARK MULCH	CLEAN FIR BARK	LYNGSO, WWW.LYNGSOGARDEN.COM 650.364.1730	_	_	_	_		_
	(P10)	ARBOR MULCH (WALK-ON MULCH)	WOOD CHIP MULCH	LYNGSO, WWW.LYNGSOGARDEN.COM 650.364.1730	-	-	_	_		-
	(P11)	HEADER	STEEL	J.D. RUSSEL	1/4" X 5"	BLACK	-	-		_
	(P12)	POROUS PAVE XL	HALF RECYCLED RUBBER CHIPS AND HALF KILN-DRIED AGGREGATE WITH BINDER	POROUS PAVE INC.	_	_	_	_		_
	(P13)	GRAVELPAVE2 GRAVEL PAVING	GRAVEL AND RECYCLED PLASTIC	INVISIBLE STRUCTURES	и  -	_	_	_		_
Γ	AMEN	NITY SCHEDULE (A	<b>A</b> )							
	KEY	DESCRIPTION	MATERIALS	MODEL	SUP	PPLIER	SIZE	COLOR	FINISH	REMARK
	(A1)	BIKE RACK		SEE DETAIL	CH ENTERPRISES LLC WW.SCHENTERPRISESLLC		PER PLAN	BLACK	PFS THERMOPLAST BLACK	
	$\langle A2 \rangle$	TRASH AND RECYCLE RECEPTACLE	STEEL		ICTOR STANLEY 800-36 WW.VICTORSTANLEY.COM		PER PLAN	BLACK		
	$\langle A3 \rangle$	FIXED BOLLARD	STEEL -		TANFORD UNIVERSITY FA	ACILITIES OPERATIONS, R SIDING 650-725-3172	3' TALL	BLACK		
	$\langle A4 \rangle$	REMOVABLE BOLLARD	STEEL -		TANFORD UNIVERSITY FA	ACILITIES OPERATIONS, R SIDING 650-725-3172	3' TALL	BLACK		
	$\langle A5 \rangle$	ENTRY SIGNAGE	PRECAST/PIP CONCRETE -	- T	BD		SEE DETAIL			FOOTING REQUIRES STRUCTURAL REVIEW

#### ABBREVIATIONS

SYM	DESCRIPTION
BLDG	BUILDING
BS	BOTTOM OF STAIR
CL	CENTER LINE
(E)	EXISTING ELEMENT
EJ	EXPANSION JOINT
EQ	EQUAL
(ER)	ORIGINAL LOCATION OF ELEMENT TO BE RELOCATED
FFE	FINISH FLOOR ELEVATION
FG	FINISH GRADE (TOP OF SOIL)
FS	FINISH SURFACE (HARDSCAPE)
HDR	HEADER
L.O.W.	LIMIT OF WORK
(N)	NEW
N/A	NOT APPLICABLE
N.I.C.	NOT IN CONTRACT
(NR)	LOCATION OF RELOCATED ELEMENT

SYM	DESCRIPTION
0.C.	ON CENTER
P.A.	PLANTING AREA
P.O.B.	POINT OF BEGINNING
S.A.D.	SEE ARCHITECTURAL DRAWINGS
S.C.D.	SEE CIVIL DRAWINGS
S.I.D.	SEE IRRIGATION DRAWINGS
S.L.D.	SEE LIGHTING CONSULTANT'S DRAWINGS
S.S.	STAINLESS STEEL
S.S.D.	SEE STRUCTURAL DRAWINGS
S.U.	STANFORD UNIVERSITY
TBD	TO BE DETERMINED
TH	THRESHOLD
TS	TOP OF STAIR
TW	TOP OF WALL
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.I.E.	VERIFY IN FIELD

KEY	DESCRIPTION	MATERIALS	MODEL	SUPPLIER
(A1)	BIKE RACK	STEEL	SEE DETAIL	SCH ENTERPRISES LLC WWW.SCHENTERPRISESLLC.ORG/
$\langle A2 \rangle$	TRASH AND RECYCLE RECEPTACLE	STEEL	SEE DETAIL	VICTOR STANLEY 800-368-2573 WWW.VICTORSTANLEY.COM
$\langle A3 \rangle$	FIXED BOLLARD	STEEL	_	STANFORD UNIVERSITY FACILITIES OPERATIONS, METAL SHOP 315 BONAIR SIDING 650-725-3172
$\langle A4 \rangle$	REMOVABLE BOLLARD	STEEL	_	STANFORD UNIVERSITY FACILITIES OPERATIONS, METAL SHOP 315 BONAIR SIDING 650-725-3172
$\langle A5 \rangle$	ENTRY SIGNAGE	PRECAST/PIP CONCRETE	_	TBD
(A6A)	SHORT BENCH AT MARY BELL FLOYD GARDEN	METAL AND THERMALLY MODIFIED WOOD	LANDSCAPE COMPACT	MMCITE/SPEC PLAY EQUIPMENT 800.475.1071
(A6B)	SHORT BENCH WITH BACK REST AT MARY BELL FLOYD GARDEN	METAL AND THERMALLY MODIFIED WOOD	LANDSCAPE COMPACT	MMCITE/SPEC PLAY EQUIPMENT 800.475.1071
(A7A)		METAL AND THERMALLY MODIFIED WOOD	LANDSCAPE COMPACT	MMCITE/SPEC PLAY EQUIPMENT 800.475.1071
A7B	LONG BENCH WITH BACK REST AT MARY BELL FLOYD GARDEN	METAL AND THERMALLY MODIFIED WOOD	LANDSCAPE COMPACT	MMCITE/SPEC PLAY EQUIPMENT 800.475.1071
$\langle A8 \rangle$	CURVED BENCH AT SUNKEN GARDEN	METAL AND THERMALLY MODIFIED WOOD	LANDSCAPE COMPACT	MMCITE/SPEC PLAY EQUIPMENT 800.475.1071
$\langle A9 \rangle$	CAMPUS STANDARD COURTYARD BENCH	ТЕАК	PARKSIDE BENCH	GARDENSIDE LTD., WW.GARDENSIDE.COM, CONTACT MIKE DAVID AT 1-888-999-8325
(A10)		INTEGRAL COLOR POURED IN PLACE CONCRETE		

WILLIAM RAWN ASSOCIATE	10 Post Office Suite 1010 Boston, MA 02
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CONSULTANTS Signal 2200 Bridgeway Sausalito, California 94965-1750 United States www.swagroup.com +1.415.332.5100 o	
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ASA SUBMISSION	07.15.2021
ASA RESUBMISSION	08.20.2021
ASA RESUBMISSION	11.19.2021
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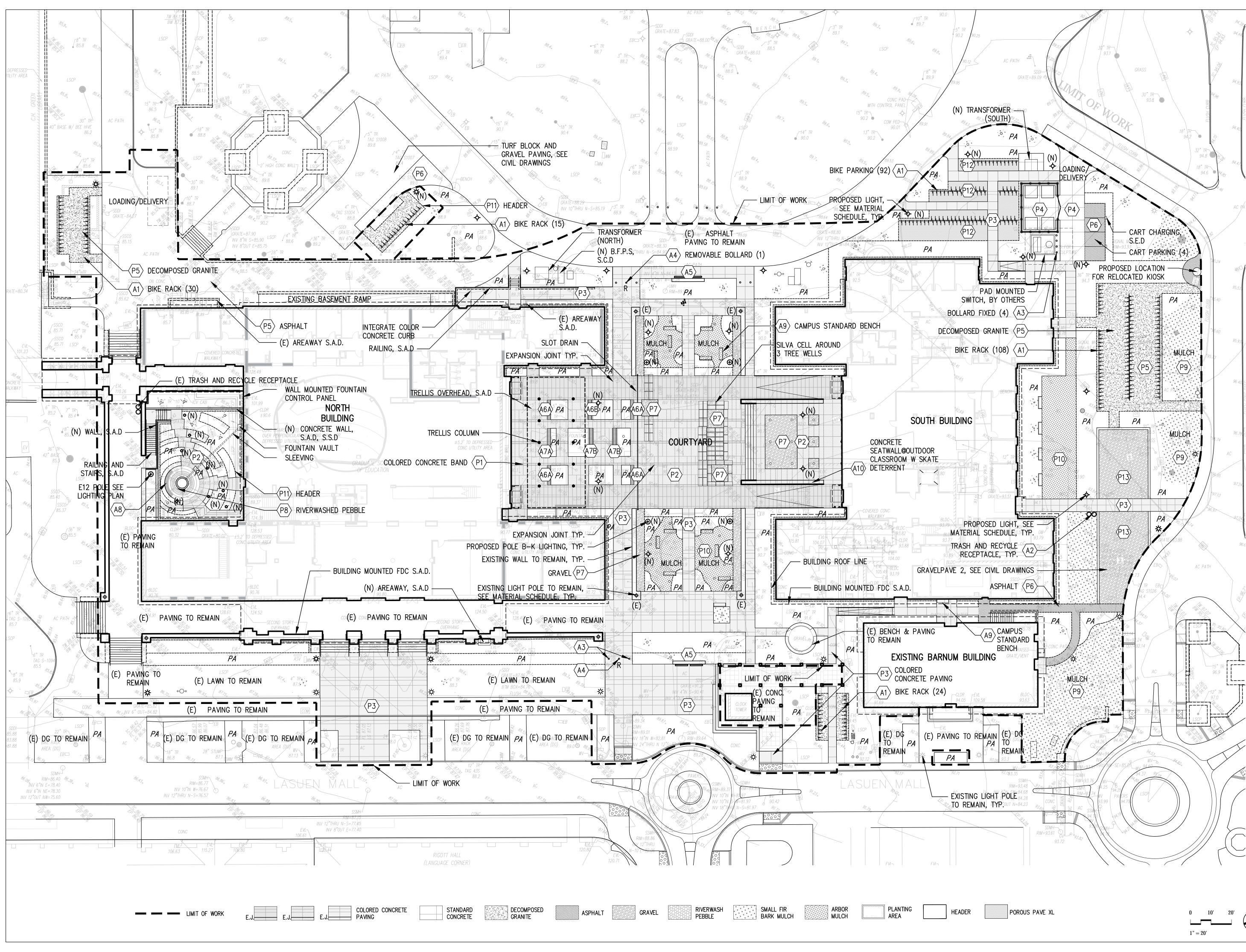
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#### PLANTING AND IRRIGATION NOTES

- 1. ALL EXISTING LANDSCAPED AREAS AND IRRIGATION IN THE AREA THAT MAY HAVE BEEN IMPACTED ARE TO BE RESTORED AND OPERATIONAL WITH PRIOR APPROVAL OF THE STANFORD UNIVERSITY ARCHITECT AND PLANNING OFFICE AND STANFORD GROUNDS SERVICES.
- 2. EXISTING WIRING, CONTROLLER AND POINT OF CONNECTION TO BE REUSED FOR THIS PROJECT. NEW OR REPLACED EQUIPMENT SHOULD BE REPLACED IN ACCORDANCE WITH FDG GUIDELINES.
- 3. IRRIGATION DRAWINGS AND DETAILS ARE NOT BEING PROVIDED FOR THIS PROJECT. CONTRACTOR TO PROVIDE A SUBMITTAL TO STANFORD GROUNDS SERVICES FOR REVIEW FOR ALL PROPOSED EQUIPMENT USED TO RESTORE EXISTING SYSTEM. PROPOSED EQUIPMENT, DOCUMENTATION AND DETAIL DRAWINGS CAN BE FOUND AT THE STANFORD FDG GUIDELINES.
- AND HTTP: //MAPS.STANFORD.EDU/FDG\_VIEW\_DRAWINGS 4. SPECIFY THAT ONLY RAIN BIRD IRRIGATION PARTS ARE UTILIZED. INCLUDE ADDITIONAL NOTE: ALL COPIES OF
- IRRIGATION INVOICES FOR ANY RAIN BIRD PRODUCTS USED IN THIS PROJECT TO BE RETAINED AND SUBMITTED TO GROUNDS SERVICES. STANFORD GROUNDS IRRIGATION (650) 650-725-8687. 5. TIES TO BE PROVIDED BY CONTRACTOR TO ATTACH VINES TO CABLES AND TRELLIS STRUCTURE. SUBMIT
- SAMPLE FOR REVIEW PRIOR TO INSTALLATION.
- 6. PROVIDE 3" OF MULCH FOR ALL UNPAVED PATHWAYS, ALL PLANTING AREAS AND 10' BEYOND THE LIMITS OF WORK.

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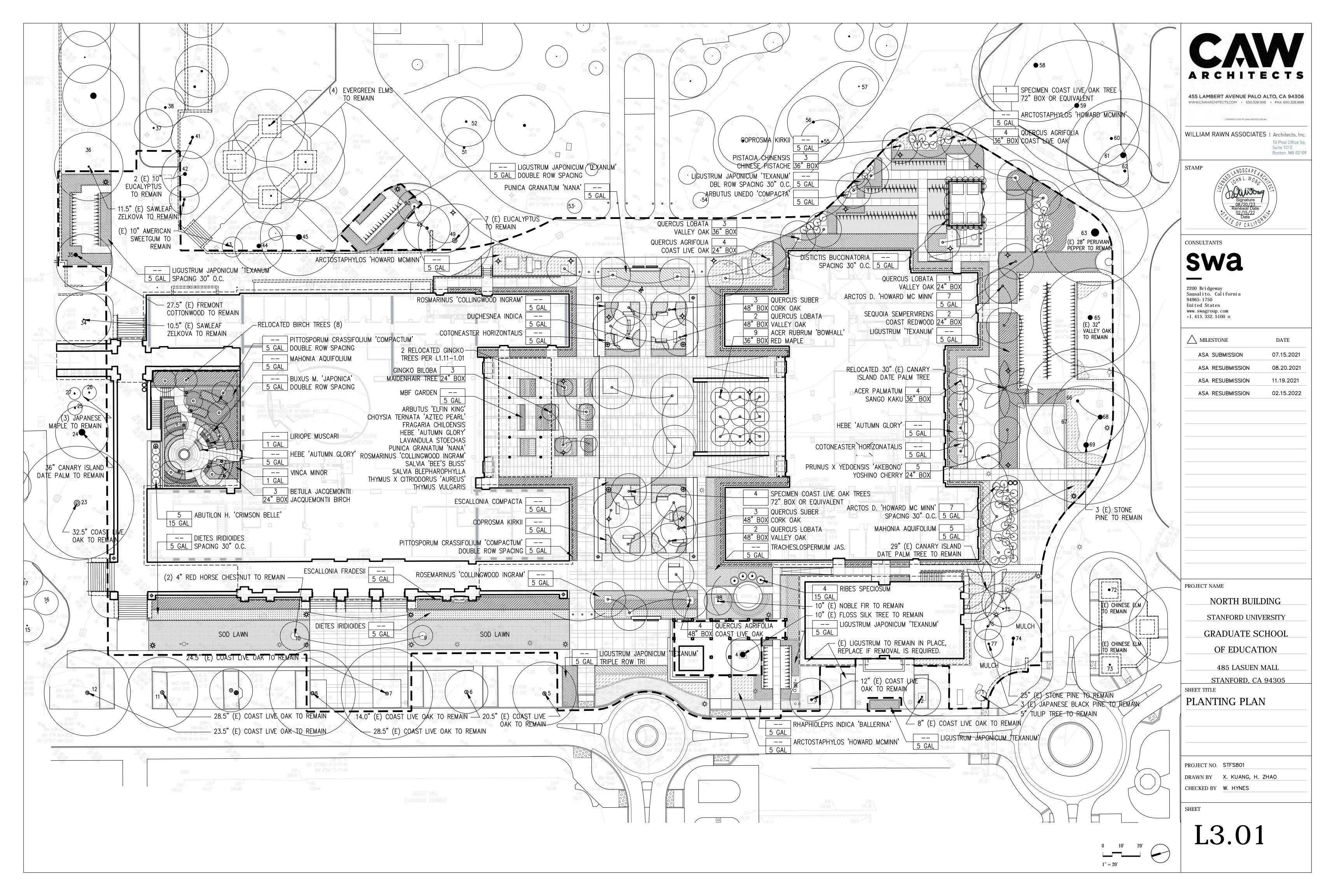
#### TREE RELOCATION LIST

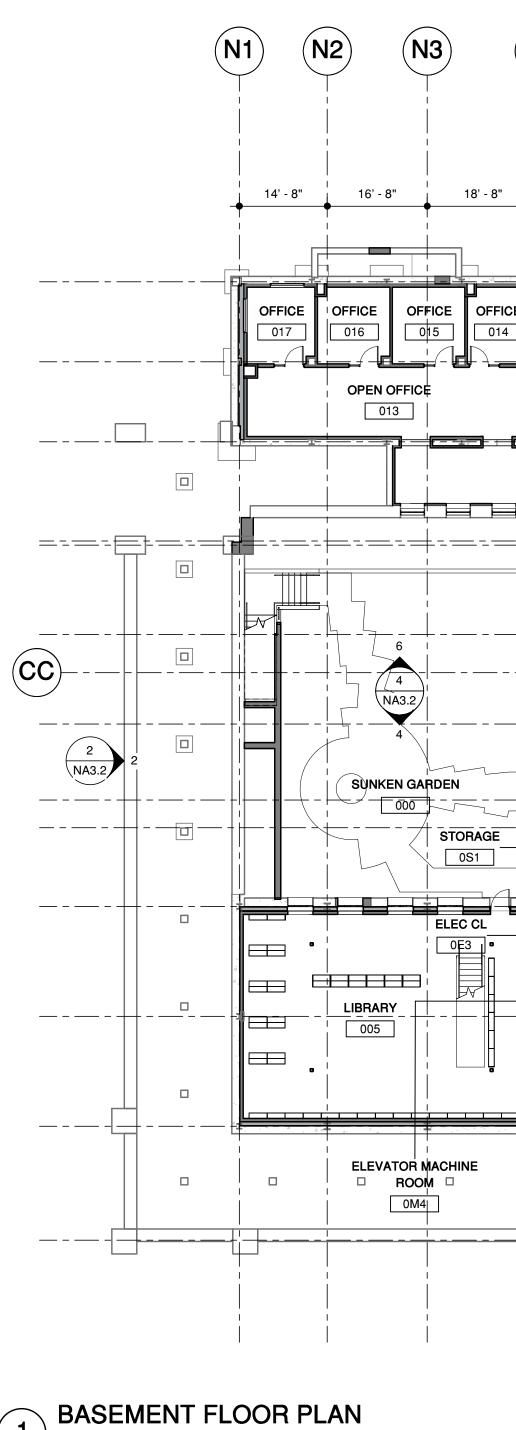
NUMBER	BOTANICAL NAME	COMMON NAME CALIPER PROPOSED LOCATION	PROPOSED LOCATION	BARNUM ASA	
82	PHOENIX CANARIENSIS	CANARY ISLAND DATE PALM	29"	SOUTH COURTYARD AT BARNUM	
85	GINGKO BILOBA	MAIDENHAIR TREE	4"	MARY BELL FLOYD GARDEN	Y
89	PHOENIX CANARIENSIS	CANARY ISLAND DATE PALM	36"	SOUTH COURTYARD	N
109	BETULA UTILIS VAR. JACQUEMONTII	HIMALAYAN BIRCH	5.5"	SUNKEN COURTYARD	N
111	BETULA UTILIS VAR. JACQUEMONTII	HIMALAYAN BIRCH	4"	SUNKEN COURTYARD	N
112	BETULA UTILIS VAR. JACQUEMONTII	HIMALAYAN BIRCH	4"	SUNKEN COURTYARD	N
113	BETULA UTILIS VAR. JACQUEMONTII	HIMALAYAN BIRCH	5.5"	SUNKEN COURTYARD	N
114	BETULA UTILIS VAR. JACQUEMONTII	HIMALAYAN BIRCH	5.5"	SUNKEN COURTYARD	N
115	BETULA UTILIS VAR. JACQUEMONTII	HIMALAYAN BIRCH	4.5"	SUNKEN COURTYARD	N
116	BETULA UTILIS VAR. JACQUEMONTII	HIMALAYAN BIRCH	4"	SUNKEN COURTYARD	N
117	BETULA UTILIS VAR. JACQUEMONTII	HIMALAYAN BIRCH	3"	SUNKEN COURTYARD	N
1008	GINGKO BILOBA	MAIDENHAIR TREE	5"	MARY BELL FLOYD GARDEN	

PLANT LIST		
BOTANICAL NAME	COMMON NAME	SIZE
TREES ACER RUBRUM 'BOWHALL' BETULA UTILIS VAR. JACQUEMONTII GINKO BILOBA PRUNUS YEDOENSIS 'AKEBONO' QUERCUS AGRIFOLIA QUERCUS AGRIFOLIA QUERCUS LOBATA QUERCUS SUBER SEQUOIA SEMPERVIRENS	BOWHALL RED MAPLE HIMALAYAN BIRCH MAIDENHAIR TREE FLOWERING CHERRY COAST LIVE OAK COAST LIVE OAK VALLEY OAK CORK OAK COAST REDWOOD	36" BOX RELOCATED/24" BOX 36" BOX 36" BOX 48" BOX RELOCATED/72" BOX 36"/48" BOX 36"/48" BOX 36" A8" BOX
SHRUBS AND GROUNDCOVERS ARCTOSTAPHYLOS 'HOWARD MCMINN' COPROSMA KIRKII DIETES IRIDOIDES ESCALLONIA 'COMPACTA' ESCALLONIA 'FRADESII' HEBE 'AUTUMN GLORY' LIGUSTRUM JAPONICUM 'TEXANUM' PITTOSPORUM CRASSIFOLIUM 'COMPACTUM' TRACHELOPSERMUM JASMINOIDES	COPROSMA FORTNIGHT LILY DWARF ESCALLONIA ESCALLONIA HEBE PRIVET DWARF KARO	5 GAL 5 GAL 5 GAL 5 GAL 5 GAL 5 GAL 5 GAL 5 GAL 5 GAL
<u>GROVE PLANTING</u> COPROSMA KIRKII COTONEASTER HORIZONTALIS DUCHESNICA INDICA ROSMARINUS 'COLLINGWOOD INGRAM'	COPROSMA ROCKSPRAY COTONEASTER INDIAN STRAWBERRY ROSEMARY	5 GAL 5 GAL 5 GAL 5 GAL
MARY BELL FLOYD GARDEN ARBUTUS 'ELFIN KING' CHOISYA TERNATA FRAGARIA CHILOENSIS LAVANDULA STOECHAS PLUMBAGO AURICULATA PUNICA GRANATUM 'NANA' ROSMARINUS 'COLLINGWOOD INGRAM' SALVIA BLEPHAROPHYLLA SALVIA BEE'S BLISS THYMUS VULGARIS THYMUS X CITRIODORUS 'AUREUS'	STRAWBRRY BUSH MEXICAN ORANGE STRAWBERRY SPANISH LAVENDER CAPE PLUMBAGO DWARF POMEGRANATE ROSEMARY EYELASH SAGE CREEPING SAGE THYME GOLDEN LEMON THYME	5 GAL 5 GAL
SUNKEN GARDEN ABUTILON SP. BUXUS MICROPHYLLA JAPONICA LIRIOPE MUSCARI MAHONIA AQUIFOLIUM PITTOSPORUM CRASSIFOLIUM 'COMPACTUM'	HEDGE MAPLE JAPANESE BOXWOOD LIRIOPE OREGON GRAPE HOLLY DWARF KARO DWARF PERIWINKLE	5 GAL 5 GAL 5 GAL 5 GAL 5 GAL
<u>SOUTH GARDEN MIX</u> ARCTOSTAPHYLOS D. 'HOWARD MCMINN' COTONEASTER HORIZONTALIS HETEROMELES ARBUTIFOLIA MAHONIA AQUIFOLIUM	MANZANITA ROCKSPRAY COTONEASTER TOYON OREGON GRAPE	5 GAL 5 GAL 5 GAL 5 GAL
<u>VINES</u> DISTICTIS BUCCINATORIA	TRUMPET VINE	5 GAL
<u>LAWN</u> SOD LAWN	BOLERO PLUS	_

	SPACING	WUCOLS	COMMENTS
		(REG. 1)	
BOX	PER PLAN PER PLAN PER PLAN PER PLAN PER PLAN PER PLAN PER PLAN PER PLAN PER PLAN	M H L VL L L H	6' MIN CLEAR TRUNK MULTI TO MIX W/ (E) TREES LOW BRANCH
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455 LAMBERT AVENUE PALO A WWW.CAWARCHITECTS.COM • 650.328.1818	<ul> <li>FAX: 650.328.1888</li> </ul>
WILLIAM RAWN ASSOCIATES	I Architects, Inc. 10 Post Office Sq. Suite 1010 Boston, MA 02109
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CONSULTANTS	
swa	
2200 Bridgeway Sausalito, California 94965-1750 United States www.swagroup.com +1.415.332.5100 o	
MILESTONE	DATE
ASA SUBMISSION	07.15.2021
ASA RESUBMISSION	08.20.2021
ASA RESUBMISSION	11.19.2021
ASA RESUBMISSION	02.15.2022
PROJECT NAME NORTH BUILD STANFORD UNIVE GRADUATE SC OF EDUCATI 485 LASUEN M STANFORD, CA 9	ERSITY HOOL ON IALL
SHEET TITLE PLANTING NOTE PROJECT NO. STFS801 DRAWN BY X. KUANG, H. Z CHECKED BY W. HYNES SHEET	
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**1**) <u>1/16" = 1'-0"</u>

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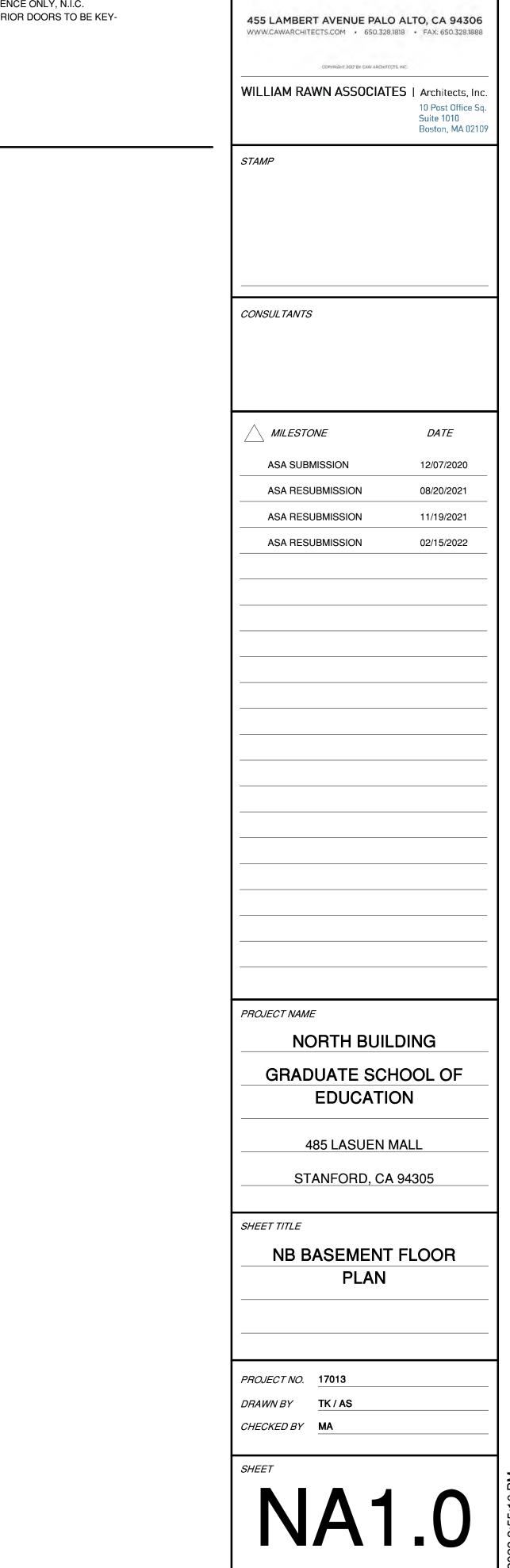
#### GENERAL NOTES

FLOOR PLAN LEGEND

EXISTING WALL

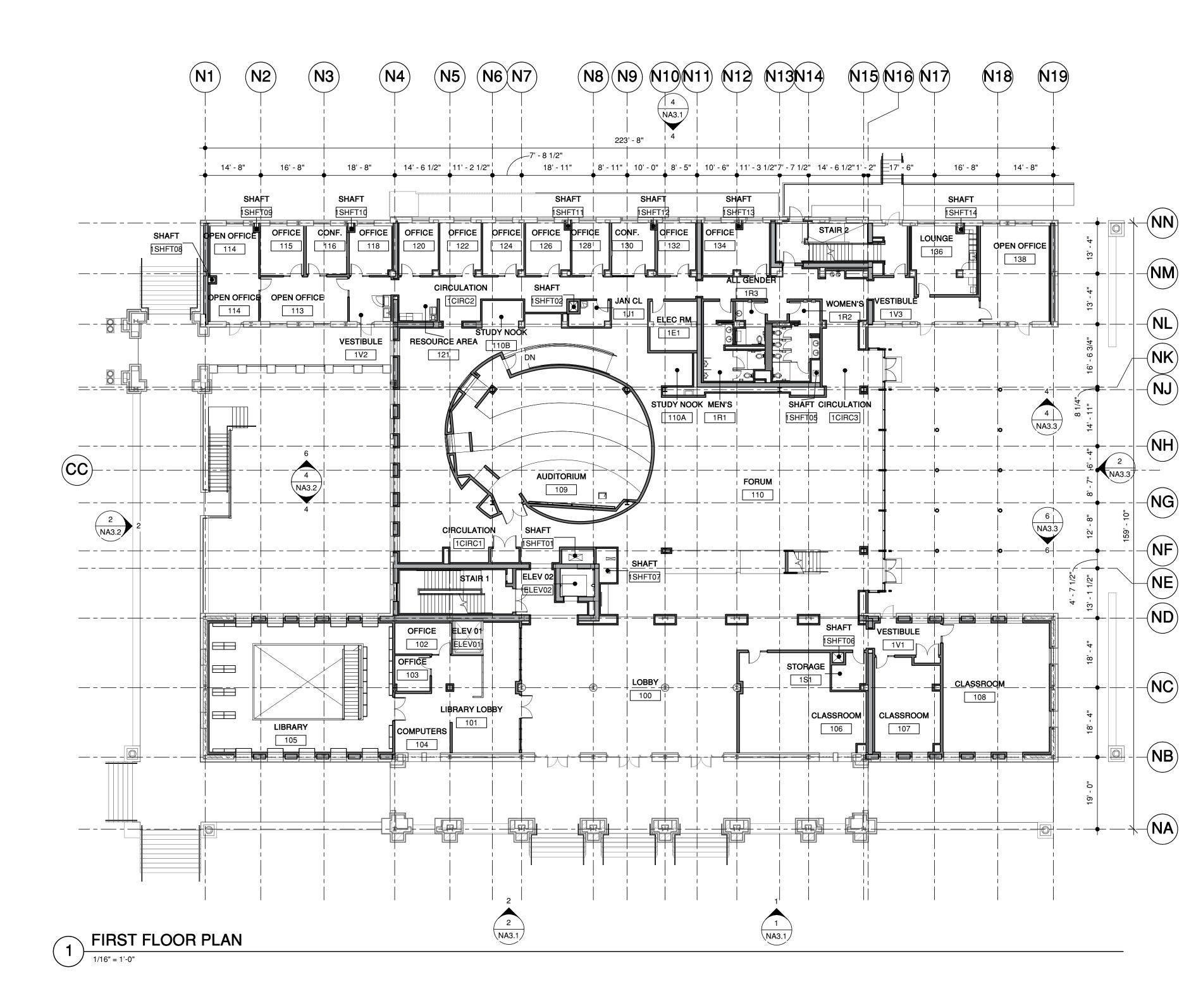
NEW WALL

- ALL COLUMNS AND CONCRETE WALLS, BOTH EXISTING AND NEW, 1. TO RECEIVE NEW FURRING, U.O.N. COLUMNS AND BEAMS AROUND STAIRS, ELEVATORS, AND DUCT 2. SHAFTS TO BE PROTECTED WITH 1-HOUR RATED SPRAY-APPLIED
- FIREPROOFING OR GYPSUM BOARD, TYPICAL. LOOSE FURNITURE SHOWN FOR REFERENCE ONLY, N.I.C. 3.
- ALL FIRST FLOOR AND BASEMENT EXTERIOR DOORS TO BE KEY-4. CARD ACCESS DOORS



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FLOOR PLAN LEGEND

EXISTING WALL

NEW WALL

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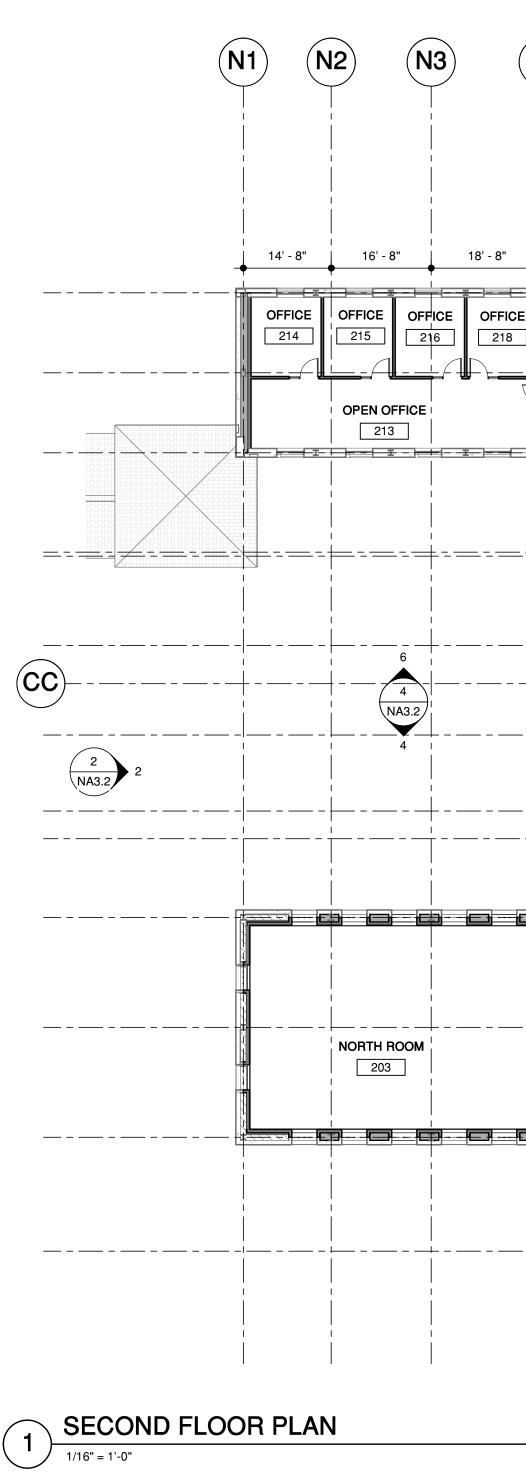
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CONSULTANTS	
	DATE
ASA SUBMISSION	12/07/2020
ASA RESUBMISSION	08/20/2021
ASA RESUBMISSION	11/19/2021
ASA RESUBMISSION	02/15/2022
PROJECT NAME	
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485 LASUEN M	ALL
STANFORD, CAS	94305
SHEET TITLE	
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PROJECT NO. 17013	
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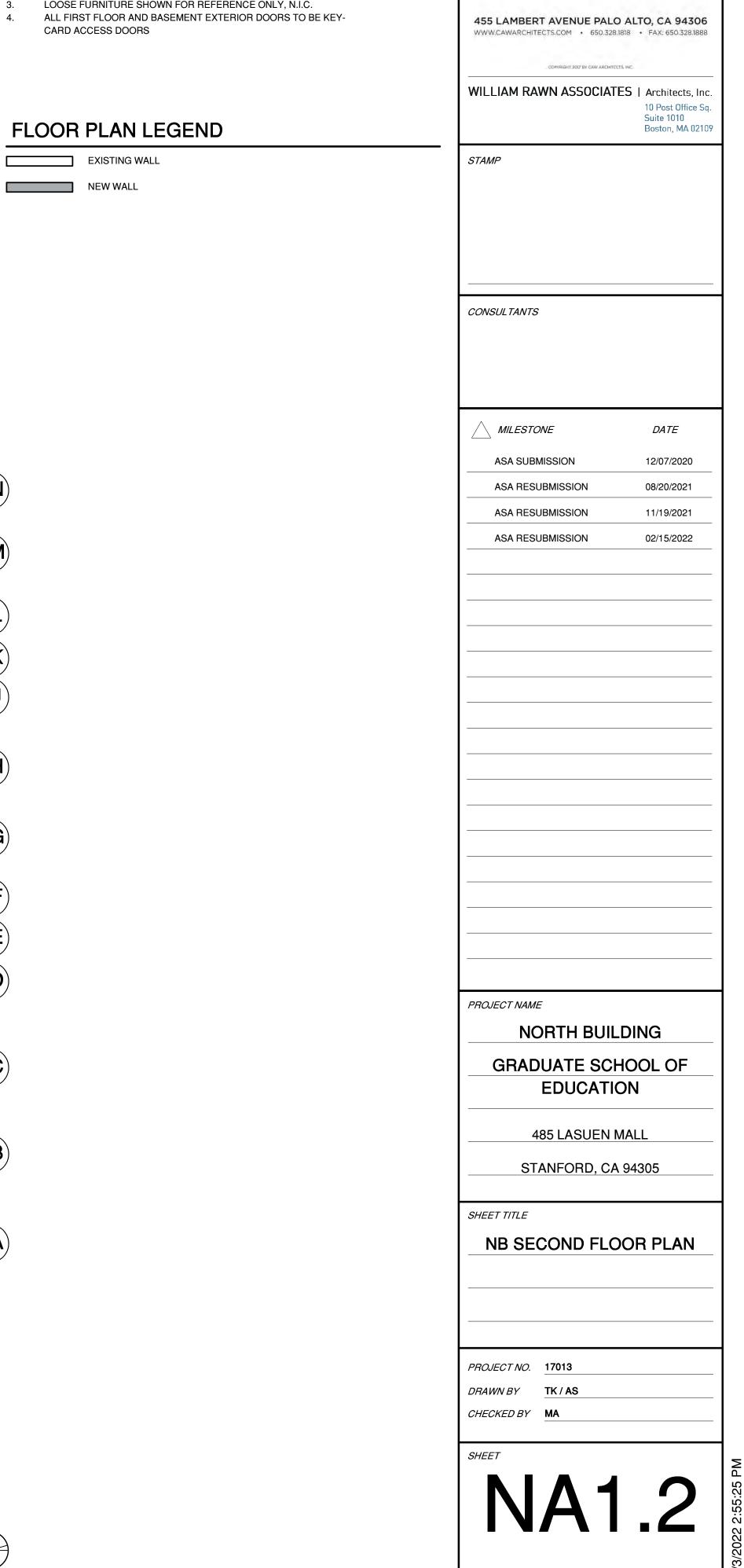


N4       N5       N6       N7         14' - 6 1/2"       11' - 2 1/2"       7' - 8 1/2"         14' - 6 1/2"       11' - 2 1/2"       7' - 8 1/2"         NCE       OFFICE       OFFICE       OFFICE         220       222       224       226         CIRCULATION       CIRCULATION PH	OFFICE         CONF.         OFFICE           228         230         232         234		16'-8" 14'-8" 16'-8" 14'-8" 16'-8" 14'-8"	
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EXISTING WALL

NEW WALL

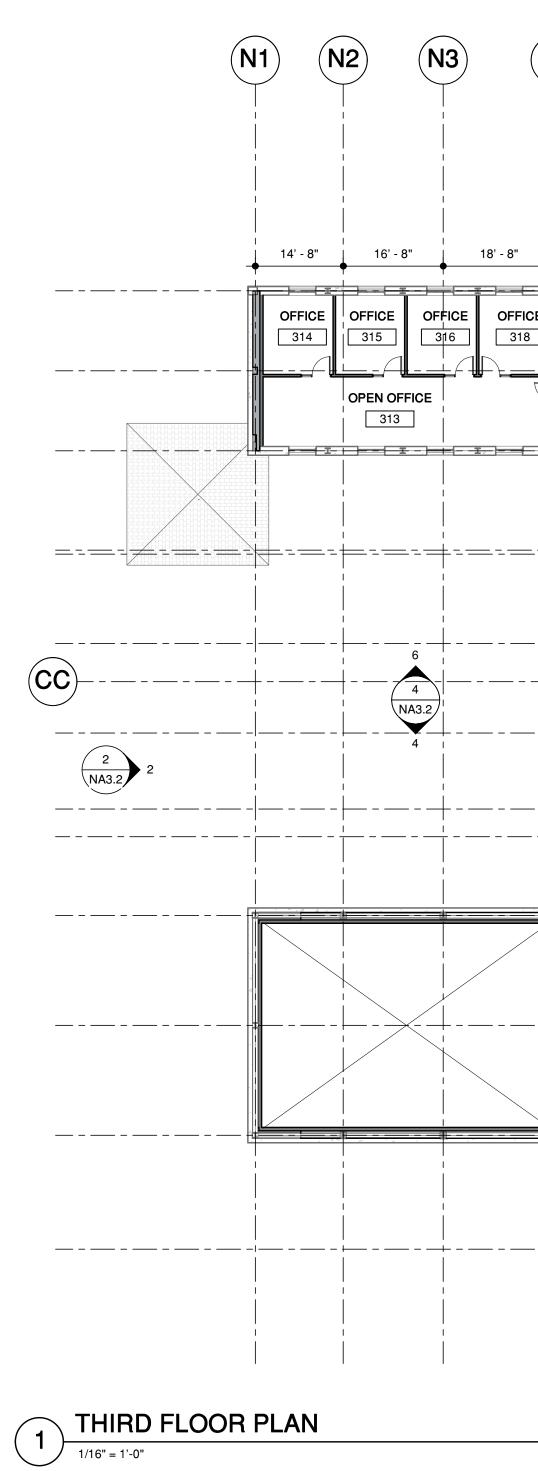
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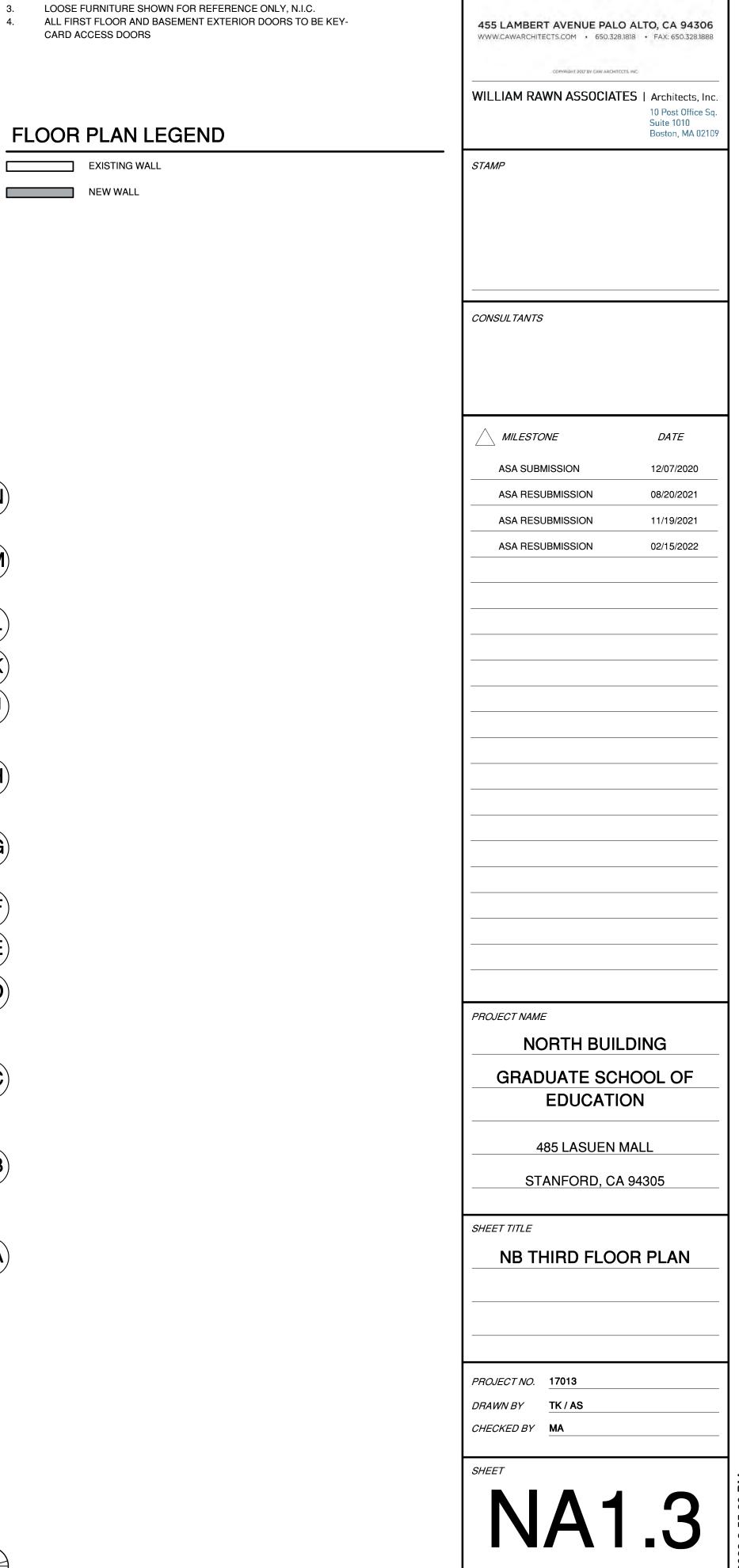


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EXISTING WALL

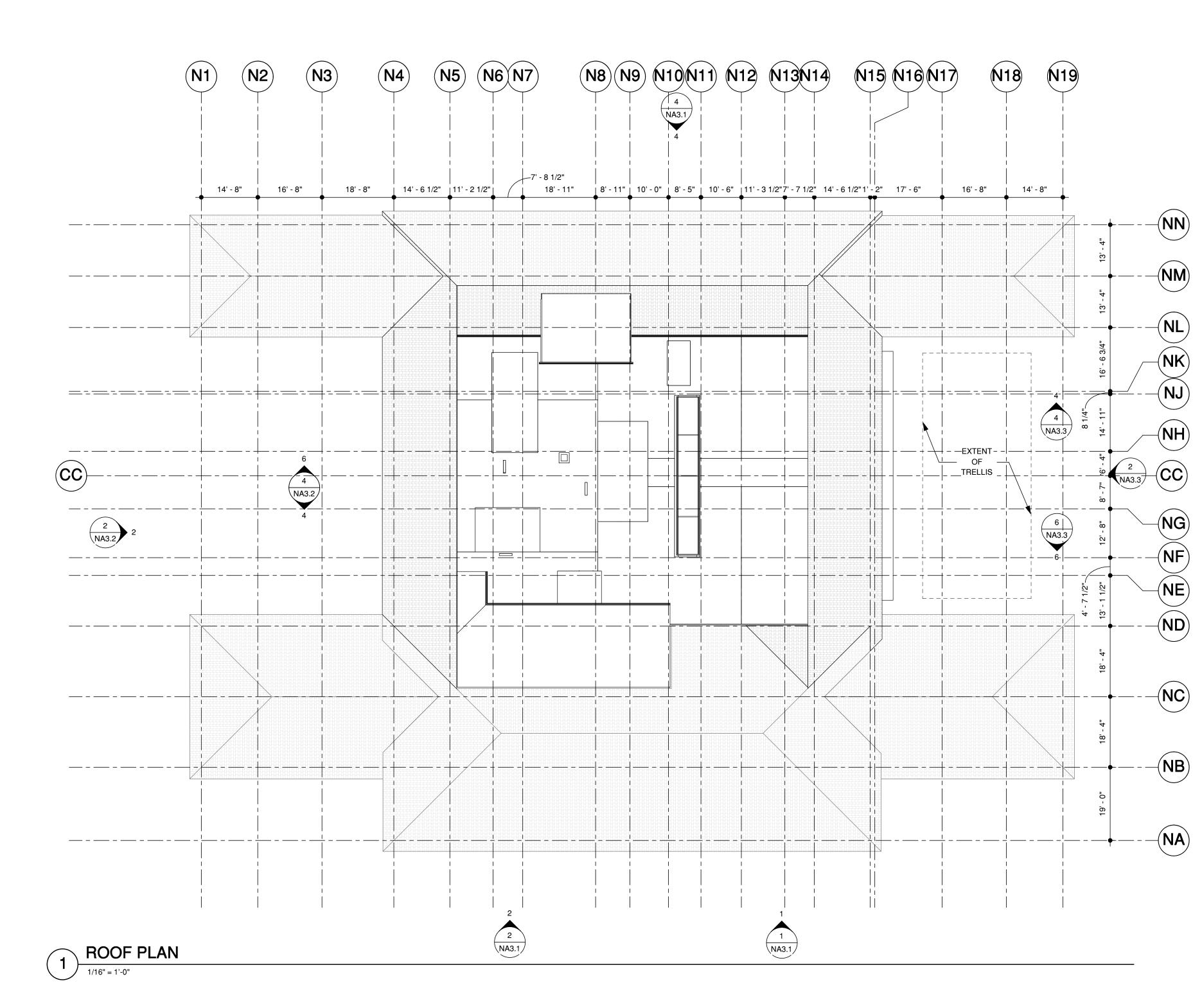
NEW WALL

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ARCHITECTS

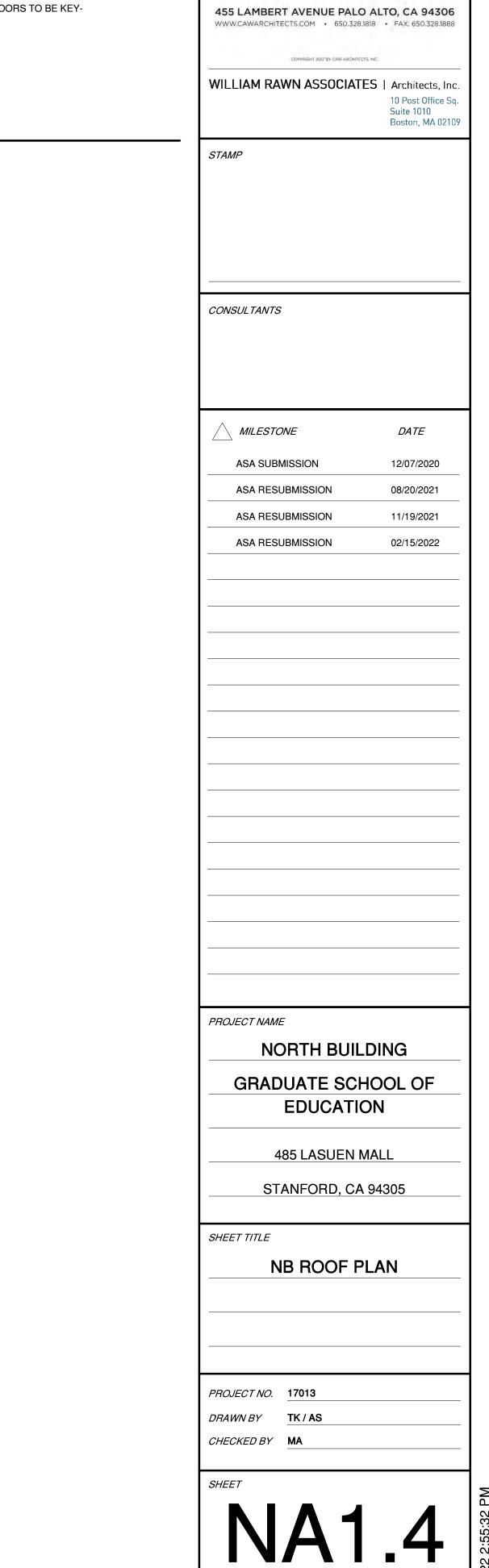


FLOOR PLAN LEGEND

EXISTING WALL

NEW WALL

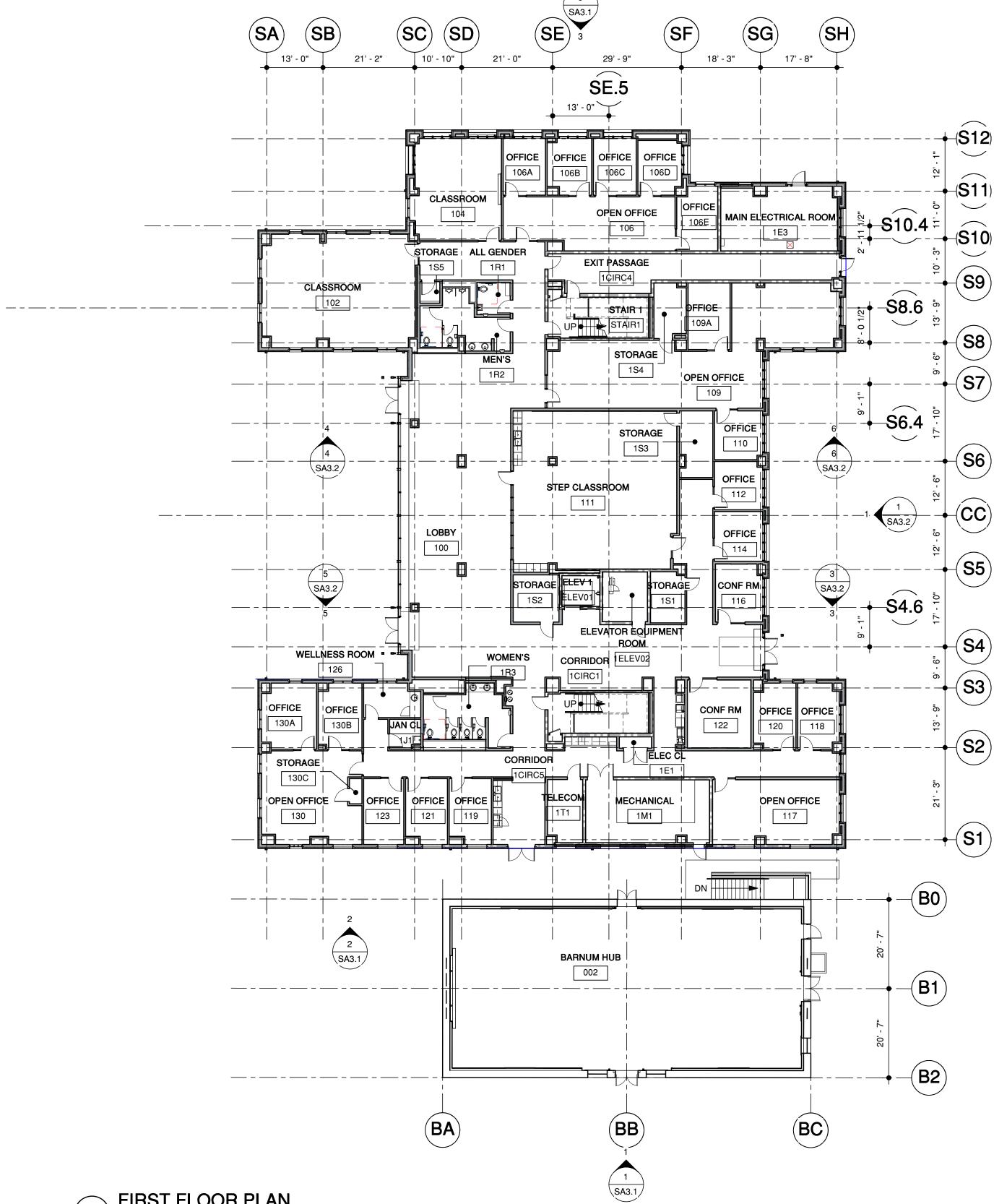
- ALL COLUMNS AND CONCRETE WALLS, BOTH EXISTING AND NEW, 1. TO RECEIVE NEW FURRING, U.O.N. COLUMNS AND BEAMS AROUND STAIRS, ELEVATORS, AND DUCT 2. SHAFTS TO BE PROTECTED WITH 1-HOUR RATED SPRAY-APPLIED
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FIRST FLOOR PLAN

### **GENERAL NOTES**

- 1. ALL COLUMNS TO BE ENCLOSED IN FURRED WALLS F3 U.O.N.
- COLUMNS AND BEAMS AROUND STAIRS, ELEVATOR AND DUCT SHAFTS SHALL BE 2. PROTECTED WITH 2-HOUR FIRE RATED SPRAY-APPLIED OR GYPSUM BOARD FIREPROOFING.
- ALL FIRST FLOOR EXTERIOR DOORS TO BE KEY-CARD ACCESS DOORS. 3.

