THE CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK SHEET ABBREVIATIONS WINE STORAGE & MOOSE MOUNTAIN VINEYARDS PROCESSING FOR: ANCHOR BOLT REINF REINFORCED GROUND FAULT INTERRUPTERRM ROOM ADJACENT ALUM REDWOOD RWD SOUTH BOW BOTTOM OF WALL GYP SET BACK GYPSUM BLKG SQUARE FOOT HIGH OR HEIGHT SHTHG SHEATHING CENTER TO CENTER JTS SHWR SHOWER CEM POUND SLIDING CER S&P SHELF & POLE **CONTROL JOINT** STRUCT STRUCTURAL CLR TREAD MAXIMUM. TEMP TEMPERED. CLEANOUT TOP OF CONCRETE TOP OF GRADE CONC CONCRETE CONTIN CONTINUOUS NORTH TOP OF FLOOR TOP OF PAVEMENT OVER **DOUGLAS FIR** ON CENTER TOS TOP OF SLAB TOP OF WALL TOW OWNER FURNISHED CONTRACTOR INSTALLE DIAMETER TELEVISION **OWNER SELECTED PUSH BUTTON** UCR UNDER COUNTER REFR PHONE **ELEVATION** WATER CLOSET WC FINISH FLOOR PRESSURE TREATED WD WOOD RISER WATER HEATER REFRIGERATOR WELDED WIRE MESH PROJECT DIRECTORY SEAN FREITAS, AIA ARCHITECT 100 GATEWAY DRIVE, SUITE 120 LINCOLN, CA 95648 TEL: 916-580-9981 NICHOLAS OUSHAKOFF, ASSOC. AIA DRAFTING PROJECT VICINITY MAP PROJECT INFORMATION **ADDITIONAL NOTES** SHEET INDEX 100 GATEWAY DRIVE, SUITE 120 LINCOLN, CA 95648 APPLICABLE BUILDING CODE: 2019 CALIFORNIA BUILDING CODE (CBC) TEL: 916-862-1660 SHEET TITLE STRUCTURAL ENGINEER 2019 CALIFORNIA PLUMBING CODE (CPC) 2019 CALIFORNIA ENERGY CODE (CEC) A0.12 **GENERAL NOTES** SITE PLAN A1.11 2019 CALIFORNIA GREEN BUILDING CODE (CGBS) A1.12 **TOPOGRAPHIC SURVEY** 2019 CALIFORNIA ENERGY CODE (2019 CALIFORNIA ENERGY A2.10 LEVEL-1 FLOOR PLAN STANDARDS AS AMENDED BY THE STATE OF CALIFORNIA MEP ENGINEER AND THE LOCAL JURISDICTION. A2.11 UTILITY PLAN A3.11 **ROOF PLAN** A4.11 SCHEDULES GENERAL PROJECT DATA: F-2/S-2 (WINE STORAGE AND PROCESSING) A5.00 PERSPECTIVE VIEWS 825-29-029 CIVIL ENGINEER **ELEVATIONS** A5.11 A5.12 **ELEVATIONS** HS - SMALL SCALE AG PROCESSING PERMITTED **BUILDING JURISDICTION:** SANTA CLARA COUNTY ALLOWED: **CODE COMPLIANCE:** ACTUAL: FIRE SPRINKLER OCCUPANCY GROUP (CBC CH 3): F-2/S-2 CONSTRUCTION TYPE (CBC, TABLE 601): V-B 1-LEVEL V-B 1-LEVEL ALLOWABLE HEIGHT: TRUSS DESIGNER **ALLOWABLE STORIES: ALLOWABLE AREA: AERIAL VIEW** FLOOR AREA RATIO: ARCHITECTURAL SYMBOLS PROJECT SCOPE NEW WINE STORAGE AND PROCESSING BUILDING CONSISTING OF OFFICE, RESTROOM, LAB, AND STORAGE. NOT FOR WINE TASTING. CARPET ASPHALT SHINGLE ROOFING EARTH AREA CALCULATIONS WIDTH x HEIGHT COMMENTS TYPE - HH:#

100 GATEWAY DRIVE, SUITE 120 LINCOLN, CA 95648 GRAPHIA.com

GRAPHIA® IS A REGISTERED TRADEMARK O SEAN FREITAS. THESE DRAWINGS ARE

PROJECT: 20200619

OR:

COVER SHEET Project Issue Date: Sheet Issue Date

Revision Number:

ARCHITECT'S APPROVAL

THE ARCHITECT AND THE BUILDING AUTHORITY HAVING JURISDICTION OVER THE PROJECT.

SEAN FREITAS, ARCHITECT LIMITS ITS RESPONSIBILITY TO INFORMATION REPRESENTED THEREIN AND THE INTENDED USE THEREOF AND ASSUMES NO RESPONSIBILITY FOR ACTUAL AS-BUILT CONDITIONS.

EXTERIOR CEMENT PLASTER

FIBER-CEMENT SHINGLES

PROJECT NORTH (GRAY)

TRUE NORTH (BLACK)

REVISION

> ₹ ELEVATION

SPOT ELEVATION

D101

WIDTH x HEIGHT FAMILY - COMMENTS

ROOM NAME

A: AREA

ROOM TAG

PROPOSED KEYNOTE.

CONCRETE

SS METAL

BATTEN ON

PROJECT LOCATION: APN:825-29-029 3180 PASEO VISTA AVE, SAN MARTIN, CA 95046

·		· · · · · · · · · · · · · · · · · · ·	
NAME	(E) AREA	(N) AREA	NET CHANGE
CONDITIONED			
(N) STRUCTURE	0 SF	1918 SF	1918 SF
CONDITIONED	0 SF	1918 SF	1918 SF
TOTAL:	0 SF	1918 SF	1918 SF
LOT SIZE		LOT COVERAGE (40%	MAX)

435600 SF | 435600 SF | 0 SF | 0 SF | 0.00% | 1918 SF | 0.44% | 1918 SF | 0.44%

(N) SF | CHANGE |

(E) SF

Feature or Measure	Mandatory and (not all ite	Levels may volunta s for Tier 1 a measure as checked be ms may app ecific proje	re required elow	Verification Method Applicant to select verification method for each measure OR check box immediately below indicate verification method for all measures (items already selected will be verified by the Building Division)			
	Mandatory Measures	Volunta	Tier 2	Building Inspector	Installer or Designer	Third party	
4.106.3 Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings.	⊠			⋈			
4.106.4 Provide capability for electric vehicle charging in one and two-family dwellings; townhouses with attached private garages; multifamily dwellings; and hotels/motels in accordance with Section 4.106.4.1, 4.106.4.2, or 4.106.4.3.	⊠			⊠			
A4.106.2.1 Soil analysis is performed by a licensed design professional and the findings utilized in the structural design of the building.							
A4.106.2.2 Soil disturbance and erosion are minimized by at least one of the following: Natural drainage patterns are evaluated and erosion controls are implemented to minimize erosion during construction and after							
occupancy. 2. Site access is accomplished by minimizing the amount of cut and							
fill needed to install access roads and driveways. 3. Underground construction activities are coordinated to utilize the same trench, minimize the amount of time the disturbed soil is exposed and the soil is replaced using accepted compaction methods.							
A4.106.2.3 Topsoil shall be protected or saved for reuse as specified in this section.							
Tier 1. Displaced topsoil shall be stockpiled for reuse in a designated area and covered or protected from erosion.		1	_ '				
Tier 2. The construction area shall be identified and delineated by fencing or flagging to limit construction activity to the construction area.			¹				
A4.106.3 Post construction landscape designs accomplish one or more of the following:							
Areas disrupted during construction are restored to be consistent with native vegetation species and patterns.							
Utilize at least 75 percent California or drought tolerant plant and tree species appropriate for the climate zone region.							
A4.106.4 Permeable paving is utilized for the parking, walking or patio surfaces in compliance with the following:	8						
Tier 1. Not less than 20 percent of the total parking, walking or patio surfaces shall be permeable.		□¹					
Tier 2. Not less than 30 percent of the total parking, walking or patio surfaces shall be permeable.							
A4.106.5 Roofing materials shall have a minimum 3-year aged solar reflectance and thermal emittance or a minimum Solar Reflectance Index (SRI) equal to or greater than the values specified in the applicable tables. Low-rise Residential							
Tier 1 roof covering shall meet or exceed the values contained in Table A4.106.5.1(1).		□¹					
Tier 2 roof covering shall meet or exceed the values contained in Table A4.106.5.1(2).			ם'				