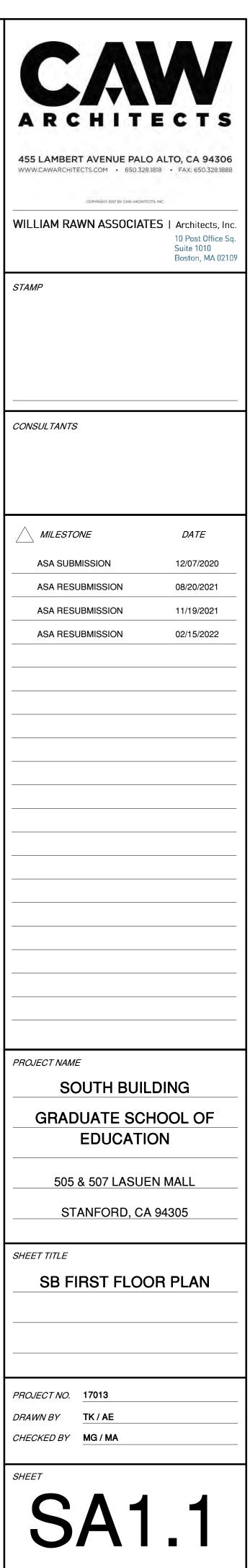
### FLOOR PLAN LEGEND

NON-RATED WALL OR PARTITION

RATED WALL

CEMENT PLASTER WALL

(E) WALL



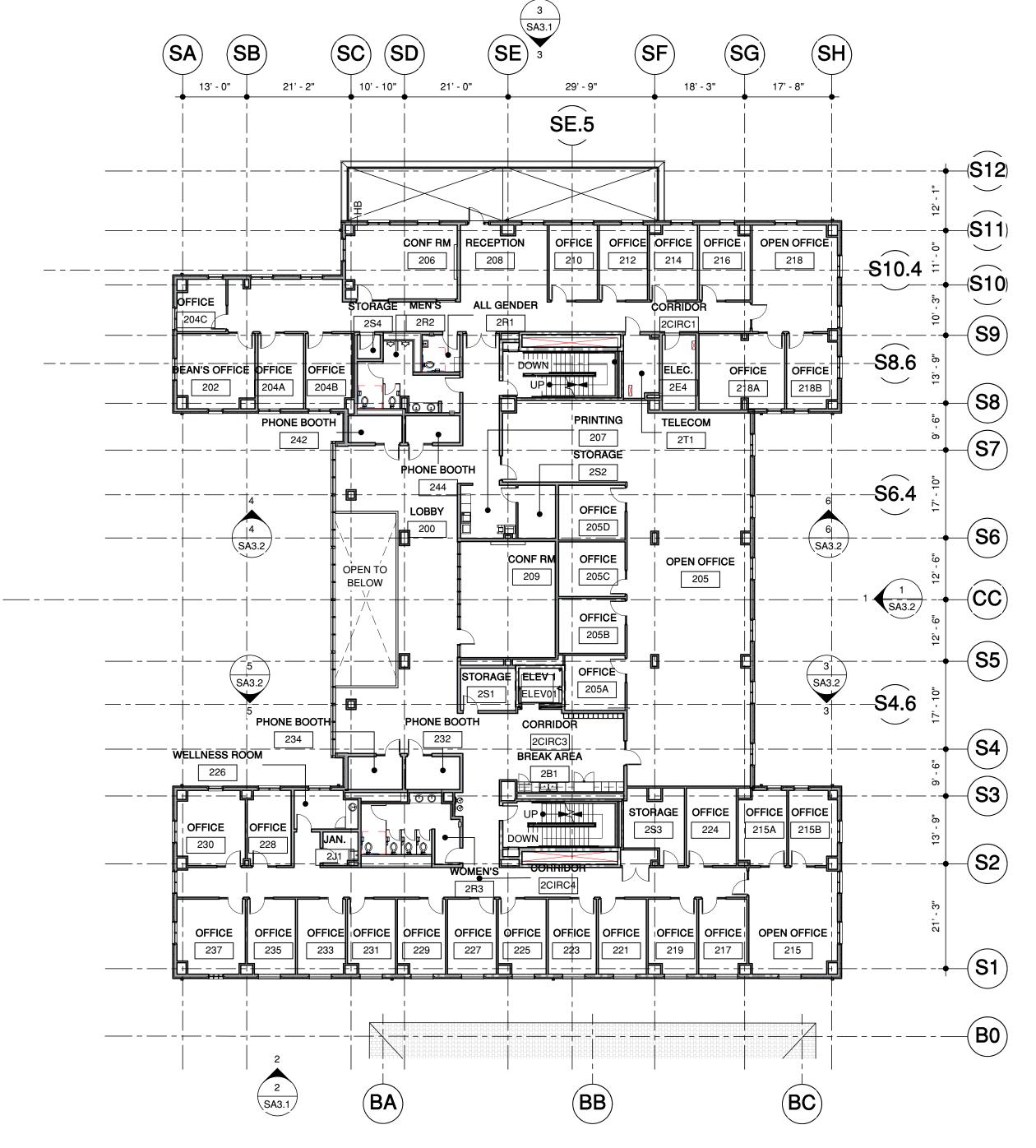
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- 1. ALL COLUMNS TO BE ENCLOSED IN FURRED WALLS F3 U.O.N.
- COLUMNS AND BEAMS AROUND STAIRS, ELEVATOR AND DUCT SHAFTS SHALL BE PROTECTED WITH 2-HOUR FIRE RATED SPRAY-APPLIED OR GYPSUM BOARD FIREPROOFING.
- 3. ALL FIRST FLOOR EXTERIOR DOORS TO BE KEY-CARD ACCESS DOORS.

### FLOOR PLAN LEGEND





CEMENT PLASTER WALL

(E) WALL



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ASA RESUBMISSION

11/19/2021 02/15/2022

DATE

12/07/2020

08/20/2021

PROJECT NAME SOUTH BUILDING

# GRADUATE SCHOOL OF

EDUCATION

505 & 507 LASUEN MALL

STANFORD, CA 94305

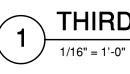
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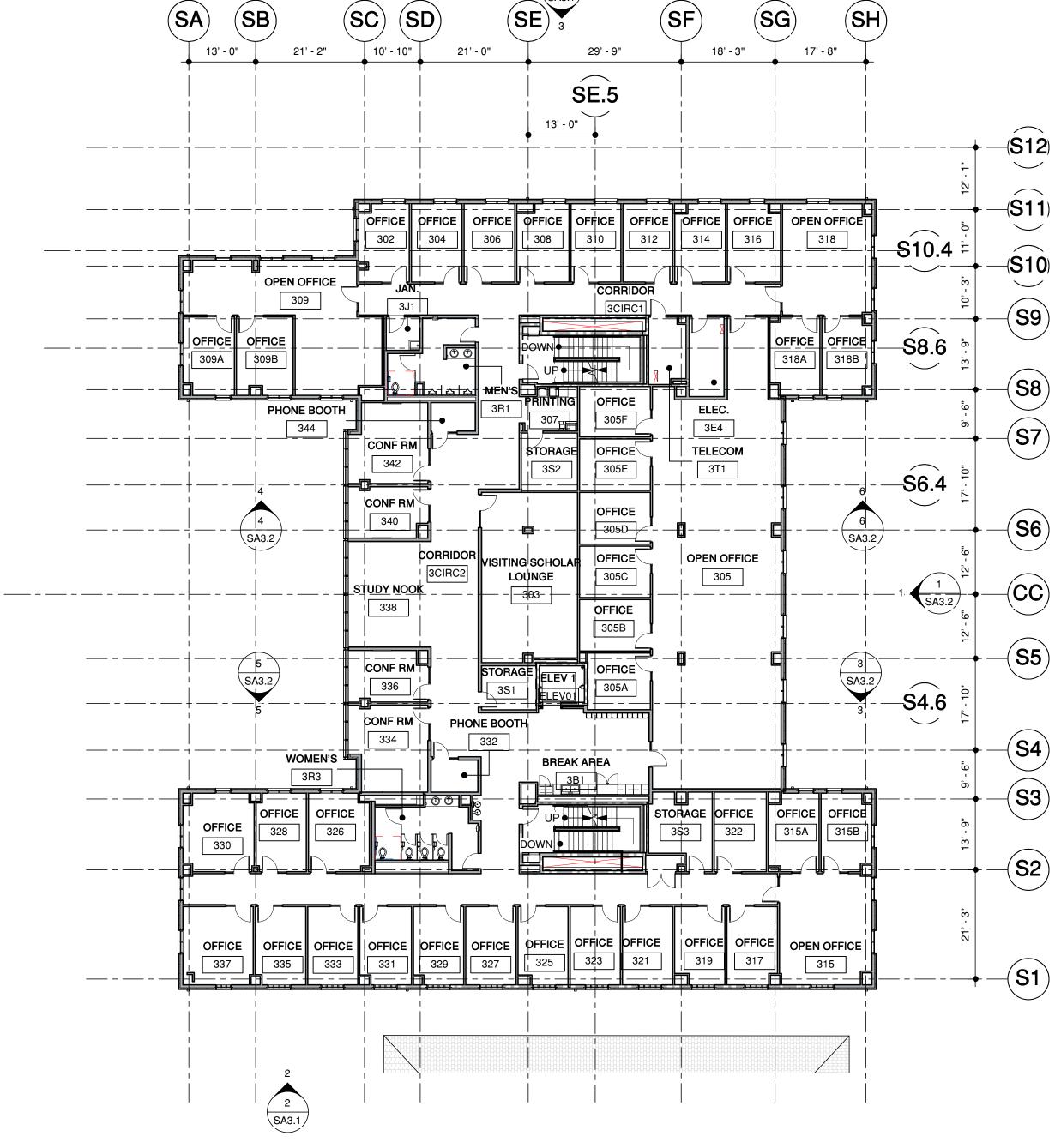
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THIRD FLOOR PLAN

### **GENERAL NOTES**

- 1. ALL COLUMNS TO BE ENCLOSED IN FURRED WALLS F3 U.O.N.
- 2. COLUMNS AND BEAMS AROUND STAIRS, ELEVATOR AND DUCT SHAFTS SHALL BE PROTECTED WITH 2-HOUR FIRE RATED SPRAY-APPLIED OR GYPSUM BOARD FIREPROOFING.
- 3. ALL FIRST FLOOR EXTERIOR DOORS TO BE KEY-CARD ACCESS DOORS.

### FLOOR PLAN LEGEND





CEMENT PLASTER WALL

(E) WALL



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ASA RESUBMISSION

11/19/2021 02/15/2022

DATE

12/07/2020

08/20/2021

PROJECT NAME

# SOUTH BUILDING

GRADUATE SCHOOL OF EDUCATION

505 & 507 LASUEN MALL

STANFORD, CA 94305

SHEET TITLE

### SB THIRD FLOOR PLAN

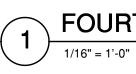
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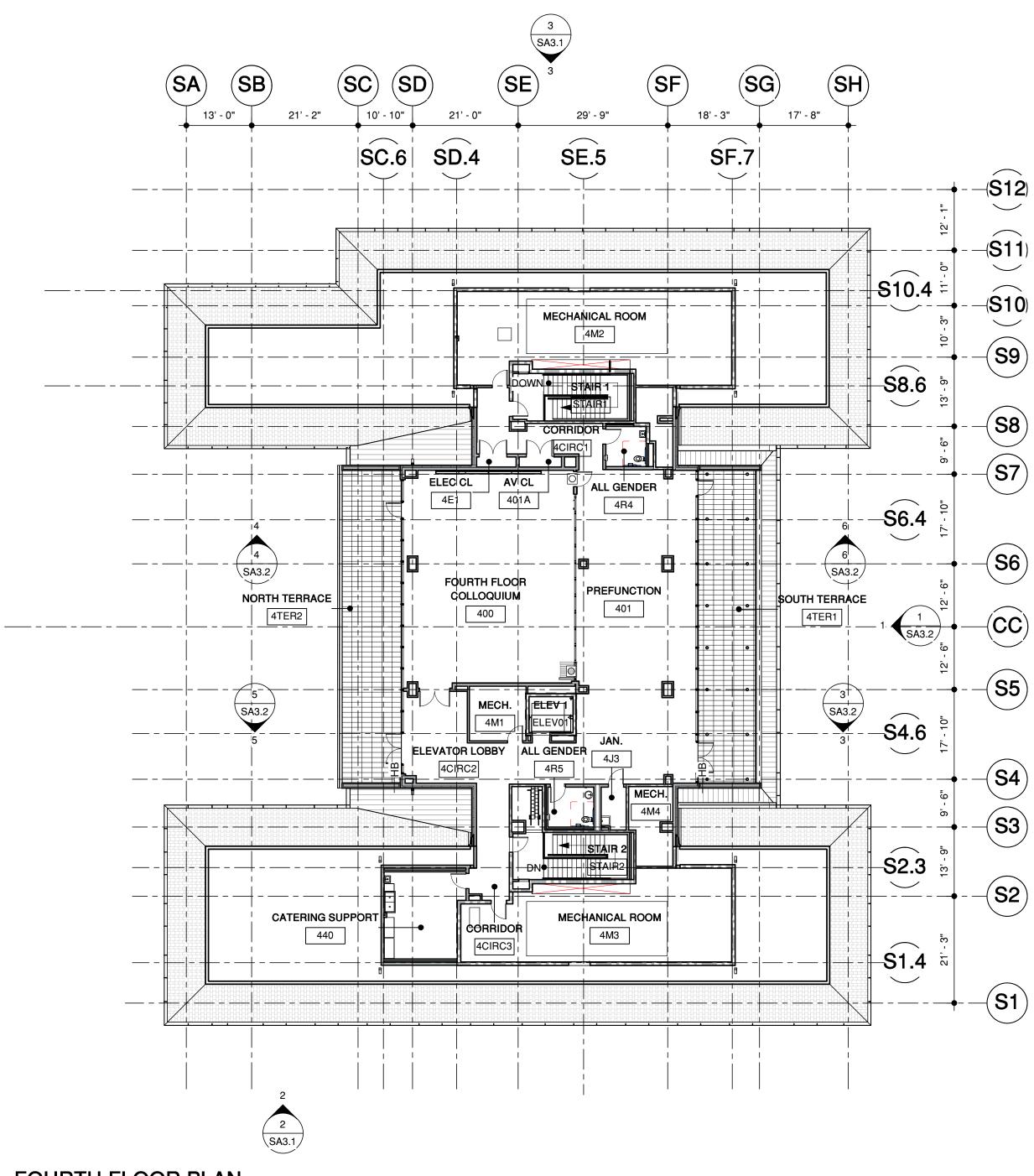
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FOURTH FLOOR PLAN



### **GENERAL NOTES**

- 1. ALL COLUMNS TO BE ENCLOSED IN FURRED WALLS F3 U.O.N.
- 2. COLUMNS AND BEAMS AROUND STAIRS, ELEVATOR AND DUCT SHAFTS SHALL BE PROTECTED WITH 2-HOUR FIRE RATED SPRAY-APPLIED OR GYPSUM BOARD FIREPROOFING.
- 3. ALL FIRST FLOOR EXTERIOR DOORS TO BE KEY-CARD ACCESS DOORS.

### FLOOR PLAN LEGEND



CEMENT PLASTER WALL

(E) WALL



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11/19/2021 02/15/2022

DATE

12/07/2020

08/20/2021

PROJECT NAME

# SOUTH BUILDING

### GRADUATE SCHOOL OF EDUCATION

505 & 507 LASUEN MALL

STANFORD, CA 94305

SHEET TITLE

### SB FOURTH FLOOR PLAN

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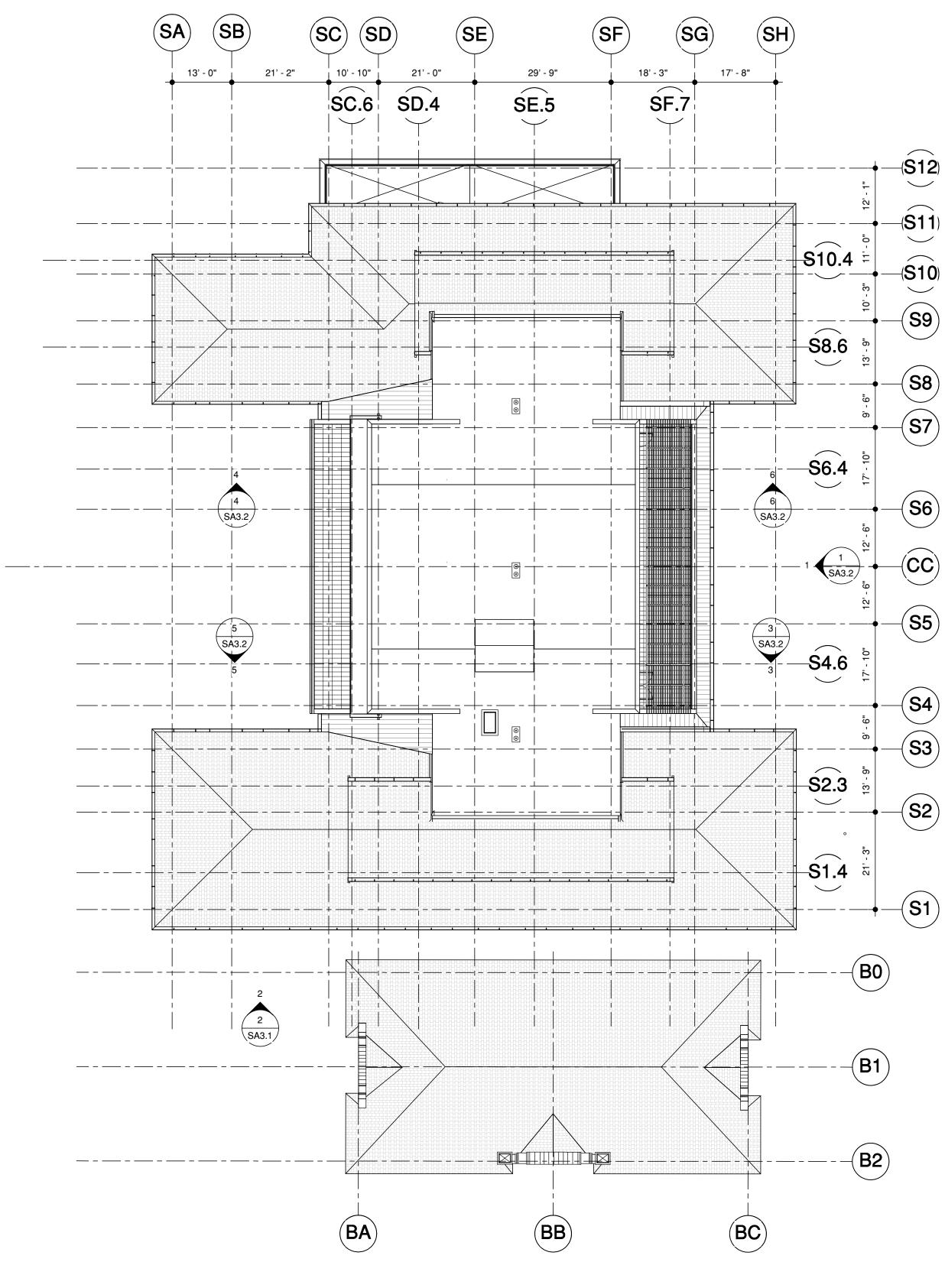
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TRUE NORTH /

### **GENERAL NOTES**

- 1. ALL COLUMNS TO BE ENCLOSED IN FURRED WALLS F3 U.O.N.
- COLUMNS AND BEAMS AROUND STAIRS, ELEVATOR AND DUCT SHAFTS SHALL BE 2. PROTECTED WITH 2-HOUR FIRE RATED SPRAY-APPLIED OR GYPSUM BOARD FIREPROOFING.
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### FLOOR PLAN LEGEND

NON-RATED WALL OR PARTITION



CEMENT PLASTER WALL

(E) WALL



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12/07/2020

08/20/2021

PROJECT NAME

### SOUTH BUILDING

GRADUATE SCHOOL OF EDUCATION

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STANFORD, CA 94305

SHEET TITLE

### SB ROOF PLAN

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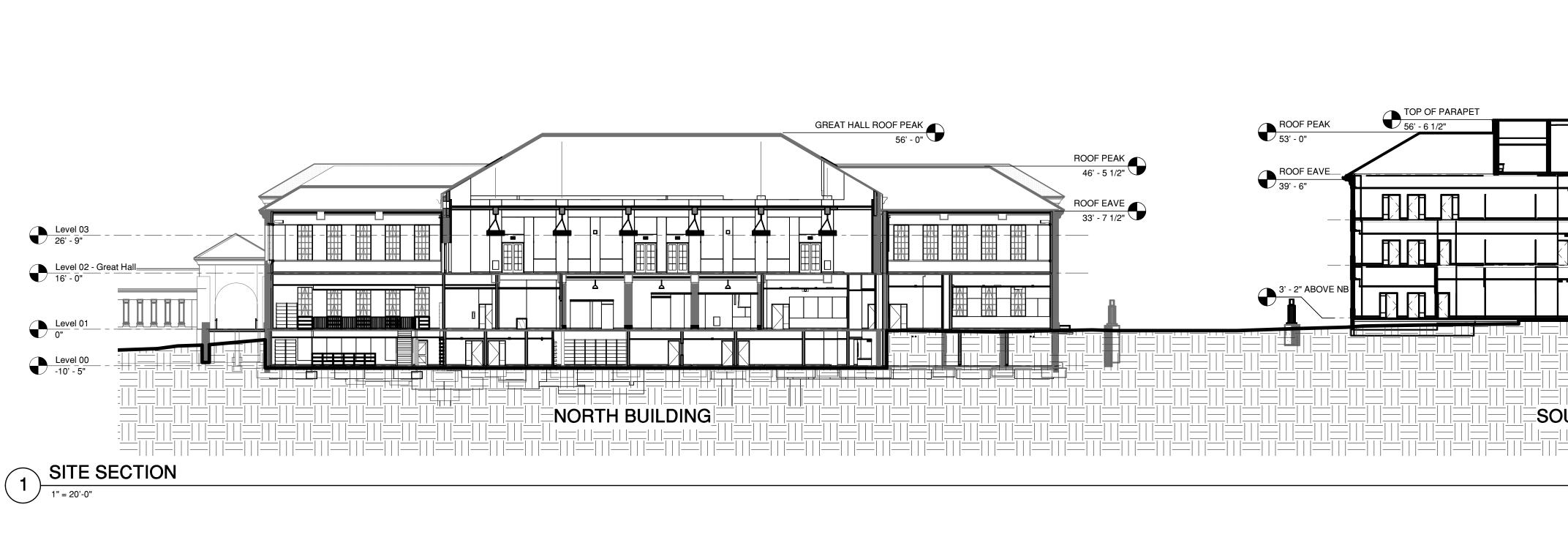
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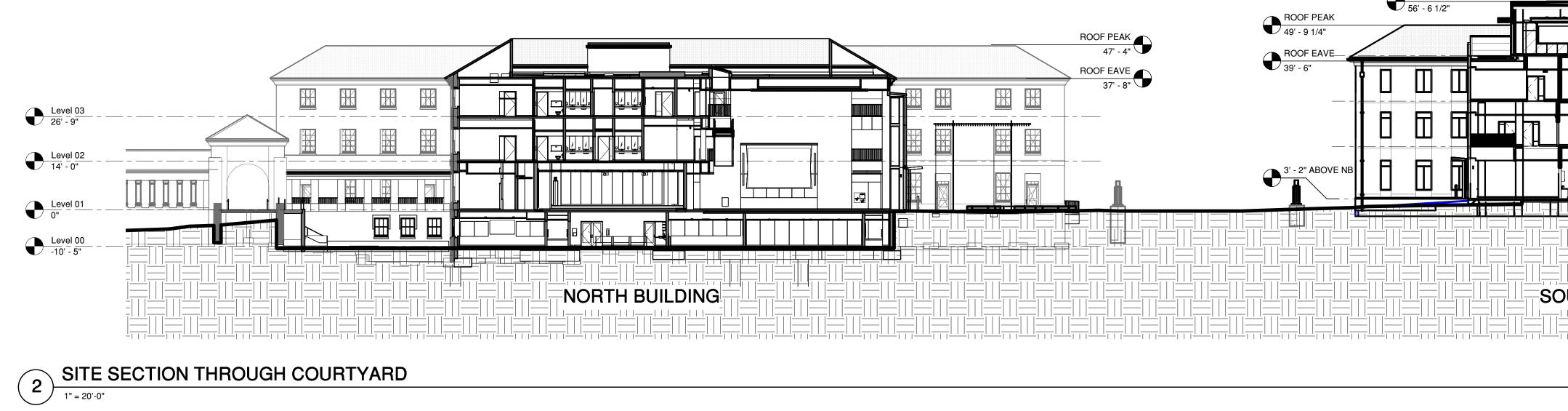


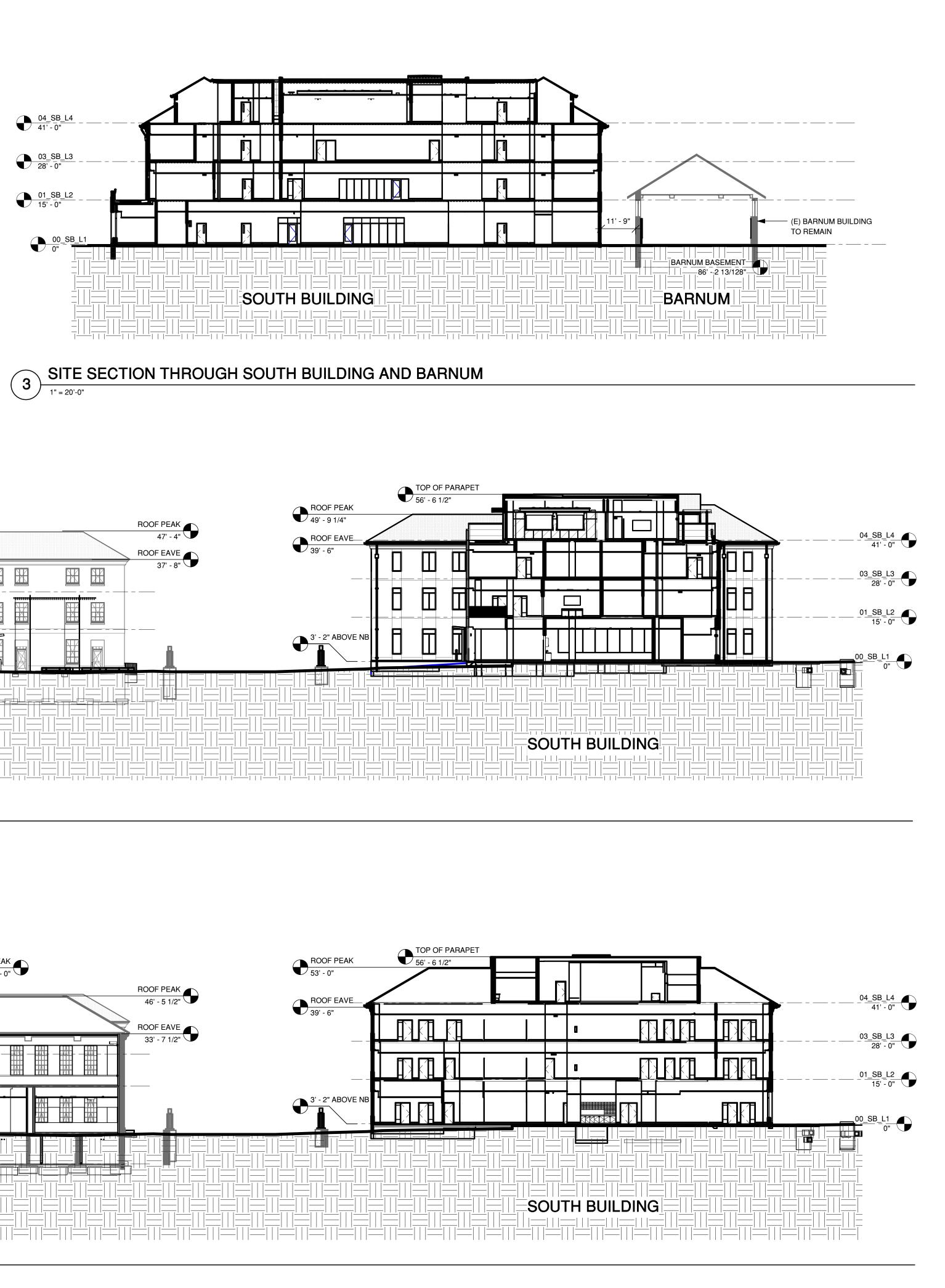


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CONSULTANTS	
	DATE
	08/20/2021
ASA RESUBMISSION	08/20/2021
ASA RESUBMISSION	02/15/2022
PROJECT NAME	
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485 LASUEN MA STANFORD, CA 94	
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2. VIEW FROM MEYER GREEN



4. NORTH BUILDING COURTYARD

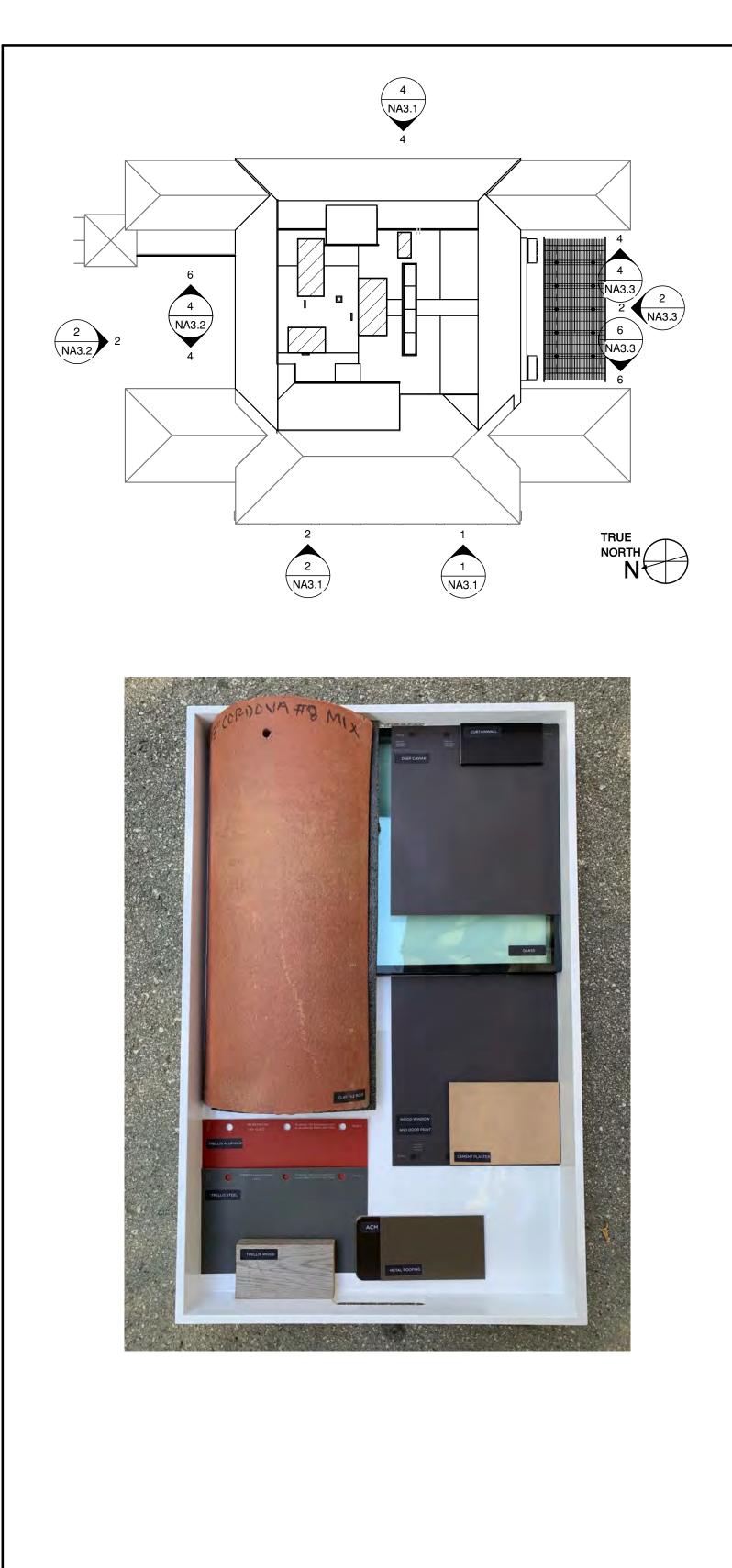
# 1. ALONG LASUEN MALL



3. VIEW FROM TOWN CENTER

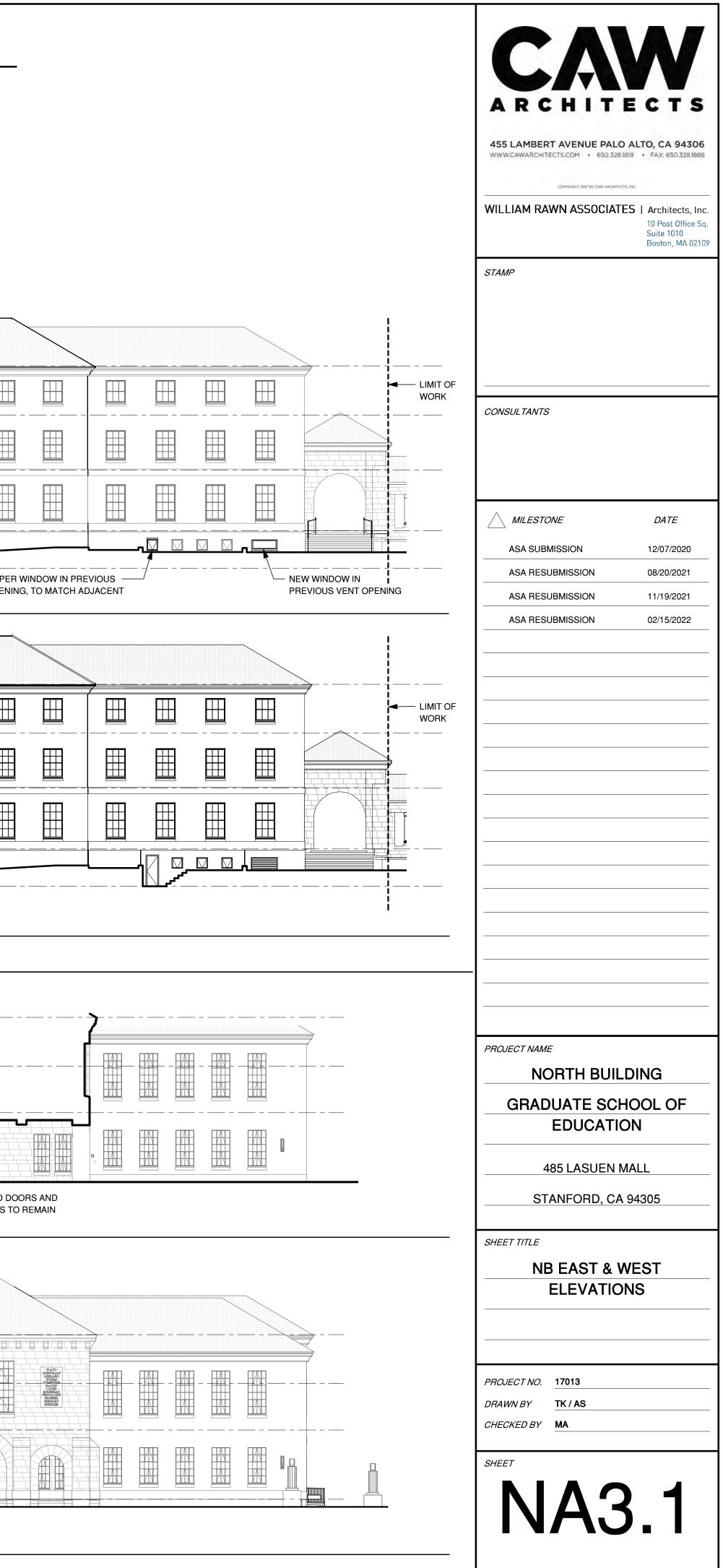
5. SOUTH BUILDING COURTYARD

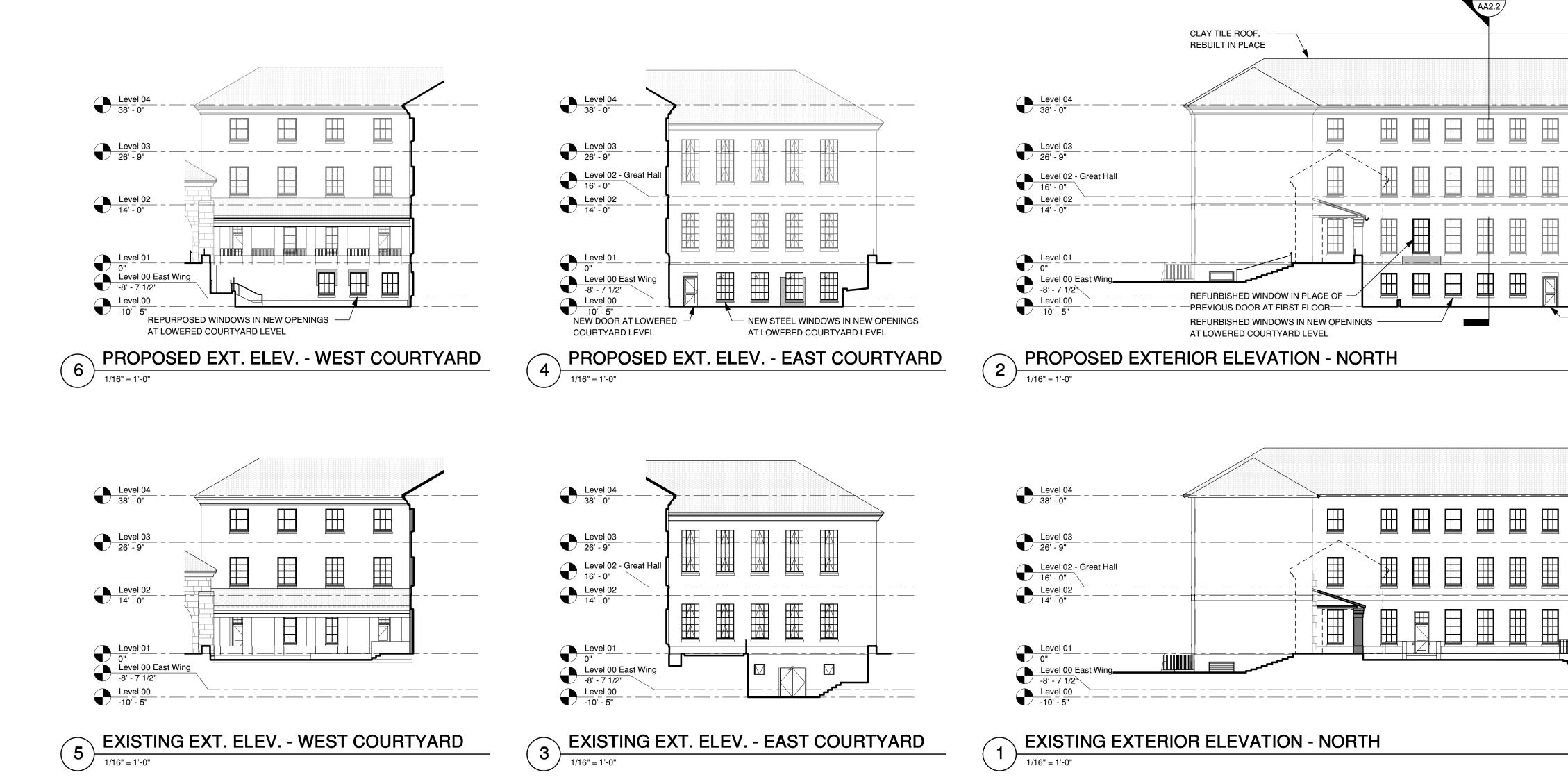
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	<b>ARCHITECTS</b> <b>455 LAMBERT AVENUE PALO ALTO, CA 94306</b> WWW.CAWARCHITECTS.COM · 650.328.1818 · FAX: 650.328.1888
	WILLIAM RAWN ASSOCIATES   Architects, Inc. 10 Post Office Sq. Suite 1010 Boston, MA 02109
	STAMP
	CONSULTANTS
	MILESTONE DATE
	ASA SUBMISSION 12/07/2020 ASA RESUBMISSION 08/20/2021 ASA RESUBMISSION 11/19/2021 ASA RESUBMISSION 02/15/2022
	PROJECT NAME
TRUE NORTH	GRADUATE SCHOOL OF EDUCATION
	485 LASUEN MALL STANFORD, CA 94305
	SHEET TITLE EXTERIOR RENDERS
	PROJECT NO. 17013
	DRAWN BY TK / AS CHECKED BY MA SHEET
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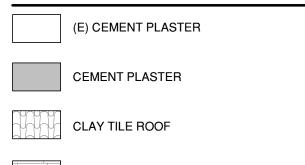
EXTERIOR FINISH LEGEND	GLAZING LEGEND
(E) CEMENT PLASTER	VISION GLASS
CEMENT PLASTER	SPANDREL GLASS
CLAY TILE ROOF	FROSTED GLASS
STONE	

	Level 04														
Ð	Level 02 14' - 0"		 			 						 	 		
Ð	Level 01														
	Level 00 East Wing -8' - 7 1/2"													NEW I	
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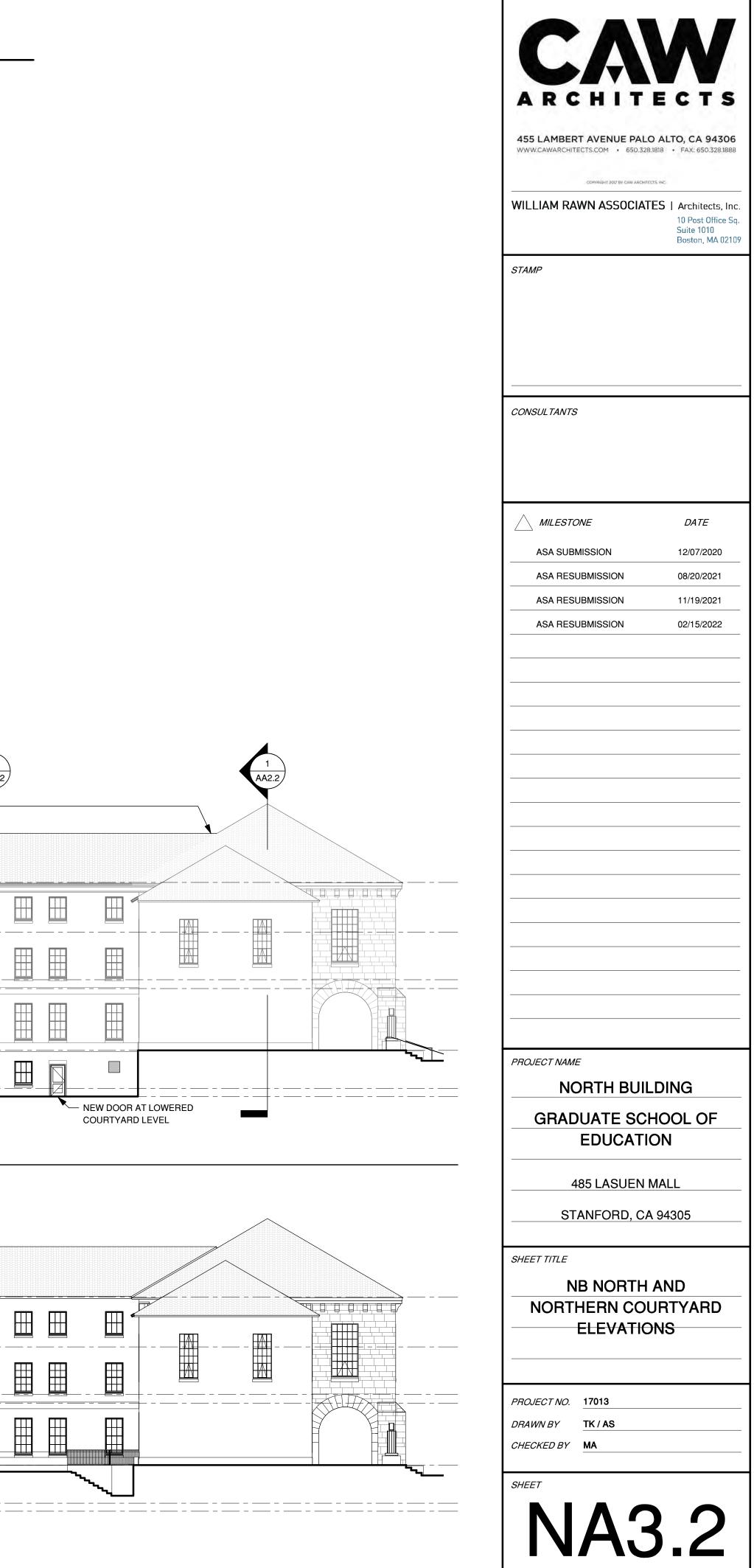
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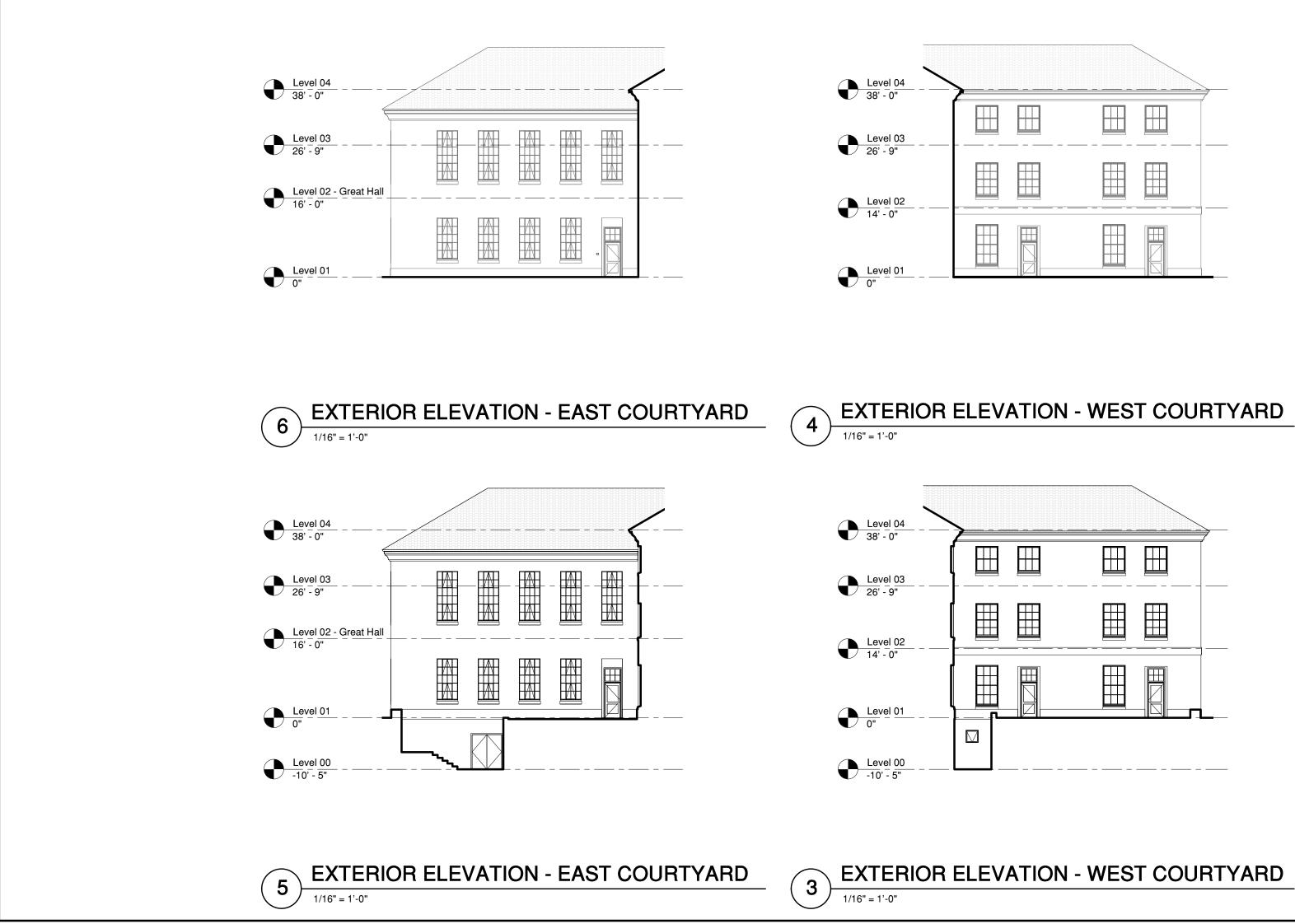
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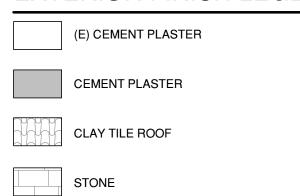
FROSTED GLASS

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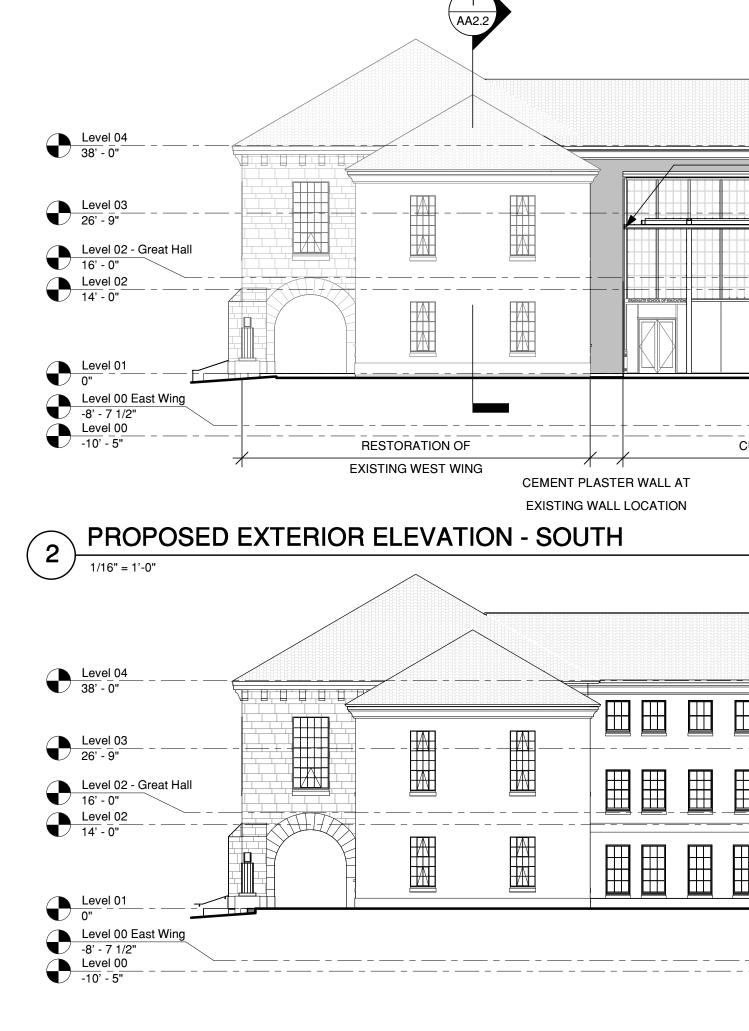
### EXTERIOR FINISH LEGEND



### **GLAZING LEGEND**

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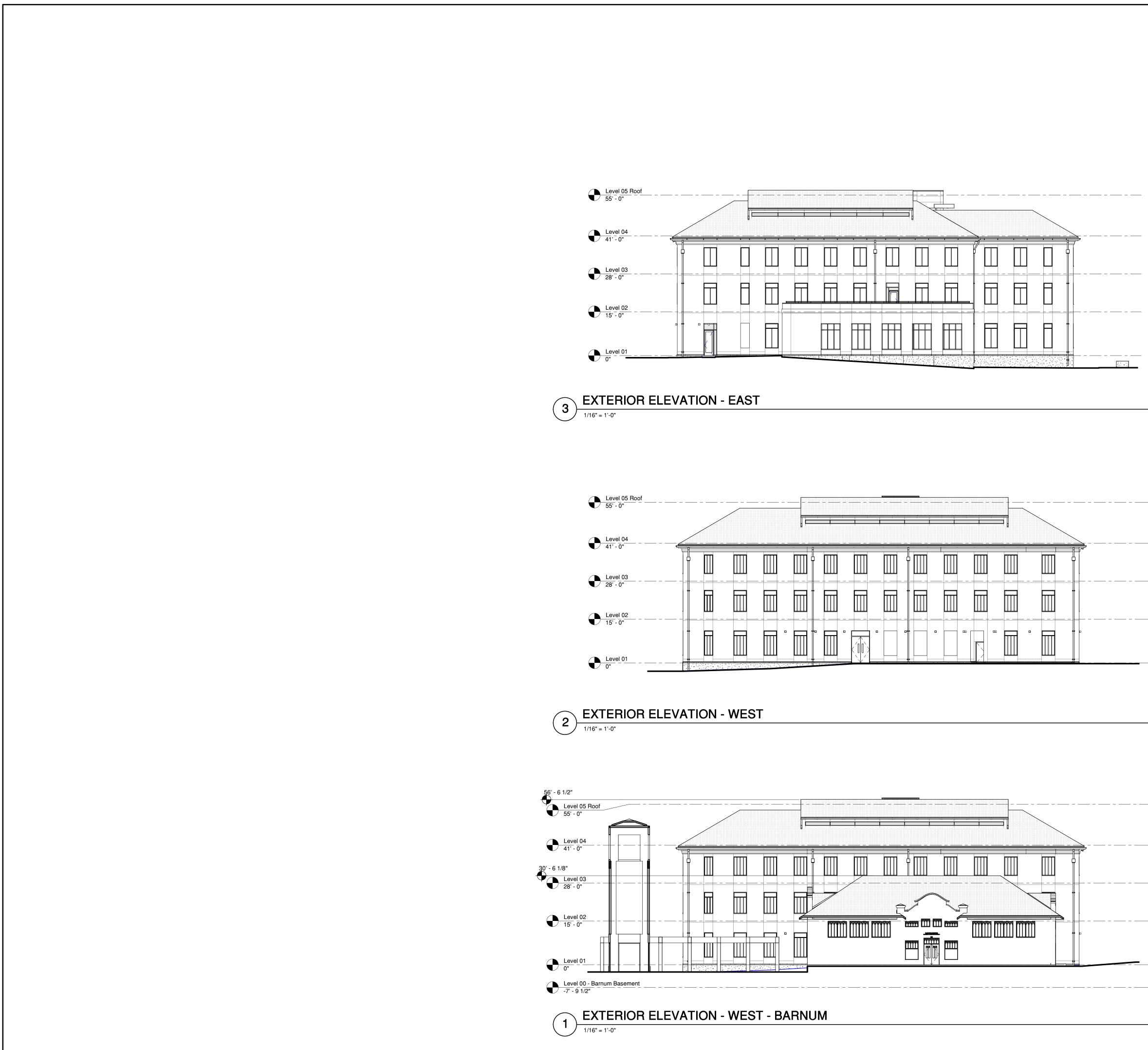
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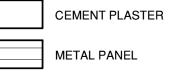
1 EXISTING EXTERIOR ELEVATION - SOUTH 1/16" = 1'-0"

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CLAY TILE ROOFING

METAL OR ALUMINUM: TO MATCH PERMAFLUOR CLASSIC BRONZE

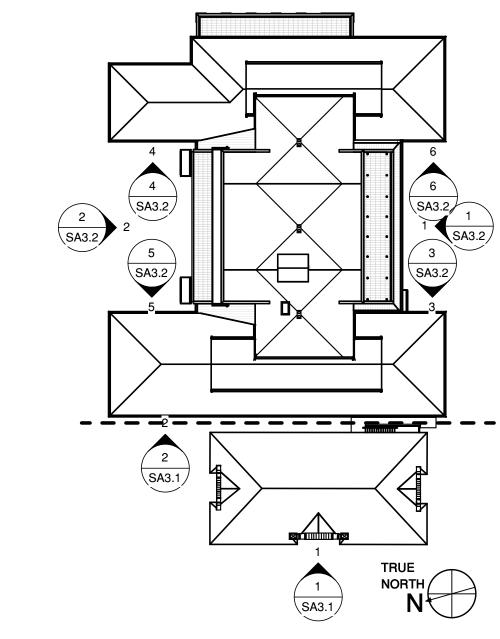
FINISHED CONCRETE FOUNDATION WALL

### **GLAZING LEGEND**

VISION GLASS
SPANDREL GLASS
FROSTED GLASS

122 

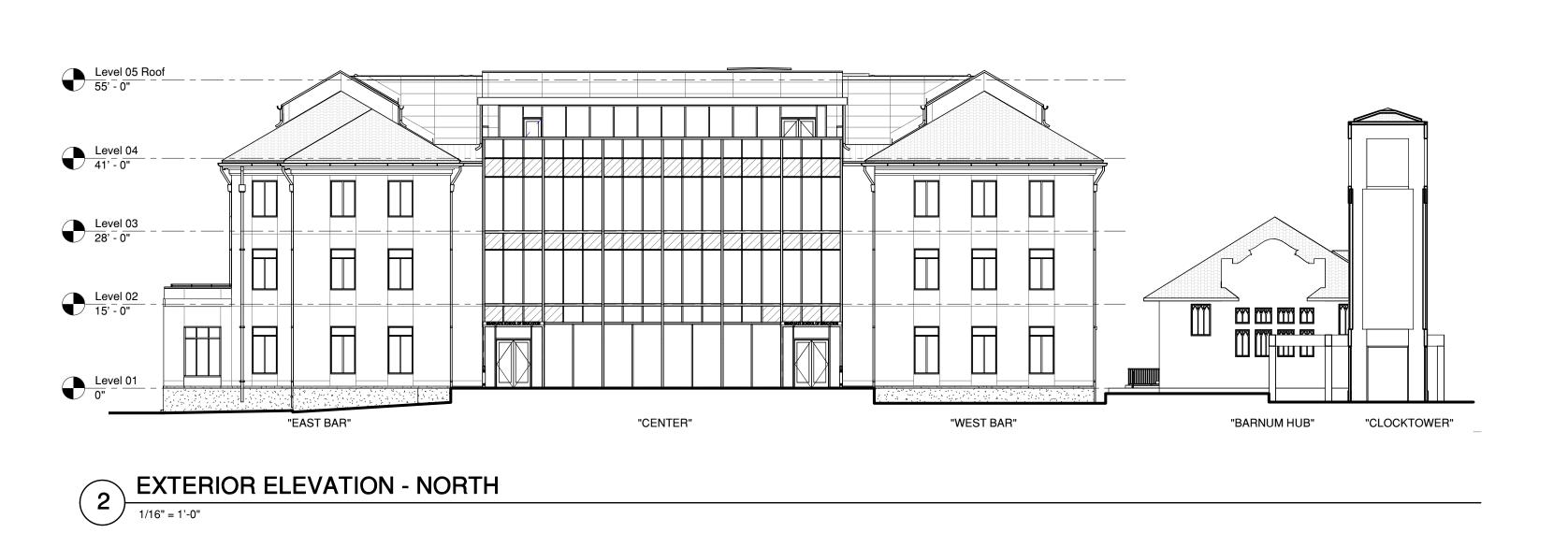


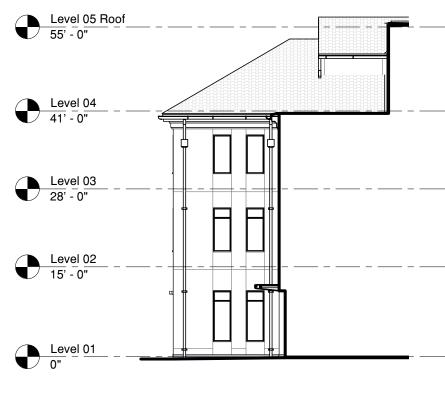


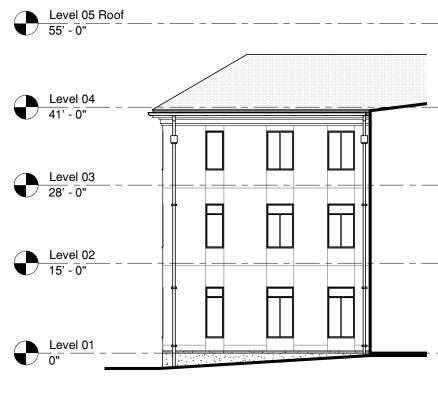
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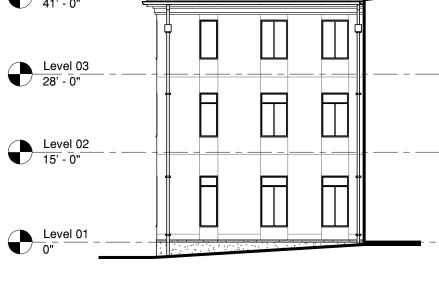
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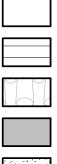


**EXTERIOR ELEVATION - WEST** 

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1/16" = 1'-0"





CEMENT PLASTER

METAL PANEL CLAY TILE ROOFING

METAL OR ALUMINUM: TO MATCH PERMAFLUOR CLASSIC BRONZE

FINISHED CONCRETE FOUNDATION WALL

## **GLAZING LEGEND**

VISION GLASS
SPANDREL GLASS
FROSTED GLASS

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41 - 0				
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Level 02 15' - 0"	·			<u> </u>
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Level <u>03</u> 28' - 0"		
Level 02 15' - 0"		
Level 01		

6	EXTERIOR ELEVATION - WEST
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# **ATTACHMENT E**

DPRs for the Existing Graduate School of Education North Building and Barnum Center \*Resource Name or # <u>Graduate School of Education</u> \*NRHP Status Code <u>3CS</u> Page <u>1</u> of <u>14</u>

B1.	Historic Name:	Same	B2. Common Name: Cubberley
B3.	Original Use:	Academic offices, library, classroo	oms B4. Present Use: <u>Same</u>
B5.	Architectural Style:Beaux Arts, Northern European with Classical influences		
*B6.	Construction ]	History:	
	Date	Scope	Architect
	1938	Construction	Bakewell and Brown
	1961	Basement remodel	Clark, Stromquist, Potter and Ehrlich
	1973	Lounge remodel	SU Planning Office
	1980	Library circulation alteration	SU Planning Office
	1983	Accessibility improvements	SU Planning Office
	1998	Interior remodel	Page and Turnbull
	2009	Partial seismic retrofit	Perkins & Will
*B7. *B8.	Moved?	-	Original Location:
B9a.	Architect: ]	Bakewell and Brown	b. Builder:
*B10.		Theme Collegiate Architecture, Arts	s and Crafts Area San Francisco Bay Area
	Period of Sig	nificance 1938 Prop	perty Type Educational Building Applicable Criteria 3

The building has been professionally evaluated twice: first as an individual property (Jones and Angoloti, 2009), and secondly within a historic context and survey report (Angoloti and Marfatia, 2017). Both evaluations considered all four criteria for listing on the CRHR and concluded that the building is eligible under Criterion 3 as embodying the Beaux Arts Style in the context of collegiate architecture. The purpose of this update is not to repeat the full evaluation but to document the character-defining features of the building and to provide a discussion of a potential historic district. Continued on page 2.

B11. Additional Resource Attributes: None

#### \*B12. References:

1. DPR Record, School of Education. Prepared by Laura Jones and Elena Angoloti. Accepted by County of Santa Clara for permit approval, 2009.

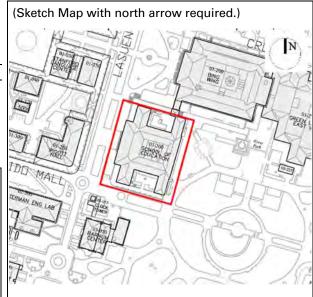
2. DPR Record, School of Education. Prepared by Elena Angoloti and Sapna Marfatia. Accepted by County of Clara for CEQA purposes, 2017.

3. *Historic Resources Survey for the Stanford University Campus*. Prepared by Elena Angoloti, Julie Cain, Laura Jones, Anthony Kirk and Sapna Marfatia. Accepted by County of Santa Clara for CEQA purposes, 2017.

B13. Remarks:

\*B14. Evaluator: Laura Jones \*Date of Evaluation: October 6, 2021; revised and resubmitted January 2022

(This space reserved for official comments.)



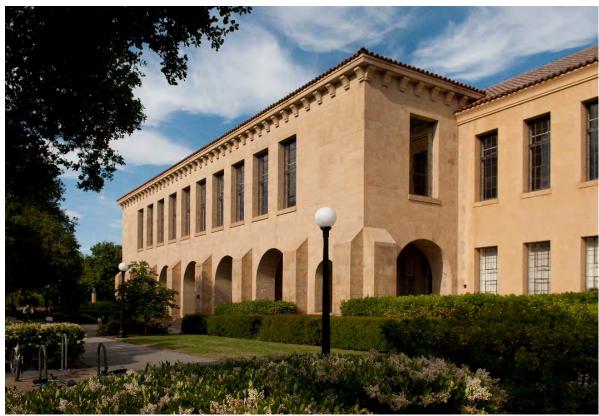
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**B10. Significance** (continued from Page 1) The 2017 evaluation identified the character-defining features of the School of Education Building as: red tile roof, pronounced cornice, symmetrical façade, arched doors and windows, uniform wall surfaces above the base in integral color stucco, differentiated base course, articulated wall plane with projecting buttresses in smooth stonework and Classical elements. Classical elements include the symmetrical main façade, arch elements, entry porch, pedimented portico, projecting cornice with regularly spaced brackets, and long metal windows. An important original design characteristic of this building is a strongly expressed visual hierarchy of primary, secondary, and tertiary elevations (illustrated below). A hierarchy of materials is common across many architectural styles, including Beaux Arts.

The blending of Classical elements and forms inspired by later European traditions is the core of the Beaux Arts style.<sup>1</sup> Beaux Arts buildings often display a strongly expressed hierarchy of primary and secondary elevations. This is seen at the Graduate School of Education where the character-defining features are present on the front façade and absent or weakly expressed on the back and sides. Compared to other examples of Beaux Arts collegiate buildings even the primary façade of Graduate School of Education is fairly plain, and a late example of the style. However, the Graduate School of Education does provide a strong representation of the Beaux Arts style sufficient for eligibility at the local level as an example of Beaux Arts collegiate architecture (finer, more elaborated, examples in the region are listed at the state and national level).



Note red tile roof, pronounced cornice, symmetry, arched openings, smooth surfaces, projecting buttresses and Classical elements on front (east) elevation. (Photo: Linda Cicero, Stanford News Service)

The building displays a clear hierarchy of massing and materials: the projecting front mass of the entry porch (supporting

<sup>&</sup>lt;sup>1</sup> Examples of Beaux Arts characteristics can be found at the *Pennsylvania Architectural Field Guide*.

<sup>(&</sup>lt;u>http://www.phmc.state.pa.us/portal/communities/architecture/styles/beaux-arts.html</u>) and the Chicago Architecture Center's *Architectural Dictionary* (<u>https://www.architecture.org/learn/resources/architecture-dictionary/entry/beaux-arts/</u>). DPR 523L (9/2013)

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the library above) is clearly marked as primary in importance by forward placement, the use of natural stone, large arched entry doors, ornamental brackets, and the carving of the names of inspirational educators on this façade. The wings that adjoin this front mass step down in height and are clad in stucco, signaling their secondary importance. The windows are metal in these forward wings. The central and rear mass of the building are marked as even less important architecturally by a shift to double hung wood windows and small, rectangular entry doors. Hierarchy is also expressed visually on the central and rear masses as the windows move from large to small from the ground floor to the third floor. Visual relief is limited to simple "water table" divisions between floors on these secondary elevations.



Transition from stone-clad primary mass to stucco wing at west elevation (Photo: Heritage Services)



Transition to central mass at courtyards (north on left, south on right), note change from metal awning windows to double hung wood windows (Photo: Heritage Services)

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Rear, east facing elevation displaying vertical hierarchy of window sizes (Photo: Heritage Services)

Generally, these secondary elevations are weaker expressions of the Beaux Arts style than the primary facade. One connective element, an arched stone arcade forming the connection to Green Library at the north side of the building (facing east and west) does display the character-defining features of the primary façade: constructed of smoothly finished stone, with an exaggerated cornice and buttress and large arched opening. It functions as an extension of the primary west façade. The primary west façade and this connective archway are the most significant elements of this building.



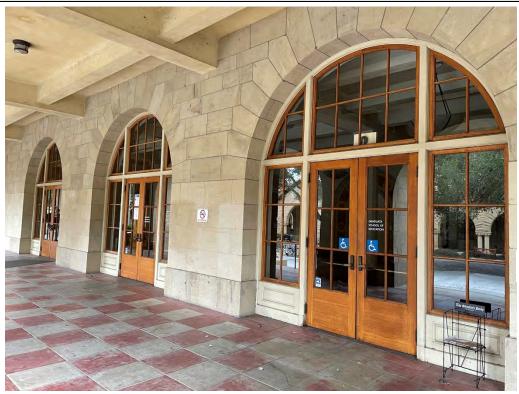
Arched connection to Green Library (Photo: Heritage Services)

The Graduate School of Education faces Lasuen Mall and the Main Quadrangle. The main entrance is centrally located on this side, accessed through a large arched doorway in the center of the entry porch. Secondary entrances lead to the main library on the north and Escondido Mall on the south. There is one entrance on the east side added after the period of significance to accommodate a wheelchair ramp. These entrances reflect the architectural hierarchy of this building.

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Three front entry doors at the primary west façade (Photo: Heritage Services)



Secondary entrances (from left to right: north courtyard, covered arcade, south courtyard) (Photos: Heritage Services)

The two covered walkways contain integrally colored concrete pavers in a red and white pattern identical to those found in the arcades of the Main Quadrangle and Green Library and this material is an important connective element. The paving of both courtyards dates much later than the original construction and period of significance and does not contribute to the historic character of the Graduate School of Education building.

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Colored pavers at the entry porch (left) and covered arcade (right) (Photos: Heritage Services)



Setting of the Graduate School of Education and alignment along Lasuen Mall

The Graduate School of Education building is located on Lasuen Mall, facing the Main Quadrangle at an approximate distance of 95 feet. The monumental massing of the Main Quad dominates Lasuen Mall, which is a major circulation element on the campus but not operated as a traditional street: it has a combination of pathways, sidewalks and bicycle lanes that accommodate pedestrians, bicycles, and both service and emergency vehicles. As a result, "setback" from the street is not

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a relevant measure. However, alignment with the massing of the Main Quadrangle is a distinctive planned feature. The Art Gallery, Traitel Building, and Graduate School of Education stand at equivalent distances from the Main Quad while the Green Library building is sited at a greater distance to form a focal point through the center of the Main Quadrangle's east-west axis. The spatial relationship between the Graduate School of Education building and the Main Quadrangle is an important feature of the building.

Architects Arthur Brown Jr. and John Bakewell were among the Bay Area's best-known architects in the early 20<sup>th</sup> Century. Educated at the Ecole des Beaux Arts in Paris, they produced elegant buildings that borrowed elements from Italian Renaissance, Spanish Colonial and Classical Revival European traditions. By the time that the Graduate School of Education was completed in 1938, the Beaux Arts style had faded in popularity, and this was one of the last buildings designed by the firm.<sup>2</sup>

The first evaluation followed a common practice of applying a period of significance that extended through the life of a building that remained under the same use and with minimal alterations.<sup>3</sup> In the absence of a developed historic context, buildings were often given no period of significance.<sup>4</sup> The second evaluation, undertaken within the historic context of Collegiate Architecture in the San Francisco Bay Region, associated the building with the theme of Arts and Crafts Architecture which was dominant in the period 1900-1924. The Graduate School of Education Building is a significant example of the Beaux Arts style built after the peak of its popularity in 1938. Because the building is compared to other collegiate examples of its style family, in the Survey Report evaluation the theme and period of significance (1900-1925) were presented as described in the historic context. The DPR Update offers a period of significance of 1938. This follows guidance on the listing of individually significant buildings in the National Register: "for architecturally significant properties, the period of significance is the date of construction and/or the dates of any significant alterations and additions."<sup>5</sup> There have been no significant exterior modifications to the Graduate School of Education since 1938.

In the context of San Francisco Bay Area collegiate architecture, the Graduate School of Education exemplifies the character-defining features of the Beaux Arts style (Northern European Influence). While the construction date is outside the period of the style's peak popularity (identified in the historic context survey as 1900-1925), the building nonetheless represents a locally significant example. The spare ornamentation on the building—limited to the decorative buttresses, brackets and names of educators carved on the primary façade—prevents this building from achieving state or national level significance within this context. (The examples below will demonstrate truly high style examples and their use of ornament.)

#### Beaux Arts Interiors and San Francisco Bay Region Collegiate Architecture

While the exterior of the School of Education is an elegant—if somewhat plain—example of the Beaux Arts style, the building's interiors are modest by comparison to other examples of Beaux Arts collegiate buildings in the region. Beaux Arts celebrates historicist elements of decorative craftsmanship, which includes character-defining features such as: richly decorated surfaces, molded ornament, Classical features, formal compositions with exuberant details, large and grandiose spaces. A small sample of San Francisco Bay Region collegiate interiors that embody the Beaux Arts style is illustrated below.

<sup>5</sup> National Register Bulletin 16A: How to Complete the National Register Forms. Page 42. **DPR 523L (9/2013)** 

<sup>&</sup>lt;sup>2</sup> Finding Aid to the Arthur Brown, Jr. Papers, 1859-1990. Biographical Information. Bancroft Library, UC Berkeley. Viewed at <a href="https://oac.cdlib.org/findaid/ark:/13030/kt5k4026zk/">https://oac.cdlib.org/findaid/ark:/13030/kt5k4026zk/</a>.

<sup>&</sup>lt;sup>3</sup> *The Standards*. <u>https://www.nps.gov/tps/standards/applying-rehabilitation/successful-rehab/acquired-significance.htm</u> <sup>4</sup> *Ibid*.

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Hearst Memorial Mining Building, UC Berkeley (1907)



Mission Santa Clara de Asís, Santa Clara University (1928)

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Hoover Tower, Stanford University (1940)



Green Library West (Bing Wing), Stanford University (1919)



Doe Library, UC Berkeley (1911)



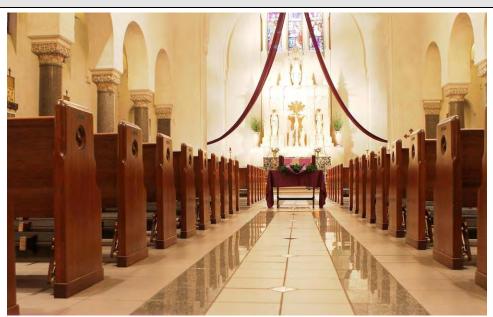
Giannini Hall, UC Berkeley (1930)

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St Mary's Chapel, St Mary's College (1928)

#### **Interior Features of Graduate School of Education**

The Graduate School of Education has a modest interior by comparison. The columns have no elaborate pediments or capitals, there is no molded or applied ornament, no ornamental metalwork or stonework, and no elaborate pendant light fixtures. What ornament is present was added after the period of significance. Typical interior finishes for the Graduate School of Education are illustrated below.

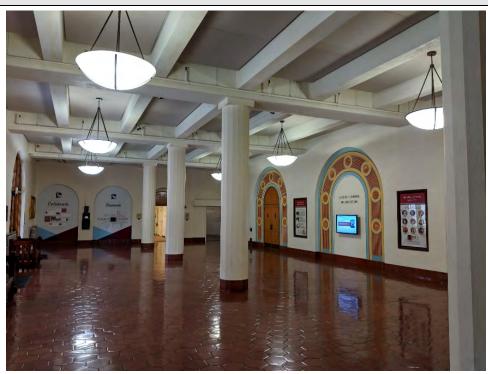


Auditorium: all finishes date to 1998 Remodel, or later (Photo: UACPD)

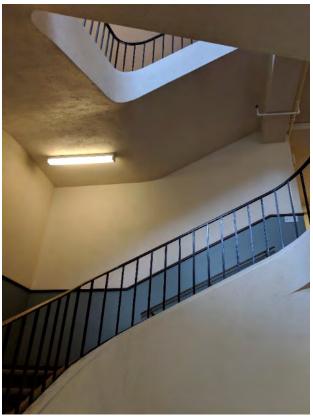
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Lobby: plain fluted concrete columns and arched wood doors are original; ornamental decal in door surrounds and light fixtures were added in 1998 Remodel. (Photo: UACPD)



Stairway: note simple wood chair rail and plain metal railing. (Photo: UACPD)

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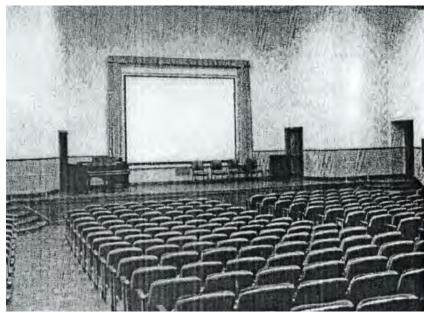
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Library Reading Room: finishes date to 2009 Seismic Retrofit. (Photo: UACPD)

The original interiors dating to the period of significance lacked distinction. Although rarely photographed, two examples are illustrated below.



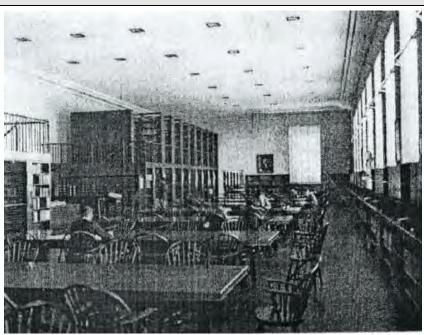
Auditorium, circa 1938.6

<sup>&</sup>lt;sup>6</sup> Ellwood P. Cubberley. *Saints of Education*. Pamphlet held at Stanford University Archives. No date. **DPR 523L (9/2013)** 

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Library Reading Room, circa 1938.7

The severely plain interiors of the Graduate School of Education do not embody the Beaux Arts style and are therefore not character-defining features that contribute to the significance of the building.

#### Historic Districts and the Stanford Campus

Five historic district evaluations have been prepared for areas of the Stanford campus in recent years: the Row Neighborhood district analysis (2015), the district analysis of the Stanford campus in the Historic Survey Report (2017), the Lou Henry Hoover - Herbert Hoover Memorial Potential Historic District analysis (2020), the Center for Advanced Study in the Behavioral Sciences Historic District (2021), and the Bonair Siding historic district evaluation (2021). <sup>8</sup> One potential historic district was identified and recorded: the Center for Advanced Study in the Behavioral Sciences Historic District. All five district evaluations were peer reviewed by independent professionals for the County of Santa Clara and the findings were accepted by the County for the purpose of project review and/or permitting.<sup>9</sup>

The Graduate School of Education is located within the area of the Stanford campus the Historic Survey Report found not to form a historic district, and is immediately adjacent to the Row Neighborhood study area also found not to qualify as a district. The adjacent Old Bookstore/Candy Store were also included in these study areas. To date no district has been

<sup>&</sup>lt;sup>7</sup> Ibid.

<sup>&</sup>lt;sup>8</sup> 1) *The Row Neighborhood Historic Context and Evaluation Report* (2015), peer reviewed by Carey & Co. and accepted by the County of Santa Clara in July 2015; 2) *Historic Resources Survey for the Stanford University Campus* (2017), peer reviewed by ESA and JRP and accepted by the County of Santa Clara in 2019 at a programmatic level for the GUP FEIR; 3) Historic resource evaluation (DPR) for the *Lou Henry Hoover-Herbert Hoover Memorial Potential Historic District* (2020), peer reviewed by LSA and accepted by the County of Santa Clara in 2021; 4) Historic resource evaluation (DPR) for the *Center for Advanced Study in the Behavioral Sciences Historic District* (2021), peer reviewed by LSA and accepted by the County of Santa Clara in 2021; 5) Historic resource evaluation (DPR) of the *Bonair Siding Potential Historic District* (2021), peer reviewed by LSA and accepted by the County of Santa Clara in 2021; 6) Historic resource evaluation (DPR) of the *Bonair Siding Potential Historic District* (2021), peer reviewed by LSA and accepted by the County of Santa Clara in 2021; 7) Historic resource evaluation (DPR) of the *Bonair Siding Potential Historic District* (2021), peer reviewed by LSA and accepted by the County of Santa Clara in 2021; 9) The 2017 Survey of the Stanford campus was associated with a permit application that was later withdrawn. County staff recommended use of the Survey at a programmatic level for the project EIR and as "a cohesive framework for ongoing historical evaluation at Stanford University" supplemented by individual project-specific evaluations. Staff Report, Historical Heritage Commission Special Meeting, April 10, 2019.

Primary# HRI # Trinomial

### **CONTINUATION SHEET**

Page 14 of 14Property Name: Graduate School of EducationRecorded by: L. JonesDate: January 12, 2022

identified that would include the Graduate School of Education building. Changes to the setting south and east of the Graduate School of Education after the period of significance make it especially unlikely that any future historic district would extend into that area.

In the original Stanford-Olmsted campus plan, the area between Jane Stanford Way and Escondido Road was intended to provide for academic facilities expansion after the completion of the Main Quadrangle. Four residential neighborhoods were included in the plan, with unusual diagonal streets as planned by Olmsted, extending at angles from the corners of quads. Only one of these neighborhoods was built, to the southeast of the Main Quad, ending at the intersection of Escondido Road and Lasuen Street with the Old Bookstore building.<sup>10</sup>

Construction of the new University Bookstore and Post Office kicked off a gradual redevelopment of the residential neighborhood in 1960. In 1966, a new Undergraduate Library (Meyer Library) was completed that straddled the alignment of Escondido Road and required demolition of four houses in the residential neighborhood. The Stanford Law School constructed to the south of Escondido Road in 1975 removed additional houses. At present, there are only three houses of this neighborhood remaining inside the Campus Drive loop road. The smalltown character created by the tree lined residential neighborhood, with its post office, bookstore, inn, and restaurants, accommodating auto traffic and street parking was completely transformed into a car-free campus area of large, modern concrete buildings.

The Meyer Library was found to have serious seismic deficiencies and was demolished in 2015. A park was developed in its footprint known as Meyer Green. The evolution of the setting to the south and east of the Graduate School of Education and Old Bookstore has been in process for decades and there are no remaining features of landscape or setting that could support a finding of a historic district in this vicinity.

#### Integrity

Both prior evaluations found that the Graduate School of Education has integrity. No major exterior alterations have occurred to the building since 1938, and the building remains in continuous use by the Graduate School of Education for its traditional academic activities (teaching and research).

#### **Preparer Qualifications**

The Graduate School of Education evaluations were prepared by professional staff at Stanford University: Laura Jones, Ph.D., Executive Director of Heritage Services; Elena Angoloti, Architect; Sapna Marfatia, Director of Architecture; and Lauren Conway, MSc, Heritage Conservation. The team meets the Professional Qualification Standards for History, Architecture, Historic Architecture and Architectural History. Laura Jones is the primary author of the current update.

<sup>&</sup>lt;sup>10</sup> The Row Neighborhood Historic Context and Evaluation Report (2015) provided a detailed description of the design, development, and redevelopment of the residential neighborhood flanking Escondido Road to the south. **DPR 523L (9/2013)** 

## **DPR 523 Form - Barnum Center**

DEPARTMENT OF PARKS AND RECREATION	HRI #	
PRIMARY RECORD	Trinomial	
	NRHP Status Code	6Z
Other Listings		
Review Code	Reviewer	Date
Page 1 of 52 Resource name(s) or number: (assigned by recorder) Barnum Center (Old Bookstore and Old Store)		

#### P1. Other Identifier: Stanford University building number 03-050

*P2. Location: ONot for Publication SUnrestricted	*a. County Santa Clara	
*b. USGS 7.5' Quad Palo Alto, CA	Date 1997	
*c. Address 505 Lasuen Mall	City Palo Alto	<b>Zip</b> 94301
*• Other Leasting Date: Assessor's Dared Number 424 40 040		

\*e. Other Locational Data: <u>Assessor's Parcel Number 124-19-040</u>

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.) Stanford University's Barnum Center for School and Community Partnerships (Barnum Center) is located at the southeast corner of Lasuen Mall and Escondido Mall, immediately southeast of the Stanford Clocktower (P5a). The Barnum Center is a three-building mass comprised of the one-story Old Bookstore (originally completed in 1906 and reconstructed in 1907 following the 1906 Earthquake), the one-story Old Store (completed in 1910) that adjoins the east façade of the Old Bookstore, and a two-story building with a one-story connector (completed in 2007) that is connected to the Old Store's east façade. The three buildings have functioned as one university facility since the development of the Barnum Center in 2007, while the Old Bookstore and Old Store have been physically and functionally connected since 1929. Accordingly, this record provides individual evaluation of the Old Bookstore and Old Store, but does not include individual evaluation of the non-age-eligible two-story building with one-story connector. The nearby, freestanding Stanford Clocktower, situated to the immediate northeast of the Barnum Center at the intersection of Lasuen Mall and Escondido Mall, was built in 1983 and is not considered a part of the Barnum Center and was therefore not surveyed or evaluated for this study.

#### Old Bookstore

The main one-story building (the Old Bookstore) fronts Lasuen Mall and has three exposed façades, which face west (front), north, and south. The Old Bookstore is clad with a heavy dash textured stucco at the exterior and is capped by a hipped roof covered with terracotta tiles. The front and side roof hips are interrupted at center by Mission Revival style shaped parapets; these parapets are coplanar with the façade walls and are also clad with stucco. Windows within the building are rectangular and are set into punched openings. Each window contains two or three vertical mullions with triangular subsidiary muntins at the top. Most windows retain their original, vertically striated glass lites; however, windows flanking the front entrance were reintroduced in 2007 and based on original plans for the building and have modern glass with historic divided lite configuration. Page & Turnbull identified three additional windows (two on the north façade and one clerestory window on the primary façade) that have replacement glass from 2007, but retain historic muntin configuration.

(See Continuation Sheet, page 2)

\*P3b. Resource Attributes: HP15. Educational Building

\*P4. Resources Present: Building Structure Object Site District Element of District Other

#### P5a. Photo



Aerial view of the Barnum Center, Microsoft-Bing Maps. 2020. \*P6. Date Constructed/Age and Sources: Old Bookstore: Original construction 1906; rebuilt 1907. Old Store: 1910. Barnum Center's Twostory building with one-story connector, 2007. Historic newspapers, plans on file at Stanford University Mistoric \*P7. Owner and Address: Board of Trustees of Leland Stanford University \*P8. Recorded by: Josh Bevan, AICP Page & Turnbull, Inc. 170 Maiden Lane, 5<sup>th</sup> Floor San Francisco, CA 94108 \*P9. Date Recorded: September 17, 2020 \*P10. Survey Type: Intensive level for individual eligibility for California Register of Historical Resources \*P11. Report Citation: None

\*Attachments: DNone DLocation Map DSketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record DLinear Feature Record DMilling Station Record DRock Art Record Artifact Record DPhotograph Record DOther (list)

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 Page \_2\_ of \_52\_ Resource Name or # (Assigned by recorder)
 Barnum Center (Old Bookstore and Old Store)

 \*Recorded by Page & Turnbull, Inc.
 \*Date
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 Image: Continuation

#### \*P3a. Description (Continued):

#### Primary (West) Façade

The primary façade of the Old Bookstore is oriented to the west, facing Lasuen Mall (Figure 1). The façade is symmetrical and three bays wide, with a central (entrance) bay flanked by similar north and south clerestory bays. The main entrance is at center, containing a partially glazed wood double door set beneath a transom; this entrance was installed in 1936 and replaced an original single-entry door with similar glazing and a similar transom above. The entrance is flanked by wood-sash with divided lites in the upper sash and a single-lite lower sash, and is surmounted by a group of fixed, wood clerestory windows along the eave line; the middle two are roughly square and the outer two are rectangular (Figure 2). A modern concrete landing with two steps was poured in place in front of the central bay. It features curved metal railings (Figure 3). The outer north and south bays each contain a group of three clerestory windows, which contain paired sash; the end sash are hinged. Eaves with terracotta roof tiles overhang the outer bays and wrap around the corners of the building (Figure 4). The façade terminates above the entrance with a shaped parapet with molded stucco detailing. Letters reading "Barnum Center For School and Community Partnerships" are mounted to the façade above the main entrance and below the clerestory windows of the central bay (Figure 5).



Figure 1: Primary façade of the Old Bookstore viewed from Lasuen Mall, facing east.



Figure 2: Central entrance bay, looking east.



□ Update

Figure 3: Entrance landing, looking south.

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 Image: Update



Figure 4: Three-window group at north bay, looking southeast.



Figure 5: Shaped parapet, looking south.

#### North Façade

The north façade of the building is set back from Escondido Mall and overlooks the corner site where the Stanford Clocktower is located (Figure 6 and Figure 7). This façade features a symmetrical design, with four pairs of window openings at center, flanked by one high rectangular window at each side (Figure 8 and Figure 9). The façade terminates with a similar shaped parapet with molded stucco detailing as seen at the primary façade.



Figure 6: North façade, looking southeast.



Figure 7: North façade, looking southwest.



Figure 8: Grouping of paired windows at center north façade, looking south.



Figure 9: One of two outer rectangular windows at north façade, looking south.

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### East Façade

The east façade is heavily obscured by the adjoined Old Store and enclosing walls at the north and south ends of the former alley between each building. Original clerestory windows at the east façade remain in place (Figure 10 to Figure 12).

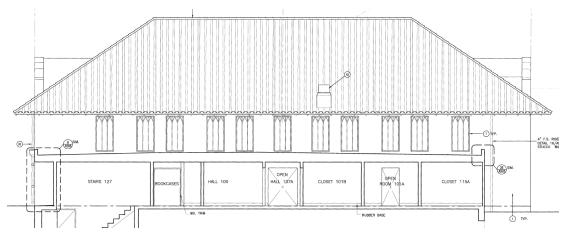


Figure 10: East elevation drawing, illustrating current design of east façade, with clerestory windows. Source: Stanford University, 2007.





Figure 12: Looking southwest toward former south façade of the main building, with smaller one-story Old Store annex building at left.

Figure 11: Enclosure at junction of main building and the adjacent smaller Old Store annex building that obscures the former east façade.

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\***Date** September 17, 2020 🗵 Continuation 🗆 Update

### South Façade

The south façade is partially obscured by vegetation, and at the time of the site visit, was also partially obscured by construction fencing and equipment. This façade features several small rectangular openings organized around a centered double-door, and an additional single-entry wood door near the southeast corner. Both doors feature similar glazing configurations to the historic windows above them. The façade terminates with a shaped parapet identical to that at the north façade (**Figure 13 to Figure 15**). The double-door opening at the center of the façade was created in 1919, causing two rectangular windows above it to be removed. The single-entry door at the east side of the façade is an original opening dating to the building's post-1906 earthquake reconstruction in 1907. A similar single-entry door at the opposite west side of the façade was appears to have been replaced by the existing rectangular window opening in 1919.<sup>1</sup>

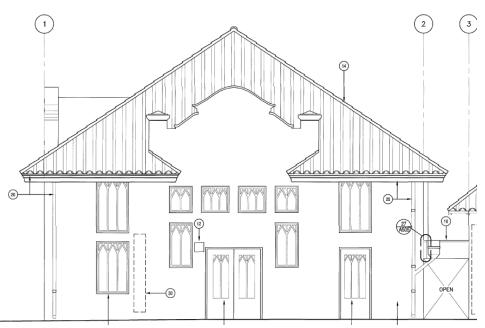


Figure 13: South elevation of the Old Bookstore. Source: Stanford University, 2007.



Figure 14: South façade of main building, looking north.



Figure 15: Looking southwest toward south façade of the main Old Bookstore building, with southwest corner of smaller one-story Old Store annex building at left.

<sup>&</sup>lt;sup>1</sup> "Stanford Bookstore Makes Alterations," *Stanford Daily*, January 6, 1920; and, Dean Holman, "Bookstore Has Colorful History," *Stanford Daily*, October 28, 1949. DPR 523L

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### Old Store

A related, smaller one-story building (Old Store) was originally constructed in 1910 as a freestanding building immediately east of the Bookstore to house a candy store and convenience store.<sup>2</sup> It was subsequently occupied by the campus YMCA and was eventually connected to the Old Bookstore in 1929, at which time both the Old Bookstore and the Old Store were fully occupied by the Stanford Bookstore. This building stands roughly five feet to the rear (east) of the Old Bookstore, obscuring most of the rear (east) façade of that building. The Old Store Annex has exposed north and south façades, features the same heavy dash stucco exterior, similar hip roof form and roof tiles, and stepped parapets of similar Mission Revival influence as the Old Bookstore. Windows are wood-sash, excepting the windows located at the rear section of the east façade, which are modern aluminum sash installed in 2007.

# Primary (North) Façade and Rear (South) Façade

The primary façade and rear facade are symmetrical in design and terminate with identical shaped parapets. The primary façade has a wide concrete landing with three steps and modern metal railings, similar in design to the entrance landing at the Old Bookstore. The main entrance is centered in the primary façade and has a transomed single-entry, glazed wood door flanked by transomed tripartite wood-sash storefront windows (Figure 16). The rear façade has an identical entrance at center and is flanked by transomed paired-sash display windows (Figure 17).



Figure 16: Primary (north) façade, looking south.



Figure 17: Rear façade, looking northwest.

#### East Façade

The east façade is divided into a front section (north of the one-story connector) and a rear section (south of the connector). The front section has no windows, while two non-original windows and a non-original single-entry wood door are set in the rear section (Figure 18 and Figure 19). A modern wood pergola is set beneath the overhanging roof eave of the Old Bookstore.



Figure 18: Front section of east façade, looking south.



Figure 19: Rear section of east façade with nonoriginal openings, looking west.

<sup>&</sup>lt;sup>2</sup> "Work Begun on the Walls of the Stores Being Erected South of Bookstore," *Stanford Daily*, November 5, 1909; and, "Campus Candy Store Opens Thursday," *Stanford Daily*, March 15, 1910. No original plans are available for this building. Documentation naming the Old Store's original designer or builder was not found through archival research of available Stanford University records or historic newspapers.

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#### Two-Story Building with One-Story Connector

A one-story connector is attached to the east wall of the Old Store and connects to the two-story building; both the connector and the two-story building were built in 2007. The two-story building has a rectangular plan and a slightly smaller footprint than the Old Bookstore. It is capped by a hipped roof with terracotta tiles and is clad in a smoother stucco than the other two buildings, with visible control joints. The building's north, east, and south façades are fully exposed, while its west façade is partially obscured by the one-story connector. Windows throughout are single or paired bronze-anodized aluminum sash, with one fixed sash and one awning sash. The one-story connector's north and south exposed walls feature modern aluminum-frame storefronts with double doors at the north side and a single door at the south side. A wood pergola is placed over the pathway leading to the connector from the north (Figure 20). The connector is attached to the west façade of the two-story building, which features paired-sash aluminum windows at both the first and second stories (Figure 21).





Figure 20: Looking south toward entrance to connector.

Figure 21: West facade of two-story building, looking southeast.

The north façade of the two-story building overlooks Escondido Mall and features a recessed stairwell in its western half, which serves as a focal point for the addition. The stair wall at the first story is solid and stucco clad, while the section of the stairs leading to the second story is open with a steel frame and metal railing. The overhanging roof above this section of the façade is supported by a square corner column. The east half of the façade features aluminum-sash windows at each story. The window at the first story has three sections, and the window at the second story has two (Figure 22). The east façade features several windows at each story, with those at the second story aligned vertically with those at the first story (Figure 23). The rear façade overlooks a garden area to the rear of the building. A single window is set in the first story near the southeast corner, and three windows are set in the second story, with even spacing between each. At the rear southwest corner of the building, the hipped roof is interrupted by a squared projection that houses an elevator overrun (Figure 24).



Figure 22: North façade of two-story building with recessed stairwell.



Figure 23: East façade of two-story building, looking southwest.

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Figure 24: South façade of two-story building, looking northeast.

# Site Features

The Barnum Center is set back from Escondido Mall and is located immediately south of the Stanford Clocktower that stands at the southeast corner of Lasuen Mall and Escondido Mall (Figure 25). A wide concrete pathway running east-west separates the Old Bookstore and Old Store from the Clocktower and runs perpendicular to (and beneath) a pergola that extends southward from the Clocktower. The concrete pathway is flanked by hedges (Figure 26). The pathway leads to a circular seating area with mulched ground and wood benches that wrap around its perimeter. Further eastward, the concrete pathway leads to an open concrete-paved patio with benches, umbrellas, and a mulched planting bed, which is located immediately north of the Old Store (Figure 27 and Figure 28).



Figure 25: View toward the Clock Tower along Escondido Mall, looking west.





Figure 27: Looking southeast through the Stanford Clock Tower pergola toward the Old Bookstore (right) and Old Store (left).

Figure 26: Concrete pathway between Old Bookstore and the Clock Tower, looking east.



Figure 28: Concrete patio area, looking southwest.

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The hardscaping continues southward until reaching the lawn that surrounds the two-story building at the north and east. The lawn area has a concrete retaining wall that runs along the south side of Escondido Mall (Figure 29). A garden area with perimeter hedges at the east and south is located directly behind the two-story building. The ground in this area is covered with mulch and several wood benches are found within the garden (Figure 30). The area to the immediate south of the Barnum Center was fenced off due to active construction during the site visit (Figure 31).





Figure 29: Lawn area to north and east of the twostory building, looking west.

Figure 30: Garden area behind the two-story building, looking southwest.



Figure 31: Fenced off active construction area to the immediate south of the Barnum Center, looking northwest.

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<b>BUILDING, STRUCTURE, AND OBJECT RE</b>	CORD
Page <u>10</u> of <u>52</u>	*NRHP Status Code 6Z
*Resource Name or # Barnum Center (Old Bookstore and Old Store)	
B1. Historic name: Stanford Bookstore (1906 - 1909); Stanford Bookst	ore and Wilson's Candy Store/Green's Cigar Shop (1913-
1919) Stanford Bookstore and Y.M.C.A (1924-1929); Stanford Booksto	
Career Planning & Placement Center (1967-2001); 2001-2006 (Vacant	due to fire damage); 2007-Present (Barnum Center for
School and Community Partnerships)	
B2. Common name: Barnum Center	
B3. Original Use: Old Bookstore (Bookstore); Old Store (Candy Store	with Grocery in rear); two-story building with one-story
connector (Barnum Center)	
B4. Present use: Educational building	_
*B5. Architectural Style: Mission Revival with 2007 modern addition	_
*B6. Construction History: (Construction date, alterations, and date of alter	ations)
(See Continuation Sheet, Page 11)	
*B7. Moved? INO DYes DUnknown Date: N/A	Original Location: <u>N/A</u>
*B8. Related Features: None	
B9a. Architect: Old Bookstore, Arthur Bridgman Clark; Old Store (Unkr	nown)
b. Builder: Ephraim Balsbaugh (contractor in charge of 1906 reconstru	
*B10. Significance: Theme N/A Area Santa Clara County	· · · · ·
Period of Significance <u>N/A</u> Property Type <u>N/A</u> App	
	<u></u>

#### **Historic Context:**

The following historic context for the region of Stanford University prior to European colonization is excerpted from Stanford University's 2017 Historic Context and Survey Report.

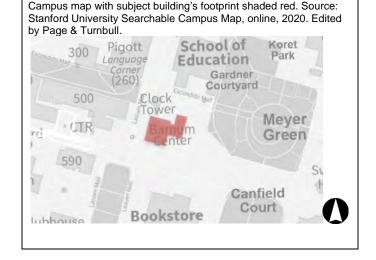
The region in which Stanford is located was fully occupied by Native Americans prior to European colonization. Archaeological data suggests at least 7,000 years of continuous occupation by ancestors of tribal members affiliated with the Muwekma Tribe of Ohlone-Costanoan Indians. Villages were located along freshwater streams, including Deer, Los Trancos, Matadero and San Francisquito creeks. [...] Native American settlement was severely affected by European colonization. However, the Muwekma Ohlone people continued to live on their ancestral lands for nearly a century after European contact. Early American era censuses include a number of "Indian" families living in or near the small farming towns of Mayfield, Portola Valley and Searsville, and archaeological remains associated with this later period may be present on Stanford lands. Ancestral Muwekma Ohlone people constructed a variety of structures: houses built by bending flexible willow wood frames into domes, which were covered in tule thatch; larger, semi-subterranean communal gathering houses with conical roofs covered in bark or thatch; shade structures for working or relaxing outdoors, and elevated graineries. There are no buildings or structures known to be associated with the Muwekma Ohlone Tribe still standing on Stanford's lands in unincorporated Santa Clara County, but the Tribe's marks on bedrock, including petroglyphs and bedrock mortars, have survived on the campus in areas outside the Academic

Growth Boundary.<sup>3</sup> (See continuation sheet, page 12)

#### **B11. Additional Resource Attributes:**

- \*B12. References: See Continuation Sheet, page 49
- B13. Remarks:
- \*B14. Evaluator: Josh Bevan, AICP, Page & Turnbull, Inc.

\*Date of Evaluation: January 24, 2022



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Resource Name or # Barnum Center (Old Bookstore and Old Store) \*Recorded by Josh Bevan, Page & Turnbull, Inc.

\*Date September 17, 2020 I Continuation Update

# \*B6. Construction History (Continued):

Summary of Alterations

The following summary of alterations to the subject property is based upon review of available plans on file at Stanford University, review of Sanborn maps, historic aerial photographs, archival research of historic newspapers, and periodicals published by Stanford University. A detailed Site Development History with references is provided in the B10. Significance Section (See, Site Development History on Continuation Sheet 21.)

Old Bookstore	Old Store
<ul> <li>Old Bookstore</li> <li>1906: Old Bookstore originally constructed. Damaged by 1906 earthquake</li> <li>1907: Old Bookstore rebuilt</li> <li>1919: Double-doors inserted into center of south façade, resulting in replacement of two windows above the door and infilling of original single-entry door at west side of façade</li> <li>1927-1929: Connected to Old Store within this range of time</li> <li>1936: Original main entrance widened with wood double-door and modern display windows built at primary façade; original copper entrance hood removed by this year.</li> <li>1960: Interior remodel for Western Civilization Library</li> <li>1967: Interior remodel for Career Planning &amp; Placement Center</li> <li>1977: Interior remodeling for Career Planning &amp; Placement Center</li> <li>2001: Fire causes extensive interior damage</li> <li>2007: Barnum Center Project: <ul> <li>1936 display windows removed</li> <li>one-story connector attached to east façade</li> <li>rehabilitation of wood windows and doors at exterior (excepting two aluminum-sash windows at rear of east façade</li> <li>new concrete steps and railings at main entrance</li> <li>stucco patched and repaired, painted</li> </ul> </li> </ul>	<ul> <li>1910: Old Store constructed to immediate east of the Old Bookstore</li> <li>1919-1929: Interior remodeling for successive Y.M.C.A and bookstore related uses</li> <li>1927-1929: Connected to Old Bookstore within this range of time and interior modifications to accommodate Bookstore use</li> <li>1930: Shoe Repair Shop addition added to southeast corner</li> <li>1960: Interior remodel for Western Civilization Library, redesign of front and rear façade storefronts illustrated on plans, but not confirmed, as 1967 plans indicate original storefronts at Old Store remained in place.</li> <li>1967: Interior remodeling for Career Planning &amp; Placement Center</li> <li>1977: Interior remodeling for Career Planning &amp; Placement Center</li> <li>1984-1985: Interior remodeling for Career Planning &amp; Placement Center</li> <li>2001: Fire causes extensive interior damage</li> <li>2007: Barnum Center Project:         <ul> <li>previous 1930 and 1984 additions removed</li> <li>one-story connector attached to east façade</li> <li>rehabilitation of wood windows and doors at front and rear exterior</li> <li>Non-original aluminum windows installed at the rear of the east façade (south of the connector)</li> <li>stucco patched and repaired, painted</li> </ul> </li> </ul>

The following plans and construction references were researched at Stanford University Office of the Campus Architect and provided to Page & Turnbull in September 2020.

Date Filed	Permit/Plan #	Owner	Contractor	Work
1/1/1913 [filed in 1913, but references 1906 original design]	A-0933	Stanford University	Arthur B. Clark, Architect	Design and construction of Old Bookstore.
8/1/1936	A-0932	Stanford University	John V. Wesley, Architect	New Display Windows
ca. 1930	A-0931	Stanford University	Unknown	Shoe Repair Shop Addition
1/1/1967	0498	Stanford University	Physical Plant Department	Renovation – Old Bookstore (Western Civilization Library) for Career Planning

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\***Recorded by** Josh Bevan, Page & Turnbull, Inc.

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 Inc.
 \*Date September 17, 2020 ⊠ Continuation
 □ Update

Date Filed	Permit/Plan #	Owner	Contractor	Work
				& Placement Center (CPPC)
1/1/1977	1056	Stanford University	Office of Planning, Construction & Utilization	Renovations to CPPC
8/4/1983	1778	Stanford University	Esherick Homsey Dodge & Davis, CHNMB, Rutherford & Chekene	Stanford Clock Bell Tower construction.
7/1/1984	2406	Stanford University	Bowers, Richert & Grattiot	CPPC Expansion
1/31/1985	2406A	Stanford University	Bowers, Richert & Grattiot	CPPC Expansion
5/3/2007	Barnum Center for School and Community Partnerships	Stanford University	Page & Turnbull	Barnum Center establishment. Rehabilitation of Old Bookstore and Old Store buildings, construction of one- story connector and two-story building.

# Alterations to the Subject Site and Surrounding Campus

1906: The Old Bookstore was built during a period of early planning and construction at Stanford University, which saw the formation of a residential community to the southeast of Lasuen Street (now Lasuen Mall) and Alvarado Row (present day Escondido Mall).

1910: The Old Store was completed four years after the Old Bookstore, in 1910. During the period of rebuilding following the earthquake, this area retained its character that placed the Old Bookstore and the Old Store at a point of convergence between the academic Quad and residential areas for faculty and students.

1960s: The setting that had been formed by converging academic and residential areas remained intact until the early 1960s, when master planning brought great changes to the vicinity. Several residential buildings situated to the east and southeast were demolished, and Modern style campus buildings and landscaping were introduced, forming a new Quad to the south of the subject site. This planning effort resulted in a transformation of pre-1960s street layouts, landscaping, and overall setting.

1983: The Stanford Clocktower was constructed to the immediate north of the Old Bookstore at the southeast corner of Lasuen Mall and Escondido Mall. This introduced an additional Modern structure within the master planned area, and further reduced the visual connection of the Old Bookstore and Old Store from the Quad to the northwest.

2007: The immediate subject site was further altered by the construction of a one-story connector and two-story building resulting in the establishment of the Barnum Center which remains in place today.

# \*B10. Significance (Continued):

Stanford University Historic Context

Prior to the arrival of the Spanish in the late eighteenth century, over 10,000 Native Americans of the Ohlone culture made their homes around San Francisco Bay and along the Pacific coast from Monterey to the Golden Gate.<sup>4</sup> Under colonial rule, the Spanish established the mission land system; following the overthrow of the Spanish government in California by Mexico in 1823 and secularization of the missions in 1830, unoccupied land was divided into *rancho* land grants and distributed to local citizens.

<sup>&</sup>lt;sup>4</sup> Robert Cartier, "An Overview of Ohlone Culture," Santa Cruz Public Libraries, accessed September 22, 2020.

https://history.santacruzpl.org/omeka/files/original/45b78e7b5309ee5dede50d1182ac03bf.pdf.

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Following the end of the Mexican-American War in 1848, Alta California was claimed as an American territory. As demand for property among new settlers intensified, the earlier land grants were broken up and sold.<sup>5</sup>

With the construction of the Southern Pacific Railroad down the San Francisco Peninsula, wealthy San Franciscans purchased land for large country estates. Among them was Leland Stanford. Stanford first came to California in 1852 to sell merchandise to miners involved in the Gold Rush. Three years later, he brought west his wife, Jane Lathrop Stanford, whom he had met in his home state of New York. In California, Stanford was accomplished both in business and in politics: he was elected to a two-year term as governor of California in 1861, and he was a principal investor in the Central Pacific Railroad Company. As president of that corporation, he drove the final spike at Promontory, Utah, to join the Central Pacific and Union Pacific as North America's first transcontinental railroad.6

Stanford was already a wealthy and influential figure in California by 1876, when he began acquiring land in northwestern Santa Clara County. His first purchase consisted of 650 acres from the former Rancho San Francisquito land grant, and he continued to add property until he had amassed over 8,000 acres of contiguous land. The Stanfords used their property to operate an experimental horse farm, which they named the Palo Alto Stock Farm.<sup>7</sup> A survey map entitled Map of Lands Situated in Santa Clara and San Mateo Counties, Property of Leland Stanford, dating from 1883-1885, divided the property into "First Quality Hill Land" and "Second Quality Hill Land." The survey was overseen by Ariel Lathrop, Jane Stanford's brother, who worked for the Stanfords at the time. The higher-quality land corresponds to the area north of current-day Junipero Serra Boulevard, where the Stanfords placed the original elements of their stock farm. The map indicates a racing track, stables, and water tank were in place by the mid-1880s. The lower-guality land, located immediately to the south, contained no developments apart from the path of a road that eventually became the driveway on the Alta Vista property (now Alta Road).8



Figure 32: Leland Stanford, Jane Stanford, and Leland Stanford, Jr., ca. early 1880s. Source: Stanford University.

The Stanfords' intentions for their land changed drastically after 1884, when their only child, Leland Stanford Jr., died while the family traveled in Italy (Figure 32). To memorialize their son, the Stanfords decided to devote much of their wealth to the establishment of a co-educational university on a portion of their horse farm. Leland Stanford Junior University (referred to hereafter as Stanford University) opened in 1891 and initially enrolled 555 students.9

The Stanfords commissioned some of the nation's most revered designers-architect Henry Hobson Richardson and landscape architect Frederick Law Olmsted-to supervise the creation of a master plan for the university's buildings and grounds. Richardson, who was to design the campus buildings, died soon after receiving the commission, and his protégé Charles Coolidge took over.<sup>10</sup> Charles E. Hodges, a former draftsman for Coolidge, later became the university's resident architect.<sup>11</sup> The relationship between Leland Stanford and his designers was contentious at best, especially with Olmsted, who adhered to naturalistic principles of planning

which conflicted with Leland's vision of a flat site with a formal, monumental building arrangement. From the outset Leland forcefully inserted himself and his wishes into the design and planning process, and elements of the campus design, including the decision to link the buildings with arcades in order to form orderly guadrangles, can be attributed directly to him.<sup>12</sup> Throughout the long process of "give-and-take among Olmsted, Coolidge, and the Stanfords, the university's design became increasingly monumental," due in large part to the Stanfords' "memorial motive" for the university.<sup>13</sup>

<sup>&</sup>lt;sup>5</sup> Archives & Architecture, LLC. County of Santa Clara Historic Context Statement, (Prepared for the County of Santa Clara Department of Planning and Development, 2004), 19-40.

<sup>&</sup>lt;sup>6</sup> Eugene T. Sawyer, *History of Santa Clara County, California*, (Los Angeles: Historic Record Co., 1922), accessed September 22, 2020, https://archive.org/details/historyofsantacl00sawy.

<sup>&</sup>lt;sup>7</sup> "History of Stanford," Stanford University, accessed September 22, 2020. https://www.stanford.edu/about/history/.

<sup>&</sup>lt;sup>8</sup> John Coombe, Map of Lands Situated in Santa Clara and San Mateo Counties, Property of Leland Stanford, Surveyed at the Request of Ariel Lathrop, 1883-1885.

<sup>&</sup>lt;sup>9</sup> "History of Stanford," http://www.stanford.edu/about/history/.

<sup>&</sup>lt;sup>10</sup> Richard Joncas, et al., Stanford University: The Campus Guide, 2-26.

<sup>&</sup>lt;sup>11</sup> "Charles E. Hodges, Architect," Palo Alto Stanford Heritage, accessed September 22, 2020, http://www.pastheritage.org/Hodges.html.

<sup>&</sup>lt;sup>12</sup> Paul V. Turner, Campus: An American Planning Tradition, (Cambridge: The MIT Press, 1987), 169.

<sup>&</sup>lt;sup>13</sup> Richard Joncas, David J. Neuman, and Paul V. Turner, Stanford University: The Campus Guide, (New York: Princeton Architectural Press, 1999), 3.

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Figure 33: Perspective drawing of the design of Stanford University from the office of Shepley, Rutan, and Coolidge and landscape architect Frederick Law Olmsted, ca. 1888. A red X marks the approximate future location of the Barnum Center, which was not illustrated on the drawing, but was eventually built southeast of the Quad in 1906. Source: Stanford Archives. Edited by Page & Turnbull.

After Leland Stanford's death in 1893, Jane Stanford assumed a principal role in the development of the university. Facing significant legal and financial problems, Jane Stanford adopted an ad-hoc approach to expanding the campus, approving new buildings wherever the need arose while also overseeing the construction of buildings integral to her and her husband's original vision such as the Memorial Church.<sup>14</sup> She managed to keep part of the master plan for the Quad intact and the University running.<sup>15</sup> She also advocated for innovative architecture on the campus, and she oversaw the completion of some of the university's most important early buildings.<sup>16</sup> Under Jane's stewardship, the Stanford Museum, a structure architecturally significant for being "one of the first public buildings in the world constructed of reinforced concrete," was added to the campus.<sup>17</sup> Mrs. Stanford died in 1905, the same year design and construction of the Old Bookstore began. By this time, the Quad and Memorial Church, as well as a string of residences along Alvarado Row (present day Escondido Mall), were located within the immediate vicinity of the subject site.

The following year, the major earthquake of April 18, 1906 devastated much of the campus that the Stanfords had planned over the previous 20 years. Efforts to survey the damage and plan reconstruction began immediately and lasted into the next decade The Stanford Commission of Engineers, composed of Stanford professors, Charles D. Marx, civil engineering, Charles B. Wing, structural engineering, William F. Durand, mechanical engineering, Arthur B. Clark, graphic art, and campus architect, Charles E. Hodges, was appointed by the Board of Trustees to survey the damage on campus.<sup>18</sup> Priority for repair and reconstruction was given to those buildings deemed critical to the university's academic programming and that would enable reopening of the university by late August 1906. The University's first resident architect and Leland Stanford's appointee, Charles E. Hodges, resigned from his position at Stanford University in June of 1906 prior to the commencement of repairs.<sup>19</sup> Hodges, who supervised construction of several buildings, including the Memorial Arch and the Gymnasium that were destroyed by the earthquake, is believed to have resigned due the criticism he received after the earthquake.

Major buildings including the Men's Gymnasium, Library, Museum, and the monumental Memorial Arch were left in ruins, and plans for reconstruction of Memorial Church were deferred, as attention was placed upon the Quad, dormitories, and the Chemistry Building. Repairs of these buildings would take almost three years, while the Men's Gymnasium and Memorial Arch were not reconstructed. The reconstruction effort reached a capstone 17 years later when reconstruction of Memorial Church was

<sup>&</sup>lt;sup>14</sup> "History of Stanford," http://www.stanford.edu/about/history/.

<sup>&</sup>lt;sup>15</sup> Richard Joncas, et al., *Stanford University: The Campus Guide*, 5.

<sup>&</sup>lt;sup>16</sup> "History of Stanford," http://www.stanford.edu/about/history/.

<sup>&</sup>lt;sup>17</sup> Richard Joncas, et al., Stanford University: The Campus Guide, 5.

<sup>&</sup>lt;sup>18</sup> "Themes | Campus Reconstruction," Stanford University and the 1906 Earthquake, online. Accessed September 29, 2020.

https://quake06.stanford.edu/centennial/themes/reconstruction.html.

<sup>&</sup>lt;sup>19</sup> "Charles E. Hodges, Architect," Palo Alto Stanford Heritage, accessed September 22, 2020, http://www.pastheritage.org/Hodges.html; and, "Mr. Hodges Resigns," *Stockton Daily Evening Record*, June 11, 1906, 1. "Stanford University Architect Quits," *The Sun (New York),* June 10, 1906, 2.

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completed.<sup>20</sup> Many of the campus's primary components were rebuilt, however, and the university added professional schools of law, medicine, business, and engineering (Figure 34).<sup>21</sup>

Following World War II, members of Stanford University's leadership recognized an opportunity to develop institutional strengths in science, engineering, and technology. Student enrollment was steadily on the rise, and respected scientists were lured to Stanford University to conduct cutting-edge research. Major developments in the postwar period facilitated innovation, attracted a larger student body, and fostered interaction among disciplines. The campus expanded further into the Stanfords' original stock farm, much of which was still in use at that time.<sup>22</sup> This period of scientific progress was accompanied by a new architectural paradigm: campus Modernism. During the 1940s, the university established its first central planning office. The director, Eldridge Spencer, embodied an architectural approach that broke from the design principles of the previous half century. New buildings were not to imitate the campus's historic context of arcades and red tile roofs. Spencer courted controversy after designing a starkly Modernist dormitory in the late 1940s, but Modernism soon became the preferred style for the university's new science-oriented developments.<sup>23</sup> In 1960, major changes were brought to the portion of the campus located southeast of the Quad, resulting in the demolition of several residences, introduction of new street axes, and construction of several modern buildings that continued the university's shift toward Modernism. This included construction of a new bookstore in 1960 to the south of the subject site.

Over the second half of the twentieth century, Stanford University's reputation continued to grow. The university has encouraged strong relationships between its academic programs and the private sector, particularly high technology and internet industries. As a result, numerous science and engineering companies have been drawn to the South Bay and Santa Clara Valley, transforming the region into the Silicon Valley tech incubator.<sup>24</sup>

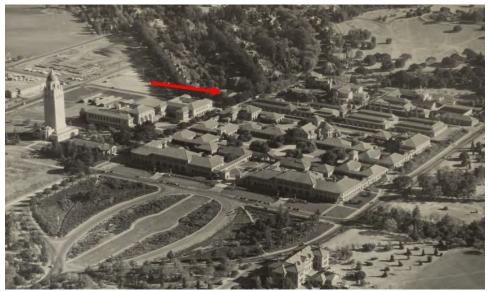


Figure 34: Aerial view campus following reconstruction after the 1906 earthquake, ca. 1940s. A red arrow points to the subject site. Source: Stanford University. Libraries. Department of Special Collections and University Archives, photograph 15946. Edited by Page & Turnbull.

# Mission Revival Architectural Style

The Old Bookstore and Old Store are designed in the Mission Revival style. The Mission Revival style developed in California during the late nineteenth century and is rooted in local interpretations of traditional Spanish, Native American, and Mexican design and construction techniques, which were indigenous to the area and recognized for their application to the construction of Spanish missions during the eighteenth and nineteenth centuries. In describing the origins of the Mission Revival style, historian Karen J. Weitze's comprehensive study of the Mission Revival style, *California's Mission Revival*, notes:

<sup>&</sup>lt;sup>20</sup> Ibid.

<sup>&</sup>lt;sup>21</sup> Richard Joncas, et al., Stanford University: The Campus Guide, 5.

<sup>&</sup>lt;sup>22</sup> Ibid., 5.

<sup>&</sup>lt;sup>23</sup> Ibid., 82-104.

<sup>&</sup>lt;sup>24</sup> "Santa Clara County: California's Historic Silicon Valley, a National Register of Historic Places Travel Itinerary," National Park Service, accessed September 22, 2020, http://www.nps.gov/nr/travel/santaclara/.

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Unsettled terrain and remoteness form Mexico and Spain, as well as a poor supply of building materials, led to experimental workmanship and simplified design. [...] All California missions had in common solid, massive walls with buttressing; a large patio with a fountain or garden; broad, unadorned wall surfaces; wide projecting eaves; and low-pitched tile roofs. Other features were arcaded corridors, terraced bell-towers with lanterns, and pierced campanarios (bell wells). Although often said to characterize mission architecture, these design elements were by no means used uniformly. Indeed, it was their diversity that captured the romantic mind of the late nineteenth century.25

Mission San Carlos Borromeo (established in 1770) in Carmel, California and Mission San Francisco de Asís San Francisco (established 1776) were among 21 missions established in California (Figure 35 and Figure 36). Each of the missions featured a distinct application of common features that would be interpreted and applied in future Mission Revival style buildings. After California's missions were secularized in 1834, they deteriorated quickly, many falling to ruin and obscurity. Attitudes towards the once prominent missions began to shift in the late 1860s, primarily due to attention given to missions in publicity from emergent railroad companies and periodicals that focused on the state's Spanish heritage.<sup>26</sup> The architecture of the missions and growing historicism in the 1880s stirred additional interest that was bolstered by increasing publicity as the twentieth century neared, which "ushered in a renaissance of mission imagery that immediately preceded the Mission Revival."<sup>27</sup> As described in the City of Los Angeles' Citywide Historic Context Statement. "by the late 1880s attention shifted from vague mission imagery to a more precise study of the buildings themselves. Efforts were undertaken to preserve and, in some cases, restore the ruins. The Historical Society of Southern California was founded in 1883, with preservation of the mission remnants as one of its stated purposes."28 From magazine's such as Overland Monthly to the writings of Helen Hunt Jackson, emergent scholarship on California, and promotion aimed at luring tourists and prospective buyers during the 1887-1888 Southern California land rush, the architecture of missions was thrust into the public consciousness.<sup>29</sup>



Figure 35: Mission San Carlos Borromeo, Carmel, CA. Photograph by F.W. Martin, 1905. Source: California State Library, (martin-0568).