Required prerequisite for this Tier				-				
Feature or Measure	Mandatory and (not all ite	Levels may volunta for Tier 1 a measure ar checked be ms may app ecific project	re required slow	Verification Method Applicant to select verification method for each measure OR check box immediately below tindicate verification method for all measures (items already selected will be verified by the Building Division)				
	Mandatory		ry Tiers	Building	Installer	Third party		
	Measures	Tier 1	Tier 2	Inspector All	or Designer □ All	All		
High-rise Residential, Hotels and Motels	8			V	2.31			
Fier 1 roof covering shall meet or exceed the values contained in Fable A4,106.5.1(3).		 '	-					
Fier 2 roof covering shall meet or exceed the values contained in Fable A4.106.5.1(4).			'					
A4.106.6 Install a vegetated roof for at least 50 percent of the roof area. Vegetated roofs shall comply with requirements for roof gardens and landscaped roofs in the California Building Code, Chapters 15 and 16.								
A4.106.7 Reduce non-roof heat islands for 50 percent of sidewalks, patios, driveways or other paved areas by using one or more of the methods listed;								
 Trees or other plantings to provide shade and that mature within 15 years of planting. Trees should be native or adaptive to the region and climate zones and noninvasive; hardy and resistant to drought, insects and disease; easy to maintain (no frequent shedding of twigs, branches, unwanted fruit or seed pods); and suitable in mature size and environmental requirements for the site. Tree selection and placement should consider location and size of areas to be shaded, location of utilities, views from the structure, distance to sidewalks and foundations, overhangs onto adjacent properties and streets; other infrastructure and adjacent to landscaping. In addition, shading shall not cast a shadow, as specified, on any neighboring solar collectors pursuant to <i>Public Resources Code</i> Section 25981, et seq. (Solar Shade Control Act). 				_	0	_		
 Use high albedo materials with an initial solar reflectance value of at least 0.30 as determined in accordance with American Society for Testing and Materials (ASTM) Standards E1918 or C1549. 								
3. Use open grid pavement system or pervious or permeable								
pavement system. 4. Locate 50 percent of parking underground or use multilevel								
parking. 5. Other methods of reducing heat island effects acceptable to the enforcing agency.								
A4.106.8.1 Tier 1 and Tier 2 for one- and two-family dwellings and townhouses with attached private garages. Install a dedicated 208/240-volt branch circuit, including an overcurrent protective device rated at 40 amperes minimum per dwelling unit.	7-1	ים	ים					
A4.106.8.2 Provide capability for future electric vehicle charging in new multifamily dwellings, as specified.	11	ים						
Tier 1. In 15 percent of total parking spaces. Tier 2. In 20 percent of total parking spaces.		_	ם'					
A4.106.8.3 Provide electric vehicle spaces for new hotels and motels.			V 25	7.				
Tier 1. Install EV spaces per Table A4. 106.8.3.1.		□¹						
Tier 2. Install EV spaces per Table A4.106.8.3.2.			□'					
A4.106.9 Provide bicycle parking facilities as noted below;. Number of bicycle parking spaces may be reduced, as approved by the enforcing agency, due to building site characteristics, including but not limited to, isolation from other development.		п	-	⊠				
Provide short-term bicycle parking, per Section A4.106.9.1. Provide long-term bicycle parking for multifamily buildings, per								

Feature or Measure	measures Mandatory and (not all ite sp	Levels may volunt s for Tier 1 measure a checked be ms may ap ecific proje	and Tier 2 re required elow ply to your ct)	Verification Method Applicant to select verification method for each measure OR check box immediately below to indicate verification method for all measures (items already selected will be verified by the Building Division)				
	Mandatory Measures	Volunt	Tier 2	Building Inspector	Installer or Designer	Third party		
Section A4.106.9.2 3. Provide long-term bicycle parking for hotel and motel buildings, per Section A4.106.9.3.				All	All			
A4.106.10 [HR] Outdoor lighting systems shall be designed and nstalled to comply with: 1. The minimum requirements in the California Energy Code for								
Lighting Zones 1-4; and 2. Backlight, Uplight and Glare (BUG) ratings as defined in IES TM- 15-11; and								
Allowable BUG ratings not exceeding those shown in Table A4.106.10. Energy Efficiency								
General								
.201.1 Building meets or exceeds the requirements of the California building Energy Efficiency Standards.	⋈	⊠'	⊠¹					
Performance Approach for Newly Constructed Buildings								
4.203.1.1.1 Tier 1 and Tier 2. Total Energy Design Rating (Total DR) and Energy Efficiency Design Rating (Efficiency EDR) for the roposed Design Building is included in the Certificate of Compliance ocumentation.		<u>"</u>	ים					
4.203.1.1.2 Tier 1 and Tier 2. Quality Insulation Installation rocedures specified in the Building Energy Efficiency Standards Reference Appendices RA3.5 are completed.		□ ¹	□¹					
A4.203.1.2 Tier 1 and Tier 2 prerequisite options. One of the following options is required. Roof deck insulation or ducts in conditioned space. High-performance walls.		<u></u>	ים					
HERS-verified compact hot water distribution system. HERS-verified drain water heat recovery.			¥0					
A4.203.1.3.1 Tier 1: Buildings complying with the first level of advanced energy efficiency shall have additional integrated efficiency and onsite renewable energy generation to achieve a Total EDR for Tier I as specified in Table A4.203.1.1.1 or lower as calculated by Title 24, Part 6 Compliance Software approved by the Energy Commission. This Total EDR is in addition to meeting the Efficiency EDR.		□ '						
A4.203.1.3.2 Tier 2: Buildings complying with the second level of advanced energy efficiency shall have additional integrated efficiency and onsite renewable energy generation to achieve a Total EDR for Tier 2 as specified in Table A4.203. I. I. I or lower as calculated by Title 24, Part 6 Compliance Software approved by the Energy Commission. This Total EDR is in addition to meeting the Efficiency EDR.		ים				ים		
Water Efficiency and Conservation								
ndoor Water Use	9							
Damired pressmicite for the Tier								
Feature or Measure		Levels		Verifi	cation M	ethod		
		may volunt			t to select v			