Figure 36: Mission San Francisco de Asís, San Francisco, 1906. Photograph by Albert Dressler. Source: California State Library, 2013-0384.

Historian Virginia Savage McAlester's research found that the earliest examples of the Mission Revival style surfaced in the 1880s and were characterized by low-pitched or flat roofs (often composed of thatch, clay tile, or tar), thick masonry walls of adobe brick or stucco, multiple doorways, deeply recessed openings with multi-light windows, and arcades and sculpted or shaped parapets resembling the typical espadana or belfry.<sup>30</sup> Decorative detailing was generally rare, with patterned tiles and carved stonework used in limited applications.<sup>31</sup> Bell towers and guatrefoil windows were also common. McAlester also described the style as subdivided into symmetrical and asymmetrical types. The Old Bookstore and Old Store exemplify the symmetrical type given their rectangular massing and symmetrical fenestration layouts at prominent facades.

<sup>&</sup>lt;sup>25</sup> Karen J. Weitze, *California's Mission Revival*, (Los Angeles: Hennessey & Ingalls, Inc., 1984), 3.

<sup>&</sup>lt;sup>26</sup> Weitze, 4.

<sup>&</sup>lt;sup>27</sup> Ibid., 4.

<sup>&</sup>lt;sup>28</sup> Los Angeles Citywide Historic Context Statement, Context: Architecture and Engineering, 1850-1980 Theme: Mediterranean & Indigenous Revival Architecture, 1893-1948, (City of Los Angeles Department of City Planning Office of Historic Resources, November 2018), 4. <sup>29</sup> Weitze 4-13

<sup>&</sup>lt;sup>30</sup> Virginia Savage McAlester, A Field Guide to American Houses, (New York: Albert I. Knopf, 2012), 409.

<sup>&</sup>lt;sup>31</sup> Ibid., 409.

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The first major design that drew upon mission architectural precedent was commissioned by Leland Stanford, founder of Leland Stanford Junior University (Stanford University), who chose landscape architect Frederick Law Olmsted and the Boston-based architectural firm Henry Hobbs Richardson (later succeeded by Shepley Rutan & Coolidge after Richardson's death) in 1886 to design a university campus. Stanford envisioned a campus with architecture that was an "adaption of the adobe architecture of California with some higher form of architecture," which led to use of the Richardsonian Romanesque style (an adaption of Romanesque architectural popularized by Richardson) with elements inspired by the earlier architecture of missions.<sup>32</sup> Weitze notes, "It was the plan and general character of the buildings at Stanford that borrowed most profoundly from the missions. One-story buildings, arcaded, with overhanging eaves, were arranged around a garden quadrangle. A multi-story church (Memorial Church) imposed itself as the focal point.[...] Richardsonian Romanesque detail merely replaced that of the missions," with sandstone resembling Romanesque ashlar rather than smooth adobe walls, and both mission and Romanesque buildings employing massive walls.<sup>33</sup>

During the late 1880 and early 1890s, movement toward a Mission Revival style continued on the heels of Stanford's plan, but overall, few Mission Revival designs were executed. Continued publicity in architectural journals and the application of mission-inspired architecture to buildings at expositions signaled the arrival of the Mission Revival style. Examples of buildings at major expositions included the State of California's building at the 1893 World's Columbian Exposition in Chicago and the State of California's building at the 1894 held in San Francisco's Golden Gate Park, both of which were designed by prominent San Francisco-based architect, A. Page Brown. (Figure 37).<sup>34</sup> Other noted California-based architects, including Samuel Newsom, Bernard J.S. Cahill, and Henry A. Schulze, began to study the style and published renderings in architectural journals such as *California Architect & Building News* during the mid-1890s.



Figure 37: A. Page Brown's, California State Building for World's Columbian Exposition, 1893. Source: California State Library, 2010-5139.

As the Mission Revival style was established in the late 1890s, it became associated with the Arts & Crafts movement and was espoused by Arts & Crafts writers including Charles and Louisa Keeler, who opined, "There is a softness and harmony about the lines which shows the work of hands instead of machines...," which as Wietze writes, "epitomized a bygone era, an era prior to the industrial revolution.<sup>35</sup> Changes in construction techniques around the turn of the twentieth century were also a key factor in the style's growing usage for residences, particularly small concrete bungalows. New techniques including the application of cement-based stucco directly to lath and wood or wire mesh, as well as poured-in-place concrete, worked well with the character of the Mission Revival style's modestly adorned and solid exterior walls.<sup>36</sup>

Soon, architects began adapting the style to hotels, libraries, educational buildings – among them many of California's grammar and high schools -- and commercial buildings (**Figure 38**).<sup>37</sup> Weitze notes, "By 1910 architects were citing climate, quality of light, extensive open spaces, educational requirements, and structural mechanics as sound reasons for the erection of Mission Revival schools."<sup>38</sup> Additionally, many school boards were adopting the style and "citing aesthetic, health, and safety rationales to support their choice."<sup>39</sup> Prominent architect William H. Weeks's designs for schools were seen in advertisements for building materials, and other prolific designs such as Stone & Smith of Oakland executed Mission Revival designs for schools and Carnegie libraries throughout the state. In particular, "the style became more visible and popular across the west as the Santa Fe and Southern Pacific railways embraced the style with their new stations and resort hotels," as described by the National Park Service (**Figure 39**).<sup>40</sup> Although the earliest examples of buildings to apply Mission-inspired elements were institutional or grand in scale, the Mission Revival style was applied often to residences, particularly small-scale concrete bungalows. Although never common

<sup>40</sup> National Park Service, "Mission Revival Style1890s – 1920s," National Park Service, online. https://www.nps.gov/articles/mission-revivalarchitecture.htm. Accessed September 28, 2020; and, Karen J. Weitze, *California's Mission Revival*, (Los Angeles: Hennessey & Ingalls, Inc., 1984), 85.

<sup>&</sup>lt;sup>32</sup> Weitze 21.

<sup>&</sup>lt;sup>33</sup> Ibid., 23.

<sup>&</sup>lt;sup>34</sup> Ibid., 40, 45, 55.

<sup>&</sup>lt;sup>35</sup> Ibid. 114.

<sup>&</sup>lt;sup>36</sup> Los Angeles Citywide Historic Context Statement, 6-7.

<sup>&</sup>lt;sup>37</sup> Weitze, 99.

<sup>&</sup>lt;sup>38</sup> Ibid., 100.

<sup>&</sup>lt;sup>39</sup> Ibid., 97

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outside of the southwestern states, the style began spreading eastward by 1900, and scattered examples can be found in suburbs throughout the country.41





Figure 38: Carnegie Library, Riverside, CA (demolished 1964). Source: Bucknell University, 100 Years of Carnegie, online.

Figure 39: Southern Pacific Railroad Station, Santa Barbara, CA, ca. 1905. Source: California State Library, 2013-0070.

The Mission Revival style began to fade from favor after World War I and was joined by the more elaborate Mediterranean and Spanish Colonial Revival styles in the 1920s, which gained popularity from influential expositions including the Panama-Pacific International Exposition, held in San Francisco, and the Panama-California Exposition held in San Diego, between 1915 and 1917. Designers began combining elements of the evolving Mission Revival style, such as smooth wall surfaces, red tile roofs, and elaborately paneled wood doors, with Spanish and Moorish architectural features, including towers, balconies and iron grillwork. California and the Mediterranean were easily conflated because of the similarity in climate and topography, as well as the presence of the pastoral and influences left over from the Spanish occupation. The style was applied to residential, commercial, institutional/educational, military, and religious typologies in the Bay Area with examples appearing at Fort Winfield Scott and Fort Mason in San Francisco. The Mission Revival style and its Mediterranean and Spanish Colonial Revival successors were also carried into institutional designs into the 1940s that continued upon the theme of romanticized architecture and infused modern collegiate buildings with elements of each style to varying degrees. A comprehensive study of Bay Area collegiate architecture prepared by Stanford University found:

In the 1920s Spanish Colonial Revival came to dominate collegiate architecture in southern California, in a wide range of substyles from more austere Mission and Pueblo Revival forms to elaborate examples with Baroque ornamentation. In the San Francisco Bay Area some colleges, UC Berkeley among them, remained tied to Beaux-Arts styles and campus construction in this period was inhibited by the Great Depression and World War 2. Nonetheless, a number of fine buildings were constructed in this era on campuses in the San Francisco Bay Area. Some collegiate buildings of the period showed new patterns of ornament influenced by Art Deco though these details generally embellished buildings that remained Spanish Colonial or Beaux-Arts in style.42

In the Bay Area, major examples of the application of style to collegiate buildings include the Music Building at Mills College (1928) and Lagunita Court at Stanford University (1934), which feature generally low and wide massing, gabled roofs, red roof tiles, and stucco exteriors that recall Mission Revival elements. Although neither building features tell-tale shaped parapets or bell towers, limited application of other features confirms a more modest adaption of earlier Mission Revival motifs, such as the guatrefoil gable window of the Music Building and the arcaded balcony at Lagunita Court (Figure 40 and Figure 41).

<sup>&</sup>lt;sup>41</sup> McAlester, 409.

<sup>&</sup>lt;sup>42</sup> E. Angoloti, J. Cain, L. Jones, A .Kirk, and S .Marfatia, *Historic Context and Survey Report*, prepared for Stanford University, 2017, 11.105.

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Figure 40: Music Building, Mills College. Source: Mills College Performing Arts, online.



Figure 41: Lagunita Court, Stanford University. Source: Stanford Daily, online, 2016.

# Stanford Bookstore

Prior to the development of the Old Bookstore at the subject site in 1905, student services including a telegraph office, bookstore, stationary shop, and candy store were housed in temporary wood-frame buildings that were replaced as the campus' permanent, core buildings were constructed. The first bookstore was established in 1892 and was housed in the Architect's Office near the present-day location of the Stanford Art Gallery. As of 1893, the building was relocated to the site that is currently occupied by Memorial Church (Figure 42).<sup>43</sup> As the University grew, the need for expansion of student services and larger facilities was recognized by students and staff.

In 1897, President Jordan appointed a five-member committee headed by professor R.L. Green to determine a solution, which resulted in the establishment of an independent cooperative bookstore organization known as the Stanford Co-operative Organization.<sup>44</sup> Operated by a group of elected members of the faculty with student representatives, the organization was managed early on by W.F. Hyde, who established relationships with book wholesalers and manufacturers. The board of directors consisted of professors R.L. Green, president, A.B. Show, secretary, and J.O. Griffin, L.M. Hoskins, and G.M. Richardson. Other members included professors Gilbert, Lathrop, Kellog, Ross, Wing, Branner, Fairclough, and Whittier.<sup>45</sup>

By 1899, the bookstore was housed in another temporary building situated at the present-day location of the Press Building, near the northeast corner of Lomita Drive and Santa Teresa Street to the southwest of the subject site. The building containing the bookstore at that location also housed a telegraph office. A small building containing a candy store, known as the Cardinal Cat, stood nearby (Figure 43 and Figure 44).<sup>46</sup> The bookstore operated with a rebate system whereby each student paid one dollar as a membership fee and received a rebate on purchases, which was drawn from the store's profits.<sup>47</sup> Profits not paid out in rebates were placed in a surplus fund.

The Stanford Bookstore was housed in the subject building between its original opening in 1906, which occurred in the weeks immediately prior to the 1906 earthquake, and 1960. The subject building served as the Stanford Bookstore's first permanent location. Research found that between 1897 and 1960, four individuals were confirmed have managed the store. Original manager, Hyde, was succeeded by Guy C. Miller in 1913. Miller remained manager until 1920, when Raymond M. Stager took over. After Stager's death in 1941, Helena T. Bochou served as manager, and is the last identified manager of the Stanford Bookstore during the years the business was located within the Old Bookstore and Old Store.

<sup>46</sup> The Cardinal Cat may have also been known as Rose's, which was a candy store operated by two Stanford students until 1896, when future Wilson's Candy Store proprietor, Ernest Sticky Wilson, acquired partial and eventually full ownership of the business. Wilson's later relocated his business to the Old Store building in 1910. See site development history and biographies of past building occupants below.

<sup>&</sup>lt;sup>43</sup> Ray H. Lindman, "Rebates Paid Tomorrow," Stanford Illustrated Review, Vol. 32 (July, 1931), 454.

<sup>44</sup> Ibid., 454.

<sup>&</sup>lt;sup>45</sup> "University Bookstore," *Stanford Daily*, September 16, 1898.

<sup>&</sup>lt;sup>47</sup> J. Pearce Mitchell, Stanford University, 1916-1941, (Stanford, California: Stanford University Press, 1958), 22-23.

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Since 1960, the bookstore has been located within a Modern style building designed by noted modernist architect and Stanford alum, John Warnecke (Figure 45). The Stanford Bookstore continued to operate as an independent nonprofit company that leased its facilities from Stanford University until 1999, when Follett Higher Education Group, an Illinois-based company and manager of over 500 academic bookstores nationwide, took over management, leasing the operation from the University.<sup>48</sup>



Figure 42: Stanford Architect's Office, which was converted to a Post Office and housed the first bookstore in 1893, when it stood near the present site of Memorial Church. Source: Stanford **University Special Collections.** 



Figure 43: The Cardinal Cat Candy Store/Stationery (foreground) and second bookstore (middle), 1900. Source: Stanford University Special Collections.



Figure 44: The second temporary bookstore prior to relocation to the current site of the Press Building, ca. 1890s. Source: Stanford University Special Collections.



Figure 45: Current, and fourth, bookstore building at Stanford University. Source: Google Street View.

<sup>&</sup>lt;sup>48</sup> "For 102-year old Bookstore, a Management Makeover," Stanford Magazine, July/August 1999. Accessed online September 28, 2020. https://stanfordmag.org/contents/for-102-year-old-bookstore-a-management-makeover.

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### Site Development History

The Barnum Center's site was originally developed in late 1905 as a location for the Stanford Bookstore's third bookstore building, which was to be the university's first permanent bookstore building. The proposed location just south of the southeast corner of Lasuen Street (now known as Lasuen Mall) and Alvarado Row (now Escondido Mall) was a location where faculty and student residences converged to the southeast of the academic Quad, making it a prime location for a building providing student services (Figure 46 and Figure 47).



Figure 46: Aerial view of subject site (indicated with white dashed line), ca. 1890s, prior to the development of the Old Bookstore. Source: Stanford University Libraries, Box 21, Folder: Faculty housing -- aerial views-1543. Edited by Page & Turnbull.

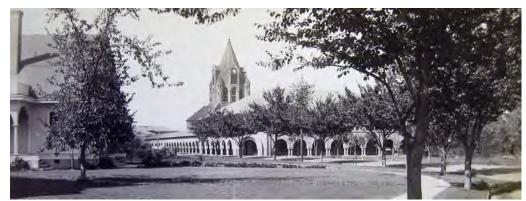


Figure 47: Looking northwest along Alvarado Row (present day Escondido Mall) toward the Quad and Memorial Church, ca. 1900, prior to the 1906 earthquake. The house pictured at left is situated just east of the present day location of the two-story building at the Barnum Center. Source: Stanford Archives GP Box 38, 1740.

In July 1905, reports of a plan to build a stone bookstore building were published in several regional newspapers.<sup>49</sup> University Architect Charles E. Hodges was noted as the preparer of plans as reported in the San Francisco Call, and the building was to be designed in the "Mission Style," commonly referred to today as the Mission Revival style. The San Francisco Chronicle noted that the bookstore was to be situated at the foot of Lasuen Street, better known then as "the Row," and would be built of the same buffcolored sandstone used in all the University's buildings.<sup>50</sup> Although Hodges was the university's resident architect until his resignation in 1906, and likely reviewed plans for the building prepared in 1905, Stanford professor and architect, Arthur B. Clark, was the primary designer of the building and Clark's name and certification are stamped on onto the building's original plans, which illustrate a stone exterior with similar random ashlar to the campus' Quad (Figure 48). Clark was also responsible for "all the

<sup>&</sup>lt;sup>49</sup> "Campus Store Plans to Build," San Francisco Call, July 15, 1905, 6.

<sup>&</sup>lt;sup>50</sup> "New University Bookstore Building at Stanford, July 16, 1905, 20.

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interior plans," according to an article in the *Stanford Daily*.<sup>51</sup> Similarly, a 1906 article published in the *Stanford Daily* credits Clark as the building's architect.<sup>52</sup>

By October 1905, "the work of putting on a concrete finish" was begun, indicating the design of the exterior had shifted and the stone walls would be parged. A reason for this change could not be determined through review of available archival sources.<sup>53</sup> The exterior finish was to be applied in two coats including a base coat, and a second coat that would have a gray tint.<sup>54</sup> The *Stanford Daily* noted that "[t]he exterior apprearance will differ somewhat from the other concrete-finish buildings on the campus in that the facing will resemble the rougher style seen in mission buildings.<sup>755</sup> Beyond the building's exterior cladding, Clark's design called for shaped parapets at the front and side façades, a hip roof covered with terracotta tiles, as well as a copper hood above the main entrance. A brick landing with low stone walls footed the entrance, and the primary façade was to feature a symmetrical design that is generally reflected by the present design. The south façade was to feature two single-entry doors as well as central and outer window groupings. The north façade was to feature a similar design to the south façade, but without any doors, matching its existing fenestration (**Figure 49**). The rear (east) façade was designed with 11 clerestory windows (**Figure 50**). The work of installing roof tiles on the building's hip roof was also begun in October 1905.

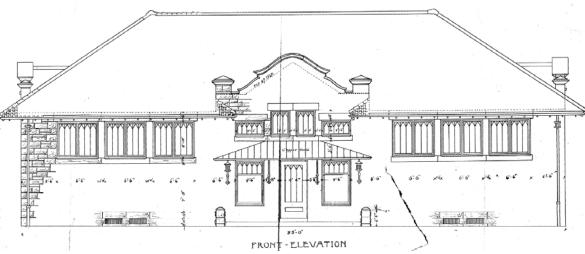


Figure 48: Front elevation of the Old Bookstore, as originally designed in 1905, which illustrates stone walls and a copper hood over the main entrance. Source: Stanford University Architect Office.



Figure 49: South elevation, 1905 design by Arthur B. Clark. Source: Stanford University Architect Office.

Figure 50: North elevation, 1905 design by Arthur B. Clark. Source: Stanford University Architect Office.

<sup>&</sup>lt;sup>51</sup> "Contract Awarded," *Stanford Daily*, October 24, 1905.

<sup>&</sup>lt;sup>52</sup> "Bookstore is Opened," Stanford Daily, April 10, 1906.

<sup>&</sup>lt;sup>53</sup> "New Bookstore Progressing," The Stanford Daily, October 10, 1905.

<sup>&</sup>lt;sup>54</sup> "Contract Awarded," Stanford Daily, October 24, 1905.

<sup>55</sup> Ibid.

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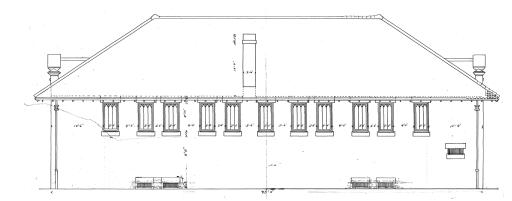


Figure 51: East elevation, 1905 design by Arthur B. Clark. Source: Stanford University Architect Office.

Contracting delays in the late fall of 1905 pushed the building's anticipated completion date to February 1906. By late December 1905, construction reached three-fourths completion, including interior flooring, ceiling work, and plastering, which left only the furnishing of the interior outstanding.<sup>56</sup> The interior was designed with a reading room, fire place with mantel, built-in safe, ten stacks holding the main stock of books, additional bookcases, and vertical showcases around the permiter for the display of "photographs, banners, pennants, althletic goods, musical instruments, and other stock."<sup>57</sup> The furnishings were to be made of a high-grade South American mahogany called genisaro.<sup>58</sup> Construction the building was completed between February and early March of 1906, in time for the first meeting of the board of directors, held on March 8, 1906, roughly five weeks prior to the 1906 earthquake.<sup>59</sup> The bookstore officially opened for business on April 9, 1906, just nine days prior to the earthquake. The Stanford Daily reported that the bookstore anticipated the need for future expansion, "as the south end is not occupied, and the building was constructed so that a gallery could be put at the back when increased business may demand it."60 The article did not clarify whether this meant a gallery housed in a future addition or adjacent building, or if interior space was planned for a gallery along the east or back wall of the building.

On April 18, 1906, a major earthquake struck the San Francisco Bay Area and caused extensive damage to many communities in the region, not withstanding many of the buildings at the Stanford University campus, among them the Old Bookstore.<sup>61</sup> According to a newspaper report, the outside walls of the newly completed bookstore were heavily damaged, but the structure of the roof remained intact.<sup>62</sup> A historic photograph of the Old Bookstore taken in the days following the earthquake was included in the 1908 Stanford Quad yearbook and shows the degree of damage incurred (Figure 52). The photograph captures the south facade and roughly two-thirds of the primary facade, showing the south facade originally featured two single-entry doors at opposite sides of the building, as indicated on original plans. The photograph also shows a faint outline of the original copper hood at the primary facade. Based on the 1906 photograph, it also appears that the front parapet above the main entrance was destroyed, leaving only the small gabled section of the roof behind it.

The San Francisco Call reported that repairs had commenced by early June 1906. The steel-framed roof of the building was not severely damaged by the earthquake and was raised on timbers while the damaged walls were replaced. Ephraim Balsbaugh of Palo Alto, a noted stone mason and cement contractor, led the reconstruction effort. 63 By mid-June 1906, the plans were nearly completed for the reconstruction, and the decision to use cement mortar instead of lime was hoped to "make the building practically earthquake proof.<sup>64</sup> The repairs appear to have been completed by 1907, based upon a historic photograph from that year that shows a small portion of the reconstructed building to the east of the Old Engineering Building that remains in place opposite Lasuen Mall (Figure 53).65

<sup>&</sup>lt;sup>56</sup> "Will Not Be Ready," Stanford Daily, December 22, 1905.

 <sup>&</sup>lt;sup>57</sup> "Contract is Awarded," *Stanford Daily*, October 24, 1905.
 <sup>58</sup> "Contract is Awarded," *Stanford Daily*, October 24, 1905.

<sup>&</sup>lt;sup>59</sup> Dean Holman, "Bookstore Has Colorful History," Stanford Daily, October 28, 1949.

<sup>&</sup>lt;sup>60</sup> "Bookstore is Opened," Stanford Daily, April 10, 1906.

<sup>61 &</sup>quot;Will Move in February," The Stanford Daily, January 24, 1906.

 <sup>&</sup>lt;sup>62</sup> "Stanford Bookstore Being Rebuilt with Great Speed," San Francisco Call, June 20, 1906.
 <sup>63</sup> "Stanford Bookstore Being Rebuilt with Great Speed," San Francisco Call, June 20, 1906, 4; and, Eugene Taylor Sawyer, History of Santa Clara, California: With Biographical Sketches of the Leading Men and Women of the County who Have Been Identified with Its Growth and Development from the Early Days to the Present, Volume 2, (Los Angeles: Historic Record Company, 1922), 1002. <sup>64</sup> "Clearing Away the Debris," San Francisco Call, June 14, 1906, 4.

<sup>65 &</sup>quot;Stanford Bookstore Being Rebuilt with Great Speed," San Francisco Call, June 20, 1906, 4.

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Figure 52: View facing northeast of the Old Bookstore's original primary facade (left) and south facade (right), following the 1906 earthquake. Source: Stanford Quad, 1908.



Figure 53: The southwest corner of the Old Bookstore (indicated with a red arrow) is captured in this 1907 Photograph. Source: Stanford University Special Collections. Photograph labeled #20-8. Edited by Page & Turnbull.

The reconstructed bookstore's footprint was recorded on the Sanborn Map Co.'s 1908 fire insurance map of Palo Alto, which included portions of the Stanford University campus (Figure 54). In constrast to prior newspaper reporting that described the reconstructed walls as being brick with cement mortar, the 1908 Sanborn map labeled the building as having reinforced concrete walls. The 1908 map illustrated the Old Bookstore as a one-story rectangluar block with a hip roof, aligning with the building's original design. Additionally, the map illustrated a feature at the first story of the primary façade. Although such an illustration would typically represent a porch, it appears that this was potentially the copper entrance hood that was drawn on the original plans of the building in 1905 and appeared in the 1906 post-earthquake photograph. Research did not find additional documentation to confirm whether the hood was retained or rebuilt after the 1906 earthquake. Available plans from 1936 and later do not show the hood.

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Thus, if reinstalled after the 1906 earthquake, the hood was removed by 1936. Between 1906 and 1908, the Old Bookstore stood rougly 35 feet west of a two-story residence, as the Old Store building to its east was not yet contructed. Of note, a Southern Pacific Railroad (SPRR) spur ran roughly parallel to the rear of the site by 1908 and began operation in October 1909, when trolley cars popularly referred to as the "Tunerville" line began service from a stop behind the bookstore, connecting students and faculty to downtown Palo Alto.66

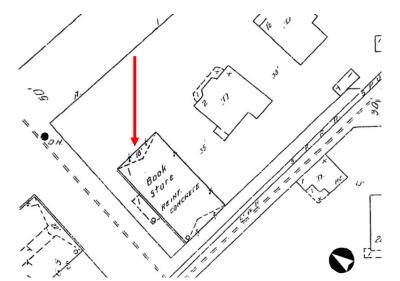


Figure 54: Sanborn Map Co.'s 1908 fire insurance map of Palo Alto, sheet 22. Source: Proquest Digital Sanborn Maps. Edited by Page & Turnbull.

In the Fall of 1909, construction of a freestanding one-story building of smaller size but similar Mission Revival styling was begun to the immediate east of the Old Bookstore.<sup>67</sup> As described by the Stanford Daily in November 1909:

The new building...is to be occupied when completed as two stores. The larger of which will face Alvarado Row and the smaller towards the trolley-way. The size of the store on Alvarado is 55 by 25, and will be directly connected in the rear with a small kitchen that will have a side door that opens on a walk that will lead to the west side of the building. A large cement porch 25 by 12 will extend from the front of this storeroom to the sidewalk. Two display windows will be placed on each side of the main entrance which will be located in the middle of the Alvarado Street side.

The second store will be much smaller in size being only 25 by 20. It will have also two show windows that will be placed on each side of a central entrance. The structure is being erected by the University and will be of the same general type as the Bookstore. No lease has yet been made to any of the several Palo Alto firms who are struggling to rent the new property and establish a campus branch in the new store building.<sup>68</sup>

In March 1910, the new building (Old Store) was completed and began operation as Wilson's Candy Store (also known as simply as Sticky's, representing the nickname of Ernest Wilson, the store's owner), an offshoot of an established Palo Alto candy store that carried pastries, candies, ice cream, and light lunches.<sup>69</sup> Wilson's was joined by Greene's, a cigar and general accommodation store, which occupied the smaller rear store unit. Page & Turnbull notes that no original architectural plans for the Old Store were found in University archives, and detailed description of the building's original exterior was not found in any available archival sources, beyond the generic details provided in the 1909 newspaper description above. Thus, an architect, designer, or builder of the store building has not been identified.

<sup>&</sup>lt;sup>66</sup> "Cars Will Run on Schedule Monday," *Stanford Daily*, October 8, 1909.

<sup>&</sup>lt;sup>67</sup> "Work Begun on the Walls of the Stores Being Erected South of Bookstore," *Stanford Daily*, November 5, 1909. <sup>68</sup> "Work Begun on the Walls of the Stores Being Erected South of Bookstore," *Stanford Daily*, November 5, 1909.

<sup>&</sup>lt;sup>69</sup> "Campus Candy Store Opens Thursday," *Stanford Daily*, March 15, 1910.

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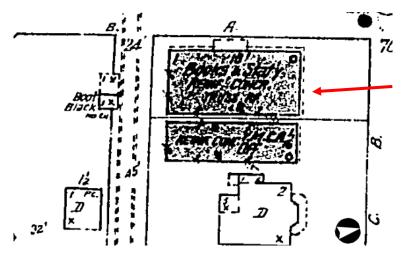
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Over the next decade, the Old Bookstore's interior became pressed for space and overcrowded with merchandise as inventory and services expanded. For a brief period between 1914 and 1919, the Old Bookstore provided branch banking services for the Bank of Palo Alto and a branch department for the Santa Clara County Library, but terminated those services due to spatial constraints within the building, which grew increasingly crowded as merchandise supply grew in concert with university enrollment.<sup>70</sup>

The year 1919 also saw the Old Bookstore's interior reorganized into book, laboratory, art, and miscellaneous departments, and wide doors were cut into the south facade of the building, providing better access and additional space for the bookstore.<sup>71</sup> This altered the south facade's original fenestration. These changes were also undertaken to improve merchandising and overall organization within the Old Bookstore, which was described as a "rather dark little place with one small entrance facing the...trolley car line and one on Lasuen and cramped space."72 In 1923, student services across the campus were reorganized and centralized to the Old Union Building, which was built in 1915 and originally housed the campus's YMCA.

Between 1923 and 1924, the YMCA was relocated to the Old Store, taking occupancy of the units formerly occupied by Wilson's and Greene's.73 Both Greene's and Wilson's business were forced to close their campus operations in 1923, due to the University's barring of privately owned businesses from operating on the campus.<sup>74</sup> The office of the Stanford Bookstore was relocated to a small storage unit in the Old Store, which effectively began the shift of the Old Store's use to that of an annex for the bookstore. The Sanborn Map Co.'s 1924 map labeled the Old Bookstore as having a bookstore and stationery use, and the Old Store as the YMCA. A one-story Boot Black building stood opposite the SPRR spur from the Old Bookstore and Old Store, adding to the cluster of student services provided along this stretch of Lasuen Mall (Figure 55).



#### Figure 55: Sanborn Map Co.'s 1924 fire insurance map of Palo Alto, sheet 41. Source: Proquest Digital Sanborn Maps. Edited by Page & Turnbull.

In 1927, the Stanford Daily announced that over half of the YMCA's guarters in the Old Store would be remodeled to serve as an annex for the Old Bookstore, with the "Y" occupying the front one-third of the building for a modern office and lobby. The rear of the Old Store was to be connected to the Old Bookstore and was to serve the bookstore's shipping, receiving, and reserve stock needs. No exterior alterations to the Old Store were described.<sup>75</sup> The buildings were connected by 1929, according to a retrospective article published in the Stanford Daily in 1949, which described, "By 1929 the Bookstore was again pressed for room. The rear building [the Old Store] was leased from the University and joined to the front building as it is now."<sup>76</sup> The connection between the Old Store and Old Bookstore was captured on a 1939 aerial photograph and illustrated on the 1950 Sanborn map.77

<sup>&</sup>lt;sup>70</sup> "Stanford Bookstore Makes Alterations," Stanford Daily, January 6, 1920; and, Dean Holman, "Bookstore Has Colorful History," Stanford Daily, October 28, 1949.

<sup>&</sup>lt;sup>71</sup> "Stanford Bookstore Makes Alterations," Stanford Daily, January 6, 1920.

<sup>&</sup>lt;sup>72</sup> "On the Farm," Stanford Illustrated Review, Vo. 38, No. 24, December 1936, 24.

<sup>&</sup>lt;sup>73</sup> "Why the Union Has Gone Into Business," Stanford Illustrated Review, Vol. 25, February 1924, 243; "On the Farm," Stanford Illustrated Review, Vo. 38. No. 24. December 1936. 24.

<sup>&</sup>lt;sup>74</sup> "Greene's Meyer's and 'Sticky's' No Longer on Campus," Stanford Daily, October 1, 1923.

<sup>&</sup>lt;sup>75</sup> "Y.M.C.A. Office To Be Utilized as New Bookstore Quarters," *Stanford Daily*, May 13, 1927.

 <sup>&</sup>lt;sup>76</sup> Dean Holman, "Bookstore Has Colorful History," *Stanford Daily*, October 28, 1949.
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In October 1929, the Stanford Bookstore continued its expansion and interior reorganization across the two connected buildings when the YMCA was relocated to the Old Union building, and the Stanford Bookstore's Trade Book Department began full occupancy of the Old Store.<sup>78</sup> According the a quote provided in the *Stanford Daily* in 1929, "Because the Bookstore originally intended to occupy the old quarters [of the YMCA in the Old Store, YMCA president Francis Knapp] said the association's board of directors deemed it wise to move instead of re-furnishing the old rooms," within the Old Store building.<sup>79</sup>

Around the same time the Stanford Bookstore completed its expansion into the Old Store, the streetcar line that stopped behind the Old Bookstore was formally discontinued, due to the emergence of the automobile and increasing automobile traffic along Lasuen Street.<sup>80</sup> In 1930, the university constructed a one-story Shoe Repair Shop addition at the southeast corner of the Old Store building. The shop served as the fifth location for tenured campus cobblers, Eugene and Albert Delyon.<sup>81</sup> Plans for the addition show the simple massing and fenestration of the shop, and note that the fenestration at the south façade of the shop was to match the appearance of the south façade of the Old Store, which was a symmetrical configuration with a door at center flanked by a show window on each side (**Figure 56**). This indicates that the south façade of the Old Bookstore, Old Store, and Shoe Repair Shop, which were continuous from the west side of the Old Bookstore to the east side of the Shoe Repair Shop (**Figure 57**).

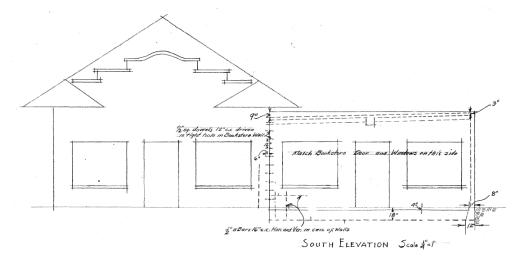


Figure 56: South elevation of Shoe Repair Shop addition to the Old Store, indicating matching fenestration, 1930. Source: Stanford University.

<sup>79</sup> "Y' Moves Quarters to Old Union Lobby, Announces President," Stanford Daily, May 10, 1929.

<sup>&</sup>lt;sup>78</sup> Ruth Todd and Elena Angoloti, State of California Department of Parks and Recreation 523 A Primary Record and 523 B Building Structure and Object Record: Old Bookstore, Stanford University, Recorded March 27, 2004. On File with Stanford University.

<sup>&</sup>lt;sup>80</sup> "Old Trolley Line," Oakland Tribune, October 24, 1940, 25.

<sup>&</sup>lt;sup>81</sup> Erling Forland, "Campus Cobblers Apply Talents to Keeping Shoes Repaired for Farm Roughs and Gals," *Stanford Daily*, March 10, 1950.

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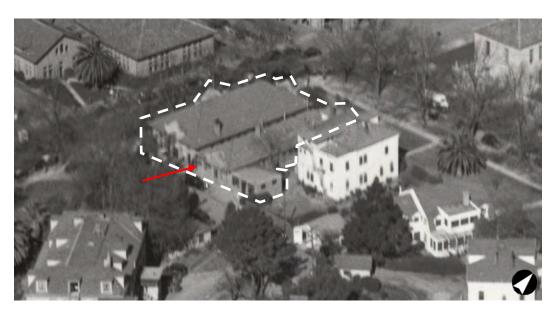


Figure 57: Aerial photograph from 1939 of the subject site and vicinity, with a white dashed line around the Old Bookstore, Old Store, and the Shoe Repair Shop Addition. A red arrow points to the enclosed south end of the former alley between the Old Bookstore and the Old Store, Source: Stanford University, Libraries, Department of Special Collections and University Archives, Box 51, Student life -- 1930-1940s, Roger White photos, Edited by Page & Turnbull.

The expansion of the bookstore's operations between 1927 and 1930 preceded alteration of the primary facade of the Old Bookstore in 1936. Stanford-educated architect John V. Lesley (Class of 1936, Graphic Arts) designed the alterations, which included installation of a modern entrance with a double-door and projecting retail display windows adjacent to the entrance. Research was unable to find documentation confirming the exact design of the primary facade of the Old Bookstore as reconstructed in 1907; therefore, it is unconfirmed whether the copper entry hood above the main entrance remained in place between 1907 and 1936. Nonetheless, Lesley's 1936 design resulted in replacement of the original single-entry, paneled-wood door with a wider double-door having similar divided lite glazing. The project also included re-laying of the sidewalk along Lasuen Street, according to a notice published in the Stanford Daily.82

A rendering for the proposed façade prepared by Lesley illustrated wider display bays than those actually built, as an as-built detail of the windows and a 1958 historic photograph show (Figure 58). The 1936 detail plans also illustrate that the original window openings themselves were largely retained but closed off with wood panels to provide access to modern projecting bays from the interior of the store for rotation or replacement of merchandise displays. Although the Stanford Illustrated Review described Lesley's design as a "complete remodeling" of the exterior, it appears that the building's clerestory windows and stucco exterior dating to the building's reconstruction in 1907 were retained, as neither the plans nor available articles describe any exterior stucco alteration or replacement (Figure 59 and Figure 60).

<sup>82 &</sup>quot;\$10,000 Spent for Construction," Stanford Daily, August 20, 1936.

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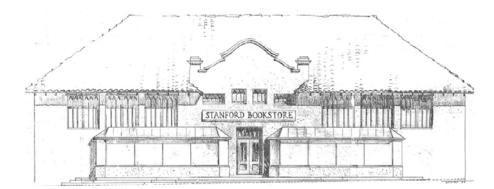


Figure 58: Elevation drawing by John V. Lesley showing proposed modern display windows, 1936. Source: Stanford University.

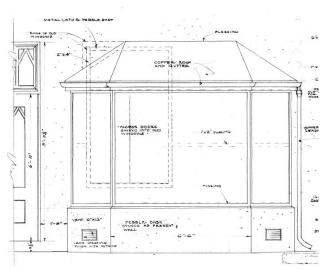


Figure 59: Detail of 1936 display windows. Source: Stanford University.



Figure 60: The Stanford Bookstore, 1958. Source: Stanford University Special Collections, photograph 4F-451.

Archival research found no additional sources describing any prior alterations to the exterior stucco between 1907 and 1936; thus, it appears that the building's stucco finish remained unaltered since its 1907 reconstruction. Of note, Lesley's father, Stanford Professor of Engineering E.P. Lesley, served as president of the Bookstore board at the time John V. Lesley completed his design for the modern façade alterations, which may have factored into John's involvement in the project as a recent Stanford graduate.<sup>83</sup>

By 1941, the former railroad spur running to the south of the Old Bookstore and the Old Store was replaced by a paved street that led to a circular turnaround area behind the subject site and neighboring residences, according to a historic aerial photograph. The Quad and Old Engineering Building stood to the west-northwest of the subject site, and several residences remained in place along the southern, tree-lined side of Alvarado Row (present day Escondido Mall) (Figure 61).

<sup>83 &</sup>quot;On the Farm," Stanford Illustrated Review, Vo. 38, No. 24, December 1936, 24.

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Figure 61: Aerial view, 1941, with a red dashed line surrounding the subject buildings. Source: UC Santa Barbara Special Collections. Edited by Page & Turnbull.

The Old Bookstore and Old Store were illustrated on sheet 41 of the Sanborn Map Co.'s 1950 fire insurance map as one-story, reinforced concrete buildings that were connected by a one-story connecting volume at the former alley between each building; this volume corresponds to the connection of the two buildings between 1927 and 1929 as described earlier. The Sanborn map noted books and stationery uses within the Old Bookstore, and continued to list the Old Store as occupied by the YMCA, despite that organization's relocation from the building in 1929. The 1950 map also illustrated the one-story Shoe Repair Shop addition at the southeast corner of the Old Store building that was built in 1930 (Figure 62 and Figure 63).

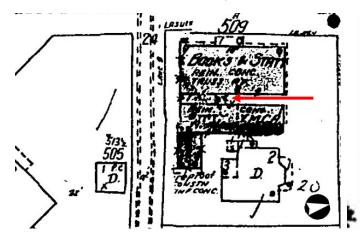


Figure 62: Sanborn Map Co.'s 1950 fire insurance map of Palo Alto, sheet 41, illustrating the connected Old Bookstore and Old Store (red arrow points to connection), and the rectangular addition on the southeast corner of the Old Store. Source: Proquest Digital Sanborn Maps. Edited by Page & Turnbull.



Figure 63: Detail view of connection (shaded red) between the Old Bookstore and the Old Store buildings. Source: Proquest Digital Sanborn Maps. Edited by Page & Turnbull.

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During the 1950s and early 1960s, the area east and southeast of the Old Bookstore and Old Store was master planned to become a Library Quad, with Meyer Library at center and new Post Office and Bookstore buildings on its west. This resulted in demolition and major changes to the streetscape and landscape to the east, south, and southwest, as captured in a 1968 aerial photograph. In 1963, landscape architect Thomas Church designed the White Memorial Plaza, whose north edge is the Old Bookstore. These changes replaced the earlier main street-like setting found at the intersection Lasuen Street and Alvarado Row with that of a new campus center (**Figure 65**).<sup>84</sup> The Stanford Bookstore continued to be located in the connected Old Bookstore and Old Store buildings until 1960, when the buildings were renovated for use as the Western Civilization Library following the Stanford Bookstore building completed in 1960 (**Figure 64**).<sup>85</sup>



Figure 64: Old Bookstore viewed from Lasuen Mall, pre-1960s, prior to major changes to the immediate vicinity brought on by campus master planning. Source: Stanford University. Libraries. Department of Special Collections and University Archives, Box: 9, Folder: Bookstore – pre-1960s.

<sup>&</sup>lt;sup>84</sup> Ibid.

<sup>&</sup>lt;sup>85</sup> Ruth Todd and Elena Angoloti, State of California Department of Parks and Recreation 523 A Primary Record and 523 B Building Structure and Object Record: Old Bookstore, Stanford University, Recorded March 27, 2004. On File with Stanford University; and, Sapna Marfatia, and Elena Marfatia and Angoloti. Stanford University. "Construction Chronology, 2020." Stanford University, University Architect/Campus Planning and Design Office, October 2020.

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A 1960 floorplan for the proposed Western Civilization Library shows the front façade of the Old Store was to be altered to feature an after-hours book chute and double-doors, which would have replaced the original symmetrical storefront (Figure 64). The rear façade was also to feature only a single-entry door with no windows, replacing an original symmetrical storefront. A floorplan prepared in 1967, however, indicates that these changes may not have been carried out as the Old Store was shown to have symmetrical storefronts. No additional historic documentation of the storefronts was found to confirm whether these alterations took place in 1960 and were replaced by 1967, or if they actually did not occur and the 1960 floor plan was superseded by a revised design.

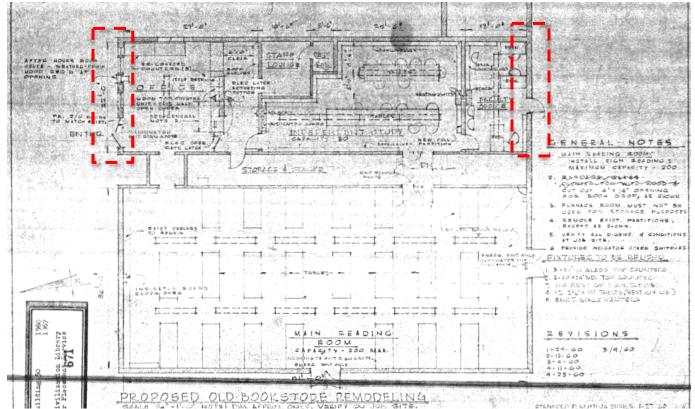


Figure 65: Floorplan of Old Bookstore and Old Store for use as Western Civilization Library, 1960. Red dashed lines show proposed storefront alterations. Source: Stanford University.

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In 1967, the interior of the Western Civilization Library was remodeled for use as the Career Planning and Placement Center (CPPC). The earlier constructed connection between the Old Bookstore and Old Store buildings from 1929 was expanded to accommodate another passage closer to the north end of the building, as illustrated on a floor plan from 1967 (Figure 66). No changes to the exteriors of the Old Bookstore and Old Store are described on available plans. Demolition plans do note, however, that any original furnishings that remained in the Old Bookstore's interior were to be replaced, including bookshelves and partitions. The 1967 floorplan illustrated the Old Store's west façade with two windows near center, and the east façade with three windows near the front of the building as well as three near the center of the façade and two at the rear. Excepting the two openings at the rear, all of these windows were later be infilled or removed in future remodeling projects. Additionally, the Old Store's original storefront fenestration does not appear to have been replaced between 1910 and 1967. This fenestration also appears similar to the existing fenestration at the front and rear of the Old Store.

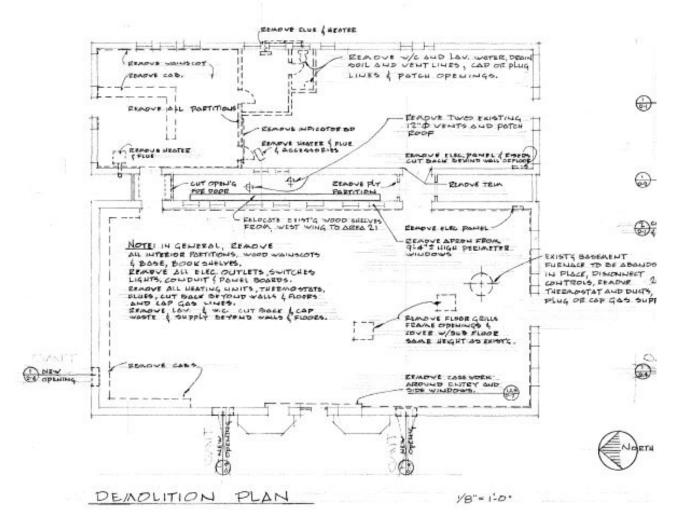
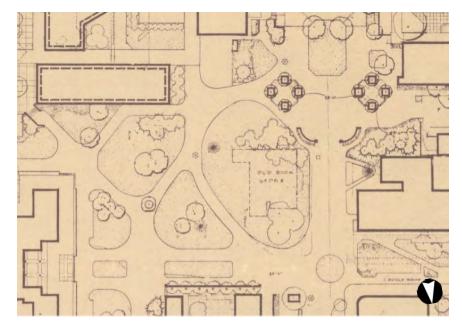


Figure 66: 1967 demolition plan for Career Planning and Placement Center project. Note, this plan does not show the 1930 Shoe Repair Shop addition, which does appear on a subsequent 1977 plan. Source: Stanford University.

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A 1965 campus plan prepared by landscape architect Thomas Church shows the major changes brought to the immediate areas to the south and east of the subject site (Figure 65). Pre-existing residences to the east and southeast of the Old Bookstore and Old Store were razed, and the sweeping southeastward curve of Alvarado Row was transformed to a curved pathway extending off Escondido Mall, with landscaped areas between. Although the Old Bookstore and Old Store retained their locations of original construction, they became isolated within a modern campus setting. Church's plan illustrated the originally separate Old Store and Old Bookstore, and the shoe repair shop addition on the Old Store as a single building labeled as the "Old Book Store."



# Figure 67: The Old Bookstore appears with a dashed building footprint at center, on this section of the 1965 Campus Master Plan prepared by Thomas Church. Source: Stanford University Special Collections. Edited by Page & Turnbull.

Review of a floorplan of the facility prepared in 1977 shows that additional electrical, mechanical, and structural renovations were completed and a small addition was constructed to the north of the Shoe Repair Shop on the southeast corner of the Old Store **(Figure 68)**.<sup>86</sup> In 1983, the Stanford Clocktower was built directly north of the Old Bookstore to house the bells and clockworks from the original Memorial Church Tower, preceding a 1984 one-story addition to the east façade of the Old Store; earlier additions to the Old Store completed between 1930 (Shoe Repair Shop addition) and 1977 were demolished.

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<sup>&</sup>lt;sup>86</sup> Ruth Todd and Elena Angoloti, State of California Department of Parks and Recreation 523 A Primary Record and 523 B Building Structure and Object Record: Old Bookstore, Stanford University, Recorded March 27, 2004. On File with Stanford University.

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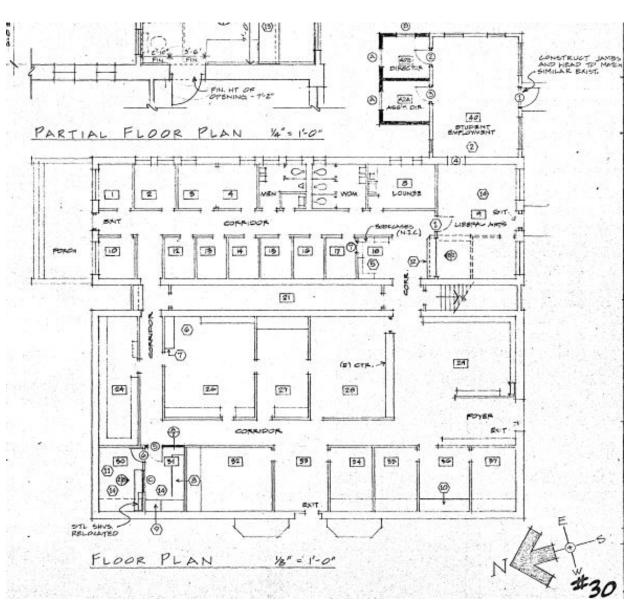


Figure 68: Floor plan of the subject building in 1977. Source: Stanford University.

The 1984 addition resulted in a major alteration of the east façade of the Old Store, including removal of four windows in the front section of the east façade. In 1985, the interior of the Old Bookstore was remodeled with a new partition layout. Review of the demolition plan for the project shows that pre-existing windows at the north and south façade of the Old Store were not replaced, but those at the middle at the east façade were, as were those closer toward the front of the east façade. This location would be further altered in 2007, with the existing connector placed at a non-original opening in the east façade.

Within the Old Bookstore, no pre-existing windows were replaced, however, three wood panels that covered three windows at the north façade were removed. The demolition plan does not describe whether the panels had been mounted inside or outside the building. Overall, the fenestration of the Old Bookstore does not appear to have been altered between 1936 and 1985. It also appears that the 1985 renovation work included installation of a new two-step landing at the front entrance of the Old Bookstore

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building. Both the 1984 addition and 1985 interior work at the Old Bookstore were designed by Bowers, Richert & Grattiot (Figure 69 and Figure 70).87

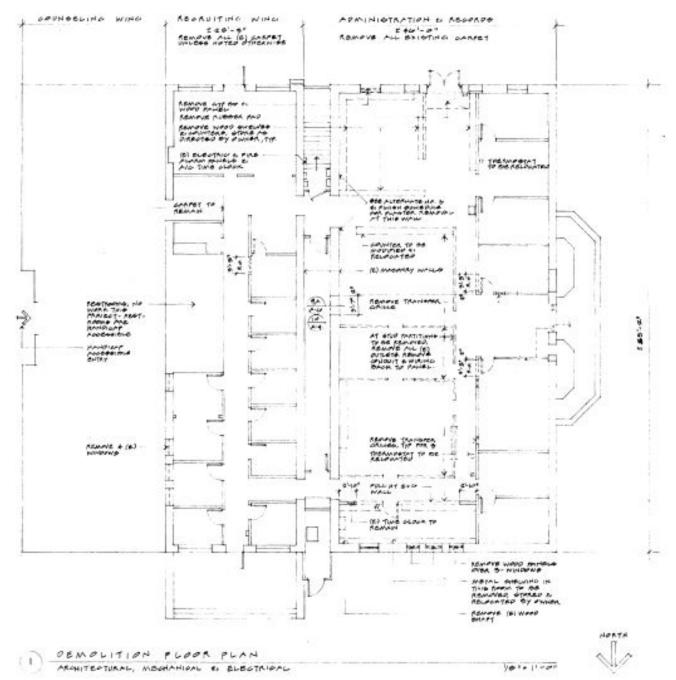


Figure 69: 1985 demolition plan for Career Planning & Placement Center renovations, prepared by Bowers Richert Gratiot. Source: Stanford University.

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In 2001, a fire occurred in the 1985 addition, which resulted in the closure of the entire CPPC due to extensive damage to the interior.<sup>88</sup> The CPPC was vacated for approximately six years (**Figure 70**). In 2007, Stanford University completed a rehabilitation and expansion project to create the Barnum Center, which included rehabilitation of the connected Old Bookstore and the Old Store, demolition of the pre-existing one-story additions, and construction of the existing one-story connector and two-story building. As part of this project, the Old Bookstore's display windows built in 1936 were removed, and the original entrance-flanking windows were reintroduced, based on the original 1905 primary façade design. Additional wood-sash windows of the Old Bookstore as well. Pre-existing wood doors and wood windows at the Old Store's front and rear façades were restored per drawings, while the east façade of the Old Store was connected to the one-story connector of the two-story building. The Barnum Center, named for supporting donors and Stanford alumni Bill and Donnalisa Barnum, has since housed the School of Education's John W. Gardner Center for Youth and Their Communities and the Center for Research on Teacher Education and School Reform within the Old Bookstore and Two-story building. The Old Store houses a seminar room serving both centers.<sup>89</sup>



Figure 70: View of the subject site in 2004, showing the one-story addition at the east façade of the Old Store that was added in 1985, and the Stanford Clock Tower built in 1983 to the north of the Old Bookstore. Source Stanford University Libraries, A Stanford Atlas.

# **Biographical Information for Former Store Managers and Proprietor**

The following biographical information was researched for the known bookstore managers who served during the Stanford Bookstore's occupancy of the Old Bookstore and Old Store buildings. Information was compiled from historic newspaper articles – including the *Stanford Daily* archives, census data, and other biographical information accessed at Ancestry.com.

# W.F. Hyde

William (W.F.) Hyde (1860-1939) was born in Rhode Island and became the first manager of the Stanford Bookstore in 1897, when the operation was still housed in a temporary building. Hyde continued to serve as manager until his resignation in 1913, during which time the bookstore was established in the permanent Old Bookstore building. After resigning from his position with the Stanford Bookstore, Hyde entered into the insurance industry and resided on a farm in rural Santa Clara County with his family.<sup>90</sup> By 1930, Hyde relocated to Palo Alto, where he died in 1939.

#### Guy C. Miller

Guy C. Miller (1878-1955) served as the Stanford Bookstore's manager from 1913 until 1920, during the period when the Stanford Bookstore's operations were concentrated in the Old Bookstore building. Miller was born in Oregon in 1877 and relocated to Santa Clara County by the turn of the twentieth century to attend Stanford University. Miller entered studies at Stanford but was forced to abandon them due to illness. Miller and his wife, Blanche Meyer, also a former Stanford University student, were married in 1905. Around the same time, Guy C. Miller joined the Palo Alto postal force and became the first mail carrier in Palo Alto.<sup>91</sup> In 1907, Miller joined the Stanford Bookstore as head clerk, and remained in that role until he succeeded W.F. Hyde as manager in 1913.<sup>92</sup> After his employment at the Stanford Bookstore ended in 1920, Miller pursued a career as a municipal clerk in Palo Alto and served as

<sup>&</sup>lt;sup>88</sup> Lisa Trei, "Alumni Couple Donates \$3 Million to Establish New Education, Community Center, Stanford News, online, September 24, 2004. Accessed

<sup>&</sup>lt;sup>89</sup> Ibid.

<sup>&</sup>lt;sup>90</sup> U.S. Census data for 1920 and 1930. Accessed at Ancestry.com.

<sup>&</sup>lt;sup>91</sup> "Stanford Student to Wed," San Francisco Call, July 6, 1905; "Bookstore Manager Resigns His Position," Stanford Daily, May 17, 1920.

<sup>&</sup>lt;sup>92</sup> "Former Stanford Man to Manage Bookstore," Stanford Daily, October 8, 1913.

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City Historian for Palo Alto while also writing for the Palo Alto Times newspaper.<sup>93</sup> Miller was instrumental in re-establishing the Palo Alto Historical Association after World War II, following the organization's demise after World War I. While City Historian, Miller co-authored The Palo Alto Community Book in 1952, which was published three years prior to Miller's death in 1955.94 Today, the Palo Alto Historical Association's archive is named in honor of Guy C. Miller.

### Raymond M. Stager

Raymond M. Stager (1886-1941) was manager of the Stanford Bookstore between ca. 1920 and his death in 1941. Stager was born in New Jersey in 1886 and relocated to Palo Alto by 1907, when he began working at the Stanford Bookstore.<sup>95</sup> Stager appears to have remained a resident of Palo Alto through the remainder of his life and career. Stager's obituary noted that he managed the bookstore during its years of expansion in the 1920s and early 1930s and was among the early proponents of the store's rebate system.96

#### Helena T. Bauchou

Helena T. Bauchou (1895-1975) was born in California in 1895 and by 1927 began working as a salesperson and department manager, according to Palo Alto city directories. Bauchou took over as manager after Raymond M. Stager's death in 1941. Bauchou continued managing the store into the 1950s as master planning efforts for a modern campus guad, including a new bookstore building, began. Research was unable to confirm Bauchou's last year as bookstore manager; however, Palo Alto City Directories indicate that Bauchou retired by 1972. Based upon available documentation, Bauchou was the longest tenured bookstore manager to have worked in the Old Bookstore and Old Store buildings.

#### Ernest "Sticky" Wilson

In 1896, Stanford University student Ernest Wilson (1876-1967), who was raised in Oregon, began his undergraduate studies and soon acquired a half-share of a preexisting, two-student proprietorship on the campus called Rice's candy store, which was located in a temporary building. By the end of his freshman year, he acquired the remainder of interest in the business and began making his own candies.<sup>97</sup> Research was unable to confirm whether this building was the aforementioned Cardinal Cat candy store, or another business. Regarding Wilson's beginnings as a confectioner, historian Eugene T. Sawyer wrote:

There was a little candy store on the campus owned by a couple of students, and here the newcomer found work during his freshman year. He bought a half-interest at the end of the semester, and soon became sole owner. As he studied and worked, he made friends with everybody, and on account of his popularity and "sticktoitiveness", soon became familiarly known as "Sticky" Wilson, an appellation which will likely always remain with him. As "Sticky" Wilson stuck to Stanford, so the name stuck to "Sticky" and has become a fixture in the college town.

The four years passed; a new century dawned--and brought with it the graduation of the student-confectioner with the class of 1900. [...] He had been attending two kinds of classrooms during his college career; one in the imposing buildings around the Quad, and another in the little store on the campus. His life work was to be the making of good candy and the serving of good food. In order to gain a thorough knowledge of his chosen work, he went to San Francisco, where he began at the bottom as an employee of a large candy manufacturer, and continued there for a space of about a year, having in the meantime disposed of his candy store of Stanford campus.98

Between Wilson's graduation from Stanford University in 1900, and the opening of the Old Store building in 1910, Wilson's business did not operate a store on the campus. Instead, Wilson opened a Palo Alto location, called the Spa, which he sold in 1900, only to buy back the business in 1902 under the Wilson's brand name. While operating in Palo Alto, Wilson adopted the trademark slogan, "Sticky's, candy with the college education," in 1908, which was created by Stanford University student Ruth Taylor.<sup>99</sup> The slogan continued to be used by Wilson's brand thereafter.

<sup>93</sup> Ward Winslow and the Palo Alto Historical Association, Palo Alto: A Centennial History, (Palo Alto, CA: Palo Alto Historical Association, 1993), x.

<sup>94</sup> Ward Winslow and the Palo Alto Historical Association, Palo Alto: A Centennial History, (Palo Alto, CA: Palo Alto Historical Association, 1993), x.

 <sup>&</sup>lt;sup>95</sup> "Bookstore Head Died Last Week," *Stanford Daily*, September 30, 1941.
 <sup>96</sup> "Bookstore Head Died Last Week," *Stanford Daily*, September 30, 1941.

<sup>&</sup>lt;sup>97</sup> "Wilson Candy Store to be Redecorated," *Stanford Daily*, July 31, 1930.

<sup>98</sup> Eugene T. Sawyer, History of Santa Clara County, California, (Los Angeles: Historic Record Co., 1922), 1244.

<sup>&</sup>lt;sup>99</sup> Advertisement for Wilson's. San Francisco Examiner, August 6, 1947; Jeannette Bradley, Obituary for Ernest Wilson, "Candy Man "Sticky Wilson Dies," Palo Alto Times, March 02, 1967.

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In 1910, Wilson opened a Stanford University branch store in a leased unit within the building known as the Old Store, sharing occupancy of the building with a small grocery store and cigar shop called Green's. Wilson's business occupied the Old Store building until 1919, when the business was relocated to Stanford University's Old Union building. Research found that the Ernest Wilson Company produced candy in Palo Alto by 1908 and acquired a bakery in 1912. Research did not find evidence that the Old Store was used for confectionary production. In 1923, Wilson's Candy Store closed on the Stanford University campus when the University barred all privately owned businesses from operation.<sup>100</sup> As of 1930, the Ernest Wilson Company operated eight stores in cities including Fresno, Stockton, San Jose, Sacramento, Oakland, San Francisco, Turlock, and Palo Alto. The downtown Palo Alto store was a Palo Alto Chamber of Commerce meeting place from 1947 until it closed on April 10, 1951.<sup>101</sup> Ernest "Sticky" Wilson continued to reside in the Palo Alto area until his death in 1967.

# **Design Professionals**

# Arthur B. Clark, Original Designer of Old Bookstore

In 1892, architect Arthur Bridgman Clark (1866-1949) moved his family west from Syracuse, New York to the Town of Mayfield (now incorporated into the City of Palo Alto), to take a position as the first chairman of the Art and Architecture Department at Stanford University. Clark earned a Bachelor of Architecture degree from Syracuse University in 1886 and a Master of Architecture degree in 1889. He served as an instructor in architecture at Syracuse University between 1889 and 1892 and designed some public buildings and residences there according to several biographical accounts.<sup>102</sup> Research for this evaluation identified one of Clark's designs at Syracuse University, the non-extant Richardsonian Romanesque style Old Gymnasium and Y.M.C.A., built in 1891 and demolished in 1965, but was unable to identify others (Figure 69).<sup>103</sup> During the 1880s, Clark also served briefly as a drawing instructor and director of the New York State Reformatory Trade School in Elmira, New York.<sup>104</sup>



Figure 71: Old Gym and YMCA at Syracuse University, designed by Arthur B. Clark in 1892, demolished 1965. Source: Syracuse University Special Collections.

At Stanford University, Clark served as a professor, teaching drafting, art, and graphic arts classes between 1892 and 1931. Clark served as head of the Student Affairs Committee and on the Stanford Commission of Engineers that was formed following the 1906 earthquake; the committee assessed damaged buildings and provided guidance on campus recovery. During and after his four-decade tenure, Clark also published three textbooks and manuals while a professor and in retirement. In 1915, Clark prepared Design: A Textbook for Students and Craftsworkers[sic], which included several exercises for prospective designers to study.<sup>105</sup> In

http://pcad.lib.washington.edu/person/758/.

<sup>&</sup>lt;sup>100</sup> "Union Sweet-Shop Nears Completion According to Roth," *Stanford Daily,* January 10, 1924; "Union Store Will Give More Service," *Stanford* Daily, January 17, 1924; and, "Greene's Meyer's and 'Sticky's' No Longer on Campus," Stanford Daily, October 1, 1923. <sup>101</sup> Ibid.

<sup>&</sup>lt;sup>102</sup> "Arthur Bridgman Clark (Architect, Artist), Pacific Coast Architecture Database, online. Accessed September 10, 2020.

http://pcad.lib.washington.edu/person/758/; and, Peter Gauvin, "Arthur B. Clark (1866-1949), Palo Alto Centennial, October 21, 1994; and, Peter Gauvin, "Arthur B. Clark," Palo Alto Online, October 21, 1994.

<sup>&</sup>lt;sup>103</sup> "University Archives: Buildings of SU," Syracuse University Archives, online. Accessed October 21, 2020.

https://library.syr.edu/skin/?url=http://archives.syr.edu/buildings/gym\_old.html. <sup>104</sup> "Arthur Bridgman Clark (Architect, Artist), Pacific Coast Architecture Database, online. Accessed September 10, 2020.

<sup>&</sup>lt;sup>105</sup> Arthur Bridgman Clark, Associate Professor Graphic Arts, *Design: A Textbook for Students and Craftsworkers*, (Stanford University, CA: A.B. Clark).

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1921, Clark authored Art Principles in House, Furniture, and Village Building: An Exposition of Designing Principles Which Every House Builder, Furniture User, and Village Dweller Should Know, a monograph Clark described as "an outgrowth of classroom lectures, [with] illustrative material for which is found in part within a half day's automobile ride of the lecture room.<sup>106</sup> Clark also wrote, "It is believed that this book will prepare appreciative and stimulating clients for skilled architects."<sup>107</sup> After his retirement from the university, Clark authored Perspective: A Textbook and Manual For Artists, Architects and Students in 1935.

When his schedule outside of the classroom allowed, Clark provided residential designs for colleagues residing on campus and in Palo Alto's Professorville neighborhood (Figure 71 to Figure 74). 108

Examples at Stanford University include:

- Clark's personal residence at 618 Mirada Avenue (1909)
- The Durand-Kirkham House at 623 Cabrillo Avenue (1906, Santa Clara County Heritage Resource Inventory)
- 661 Cabrillo Avenue (1921)
- The MacFarland House at 775 Santa Ynez Street (1914, Santa Clara County Heritage Resource Inventory and National Register and California Register)<sup>109</sup>
- Lou Henry and Herbert Hoover House (1920, as architectural advisor, Santa Clara County Heritage Resource Inventory and National Historic Landmark and California Register)

Among residences Clark designed in Palo Alto, the following are designated on the Palo Alto Historic Resource Inventory (HRI), for which Category 1 represents the highest level of significance:

- 345 Lincoln Avenue (1893, Category 2)
- 1136 Waverly Avenue (1893, Category 3)
- 356 Lincoln Avenue (1896, Category 1)<sup>110</sup>



Figure 72: 618 Mirada Avenue, Stanford University. Designed by Arthur Clark as his family's residence in 1909. Source: Palo Alto Stanford Heritage, online.



Figure 73: Durand-Kirkham House at 623 Cabrillo Avenue, Stanford University, 1906. Source: Source: Palo Alto Stanford Heritage, online.

<sup>&</sup>lt;sup>106</sup> Arthur Bridgman Clark, M. Ar. Architect, Art Principles in House, Furniture, and Village Building: An Exposition of Designing Principles Which Every House Builder, Furniture User, and Village Dweller Should Know, (Stanford, CA: Stanford University Press, 1921). <sup>107</sup> Ibid., Introduction.

<sup>&</sup>lt;sup>108</sup> "2004 Holiday House Tour: Early Residences on Stanford University's San Juan Hill," Palo Alto Stanford Heritage, online.

https://www.pastheritage.org/HHTByYear/HHT2004.html#mir618. Accessed November 4, 2020; and "Architect Arthur Bridgman Clark," Stanford Historical Society. Original website: https://historicalsociety.stanford.edu/hh1/ArchitectABClark.pdf. Website retrieved from:

https://web.archive.org/web/20120905061232/http://histsoc.stanford.edu/hh1/ArchitectABClark.pdf. Accessed November 4, 2020. This source was published on a since archived webpage and was retrieved using Archive.org's Wayback Machine.

<sup>&</sup>lt;sup>109</sup> Note, the MacFarland House's 2006 National Register nomination only provides nomination under Criterion B, but notes that the property is likely eligible under Criterion C architecture. National Register of Historic Places Nomination for the MacFarland House, National Register identifier 06000659. Accessed online August 12, 2021. https://npgallery.nps.gov/NRHP/GetAsset/NRHP/06000659\_text.

<sup>&</sup>lt;sup>110</sup> Information provided by PAST Heritage's website. Accessed August 13, 2021. https://www.pastheritage.org/ArchBuild.html.

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Figure 74: 345 Lincoln Avenue, Palo Alto, built in 1893. Source: Palo Alto Stanford Heritage, online.<sup>111</sup>



Figure 75: 356 Lincoln Avenue, Palo Alto, built in 1896. Source: Palo Alto Stanford Heritage, online.<sup>112</sup>

Clark designed the Old Bookstore building in 1905 but is not identified as the designer of the Old Store that was built adjacent to it in a similar Mission Revival aesthetic in 1910. Research did not find evidence such as Clark's name listed on plans, newspaper or journal accounts, or other correspondence that would indicate the Old Store as Clark's work. Of the residences Clark is associated with at Stanford University, The Lou Henry Hoover House, commissioned by future U.S. President Herbert Hoover and his wife, Lou Henry Hoover, is the most prominent, and is designated as a National Historic Landmark (Figure 76). Clark contributed to the design of the house, but primarily served as an architectural advisor rather than the primary designer. Author and Stanford University professor Paul V. Turner's Mrs. Hoover's Pueblo Walls: The Primitive and the Modern in the Lou Henry Hoover House, notes that in a letter to Lou Henry Hoover, Arthur B. Clark wrote: "My idea of this architectural job is that it is not on a percentage basis but that you are the architect-in-chief---and that I am sort of architectural 'secretary,' while [draftsman] Mr. [Charles. T.] Davis does the heavy work."113 Clark also noted in his book Art Principles in House, Furniture, and Village Building in 1921 that "Mrs. Lou Henry Hoover contributed the best ideas, while Charles T. Davis and Birge M. Clark [son of Arthur B. Clark and architect] carried them out."<sup>114</sup> Thus, although it is recognized as the most prominent of the residences associated with Arthur B. Clark's career as an architect, the Lou Henry Hoover House does not necessarily express Clark's own design, but more-so a design executed by a team of professional architects who responded to the design direction of owner Lou Henry Hoover.



Figure 76: Lou Henry Hoover House, Stanford University. Source: Herbert Hoover Presidential Library and Museum.

<sup>&</sup>lt;sup>111</sup> "Professorville Sampler," Palo Alto Stanford Heritage, online. https://www.pastheritage.org/Tours/Profville/Profville/Our.html. Accessed November 4, 2020.

<sup>&</sup>lt;sup>112</sup> Ibid. https://www.pastheritage.org/Tours/Profville/ProfvilleTour.html. Accessed November 4, 2020.

<sup>&</sup>lt;sup>113</sup> Paul V. Turner, Mrs. Hoovers Pueblo Walls: The Primitive and the Modern in the Lou Henry Hoover House, (Stanford, CA: Stanford University Press, 2004), 28.

<sup>&</sup>lt;sup>114</sup> Turner cites Birge Clark's "Memoirs," and Arthur B. Clark's, Art Principles, 47.

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Arthur Clark's most significant contribution to the field of architecture was as an educator. Clark was technically skilled, given his role as a graphic arts instructor. He authored a book on residential interior design which he described as "an outgrowth of classroom lectures," and a graphic design manual for students and artists. Clark's body of work as an architect was mostly tied to local residential designs that included Colonial Revival and Arts & Crafts or Craftsman style houses that were built on the Stanford campus or in Palo Alto. The Lou Henry Hoover House has been designated as a National Historic Landmark, but scholarship developed after the building's designation has provided clear evidence that Clark's role as "designer" of the property is more accurately described as advisor, with the building's design resulting from Lou Henry Hoover's vision, rather than Clark's direct influence. Although Clark was apparently a very competent and a trusted residential designer based upon available accounts, his career in architecture was a secondary pursuit to his career as an educator, and available documentation of Clark's career does not indicate that his influence as an architectural designer was of particularly notable or exceptional importance to the profession. Nonetheless, Clark's body of residential work in Palo Alto and Stanford demonstrates the "consummate skill" of a local master, as considered when defining a master architect in National Register Bulletin 15. The designation of multiple residences designed by Clark to the Palo Alto Historic Resource Inventory and Santa Clara County Heritage Resource Inventory indicates the high architectural quality of Clark's residential work in multiple jurisdictions, and supports a consensus view that he is a master architect at the local level. Clark's technical skill and competency as a designer are additionally supported by his long tenure as an instructor and publications related to graphic and architectural design.

Outside of his role at the University, Clark was influential in advocating for the incorporation of the Town of Mayfield, was elected to the Town's Board of Trustees, and was named Mayfield's first mayor. He later served as the chairman of the Mayfield Planning Commission.<sup>115</sup> Clark was a member of the American Committee for the International Congress of Art Education and served as the first president of the Pacific Arts Association. Clark and his wife had four children: sons Birge, Donald and David (twins), and daughter Esther. Birge Clark became a prominent and highly influential architect of residential, institutional, and public buildings at Stanford University and in Palo Alto. Donald and David also pursued careers as architects, and Esther was the first pediatrician to serve the Peninsula and was a founding partner of the Palo Alto Medical Clinic.<sup>116</sup>

#### John V. Lesley, Designer of 1936 Display Windows and Modern Entrance

Architect John V. Lesley (1910-1951) was the son of Everett P. Lesley, a Professor of Mechanical Engineering at Stanford University. Born in New Jersey in 1910, Lesley's family relocated to Stanford by 1916, during which time Everett P. Lesley collaborated with William F. Durand on innovative aeronautics testing, principally involving propellers, at the university.<sup>117</sup> The Lesley family resided in a house at 18 Alvarado Row, which was located to the southeast of the Old Bookstore in an area comprised of houses occupied by university professors and their families.<sup>118</sup> By 1930, John V. Lesley relocated to Los Angeles where he worked as a carpenter's assistant. He returned to Stanford by the mid-1930s and attended Stanford University, where he studied graphic arts. Lesley's wife, Frances M. Leslie (ca. 1910-2009), also studied graphic arts at Stanford University and the pair graduated in 1936, the same year Leslie designed the projecting display windows for the bookstore, which were built in 1936 and remained in place until 2007. John and Frances began careers in architecture and clothing design, respectively, after graduating from Stanford University, and resided in Palo Alto at 602 University Avenue in 1940.<sup>119</sup> Archival research was unable to find additional examples of Lesley's work. It appears that Lesley resided in Palo Alto and worked as an architect until his death in 1951 at age 41.

#### Ephraim Balsbaugh, Masonry Contractor

Ephraim Balsbaugh (1859-1937) was contractor in charge of reconstruction of the Old Bookstore in 1906 to early 1907. Balsbaugh was born in Pennsylvania and relocated to Kansas before settling in Palo Alto in 1904, which enabled his daughter to attend Stanford University. In Palo Alto, Balsbaugh led a team of three to ten employees in projects ranging from sidewalk and curb laying, to chimney and wall construction. Among Balsbaugh's most notable works were cobblestone posts he built for the portal of Mountain View cemetery, and similar projects at Camp Curry in Yosemite Valley and the Masson chimney in Big Basin, according to historian Eugene T. Sawyer.<sup>120</sup> Research did not reveal whether Balsbaugh developed any innovative construction methods or masonry techniques.

<sup>&</sup>lt;sup>115</sup> Peter Gauvin, "Arthur B. Clark (1866-1949), Palo Alto Centennial, October 21, 1994.

<sup>&</sup>lt;sup>116</sup> Ibid.; and, Peter Gauvin, "Arthur B. Clark," *Palo Alto Online*, October 21, 1994.

<sup>&</sup>lt;sup>117</sup> "Durand Propeller," Stanford University, online. Accessed October 26, 2020. https://engineering.stanford.edu/about/visit/inside-engineeringquad.

<sup>&</sup>lt;sup>118</sup> U.S. Census data for 1920. Accessed at Ancestry.com.

<sup>&</sup>lt;sup>119</sup> U.S. Census data for 1940. Accessed at Ancestry.com. See also, "Frances Margaret Meyer Edwards," *Stanford Magazine*, online, May/June 2009. Accessed October 28, 2020. https://stanfordmag.org/contents/obituaries-5403.

<sup>&</sup>lt;sup>120</sup> Eugene T. Sawyer, *History of Santa Clara County, California*, (Los Angeles: Historic Record Co., 1922), 1022.

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#### Previous Historic Evaluations:

In 2004, an intensive level survey and evaluation of Old Bookstore, including the Old Store and non-extant one-story additions to the Old Store, was prepared by Stanford University's Office of the University Architect and Campus Planning and Design using DPR 523 A and B forms.

The 2004 survey evaluated the property identified as the Old Bookstore for individual eligibility to the National and California registers.

Under Criterion A/1, the evaluation described:

The Old Bookstore and Candy Store [a reference to one of the Old Store's original occupant Wilson's Candy Store] structures are the last of the few early 'student service/retail' buildings on the Stanford campus. While they are located at an important site that was once significant as the transition between the early academic core and the former residential neighborhood, this association is no longer evident in the physical sense, and the Old Union Building has eclipsed the Bookstore in its historic association as an important student services building. The building does not meet the criteria for listing on the National Register under Criterion A, nor the California Register under Criterion 1.<sup>121</sup>

Under Criterion C/3, the evaluation described:

The Old Bookstore is a unique example of Mission architecture on the campus, as well as an important component of the historic character of Lasuen Mall. It was designed by Arthur Bridgman Clark, a Stanford professor from 1892 to 1931 and the head of the art and architecture department. He is well known as the...Architect of Record of the Lou Henry Hoover house, a National Historic Landmark, although the design is credited more to Mrs. Hoover than to Arthur Clark. Without knowing the full range of his work, it is doubtful that the Old Bookstore, especially with its other additions, would be considered an important work of Arthur B. Clark, or that he would be considered a master architect of national renown, therefore the building does not meet National Register Criterion C. For similar reasons, it can be concluded that the building does not meet the California Register under Criterion 3. Since California Register criteria is used to determine local significance, the structure does not meet the criteria for local listing despite the fact that Arthur B. Clark would probably be considered an architect of local renown.<sup>122</sup>

The 2004 evaluation was undertaken prior to the 2007 Barnum Center project that replaced one-story additions to the Old Store with a one-story connector and the two-story building to its east, and also resulted in rehabilitation of the Old Bookstore and Old Store. These earlier additions had diminished the overall integrity of the Old Bookstore and Old Store. Thus, this 2020 evaluation considers the property's existing condition, design, and potential historic merit based upon its current design that results from the 2007 project.

#### **Current Historic Status:**

The subject building is not currently listed on the National Register or California Register. The building is not currently listed in the State of California Office of Historic Preservation's Built Environment Resource Directory (BERD) as of March 2020.

#### Statement of Significance:

In order for a property to be considered eligible for the California Register of Historical Resources (California Register), the property must possess significance and retain integrity to convey that significance. The criteria for designation are:

- 1. (Events): Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States.
- 2. (Persons): Associated with the lives of persons important to local, California or national history.
- 3. (Architecture): Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values.
- 4. (Information Potential): Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation.

<sup>&</sup>lt;sup>121</sup> Ruth Todd and Elena Angoloti, State of California Department of Parks and Recreation 523 A Primary Record and 523 B Building Structure and Object Record: Old Bookstore, Stanford University, Recorded March 27, 2004. On File with Stanford University.

<sup>&</sup>lt;sup>122</sup> Ruth Todd and Elena Angoloti, State of California Department of Parks and Recreation 523 A Primary Record and 523 B Building Structure and Object Record: Old Bookstore, Stanford University, Recorded March 27, 2004. On File with Stanford University.

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Evaluating Significance of Events and Persons at a Major Research University As described in the Historic Context and Survey Report.

> Criteria 1 and 2 (association with significant events or significant persons) are challenging to apply consistently in the context of a major research university. The university is an engine of discovery and innovation: the language of research is correspondingly replete with "statements of significance" that promote the importance of nearly every research project and publication. A search for the word "significance" on Stanford's website produced 49,000 results, "significant" yielded 212,000 results.

The university has employed more than 6,000 faculty members since its founding 125 years ago; nearly all of these scholars might be considered "significant" persons in their fields. Indeed, this is a basic requirement for promotion to the rank of Professor at Stanford.

In addition to many individuals who have achieved the rank of professor, or have served as department chairs, many others have served as research assistants, visiting fellows or scholars, or have otherwise supported research of principal researchers. Some of these individuals have been honored with prestigious national or international awards such as the Nobel Prize, Pulitzer Prize, or Presidential Medal of Freedom (PMF). These awards can help to identify potentially significant persons or groups "whose activities are demonstrably important within a local, state or national historic context," as described in National Register Bulletin 15.123

Although these awards are very notable honors, the professional contributions of the recipient must also be directly associated with the resource being evaluated, such as being the location where a significant scientific discovery was made by the individual, or as the primary location where the individual's work occurred. Regarding the association of properties to an individual's contributions to history, National Register Bulletin 15 describes:

Each property associated with an important individual should be compared to other associated properties to identify those that best represent the person's historic contributions. The best representatives usually are properties associated with the person's adult or productive life. Properties associated with an individual's formative or later years may also gualify if it can be demonstrated that the person's activities during this period were historically significant or if no properties from the person's productive years survives. Length of association is an important factor when assessing several properties with similar associations. A community or State may contain several properties eligible for associations with the same important person, if each represents a different aspect of the person's productive life. A property can also be eligible if it has brief but consequential associations with an important individual. (Such associations are often related to specific events that occurred at the property and, therefore, it may also be eligible under Criterion A.)

#### Criterion 1 (Events)

#### Old Bookstore

Originally completed in early 1906, the Old Bookstore opened roughly two months prior to the Great Earthquake of 1906. The Old Bookstore was one of several early campus buildings constructed between the 1890s and 1906 that are associated with the early development of Stanford University. Damaged by the earthquake like many of the early campus buildings and structures, the Old Bookstore was reconstructed within a year, and resumed its role as the first permanent building to house the Stanford Bookstore, which was previously housed in temporary buildings. The Stanford Bookstore's business expanded into the adjacent Old Store building between 1923 and 1924, and in 1929, the Old Bookstore and Old Store were physically connected, at which point both formerly separate but adjacent buildings became a single University building operated by the Stanford Bookstore. This use continued until 1960 when the Stanford Bookstore relocated to a new building and the Western Civilization Library began occupancy of the Old Bookstore and Old Store, which remained connected.

Although the Old Bookstore is among the earliest extant buildings on the campus, it does not individually represent the pattern of early campus development between the 1890s and 1906, during which time Leland, and later Jane Stanford, directed the University's planning and development. Many buildings including academic, athletic, student service, and residential buildings were built during the period to comprise the campus, with many also reconstructed after the 1906 earthquake. The Old Bookstore is one element within that context but does not stand out individually for having played a role that was particularly

<sup>&</sup>lt;sup>123</sup> Source provided by Stanford University staff in, N.Baradaranfallahkhair, J.Cain, L.Conway, L.Jones, S.Marfatia, Stanford University, State of California Department of Parks and Recreation (DPR) Forms prepared for Lou Henry-Herbert Hoover Memorial Buildings District, April 2021. National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation, (National Park Service, 1997), 14.

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significant relative to the other campus buildings. The campus' most prominent and earliest buildings, are more representative of Leland and Jane Stanford's vision of a formal campus layout, featuring monumental masonry construction.

Within the context of the University's establishment and early development, the provision of retail services does not appear to stand out in its own right as a significant pattern, as such services were, and remain, common at educational institutions, whether they were housed in separate facilities, or within larger university buildings serving multiple functions. The Old Bookstore is not associated with any events such as significant inventions, scientific discoveries, or other research and development activities that may be considered significant in the context of a major research university's history.

#### Old Store

In 1910, the one-story detached building known as the Old Store was constructed directly east of the Old Bookstore. The building originally housed campus branch locations of Wilson's Candy Store and Green's Cigar Shop between 1910 and 1923, when the campus' YMCA began to occupy the building, replacing the original tenants. The YMCA remained in the building until 1929, when the Old Store was physically connected to the Old Bookstore and the Stanford Bookstore expanded to fully occupy both buildings. The Old Store was built as a secondary or supplementary building to the Old Bookstore, and although built in 1910, does not individually represent the early establishment of the campus or historic patterns of development within the campus. The Old Store originally housed campus-branch locations of the candy and grocery business tenants and did not serve as a headquarters location for either business. After 1929, the Old Store's separate retail uses ceased and it became a supplemental portion of the Old Bookstore. After 1960, the building continued be used in conjunction with the connected Old Bookstore. Additionally, the Old Store is not associated with any events such as significant inventions, scientific discoveries, or other research and development activities that may be considered significant in the context of a major research university's history.

Overall, research did not identify any singular events of historic importance that occurred within the Old Bookstore or Old Store, or within the buildings after they were physically and functionally connected. Therefore, neither building, appears to be individually significant under Criterion 1.

#### Criterion 2 (Persons)

#### Old Bookstore

The Old Bookstore does <u>not</u> appear to be individually eligible under Criterion 2. Since its founding in 1897, through 1999, the Stanford Bookstore operated as an independent nonprofit entity directed by a board comprised of numerous members over its history. Throughout its existence in the Old Bookstore the business employed many staff. Managers were most often associated with the businesses' day-to-day operations, while board members, most of which appear to have been university professors, were more strongly associated with the academic buildings where they practiced. W.F. Hyde was the bookstore's first manager but does not appear to have made any significant contributions to history, based on limited information about Hyde's life and career. Guy C. Miller succeeded Hyde and was an important historian in the City of Palo Alto ca. 1920s to the early 1950s, and was also the city's first mail carrier. Miller's achievements are thus more directly tied to his work in Palo Alto and are not strongly associated with the Old Bookstore.

Subsequent managers Raymond M. Stager and Helena T. Bauchou managed the Stanford Bookstore from 1920-1941 and 1941 to ca. 1956 (potentially later), respectively. Stager was a leader in the business during its period of expansion, which saw the Old Store building incorporated into the bookstore's day-to-day operations between 1923 and 1929. Bauchou served the longest tenure of the four known bookstore managers, which occurred after both buildings were physically connected. Overall, research did not find that Stager or Bauchou made significant contributions to history. The individuals identified above were not participants in any research, development, scientific, or scholarly activities that resulted in a significant invention, significant contributions to public service, or production of significant scholarly works that occurred in the Old Bookstore.

Therefore, the Old Bookstore does not appear be individually eligible under Criterion 2.

#### Old Store

The Old Store does <u>not</u> appear to be individually eligible under Criterion 2. Of the Old Store's past occupants, Wilson's Candy Store was one of the original occupants and leased space in the building from 1910 until 1923. The store closed completely in 1923 when privately operated businesses were barred from the University. The Old Store was the second location for proprietor Ernest Wilson's business on the Stanford University campus, the first being a small store housed in a temporary building that operated between 1896 and 1900. He opened a store in Palo Alto thereafter. Wilson's achievements in the

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confectioner business were noted as early as 1922, in historian Eugene T. Sawyers History of Santa Clara County. By 1930, Wilson's work and success as a candy maker spread to locations in Palo Alto and seven other cities in northern California. The Old Store building at Stanford was not the Ernest Wilson Company's first or primary business location or a location where candy was produced; instead, Wilson's business was primarily based in Palo Alto. Existing documentation of Wilson's life and career also does not support a finding that his contributions to history at Stanford University or in California were significant. Research did not find evidence that Wilson's contributions to confectionary arts or commerce-related history were significant such that they influenced the history of Santa Clara County, California, or the nation. The individuals identified above were not participants in any research, development, scientific, or scholarly activities that resulted in a significant invention, significant contributions to public service or production of significant scholarly works that occurred in the Old Store.

Therefore, the Old Store does not appear individually eligible under Criterion 2.

#### Criterion 3 (Architecture)

#### Old Bookstore

The Old Bookstore was built in 1906 in the Mission Revival style by respected university professor and architect Arthur B. Clark. In addition to teaching graphic arts at Stanford University for four decades, Clark designed several houses on campus and in neighboring Palo Alto. Clark is most often linked as architect of record of the Lou Henry Hoover House, but extensive research on that building revealed that Clark himself did not take credit for the building's design, and the work in designing the building was led by other architectural professionals in addition to Lou Henry Hoover. Clark's architectural body of work is most directly linked to several houses he designed in the Colonial Revival, Arts & Crafts, and Craftsman styles for colleagues who resided on campus and in Palo Alto. Clark also designed one since-demolished building at his alma mater, Syracuse University. Additional institutional buildings designed by Clark were unable to be identified, while the Old Bookstore is the only known building designed by Clark in the Mission Revival style. Clark's professional career balanced academic responsibilities and architectural commissions, which were chiefly sourced from colleagues and designed during summers away from academia. Several of Clark's residential designs have been listed on Palo Alto's Historic Resource Inventory for their architectural guality and three additional residences are listed on the Santa Clara County Heritage Resource Inventory. The Lou Henry Hoover House is also designated as a National Historic Landmark. Overall, these designations indicate the high architectural quality of Clark's residential work, and serve as a recognition of his "consummate skill" and his work's "greatness" in a local area, which supports his meeting the threshold of a local master architect. However, Clark's significance to local architecture, and mastery of residential design in Colonial Revival, Arts & Crafts, and Craftsman styles is not represented by Old Bookstore's Mission Revival styling or its original use.

Masonry contractor Ephraim Balsbaugh led the reconstruction effort for the Old Bookstore building between 1906 and early 1907 and was a prominent contractor in Palo Alto who was noted for laying many curbs and sidewalks in Palo Alto, as well as several projects in the Sierra. Although Balsbaugh was a locally prominent masonry contractor, his role in the design of the building was limited to its reconstruction. Research did not find that the reconstruction of the building applied any particularly innovative approaches or construction techniques that Balsbaugh was associated with.

The Old Bookstore was originally built during a period when Mission Revival style was very popular. The Mission Revival style was employed across California and the American Southwest between the 1890s and ca. 1920s, and in more limited cases into the 1940s as elements of the Mission Revival and later Spanish Colonial and Mediterranean Revivals were blended. The style was applied to a variety of building typologies from residences to railroad stations to schools and other academic or institutional buildings. Highly representative examples of the style typically featured stucco or concrete, hip or gable roof forms, deeply set windows, shaped parapets, terracotta roof tiles, and sparse ornamentation, as well as espadanas, belltowers, and arcaded walls that drew direct inspiration from California's missions. At Stanford University, the Old Bookstore provides a modest example of the style's application to a commercial building. The building's lack of features including an espadana, belltower, arcades and arched openings limits its expression of the Mission Revival style to elements embodied by many buildings rendered in the style, but not in a particularly distinctive way. The building features modest rectangular block forms that are not specific to or strongly associated with Mission Revival style design, and are common, but not distinctive, among commercial typologies.

The university's earlier monumental buildings of the Quad are Richardsonian Romanesque with arcaded walls and plan set around a central court drawing inspiration from California missions and are identified in scholarship as the earliest major examples of the application of mission influence to collegiate buildings. For this reason, these earlier buildings are particularly significant architecturally in terms of their association with the development of the Mission Revival style. The Old Bookstore, however, has not been found to have been influential within that design movement. The building was not featured in publications or considered a particularly notable example of the style based upon review of available scholarship. The Old

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Bookstore does not possess high artistic values as it does not fully embody or provide a composition that incorporates the Mission Revival style's most distinctive features, such that it would fully articulate the Mission Revival style's aesthetic ideal.<sup>124</sup>

#### Old Store

Given the Old Store's similarity in terms of design and origination to the Old Bookstore, it provides a very modest and derivative example of the Mission Revival style and does not stand out in its own right as a significant example of Mission Revival design. Rather, the building appears to have been designed to complement the style of the Old Bookstore and to supplement capacity for commercial uses alongside the pre-existing bookstore building. Research was unable to determine who was responsible for the design and construction of the Old Store. Architectural plans for the building's original construction were not found in the University's archives, and available historical accounts of the building's origination do not name any design professional. In similarity to the Old Bookstore, the Old Store does not possess individually distinctive features of the Mission Revival style, and does not possess high artistic values.

The two originally separate buildings were physically and functionally joined in 1929 and have functioned as a single building since that time. As connected, the Old Bookstore and Old Store do not provide a particularly exceptional example of the style when compared to more distinctive examples in the Bay Area region and throughout California that possess a higher degree of features that are specific to the Mission Revival style.

Overall, the subject property does not appear to be individually eligible under Criterion 3.

#### Criterion 4 (Information Potential)

The subject property was not evaluated under Criterion 4 (Information Potential) as this criterion is typically reserved for archaeological sites.

#### Potential Historic Districts and Eligibility as Contributors

Resources that do not appear to be individually eligible may be eligible as contributors to previously identified or potential historic districts.

Five historic district evaluations have been prepared for areas of the Stanford University campus in recent years: the Row Neighborhood district analysis (2015), the district analysis of the Stanford campus in the Historic Survey Report (2017), the Lou Henry Hoover – Herbert Hoover Memorial Potential District Analysis (2020), the Center for Advanced Study in the Behavioral Sciences Historic District (2021), and the Bonair Siding historic district evaluation (2021).<sup>125</sup> One eligible historic district was identified and recorded: the Center for Advanced Study in the Behavioral Sciences Historic District. All five district evaluations were peer reviewed by independent professionals for the County of Santa Clara, and the findings were accepted by the County for the purpose of project review and/or permitting.<sup>126</sup>

While the Old Bookstore and Old Store have not previously been formally evaluated as contributors to a potential historic district, they were included in an area of the campus that the Historic Survey Report found did not form a historic district, and is immediately adjacent to the Row Neighborhood study area that was also found not to qualify as a historic district. The Row Neighborhood was the only one of four residential neighborhoods to be built that was drawn on the original plan for Stanford University drawn by Frederick Law Olmsted. This neighborhood was developed to the southeast of the Main Quad from the intersection of Escondido Road and Lasuen Street, where the Old Bookstore and Old Store were built in 1906 and 1910, respectively. This area had a small-town character with tree-lined streets, the Old Bookstore, Old Store, the campus' Post Office located further south on Lasuen Street, an inn, and restaurants. The area also accommodated auto traffic and parking. The area was extensively transformed in the 1960s by the development of new Post Office and Bookstore buildings in 1960, and the development of an undergraduate library (Meyer Library) in 1965, as illustrated on the plan drawn by Thomas Church provided above. These developments also resulted in modification of auto circulation, creating a car-free campus area. Lasuen Street

<sup>&</sup>lt;sup>124</sup> National Register Bulletin 15, 20.

<sup>&</sup>lt;sup>125</sup> 1) *The Row Neighborhood Historic Context and Evaluation Report* (2015), peer reviewed by Carey & Co. and accepted by the County of Santa Clara in July 2015; 2) *Historic Resources Survey for the Stanford University Campus* (2017), peer reviewed by ESA and JRP and accepted by the County of Santa Clara in 2019 at a programmatic level for the GUP FEIR; 3) Historic resource evaluation (DPR) for the *Lou Henry Hoover-Herbert Hoover Memorial Potential Historic District* (2020), peer reviewed by LSA and accepted by the County of Santa Clara in 2021; 4) Historic resource evaluation (DPR) for the *Center for Advanced Study in the Behavioral Sciences Historic District* (2021), peer reviewed by LSA and accepted by the County of Santa Clara in 2021; 5) Historic resource evaluation

<sup>(</sup>DPR) of the *Bonair Siding Potential Historic District* (2021), peer reviewed by LSA and accepted by the County of Santa Clara in 2021. <sup>126</sup> The 2017 survey of the Stanford University campus as associated with a permit application that was later withdrawn. County staff recommended use of the Survey at a programmatic level for the project EIR and also as "a cohesive framework for ongoing historical evaluation at Stanford University" supplemented by individual project-specific evaluations. Staff Report, Historical Heritage Commission Special Meeting, April 10, 2019.

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became Lasuen Mall, and Alvarado Row and Escondido Road were realigned, forming the existing Escondido Mall. In 2007, the two-story addition to the Old Bookstore and Old Store was completed, during the development of the Barnum Center, which altered the setting of the Old Store and Old Bookstore to the immediate east of these buildings. Additionally, in 2015, Meyer Library was demolished due to seismic deficiencies and a park was developed in its footprint, Meyer Green. Overall, the setting of the Old Bookstore and Old Store experienced alterations between the 1960s and the present, such that the setting, feeling, and association of each building was impaired to the degree that no historic district would be likely to include these buildings, the 2007 addition, or the footprint of Meyer Green.

#### Finding

Overall, neither the Old Bookstore nor the Old Store appear to be individually eligible or as contributors to any known or potential historic districts that are eligible for listing on the California Register of Historical Resources.

#### Integrity

In order to qualify for listing in any local, state, or national historic register, a property or landscape must possess significance under at least one evaluative criterion, as described earlier, and retain integrity. Integrity is defined by the California Office of Historic Preservation as "the authenticity of an historical resource's physical identity by the survival of certain characteristics that existing during the resource's period of significance," or more simply defined as "the ability of a property to convey its significance."

As the subject property does not appear to be eligible under any criteria, an analysis of integrity is not required.

#### Conclusion

The Old Bookstore does not appear to be individually eligible for listing on the California Register of Historical Resources. The building does not appear to be located within or contribute to any previously identified or potential historic districts. Accordingly, the Old Bookstore does not appear to meet the definition of a historic resource for the purpose of review under the California Environmental Quality Act (CEQA).

The Old Store does not appear to be individually eligible for listing on the California Register of Historical Resources. The building does not appear to be located within or contribute to any previously identified or potential historic districts. Accordingly, the Old Store does not appear to meet the definition of a historic resource for the purpose of review under the California Environmental Quality Act (CEQA).

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Resource Name or # Barnum Center (Old Bookstore and Old Store) \*Recorded by Josh Bevan, Page & Turnbull, Inc.

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Primary # HRI #

Trinomial

Page 50 of 52 \*Recorded by Josh Bevan, Page & Turnbull, Inc.

Resource Name or # Barnum Center (Old Bookstore and Old Store) \*Date September 17, 2020 🗵 Continuation □ Update

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State of California — The Resources Agency	Primary #
DEPARTMENT OF PARKS AND RECREATION	HRI #
CONTINUATION SHEET	Trinomial

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\*Recorded by Josh Bevan, Page & Turnbull, Inc.

Resource Name or # Barnum Center (Old Bookstore and Old Store) \*Date September 17, 2020 🗵 Continuation □ Update

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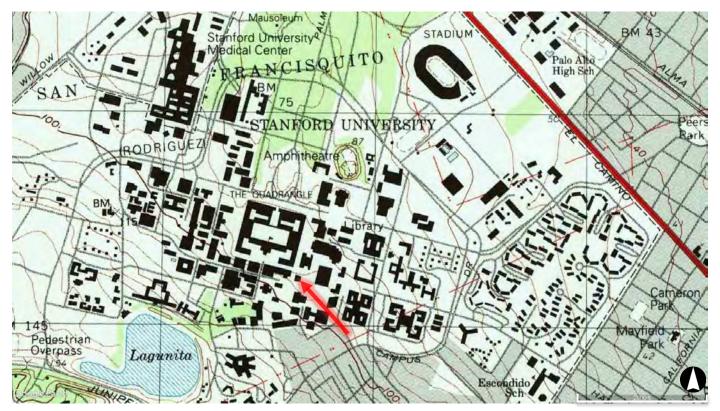
#### Preparer's Statement of Qualifications

This evaluation was prepared by Page & Turnbull of San Francisco. California. Page & Turnbull staff responsible for this report include: Ruth Todd, FAIA, AICP, Principal-in-charge; Christina Dikas, Associate Principal and Project Manager; and Josh Bevan, AICP, Cultural Resources Planner and primary author; all of whom meet or exceed the Secretary of the Interior's Professional Qualification Standards for Historic Architecture, Architectural History, or History.

Primary # HRI# Trinomial

Page <u>52</u> of <u>52</u> \*Resource Name or # (Assigned by recorder) Barnum Center (Old Bookstore and Old Store) \*Map Name: USGS 1:24000-scale Quadrangle for Palo Alto, CA 1997 \*Scale: <u>1:24,000</u> \*Date of map: <u>1997</u>

#### Location Map



Portion of USGS 1:24000-scale Quadrangle for Palo Alto, CA 1997, Published Date: 1997-01-01. A red arrow points to the subject building's location within the campus of Stanford University. Edited by Page & Turnbull.

## **ATTACHMENT F**

Statement of Compatibility - GSE Project (prepared by Stanford)



**Existing** Context Source: WRA/CAW



Proposed Design Source: WRA/CAW

# Graduate School of Education



February 15, 2022 Charu Ahluwalia and Leza Mikhail, County of Santa Clara 70 West Hedding Street, East Wing, 7<sup>th</sup> floor San Jose, CA 95110

## Re: Statement of Compatibility for the Graduate School of Education Rehabilitation Project (SOC #3) - PLN21-011

Dear Ms. Ahluwalia and Ms. Mikhail,

This report documents the compatibility analysis for the rehabilitation and new construction project for the Graduate School of Education (Stanford Project # 5413, BLDG ID: Barnum Center 03-050 & North Building 03-300; PARCEL: 142-07-082, 142-07-085, & 142-07-087) located at 505 & 485 Lasuen Mall, Stanford, California. BLDG ID: New South Building (03-320) located at 507 Lasuen Mall, Stanford, California.

## SUMMARY OF FINDINGS

The Graduate School of Education Project (project) proposes to create a complex that consolidates the school's dispersed programs into one location. The project would modify the existing "North Building," construct a new "South Building" and create a "Commons" (courtyard). The project scope includes:

- 1. **Rehabilitation of the North Building.** The North Building has been identified as a significant historic resource determined potentially eligible for listing in the California Register of Historic Resources.
- 2. **Modifications to the "Barnum Center."** Three existing buildings together form the "Barnum Center." They each have been evaluated and determined not eligible for listing in the California Register of Historic Resources or the National Register.
- 3. **Construction of a compatible new South Building** that includes the demolition of the 1910 and 2007 buildings that are part of the Barnum Center.<sup>1</sup>
- 4. **Construction of a new Commons** (courtyard) located between the North and South Buildings.

The scope of this report is to review the rehabilitation design of the North Building for consistency with the Secretary of Interior's Rehabilitation Standards (SIS) for the treatment of Historic Properties and the compatibility of the new South Building with the North Building and other nearby buildings that are listed on the California or National Register or have been determined to be eligible for listing. To implement the Mitigation Monitoring and Reporting Program adopted in connection with the Stanford General Use Permit (Mitigation Measure HA-1), whenever new development is proposed in the

<sup>&</sup>lt;sup>1</sup> Barnum Center DPR, Recorded by J. Bevan, Page & Turnbull, September 17, 2020. Revised and resubmitted on August 19, 2021, revised and resubmitted February 2022.



UNIVERSITY ARCHITECT / CAMPUS PLANNING AND DESIGN immediate vicinity of a historic resource, Stanford submits a Statement of Compatibility

(SOC) to the County Planning Office confirming that the new building design has been reviewed and is compatible (as defined by the SIS) with the historic resource.<sup>2</sup> This report analysis also can be applied to confirming substantial conformance with the Santa Clara County Guidelines for Architecture and Site Approval (ASA), which are less specific than the SIS. (For discussion of a specific ASA-related neighborhood compatibility concern, please refer to the Appendix).

## **North Building**

This compliance analysis below references the **Rehabilitation Standards** defined by the SIS as the "act or process of making possible an efficient compatible use for a property through repair, alterations and additions while preserving those portions or features that convey its historical, cultural or architectural values."<sup>3</sup>

**Substantial adverse change** means demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired.<sup>4</sup> The significance of a historic resource is materially impaired when a project demolishes or materially alters in an adverse manner those physical characteristics of a historic resource that convey its historic significance and that justify its inclusion or potential inclusion in the California Register.<sup>5</sup>

As per the 2021 DPR update, character-defining features that qualify the North Building for listing in the California Register of Historic Resources (CRHR) are "present on the front façade and absent or weakly expressed on the back and sides. Compared to other examples of Beaux Arts collegiate buildings even the primary façade of Graduate School of Education is fairly plain, and a late example of the style."<sup>6</sup> This primary façade represents a transition between the traditional Beaux-Art style and a harbinger of modernity, a period during which buildings on campus continued to get simpler as they were stripped of ornamentation. The North Building's period of significance (1938) was noted as "outside the period of peak popularity of the style" Beaux Art (Northern

https://drive.google.com/file/d/0B0BM4gZWP7M6WGE3Zzh6VFA1NW8/view?resourcekey=0-

- <sup>4</sup> 14 Cal. Code Regs. § 15064.5(b)(1).
- <sup>5</sup> 14 Cal. Code Regs. § 15064.5(b)(2).

<sup>&</sup>lt;sup>2</sup> For additional information regarding the County's interpretation of Mitigation Measure HA-1, please see the interpretation memorandum found at

<sup>&</sup>lt;u>RArhi32nfPHNIgao12ApHQ</u> The memorandum explains "For new development within 75 feet of a building that is on the County Inventory or that has previously been determined by the County to be eligible for listing, Stanford prepares design guidelines and provides a letter to the County Planning Office confirming that the new building is compatible with the historic resource, as defined by the Secretary of the Interior's Standards."

<sup>&</sup>lt;sup>3</sup> The Standards for Rehabilitation, *Definitions*, codified in <u>36 CFR, Chapter 1, Part 68.2</u>.

<sup>&</sup>lt;sup>6</sup> Updated Graduate School of Education DPR (North Building), Recorded by L. Jones, Stanford University October 6, 2021 revised and resubmitted January 2022. P. 2/14



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European influence).<sup>7</sup> The 2021 DPR update identifies the North Building as a "locally significant example with spare ornamentation – limited to the decorative buttresses, brackets and names of educators carved on the primary façade."<sup>8</sup> Furthermore, except a connective element the "secondary elevations" and the "severely plain interiors" were identified as "weaker expressions of the Beaux Arts style than the primary facade."<sup>9</sup> Hence the proposed project:

- programmatically changes the **non-character-defining interiors** to enable continued use of the property
- compatibly modifies the sections of the secondary South and North façades
- preserves the primary West façade's character-defining features such that the property continues to convey its architectural values and historical significance.

The 2021 DPR also notes that "Both prior evaluations found that the Graduate School of Education has **integrity**. No major alterations have occurred to the building or its setting since 1938, and the building remains in continuous use by the Graduate School of Education for its traditional academic activities (teaching and research)."<sup>10</sup> The North Building is "eligible for listing on the **California Register under criterion 3** as a fine example of Depression-era educational architecture."<sup>11</sup> Therefore, out of the seven general aspects of integrity the retention of three related to architecture: **design, materials, and workmanship** are most important for the building to continue to express its significance.



Figure 1 Green Library in Beaux-Art Classical Source: University Archives



Figure 2 North Building in Depression-era Architecture Source: Stanford News Service, Linda A. Cicero

<sup>&</sup>lt;sup>7</sup> Ibid. P. 7/14

<sup>&</sup>lt;sup>8</sup> Updated Graduate School of Education DPR (North Building), Recorded by L. Jones, Stanford University October 6, 2021, revised and resubmitted January 2022. P. 7/14

<sup>9</sup> Ibid. P. 4/14 & 13/14

<sup>&</sup>lt;sup>10</sup> Ibid. P. 14/14

<sup>&</sup>lt;sup>11</sup> School of Education Building DPR, Recorded E. Angoloti and L. Jones, Stanford University January 23, 2009. P. 1/7



UNIVERSITY ARCHITECT / CAMPUS PLANNING AND DESIGN

**Design** is defined by elements that create the overall form and style of a property. According to the DPR evaluation, "While the design of the building does not represent the highest level of work by its architect, Arthur Brown, Jr., it is a remarkably well-preserved example of a period and style of construction."<sup>12</sup> The North Building's design and construction occurred between two world war events, when limited resources and uncertain times brought forward debates about architectural style in the western world. This design represents Arthur Brown's transition from the "ornate Beaux Art" architectural vocabulary of the Green Library (Figure 1) to the stark nakedness of the "Depression-era architecture" of the North Building (Figure 2), that shift is most explicitly represented on the character-defining primary West façade.<sup>13</sup> **The project proposes to preserve and restore the primary West façade.** The secondary facades (North and South) are highly simplified, the project proposes to modify them in compliance with the Rehabilitation standards for continued use.

**Materials** are defined by physical elements that represent a particular period, whereas Workmanship is defined by the crafts representing a culture during a given period. "The building is a highly simplified example of Classical Revival style executed by an architecture firm best known for ornate Beaux Arts civic buildings; it embodies a sense of the thrift and seriousness associated with this era of American history. This is evident in the simplification of ornamental details on the building and in the highly focused and limited use of sandstone on the front entry, transitioning to less expensive concrete on the rest of the building."<sup>14</sup> The project proposes to preserve and restore materials and workmanship concentrated on the character defining primary west façade. "Generally speaking, preservation of historic buildings inherently implies minimal change to primary or 'public' elevations... the first place to consider placing a new addition is in a location where the least amount of historic material and character-defining features will be lost. In most cases, this will be on a secondary side or rear elevation"<sup>15</sup> The project proposes to modify the highly simplified secondary facades (North and South) in compliance with the Rehabilitation standards for continued use. The addition proposed on the South façade is subordinate and material loss is limited to less than 8%, a quantity that complies with the SIS Rehabilitation standards for continued use.

#### South Building

The new compatible South Building, located directly across from the North Building,

<sup>&</sup>lt;sup>12</sup> Ibid.

<sup>&</sup>lt;sup>13</sup> School of Education Building DPR, Recorded E. Angoloti and L. Jones, Stanford University January 23, 2009. P. 1/7.

<sup>&</sup>lt;sup>14</sup> Ibid.

<sup>&</sup>lt;sup>15</sup> Technical Preservation Services (TPS) is the Cultural Resources directorate of the National Parks Service (NPS). As the author of the Secretary of Interiors Standards (SIS), the TPS is responsible for developing and guiding standards for historic buildings, and has produced an extensive amount of technical, educational, and policy guidance on the maintenance and preservation of historic buildings. TPS Preservation Brief #14, P. 3



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would replace non-eligible resources.<sup>16</sup> The Old Bookstore building, also <u>not</u> eligible, would remain as the only building of the three-building Barnum Center complex. It will continue to carry the Barnum Hub name and serve the needs of the Graduate School of Education functionally and programmatically. Visually the Old Bookstore (renamed the Barnum Hub) would continue to anchor itself in the foreground of the new South Building along Lasuen Mall. Since three facades of this building display modest Mission-Revival parapets, topped with a prominent, steeply pitched, red-tile roof, retaining this highvolume original building in the foreground would seamlessly maintain the character of the North Building's immediate surroundings. Consequently, the West façade of the South Building would be reduced to a minor backdrop, deeply setback from the main street. Furthermore, the North and South Buildings are separated by a large courtyard that allows the two buildings to programmatically function together without altering the significance of the North Building.

Under CEQA, a project that meets the SIS Rehabilitation Standards for the treatment of Historic Properties shall be considered as mitigated to a level of a less-than-significant impact on the historical resource.<sup>17</sup> The compatibility analysis of the current project demonstrates that the project meets the SIS Rehabilitation Standards for the treatment of Historic Properties and therefore would result in a less-than-significant impact to the North Building and nearby historic resources – Quadrangle and Memorial Church SCL911 and Cecil H. Green Library SCL903 – located in the vicinity of the project site. The proposed design would not result in a substantial adverse change such that the significance of the listed historic resources would be materially impaired. For this reason, no further CEQA review is required.

Based on this analysis, the County of Santa Clara Planning staff can make a determination that the project is within the scope of the existing 2000 Community Plan/ General Use Permit EIR (2000 EIR) and does not require further CEQA review. The proposed project is within the scope of the 2000 EIR because it is an allowed use under the 2000 General Use Permit, it is within the square footage envelope that was evaluated in the 2000 EIR, and it is located within the geographic area that the 2000 EIR contemplated development would occur. Because the Graduate School of Education project is within the scope of the 2000 EIR, no further environmental document is required as long as the project would not result in a new or substantially more severe significant effect as compared to the environmental impacts disclosed by the 2000 EIR. This analysis shows that a new or substantially more severe significant impact to historic resources would <u>not</u> result from the proposed project.

<sup>&</sup>lt;sup>16</sup> Barnum Center DPR, Recorded by J. Bevan, Page & Turnbull, recorded on September 17, 2020, Revised and resubmitted on August 19, 2021, revised and resubmitted February 2022.

<sup>&</sup>lt;sup>17</sup> 14 Cal. Code Regs. § 15064.5(b)(3).



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## **REGULATORY FRAMEWORK**

The following Office of Historic Preservation documents were referenced for the SOC:

- 1. Code of Federal Regulation (CFR)
  - § Title 36, Chapter 1, Part 68 <u>Secretary of the Interiors Standards for the</u> <u>Treatment of Historic Properties</u>
- 2. National Parks Service (NPS)
  - Technical Preservation Services (TPS) <u>Applying Rehabilitation Standards</u> for New Construction.
  - TPS Preservation Brief #14 <u>New Exterior Additions to Historic</u> <u>Buildings: Preservation Concerns. (attached)</u>

In addition to the SIS Rehabilitation Standards, this compatibility analysis references the Technical Preservation Services (TPS) recommendations for <u>New</u> <u>Construction within the Boundaries of Historic Properties</u>. A companion to the SIS for Rehabilitation, these practical guidelines specifically define how related new construction can be successfully integrated into a context while protecting the historic resource's integrity and setting.

- 3. California State Laws
  - California Environmental Quality Act (CEQA) Guidelines §15064.5(b) of the California Code of Regulations
  - Office of Historic Preservation (OHP), <u>Technical Assistance Series #6</u>
  - o Office of Historic Preservation (OHP), <u>Technical Assistance Series #7</u>
  - o Office of Historic Preservation (OHP), Technical Assistance Series #10
  - o Office of Historic Preservation (OHP), <u>Technical Assistance Series #13</u>

The OHP "recognizes that the long-term preservation and enhancement of historical resources is dependent, to a large extent, on the good will and cooperation of the general public and of the public and private owners of those resources," therefore the intent of the legislature is to "… encourage the owners to perceive these resources as assets rather than liabilities, and to encourage the support of the general public for the preservation and enhancement of historical resources."<sup>18</sup>

## HERITAGE RESOURCES INVENTORY (HRI)

Santa Clara County Planning Office maintains a county-wide Heritage Resources Inventory. During the 2005 Phase II update, Quadrangle and Memorial Church and Cecil H. Green Library were identified as potentially eligible for listing on the California Register.<sup>19</sup> The assessment by Architecture & Archives on 3/31/04 identified physical characteristics of the historic resources that convey their historic significance as following:

 <sup>&</sup>lt;sup>18</sup> California State Law & Historic Preservation, Legislative Intent. <u>5020.7 Technical Assistance Series #10</u>
 <sup>19</sup> Santa Clara County Resources Inventory

https://www.sccgov.org/sites/dpd/Programs/HistoricPreservation/Pages/Inventory.aspx



## STANFORD UNIVERSITY UNIVERSITY ARCHITECT / CAMPUS PLANNING AND DESIGN

Resource	Period of Significance	Character Defining Features
Quadrangle	1887-1954	"Overall composition and plan. Hierarchy of
and		detailing. Arcades (including columns,
Memorial		stonework, flooring, and ceiling materials),
Church		tile roofs and eave details, stone bas-relief,
SCL911		mosaics. Original windows and doors."20
Cecil H.	1919-1954	"Front composition: colonnades, tile roofs,
Green		arched windows, stone materials, bas relief.
Library		South side contrasting composition: window
SCL903		pattern within simple brick piers. North side
		stripped-down Romanesque. Original copper
		windows and heavy wood doors."21

## HISTORIC STATUS OF NORTH BUILDING & BARNUM CENTER (Refer to Attachments and Referenced Document Links)

- 1. This compatibility analysis addresses the School of Education Building (North Building) that has been evaluated twice and determined to be potentially eligible for the CRHR both times. Additionally, the original DPRs have been recently updated:
  - Partial seismic upgrade project in 2009 (County issued approvals based upon the evaluation).
  - 2017 Historic Resources Survey (Referenced Document Links: #2).
  - Recent North Building (Graduate School of Education Building) DPR, updated October 6, 2021, revised and resubmitted January 2022 specifically addresses character defining features, integrity evaluation, level of significance, interior analysis, and district evaluation.<sup>22</sup>
- 2. The Old Bookstore and Old Store have been evaluated three times and determined to be <u>not</u> eligible for the local, state, or national register all three times.
  - Seismic upgrade and 2007 building added to the Old Bookstore and Old Store (County issued approvals based upon the evaluation).
  - 2017 Historic Resources Survey (Referenced Document Links: #2).
  - Recent evaluation by Page & Turnbull (date recorded September 17, 2020, resubmitted revised evaluation on August 18, 2021, revised and resubmitted February 2022) specifically addresses district evaluation.<sup>23</sup>

<sup>&</sup>lt;sup>20</sup> L. Dill, Architecture & Archives, Main Quad - SCL911, 3/31/04 DPR, p.6

<sup>&</sup>lt;sup>21</sup> L. Dill, Architecture & Archives, Art Gallery - SCL903, 3/31/04 DPR, p.4

<sup>&</sup>lt;sup>22</sup> Updated Graduate School of Education DPR (North Building), Recorded by L. Jones, Stanford University October 6, 2021, revised and resubmitted January 2022. P. 13-14/14. Refer to Appendix for links.

<sup>&</sup>lt;sup>23</sup> Barnum Center DPR, Recorded by J. Bevan, Page & Turnbull, Recorded on September 17, 2020 Revised and resubmitted on August 19, 2021, revised and resubmitted February 2022. P. 47-48/52.



The project scope includes the partial rehabilitation of the Old Bookstore and demolition of the Old Store building and the 2007 building. Because these buildings are not considered eligible, the Old Bookstore, Old Store and 2007 building will not be further addressed as historic resources in this document.<sup>24</sup>

- 3. For this compatibility analysis the discussion also will reference the Quadrangle and Cecil H. Green Library as these properties are included in Santa Clara County's Heritage Resources Inventory (HRI).
- 4. Terman Engineering Laboratory (02-500, located 119' from the project site) and the new Bookstore (02-010, located 165' from the project site) have been evaluated and determined not eligible for the California Register of Historic Resources in the Historic Resources Survey that Stanford submitted in 2017.<sup>25</sup>

As explained above, the 2000 Community Plan/ General Use Permit mitigation measure HA-1 does not require assessment of compatibility with properties outside the project site that are not historic resources. Therefore, consistent with the County's long-standing interpretation of this measure, this compatibility analysis focuses upon buildings in the immediate vicinity that are on the County Inventory, have been determined previously by the County to be potentially eligible for listing, or that have been listed, on the California Register or the National Register. There are no unevaluated buildings in the immediate vicinity of the project.