Feature or Measure	measures Mandatory and (not all ite	Levels may volunta for Tier 1 a measure ar checked be ms may app ecific project	re required low	Verification Method Applicant to select verification method for each measure OR check box immediately below t indicate verification method fo all measures (Items already selected will be verified by the Building Division)				
	Mandatory Measures	Volunta Tier 1	ry Tiers Tier 2	Building Inspector	Installer or Designer All	Third party		
4.303.1.1 Water closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA Water Sense Specification for Tank-type Toilets.	⊠			⊠				
4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush	⊠			⊠				
4.303.1.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA Water Sense Specification for Showerheads.	⊠							
4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead.				⊠				
4.303.1.4.1 Residential lavatory faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 80 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.	×			⊠				
4.303.1.4.3 Metering faucets in residential buildings shall not deliver more than 0.2 gallons per cycle.	⊠							
4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi. Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.	⊠			⊠	0			
4.303.2 Plumbing fixtures and fittings required in Section 4.303.1 Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.	⊠			⊠				
A4.303.2 Alternate water source for non-potable applications. Alternate non-potable water sources are used for indoor potable water reduction. Alternate non-potable water sources shall be installed in accordance with the California Plumbing Code.								
A4.303.3 Install at least one qualified ENERGY STAR dishwasher or clothes washer.								
A4.303.4 Non-water supplied urinals or waterless toilets are installed.				⊠				
A4.303.5 Hot water recirculation systems. One- and two-family dwellings shall be equipped with a demand hot water recirculation system, as defined in Chapter 2. The demand hot water recirculation system shall be installed in accordance with the California Plumbing Code, California Energy Code, and the manufacturer's installation instructions.			0	Ø				
Outdoor Water Use								
4.304.1 New residential developments shall comply with California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), with City of Roseville amendments per the City adopted ordinance.	⊠							

Feature or Measure	Mandatory and (not all ite	Levels may volunts s for Tier 1 a measure as checked be ms may app ecific proje	nd Tier 2 re required blow	Verification Method Applicant to select verification method for each measure OR check box immediately below indicate verification method for all measures (items already selected will be verified by the Building Division)			
	Mandatory	Volunta	ary Tiers	Building	Installer	Third party	
	Measures	Tier 1	Tier 2	Inspector All	or Designer All	All	
A4.304.1 Rainwater catchment systems. An approved rainwater catchment system is designed and installed to use rainwater generated by at least 65 percent of the available roof area. Rainwater catchment systems shall be designed and installed in accordance with the California Plumbing Code.		П		⊠			
A4.304.2 Potable water elimination. When landscaping is provided and as allowed by local ordinance, a water efficient landscape irrigation design that eliminates the use of potable water beyond the initial requirements for plant installation and establishment should be provided. Methods used to accomplish the requirements of this section must be designed to the requirements of the California Building Standards Code and shall include, but not be limited to, the following: 1. Use of captured rainwater. 2. Use of recycled water.				⊠			
Water treated for irrigation purposes and conveyed by a water district or public entity. Use of graywater (If approved by Roseville E.U.). Use of drought tolerant plants							
A4.304.3 For new water service connections, landscaped irrigated areas less than 5,000 square feet shall be provided with separate sub- meters or metering devices for outdoor potable water use.				⊠			
WATER REUSE SYSTEMS			XI .	**	20		
A4.305.1 Piping is installed to permit future use of a graywater irrigation system served by the clothes washer or other fixtures.				⋈			
A4.305.2 Recycled water piping is installed.							
A4.305.3 Recycled water is used for landscape irrigation.							
MATERIAL CONSERVATION AND RESOURCE EFFICIENCY					mex.		
Foundation Systems							
A4.403.1 A Frost-protected Shallow Foundation (FPSF) is designed and constructed.							
A4.403.2 Cement use in foundation mix design is reduced. Tier 1. Not less than a 20 percent reduction in cement use. Tier 2. Not less than a 25 percent reduction in cement use.							
Efficient Framing Techniques				W.	45°		
A4.404.1 Beams and headers and trimmers are the minimum size to adequately support the load.							
A4.404.2 Building dimensions and layouts are designed to minimize waste.							
A4.404.3 Use premanufactured building systems to eliminate solid sawn lumber whenever possible.							
A4.404.4 Material lists are included in the plans which specify material quantity and provide direction for on-site cuts.							
Material Sources A4.405.1 One or more of the following building materials, that do not require additional resources for finishing are used: 1. Exterior trim not requiring paint or stain 2. Windows not requiring paint or stain 3. Siding or exterior wall coverings which do not require paint or stain			0			0	
A4.405.2 Floors that do not require additional coverings are used							

Feature or Measure	Mandatory and (not all ite	Levels may volunts s for Tier 1 a measure a checked be ms may appecific proje	and Tier 2 re required blow bly to your	Applican method check bos indicate v all mea selected	t to select verification Notes to select verification sures (item will be verification guiding Divis	verification easure OR ely below to method for s already fied by the	Feature or Measure	Applicant may voluntarily sele measures for Tier 1 and Tier Mandatory measure are requir and checked below (not all items may apply to yo specific project)				2 method for each measure Of check box immediately below indicate verification method fe all measures (items already selected will be verified by the Building Division)		
	Mandatory Measures	Volunta	ary Tiers	Building	Installer	Third party		Mandatory Measures	Volunta	ary Tiers	Building	Installer	Third party	
	Measures	Tier 1	Tier 2	Inspector	Or Designer			measures	Tier 1	Tier 2	Inspector	or Designer		
				All	All	All					All	All	All	
floors.	2			T. Service	7.41		4.504.5 Composite wood products. Hardwood plywood, particleboard	2			1 Section	2.30		
A4.405.3 Postconsumer or pre-consumer recycled content value (RCV) materials are used on the project.	11						and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for	⊠						
Tier 1. Not less than a 10-percent recycled content value. Tier 2. Not less than a 15-percent recycled content value.		□'		ш			Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5.							
A4.405.4 Renewable source building products are used.							4.504.5.1 Documentation. Verification of compliance with this section	3				8	$\overline{}$	
Enhanced Durability and Reduced Maintenance	7	201	92	60	-		shall be provided as requested by the enforcing agency. Documentation							
4.406.1 Annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.	⊠			⋈			 shall include at least one of the following: Product certifications and specifications. Chain of custody certifications. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.). 	⊠					_	
Water Resistance and Moisture Management	4						 Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian 							
A4.407.1 Install foundation and landscape drains.							AS/NZS 2269, European 636 3S, and Canadian CSA O121, CSA							
A4.407.2 Install gutter and downspout systems to route water at least 5 feet away from the foundation or connect to landscape drains which discharge to a dry well, sump, bio-swale, rainwater capture system or other approved on-site location.				⋈			O151, CSA O153 and CSA O325 standards. 5. Other methods acceptable to the enforcing agency. A4.504.1 Use composite wood products made with either California							
A4.407.3 Provide flashing details on the building plans and comply with accepted industry standards or manufacturer's instructions.				⊠			Air Resources Board approved no-added formaldehyde (NAF) resins or ultra-low emitting formaldehyde (ULEF) resins.		u		ш	ш		
A4.407.4 Protect building materials delivered to the construction site from rain and other sources of moisture.							A4.504.2 Install VOC compliant resilient flooring systems. Tier 1. At least 90 percent of the resilient flooring installed shall comply.		<u></u> '					
A4.407.6 Exterior doors to the dwelling are protected to prevent water intrusion.							Tier 2. At least 100 percent of the resilient flooring installed shall comply. A4.504.3 Thermal insulation installed in the building shall meet the			ш				
A4.407.7 A permanent overhang or awning at least 2 feet in depth is provided.							following requirements: Tier I, Install thermal insulation in compliance with VOC limits.		ים					
Construction Waste Reduction, Disposal and Recycling		10.	10	10	**		Tier 2. Install insulation which contains No-Added Formaldehyde		30=0	□¹		0500000	34-370	
4.408.1 A construction waste management plan shall be submitted for					Ť		(NAF) and is in compliance with Tier 1.							
approval that: 1. Identifies the materials to be diverted from disposal by recycling,							Interior Moisture Control 4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:							
reuse on the project or salvage for future use or sale. 2. Specifies if materials will be sorted on-site or mixed for transportation to a diversion facility. 3. Identifies the diversion facility where the material collected will be taken. 4. Identifies construction methods employed to reduce the amount of waste generated.	Ø						 A 4-inch-thick (101.6 mm) base of 1/2 inch (12.7 mm) or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06. 	⊠			⊠		п	
Specifies that the amount of materials diverted shall be calculated by weight or volume, but not both.	⊠	ш		М			Other equivalent methods approved by the enforcing agency.							
This may be done by completing the 'Construction & Demolition Waste							A slab design specified by a licensed design professional. 4.505.3 Moisture content of building materials. Building materials							
Management Plan Resource Guide for Contractors' form that is required for this project by local ordinance (RMC Sec. 9.17). This is available online. This documents shall be provided to both the Building Division and the							with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19-percent moisture content. Moisture content shall be verified in compliance with the following:				⊠			
Solid Waste Division. This can be submitted to the Solid Waste Division for submittal via email or in person. Receipts shall be provided to inspector prior to final for compliance with Documentation requirement of Sec. 4.408.5							Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.				Stare 18	V 1.775 //		
A4.408.1 Construction waste generated at the site is diverted to recycle or salvage in compliance with one of the following:														
1 Paratised reservoisits for this Time		4			e.		1 Required presenticite for this Tier							