<sup>&</sup>lt;sup>24</sup> Barnum Center DPR, Recorded by J. Bevan, Page & Turnbull, Recorded on September 17, 2020 Revised and resubmitted on August 19, 2021 revised and resubmitted February 2022.

<sup>&</sup>lt;sup>25</sup> Historic Context and Survey Report. Prepared for Stanford University by E. Angoloti, J. Cain, L. Jones, A. Kirk, and S. Marfatia. 2017.



#### **PROJECT SUMMARY**

The new design for the Graduate School of Education supports the school's bold academic and research mission and brings the school's programs, currently dispersed across the university, into one consolidated campus (Figure 3 - 5).

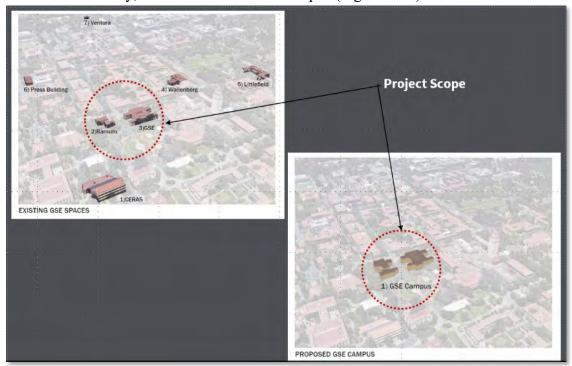


Figure 3 - Consolidating the Graduate School of Education Campus. Source: University Architect/Campus Planning and Design Office (UA/CPD)



Figure 4 - Site Context. Source: UA/CPD



## STANFORD UNIVERSITY UNIVERSITY ARCHITECT / CAMPUS PLANNING AND DESIGN



Figure 5 - Site Plan. Source: WRA/CAW Architects

The project would modify secondary facades of the existing "North Building," construct a new "South Building" and create a "Commons" (courtyard). The project scope includes -

- 1. Rehabilitation of the North Building in compliance with the SIS.<sup>26</sup>
- 2. Barnum Center modification.
- 3. Construction of a compatible new South Building that includes the demolition of additions to Barnum Hub (c.1910 & 2007).
- 4. Construction of new Commons (courtyard) located between the North and South Buildings.

**#1 Rehabilitation of the North Building** – Built in 1938 (Depression Era), the North Building of the School of Education is a three-story building with an H-shaped plan that allows for two small north and south courtyards. It fronts on Lasuen Mall and links to the adjacent Green Library building. The project carefully restores the identified character-defining features concentrated on the West front façade of the historic resource and sensitively introduces a new space and aesthetic on a secondary facade that respects, yet clearly distinguishes the new from the original.<sup>27</sup>

The project proposes a complete rehabilitation consisting of seismic strengthening; new mechanical, electrical, plumbing, and fire protection systems; improved accessibility, especially in the basement level; new elevators; and improved life safety systems,

<sup>&</sup>lt;sup>26</sup> The Standards for Rehabilitation, *Definitions*, codified in <u>36 CFR, Chapter 1, Part 68.2</u>.

<sup>&</sup>lt;sup>27</sup> Updated Graduate School of Education DPR (North Building), Recorded by L. Jones, Stanford University October 6, 2021, revised and resubmitted January 2022. P. 2/14



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including enclosed egress stairs. This rehabilitation effort would enable continued use of the building as a classroom and faculty facility, and essentially add another 75 to 100 years of usability for the building.

Restoration of the character-defining **primary west façade** (Figure 6) along Lasuen Mall scope includes:

- a) The west façade would be preserved 'as is.'
- b) Preservation and maintenance of exterior façade along Lasuen Mall includes the restoration of the existing arcades and classical features: buttresses, brackets, and restoration of existing metal windows.
- c) Removal, salvage, and re-installation of the existing clay tile roof that includes the removal and cleaning of roof tile in batches and the final re-installation of the tiles with new seismic-rated wire ties.

Restoration of the **east and north facades** (Figure 7-8) with minor modifications to the secondary east façade to accommodate the new program and to comply with current code includes:

- d) Assessment and restoration of windows on an individual basis.
- e) Lowering the existing north courtyard to bring light into the basement level and connect it to the exterior. As part of this work, the existing concrete basement walls would be exposed. These walls would be finished in compatible stucco finish to match the existing stucco above and salvaged south-façade windows would be reused.
- f) Removal, salvage, and re-installation of the existing clay tile roof that includes the removal and cleaning of roof tile in batches and the final re-installation of the tiles with new seismic-rated wire ties.

Modest addition to the existing secondary **south facade** (Figure 9). The North Building's secondary south-facing courtyard wall would not be rebuilt. The project would instead introduce a SIS compliant glass and metal curtain wall addition to provide a degree of transparency to showcase the school's functions.

- g) This intervention would programmatically connect the existing North and the new South Building (for design analysis refer to the Analysis Secretary of Interior's Standards starting on P.15).
- h) The space currently occupied by the underutilized and non-character defining Cubberley auditorium would be transformed into a new collaboration space called the *Educational Forum* (forum) with a metal and glass façade that would allow daylight to penetrate deep into the building core, and present a welcoming, transparent face to the Commons (refer to the auditorium discussion on P.13).
- i) A detached and completely reversible metal-trellis would be introduced as a freestanding element in the landscape of the south courtyard.
- j) Restoration scope includes the salvage and re-installation of the existing clay tile roof and the salvage and re-installation of selected windows to other facades. For salvage and reinstallation scope refer to WRA/CAW ASA submission (STANFORD PROJECT # 5363 B), Sheets NA0.10 through NA0. 20.



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Figure 6 – Primary character defining West Facade showing northwest corner along Lasuen Mall. Source: Stanford News Service, Linda A. Cicero



Figure 7 –Secondary East Facade view from northeast corner. Source: UA/CPD



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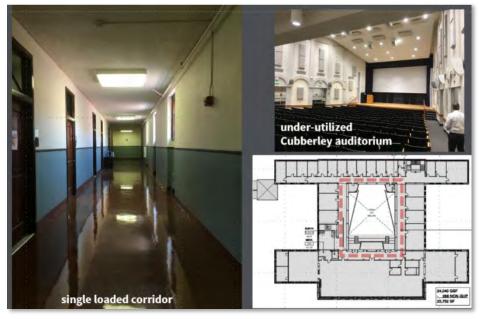
Figure 8 –Secondary North Facade and Courtyard. Source: UA/CPD



Figure 9 –Secondary South Facade and Courtyard. Source: UA/CPD



UNIVERSITY ARCHITECT / CAMPUS PLANNING AND DESIGN The Existing Cubberley Auditorium (Figure 10) located at the center of the building has been identified as not character-defining feature per the recently updated 2021 DPR.<sup>28</sup> Additionally, the auditorium no longer supports the pedagogy and the collegial environment the School of Education requires to educate the educators of the 21st Century. Since the interiors of the North Building are not significant, the auditorium can be removed without affecting the integrity or the historic significance of the North Building. This modification will programmatically allow for more collaboration space at the heart of the building (refer to Analysis – Secretary of Interiors Standards starting on P.15). Currently this under-utilized auditorium inhibits a sense of community among daily building occupants by separating them from one another around a relentless, single-loaded 'race-track' circulation hallway. A new multi-level naturally lit forum would replace the existing auditorium and serve as the main informal and formal convening space for visitors, students, and faculty. The forum would encourage strong interactions and provide direct connections to the new classrooms, the new South Building across the courtyard, and by extension, the rest of the university.



*Figure 10 – Non-character-defining Cubberly Auditorium at the center of the building to be removed. Source: WRA/CAW Architects* 

Due to the major program shift (away *from* siloed teaching spaces towards an open gathering and community spaces) and the project objective to bring the School of Education into one 'home' – two buildings flanking a courtyard – the design proposes to replace the south wall with a modest transparent addition that would relate to the new South Building, the adjacent outdoor space, and connect to the *forum*, located in the space of the former auditorium. The spaces directly inside and outside of this glass

<sup>&</sup>lt;sup>28</sup> Updated Graduate School of Education DPR (North Building), Recorded by L. Jones, Stanford University October 6, 2021, revised and resubmitted January 2022. P.13/14



UNIVERSITY ARCHITECT / CAMPUS PLANNING AND DESIGN façade are intended to be used together and become the central gathering spaces for the School of Education (Figure 11 for design analysis, refer to the Analysis – Secretary of Interiors Standards starting on P.15).



Figure 11 – The Educational Forum - A light filled multistorey space would replace the auditorium. Source: WRA/CAW Architects

**#2 Barnum Center Modification** – Located on the south edge of the courtyard, three existing connected buildings (Figure 12) would undergo modification so that one building (Old Bookstore) could function as a stand-alone structure. All three structures, including the Old Bookstore, Old Store, and 2007 buildings, have been evaluated, and none was considered eligible for listing.<sup>29</sup> Nevertheless, the proposed project treats the original Old Bookstore building respectfully and where stucco repairs are warranted, the new stucco would match the original stucco in color and texture. It will continue to carry forward the Barnum Hub name as the only remaining building out of the three-building complex.



Figure 12 – Existing Barnum Center with 1910 and 2007 Additions. Source: UA/CPD

**#3 Construction of a compatible new South Building** – includes the **demolition of the Old Store and 2007 buildings**, while retaining the **Old Bookstore building**. A new South Building would be located directly across from the North Building and would anchor the south end of the new courtyard, or "commons."

<sup>&</sup>lt;sup>29</sup> Barnum Center DPR, Recorded by J. Bevan, Page & Turnbull, September 17, 2020. Revised and resubmitted on August 19, 2021, revised and resubmitted February 2022.



UNIVERSITY ARCHITECT / CAMPUS PLANNING AND DESIGN #4 Construction of the new Commons – a courtyard – located between the North and South Buildings - Together, the North and South Buildings would form a courtyard that would be used for school-wide events and provide needed outdoor program space. These spaces would be programmed for social and academic programs, the Commons would also function as an entry portal from Lasuen Mall to Meyer Green.

## GRADUATE SCHOOL OF EDUCATION - STATEMENT OF COMPATIBILITY (SOC)

The SIS encourages the preservation of historic properties through the preservation of character-defining features and materials. The standards guide the maintenance, repair, replacement of historic materials and provide design guidance for compatible new additions to historic resources to ensure that the resources are preserved for generations to come. The SIS for the Treatment of Historic Properties provides four options for compliance – **preservation, rehabilitation, restoration, and reconstruction**. The compatibility analysis below references the **Rehabilitation Standards**.

### ANALYSIS - SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION Standard #1

## A property will be used as it was historically or be given a new use that requires **minimal change** to its distinctive materials, features, spaces, and spatial relationships.

The historic property (the North Building) is currently the main facility for the School of Education. To realize the School of Education's mission, consolidate the program, and transform pedagogy, the building would need to be substantially enlarged, in addition to the removal of the existing auditorium. While the current building served well the *Sage on Stage* methods of teaching of the past era, it can no longer serve the current *Guide on the Side* education philosophy that requires smaller classrooms and a more collegial environment (Figure 10-11).<sup>30</sup>

So, instead of an attached large addition that "would have too much of a negative impact on the historic building and it would not meet the Standards," the project proposes "a separate building in a location where it will not adversely affect the historic structure and its setting."<sup>31</sup> The construction of the related new South Building would greatly reduce the overall impact to the North Building as compared to adding the same square footage to the North Building itself.

The modification to the secondary South façade of the North Building constitutes a small addition to that building. The SIS recognizes that additions "usually involve some

<sup>&</sup>lt;sup>30</sup> Stanford GSE Vision: State-of-the-Art spaces. Web Accessed 11.28.20.

<sup>&</sup>lt; https://www.youtube.com/watch?v=LVD7nw59jEE&feature=emb\_logo >

<sup>&</sup>lt;sup>31</sup> The Secretary of the Interior's Standards for the Treatment of Historic Properties, Revised by Anne E. Grimmer, U.S. Department of the Interior National Park Service Technical Preservation Services Washington, D.C. 2017. TPS Preservation Brief #14 – <u>New Exterior Additions to Historic Buildings:</u> Preservation Concerns. P. 6



UNIVERSITY ARCHITECT / CAMPUS PLANNING AND DESIGN degree of material loss to an external wall of a historic building."<sup>32</sup> To minimize "damaging or destroying significant materials and craftsmanship ... as much as possible" 92% of the North Building facades would be retained and restored including the salvage of existing roof tiles for reuse.<sup>33</sup> A portion of the South façade and North facade that have both been identified as secondary facades will be modified in compliance with the Rehabilitation Standards. The design team evaluated an **alternative strategy** to **preserve the south-facing courtyard-wall**, while simultaneously achieving the necessary seismic and life-safety upgrades required for the building. However, interviews with building users and exploration of possible design concepts revealed that retaining sections of the secondary façade or the auditorium would not support the program objectives of the school and would significantly limit the ability to re-use the building without a substantial attached addition. Retaining the existing façade would result in the following issues:

- 1. It would substantially reduce the amount of natural light that would penetrate the new collaborative core (forum) compared to a glass wall.
- The transparent facades enable the North and South buildings to remain visually connected and function together despite being physically separated. Retaining the original facade would reduce the visual and programmatic connection and make the use of outdoor spaces less effective.
- 3. Retaining the original facade would require strengthening at a cost. It would further complicate the already significant structural challenge and introduce logistical challenges during construction.

Therefore, to promote the **continued use of the historic resource** as an educational facility, the design team recommended replacing the secondary south wall with a new transparent façade. The loss in this case would be minimized to only 8% of the total building façade and enable the historic building to be reused without a mass altering attached addition. Consistent with the SIS standards, this would ensure *minimal change to distinctive materials, features, spaces, and spatial relationships*.

**Consistent** – The project would enable continued use of the North Building; it would continue to function as the School of Education's main facility. Consistent with the standards to retain the relevancy of the resource, the non-character-defining auditorium would be removed, and the vacated space would be adaptively modified to become the *education forum*. Though the building "displays high integrity of exterior and interior design ..." the auditorium is "not character-defining feature" of the North Building as

<sup>&</sup>lt;sup>32</sup> The Secretary of the Interior's Standards for the Treatment of Historic Properties, Revised by Anne E. Grimmer, U.S. Department of the Interior National Park Service Technical Preservation Services Washington, D.C. 2017. TPS Preservation Brief #14 – <u>New Exterior Additions to Historic Buildings:</u> <u>Preservation Concerns.</u> P. 3

<sup>&</sup>lt;sup>33</sup> Ibid.\_P.3: For detailed project scope and drawings refer to WRA/CAW Stanford University Graduate School of Education: ASA submission (STANFORD PROJECT # 5363 B), Sheets NA2.1 through NA2.4



UNIVERSITY ARCHITECT / CAMPUS PLANNING AND DESIGN stated by the 2009 DPR and recently clarified by the updated Oct 9, 2021, DPR.<sup>34</sup> The modest addition to the North Building's secondary south facade would require changes that would enable the preservation of distinctive materials and features on the rest of the building consistent with Standard #1.

## Standard #2

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

The historic character of the North Building's primary, character-defining west facade and its secondary, east facade would be preserved and remain unaltered. The primary west façade best displays the character-defining features of Beaux-Arts – Northern European style as identified by the Historic Resources Survey prepared by Stanford University and reconfirmed by the recent update include:

- Red tile roof with pronounced cornice
- Symmetrical façade
- Arched doors and windows (at the porch)
- Uniform wall surfaces above the base in integral color stucco
- Differentiated base course and articulated wall plane with projecting buttresses in smooth stonework<sup>35</sup>

The 2021 DPR update notes that the North Building's West facade displays "a clear hierarchy of massing."<sup>36</sup> The central stone-clad mass projects forward and forms the entry portico, whereas stucco-clad simplified masses setback and step down on either side "signaling their secondary importance."<sup>37</sup> The North Building's primary, character-defining west façade would be restored and preserved, and the "important spatial relationship between the Graduate School of Education building and the Main Quadrangle" would be maintained.<sup>38</sup> As shown in Figure 13 and 14, the formal and most common view of the North Building along Lasuen Mall would remain unaltered.

<sup>&</sup>lt;sup>34</sup> School of Education Building DPR, Recorded E. Angoloti and L. Jones, Stanford University January 23, 2009. P. 1/7; Updated Graduate School of Education DPR (North Building), Recorded by L. Jones, Stanford University October 6, 2021, revised and resubmitted January 2022. P.13/14.

<sup>&</sup>lt;sup>35</sup> Historic Context and Survey Report. Prepared for Stanford University by E. Angoloti, J. Cain, L. Jones, A. Kirk, and S. Marfatia. 2017.

<sup>&</sup>lt;sup>36</sup> Updated Graduate School of Education DPR (North Building), Recorded by L. Jones, Stanford University October 6, 2021, revised and resubmitted January 2022. P. 2/14

<sup>37</sup> Ibid. P. 3/14

<sup>&</sup>lt;sup>38</sup> Ibid. P. 7/14



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Figure 13 – Primary West Facade along Lasuen Mall. Source: University Archives



#### Figure 14 - Site Plan. Source: WRA/CAW Architects

**Consistent** – The proposed project would maintain the massing, retain the primary and secondary façade, and not alter any character-defining features of the historic resource. The North Building massing would be minimally altered since the South Building would be physically separated by an open space (for analysis refer to Standard #1). The project would be consistent with Standard #2



#### Standard #3

Each property will be **recognized as a physical record of its time**, place, and use. Changes that create a **false sense of historical development**, such as adding conjectural features or elements from other historic properties, will not be undertaken.





Figure 15 – "A glass and metal structure was constructed in the courtyard as a restaurant when this 1839 building was converted to a hotel. Although such an addition might not be appropriate in a more public location, it is compatible here in the courtyard of this historic building."<sup>39</sup>

Figure 16 – "This glass addition was erected at the back of an 1895 former brewery during rehabilitation to provide another entrance. The addition is compatible with the plain character of this secondary elevation."<sup>40</sup>

Intervention to the North Building would be purposefully reduced to the secondary south façade to retain the building's character defining features concentrated on the primary west façade. The **new south-facing facade** would be thoughtfully designed as a transparent box added to the main building to provide an entrance to the *forum* and better connect with the new South Building and the Barnum Hub across the new Commons.

Preservation Brief #14 (Figure 15-16) provides examples of compatible additions and recommends glass as the "most appropriate for small-scale additions, such as an entrance on a secondary elevation or a connector between an addition and the historic building."<sup>41</sup> Authors Grimmer and Weeks highlight a prevalent misunderstanding that inclusion in the National Register "prohibits any physical change outside of a certain historical period – particularly in the form of exterior additions."<sup>42</sup>

"Listing," the authors explicitly clarify, does not mean that the resource is "frozen in time and that no change can be made without compromising the historical significance."<sup>43</sup> While they acknowledge that "there is no formula or prescription for

<sup>&</sup>lt;sup>39</sup> TPS Preservation Brief #14, P. 8 fig. 13

<sup>&</sup>lt;sup>40</sup> Ibid, P. 8 fig. 14

<sup>&</sup>lt;sup>41</sup> TPS Preservation Brief #14 – P. 8

<sup>&</sup>lt;sup>42</sup> Ibid, P. 1

<sup>&</sup>lt;sup>43</sup> Ibid, P. 1



UNIVERSITY ARCHITECT / CAMPUS PLANNING AND DESIGN designing a new addition that meets the Standards,"<sup>44</sup> the authors emphasize that "A

new addition to a historic building that meets the Standards can be any architectural style-traditional, contemporary or a simplified version of the historic building."<sup>45</sup> Alterations must "**balance between differentiation and compatibility** in order to maintain the historic character and the identity of the building being enlarged."<sup>46</sup>



Figure 17 – Louvre, Paris Source: Public Domain

However, balancing differentiation and compatibility is a topic that has been hotly debated in the preservation, planning, and architectural communities. "New additions have been discussed by historians within a social and political framework; by architects and architectural historians in terms of construction technology and style; and by urban planners as successful or unsuccessful contextual design"; the diversity of opinions on this topic continues to confuse the issue.<sup>47</sup> Even the 1983 Pritzker prize recipient, I. M. Pei, was subject to initial criticism for his contemporary 1993 glass pyramid at the Louvre. Critics declared the contemporary glass pyramid as an "eyesore" and the project as "ridiculous, unsightly, and inconsistent with the style and history of the Louvre."48 Whereas proponents advocated that over time "the arguments will have been forgotten. The pyramid will be there, and the French will regard it as another one of their classics."<sup>49</sup> Twenty-five years have passed since the debate and today the Louvre pyramid is considered as a successful intervention within a historic context (Figure 17). To appropriately balance differentiation with compatibility and comply with the standards, The Stanford design team reviewed exemplary precedents, internal and external, to inform the expression of the modification to the secondary façade of the North Building.

<sup>&</sup>lt;sup>44</sup> Ibid., P. 7

<sup>&</sup>lt;sup>45</sup> Ibid, P. 7

<sup>&</sup>lt;sup>46</sup> Ibid, P. 7

<sup>&</sup>lt;sup>47</sup> Ibid, P. 1

 <sup>&</sup>lt;sup>48</sup> Bernstein, Richard. "I.M. PEI'S PYRAMID: A PROVATIVE PLAN FOR THE LOUVRE." The New York Times Magazine, 24 Nov. 1985. Gale In Context: Biography, WEB Accessed 28 Nov. 2020.
 <a href="https://link.gale.com/apps/doc/A176482500/BIC?u=stan90222&sid=BIC&xid=cd937939">https://link.gale.com/apps/doc/A176482500/BIC?u=stan90222&sid=BIC&xid=cd937939</a>.>
 <sup>49</sup> ibid.







Figure 18 – 2014 Glass Wall Intervention. University of Virginia Cabell Hall Source: Goody Clancy Architects

Figure 19 – 1950 New Cabell Hall. Source: Goody Clancy Architects

**University of Virginia's New Cabell Hall** is a contributing building to the historic campus which is a UNESCO world heritage site. It is located on axis with the Thomas Jefferson Rotunda of the Academical Village. The 2014 restoration project (fig 18-19) introduced glass walls to "Revitalizing an academic building and [converted] a long-ignored courtyard into an asset."50 The building has always functioned as a daily throughfare for students to pass through, therefore the design team incorporated "daylighting strategies and strong connections to the exterior courtyard ... [they] paid particular attention to rejuvenating the corridors and public areas."<sup>51</sup>

**Pier 5 in the Central Embarcadero Piers Historic District in San Francisco** is listed in the National Register of Historic Places. The 2006 Rehabilitation project maintained the primary character-defining streetside façade (Figure 20), whereas the secondary waterfront façade was modified (Figure 21-23).

The central portion was made contemporary and transparent with "thin profile high performance aluminum windows" capped with a new metal roof and a pronounced contemporary fascia that helped differentiate the new intervention from the classical Beaux-Art grand arch bulkhead design.<sup>52</sup> The glazed exterior wall contrasts in material and form. The Project received Federal Historic Tax Credits and was the recipient of the California Preservation Foundation award (for this 2007 award winning rehabilitation project and additional examples with glass and metal additions refer to Appendix).

 <sup>&</sup>lt;sup>50</sup> Goody Clancy, New Cabell Hall Renovation at University of Virginia, Charlottesville, VA, WEB Accessed 15
 Dec. 2020. < <u>https://www.goodyclancy.com/projects/new-cabell-hall-renovation/</u> >
 <sup>51</sup> Ibid.

<sup>&</sup>lt;sup>52</sup> Tom, Eliot Fisch Associates - The Rehabilitation, Addition and Adaptive Use of the Piers 1½, 3 and 5, San Francisco California Preservation Foundation, 2007 Awards Submission. WEB Accessed 10 Aug. 2021 https://tefarch.com/projects/detail/22





Figure 20 – Streetside Character-defining Grand-Arch Primary façade of Pier 5 San Francisco, Source: California Preservation Foundation



Figure 21 – Pier 5 secondary façade before Rehabilitation Source: California Preservation Foundation



Figure 22 – Glass Curtain Wall addition to secondary façade Source: Amoroso Construction



Figure 23 – Waterfront glazed curtain wall on secondary façade, Source: California Preservation Foundation



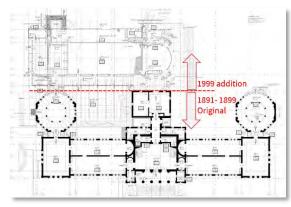


Figure 24 – Building Evolution



Figure 25 – 1999 Addition Attached to Original Building



Figure 26 – 1999 Glass Intervention



Figure 27 – Original Facade Demolished for Addition



Figure 28 – 1999 Addition to Original 1891 Building



Figure 29 – Original 1891 Building without Addition



UNIVERSITY ARCHITECT / CAMPUS PLANNING AND DESIGN The design team also reviewed Stanford University's preservation award-winning project The Leland Stanford Junior Museum (Stanford Museum), that has been accepted as appropriate intervention to an existing historic resource. Constructed in 1891, the Stanford Museum is noted for its stark neoclassical style and the pioneering use of reinforced concrete construction methods. The original structure was composed of long, narrow, two-story gallery buildings articulated by a rotunda at the ends. Several later additions to the main building of unreinforced masonry suffered severe damage in the 1906 and 1989 earthquakes. In 1999, James Polshek and Partners (now Ennead) were appointed to design a new addition to the building. For the new addition, the design team prepared a design that rendered the key features of long narrow galleries, rotunda, metal windows and play of light and shadow in a distinctly modern reinterpretation of neoclassical style. The attached 1999 addition was located on a secondary façade of the Stanford Museum along Roth Way, allowing the historic Stanford Museum to retain its prominence on Lomita Mall (Figure 24-29). As discussed above, several award-winning historic preservation precedents informed the expression of the new subordinate addition to the secondary south façade of the North Building. The glass and metal addition would balance differentiation and compatibility and create a harmonious continuity. The new design would present as a "contemporary or a simplified version of the historic building," and replicate the proportions of the existing metal windows located on the primary facade.<sup>53</sup>

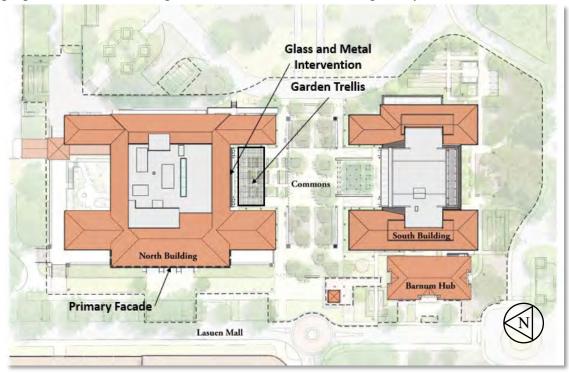


Figure 30 – Key Map showing the location of the Garden Trellis and Glass & Metal intervention to the South Facade in relationship to the Primary East façade along Lasuen Mall. Source: WRA/CAW Architects



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As demonstrated by previously discussed precedents the new design would comply with SIS due to the following reasons:

- 1. Location: The glass and metal addition would be located on the secondary south façade that is deeply setback into the south courtyard and not visible from any primary views (Figure 30, 31).
- 2. Minimize Material Loss: As noted in the Preservation Brief #14, minor modifications are permitted by the SIS Rehabilitation Standards and they do "involve some degree of material loss to an external wall of a historic building," however the loss would be "minimized" to only 8% of the total building façade for this project (for analysis refer to Standard #1).<sup>54</sup>



*Figure 31 – New glass addition to the south facade of the North Building. Source: WRA/CAW Architects* **Continuity of design through repeated Materials:** In compliance with SIS, the new addition was designed subordinate to the historic building so that it would not "compete in size, scale or design with the historic building."<sup>55</sup>

- a. New **stucco panels** introduced on either side of the addition would frame the new metal and glass wall and help the transition from the new to old (Figure 31).
- b. The existing **clay tile roof** will be reconstructed from salvaged roof tiles to maintain the original form, material, massing, and taller ridge height (Figure 31).
- c. The **existing cornice** (Figure 31, 33) will be reconstructed. The massing of the existing building is subtly stepped, the north-west and north-east corners of the south courtyard have varying eave and ridge heights. For continuity, stucco panels on three sides would frame the **metal and glass addition.** The curtain wall height at 32'-3" would be maintained below the existing cornice.

<sup>&</sup>lt;sup>53</sup> TPS Preservation Brief #14, P. 7

<sup>&</sup>lt;sup>54</sup> TPS Preservation Brief #14, P. 3

<sup>&</sup>lt;sup>55</sup> TPS Preservation Brief #14, P. 5





Figure 32 – Proposed muntin pattern based on adjacent metal window at N-W corner of South Source: WRA/CAW Architects



Figure 33 – Section through forum showing the detached garden-trellis structure. Source: WRA/CAW Architects

- **3.** Continuity of Use: A detached, and completely reversible garden-trellis would be introduced as a freestanding element in the landscape of the south courtyard. Located 13'-0" away from the new metal and glass façade the garden trellis would make the currently unusable courtyard into a shaded vibrant space.
  - a. It would connect and extend the forum programmatically to the exterior.
  - b. The trellis would not only facilitate an indoor-outdoor relationship and provide an inviting area required for seating and interaction but would also provide scale and shade from southern exposure.



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c. The detached garden trellis would enable the project to meet programmatic and mandatory sustainability goals without affecting the character-defining frontage of the historic resource along Lasuen Mall (Figures 30-33).



Figure 34 – Tall existing metal windows on primary façade (A, D). Metal and wood windows at north-east corner of southern courtyard (B, C, E) Source: UA/CPD

- 4. Continuity of design through Material and Proportions: The new glass wall would be divided into smaller units. Though dis-similar to the original wood window placement, the glass façade's metal mullions and muntin would directly echo the steel window patterns of the original building's character-defining facade in terms of size, division, and hierarchy (Figures 30-34).
  - a. The addition's proposed glass and metal patterns would replicate the tall wellproportioned metal windows prominently featured along the Lasuen Mall primary façade (Figures 34A, D).
  - b. The south courtyard currently has both window types:
    - 1. **metal windows** identical to the metal windows along Lasuen Mall (Figures 34B, C)
    - 2. short double-hung wood windows (Figures 34E).

Instead of the double-hung wood windows, the new addition's contemporary glass and metal mullion and muntin patterns would replicate the dimensions and proportions of the **original metal windows located immediately adjacent to the glass and metal addition** (Figures 31-32). The new design will borrow the best design features of the main façade and reinterpret their hierarchical dimensions to maintain continuity and distinguish new from old.



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**Consistent** - There are no changes proposed that might be mistaken for original features. The loss of historic material would be minimized to 8% and restrained to a secondary façade that is not visible from Lasuen Mall. The project's compatible material palette would represent its time, place, and use, yet appropriately establish continuity between the historic character and architectural styles of the resource; the contemporary design and construction methods would be inspired directly by the historic resource. The design of the glass and metal addition would recall the proportions and rhythm of the existing historic building windows. The design was carefully evaluated against other award-winning preservation precedents to ensure that balance between differentiation and compatibility was achieved harmoniously. The glass and metal addition to the south façade would be framed between new stucco panel-walls to provide continuity and transition from old to new. The glass wall's transparency in conjunction with the trellis provides a comfortable scale and habitable outdoor collaboration space that extends programmatically from the *forum* to the South Building. The project is consistent with Standard #3.

#### Standard #4

# Changes to a property that have acquired historic significance in their own right will be retained and preserved.

**Not Applicable** - The proposed project scope would not affect any modifications to changes to a property that have acquired historic significance in their own right. Modifications to the North Building described above would not affect any such historic changes to a property. For discussion on Barnum Center that has been evaluated and determined ineligible, refer to the attached DPRs.

#### Standard #5

# Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The North Building was predominantly constructed out of reinforced concrete. The exterior walls are clad in integrally colored smooth-jointless cement plaster except the primary character-defining West façade, which is clad in sandstone. The North Building's primary west façade is composed of monolithic plaster walls juxtaposed against a central smooth-sandstone mass that exemplifies Bakewell and Brown's shift from ornamental to unadorned Beaux-Art aesthetic representative of the Depression era architecture on Stanford Campus. The building-envelope's existing condition, including the wood and steel windows, was documented. Portions of the exterior plaster and sandstone that are in a state of disrepair were comprehensively surveyed. A treatment plan for the restoration of these character-defining features was formulated to be included in the project scope.<sup>56</sup>

<sup>&</sup>lt;sup>56</sup> Refer to Project Summary and for detailed project scope and drawings refer to WRA/CAW Stanford University Graduate School of Education: ASA submission (STANFORD PROJECT # 5363 B). Sheets NA2.1 through NA2.4



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**Consistent** - The proposed project scope would preserve historic fabric (for minor loss of material on a secondary façade refer to analysis for Standard #3). The primary character-defining west façade and secondary, secondary east façade would be preserved 'as is.' The secondary north façade would be restored with minor compatible modifications to accommodate the new program and to comply with current code. Where deterioration beyond repair has been identified the project would replace with matching material without altering any distinctive features, finishes, construction techniques and craftmanship that characterize the historic resource. The project would sensitively introduce new materials on the secondary south façade to respect yet clearly distinguish the new from the original. The project is consistent with Standard #5.

### Standard #6

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

**Consistent** – Repair and replacement with matching features where necessary are identified and documented. The project is consistent with Standard #6.

### Standard #7

Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

**Consistent** – Treatments that cause damage would not be used. The project is consistent with Standard #7.

#### **Standard #8**

Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

**Not Applicable** – The proposed project is located on the footprint of existing developed areas; no archeological resources are expected within the project boundary. If such resources are found during construction they would not be disturbed, unless monitored and mitigated as required by the 2000 General Use Permit Conditions of Approval.

#### Standard #9

New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The **new work will be differentiated from the old** and will **be compatible** with the **historic materials, features, size, scale and proportion, and massing** to protect the **integrity** of the property and its environment.





Figure 35 – Key Map showing view from the new Commons. Source: UA/CPD



Figure 36 – South Building curtain wall relates to the south facade of the North Building. Source: WRA/CAW Architects





Figure 37 – South Building north facade (main entry not located on Lasuen Mall) maintains height with North Building. Source: WRA/CAW Architects



Figure 38- Relationship between North and South Building along Lasuen Mall. Source: WRA/CAW Architects



Figure 39 – Relationship between North and South Building along Meyer Green. Source: WRA/CAW Architects



Figure 40 - South Building West Façade with Barnum Hub in the foreground. Source: WRA/CAW Architects



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New construction can be added near historic properties without materially impairing the significance of the historic property if site conditions allow and if the design, density, and placement of the new construction respects the overall character of the site. To accommodate the Graduate School of Education's consolidated program, the North Building would have required a significant addition that would have impacted the mass and scale of the historic resource. So, instead of an attached addition, the proposed project respectfully sited the South Building across the North Building as a detached building separated by a courtyard from the North Building and distanced from the Main Quadrangle by Lasuen Mall. Along Lasuen Mall the proposed new South Building would read as a separate simple volume rather than as an extension of the North Building and would fit well in size, scale, proportion, and massing into the context. The South Building would relate to the North Building and establish continuity with the historic character using form and massing, appropriate fenestrations, and compatible use of materials.

#### Form and Massing of South Building:

- Relationship across the Commons: Responding to the geometry of the North Building, the South Building's massing would be U-shaped, and the main entry would face the commons instead of Lasuen Mall (Figures 30, 35-37). The South Building's 4-story central entry pavilion would anchor the south edge of the Commons on axis with the North Building and the Forum. The grade to ridge height relationship would be maintained. The South Building's ridge height at 56'-6" would be equivalent to the 56'-0" ridge height of the North Building main façade. The building's mass would appear reduced because the central pavilion's 4th floor would be setback from the main façade and would be flanked by 3-story wings that would align with the form and height of the North Building mass (Figures 35 - 40).
- 2. **Relationship along Lasuen Mall:** The massing relationship between the proposed South Building and the existing Barnum Hub would emulate the varying size and mass of the North Building's projecting entrance portico (Figure 30, 40-43). The original Barnum Hub is located in the foreground of the new South Building; it will continue to remain active programmatically for the School of Education. Since three facades of the Hub display modest Mission-Revival parapets, topped with a prominent, steeply pitched red-tile roof, retaining this high-volume structure in the foreground of the South Building would seamlessly maintain the setting. Additionally, South Building's West façade would be reduced to a backdrop for the Barnum Hub as it would be located setback from Lasuen Mall.

**Fenestration:** South Building's facades would be designed to respond to the varying site conditions. The fenestrations on each façade would be designed to respond to the programmatic needs and massing. While the South façade massing and fenestration would be symmetrically designed, the North façade massing is asymmetrical in response to the North Building with corresponding fenestrations. The East and West facades would have different fenestration types to better fit into the historic context (Figure 30, 38-40). The west facade of the South Building would be composed of



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windows with muntin patterns that would add variety and emulate Barnum Hub's muntin patterns. The west façade composed of simplified, regularly spaced and sized single-story window openings would reflect the individual offices and would contrast subtly yet distinctly from the double height windows of the reading room visible along North Building's West façade on Lasuen Mall (Figure 38, 40).

**Material and Architectural Compatibility:** Designing the South Building with simpler design elements and details that are compatible in size and scale will maintain the prominence of the North Building. The South Building would be subordinate and secondary in prominence with detailing that would take design cues from the North Building without imitating. Imitation of historic elements is discouraged, because according to expert recommendations "when the new work is highly replicative and indistinguishable from the old in appearance, it may no longer be possible to identify the "real" historic building."<sup>57</sup>



Figure 41 – Material Palette and relationship between North and South Building. Source: WRA/CAW Architects

The South building would take its design cues from, but not copy historic buildings. The architectural aesthetic and material palette of the South Building would conform to the standards:

- 1. Like the North Building, the South Building would have a curtain wall deeply setback into the north courtyard that would relate in design with the North Building's proposed curtain wall but with simplified detailing (Figure 35-37).
- 2. Clad in beige cement plaster, the South Building would be compatible in color and material with the existing Barnum Building. The west façade of the South building would borrow the muntin patterns from the Barnum Hub fenestrations.
- 3. Without duplicating the North Building, the proposed South Building would borrow the color palette and materiality from its immediate neighbor. Like the North Building, the South Building would have a hipped clay tile roof, and buff stucco exterior that would complement the North Building, Green Library and the Quadrangle (Figure 41).

<sup>&</sup>lt;sup>57</sup> TPS Preservation Brief #14, P. 4



UNIVERSITY ARCHITECT / CAMPUS PLANNING AND DESIGN As recommended by experts Grimmer and Weeks, the South Building design would follow the principles outlined by SIS and TPS to balance compatibility with differentiation and fit well into the historic context. Consistent with the guidelines for New Construction within the Boundaries of Historic Properties and Preservation Brief #14 - New Exterior Additions to Historic Buildings: Preservation Concerns, the proposed South Building was designed to protect the setting of its historic neighbor. "Working within these basic principles still allows for a broad range of architectural expression that can range from stylistic similarity to contemporary distinction."<sup>58</sup> As recommend, a new building should not be "so different that it becomes the primary focus. The difference may be subtle, but it must be clear."<sup>59</sup> To be compatible the new addition "neither copies the historic building exactly nor stands in stark contrast to it."60 In compliance with the recommendations the new work is differentiated from the old to ensure that the historic property would be able convey its historic character without getting devalued. The South Building would not compete in size, scale, or design and would remain subordinate to the North Building and Main Quadrangle; "subordinate" defined as "belonging to a lower rank, grade, class, or order, and hence governed by or under the authority of one that is higher."<sup>61</sup> The South Building design would protect those character-defining features of the North Building that made it eligible for listing.

**Consistent** – The new work would be coherent, and clearly differentiated from the old to protect the integrity of the historic property and environment. The massing and height of the proposed project would have a subordinate relationship to its historic neighbors. The South Building's form, massing, detailing, fenestrations, materials, and style would take cues from the North Building. Overall, the South Building composition would be subordinate, compatible yet distinct and comfortably fit into the historic context. The project is consistent with Standard #9.

#### Standard #10

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and **integrity of the historic** property and its environment would be unimpaired.

**Consistent** – The proposed South Building would be completely detached; therefore, if removed, it would not impair the essential form and integrity of the neighboring historic resources. The project is consistent with Standard #10.

## **Summary of Standards Review**

This analysis concludes that the project is consistent with all applicable Secretary of Interior's Standards for the Treatment of Historic Properties for Rehabilitation. While

<sup>&</sup>lt;sup>58</sup> TPS Preservation Brief #14, P. 8

<sup>&</sup>lt;sup>59</sup> TPS Preservation Brief #14, P. 4

<sup>&</sup>lt;sup>60</sup> TPS Preservation Brief #14, P. 8

<sup>&</sup>lt;sup>61</sup> "*subordinate*, adj., n., and adv." *OED Online*, Oxford University Press, June 2021, www.oed.com/view/Entry/192878. Accessed 22 July 2021.



UNIVERSITY ARCHITECT / CAMPUS PLANNING AND DESIGN this project does so, projects are not required to meet all ten standards. The intent is to guide rehabilitation projects in a reasonable manner, "taking into consideration economic and technical feasibility."<sup>62</sup>

In conclusion, the proposed project would comply with the Secretary of the Interior's Standards. The project would relate in size and general appearance to historic buildings in its immediate surroundings. The University Architect / Campus Planning and Design office oversees an integrated approach to strategic planning and design excellence in creating a model campus consistent with Stanford's status as one of the leading academic/research institutions in the world. This SOC report is to affirm that the new building design and construction has been reviewed by a qualified professional for compliance with the Secretary of Interior Standards. The review does not include code compliance analysis.

Sapna Marfatia, Director of Architecture University Architect / Campus Planning and Design Office

#### Qualifications

Sapna Marfatia is a licensed architect in the State of California, 2006. She meets and exceeds The Secretary of the Interior's Historic Preservation Professional Qualifications Standards for: Historic Architect, Historic Preservation, and Conservation as defined by the Federal Register (FR DOC#97-16168, V62N119 33708). She has a B.Arch. from the Academy of Architecture, Mumbai, M.S. in Architecture and Urban Design from Pratt Institute, and a Masters in Liberal Arts from Stanford University. Her professional experience in architecture and planning spans thirty-three years, with a concentration on historic preservation for the past twenty years. As the Director of Architecture with the University Architect's Office / Campus Planning and Design Office, she assists in the selection of architectural and preservation consultant teams, monitors design guidelines from formulation through construction, and collaborates with university partners to create a vision for preservation of iconic Stanford buildings. Appointed as a Historical Commissioner for two consecutive four-year terms by the Los Altos City Council, she engaged with governmental agencies, homeowners, and the local community to identify historically significant structures and create a preservation strategy. She has served as a Board Director for the Silicon Valley Chapter of the American Institute of Architects and is currently a Board member with Filoli, a National Trust Property, and Stanford

<sup>&</sup>lt;sup>62</sup> The Standards for Rehabilitation, codified in <u>36 CFR 68 Chapter 1, Part 68.3</u>.



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Historical Society. She has presented and published several articles on architecture, taught an architectural studio on design thinking at the Academy of Architecture, and is currently teaching courses on the architectural history of the American campus for the Continuing Studies Program at Stanford University.

Sapna Marfatia	B. Arch, M.S. Urban	33+	Architect, Historic Architect, Historic
	Design, MLA		Preservation, and Conservation

#### Attachments:

- 1. Appendix to Statement of Compatibility for Graduate School of Education Building Project – November 19, 2021
- 2. Quadrangle and Memorial Church SCL911, 3/31/04 DPR
- 3. Cecil H. Green Library SCL903, 3/31/04 DPR
- 4. Barnum Center (Old Bookstore and Old Store)
  - a. 2007 DPR Barnum Center & CPPC Not Eligible
  - b. 2017 Inventory Sheet GUP Application Not Eligible
  - c. 2020 Page & Turnbull DPR (date recorded September 17, 2020, resubmitted a revised evaluation on August18, 2021, revised and resubmitted February 2022 with this application) – Not Eligible
- 5. School of Education Building
  - a. 2009 DPR School of Education Eligible
  - b. 2017 DPR School of Education GUP Application Eligible
  - c. 2021 DPR School of Education Update October 6, 2021 revised and resubmitted January 2022– Eligible
- 6. TPS Preservation Brief #14 New Exterior Additions to Historic Buildings: Preservation Concerns.

## **Additional Information:**

- 7. Stanford University Design Philosophy for Architectural Compatibility April 2020
- 8. Architectural Team Qualifications William Rawn Associates & Cody Anderson Wasney (WRA/CAW)
- 9. California Preservation Foundation 2007 Design Awards entry for Piers 1.5, 3 & 5, San Francisco.
- 10. Precedents of Historic Preservation with Metal and Glass Additions.

## **Referenced Documents Links:**

- 1. The Row Neighborhood Historic Context and Evaluation Report (2015).
  - i) <u>The Row Neighborhood Historic Context and Evaluation Report (2015) peer</u> reviewed by Carey & Co. and accepted by the County of Santa Clara in July 2015.
- 2. *Historic Resources Survey for the Stanford University Campus* (2017).



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- i) <u>Historic Resources Survey for the Stanford University Campus -</u> <u>Appendices (2017)</u>
- ii) <u>Historic Resources Survey for the Stanford University Campus (2017), peer</u> reviewed by ESA and accepted by the County of Santa Clara in 2019 for the <u>GUP FEIR.</u>
- iii) <u>Historic Resources Survey for the Stanford University Campus (2017), peer</u> reviewed by JRP and accepted by the County of Santa Clara in 2019 for the <u>GUP FEIR.</u>
- Historic resource evaluation (DPR) for the Lou Henry Hoover-Herbert Hoover <u>Memorial Potential Historic District (2020)</u>. Approved by Zoning Administrator during June 21, 2021 hearing
  - i) <u>Historic resource evaluation (DPR) for the Lou Henry Hoover-Herbert Hoover</u> <u>Memorial Potential Historic District (2020), peer reviewed by LSA and accepted</u> <u>by the County of Santa Clara in 2021.</u>
- Historic resource evaluation (DPR) for the Center for Advanced Study in the <u>Behavioral Sciences Historic District (2021)</u> Approved by Zoning Administrator during July 1, 2021hearing
  - i) <u>Historic resource evaluation (DPR) for the Center for Advanced Study in the</u> <u>Behavioral Sciences Historic District (2021), peer reviewed by LSA and</u> <u>accepted by the County of Santa Clara in 2021</u>
- Historic resource evaluation (DPR) of the *Bonair Siding Potential Historic*  <u>District (2021)</u>, peer reviewed by LSA and accepted by the County of Santa Clara in <u>2021</u>. Approved by Planning Commission during June 24, 2021 hearing
  - i) <u>Historic resource evaluation (DPR) of the Bonair Siding Potential Historic</u> <u>District (2021), peer reviewed by LSA and accepted by the County of Santa</u> <u>Clara in 2021.</u>

# **Attachment G**

Peer Review Evaluation by County Hired Historic Consultant (JRP)



# MEMORANDUM

March 9, 2022

TO:	Charu Ahluwalia, Santa Clara County Office of Planning and Development
FROM:	Meta Bunse, JRP Principal Heather Norby, JRP Senior Historian
RE:	Stanford Graduate School of Education Peer Review, Historical Resources

On December 21, 2021, JRP Historical Consulting, LLC (JRP) submitted a third peer review of the historic architectural (built) resources evaluations and Statement of Compatibility (SOC) for the Graduate School of Education Project on the Stanford University campus to assist the Santa Clara County Office of Planning and Development. Stanford provided revisions to sections of the historic evaluations, SOC, and plan set in response in late February 2022. This fourth and final peer review examines the revised SOC and its attachments and concludes that these documents as revised are adequate for compliance with the historical resources requirements and conditions of the Stanford General Use Permit and Stanford Community Plan (both dating to 2000).

The project proposes a major renovation to the historic School of Education North Building, a building that is eligible for listing in the California Register of Historical Resources (CRHR), demolition of two components – one historic-era and one modern-era – of the Barnum Center hub, and construction of a new four-story building next to a single-story building (Old Bookstore) dating to 1906 that is not individually eligible for listing the CRHR. The renovation to the School of Education building, referred to in the plan set as "North Building" proposes major interior changes and construction of a glass intervention at the south courtyard. The proposed glass intervention would require demolition of the interior of the central portion of the North Building. Changes to the basement level are also proposed on the north side of the North Building.

This memorandum identifies how Stanford revised the SOC to respond to JRP's last round of peer review comments and how the revisions comply with applicable regulations and guidelines:

## 1. Historic Districts

Per Peer Review #3 of December 21, 2021, JRP recommended acknowledging that Old Store and Old Bookstore have not been formally evaluated as contributors to a potential historic district, but that the modern 2007 addition to Barnum Center, and the extensive changes

over time to Meyer Green (immediately east of Barnum Center), have compromised the original feeling, association, and setting of the Old Store building to the degree that no historic district would be likely to include the footprint of Meyer Green, Old Store, or the 2007 addition to Barnum Center.

Stanford has submitted a revised Department of Parks and Recreation (DPR) 523 form set for Barnum Center as an attachment to the SOC that reflects this recommendation. The revised historic district analysis complies with applicable guidelines for evaluating historic districts for eligibility for listing in the California Register of Historical Resources (CRHR).

### 2. Character-defining features

Per Peer Review #3 of December 21, 2021, JRP recommended revising the character-defining features description of the School of Education Building to explain that the original building exterior walls (all sides) are part of the original design and there are fewer architectural details/features present on the secondary walls. JRP recommended stating that the project meets SOI standards and NPS guidelines for the treatment of historic properties because it incorporates guidance like that found in *Preservation Brief 14*.

Stanford has submitted a revised DPR 523 form set for the School of Education Building as an attachment to the SOC that reflects these recommendations. The revised description of character-defining features complies with applicable guidelines for evaluating historical resources for eligibility for listing in the CRHR and cites *Preservation Brief 14*.

#### 3. Demolition Plan

Per Peer Review #3 of December 21, 2021, JRP commented that the plan set for the proposed project did not contain adequate demolition plans that showed what parts of the School of Education Building would be demolished or would be demolished and rebuilt.

Stanford has submitted 11 sheets to the revised plan set that show the parts of the School of Education Building that are proposed for demolition and specifies what features will be reconstructed.

JRP concludes that the analysis presented in the SOC and the plan set, as revised, comply with the historical resources requirements and conditions of the Stanford General Use Permit and Stanford Community Plan, both dating to 2000.



# MEMORANDUM

December 21, 2021

TO:	Charu Ahluwalia, Santa Clara County Office of Planning and Development
FROM:	Meta Bunse, JRP Principal Heather Norby, JRP Senior Historian
RE:	Stanford Graduate School of Education Peer Review, Historical Resources

On September 10, 2021, JRP Historical Consulting, LLC (JRP) submitted a second peer review of the historic architectural (built) resources evaluations and Statement of Compatibility (SOC) for the Graduate School of Education Project on the Stanford University campus to assist the Santa Clara County Office of Planning and Development. Stanford provided revisions to sections of the historic evaluations, SOC, and plan set in response. This third peer review examines the revised SOC and its attachments for adequacy of compliance with the historical resources requirements and conditions of the Stanford General Use Permit and Stanford Community Plan, both dating to 2000.

The project proposes a major renovation to the historic School of Education North Building, a building that is eligible for listing in the California Register of Historical Resources (CRHR), demolition of two components – one historic-era and one modern-era – of the Barnum Center hub, and construction of a new four-story building next to a single-story building (Old Bookstore) dating to 1906 that is not individually eligible for listing the CRHR. The renovation to the School of Education building, referred to in the plan set as "North Building" proposes major interior renovations and construction of a glass intervention at the south courtyard that would require demolition of most of the south wall of the historic North Building facing the south courtyard and demolition of the interior of the central portion of the North Building. Changes to the basement level are also proposed on the north side of the North Building.

This memorandum and the attached comment/response table provide specific JRP peer review recommendations for the revised SOC. The following summarizes the main review conclusions:

 Historic Districts – The updated DPR 523 form for the Barnum Center buildings relies on documents that did not actually perform any inventory or evaluation of potential historic districts in the vicinity of this project. The SOC submittal refers to an "Historic Resources Survey submitted in 2017 (County concurred with use of the Survey for purposes of CEQA compliance)." This appears to be the study submitted with the 2018 GUP renewal application. The ESA peer review of that 2017 survey stated that "The context by which the buildings are evaluated is too narrowly defined. It appears that the buildings are being evaluated as part of a historic district within the narrowly defined context of 'collegiate architecture in the San Francisco Bay Area.' This is insufficient to make a determination of ineligibility." JRP also conducted a peer review of the same 2017 report and concluded that: "The methodology used in the survey report to identify historic districts is incomplete and inaccurate. Figure 4.1 in the [2017] survey report depicts buildings that have already been identified as individually CRHR-eligible to illustrate that there are not heavy concentrations of individually eligible buildings that would warrant historic district designation. This approach does not consider buildings or landscape features that may not rise to the level of individual CRHR-eligibility, but that may be important contributors to an historic district. This approach also ignores the fact that many buildings and landscape features of the Main Quad, Arboretum, and Palm Drive likely form an historic district."

Considering that both peer reviews of the 2017 study concluded that identification of historic district(s) on the Stanford Campus was incomplete, it does not seem accurate to state in the SOC submittal that the county found that study adequate. The revised DPR form for the Barnum Center buildings in this round of the SOC submittal includes this statement regarding historic districts:

The Old Bookstore area was included in two potential historic district evaluations: the Row Neighborhood district analysis (2015) and the district analysis for the Stanford campus survey (2017). Both potential historic district evaluations concluded that there is no historic district present. These findings were peer reviewed by independent qualified professionals for the County of Santa Clara who concurred with the findings. [fn 125: The Row Neighborhood Historic Context and Evaluation Report (2015), peer reviewed by Carey & Co. and accepted by the County of Santa Clara in July 2015; 2) Historic Resources Survey for the Stanford University Campus (2017), peer reviewed by ESA and accepted by the County of Santa Clara in 2017.]

JRP does not think that is an accurate representation of the peer review conclusions regarding the 2017 report.

JRP recommends acknowledging that Old Store and Old Bookstore have not been formally evaluated as contributors to a potential historic district, but that the modern 2007 addition to Barnum Center, and the extensive changes over time to Meyer Green (immediately east of Barnum Center), have compromised the original feeling, association, and setting of the Old Store building to the degree that no historic district would be likely to include the footprint of Meyer Green, Old Store, or the 2007 addition to Barnum Center. This discussion should give a brief overview of the evolution of the design of Meyer Green.

2. Character-defining features – The revised DPR evaluation form for the GSE building appropriately revised the period of significance. However, JRP does not agree that the character-defining features identification is accurately described. The revised character-defining features analysis concludes that "The primary west façade and this connective archway are the significant elements of this building. The secondary elevations are consistent in some materials but only weakly represent the significance of the building." The secondary sides of an historic building that retain integrity cannot be dismissed as non-character defining. We agree that that they are secondary in nature, but the presence of a

hierarchy from a highly articulated main façade to less ornamented secondary façades, is a character-defining aspect of the original design of the building. The original rhythm and pattern of fenestration of the GSE building is also character-defining and the original window patterns appear at primary and secondary facades, including the south wall.

JRP recommends revising the character-defining features description to explain that the original building exterior walls (all sides) are part of the original design and there are fewer architectural details/features present on the secondary walls.

Instead of stating that elements of the project will not impact GSE because secondary sides of the building are not character defining, JRP recommends arguing that the project meets SOI standards and NPS guidelines for the treatment of historic properties because it incorporates guidance like that found in *Preservation Brief 14*. Examples of the guidance in PB 14 include, but are not limited to: "Generally speaking, preservation of historic buildings inherently implies minimal change to primary or 'public' elevations..." (pg 3); and "...the first place to consider placing a new addition is in a location where the least amount of historic material and character-defining features will be lost. In most cases, this will be on a secondary side or rear elevation" (pg3); and "A new addition should always be subordinate to the historic building; it should not compete in size, scale or design with the historic building." (pg 5)

3. **Demolition Plan** – The Stanford response to incomplete letter (November 19, 2021) stated that "demolition and restoration plans" (sheets NA2.1 through NA2.4) were provided in the latest submittal; however, these plans are titled "Restoration Plans" and do not adequately call out which parts of the North Building the project proposes to demolish. Demolition plans should identify that the project proposes to demolish a portion of the roof and rebuild it. The demolition plan drawings should also include protective measures to be applied to remaining historic materials and/or character-defining features of the historic building.

We recommend revisions to the documents to bring the identification of character-defining features to professional standards, and revisions to strengthen the conclusion that Old Store would not contribute to any potential historic district.

The MSWord version of the comment/response table is provided for use in subsequent rounds of review and comment. Please provide all subsequent comment response table submittals using that MSWord file so that it does not need to be recreated from a pdf or other format. Thank you.

# **Peer Review Comments Table**

Section Page#	Pdf Page#, Responder	Peer Review Comments and Responses	
SOC 1	2	Two separate evaluations, one for Old Bookstore, and one for Old Store need to be prepared before thisconclusion can be reached. Old Bookstore in particular has potential for eligibility.	
	Stanford	See enclosed Page & Turnbull memo dated 8/13/2021 (Page & Turnbull Response to JRP - 1) and revised DPR forms.	
	P&T	The updated DPR forms provide an individual evaluation of each the Old Bookstore and the Old Store.	
	JRP	JRP notes that Page & Turnbull has updated the DPR forms to include individual evaluations of each building. This revision adequately addresses the original peer review comment.	
	Stanford	Issue resolved.	
SOC 1	2	The 1910 building (Old Store) is not an addition. It was constructed as an entirely separate building.	
	Stanford	See Page and Turnbull memo dated 8/13/2021 and revised DPR forms.	
	P&T	The updated DPRs clarify that the Old Store was built as a freestanding building next to the Old Bookstore and was connected to the Old Bookstore in 1929.	
	JRP	The clarifications to the building histories of Old Store and Old Bookstore adequately address the peer review comment.	
	Stanford	Issue resolved.	
SOC 4	5	See previous comments. Barnum has been inappropriately evaluated as a single unit. The Old Bookstore and Old Store need to be individually evaluated.	
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.	
	JRP	The individual evaluations of each building adequately addresses the original peer review comment.	
	Stanford	Issue resolved.	
SOC 4	5	I am not finding the direction in the CP/GUP that the project does not need require assessment of compatibility with properties outside the project site that have not been previously determined to be potentially eligible for listing in the CRHR. If new construction will occur within the setting of an eligibleresource, compatibility should be addressed.	

Section Page#	Pdf Page#, Responder	Peer Review Comments and Responses
	Stanford	All campus buildings over 45 years old have been evaluated by Stanford in the 2017 Historic Survey (and in some cases in prior evaluations); character-defining features have been identified for all eligible buildings. There is no unevaluated age-eligible property in the setting.
	JRP	Acknowledged. JRP recommends revising the text to clarify that there are no unevaluated buildings in the immediate vicinity of the project.
	Stanford	The text has been updated accordingly in the enclosed SOC-3, please refer to page 7.
	JRP	Issue resolved.
SOC 9	10	It is clear that the curtain wall would be differentiated from the original building; however, it is not apparent how the curtain wall is compatible with or harmonious with the design elements of the existing building as required to meet SOI Standards and comply with Preservation Brief 14. See project drawing AA2.3.
	Stanford	Stanford appreciates the comments from JRP. Stanford has modified the spacing, pattern and size of the glass panes and mullions in the glazed curtain wall to be more responsive to the existing adjacent south-facing windows. The curtain wall's mullion and muntin pattern has been redesigned to reflect the dimensions and proportions of the original metal windows; each bay is now sub-divided into four glass panes instead of three. Please refer to pages 12-14: Standard #1, pages 16-24: Standard #3, of the updated Statement of Compatibility (SOC-2, August 20, 2021).
	JRP	JRP agrees the design revisions to the glass curtain wall are more compatible with the tall and narrow dimensions and proportions of the extant south-facing windows.
	Stanford	Issue resolved.
SOC 10	11	The evaluation needs to clarify whether there are interior character-defining features before this action can be assessed for compatibility.
	Stanford	The interior elements are not character-defining features in either previous evaluation of the building (2009 or 2017). The County and Stanford agree that interiors of campus buildings whose program is public-facing may be character- defining (see list). "Private" interiors are not. The GSE North Building contains classrooms, offices and a library that serve its private educational activities and are only incidentally open to the public.
	JRP	JRP acknowledges that the North Building does not have any spaces that Stanford considers public, and therefore does not consider any interior elements of GSE to be character-defining. Status of interior character-defining features needs to be clarified in an updated DPR 523 form (see Comment Response to SOC Attach. 4A-1).
	Stanford	Please refer to enclosed update to the DPR for the Graduate School of Education Building, which is included in the "SOC Attachments - 3" document; discussion begins on page 7 of 14 of the DPR Update.

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	JRP	DPR revision adequately evaluates interior as not character defining.
SOC 11	12	Clarify if retaining the façade and retaining the auditorium is related. Could the auditorium be eliminated while retaining the facade?
	Stanford	Please refer to pages 12-14: Standard #1, of the updated Statement of Compatibility (SOC-2, August 20, 2021).
	JRP	Revised SOC clarifies that the project purpose requires elimination of the auditorium to create a design that allows for modernized teaching philosophy that emphasizes student gathering spaces and collaboration.
	Stanford	Issue resolved.
SOC 11	12	If Old Bookstore is found eligible, this action could be considered restorative because the bookstore was builtfirst and stood alone until 1910.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	The evaluation of the Old Bookstore is based upon its existing condition and the existing setting, not a potential future setting of a project yet to be completed.
	JRP	The original comment was intended to provide guidance to the SOC analysis if the building was found eligible. No action is needed.
	Stanford	Issue resolved.
SOC 12	13	Have alternatives been considered?
	Stanford	Alternatives were considered but they did not support the program aspirations of the school. Referto pages 12-14: Standard #1, of the updated Statement of Compatibility (SOC-2, August 20, 2021).
	JRP	Revised SOC clarifies that the proposed design is necessary to support the purpose of the project.
	Stanford	Issue resolved.
SOC 13	14	This action cannot be analyzed for impacts because the supporting CRHR evaluation does not address if there are interior character-defining features and what they might consist of.
	Stanford	The interior elements are not character-defining features. See response to PDF page #11 above.

Section Page#	Pdf Page#, Responder	Peer Review Comments and Responses
	JRP	JRP acknowledges that GSE does not have any spaces that Stanford considers public or character-defining. Status of interior character-defining features needs to be clarified in an updated DPR 523 form (see Comment Response to SOC Attach. 4A-1).
	Stanford	Please refer to enclosed update to the DPR for the Graduate School of Education Building.
	JRP	DPR revision adequately evaluates interior as not character defining.
SOC 20	21	Needs more supporting analysis to show how this glass addition is compatible and harmonious with the original design. As it reads, it sounds as though any addition using glass is acceptable. While we can generally agree that glass is an acceptable material, this needs to demonstrate how the <u>design</u> of the addition is compatible/harmonious with the original. The proposed addition shows the glass divided into small units which creates a starkly different visual impact than the appearance of the expansive smooth wallsurfaces of the original building, and the pattern of original window openings. Consider revising pattern of panes to echo that of the historic building.
	Stanford	Stanford appreciates the comments from JRP. Similar comments were also provided by County Planning Staff. Stanford has modified the spacing, pattern and size of the glass panes and mullions in the glazed curtain wall to be more responsive to the existing adjacent south-facing windows. The curtain wall's mullion and muntin pattern has been redesigned to reflect the dimensions and proportions of the original metal windows; each bay is now sub-divided into four glass panes instead of three. Please refer to pages 16-24: Standard #3, of the updated Statement of Compatibility (SOC-2, August 20, 2021).
	JRP	JRP agrees the design revisions to the glass curtain wall are more compatible with the tall and narrow dimensions and proportions of the extant south-facing windows.
	Stanford	Issue resolved.
SOC 21	22	Agree on all counts that the plans for the new South Building meet applicable standards. The design and scaleof the building complement the existing North Building, and the scale of the new construction is appropriate for the setting.
	Stanford	Stanford agrees with JRP's assessment; no further comment.

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		Barnum Center buildings need to be evaluated individually for CRHR eligibility. The Old Bookstore has high potential for eligibility when considered separately. We recommend that Stanford either revise the DPR 523 form set for Barnum Center to indicate that two buildings, Old Bookstore and Old Store, are evaluated on the form (and one modern building in the immediate setting does not require evaluation); or, prepare two separate DPR 523 forms, one for Old Bookstore and one for Old Store.
		If Old Bookstore is eligible (likely because of significance and historic integrity), the project would berestorative because it would demolish the Old Store that was built 5 feet away from Old Bookstore after its original construction.
		If Old Store is eligible (less likely because of loss of historic integrity), the project would demolish anhistorical resource.
	30, Review Summary	The California Register of Historical Resources (CRHR) evaluation of North Building needs to specifywhether there are interior character-defining features, and if so, what they are. Without this, the potential project impact of removing the auditorium cannot be adequately analyzed.
SOC 29		Confirm that all evaluations were conducted by professionals who qualify as Historians or ArchitecturalHistorians under the Secretary of the Interiors Standards.
		The glass addition proposed for the North Building courtyard is clearly differentiated from the original building; however, the SOC does not provide sufficient analysis of how it is compatible/harmonious with the original design as required by GUP and the <i>Secretary of the Interior's Standards for Rehabilitation Historic Buildings</i> . The glass addition could be considered a visual intrusion because the division of the glass into small units is a sharply different than the simple wall surfaces and rhythmic window placement of the original building. We recommend consideration of revising the size and pattern of the glass wall panes to echo the window pattern of the original building.
		We agree with the SOC analysis that the design, scale, and location of the new South Building meets applicable standards and is compatible with the cultural resources in the immediate setting.
		8. Old Bookstore should be protected in place during construction because of its proximity to new construction. We recommend identification of specific protection measures to be executed before and during construction.
	Stanford	Please refer to Stanford's enclosed cover letter dated $8/20/2021$ (Response to JRP Ltr - 1) for responses to items $1 - 8$ in this section.
	P&T	<b>Review Summary comment #1:</b> The Old Bookstore and Old Store buildings were built in 1906 and 1910 respectively as freestanding but related structures in terms of their similar roles in providing student services. Research found that the buildings, although originally physically separated, were connected physically and functionally in 1929.
	JRP	The individual building histories and evaluations of each building adequately addresses the original peer review comment.

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	P&T	<b>Review Summary comment #2:</b> The evaluation section has been updated to provide a separate evaluation of the Old Bookstore and the Old Store as individual buildings. An explanation that the Two- Story Addition and connector built in 2007 during Barnum Center project do not need to be evaluated as they are not age-eligible has also been included.
	JRP	The revisions adequately address the original peer review comment.
	P&T	<b>Review Summary comment #3</b> : Page & Turnbull has provided a separate evaluation of the Old Store for individual eligibility to the California Register, which concludes that the Old Store is not eligible.
	JRP	JRP notes that the DPR 523 form was revised and includes an evaluation for individual eligibility that concludes that the building is not eligible.
	P&T	Review Summary comment #4: Not applicable to Barnum Center DPR.
	JRP	See comment responses at the end of this table. The evaluation of the GSE building requires updating because it does not identify any justifiable period of significance. Without a period of significance, the character-defining features that convey significance cannot be identified, which also means that impacts analysis cannot be completed.
	Stanford	Please refer to enclosed update to the DPR for the Graduate School of Education Building, which addresses the period of significance and clarifies the character-defining features.
	JRP	DPR revision adequately updates period of significance.
	P&T	<b>Review Summary comment #5</b> : Confirmed. A statement of professional qualifications has been added to the revised DPR Forms and appears here: Page & Turnbull staff responsible for the Barnum Center DPRs include: Ruth Todd, FAIA, Principal-in-charge; Christina Dikas Associate Principal; and Josh Bevan, AICP Project Manager/Cultural Resources Planner and primary author; all of whom exceed the Secretary of the Interior's Professional Qualification Standards for Historic Architecture or Architectural History.
	JRP	Qualifications statement additions noted.
	P&T	Review Summary comment #6: Not applicable to Barnum Center DPR.
	JRP	See comment response above (SOC 20) regarding acknowledgement that revised design of glass panels is more complementary to the historical resources.
	P&T	Review Summary comment #7: Not applicable to Barnum Center DPR.

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	JRP	No further comment.
	P&T	Review Summary comment #8: Relates to proposed construction project, not applicable to DPR evaluation.
	JRP	The revised DPR form concludes that Old Bookstore is not eligible. While Stanford may wish to protect this asset, such treatments are not required for buildings that are not eligible for the CRHR.
	Stanford	Comments 1 – 8 have been addressed and resolved, and as noted above.
SOC Attach. 2-4	21	It would be useful to prepare a DPR 523 Update that adds specificity to the character-defining features, as well as any features that are not character-defining. This info is used to inform impacts analysis and to support the SOC.
	Stanford	Green Library DPR was prepared by Santa Clara County Planning Office. There are no proposed alterations or construction activities that would trigger a re-evaluation of this building. The proposed alterations to the Graduate School of Education North Building are on the opposite side from Green Library and the proposed new South Building is compatible in design.
	JRP	Acknowledged that there are no proposed alterations to Green Library. The conclusions of the SOC could be strengthened by updating this previous evaluation; however, it is not required for compliance with the GUP.
	Stanford	Please refer to enclosed update to the DPR for the Graduate School of Education Building.
	JRP	Issue resolved.
SOC Attach. 3A-1	28	This 2004 recordation seems to have set the precedent for recording this building cluster as a single building. They are three different buildings with three development histories. The structures used to connect the buildings later are ancillary.
	Stanford	See Page and Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	The Office of Historic Preservation's attribute codes define "ancillary buildings" as "HP4. Ancillary Building: Barns, outhouses, detached garages, carriage houses, sheds, etc."2 The original DPR form evaluation prepared by Page & Turnbull recorded the Barnum Center as one building as it is currently assigned one University Building code and has one assigned street address. The updated DPR forms provide a comprehensive history of both the Old Bookstore and Old Store and individual evaluations of each formerly freestanding building.
	JRP	Acknowledged that the updated DPR forms clarify the building histories and include individual evaluations of each building.

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	Stanford	Issue resolved.
SOC Attach. 3B-1	41	Was this evaluation accepted by the county?
	Stanford	The County relied upon it for the CEQA findings and issued a building permit.
	JRP	Acknowledged.
	Stanford	Issue resolved.
SOC Attach. 3C-1	42	These buildings would be more appropriately considered as separate buildings, similar to how other early 20th-century commercial buildings with party walls are considered (although in the case of Barnum Center, the buildings are actually separated and do not share walls).
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	Each of the buildings that comprise the Barnum Center are physically and functionally adjoined and function as one University facility with one use, one University- assigned building number, and one street address. The Old Store and the Old Bookstore were physically and functionally linked in 1929 and do not share party walls like some side-by-side commercial buildings. Nonetheless, the evaluation has been updated to consider each individually, while providing a comprehensive context that provides a thorough construction chronology and site development history of each building.
	JRP	Acknowledged that the updated DPR forms clarify the building histories and include individual evaluations of each building.
	Stanford	Issue resolved.
SOC Attach. 3C-2	43	The light standard shown in this photo is not included in the description below of "Site Features." Has it been evaluated if it is historic era?
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	The light standard does not appear to be historic in age. It does not appear in a pre-1960 photograph included in the DPR forms, showing a southeastward view of the Old Bookstore. The light standards appear to have been put in place ca. 2004, as they appear in a 2004 aerial photograph of the subject buildings. Overall, the light standard is not a site-specific feature for the subject property.

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	JRP	Acknowledged that the light standard is not of historic age and does not require inventory or evaluation as a potential historical resource.
	Stanford	Issue resolved.
SOC Attach. 3C-4	45	Are these truly adjoined? Or are there just stucco fences closing off the space between the two buildings?
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	Yes, the buildings are adjoined. The nature of the building's connection and functional relationship is explained in the site development history section in detail.
	JRP	Acknowledged.
	Stanford	Issue resolved.
SOC Attach. 3C-5	46	What is the source of the 1919 information?
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	An additional footnote has been added to provide citation. This citation, was previously provided in the Site Development History section of the evaluation.
	JRP	Noted.
	Stanford	Issue resolved.
SOC Attach. 3C-6	47	How was the "connection" accomplished? Is it a physical connection or a functional connection?
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	See above. This comment is similar to 3C-4 45 and has been addressed.
	JRP	Noted.

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	Stanford	Issue resolved.
SOC Attach. 3C-6	47	Are these original windows and a door on the east facade?
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	No, these windows and door are replacements, similar design to those at 2007 section of the Barnum Center.
	JRP	Clarification noted.
	Stanford	Issue resolved.
SOC Attach. 3C-7	48	This two-story building is not an addition. It is a separate building that does not need to be evaluated. It should only be taken into consideration as part of the setting of the Old Bookstore and the Old Store.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	The revised DPR form notes that this addition is not age-eligible and is therefore not evaluated.
	JRP	Noted that DPR form has been clarified that this building does not require evaluation at this time.
	Stanford	Issue resolved.
SOC Attach. 3C-7	48	The "modern connector" appears to be an enclosed breezeway. Did construction of the connection require any modification of openings on the east side of the Old Store? Or does the breezeway provide access to the Old Store through an existing opening?
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	Review of the plans included in the report indicates that the east façade of the Old Store was altered and does not retain any original openings.
	JRP	Noted that east side of Old Store does not have any extant original openings.
	Stanford	Issue resolved.

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SOC Attach. 3C-10	51	B3. should also list the original use of the Old Store.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	The B Form has been updated accordingly.
	JRP	Noted.
	Stanford	Issue resolved.
SOC Attach. 3C-11	52	This table lists very few exterior modifications made after the 1930s. It also shows that the 2007 project included rehabilitation actions that met SOI Standards. The analysis of historic integrity of each of these buildings should be reconsidered to reflect all actions.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	An integrity analysis is only required if a building is found to be eligible, or if loss of integrity is the reason for a building no longer representing significance. The evaluated buildings do not appear to be eligible.
	JRP	Integrity assessments are required if the resource appears to meet any of the significance criteria, and often included to strengthen cases of ineligibility. The content of the table appears to be directly related to building an argument about historic integrity of the resources. It is understood that individual evaluations of Old Store and Old Bookstore may conclude that one or both is eligible. Page & Turnbull revised the DPR form to individually evaluate each building and concluded that both are not eligible. No further action required.
	Stanford	Issue resolved.
SOC Attach. 3C-12	53	The orientation of the buildings to the quad remained unchanged.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	No response.
SOC Attach. 3C-12	53	See previous comments regarding the separate histories of these buildings. Re-naming them "Barnum Center" does not make them a single building.

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	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	The revised DPR form includes historic context relating to the Old Store and the Old Bookstore before the two buildings were physically and functionally connected in 1929.
	JRP	Acknowledged that the updated DPR forms clarify the building histories of Old Store and Old Bookstore.
	Stanford	Issue resolved.
SOC Attach. 3C-19	60	Clarify that the subject building was the first permanent home of the Stanford Bookstore.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	Clarification added to the sentence.
	JRP	Noted.
	Stanford	Issue resolved.
SOC Attach. 3C-27	68	I do not see a physical connection between the two buildings in the 1950 Sanborn - Figure 62. Consideran inset to provide a magnified or clarified detail.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	The connection is illustrated on the 1950 Sanborn map. A red arrow has been added to the map graphic in question, and a zoomed in detail view has been added to help illustrate the feature. Unfortunately, Sanborn map scans are often grainy, so the images provided are the best available.
	JRP	Mark-up to graphic noted.
	Stanford	Issue resolved.
SOC Attach. 3C-28	69	This alteration was carried out using appropriate materials for the building and a complementary design.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.

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	P&T	Yes, the materials were appropriate and the design contemporary, but that does not in its own right correlate to significance.
	JRP	Comment was intended to contribute to an integrity analysis. No further action needed.
	Stanford	Issue resolved.
SOC Attach. 3C-32	73	It is not clear what "pre-existing connection" this refers to. The "cut opening for door" shown on these plans looks like it refers to making an opening in the fence between the buildings to allow for passage between the buildings. It is unclear whether the door openings that face one another between the buildings are original or not.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	P&T reviewed available plans and has attempted to add clarity. "Pre- existing connection" refers to the original connection made between the buildings in 1929, which was later expanded.
	JRP	Clarification noted.
	Stanford	Issue resolved.
SOC Attach. 3C-40	81	His appointment as the first chair of the university's Art and Architecture Department should also be taken into account here. Also, while it is understood that the Lou Henry Hoover House was a team effort, it was ultimately his name on the design - it is a tough argument to make that the designer of a building that is later designated an NHL is not a master architect. Finally, Clark may take exception to the characterization that he was an educator first and an architect second. Even if he agreed, his appointment as first dept chair could beargued as recognition of his skills, thus meeting the definition of "master" architect.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	Clark's role as a department chair was an academic position, which did not relate to his professional practice or body of work. An individual's hiring as the first department chair is not in its own right significant, as a person's productive life and contributions to history or a specific profession would be evaluated under Criterion 2, or through an architectural lens under Criterion 3. Clark's appointment as Department Chair also occurred before many of the residences and subject building were designed, and therefore, preceded the majority of his career as an architect. Understanding of the architect's career, is necessary to determine whether they meet the threshold of a "master architect," rather than simply considering whether the individual was appointed to a chair position.

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	JRP	Noted that the evaluation in the DPR 523 form was revised to acknowledge that Clark meets the threshold of "master" architect.
	Stanford	Issue resolved.
SOC Attach. 3C-41	82	It is noteworthy that the wall parging that he applied after the earthquake has retained historic integrity to the present.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	The retention of the stucco since 1906 reconstruction was accomplished in part through repair and patching undertaken in 2007. This is described in the evaluation. Nonetheless, retention of stucco over an extended period of time has been accomplished at many buildings, with the work done by many builders, which does not lend to this aspect of the architecture being noteworthy in our opinion. Research did not find evidence that Balsbaugh's parging technique was considered innovative or influential, despite its apparent high quality.
	JRP	Noted that research did not find evidence that the parging technique was considered innovative or influential.
	Stanford	Issue resolved.
SOC Attach. 3C-41	82	Masters do not need to be nationally renowned or even formally trained. They can be significant within a local or statewide context.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	Clark's biography has been updated to acknowledge that he does appear to have been a master architect within a local context. However, his principal works were residences, and the subject Old Bookstore does not appear to be individually significant as a representative work of Clark's.
	JRP	Noted that the evaluation in the DPR 523 form was revised to acknowledge that Clark meets the threshold of "master" architect.
	Stanford	Issue resolved.
SOC Attach. 3C-42	83	"Originally completed in early 1906, the Barnum Center originated as" is not accurate. The Barnum Center as a concept did not exist until the 2000s. The Old Bookstore was constructed in 1906.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.

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	P&T	See updated DPRs for revised evaluation section.
	JRP	Acknowledged that the updated DPR forms clarify the building histories of Old Store and Old Bookstore.
	Stanford	Issue resolved.
SOC Attach. 3C-42	83	These early buildings do speak to how the university was conceptualized. They show that the university valued design of more than just the grand academic buildings. They help demonstrate the desire for a coherent architectural aesthetic.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	Many institutions seek to create architecturally cohesive campuses, valuing design and quality of construction as part of a broader plan. The Old Bookstore and Old Store were located close to the Quad and other buildings featuring masonry construction and tiled roofs akin to the blending of Richardsonian Romanesque precedents with the influence of California's missions. This aesthetic was incorporated into later buildings on campus as a means of harmonizing new and old architecture. Yet, the Old Bookstore and Old Store do not appear to be individually significant for their association historic patterns of campus development in the Bay Area region.
	JRP	It is acknowledged that the revised evaluation concludes that Old Store and Old Bookstore do not individually meet the significance criteria; however, the evaluations should address their potential to be contributors to a larger historic district should one be identified. This is because historic-era buildings can contribute to districts even when not individually significant.
	P&T/Stanford	Resources that do not appear to be individually eligible may be eligible as contributors to previously identified or potential historic districts. Neither previous historic evaluations nor research for this evaluation of the Old Bookstore and Old Store identified any potential or formally designated historic districts to which the subject buildings contribute. The updated DPR provides details regarding the prior district evaluations on campus to address this comment; please refer to page 47 of 52 of the updated DPR.
	JRP	Please see accompanying memorandum for complete comment.
SOC Attach. 3C-42	83	Student service buildings have their own historic context that is separate from the grand academic buildings. The evaluation needs to establish if student support buildings are a significant historic context to the university(seems likely) and evaluate them within that context.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.

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	P&T	The University's 2017 Historic Resources Survey establishes the context for evaluating Stanford's buildings. The context statement does not identify any events indicating that these two buildings are significant. Furthermore, Page & Turnbull's research did not identify any events that would otherwise be considered historically significant. Although the Old Bookstore was the first permanent bookstore on the campus, student services existed prior to the building's construction. Additionally, the establishment and planning of a campus may require the provision of academic, athletic, and support or service buildings. At a major university with an expansive history, it is most objective to consider whether a building or buildings being studied are associated with significant events related to scholarship, scientific research/development/invention, or exceptional contributions to public service.
	JRP	Acknowledged that Stanford does not consider student support an historically significant context.
	Stanford	Issue resolved.
SOC Attach. 3C-43	84	1. Consider that if they are the earliest and most pure examples of Mission Revival style on the campus, they may have local architectural significance; 2. Consider whether they are rare surviving examples of their type.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	P&T reviewed available architectural context to address these questions and considerations. As described in the DPR forms, neither the Old Bookstore or Old Store appear to be individually eligible under architectural criterion 3.
	JRP	Acknowledged that the revised DPR 523 form individually evaluates each building and concludes that neither meets any of the significance criteria.
	Stanford	Issue resolved.
SOC Attach. 3C-43	84	While there are grander examples of Mission Revival architecture, these buildings strongly demonstrate their architectural identity and architectural significance does not require that a resource is high style. They have sufficient character-defining elements to convey the style to observers. The form of the buildings also speaks to their quasi-commercial use. The rectangular form is consistent with commercial blocks on Main Streets in the early 20th century.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	P&T did not find that the buildings had sufficient character-defining elements of the Mission Revival style such that they would be individually eligible. Their commercial use does not in its own right distinguish these early twentieth century buildings from others.

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	JRP	Acknowledged that the revised DPR 523 form individually evaluates each building and concludes that neither meets any of the significance criteria.
	Stanford	Issue resolved.
SOC Attach. 3C-44	85	See previous comment re Clark.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	See above re: Clark.
	JRP	See response above (SOC Attachment 3C-41).
	Stanford	Issue resolved.
SOC Attach. 3C-44	85	Did research reveal if his parging technique - which has withstood for over 100 years - was developed by him,or innovative?
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	No, research did not reveal that the parging technique was innovative. The stucco was repaired during the course of the 2007 Barnum Center project.
	JRP	Noted that research did not find evidence that the parging technique was considered innovative or influential.
	Stanford	Issue resolved.

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SOC Attach. 3C-44	85	To properly evaluate these buildings, they should be considered two separate buildings. The Old Bookstore and the Old Store are among the earliest extant buildings on the Stanford Campus. They were built adjacent to the Main Quad according to a rather pure rendition of Mission Revival architecture to house student support services. The scale of the architecture was smaller than the highly stylized Romanesque academic buildings, a reflection of the separate, but still important, function of the buildings, and also consistent with the aesthetic chosen for other non-academic buildings on and near the campus during this period. These buildings could be argued to meet Criterion 1 for importance within the context of early student services, and to meet Criterion 3 as locally important examples of Mission Revival architecture that ties into the Main Quad and is an important aspect of the setting of the Main Quad. The historic integrity of each of the two buildings should be thoroughlyanalyzed and should take into consideration that they could be considered rare surviving examples of their type. It appears as though the Old Bookstore has a higher level of integrity than the Old Store. The 2007addition is a separate building and does not require evaluation.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	Refer to response above regarding evaluation of the Old Store and Old Bookstore as individual buildings. Page & Turnbull did not find that the buildings' roles in providing student services were individually significant. Historic integrity is only analyzed when buildings appear to be eligible based on significance criteria. In this case, neither building was found eligible. Therefore, neither building has a period of significance or character-defining features that would inform an integrity analysis.
	JRP	It is acknowledged that the revised evaluation concludes that Old Store and Old Bookstore do not individually meet the significance criteria; however, the evaluations should address their potential to be contributors to a larger historic district should one be identified. This is because historic-era buildings can contribute to districts even when not individually significant.
	Stanford	Please refer to enclosed update to the DPR for the Graduate School of Education Building (page 13 of 14) and the updated DPR for the Old Bookstore and Old Store (page 47 of 52).
	JRP	Please see accompanying memorandum for complete comment.
SOC Attach. 4A-1	90	Are these scholars who have a connection to the building?
	Stanford	This is a DPR that has been finalized and accepted by the County. The evaluation identified significant scholars associated with educational research and assessed their association with the property. The prior evaluation found the property eligible under Criterion 3; expanded consideration of additional scholars is not required to support the CEQA finding for the current proposed project.

Section Page#	Pdf Page#, Responder	Peer Review Comments and Responses
	JRP	This response applies to this comment and the remaining comments in this table that are all related to the School of Education evaluation: The identification documents for the historic School of Education North Building are inadequate. Because the project proposes a major alteration to the historic North Building, a thorough identification of its attributes, contributing elements, and character-defining features are required, but neither the original 2009 evaluation, nor the 2017 update, provide the necessary specificity and do not meet standard practice for evaluation. The 2009 evaluation identified a Period of Significance from 1938 – 2008 without justification of that lengthy period. This period of significance is not appropriate for a resource eligible for its architecture and in fact, could mean that all alterations and updates made to building up to 2008 could be considered character-defining. The 2017 update does not provide any justification for the period of significance it identifies it as 1900 – 1924, which is wholly inappropriate for a building constructed in 1938. These evaluations need to be updated with clarifications that properly define a period of significance, without which no character-defining features can be justifiably identified or defined. It is standard practice to conduct updates of previous cultural resources evaluations. The California Public Resources Code recognizes the importance of updating surveys that are greater than 5 years old before listing any properties in the CRHR. For a major project that will alter an historical resource, this principal should be applied here in order to identify a proper period of significance (i.e., local, state, or national). The updated evaluation must include identification of interior character-defining features, if any, explicitly describing any such features identified. Without this full identification of the aspects of significance and character-defining features, the project cannot be adequately assessed for impacts.
	Stanford	Please refer to enclosed update to the DPR for the Graduate School of Education Building.
	JRP	Please see accompanying memorandum for complete comment.
SOC Attach. 4A-2	91	1938 - 2008 is not an appropriate period of significance for a property that has architectural significance under Criterion 3 because this criterion recognizes the type, period, or method of construction at the time it was built. It would also mean that every change to the building during that period could be considered historically important. Also see comment on Period of Significance in the 2017 evaluation below.
	Stanford	This is a DPR that has been finalized and accepted by the County. The prior evaluation found the property eligible under Criterion 3; expanded consideration of other potential periods of significance is not required to support the CEQA finding for the current proposed project.
	JRP	See response to SOC Attachment 4A-1, pg 90, above.

Section Page#	Pdf Page#, Responder	Peer Review Comments and Responses
	Stanford	Please refer to enclosed update to the DPR for the Graduate School of Education Building; the period of significance has been addressed on page 7 of 14.
	JRP	Updated DPR appropriately revised the period of significance. Issue resolved.
SOC Attach. 4A-2	91	It is not clear how Lewis Terman would have any potential to be significantly associated with this building that was constructed in 1938. We suggest removing this paragraph. We recommend replacing it with analysis of faculty who worked in the building in the first few decades after it opened.
	Stanford	This is a DPR that has been finalized and accepted by the County. The DPR identified prominent Stanford scholars in the field of educational research and assessed their association with the property. The prior evaluation found the property eligible under Criterion 3; expanded consideration of other criteria is not required.
	JRP	See response to SOC Attachment 4A-1, pg 90, above.
	Stanford	Please refer to enclosed update to the DPR for the Graduate School of Education Building.
	JRP	Issue resolved.
SOC Attach. 4B-1	97	Has the light standard that appears in this photograph been inventoried or evaluated if it dates to the historicera?
	Stanford	The proposed project has no potential to affect this light standard. However, the light fixture ismodern and is a standard used throughout the central campus, installed approximately 25 years ago.
	JRP	Noted that the light standard does not date to the historic period.
	Stanford	Issue resolved.
SOC Attach. 4B-2	98	Need more specificity about the nature of the remodeling in order to develop an accurate list of character- defining features and to analyze potential project impacts. Expanded discussion should appear as part of the evaluation on the continuation sheets.

Section Page#	Pdf Page#, Responder	Peer Review Comments and Responses
	Stanford	The Graduate School of Education "North Building" has no public interior spaces and thus no character-defining interior features. The North Building is a private educational facility. Its offices and classrooms are intended for the private use of Stanford students, faculty and staff. Public access to the North Building occurs only occasionally and is not an integral use for this property. There is no expectation of public access to private facilities and it is common and customary to exclude private interior spaces from historic resource review. The County of Santa Clara and Stanford agreed that a small number of specialized facilities on the campus have as an integral component of their use welcoming members of the public: theaters, museums and sporting venues, in particular.
	JRP	See response to SOC Attachment 4A-1 above.
	Stanford	Please refer to enclosed update to the DPR for the Graduate School of Education Building.
	JRP	Issue resolved.
SOC Attach. 4B-2	98	This is not an appropriate period of significance for a building constructed in 1938.
	Stanford	This is a DPR that has been finalized and accepted by the County. The prior evaluation found theproperty eligible under Criterion 3; expanded consideration of other potential periods of significance is not required to support the CEQA finding for the current proposed project.
	JRP	See response to SOC Attachment 4A-1, pg 90, above.
	Stanford	Please refer to enclosed update to the DPR for the Graduate School of Education Building; the period of significance has been addressed.
	JRP	Issue resolved.
SOC Attach. 4B-2	98	The previous evaluation notes that the interior has high integrity. The evaluation needs to address potential interior character-defining features (especially because the project proposes interior changes). Also, the "Classical elements" should be specified and recorded on the form. The identification of character-defining features should also consider other aspects of the site like setback, hardscape, and circulation patterns.
	Stanford	The interior elements are not character-defining features in either previous evaluation of the building (2009 or 2017). The County and Stanford agree that interiors of campus buildings whose program is public-facing may be character- defining (see list). "Private" interiors are not. The GSE Building contains classrooms, offices and a library that serve its private educational activities and are only incidentally open to the public.

Section Page#	Pdf Page#, Responder	Peer Review Comments and Responses
	JRP	See response to SOC Attachment 4A-1 above.
	Stanford	Please refer to enclosed update to the DPR for the Graduate School of Education Building; there are no interior character-defining features.
	JRP	Issue resolved.



## MEMORANDUM

September 10, 2021

TO:	Charu Ahluwalia, Santa Clara County Office of Planning and Development
FROM:	Meta Bunse, JRP Principal Heather Norby, JRP Senior Historian
RE:	Stanford Graduate School of Education Peer Review, Historical Resources

On February 26, 2021, JRP Historical Consulting, LLC (JRP) submitted a peer review of the historic architectural (built) resources evaluations and Statement of Compatibility (SOC) for the Graduate School of Education Project on the Stanford University campus to assist the Santa Clara County Office of Planning and Development. Stanford provided revisions to sections of the historic evaluations, SOC, and plan set in response. This second peer review examines the revised SOC and its attachments for adequacy of compliance with the historical resources requirements and conditions of the Stanford General Use Permit and Stanford Community Plan, both dating to 2000.

The project proposes a major renovation to the historic School of Education North Building, a building that is eligible for listing in the California Register of Historical Resources (CRHR), demolition of a modern-era building and construction of a new four story building next to a single story building dating to 1913 that has been evaluated as not individually eligible for listing the CRHR. The renovation to the School of Education building, referred to in the plan set as "North Building" proposes major interior renovations and construction of a glass intervention at the south courtyard that would require demolition of the south wall of the historic North Building facing the south courtyard, demolition of the North Building central hip roof, and demolition of the interior of the central portion of the North Building.

This memorandum and the attached comment/response table provide specific JRP peer review recommendations for the revised SOC. The following summarizes the main review conclusions, and does not include each comment/response listed in the table:

- 1. The identification documents for the historic School of Education North Building are inadequate. Because the project proposes a major alteration to the historic North Building, a thorough identification of its attributes, contributing elements, and character-defining features are required, but neither the original 2009 evaluation, nor the 2017 update, provide the necessary specificity and do not meet standard practice for evaluation. The 2009 evaluation identified a Period of Significance from 1938 – 2008 without justification of that lengthy period. This period of significance is not appropriate for a resource eligible for its architecture and in fact, could mean that all alterations and updates made to building up to 2008 could be considered character-defining. The 2017 update does not provide any justification for the period of significance it identifies it as 1900 – 1924, which is wholly inappropriate for a building constructed in 1938. These evaluations need to be updated with clarifications that properly define a period of significance, without which no character-defining features can be justifiably identified or defined. It is standard practice to conduct updates of previous cultural resources evaluations. The California Public Resources Code recognizes the importance of updating surveys that are greater than 5 years old before listing any properties in the CRHR. For a major project that will alter an historical resource, this principal should be applied here in order to identify a proper period of significance, as well as a complete list of character-defining features of the historic North Building and the level of its significance (i.e., local, state, or national). The updated evaluation must include identification of interior character-defining features, if any, explicitly describing any such features identified. Without this full identification of the aspects of significance and character-defining features, the project cannot be adequately assessed for impacts.
- It is acknowledged that the revised evaluation concludes that Old Store and Old Bookstore do not individually meet the significance criteria; however, the evaluations should address their potential to be contributors to a larger historic district should one be identified. This is because historic-era buildings can contribute to districts even when not individually significant.
- 3. The project proposes major demolitions to the existing historic School of Education North Building. Please provide demolition plan drawings in the plan set, including protective measures to be applied to remining historic materials and/or characterdefining features of the historic building.
- 4. The SOC relies upon examples of additions that are compatible with historic buildings that are not analogous to the proposed project. Some of the examples provided are additions rather than renovations, in particular the examples shown in Figures 15 through 17. These exhibits demonstrate effective use of glass for additions to historic buildings but these projects do not appear to demolish historic fabric to the degree that this project proposes to demolish. The examples of glass interventions that are a more similar action to the proposed project that are shown in Figures 18 and 21 are more

compatible and responsive to the existing building than the proposed project (see next comment).

- 5. The project proposes to demolish the south wall of the historic North Building facing the south courtyard, the pitched roof above that wall, the hip roof component at the center of the building, and the interior of the central section of the building. The project proposes to replace the central roof and the roof facing the south courtyard with a flat roof. Demolishing what is presumably the original and character-defining roof form and introducing a flat roof form would cause a loss of historic integrity of the original design and materials of the building and does not comply with the Secretary of the Interior's Standards that state that the historic character of a property shall be retained and preserved and alterations shall not destroy historic materials that characterize the property. In addition, demolition of these roofing components and replacement with a flat roof does not meet the SOI Standard that require new construction to retain the essential form and historic integrity of the property in the event that the new construction was to be removed in the future. Note that the examples of the glass wall intervention at Cabell Hall did not alter the roofline (Figure 18 as presented cuts off the intact roofline but the full view is available online) and the glass wall intervention at Pier 5 was sympathetic to the three-part parapet on the streetside of the building. JRP recommends lowering the height of the glass intervention to below the existing eaves and retaining the original roof forms and original roof/wall junction and cornice.
- 6. The shade structure at the proposed curtain wall does not meet SOI Standards because it introduces a horizontal element to the wall where the original design did not have any such horizontal element. The original design of the building features two symmetrical courtyards that read as U-shaped spaces. The horizontally projecting shade structure would interrupt the open courtyard and is not sympathetic to the original design. Note the example of Cabell Hall that does not introduce any projections to the glass intervention. JRP recommends removing the shade structure from the design.
- 7. JRP agrees the design revisions to the arrangement of the glass curtain wall panes is more compatible with the tall and narrow dimensions and proportions of the extant south-facing windows.
- 8. The project proposes to depress the courtyard on the north side of the existing Graduate School of Education building. This would require replacing what is presumed to be an original door with a window and creation of a basement level entry. These actions cannot be fully analyzed without clearly defined character-defining features (see Comment #1); however, this action may meet SOI Standards because the alteration is compatible with the architectural features and massing, size, and scale of the original building.
- Introduction of contrasting paint colors to the west side of the new South Building is not compatible with the monochromatic buff exterior color scheme of the adjacent historic buildings.

10. For compatibility with nearby historic buildings that display more architectural elaboration on their main façades (that front primary circulation routes), JRP recommends making revisions to the design of the west façade of the South Building to differentiate it from the other sides of the building so that it is more clearly anchored to Lausen Mall.

As the alterations to the historic School of Education North Building are currently designed, JRP believes that this project is likely to diminish the historic integrity of the building to a degree that it would no longer be eligible for listing in the CRHR. This would likely constitute a significant adverse change to the historic School of Education North Building.

The MSWord version of the comment/response table is provided for use in subsequent rounds of review and comment. Please provide all subsequent comment response table submittals using that MSWord file so that it does not need to be recreated from a pdf or other format. Thank you.

# **Attachments**

## **Peer Review Comments Table**

Section Page#	Pdf Page#, Responder	Peer Review Comments and Responses
SOC 1	2	Two separate evaluations, one for Old Bookstore, and one for Old Store need to be prepared before thisconclusion can be reached. Old Bookstore in particular has potential for eligibility.
	Stanford	See enclosed Page & Turnbull memo dated 8/13/2021 (Page & Turnbull Response to JRP - 1) and revised DPR forms.
	P&T	The updated DPR forms provide an individual evaluation of each the Old Bookstore and the Old Store.
	JRP	JRP notes that Page & Turnbull has updated the DPR forms to include individual evaluations of each building. This revision adequately addresses the original peer review comment.
SOC 1	2	The 1910 building (Old Store) is not an addition. It was constructed as an entirely separate building.
	Stanford	See Page and Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	The updated DPRs clarify that the Old Store was built as a freestanding building next to the Old Bookstore and was connected to the Old Bookstore in 1929.
	JRP	The clarifications to the building histories of Old Store and Old Bookstore adequately address the peer review comment.
SOC 4	5	See previous comments. Barnum has been inappropriately evaluated as a single unit. The Old Bookstore andOld Store need to be individually evaluated.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	JRP	The individual evaluations of each building adequately addresses the original peer review comment.
SOC 4	5	I am not finding the direction in the CP/GUP that the project does not need require assessment of compatibility with properties outside the project site that have not been previously determined to be potentially eligible for listing in the CRHR. If new construction will occur within the setting of an eligibleresource, compatibility should be addressed.
	Stanford	All campus buildings over 45 years old have been evaluated by Stanford in the 2017Historic Survey (and in some cases in prior evaluations); character-defining features have been identified for all eligible buildings. There is no unevaluated age-eligible property in the setting.
	JRP	Acknowledged. JRP recommends revising the text to clarify that there are no unevaluated buildings in the immediate vicinity of the project.
SOC 9	10	It is clear that the curtain wall would be differentiated from the original building; however, it is not apparenthow the curtain wall is compatible with or harmonious with the design elements of the existing building as required to meet SOI Standards and comply with Preservation Brief 14. See project drawing AA2.3.

Section Page#	Pdf Page#, Responder	Peer Review Comments and Responses
	Stanford	Stanford appreciates the comments from JRP. Stanford has modified the spacing, pattern and size of the glass panes and mullions in the glazed curtain wall to be more responsive to the existing adjacent south-facing windows. The curtain wall's mullion and muntin pattern has been redesigned to reflect the dimensions and proportions of the original metal windows; each bay is now sub-divided into four glass panes instead of three. Please refer to pages 12-14: Standard #1, pages 16-24: Standard #3, of the updated Statement of Compatibility (SOC-2, August 20, 2021).
	JRP	JRP agrees the design revisions to the glass curtain wall are more compatible with the tall and narrow dimensions and proportions of the extant south-facing windows.
SOC 10	11	The evaluation needs to clarify whether there are interior character-defining features before this action can be assessed for compatibility.
	Stanford	The interior elements are not character-defining features in either previous evaluation of the building (2009 or 2017). The County and Stanford agree that interiors of campus buildings whose program is public-facing may be character- defining (see list). "Private" interiors are not. The GSE North Building contains classrooms, offices and a library that serve its private educational activities and are only incidentally open to the public.
	JRP	JRP acknowledges that the North Building does not have any spaces that Stanford considers public, and therefore does not consider any interior elements of GSE to be character-defining. Status of interior character-defining features needs to be clarified in an updated DPR 523 form (see Comment Response to SOC Attach. 4A-1).
SOC 11	12	Clarify if retaining the façade and retaining the auditorium is related. Could the auditorium be eliminated while retaining the facade?
	Stanford	Please refer to pages 12-14: Standard #1, of the updated Statement of Compatibility (SOC-2, August20, 2021).
	JRP	Revised SOC clarifies that the project purpose requires elimination of the auditorium to create a design that allows for modernized teaching philosophy that emphasizes student gathering spaces and collaboration.
SOC 11	12	If Old Bookstore is found eligible, this action could be considered restorative because the bookstore was builtfirst and stood alone until 1910.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	The evaluation of the Old Bookstore is based upon its existing condition and the existing setting, not a potential future setting of a project yet to be completed.
	JRP	The original comment was intended to provide guidance to the SOC analysis if the building was found eligible. No action is needed.
SOC 12	13	Have alternatives been considered?

Section Page#	Pdf Page#, Responder	Peer Review Comments and Responses
	Stanford	Alternatives were considered but they did not support the program aspirations of the school. Referto pages 12-14: Standard #1, of the updated Statement of Compatibility (SOC-2, August 20, 2021).
	JRP	Revised SOC clarifies that the proposed design is necessary to support the purpose of the project.
SOC 13	14	This action cannot be analyzed for impacts because the supporting CRHR evaluation does not address if thereare interior character-defining features and what they might consist of.
	Stanford	The interior elements are not character-defining features. See response to PDF page #11 above.
	JRP	JRP acknowledges that GSE does not have any spaces that Stanford considers public or character-defining. Status of interior character-defining features needs to be clarified in an updated DPR 523 form (see Comment Response to SOC Attach. 4A-1).
SOC 20	21	Needs more supporting analysis to show how this glass addition is compatible and harmonious with the original design. As it reads, it sounds as though any addition using glass is acceptable. While we can generally agree that glass is an acceptable material, this needs to demonstrate how the <u>design</u> of the addition is compatible/harmonious with the original. The proposed addition shows the glass divided into small units which creates a starkly different visual impact than the appearance of the expansive smooth wallsurfaces of the original building, and the pattern of original window openings. Consider revising pattern of panes to echo that of the historic building.
	Stanford	Stanford appreciates the comments from JRP. Similar comments were also provided by County Planning Staff. Stanford has modified the spacing, pattern and size of the glass panes and mullions in the glazed curtain wall to be more responsive to the existing adjacent south-facing windows. The curtain wall's mullion and muntin pattern has been redesigned to reflect the dimensions and proportions of the original metal windows; each bay is now sub-divided into four glass panes instead of three. Please refer to pages 16-24: Standard #3, of the updated Statement of Compatibility (SOC-2, August 20, 2021).
	JRP	JRP agrees the design revisions to the glass curtain wall are more compatible with the tall and narrow dimensions and proportions of the extant south-facing windows.
SOC 21	22	Agree on all counts that the plans for the new South Building meet applicable standards. The design and scaleof the building complement the existing North Building, and the scale of the new construction is appropriate for the setting.
	Stanford	Stanford agrees with JRP's assessment; no further comment.

Section Page#	Pdf Page#, Responder	Peer Review Comments and Responses
10561		Barnum Center buildings need to be evaluated individually for CRHR eligibility. The Old Bookstore has high potential for eligibility when considered separately. We recommend that Stanford either revise the DPR 523 form set for Barnum Center to indicate that two buildings, Old Bookstore and Old Store, are evaluated on the form (and one modern building in the immediate setting does not require evaluation); or, prepare two separate DPR 523 forms, one for Old Bookstore and one for Old Store.
		If Old Bookstore is eligible (likely because of significance and historic integrity), the project would berestorative because it would demolish the Old Store that was built 5 feet away from Old Bookstore after its original construction.
		If Old Store is eligible (less likely because of loss of historic integrity), the project would demolish anhistorical resource.
	30, Review Summary	The California Register of Historical Resources (CRHR) evaluation of North Building needs to specifywhether there are interior character-defining features, and if so, what they are. Without this, the potential project impact of removing the auditorium cannot be adequately analyzed.
SOC 29		Confirm that all evaluations were conducted by professionals who qualify as Historians or ArchitecturalHistorians under the Secretary of the Interiors Standards.
		The glass addition proposed for the North Building courtyard is clearly differentiated from the original building; however, the SOC does not provide sufficient analysis of how it is compatible/harmonious with the original design as required by GUP and the <i>Secretary of the Interior's Standards for Rehabilitation Historic Buildings</i> . The glass addition could be considered a visual intrusion because the division of the glass into small units is a sharply different than the simple wall surfaces and rhythmic window placement of the original building. We recommend consideration of revising the size and pattern of the glass wall panes to echo the window pattern of the original building.
		We agree with the SOC analysis that the design, scale, and location of the new South Building meetsapplicable standards and is compatible with the cultural resources in the immediate setting.
		8. Old Bookstore should be protected in place during construction because of its proximity to new construction. We recommend identification of specific protection measures to be executed before and during construction.
	Stanford	Please refer to Stanford's enclosed cover letter dated 8/20/2021 (Response to JRP Ltr - 1) forresponses to items 1 – 8 in this section.
	P&T	<b>Review Summary comment #1:</b> The Old Bookstore and Old Store buildings were built in 1906 and 1910 respectively as freestanding but related structures in terms of their similar roles in providing student services. Research found that the buildings, although originally physically separated, were connected physically and functionally in 1929.
	JRP	The individual building histories and evaluations of each building adequately addresses the original peer review comment.

Section	Pdf Page#,	Peer Review Comments and Responses
Page#	Responder	Perious Summers comment #2. The evolution section has been undeted to provide a concrete evolution of the Old
	P&T	<b>Review Summary comment #2:</b> The evaluation section has been updated to provide a separate evaluation of the Old Bookstore and the Old Store as individual buildings. An explanation that the Two- Story Addition and connector built in 2007 during Barnum Center project do not need to be evaluated as they are not age-eligible has also been included.
	JRP	The revisions adequately address the original peer review comment.
	P&T	<b>Review Summary comment #3</b> : Page & Turnbull has provided a separate evaluation of the Old Store for individual eligibility to the California Register, which concludes that the Old Store is not eligible.
	JRP	JRP notes that the DPR 523 form was revised and includes an evaluation for individual eligibility that concludes that the building is not eligible.
	P&T	Review Summary comment #4: Not applicable to Barnum Center DPR.
	JRP	See comment responses at the end of this table. The evaluation of the GSE building requires updating because it does not identify any justifiable period of significance. Without a period of significance, the character-defining features that convey significance cannot be identified, which also means that impacts analysis cannot be completed.
	P&T	<b>Review Summary comment #5</b> : Confirmed. A statement of professional qualifications has been added to the revised DPR Forms, and appears here: Page & Turnbull staff responsible for the Barnum Center DPRs include: Ruth Todd, FAIA, Principal-in-charge; Christina Dikas Associate Principal; and Josh Bevan, AICP Project Manager/Cultural Resources Planner and primary author; all of whom exceed the Secretary of the Interior's Professional Qualification Standards for Historic Architecture or Architectural History.
	JRP	Qualifications statement additions noted.
	P&T	Review Summary comment #6: Not applicable to Barnum Center DPR.
	JRP	See comment response above (SOC 20) regarding acknowledgement that revised design of glass panels is more complementary to the historical resources.
	P&T	Review Summary comment #7: Not applicable to Barnum Center DPR.
	JRP	No further comment.
	P&T	<b>Review Summary comment #8:</b> Relates to proposed construction project, not applicable to DPR evaluation.

Section Page#	Pdf Page#, Responder	Peer Review Comments and Responses
	JRP	The revised DPR form concludes that Old Bookstore is not eligible. While Stanford my wish to protect this asset, such treatments are not required for buildings that are not eligible for the CRHR.
SOC Attach. 2-4	21	It would be useful to prepare a DPR 523 Update that adds specificity to the character-defining features, as well as any features that are not character-defining. This info is used to inform impacts analysis and to support the SOC.
	Stanford	Green Library DPR was prepared by Santa Clara County Planning Office. There are no proposed alterations or construction activities that would trigger a re-evaluation of this building. The proposed alterations to the Graduate School of Education North Building are on the opposite side from Green Library and the proposed new South Building is compatible in design.
	JRP	Acknowledged that there are no proposed alterations to Green Library. The conclusions of the SOC could be strengthened by updating this previous evaluation; however, it is not required for compliance with the GUP.
SOC Attach. 3A-1	28	This 2004 recordation seems to have set the precedent for recording this building cluster as a single building. They are three different buildings with three development histories. The structures used to connect the buildings later are ancillary.
	Stanford	See Page and Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	The Office of Historic Preservation's attribute codes define "ancillary buildings" as "HP4. Ancillary Building: Barns, outhouses, detached garages, carriage houses, sheds, etc." 2 The original DPR form evaluation prepared by Page & Turnbull recorded the Barnum Center as one building as it is currently assigned one University Building code and has one assigned street address. The updated DPR forms provide a comprehensive history of both the Old Bookstore and Old Store and individual evaluations of each formerly freestanding building.
	JRP	Acknowledged that the updated DPR forms clarify the building histories and include individual evaluations of each building.
SOC Attach. 3B-1	41	Was this evaluation accepted by the county?
	Stanford	The County relied upon it for the CEQA findings and issued a building permit.
	JRP	Acknowledged.
SOC Attach. 3C-1	42	These buildings would be more appropriately considered as separate buildings, similar to how other early 20th-century commercial buildings with party walls are considered (although in the case of Barnum Center, the buildings are actually separated and do not share walls).
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.

Section Page#	Pdf Page#, Responder	Peer Review Comments and Responses
	P&T	Each of the buildings that comprise the Barnum Center are physically and functionally adjoined and function as one University facility with one use, one University- assigned building number, and one street address. The Old Store and the Old Bookstore were physically and functionally linked in 1929 and do not share party walls like some side-by-side commercial buildings. Nonetheless, the evaluation has been updated to consider each individually, while providing a comprehensive context that provides a thorough construction chronology and site development history of each building.
	JRP	Acknowledged that the updated DPR forms clarify the building histories and include individual evaluations of each building.
SOC Attach. 3C-2	43	The light standard shown in this photo is not included in the description below of "Site Features." Has it been evaluated if it is historic era?
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	The light standard does not appear to be historic in age. It does not appear in a pre-1960 photograph included in the DPR forms, showing a southeastward view of the Old Bookstore. The light standards appear to have been put in place ca. 2004, as they appear in a 2004 aerial photograph of the subject buildings. Overall, the light standard is not a site-specific feature for the subject property.
	JRP	Acknowledged that the light standard is not of historic age and does not require inventory or evaluation as a potential historical resource.
SOC Attach. 3C-4	45	Are these truly adjoined? Or are there just stucco fences closing off the space between the two buildings?
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	Yes, the buildings are adjoined. The nature of the building's connection and functional relationship is explained in the site development history section in detail.
	JRP	Acknowledged.
SOC Attach. 3C-5	46	What is the source of the 1919 information?
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	An additional footnote has been added to provide citation. This citation, was previously provided in the Site Development History section of the evaluation.

Section Page#	Pdf Page#, Responder	Peer Review Comments and Responses
	JRP	Noted.
SOC Attach. 3C-6	47	How was the "connection" accomplished? Is it a physical connection or a functional connection?
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	See above. This comment is similar to 3C-4 45 and has been addressed.
	JRP	Noted.
SOC Attach. 3C-6	47	Are these original windows and a door on the east facade?
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	No, these windows and door are replacements, similar design to those at 2007 section of the Barnum Center.
	JRP	Clarification noted.
SOC Attach. 3C-7	48	This two-story building is not an addition. It is a separate building that does not need to be evaluated. It should only be taken into consideration as part of the setting of the Old Bookstore and the Old Store.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	The revised DPR form notes that this addition is not age-eligible and is therefore not evaluated.
	JRP	Noted that DPR form has been clarified that this building does not require evaluation at this time.
SOC Attach. 3C-7	48	The "modern connector" appears to be an enclosed breezeway. Did construction of the connection require any modification of openings on the east side of the Old Store? Or does the breezeway provide access to the OldStore through an existing opening?
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	Review of the plans included in the report indicates that the east façade of the Old Store was altered and does not retain any original openings.

Section Page#	Pdf Page#, Responder	Peer Review Comments and Responses
	JRP	Noted that east side of Old Store does not have any extant original openings.
SOC Attach. 3C-10	51	B3. should also list the original use of the Old Store.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	The B Form has been updated accordingly.
	JRP	Noted.
SOC Attach. 3C-11	52	This table lists very few exterior modifications made after the 1930s. It also shows that the 2007 project included rehabilitation actions that met SOI Standards. The analysis of historic integrity of each of these buildings should be reconsidered to reflect all actions.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	An integrity analysis is only required if a building is found to be eligible, or if loss of integrity is the reason for a building no longer representing significance. The evaluated buildings do not appear to be eligible.
	JRP	Integrity assessments are required if the resource appears to meet any of the significance criteria, and often included to strengthen cases of ineligibility. The content of the table appears to be directly related to building an argument about historic integrity of the resources. It is understood that individual evaluations of Old Store and Old Bookstore may conclude that one or both is eligible. Page & Turnbull revised the DPR form to individually evaluate each building and concluded that both are not eligible. No further action required.
SOC Attach. 3C-12	53	The orientation of the buildings to the quad remained unchanged.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	No response.
SOC Attach. 3C-12	53	See previous comments regarding the separate histories of these buildings. Re-naming them "Barnum Center" does not make them a single building.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.

Section Page#	Pdf Page#, Responder	Peer Review Comments and Responses
	P&T	The revised DPR form includes historic context relating to the Old Store and the Old Bookstore before the two buildings were physically and functionally connected in 1929.
	JRP	Acknowledged that the updated DPR forms clarify the building histories of Old Store and Old Bookstore.
SOC Attach. 3C-19	60	Clarify that the subject building was the first permanent home of the Stanford Bookstore.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	Clarification added to the sentence.
	JRP	Noted.
SOC Attach. 3C-27	68	I do not see a physical connection between the two buildings in the 1950 Sanborn - Figure 62. Consideran inset to provide a magnified or clarified detail.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	The connection is illustrated on the 1950 Sanborn map. A red arrow has been added to the map graphic in question, and a zoomed in detail view has been added to help illustrate the feature. Unfortunately, Sanborn map scans are often grainy, so the images provided are the best available.
	JRP	Mark-up to graphic noted.
SOC Attach. 3C-28	69	This alteration was carried out using appropriate materials for the building and a complementary design.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	Yes, the materials were appropriate and the design contemporary, but that does not in its own right correlate to significance.
	JRP	Comment was intended to contribute to an integrity analysis. No further action needed.
SOC Attach. 3C-32	73	It is not clear what "pre-existing connection" this refers to. The "cut opening for door" shown on these planslooks like it refers to making an opening in the fence between the buildings to allow for passage between thebuildings. It is unclear whether the door openings that face one another between the buildings are original or not.

Section Page#	Pdf Page#, Responder	Peer Review Comments and Responses
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	P&T reviewed available plans and has attempted to add clarity. "Pre- existing connection" refers to the original connection made between the buildings in 1929, which was later expanded.
	JRP	Clarification noted.
SOC Attach. 3C-40	81	His appointment as the first chair of the university's Art and Architecture Department should also be taken into account here. Also, while it is understood that the Lou Henry Hoover House was a team effort, it was ultimately his name on the design - it is a tough argument to make that the designer of a building that is later designated an NHL is not a master architect. Finally, Clark may take exception to the characterization that he was an educator first and an architect second. Even if he agreed, his appointment as first dept chair could beargued as recognition of his skills, thus meeting the definition of "master" architect.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	Clark's role as a department chair was an academic position, which did not relate to his professional practice or body of work. An individual's hiring as the first department chair is not in its own right significant, as a person's productive life and contributions to history or a specific profession would be evaluated under Criterion 2, or through an architectural lens under Criterion 3. Clark's appointment as Department Chair also occurred before many of the residences and subject building were designed, and therefore, preceded the majority of his career as an architect. Understanding of the architect's career, is necessary to determine whether they meet the threshold of a "master architect," rather than simply considering whether the individual was appointed to a chair position.
	JRP	Noted that the evaluation in the DPR 523 form was revised to acknowledge that Clark meets the threshold of "master" architect.
SOC Attach. 3C-41	82	It is noteworthy that the wall parging that he applied after the earthquake has retained historic integrity to the present.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	The retention of the stucco since 1906 reconstruction was accomplished in part through repair and patching undertaken in 2007. This is described in the evaluation. Nonetheless, retention of stucco over an extended period of time has been accomplished at many buildings, with the work done by many builders, which does not lend to this aspect of the architecture being noteworthy in our opinion. Research did not find evidence that Balsbaugh's parging technique was considered innovative or influential, despite its apparent high quality.