Feature or Measure

2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece to be

3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the

Insulation products which are visibly wet or have a high moisture

content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the

4.506.1 Bathrooms exhaust fans. Each bathroom shall be provided

2. Fans must be controlled by a humidity control (separate or built- in);

Humidity controls with manual or automatic means of adjustmen

A4.506.2 Construction Filter. [HR] Provide filters on return air openings

4.507.2 Duct systems are sized, designed, and equipment is selected

1. Establish heat loss and heat gain values according to ANSI/

Size duct systems according to ANSI/ACCA I Manual D-2016 or

Select heating and cooling equipment according to ANSI/ACCA 3

proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program.

703.1 Verification of compliance with this code may include certification, inspection reports, or other methods acceptable to the enforcing agency which

rated at MERV 8 or higher during construction

using the following methods:

ACCA 2 Manual J-2016 or equivalent.

Manual S-2014 or equivalent.

capable of adjustment between a relative humidity range of </= 5

ENERGY STAR fans ducted to terminate outside the building.

wall and floor framing.

Feature or Measure	Mandatory and (not all ite	Levels may volunts s for Tier 1 a measure as checked be ms may app	re required alow bly to your	Verification Method Applicant to select verification method for each measure OR check box immediately below to indicate verification method for all measures (items already selected will be verified by the				
	The second second second	ecific proje	ct)	Contraction of the Contraction o	ilding Divis	ion)		
	Mandatory	Volunta	ry Tiers	Building	Installer	Third party		
	Measures	Tier 1	Tier 2	Inspector	or Designer			
				45,640		All		
Tier 1 at least a 65 percent reduction. Any mixed recyclables that are sent to mixed-waste recycling facilities shall include a qualified third party verified facility average diversion rate. Verification of diversion rates shall meet minimum certification eligibility guidelines, acceptable to the local enforcing agency. Tier 2 at least a 75 percent reduction with a third-party verification. **xception**: Equivalent waste reduction methods are developed by		ים	ים	All	All .			
vorking with local agencies.								
Building Maintenance and Operation								
4.410.1 At the time of final inspection, a manual, compact disk, web- pased reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building.								
 Directions that the manual stays with the house for the life cycle of the structure. 								
2. Operation and Maintenance instructions for equipment, appliances, including water-saving devices and systems, HVAC systems, water-heating systems and other major appliances and equipment. Roof and yard drainage, including gutters and downspouts. Space conditioning systems, including condensers and air filters. Landscape irrigation systems. Water reuse systems.								
Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.					200			
 Public transportation and/or carpool options available in the area. Educational material on the positive impacts of an interior relative humidity between 30-60% and what methods on occupant may use to maintain the relative humidity level in that range. 	⊠							
Information about water conserving landscape and irrigation design and controllers which conserve water.								
 Instruction for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation. 								
Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.								
Information about state solar energy and incentive programs available.								
A copy of all special inspection verifications required by the enforcing agency or this code.								
4.410.2 Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas that serve all buildings on he site and is identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or	⊠		0			0		
neet a lawfully enacted local recycling ordinance, if more restrictive. See exception for rural jurisdictions.					10			
ENVIRONMENTAL QUALITY								
Fireplaces								
Do 3.1 Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission mits as applicable, and shall have a permanent label indicating the recent light appear the emission light. Woodstellages and leading the state and l	⊠			⊠		_		

are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances. Please

,		Levels may volunts s for Tier 1 a measure a checked be ms may appecific proje	re required blow	Verification Method Applicant to select verification method for each measure OR check box immediately below to indicate verification method for all measures (items already selected will be verified by the Building Division)								
	Measures Voluntary Tiers Tier 1 Tier 2		Measures Inspect	Measures Tier 1 Tier 2 Inspector	es Ins	Tier 1 Tier 2 Inspector Or Desig		Measures In		1 Tier 2 Inspector		Third party
complete an Air Quality Certificate of Compliance for Residential				All	All	All						
Pollutant Control					×							
4.504.1 At the time of rough installation or during storage on the construction site and until final startup of the heating and cooling equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of dust or debris which may collect in the system.	⊠				_	_						
4.504.2.1 Adhesives, sealants and caulks shall meet VOC limits of Table 4.504.1 or Table 4.504.2 and other toxic compounds.	⊠											
4.504.2.2 Paints, stains and other coatings shall be compliant with VOC limits of Table 4.504.3.	⋈											
4.504.2.3 Aerosol paints and coatings shall be compliant with product-weighted MIR limits for ROC and other toxic compounds.	☒											
4.504.2.4 Documentation shall be provided to verify that compliant VOC limit finish materials have been used; Manufacturer's product specification. Field verification of on-site product containers.	⊠											
4.504.3 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following: Carpet and Rug Institute's Green Label Plus Program California Department of Public Health Standard Practice for the testing of VOCs NSF/ANSI 140 at the Gold level	⊠											
☐ Scientific Certifications Systems Indoor Advantage Gold 4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute Green Label program.												
4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1	⊠											
4.504.4 Resilient flooring systems. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall comply with one or more of the following: 1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database. 2. Products certified under UL GREENGUARD Gold (formerly the Green guard Children & Schools program). 3. Certification under the Resilient Floor Covering Institute (RFCI) Floor Score program. 4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as	Ø			0								

GENERAL NOTES

Verification Method

Applicant to select verification

method for each measure OR check box immediately below to

indicate verification method for all measures (items already selected will be verified by the

ndatory Voluntary Tiers Building Installer Third party

 \boxtimes

pplicant may voluntarily select

landatory measure are required

(not all items may apply to your specific project)