Section Page#	Pdf Page#, Responder	Peer Review Comments and Responses
	JRP	Noted that research did not find evidence that the parging technique was considered innovative or influential.
SOC Attach. 3C-41	82	Masters do not need to be nationally renowned or even formally trained. They can be significant within a local or statewide context.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	Clark's biography has been updated to acknowledge that he does appear to have been a master architect within a local context. However, his principal works were residences, and the subject Old Bookstore does not appear to be individually significant as a representative work of Clark's.
	JRP	Noted that the evaluation in the DPR 523 form was revised to acknowledge that Clark meets the threshold of "master" architect.
SOC Attach. 3C-42	83	"Originally completed in early 1906, the Barnum Center originated as" is not accurate. The Barnum Center asa concept did not exist until the 2000s. The Old Bookstore was constructed in 1906.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	See updated DPRs for revised evaluation section.
	JRP	Acknowledged that the updated DPR forms clarify the building histories of Old Store and Old Bookstore.
SOC Attach. 3C-42	83	These early buildings do speak to how the university was conceptualized. They show that the university valued design of more than just the grand academic buildings. They help demonstrate the desire for a coherent architectural aesthetic.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	Many institutions seek to create architecturally cohesive campuses, valuing design and quality of construction as part of a broader plan. The Old Bookstore and Old Store were located close to the Quad and other buildings featuring masonry construction and tiled roofs akin to the blending of Richardsonian Romanesque precedents with the influence of California's missions. This aesthetic was incorporated into later buildings on campus as a means of harmonizing new and old architecture. Yet, the Old Bookstore and Old Store do not appear to be individually significant for their association historic patterns of campus development in the Bay Area region.

Pdf Page#,

Responder

Section

Page#

Peer Review Comments and Responses
aluation concludes that Old Store and Old Bookstore do not individually meet the uations should address their potential to be contributors to a larger historic s because historic-era buildings can contribute to districts even when not

Fagen	Responder	
	JRP	It is acknowledged that the revised evaluation concludes that Old Store and Old Bookstore do not individually meet the significance criteria; however, the evaluations should address their potential to be contributors to a larger historic district should one be identified. This is because historic-era buildings can contribute to districts even when not individually significant.
SOC Attach. 3C-42	83	Student service buildings have their own historic context that is separate from the grand academic buildings. The evaluation needs to establish if student support buildings are a significant historic context to the university(seems likely) and evaluate them within that context.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	The University's 2017 Historic Resources Survey establishes the context for evaluating Stanford's buildings. The context statement does not identify any events indicating that these two buildings are significant. Furthermore, Page & Turnbull's research did not identify any events that would otherwise be considered historically significant. Although the Old Bookstore was the first permanent bookstore on the campus, student services existed prior to the building's construction. Additionally, the establishment and planning of a campus may require the provision of academic, athletic, and support or service buildings. At a major university with an expansive history, it is most objective to consider whether a building or buildings being studied are associated with significant events related to scholarship, scientific research/development/invention, or exceptional contributions to public service.
	JRP	Acknowledged that Stanford does not consider student support an historically significant context.
SOC Attach. 3C-43	84	1. Consider that if they are the earliest and most pure examples of Mission Revival style on the campus, they may have local architectural significance; 2. Consider whether they are rare surviving examples of their type.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	P&T reviewed available architectural context to address these questions and considerations. As described in the DPR forms, neither the Old Bookstore or Old Store appear to be individually eligible under architectural criterion 3.
	JRP	Acknowledged that the revised DPR 523 form individually evaluates each building and concludes that neither meets any of the significance criteria.
SOC Attach. 3C-43	84	While there are grander examples of Mission Revival architecture, these buildings strongly demonstrate their architectural identity and architectural significance does not require that a resource is high style. They have sufficient character-defining elements to convey the style to observers. The form of the buildings also speaks to their quasi-commercial use. The rectangular form is consistent with commercial blocks on Main Streets in the early 20th century.

Section Page#	Pdf Page#, Responder	Peer Review Comments and Responses
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	P&T did not find that the buildings had sufficient character-defining elements of the Mission Revival style such that they would be individually eligible. Their commercial use does not in its own right distinguish these early twentieth century buildings from others.
	JRP	Acknowledged that the revised DPR 523 form individually evaluates each building and concludes that neither meets any of the significance criteria.
SOC Attach. 3C-44	85	See previous comment re Clark.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	See above re: Clark.
	JRP	See response above (SOC Attachment 3C-41).
SOC Attach. 3C-44	85	Did research reveal if his parging technique - which has withstood for over 100 years - was developed by him,or innovative?
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	No, research did not reveal that the parging technique was innovative. The stucco was repaired during the course of the 2007 Barnum Center project.
	JRP	Noted that research did not find evidence that the parging technique was considered innovative or influential.

Section	Pdf Page#,	Peer Review Comments and Responses
Page#	Responder	To properly avaluate these buildings, they should be considered two separate buildings. The Old Deekstere and the Old
SOC Attach. 3C-44	85	To properly evaluate these buildings, they should be considered two separate buildings. The Old Bookstore and the Old Store are among the earliest extant buildings on the Stanford Campus. They were built adjacent to the Main Quad according to a rather pure rendition of Mission Revival architecture to house student support services. The scale of the architecture was smaller than the highly stylized Romanesque academic buildings, a reflection of the separate, but still important, function of the buildings, and also consistent with the aesthetic chosen for other non-academic buildings on and near the campus during this period. These buildings could be argued to meet Criterion 1 for importance within the context of early student services, and to meet Criterion 3 as locally important examples of Mission Revival architecture that ties into the Main Quad and is an important aspect of the setting of the Main Quad. The historic integrity of each of the two buildings should be thoroughlyanalyzed and should take into consideration that they could be considered rare surviving examples of their type. It appears as though the Old Bookstore has a higher level of integrity than the Old Store. The 2007addition is a separate building and does not require evaluation.
	Stanford	See Page & Turnbull memo dated 8/13/2021 and revised DPR forms.
	P&T	Refer to response above regarding evaluation of the Old Store and Old Bookstore as individual buildings. Page & Turnbull did not find that the buildings' roles in providing student services were individually significant. Historic integrity is only analyzed when buildings appear to be eligible based on significance criteria. In this case, neither building was found eligible. Therefore, neither building has a period of significance or character-defining features that would inform an integrity analysis.
	JRP	It is acknowledged that the revised evaluation concludes that Old Store and Old Bookstore do not individually meet the significance criteria; however, the evaluations should address their potential to be contributors to a larger historic district should one be identified. This is because historic-era buildings can contribute to districts even when not individually significant.
SOC Attach. 4A-1	90	Are these scholars who have a connection to the building?
	Stanford	This is a DPR that has been finalized and accepted by the County. The evaluation identified significant scholars associated with educational research and assessed their association with the property. The prior evaluation found the property eligible under Criterion 3; expanded consideration of additional scholars is not required to support the CEQA finding for the current proposed project.

Section Page#	Pdf Page#, Responder	Peer Review Comments and Responses
	JRP	This response applies to this comment and the remaining comments in this table that are all related to the School of Education evaluation: The identification documents for the historic School of Education North Building are inadequate. Because the project proposes a major alteration to the historic North Building, a thorough identification of its attributes, contributing elements, and character-defining features are required, but neither the original 2009 evaluation, nor the 2017 update, provide the necessary specificity and do not meet standard practice for evaluation. The 2009 evaluation identified a Period of Significance from 1938 – 2008 without justification of that lengthy period. This period of significance is not appropriate for a resource eligible for its architecture and in fact, could mean that all alterations and updates made to building up to 2008 could be considered character-defining. The 2017 update does not provide any justification for the period of significance it identifies it as 1900 – 1924, which is wholly inappropriate for a building constructed in 1938. These evaluations need to be updated with clarifications that properly define a period of significance, without which no character-defining features can be justifiably identified or defined. It is standard practice to conduct updates of previous cultural resources evaluations. The California Public Resources Code recognizes the importance of updating surveys that are greater than 5 years old before listing any properties in the CRHR. For a major project that will alter an historical resource, this principal should be applied here in order to identify a proper period of significance (i.e., local, state, or national). The updated evaluation must include identification of interior character-defining features, if any, explicitly describing any such features identified. Without this full identification of the aspects of significance and character-defining features, the project cannot be adequately assessed for impacts.
SOC Attach. 4A-2	91	<ul> <li>1938 - 2008 is not an appropriate period of significance for a property that has architectural significance underCriterion</li> <li>3 because this criterion recognizes the type, period, or method of construction at the time it was built. It would also mean that every change to the building during that period could be considered historically important. Also see comment on Period of Significance in the 2017 evaluation below.</li> <li>This is a DPR that has been finalized and accepted by the County. The prior evaluation found the property eligible</li> </ul>
	Stanford	under Criterion 3; expanded consideration of other potential periods of significance is not required to support the CEQA finding for the current proposed project.
	JRP	See response to SOC Attachment 4A-1, pg 90, above.
SOC Attach. 4A-2	91	It is not clear how Lewis Terman would have any potential to be significantly associated with this building that was constructed in 1938. We suggest we removing this paragraph. We recommend replacing it with analysis of faculty who worked in the building in the first few decades after it opened.

Section Page#	Pdf Page#, Responder	Peer Review Comments and Responses
	Stanford	This is a DPR that has been finalized and accepted by the County. The DPR identified prominent Stanford scholars in the field of educational research and assessed their association with the property. The prior evaluation found the property eligible under Criterion 3; expanded consideration of other criteria is notrequired.
	JRP	See response to SOC Attachment 4A-1, pg 90, above.
SOC Attach. 4B-1	97	Has the light standard that appears in this photograph been inventoried or evaluated if it dates to the historicera?
	Stanford	The proposed project has no potential to affect this light standard. However, the light fixture ismodern and is a standard used throughout the central campus, installed approximately 25 years ago.
	JRP	Noted that the light standard does not date to the historic period.
SOC Attach. 4B-2	98	Need more specificity about the nature of the remodeling in order to develop an accurate list of character- defining features and to analyze potential project impacts. Expanded discussion should appear as part of the evaluation on the continuation sheets.
	Stanford	The Graduate School of Education "North Building" has no public interior spaces and thus no character-defining interior features. The North Building is a private educational facility. Its offices and classrooms are intended for the private use of Stanford students, faculty and staff. Public access to the North Building occurs only occasionally and is not an integral use for this property. There is no expectation of public access to private facilities and it is common and customary to exclude private interior spaces from historic resource review. The County of Santa Clara and Stanford agreed that a small number of specialized facilities on the campus have as an integral component of their use welcoming members of the public: theaters, museums and sporting venues, in particular.
	JRP	See response to SOC Attachment 4A-1 above.
SOC Attach. 4B-2	98	This is not an appropriate period of significance for a building constructed in 1938.
	Stanford	This is a DPR that has been finalized and accepted by the County. The prior evaluation found theproperty eligible under Criterion 3; expanded consideration of other potential periods of significance is not required to support the CEQA finding for the current proposed project.
	JRP	See response to SOC Attachment 4A-1, pg 90, above.

Section Page#	Pdf Page#, Responder	Peer Review Comments and Responses
SOC Attac 4B-2	h. 98	The previous evaluation notes that the interior has high integrity. The evaluation needs to address potentialinterior character-defining features (especially because the project proposes interior changes). Also, the "Classical elements" should be specified and recorded on the form. The identification of character-defining features should also consider other aspects of the site like setback, hardscape, and circulation patterns.
	Stanford	The interior elements are not character-defining features in either previous evaluation of the building (2009 or 2017). The County and Stanford agree that interiors of campus buildings whose programis public-facing may be character- defining (see list). "Private" interiors are not. The GSE Building contains classrooms, offices and a library that serve its private educational activities and are only incidentally open to the public.
	JRP	See response to SOC Attachment 4A-1 above.



## MEMORANDUM

February 26, 2021

TO:	Charu Ahluwalia, Santa Clara County Office of Planning and Development
FROM:	Meta Bunse, JRP Principal Heather Norby, JRP Senior Historian
RE:	Stanford Graduate School of Education Peer Review, Historical Resources

JRP Historical Consulting, LLC (JRP) prepared the attached peer review of the historic architectural (built) resources evaluation and Statement of Compatibility (SOC) for the Graduate School of Education Project on the Stanford University campus to assist the Santa Clara County Office of Planning and Development. This review examines the evaluation documents and SOC for adequacy in their compliance with the historical resources requirements and conditions of the Stanford General Use Permit and Stanford Community Plan, both dating to 2000.

The attached table provides specific JRP peer review comments on the evaluations and SOC and the following summarizes the review conclusions:

- Barnum Center buildings need to be evaluated individually for CRHR eligibility. The Old Bookstore has high potential for eligibility when considered separately. We recommend that Stanford either revise the DPR 523 form set for Barnum Center to indicate that two buildings, Old Bookstore and Old Store, are evaluated on the form (and one modern building in the immediate setting does not require evaluation); or, prepare two separate DPR 523 forms, one for Old Bookstore and one for Old Store.
- 2. If Old Bookstore is eligible (likely because of significance and historic integrity), the project would be restorative because it would demolish the Old Store that was built 5 feet away from Old Bookstore after its original construction.
- 3. If Old Store is eligible (less likely because of loss of historic integrity), the project would demolish an historical resource.

- 4. The California Register of Historical Resources (CRHR) evaluation of North Building needs to specify whether there are interior character-defining features, and if so, what they are. Without this, the potential project impact of removing the auditorium cannot be adequately analyzed.
- 5. Confirm that all evaluations were conducted by professionals who qualify as Historians or Architectural Historians under the Secretary of the Interiors Standards.
- 6. The glass addition proposed for the North Building courtyard is clearly differentiated from the original building; however, the SOC does not provide sufficient analysis of how it is compatible/harmonious with the original design as required by GUP and the *Secretary of the Interior's Standards for Rehabilitation Historic Buildings*. The glass addition could be considered a visual intrusion because the division of the glass into small units is a sharply different than the simple wall surfaces and rhythmic window placement of the original building. We recommend consideration of revising the size and pattern of the glass wall panes to echo the window pattern of the original building.
- 7. We agree with the SOC analysis that the design, scale, and location of the new South Building meets applicable standards and is compatible with the cultural resources in the immediate setting.
- 8. Old Bookstore should be protected in place during construction because of its proximity to new construction. We recommend identification of specific protection measures to be executed before and during construction.

# Attachments

# **Peer Review Comments Table**

Section Page#	Pdf Page#	Peer Review Comment	
SOC 1	2	Two separate evaluations, one for Old Bookstore, and one for Old Store need to be prepared before this	
300 1	2	conclusion can be reached. Old Bookstore in particular has potential for eligibility.	
SOC 1	2	The 1910 building (Old Store) is not an addition. It was constructed as an entirely separate building.	
SOC 4	5	See previous comments. Barnum has been inappropriately evaluated as a single unit. The Old Bookstore and	
500 4	5	Old Store need to be individually evaluated.	
		I am not finding the direction in the CP/GUP that the project does not need require assessment of	
SOC 4	5	compatibility with properties outside the project site that have not been previously determined to be	
500 4	5	potentially eligible for listing in the CRHR. If new construction will occur within the setting of an eligible	
		resource, compatibility should be addressed.	
		It is clear that the curtain wall would be differentiated from the original building; however, it is not apparent	
SOC 9	10	how the curtain wall is compatible with or harmonious with the design elements of the existing building as	
		required to meet SOI Standards and comply with Preservation Brief 14. See project drawing AA2.3.	
SOC 10	11	The evaluation needs to clarify whether there are interior character-defining features before this action can be	
		assessed for compatibility.	
SOC 11	12	Clarify if retaining the façade and retaining the auditorium is related. Could the auditorium be eliminated while	
		retaining the facade?	
SOC 11	12	If Old Bookstore is found eligible, this action could be considered restorative because the bookstore was built	
		first and stood alone until 1910.	
SOC 12	13	Have alternatives been considered?	
SOC 13	14	This action cannot be analyzed for impacts because the supporting CRHR evaluation does not address if there	
		are interior character-defining features and what they might consist of.	
	21	Needs more supporting analysis to show how this glass addition is compatible and harmonious with the	
		original design. As it reads, it sounds as though any addition using glass is acceptable. While we can generally	
		agree that glass is an acceptable material, this needs to demonstrate how the design of the addition is	
SOC 20		compatible/harmonious with the original. The proposed addition shows the glass divided into small units	
		which creates a starkly different visual impact than the appearance of the expansive smooth wall surfaces of	
		the original building, and the pattern of original window openings. Consider revising pattern of panes to echo	
		that of the historic building.	
	22	Agree on all counts that the plans for the new South Building meet applicable standards. The design and scale	
SOC 21		of the building complement the existing North Building, and the scale of the new construction is appropriate for the setting.	

Section Page#	Pdf Page#	Peer Review Comment
SOC 29	30	<ul> <li>Review Summary:</li> <li>1. Barnum Center buildings need to be evaluated individually for CRHR eligibility. The Old Bookstore has high potential for eligibility when considered separately. We recommend that Stanford either revise the DPR 523 form set for Barnum Center to indicate that two buildings, Old Bookstore and Old Store, are evaluated on the form (and one modern building in the immediate setting does not require evaluation); or, prepare two separate DPR 523 forms, one for Old Bookstore and one for Old Store.</li> </ul>
		<ol> <li>If Old Bookstore is eligible (likely because of significance and historic integrity), the project would be restorative because it would demolish the Old Store that was built 5 feet away from Old Bookstore after its original construction.</li> </ol>
		3. If Old Store is eligible (less likely because of loss of historic integrity), the project would demolish an historical resource.
		4. The California Register of Historical Resources (CRHR) evaluation of North Building needs to specify whether there are interior character-defining features, and if so, what they are. Without this, the potential project impact of removing the auditorium cannot be adequately analyzed.
		5. Confirm that all evaluations were conducted by professionals who qualify as Historians or Architectural Historians under the Secretary of the Interiors Standards.
		6. The glass addition proposed for the North Building courtyard is clearly differentiated from the original building; however, the SOC does not provide sufficient analysis of how it is compatible/harmonious with the original design as required by GUP and the <i>Secretary of the Interior's Standards for Rehabilitation Historic Buildings</i> . The glass addition could be considered a visual intrusion because the division of the glass into small units is a sharply different than the simple wall surfaces and rhythmic window placement of the original building. We recommend consideration of revising the size and pattern of the glass wall panes to echo the window pattern of the original building.
		7. We agree with the SOC analysis that the design, scale, and location of the new South Building meets applicable standards and is compatible with the cultural resources in the immediate setting.

Section Page#	Pdf Page#	Peer Review Comment	
		Old Bookstore should be protected in place during construction because of its proximity to new construction.	
		We recommend identification of specific protection measures to be executed before and during construction.	
SOC Attachments		It would be useful to prepare a DPR 523 Update that adds specificity to the character-defining features. As well	
2-4	21	as any features that are not character-defining. This info is used to inform impacts analysis and to support the SOC.	
		This 2004 recordation seems to have set the precedent for recording this building cluster as a single building.	
SOC Attachments 3A-1	28	They are three different buildings with three development histories. The structures used to connect the buildings later are ancillary.	
SOC Attachments 3B-1	41	Was this evaluation accepted by the county?	
SOC Attachments		These buildings would be more appropriately considered as separate buildings, similar to how other early	
3C-1	42	20th-century commercial buildings with party walls are considered (although in the case of Barnum Center, the	
50-1		buildings are actually separated and do not share walls).	
SOC Attachments	43	The light standard shown in this photo is not included in the description below of "Site Features." Has it been	
3C-2	45	evaluated if it is historic era?	
SOC Attachments 3C-4	45	Are these truly adjoined? Or are there just stucco fences closing off the space between the two buildings?	
SOC Attachments 3C-5	46	What is the source of the 1919 information?	
SOC Attachments 3C-6	47	How was the "connection" accomplished? Is it a physical connection or a functional connection?	
SOC Attachments 3C-6	47	Are these original windows and a door on the east facade?	
SOC Attachments 3C-7	48	This two-story building is not an addition. It is a separate building that does not need to be evaluated. It should only be taken into consideration as part of the setting of the Old Bookstore and the Old Store.	
SOC Attachments 3C-7	48	The "modern connector" appears to be an enclosed breezeway. Did construction of the connection require modification of openings on the east side of the Old Store? Or does the breezeway provide access to the Ol Store through an existing opening?	
SOC Attachments 3C-10	51	B3. should also list the original use of the Old Store.	

Section Page#	Pdf Page#	Peer Review Comment			
SOC Attachments 3C-11	52	This table lists very few exterior modifications made after the 1930s. It also shows that the 2007 project included rehabilitation actions that met SOI Standards. The analysis of historic integrity of each of these buildings should be reconsidered to reflect all actions.			
SOC Attachments 3C-12	53	The orientation of the buildings to the quad remained unchanged.			
SOC Attachments 3C-12	53	See previous comments regarding the separate histories of these buildings. Re-naming them "Barnam Center" does not make them a single building.			
SOC Attachments 3C-19	60	Clarify that the subject building was the first permanent home of the Stanford Bookstore.			
SOC Attachments 3C-27	68	I do not see a physical connection between the two buildings in the 1950 Sanborn - Figure 62. Consider an inset to provide a magnified or clarified detail.			
SOC Attachments 3C-28	69	This alteration was carried out using appropriate materials for the building and a complementary design.			
SOC Attachments 3C-32	73	It is not clear what "pre-existing connection" this refers to. The "cut opening for door" shown on these plans looks like it refers to making an opening in the fence between the buildings to allow for passage between the buildings. It is unclear whether the door openings that face one another between the buildings are original or not.			
SOC Attachments 3C-40	81	His appointment as the first chair of the university's Art and Architecture Department should also be taken into account here. Also, while it is understood that the Lou Henry Hoover House was a team effort, it was ultimately his name on the design - it is a tough argument to make that the designer of a building that is later designated an NHL is not a master architect. Finally, Clark may take exception to the characterization that he was an educator first and an architect second. Even if he agreed, his appointment as first dept chair could be argued as recognition of his skills, thus meeting the definition of "master" architect.			
SOC Attachments 3C-41	SOC Attachments 82 It is noteworthy that the wall parging that he applied after the earthquake has retained historic				
SOC Attachments 3C-41	82	Masters do not need to be nationally renowned or even formally trained. They can be significant within a local or statewide context.			
SOC Attachments 3C-42	83	"Originally completed in early 1906, the Barnum Center originated as" is not accurate. The Barnum Center as a concept did not exist until the 2000s. The Old Bookstore was constructed in 1906.			
SOC Attachments 3C-42	83	These early buildings do speak to how the university was conceptualized. They show that the university va design of more than just the grand academic buildings. They help demonstrate the desire for a coherent architectural aesthetic.			

Section Page#	Pdf Page#	Peer Review Comment		
SOC Attachments 3C-42 83		Student service buildings have their own historic context that is separate from the grand academic buildings. The evaluation needs to establish if student support buildings are a significant historic context to the university (seems likely) and evaluate them within that context.		
SOC Attachments 3C-43	84	1. Consider that if they are the earliest and most pure examples of Mission Revival style on the campus, th may have local architectural significance; 2. Consider whether they are rare surviving examples of their types of the structure of the s		
SOC Attachments 3C-43	84	While there are grander examples of Mission Revival architecture, these buildings strongly demonstrate their architectural identity and architectural significance does not require that a resource is high style. They have sufficient character-defining elements to convey the style to observers. The form of the buildings also speaks to their quasi-commercial use. The rectangular form is consistent with commercial blocks on Main Streets in the early 20th century.		
SOC Attachments 3C-44	85	See previous comment re Clark.		
SOC Attachments 3C-44	85	Did research reveal if his parging technique - which has withstood for over 100 years - was developed by him, or innovative?		
SOC Attachments 3C-44	85	To properly evaluate these buildings, they should be considered two separate buildings. The Old Bookstore and the Old Store are among the earliest extant buildings on the Stanford Campus. They were built adjacent to the Main Quad according to a rather pure rendition of Mission Revival architecture to house student support services. The scale of the architecture was smaller than the highly stylized Romanesque academic buildings, a reflection of the separate, but still important, function of the buildings, and also consistent with the aesthetic chosen for other non-academic buildings on and near the campus during this period. These buildings could be argued to meet Criterion 1 for importance within the context of early student services, and to meet Criterion 3 as locally important examples of Mission Revival architecture that ties into the Main Quad and is an important aspect of the setting of the Main Quad. The historic integrity of each of the two buildings should be thoroughly analyzed and should take into consideration that they could be considered rare surviving examples of their type. It appears as though the Old Bookstore has a higher level of integrity than the Old Store. The 2007 addition is a separate building and does not require evaluation.		
SOC Attachments 4A-1	90	Are these scholars who have a connection to the building?		
SOC Attachments Criterion 3 because this criterion recognizes the type, period, or method of construction at the ti		1938 - 2008 is not an appropriate period of significance for a property that has architectural significance under Criterion 3 because this criterion recognizes the type, period, or method of construction at the time it was built. It would also mean that every change to the building during that period could be considered historically important. Also see comment on Period of Significance in the 2017 evaluation below.		

Section Page#	Pdf Page#	Peer Review Comment		
SOC Attachments 4A-2	91	It is not clear how Lewis Terman would have any potential to be significantly associated with this building that was constructed in 1938. We suggest we removing this paragraph. We recommend replacing it with analysis of faculty who worked in the building in the first few decades after it opened.		
SOC Attachments 4B-1	97	Has the light standard that appears in this photograph been inventoried or evaluated if it dates to the his era?		
SOC Attachments 4B-2	98	Need more specificity about the nature of the remodeling in order to develop an accurate list of character- defining features and to analyze potential project impacts. Expanded discussion should appear as part of the evaluation on the continuation sheets.		
SOC Attachments 4B-2	98	This is not an appropriate period of significance for a building constructed in 1938.		
SOC Attachments 4B-298interior character-defining features (especially because the "Classical elements" should be specified and recorded on the		The previous evaluation notes that the interior has high integrity. The evaluation needs to address potential interior character-defining features (especially because the project proposes interior changes). Also, the "Classical elements" should be specified and recorded on the form. The identification of character-defining features should also consider other aspects of the site like setback, hardscape, and circulation patterns.		

## **Attachment H**

## 2000 Stanford General Use Permit EIR Excerpt

## (Historical Resources)

\*emphasis added to highlighted sections in attachment

## 4.9 HISTORIC AND ARCHAEOLOGICAL RESOURCES

This section identifies potential project impacts to historic and archaeological resources. The potential to affect paleontological resources and human remains is also evaluated. Analysis includes potential effects both to known sites and previously undiscovered resources.

## 4.9.A SETTING

#### 4.9.A.1 Studies of Area

The project area falls within the San Francisco Bay archaeological region as described by Moratto (1984). The prehistory of this region is not well established. Urban sprawl and unpublished data from "salvage archaeology" activities have led to a paucity of information (Moratto 1984:218, Allen et al. 1999:29). Early San Francisco Bay area archaeological field studies focused on data retrieval in advance of construction activities. "In many cases, only large sites producing showy artifacts were so recognized...[and even] these sites for the most part escaped systematic investigation or analysis" (Allen et al. 1999:29).

N.C. Nelson conducted the first intensive survey of archaeological sites in the San Francisco Bay region between 1906 and 1908. He documented more than 425 "earth mounds and shell heaps" between the Russian River and Half Moon Bay (Moratto 1984:227). In recent years, several overviews of the archaeology of the Santa Clara Valley and Central California have been attempted. A more detailed discussion and overview of the archaeology of the Santa Clara Valley is contained in Allen et al. (1999) and the reports cited therein (Bergthold [1982], Elsasser [1986], and Hylkema [1998b])..

Beginning in the 1920s, archaeological sites located on Stanford lands have been evaluated by the faculty and students (Stanford University Community Plan 1999:74). The first systematic investigation of the 8,180-acre campus was conducted in 1986 by the Campus Archaeology program. In total, 65 prehistoric archaeological sites have been identified on Stanford Campus.

#### 4.9.A.2 Prehistory and Ethnography

The project area occurs within the territory of the Tamyen, or Santa Clara Costanoan, language group (Levy 1978; Moratto 1984), one of the Ohlone-speaking groups that inhabited the area from central San Francisco Bay to Monterey Bay and east to the crest of the Coast ranges (Allen et al. 1999:48). Today, Native Americans from this region identify themselves as Ohlone and have contributed important texts to the literature on Ohlone culture and history (Hylkema 1998a and Kehl and Yamana 1995 in Allen et al. 1999:48). A detailed discussion and overview of the ethnography of the region is contained in Allen et al. (1999), Hylkema in Allen et al. (1999), Moratto (1984), and Levy (1978) for. The following brief synthesis is distilled from those reports.

Archaeological evidence at various sites indicate that the ancestral Ohlone may have inhabited the region as recently as 9000 years ago. Levy (1978:486) dates the "arrival" of the present day Ohlone at approximately 500 A.D. The total Ohlone population just prior to and at the point of European contact is unknown. Kroeber has estimated the total Ohlone population to have been about 7,000, with an average of 1,000 individuals in each language group such as the Santa Clara Costanoan (Kroeber in Allen et al. 1999:48). Levy (1978) has placed the Ohlone population at the time of Euro-contact as being closer to 10,000, with from 200 to 2,700 individuals in each language group.

In 1770 the Ohlones lived in approximately 50 separate and politically autonomous nations or tribelets (Levy 1978:485). Each tribelet had one or more permanent village sites, as well as various seasonal, temporary camps at scattered locations within their territory. Groups of individuals periodically utilized these temporary camps to fish, hunt, and collect plant foods. Each tribelet averaged 200 individuals, with ranges from 50 to 500 persons not unheard of. Milliken has estimated population densities at this time to have been an average of 2.5 persons per square mile (Milliken in Allen et al. 1999:51).

The introduction of the Mission system to the San Francisco Bay region in the 1770s initiated a rapid and devastating population decline among the Costanoans. Mission baptismal records demonstrate that the last Costanoan tribelets living an aboriginal existence had disappeared by 1810. The people experienced cataclysmic changes in almost all areas of their life as a result of introduced diseases and declining birth rates. Their population declined from 10,000 or more in 1770 to less than 2,000 in 1832. Following secularization of the Missions by the Mexican Government, most Costanoans left the Missions to find employment at local ranches as manual laborers. Costanoan languages were considered extinct by 1935, although some families continued to retain the usage of phrases and other words until recent times.

As of 1973, only an estimated 130 to 200 people of Costanoan descent remained in the San Francisco Bay area (Levy 1978:486); however, this estimate was not based on actual U.S. Census information and many more may have been present.

### 4.9.A.3 History

In 1769 Gaspar de Portolá, a Spanish explorer searching for Monterey Bay, pitched camp on the northwest bank of the San Francisquito Creek (Hoover 1990:398). Father Juan Crespí, accompanying Portolá, wrote:

We pitched camp in a plain some six leagues long, grown with good oaks and live oaks, and with much other timber in the neighborhood. This plain has two good arroyos with a good flow of water, and at the southern end of the estuary there is a good river, with plenty of water, which passes through the plain mentioned, well wooded on its banks [Guadalupe River]. This entire port is surrounded by many and large villages of barbarous heathen who are very affable, mild, and docile, and very generous.

Hoover states that "the site of the camp under a tall redwood is generally thought to be across the creek from the lone redwood tree that still stands beside the Southern Pacific railroad tracks at Palo Alto" (1990:398). The tree, called the *Palo Alto* (tall tree) by the Spaniards, was a

landmark for all: local Indians, Spanish explorers, missionaries, soldiers, and travelers along the peninsula between San Francisco and the missions of Santa Clara and San José.

During the mission period, the boundary between the pasturelands of Mission San Francisco de Asis (Mission Dolores) to the north and Mission Santa Clara to the south was defined by the San Francisquito Creek drainage (EIP 1998: 4.3-6). Following secularization of the missions, the mission lands were distributed to the "Californios" as large land grants.

The project area is partially located within the boundaries of the land grant Rancho San Francisquito, an area of 1,500 acres granted to Don Antonino Buelna by Governor Alvarado in The grant is bounded to the north by Rancho Rinconada del Arroyo de San the 1830s. Francisquito, to the west by the San Francisquito Creek, and to the south and east by the Rancho Rincón de San Francisquito. Don Antonio's adobe, which was built near the northern edge of the present day Stanford University Golf Course is no longer extant. Following the Don's death in 1853, numerous squatters laid claim to the land. By 1863, many of these claims had been bought out by George Gordon, a wealthy San Francisco businessman who had secured title to most of the original land grant (Hoover 1990:407; Winslow 1993:18). Leland Stanford, a New York native, came to California in 1852. Upon settling in Sacramento, he and his brothers built their fortune dealing in the mercantile trade during the gold rush (Hoover 1990:418). As a prominent businessman, Leland Stanford became the first Republican governor in California in 1862. Along with Charles Crocker, Mark Hopkins, and Collis P. Huntington, (the Big Four), Stanford built and co-owned the Central Pacific Railroad (later merged with the Southern Pacific Railroad) an economic entity that monopolized rail transportation on the west coast into the 20<sup>th</sup> century.

In 1876, Leland Stanford purchased 650 acres of Gordon's Rancho San Francisquito, including the country home. He later expanded his holdings by acquiring title to 8,000 acres of adjoining lands. On these lands, Stanford built a stock farm where he spent much of his time breeding and training pedigree race horses (Davis and Nilan 1989:9). The Palo Alto Stock Farm as it was known, was named for the landmark *Palo Alto* tree which still stands today.

In 1884, the Stanfords experienced a family tragedy when their beloved 15-year-old son died unexpectedly in Florence, Italy following a bout of typhoid fever. Committed to building a memorial to their son, and a gift to humanity, the Stanfords founded the Leland Stanford Junior University in his honor. The University cornerstone was laid in the center of the Stanford lands on May 14, 1887, the anniversary of Leland Jr.s' birth. Classes began in October 1891 with a student body of 559 freshman, upperclassmen transfers, graduate students and "special" students, and a faculty of 15 (Stanford University 1999).

The campus grounds encompass several tracts including Ayrshire Farm, Hoag Farm, Coon Farm (located between San Francisquito and Los Trancos creeks), and Felt Farm (Rancho de los Trancos). Ayrshire Farm was owned by Peter Coutts, better known to locals as "the Frenchman." Coutts, whose real name was Jean-Baptiste Paulin Caperon, was a wealthy and educated French banker and publisher of La Liberte, a Royalist French newspaper (Davis and Nilan 1989:44; Hoover 1990:418). As a political exile, Coutts and his family arrived in America in 1874 and settled in the vicinity of Mayfield. Ayrshire Farm soon became a showplace for his prize winning Ayrshire and Holstein-Friesian dairy cattle and his orchards. In the early 1880s,

the political climate in France began to shift in his favor. Feeling safe to return to his homeland, Coutts returned to France where he remained until his death in 1890. In 1891, Coutts' home, located at 859 Escondido Road, became the residence of Dr. David Starr Jordan, President of the newly founded Stanford University. Dr. Jordan named the place *Escondite*, or "hiding place." Several other buildings and structures remain extant from the period of Coutts' ownership including the Frenchman's Tower, a two-story brick structure located on Old Page Mill Road. Coutts built the tower to house a tank for the underground water supply he vainly hoped he would find in the nearby hillsides but never did. Today the Ayrshire Farm tract and Escondite are located within Escondido Village, Stanford University, just east of Campus Drive.

#### The Campus Plan

Frederick Law Olmsted, a prominent landscape architect in America during the late 19<sup>th</sup> and early 20<sup>th</sup> century, was hired to design the University buildings and grounds. The task of actually drawing the plans and overseeing construction however, was given to Charles Allerton Coolidge, the youngest member of the prominent Boston architectural firm of Shepley, Rutan and Coolidge. Coolidge and his Boston partners were known for their work in the style of their late mentor, H.H. Richardson, founder of the Richardsonian Romanesque building style. Initial designs for the University were submitted to the Stanfords in April 1887, barely one month before the cornerstone was laid in May of that same year.

From the beginning, Stanford maintained a controlling hand in the design of the University, resulting in a tumultuous relationship with Olmsted, who envisioned a more naturalistic plan for the buildings. Rather than constructing University buildings nestled among the foothills as was Olmsted's preference, a flat site was chosen to allow for the expansion of the university through a series of quadrangles extending laterally from the original main quadrangle. Lending to the formal arrangement of the buildings and the imposing nature of the structures on the environment, a mile long approach to the campus was designed as the major north/south axis. Palm Drive as it is known is lined with palm trees, adding to the sense of transition from the less formal to the formal. The main quadrangle is also defined with a secondary east/west axis, which was to be extended in both directions by additional quadrangles to be built as the University expanded. The architectural style of the original buildings is a combination of Romanesque and California Mission, built of local sandstone with red tile roofs, laid out in a rectilinear pattern around a central quad. The buildings are connected by long covered arcades repeating the Romanesque arch pattern along their length. The main axis/approach was designed to pass through the Memorial Arch (which collapsed in the 1906 San Francisco earthquake and has not been rebuilt), culminating at the Memorial Church, Mrs. Stanford's memorial to her late husband who died in 1893.

Building activity following the 1906 earthquake and prior to World War II included a series of buildings designed by the San Francisco architecture firm of Bakewell and Brown. These buildings, located to the east of the main quadrangle, include Green Library West, Education Building, the Art Gallery, and the Hoover Tower. Post-war architecture attempted to mimic the historical plans while taking on more modern designs and materials.

Today, the 2,300-acre central campus includes the Quad and other classroom buildings, laboratories, libraries, residence halls, golf course, athletic facilities, the Stanford Linear Accelerator Center and faculty-staff housing subdivisions.

#### Historic Sites on the Stanford Campus

The Santa Clara County Historical Heritage Commission (HHC) is responsible for overseeing the protection of historical resources throughout the unincorporated areas of the County. The Santa Clara County Heritage Resource Inventory (County Inventory) is the official listing of historic sites and is maintained by the Commission. The County Inventory was first published in 1979 and is updated as new sites are approved by the Santa Clara County Board of Supervisors.

The County Inventory consists entirely of sites that have been listed, or determined to be eligible for listing, on the National Register of Historic Places and/or the California Register of Historical Resources. As of May 2000, the Inventory includes the following 21 resources located on Stanford lands within Santa Clara County:

- 1. Stanford University Main Quadrangle and Memorial Church
- 2. Cecil H. Green Library West
- 3. Cooksey (Synergy) House
- 4. Dunn Bacon House
- 5. Durand Kirkman House
- 6. <u>Electioneer</u> Statue
- 7. Encina Hall
- 8. Escondite Cottage/Remains of Ayrshire Farm
- 9. Fire Truck House
- 10. Frenchman's Tower
- 11. Griffen-Drell House
- 12. Hanna House
- 13. Hesperides
- 14. Hoover Tower
- 15. The Knoll
- 16. Leland Stanford Junior Museum/Cantor Center for Visual Arts
- 17. Lou Henry Hoover House
- 18. Owen House
- 19. Red Barn/Palo Alto Stock Farm Horse Barn
- 20. Thomas Weiton Stanford Art Gallery
- 21. Tower House (Frenchman's Library)/Remains of Ayrshire Farm

In addition to its responsibility for proposing additions to the County Inventory, the Santa Clara County HHC is asked by County planning staff to make recommendations to the County Planning Commission regarding proposed projects that might affect historical resources included on the County Inventory.

In 1986, Stanford created an internal planning mechanism called the Stanford University Historic Values Index (HVI) to identify historic structures and sites on Stanford lands that are of particular significance to the community at large. Using criteria that overlap somewhat with the criteria of the National Register and California Register, but also including new "themes" such as "features which relate to University lore and humor", Stanford's Historic Values Subcommittee assigns a numerical ranking to each structure and site it reviews. Recently the Subcommittee has decided that in addition to providing an HVI ranking, the Subcommittee will also complete an informational State Record Form to record each site and structure reviewed pursuant to National Register and California Register criteria.

To date, 94 buildings and campus features have been evaluated for placement on the HVI Cumulative Evaluation Index. This number represents all Campus structures which will be at least 50 years old by 2010 and many of the landscape features, e.g., Palm Drive and the Arboretum. However, many of the structures on the HVI Cumulative Evaluation Index have not been systematically evaluated for inclusion in Santa Clara County's Heritage Resources Inventory. The HVI Cumulative Evaluation Index is available for viewing at the Santa Clara County Planning Office.

All surface areas of Stanford University have been surveyed for archaeological sites. As of August 1999, 65 prehistoric archaeological sites (including isolates, lithic scatters, millingstone/petroglyphs, and occupation sites) have been identified and mapped. A comprehensive inventory of these sites is maintained by the Campus Archaeologist. The precise locations of the sites are not set forth in this EIR to avoid public disclosure that would raise the potential for vandalism of the sites.

#### 4.9.A.4 Paleontology

The 1989 Santa Clara County General Use Permit for Stanford University EIR (EIP 1989:15-7) states that the Berkeley Museum has recorded four paleontological sites on or near Stanford lands. The most important of these is a site near the Stanford Linear Accelerator where a Paleoparadoxia ("sea cow") was uncovered during excavation. This is the best-preserved and most complete Paleoparadoxia skeleton found outside of China. Of the other three sites, one contained the upper leg bone of a seal, one contained an Allodemus hip bone, and one contained the remains of other marine mammals.

The United States Geological Survey (USGS) has recorded three fossil discoveries in addition to the Paleoparadoxia (EIP 1989:15-7). The first was a large mastodon tusk found in the bank of San Francisquito Creek. The second and third were fragments of petrified mastodon and/or dinosaur bone. One of these locations is near the Veterans' Administration Hospital in Palo Alto; the other is on Junipero Serra Boulevard west of Page Mill Road.

Other paleontological artifacts have been uncovered, collected, and catalogued by Stanford University (EIP 1989:15-8). Isolated fragments of fossil ribs and lower limbs, from late Pleistocene mammals, have also been discovered in various locations.

Most of the paleontological remains to be found in the Stanford area are marine fossils such as the remains of clams and snails (EIP 1989:15-11). In addition, Stanford lands contain old

quarries, creek beds, cut slopes and rock outcroppings which are of geological interest and educational value. The best exposed rock formations are along Arastradero Road.

### 4.9.B EVALUATION CRITERIA WITH POINTS OF SIGNIFICANCE

The California Environmental Quality Act (CEQA) Guidelines Section 15064.5 includes provisions for significance criteria related to archaeological and historical resources. A significant archaeological or historical resource is defined as one which meets the criteria of the California Register of Historical Resources, is included in a local register of historic resources, or is determined by the lead agency to be historically significant. A significant impact is characterized as a "substantial adverse change in the significance of a historical resource."

Public Resource Code Section 5024.1 authorizes the establishment of the California Register of Historical Resources. Any identified cultural resources must, therefore, be evaluated against the California Register criteria. In order to be determined eligible for the California Register, a property must be significant at the local, state, or national level under one or more of the following four criteria, modeled on the National Register criteria:

- 1. It is associated with events or patterns of events that have made a significant contribution to the broad patterns of the history and cultural heritage of California and the United States;
- 2. It is associated with the lives of persons important to the nation or to California's past;
- 3. It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
- 4. It has yielded, or may be likely to yield, information important to the prehistory or history of the state and the nation.

In addition to meeting one of the above criteria, a significant property must exhibit a measure of integrity. Properties eligible for listing in the California Register must retain enough of their historic character or appearance to be recognizable as historic properties and to convey the reasons for their significance. Integrity is judged in relation to location, design, setting, materials, workmanship, feeling, and association. It must also be judged with reference to the particular criteria under which a property is thought to be eligible.

Public Resource Code Section 21083.2 governs the treatment of unique archaeological resources, defined as "an archaeological artifact, object, or site about which it can be clearly demonstrated" as meeting any of the following criteria:

- 1. Contains information needed to answer important scientific research questions and that there is a demonstrable public interest in that information;
- 2. Has a special and particular quality such as being the oldest of its type or the best available example of its type; or
- 3. Is directly associated with a scientifically recognized important prehistoric or historic event or person.

If it can be demonstrated that a project will cause damage to a unique archaeological resource, appropriate mitigation measures shall be required to preserve the resource in-place, in an undisturbed state. Mitigation measures may include, but are not limited to 1) planning construction to avoid the site, 2) deeding conservation easements, or 3) capping the site prior to construction. If a resource is determined to be a "non-unique archaeological resource" no further consideration of the resource by the lead agency is necessary.

### Table 4.9-1

## Evaluation Criteria with Points of Significance - Historic and Archaeological Resources

Evaluation Criteria	As Measured by	Point of Significance	Justification
1. Will the project cause a substantial adverse change (including demolition) in the significance of an historical resource as defined in CEQA Guidelines Section 15064.5?	Number of historical resources affected by project activities	Greater than 0 resources	CEQA Guidelines § 15064.5 Public Resources Code § 5024.1 and § 21084.1 Santa Clara County General Plan, Rural Unincorporated Area Issues & Policies, Section O Santa Clara County Heritage Resources Inventory Santa Clara County Environmental Evaluation Checklist Item E(a) and (e)
2. Will the project cause a substantial adverse change in the significance of a unique archaeological resource as defined in Public Resources Code Section 21083.2?	Number of archaeological resources affected by project activities	Greater than 0 resources	CEQA Guidelines § 15064.5 Public Resources Code § 5024.1, § 21083.2, and § 21084.1 Santa Clara County General Plan, Rural Unincorporated Area Issues & Policies, Section O Santa Clara County Environmental Evaluation Checklist Item E(b)
3. Will the project directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	Number of unique resources, sites, or features destroyed	Greater than 0 unique resources, sites, or features destroyed	Public Resources Code § 5097.5 Santa Clara County Environmental Evaluation Checklist Item E(c)
4. Will the project disturb any human remains, including those interred outside of formal cemeteries?	Number of disturbances of remains	Greater than 0 disturbances	CEQA Guidelines § 15064.5(d) Santa Clara County Environmental Evaluation Checklist Item E(d)

### 4.9.C IMPACTS AND MITIGATION MEASURES

## **IMPACT:** HA-1: Will the project cause a substantial adverse change in the significance of a historical resource as defined in Section 15064.5?

#### Analysis: Significant

As described above, 21 Stanford structures and sites are currently included in the Santa Clara County Heritage Resource Inventory, and it is possible that other Stanford structures and sites will be added to that County Inventory in the future. The General Use Permit proposes 2,035,000 gross square feet of academic development and up to 3,018 housing units in specified development districts, but does not identify the precise locations within particular development districts where construction will occur. Those locations are not known at this time. If the General Use Permit is approved, it is possible that specific building projects would be proposed that would either remodel or demolish resources that are either currently included in the County Inventory or that are determined by the County to be historical resources.

Construction of an underground parking structure is proposed for the area beneath the "Oval" at the southern end of Palm Drive. The Oval is listed in the HVI Cumulative Evaluation Index as the "Palm Drive Open Space." Palm Drive, in its entirety, is considered a historical landscape feature with strong visual integrity. This area is also included in the proposed Campus Open Space designation. The Oval itself was an important defining element to the original campus plan. Access ramps, elevators, and ventilation equipment for the parking structure could alter the character of the Oval. In addition, sub-surface construction activities may encounter unknown archaeological resources, which should be addressed pursuant to Impact HA-2.

#### Remodeling

If a particular project to be developed under the General Use Permit would include remodeling an existing structure, the first inquiry would be whether the existing structure is included in the County Inventory. If the structure is included in the County Inventory, remodeling it would cause a potentially significant impact requiring mitigation.

If the structure is not on the County Inventory, the next inquiry is whether the structure is 50 or more years old. If the existing structure is not at least 50 years old, it is not generally considered by the County to be a historical resource and remodeling would cause no impact.

#### Demolition

If a particular project to be developed under the General Use Permit would require demolition of an existing structure, the first inquiry would be whether the existing structure is included in the County Inventory. This is a potentially significant impact that would require mitigation. If the structure to be demolished is not included in the County Inventory, the next question is whether the structure is 50 or more years old. If not, demolition would likely cause no impact.

#### Mitigation: **HA-1: Protection of Historic Resources**

(a) If a construction project to be carried out pursuant to the General Use Permit includes remodeling of, or development that could physically affect, a structure that is included in the Santa Clara County Heritage Resource Inventory, the California Register of Historical Resources, or the National Register of Historic Places, or that County planning staff determines is eligible for listing or is a potential historic resource, the following shall apply:

1. *Remodeling:* The remodeling shall be conducted following the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings, or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (1995).

If the structure to be remodeled is not on the County Inventory, but is 50 or more years old, Stanford will assess the structure to evaluate whether it appears eligible for inclusion in the County Inventory, and will submit its assessment to County planning staff for independent review. If County planning staff determines that the structure is potentially eligible for the Inventory, or is a potential historic resource, planning staff will submit the assessment to the Santa Clara County HHC for review. If the structure is determined to be eligible, then the mitigation described above shall be required.

2. New Development: New development plans shall be reviewed by the Santa Clara County HHC for appropriateness of design and siting to ensure that the historical significance of the structure is not adversely affected. If the structure is listed on the California Register or the National Register, the HHC shall request SHPO comment prior to approving the proposed project.

(b) Prior to demolishing any structure that is 50 or more years old, Stanford shall submit an assessment of the structure regarding its eligibility for listing to the County planning staff. If the planning staff determines that the structure is potentially eligible for listing, or is a potential historic resource, then a site-specific analysis of the impact and any feasible mitigation measures, including avoidance of the resource, shall be prepared as part of the environmental review of the project and the demolition will be referred to the Santa Clara County HHC for its recommendation prior to County approval of a demolition permit.

(c) Mitigation measures to protect The Oval from significant impacts during construction and operation of the proposed parking structure shall include, but not be limited to, all of the following.

- The parking structure shall be designed so that entrance ramps for both vehicular and pedestrian traffic are located far enough to the east and west sides of the Oval, or potentially outside the Oval itself (on the existing roadway or in the "ears" east and west of the Oval), as to not be noticeable by traffic approaching the main Campus on Palm Drive.
- Above ground ventilation systems, and other necessary structures shall be designed in a manner compatible with a park-like setting (i.e. installing the ventilation ducts below/as part of park benches). Structures will not exceed a ground height of two feet and will be placed to the east and west of the main view corridor so as not to detract the eye from the intended approach to the main Campus.
- During all construction activities, heavy equipment and earth-disturbing activities shall be screened from view by temporary construction fencing.
- Following completion of the proposed parking structure, the Oval will be returned to its pre-construction appearance and opened to public access.

#### After Mitigation:

### Significant

Implementation of Measure HA-1: Protection of Historic Resources would reduce significant impacts to historic resources by requiring that the County conduct a site specific analysis of any potential impacts to historic resources and identify any feasible mitigation measures for those impacts before approving any project with the potential to significantly impact historic resources. Although all feasible mitigation measures would be required for such projects, it is not possible at this time to determine whether the measures would reduce the impacts to less than significant levels because the evaluation of impacts to historic resources and corresponding mitigation is inherently site specific. Therefore, the impact is considered to be significant and unavoidable.

## **IMPACT:** HA-2: Will the project cause a substantial adverse change in the significance of an archaeological resource as defined in Public Resources Code 21083.2?

#### Analysis: Significant

#### Prehistoric Archaeological Sites

All surface areas of Stanford University have been surveyed for archaeological sites. As of August 1999, 65 prehistoric archaeological sites (including isolates, lithic scatters, millingstone/petroglyphs, and occupation sites) have been identified and mapped. Of these, five sites are located in two Planning Districts where development is contemplated under the General Use Permit (Lathrop and West Campus). As is described under Impact HA-1 above, specific sites for development under the General Use Permit have not been identified, and it is possible that all five of the mapped prehistoric archaeological sites would be avoided. If, however, construction were proposed at one of the five mapped sites, a site-specific analysis would be required to determine whether the site

constituted a "unique archaeological resource" within the meaning of Public Resources Code section 21083.2 or a historical resource within the meaning of Public Resources Code 21084.1, and if so, whether the site would be adversely affected, thus resulting in a significant impact.

In addition, it is possible that previously unknown prehistoric archaeological sites could be unearthed during excavation or earthmoving activities for a particular project. This could cause a significant impact to a unique archaeological resource or a historical resource.

#### Historic Period Archaeological Sites

Stanford University has conducted a survey of potential archaeological sites on Stanford University lands dating from the "historic" period, beginning in 1769. Using county records, insurance records, and other documents, Stanford has generated maps of possible locations of archaeological sites (e.g. remains of buildings, privies, trash pits) from the historic period. Using these maps, Stanford has monitored construction activities and excavated several archaeological sites from the historic period.

It is possible that development under the General Use Permit could adversely affect one or more of the mapped sites. If an adversely affected site were determined to constitute a "unique archaeological resource" within the meaning of Public Resources Code section 21083.2(g) or a historical resource within the meaning of Public Resources Code 21084.1, the adverse effect would be considered significant.

In addition, as for prehistoric sites, it is possible that earthmoving activities outside mapped sites could result in unanticipated discoveries of sites that could result in significant impacts to unique archaeological resources or historical resources.

#### Mitigation: HA-2: Protection of Archaeological Resources

(a) Stanford shall provide a map to the County Planning Office, to be maintained as a confidential record, that shows the location of all known prehistoric and historic archaeological resources in the unincorporated Santa Clara County portion of Stanford lands. If a project proposed pursuant to the General Use Permit were sited on a mapped prehistoric archaeological site, further site-specific analysis will be required to determine whether a significant impact would occur. Site-specific mitigation shall be identified by the County in accordance with the provisions of Section 21083.2 of the Public Resources Code.

(b) Should previously unidentified historic or prehistoric archaeological resources be discovered during construction, the contractor shall cease work in the immediate area and the County and Campus Archaeologist shall be contacted. The County may choose to retain an independent archaeologist to evaluate the site. Stanford's archaeologist shall assess the significance of the find and make mitigation recommendations (e.g., manual excavation of the immediate area), if warranted. If performed by Stanford's archaeologist, the assessment shall be forwarded to County planning staff for independent review. If the County deems it appropriate, the County may hire an independent archaeologist to review the finds, proposed treatment plans, and reports prepared by the Campus Archaeologist.

Construction monitoring shall be conducted at any time ground-disturbing activities (greater than 12 inches in depth) are taking place in the immediate vicinity of archaeological resources discovered as described above. This includes building foundation demolition and construction, tree or tree-root removal, landscape irrigation installation, and utility line excavation.

If data recovery does not produce evidence of significant archaeological resources within the project area, further mitigation shall be limited to construction monitoring, unless additional testing or other specific mitigation measures are determined by a qualified archaeologist (Stanford's archaeologist or an independent archaeologist retained by the County) to be necessary to ensure avoidance of damage to significant archaeological resources. A technical report of findings describing the results of all monitoring shall be prepared in accordance with professional standards. The archaeological monitoring program shall be implemented by an individual meeting the Secretary of Interior Professional Qualifications Standards in Archaeology (36 CFR 61); individual field monitors shall be qualified in the recognition of archaeological resources of both the historic and/or prehistoric periods and possess sufficient academic and field training as required to conduct the work effectively and without undue delay.

(c) In the event that human skeletal remains are encountered, the applicant is required by County Ordinance No. B6-18 to immediately notify the County Coroner. Upon determination by the County Coroner that the remains are Native American, the coroner shall contact the California Native American Heritage Commission, pursuant to subdivision (c) of section 7050.5 of the Health and Safety Code and the County Coordinator of Indian affairs. No further disturbance of the site may be made except in compliance with all applicable federal, state, and local laws regarding Native American burials and artifacts. If artifacts are found on the site the Campus Archaeologist shall be contacted along with the County Planning Office. No further disturbance of the artifacts may be made except in compliance with all applicable federal, state, and local laws regarding Native American burials and artifacts may be made except in compliance of the artifacts may be made except in compliance of the artifacts may be made except applicable federal, state, and local laws regarding Native American burials and artifacts.

After

#### Mitigation: Less than Significant

Implementation of Measure HA-2: Protection of Archaeological Resources, would ensure protection of archaeological resources, and appropriate data recovery if resources are affected by future construction. This measure would reduce impacts to less than significant.

# IMPACT:HA-3: Will the project directly or indirectly destroy a unique<br/>paleontological resource or site or unique geologic feature?

Analysis: Significant

Only one fossil find has been recorded near the project area: a bison humerus recovered from a deep basement excavation at the Medical Center. However, it is possible that excavation would uncover unique paleontological resources. This impact is therefore considered significant.

#### Mitigation: HA-3: Protection of Undiscovered Paleontological Materials

In the event that fossilized or unfossilized shell or bone is uncovered during any earth-disturbing operation resulting from development under the proposed project, contractors shall stop work in the immediate area of the find and notify the Campus Archaeologist and the County Building Inspector assigned to the project. The Campus Archaeologist shall visit the site and make recommendations for treatment of the find (including consultation with a paleontologist and excavation, if warranted), which would be sent to the County Building Inspection Office and the County Planning Office. If a fossil find is confirmed, it will be recorded with the USGS and curated in an appropriate repository.

#### After

Mitigation: Less than Significant

Implementation of Measure HA-3: Protection of Undiscovered Paleontological Materials, would ensure protection of paleontological resources, and appropriate data recovery if resources are affected by future construction. This measure would reduce impacts to less than significant.

## **IMPACT:** HA-4: Will the project disturb any human remains, including those interred outside of formal cemeteries?

Analysis: Significant

Although highly unlikely, there is the possibility that human remains, including Native American burials, will be encountered during ground disturbing activities. This impact is therefore considered significant.

#### Mitigation: HA-2: Protection of Archaeological Resources

See Mitigation Measure HA-2(c) above.

After

Mitigation: Less than Significant

Implementation of Measure HA-2(c): Protection of Archaeological Resources, would ensure that appropriate treatment of any human remains encountered during construction will be required. This measure would reduce impacts to less than significant.

### 4.9.D CUMULATIVE IMPACTS AND MITIGATION MEASURES

Existing and probable future projects within the project vicinity include the Stanford University Medical Center, Center for Cancer Treatment and Prevention/Ambulatory Care Pavilion and Parking Structure IV, Stanford Sand Hill Road Corridor, and Carnegie Foundation Research/Office Facility. All of these projects have the potential to further affect historic and archaeological resources within Stanford owned lands.

## **IMPACT:** HA-C1: Will the project combined with cumulative projects have a potential to disturb historical resources?

Analysis: Significant

As is described above, any impacts to historical resources will require analysis on a site-specific basis. The same is true for cumulative analysis of these impacts.

The Sand Hill Road Corridor Project EIR has identified that there are a significant number of known historical resources within that project area that may be impacted by project activities. Cumulatively, this project, together with the projects proposed as part of the Stanford GUP, could create a significant impact to the historical resources within Santa Clara County if effects to historic structures cannot be avoided.

Because it is unknown at this time whether historical resources can be adequately protected, even with future site-specific analysis, this impact is considered significant and unavoidable.

Mitigation: Implementation of the following mitigation measures would reduce the project's incremental contribution to cumulative impacts to historical resources, but it cannot be determined at this time whether feasible mitigation exists to reduce these impacts to a level that is less than significant.

#### HA-1: Protection of Historic Resources

After

Mitigation: Significant

- Impact: HA-C2-4: Will the project combined with cumulative projects have a potential to disturb archaeological, unique geological, or paleontological resources, or human remains?
- Analysis: Significant

As is described above, any impacts to archaeological resources will require analysis on a site-specific basis. The same is true for cumulative analysis of these impacts.

The project's incremental contribution to cumulative impacts would be significant prior to mitigation. However, impacts to geological and paleontological resources, as well as to human remains, would be mitigated to a less-thansignificant level. Mitigation: *Archaeological Resources*: Implementation of the following mitigation measures would reduce the impacts of the project to archaeological resources.

#### HA-2: Protection of Archaeological Resources

Other projects within Stanford lands also include mitigation, which will reduce their impacts to less than significant. The Sand Hill Road Project includes extensive mitigation to avoid resources where feasible and conduct data recovery at sites where archaeological resources would be affected.

*Unique Geologic, Paleontological Resources and Human Remains*: No mitigation is necessary.

After

Mitigation: Less than Significant