Tier 1 Tier 2

measures for Tier 1 and Tier 2

- THE CONSTRUCTION CONTRACT RELATED TO THE WORK OF THIS PROJECT IS HEREBY MADE A PART OF THESE DRAWINGS AS THOUGH FULLY CONTAINED THEREIN.
- THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COMPLETE ALL WORK REQUIRED TO RECEIVE A CERTIFICATE OF OCCUPANCY FROM THE BUILDING OFFICIAL HAVING JURISDICTION OVER THIS PROJECT. THE SCOPE OF PERMIT COMPLIANCE WORK IS INCLUDED IN THE GENERAL CONTRACT FOR CONSTRUCTION OF THIS PROJECT. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND
- SUBCONTRACTORS SHALL BE RESPONSIBLE FOR AND GOVERNED BY ALL OF THE REQUIREMENTS THEREUNDER. PRIOR TO CONTRACT APPROVAL, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE PROJECT SITE, AND BY THEIR OWN INVESTIGATION, DETERMINE EXISTING SITE CONDITIONS AS TO THE QUANTITIES OF MATERIALS, LABOR HOURS, AND ANY OTHER COST ASSOCIATED WITH WORK THAT IS TO BE DONE UNDER THEIR CONTRACT AND AS REQUIRED TO PASS ALL BUILDING PERMIT INSPECTIONS. ALL MODIFICATIONS REQUIRED BY THE INSPECTION AUTHORITY SHALL BE MADE BY EACH
- SUBCONTRACTOR AT THEIR EXPENSE. 4. PRIOR TO CONTRACT APPROVAL, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY AND CONFIRM THE DESIGN REQUIREMENTS OF ALL NEW AND EXISTING DESIGN, STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND REPORT ANY AMBIGUITIES OR DISCREPANCIES CONTAINED IN THE CONTRACT TO THE OWNER IN WRITING. ALL MODIFICATIONS REQUIRED TO COMPLETE THE CONTRACT RESULTING FROM AMBIGUITIES OR DISCREPANCIES NOT REPORTED PRIOR TO CONTRACT APPROVAL SHALL BE MADE BY EACH SUBCONTRACTOR AT THEIR EXPENSE

APPLICABLE LAWS, ORDINANCES, REGULATIONS AND STANDARDS:

- 1. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL CONFORM TO THE LATEST APPLICABLE, ADOPTED EDITION OF THE CALIFORNIA CODE OF REGULATIONS, TITLE-24, CALIFORNIA BUILDING CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA ELECTRICAL CODE, AND ALL LOCAL CODES AND ORDINANCES REQUIRED TO RECEIVE A CERTIFICATE OF OCCUPANCY FROM THE BUILDING OFFICIAL HAVING JURISDICTION OVER THE PROJECT.
- THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM ALL WORK REQUIRED BY APPLICABLE BUILDING CODES AND REGULATIONS TO PASS ALL REQUIRED BUILDING
- EACH SUBCONTRACTOR MUST BE A SPECIALIST IN THEIR FIELD. EACH SUBCONTRACTOR SHALL, PRIOR TO THE SUBMISSION OF HIS BID OR PERFORMANCE OF WORK, NOTIFY THE GENERAL CONTRACTOR OF ANY WORK CALLED OUT IN THE DRAWINGS OR PROJECT MANUAL IN HIS TRADE THAT CANNOT BE FULLY GUARANTEED OR CONSTRUCTED ACCORDING TO THE DESIGN INTENT.

PERMITS, LICENSES, INSPECTIONS, AND FEES:

1. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PLAN REVIEW, PERMIT, LICENSE, AND INSPECTION APPROVALS. ALL FEES REQUIRED FOR APPROVAL SHALL BE PAID BY THE OWNER.

THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL GUARANTEE THAT ALL WORK REQUIRED TO CONSTRUCT THE PROJECT BE A COMPLETE WORKING SYSTEM AND SHALL OPERATE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS. THE CONTRACTOR AGREES TO REPLACE, WITHOUT EXPENSE TO THE OWNER, ANY PROJECT COMPONENTS WHICH THE OWNER DETERMINES TO BE DEFECTIVE WITHIN ONE (1) CALENDAR YEAR FROM THE DATE OF FINAL CONTRACT ACCEPTANCE.

DATA AND MEASUREMENTS:

- L. DRAWING DATA CONTAINED HEREIN IS AS EXACT AS COULD BE DETERMINED WITHIN THE PROJECT DESIGNER'S DESIGN SCOPE OF SERVICES RENDERED. AS SUCH THE ABSOLUTE ACCURACY OF THE DESIGN DATA IS NOT GUARANTEED. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL ENDEAVOR TO OBTAIN, VERIFY AND CONFIRM EXACT DESIGN DATA ON SITE AND SUITABLY ADAPT THE WORK TO CONFORM TO EXACT CONDITIONS ON SITE. THE CONTRACTOR SHALL REPORT ANY DESIGN DATA AMBIGUITIES OR DISCREPANCIES CONTAINED IN THE CONTRACT TO THE OWNER IN WRITING. ALL MODIFICATIONS REQUIRED TO
- ADAPT THE WORK SHALL BE MADE BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS AND ACTUAL BUILDING MEASUREMENTS TAKE PRECEDENCE OVER SCALED DRAWING INFORMATION.
- 3. DIMENSIONS TO DOORS, WINDOWS, AND OPENINGS ARE NOMINAL WIDTHS. REFER TO THE MANUFACTURER FOR ACTUAL ROUGH OPENINGS. 4. ALL WALL DIMENSIONS ARE ACTUAL, FACE OF STUD TO FACE OF STUD, WALL FINISH DIMENSIONS ARE NOT TAKEN. INTO ACCOUNT AND ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO DETERMINE
- PROPER CLEARANCES. NOTES ARE AN AID TO THE CONTRACTOR IN UNDERSTANDING THE WORK AND SHOULD NOT BE CONSTRUED AS BEING COMPLETE IN EVERY DETAIL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME THOROUGHLY
- FAMILIAR WITH THE WORK, AND REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL CONDITIONS TO THE DESIGNER. 5. DIMENSIONS MARKED AS "V.I.F." SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.

7. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE DESIGNER, UNLESS NOTED AS +/-.

SUBSTITUTIONS FOR SPECIFIED MATERIALS:

- SPECIFIC TRADE NAMES MENTIONED IN THE DRAWINGS ARE FOR THE PURPOSES OF ESTABLISHING MINIMUM STANDARDS OF QUALITY, STYLE OR TYPE, AND SHALL NOT BE CONSTRUED TO RESTRICT SUBSTITUTIONS. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER IN WRITING WITHIN A SUFFICIENT TIME FRAME AS NOT TO DELAY PROJECT COMPLETION.
- 2. SUBSTITUTIONS SHALL NOT BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGNER AND THE OWNER. CONSIDERATION WILL BE GIVEN TO LIFE SAFETY, FIRE RATING, ACOUSTICS, WATERPROOFING, STRUCTURAL INTEGRITY, HANDICAPPED ACCESSIBILITY AND AESTHETICS WHEN ASSESSING PROPOSED SUBSTITUTIONS.

CLEAN UP AND START UP RESPONSIBILITIES:

- 1. AFTER COMPLETION OF THE WORK DESCRIBED IN THEIR RESPECTIVE CONTRACTS AND PRIOR TO ACCEPTANCE, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL THOROUGHLY CLEAN ALL EXPOSED SURFACES OF THEIR RESPECTIVE WORK COMPLETED.
- 2. AFTER COMPLETION OF THE WORK DESCRIBED IN THEIR RESPECTIVE CONTRACTS AND PRIOR TO PROJECT ACCEPTANCE, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL THOROUGHLY TEST AND PROPERLY START UP ALL PROJECT EQUIPMENT AS REQUIRED TO SECURE AND MAINTAIN SPECIFIED EQUIPMENT WARRANTIES. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW ALL MANUFACTURER'S RECOMMENDED OPERATIONS PROCEDURE WITH THE OWNER PRIOR TO PROJECT ACCEPTANCE.
- 3. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL TAKE REASONABLE MEASURES TO ENSURE THAT SITE IS PREPPED AND MAINTAINED SO THAT NO EROSION TO STREET, NEIGHBORS, AND REAR LOT DRAIN OCCURS.
- 4. COORDINATE ALL WORK AS REQUIRED BY THE CONTRACT DOCUMENTS WITH THE OWNER, INCLUDING TEMPORARY STORAGE, LOADING, KEYING SYSTEMS, ETC., AND PROVIDE NECESSARY BARRICADES, SIGNS, BARRIERS, AND PROTECTION.

AREA OF WORK:

- 1. THE GENERAL ENGINEERING CONTRACTOR SHALL REMOVE ALL EXISTING LANDSCAPE MATERIAL NOT PROTECTED, CONCRETE PATIOS/WALKWAYS, YARD FENCING AND POST FOOTINGS, GARAGE STRUCTURE AND FOUNDATION, AND ALL ABANDONED UTILITIES. THE CONTRACTOR SHALL REMOVE EXISTING SITE LIGHTING AND IRRIGATION SYSTEM WITHIN THE AREA OF WORK, TERMINATE/CAP-OFF DISCONNECTION POINTS, AND TURN OVER ALL EXISTING SYSTEM COMPONENTS TO THE OWNER FOR FUTURE USE. ALL TOP SOIL SHALL BE REMOVED AND STORED FOR USE IN FINISH GRADING.
- 2. HAZARDOUS MATERIALS: IN THE EVENT THAT HAZARDOUS MATERIALS ARE ENCOUNTERED IN THE PREMISES DURING THE EXECUTION OF THE WORK, NOTIFY THE OWNER IMMEDIATELY AND DO NOT PROCEED UNTIL DIRECTED. FOLLOW ALL CAL OSHA REQUIREMENTS.

HOURS OF CONSTRUCTION:

1. NORMAL AND CUSTOMARY CONSTRUCTION ACTIVITY SHALL INCLUDE ANY CONSTRUCTION ACTIVITY CONDUCTED MONDAY THROUGH FRIDAY, 6:00 A.M. TO 8:00 P.M., AND SATURDAYS 8:00 A.M. TO 6:00 P.M., EXCLUDING FEDERAL HOLIDAYS PER CCR 6.14B.

& ENGINEERING

100 GATEWAY DRIVE, SUITE 120 LINCOLN, CA 95648 (916) 209-9890 Design@GRAPHIA.com GRAPHIA.com

GRAPHIA® IS A REGISTERED TRADEMARK OF SEAN FREITAS. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF SEAN FREITAS, ARCHITECT. A DESIGN INFORMATION CONTAINED IN THESE DRAWINGS ARE FOR USE ONLY ON THIS SPECIFIED PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT EXPRESSED WRITTEN PERMISSION OF SEAN FREITAS, ARCHITECT © 1992-2020. ALL RIGHTS RESERVED.

PROJECT: 20200619

GENERAL NOTES Project Issue Date: Project Status: Sheet Issue Date: Revision Number:

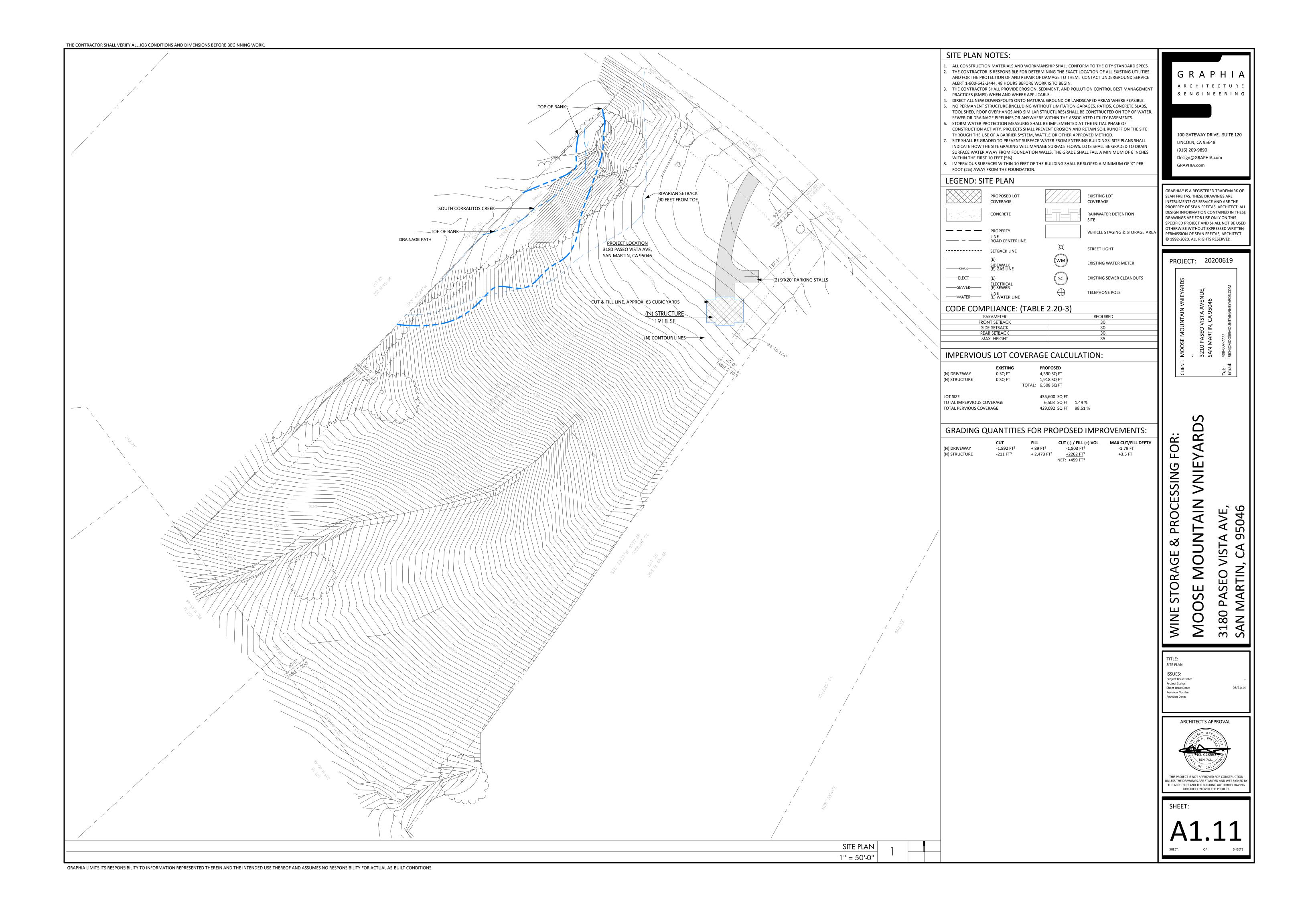
Revision Date:

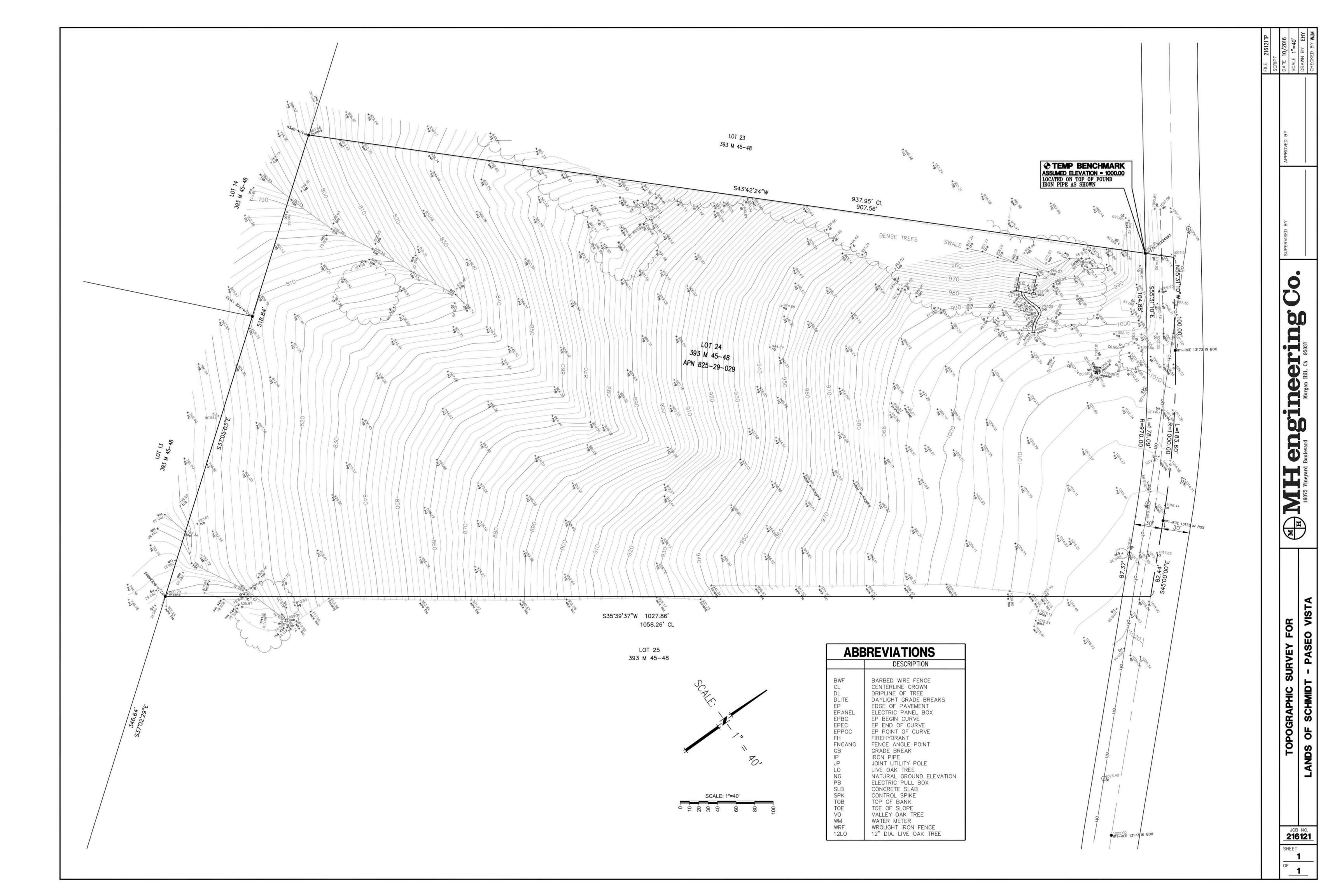


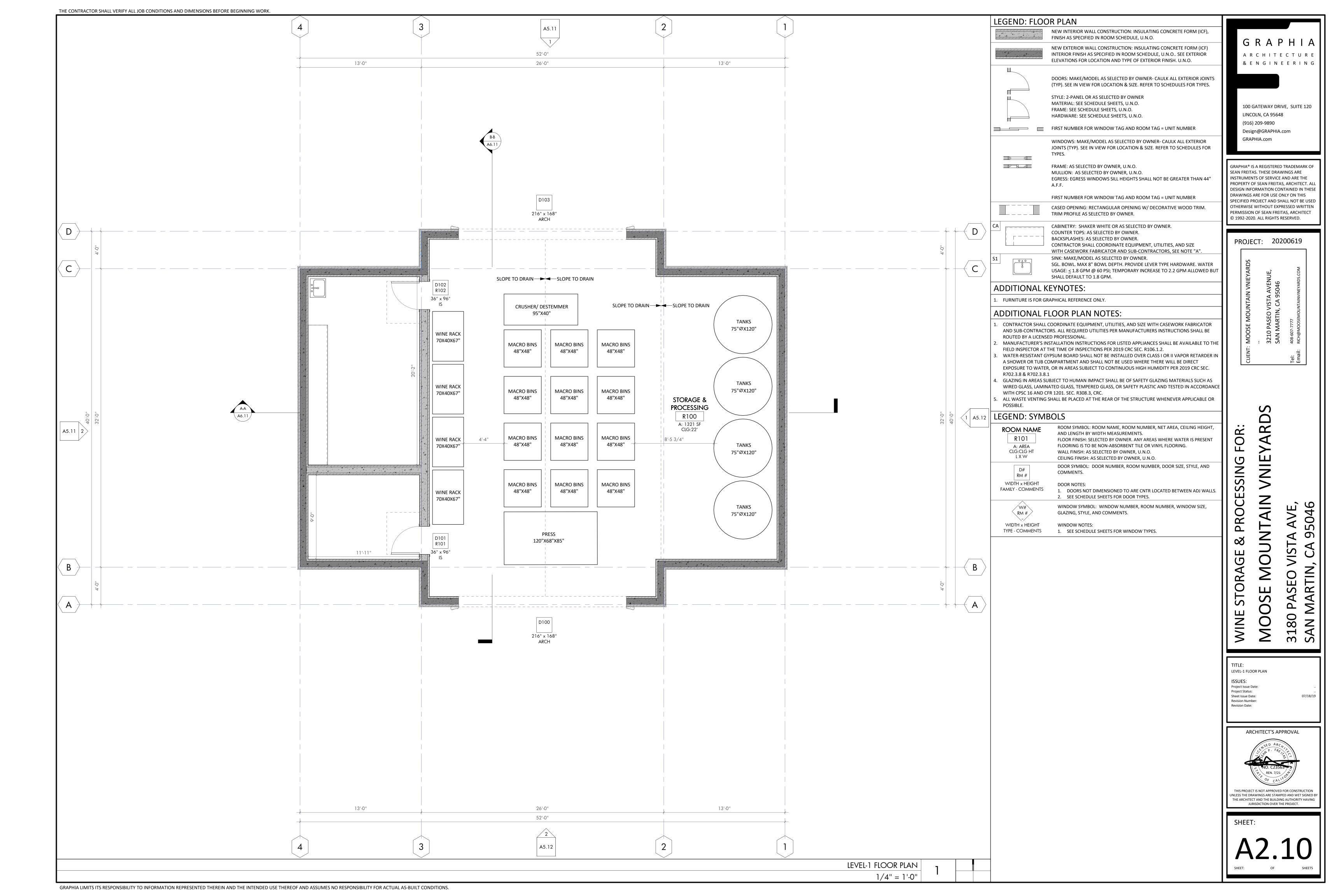
01/28/19

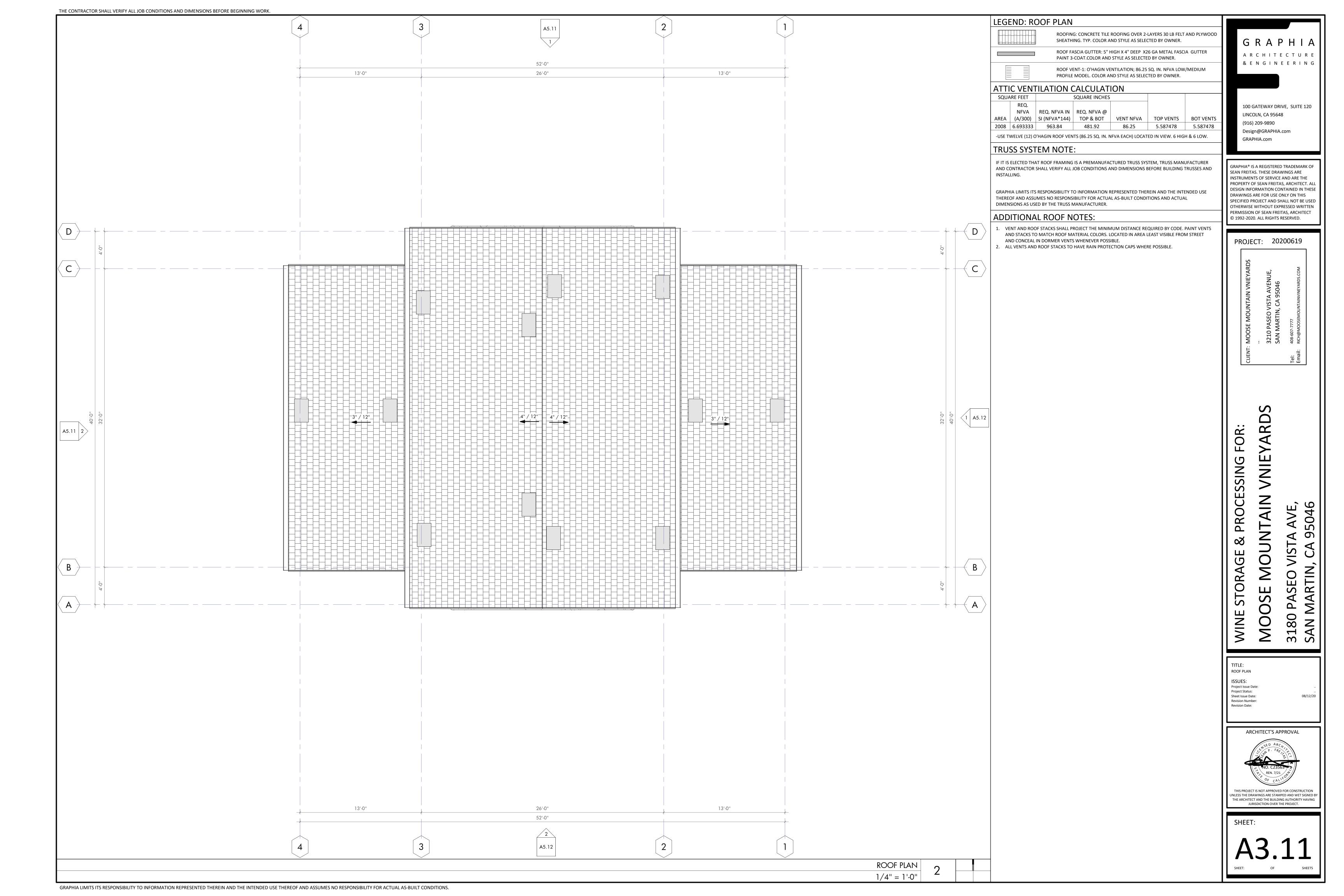
SHEET:

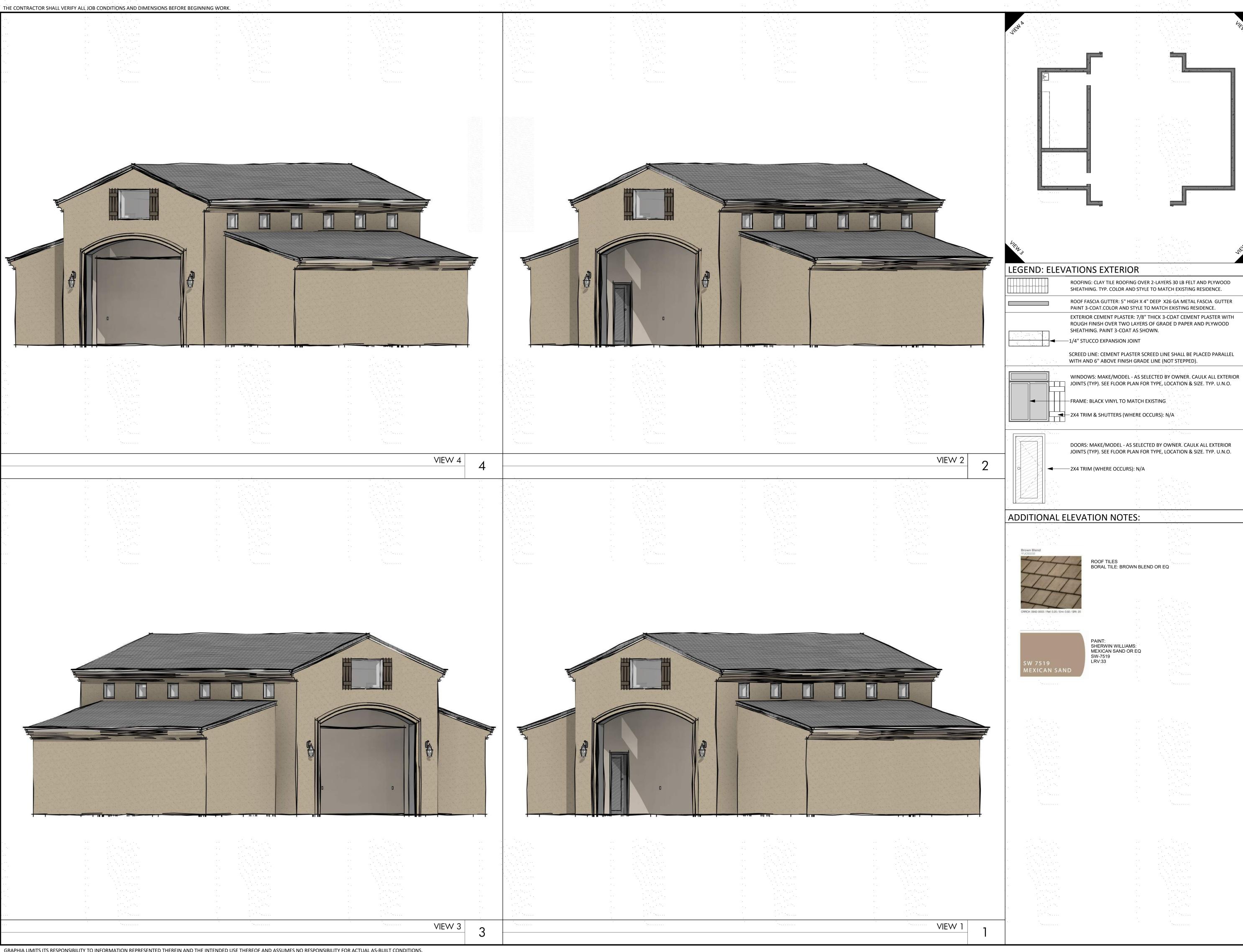
JURISDICTION OVER THE PROJECT.











& E N G I N E E R I N G

100 GATEWAY DRIVE, SUITE 120 LINCOLN, CA 95648 (916) 209-9890⁻ Design@GRAPHIA.com GRAPHIA.com

GRAPHIA® IS A REGISTERED TRADEMARK OF SEAN FREITAS. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF SEAN FREITAS, ARCHITECT. AL DESIGN INFORMATION CONTAINED IN THESE DRAWINGS ARE FOR USE ONLY ON THIS SPECIFIED PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT EXPRESSED WRITTEN PERMISSION OF SEAN FREITAS, ARCHITECT

PROJECT: 20200619

© 1992-2020. ALL RIGHTS RESERVED.

FOR: PROCE MOOSE MOUNTAIN STORAGE 3180 PASEO VI SAN MARTIN, (

TITLE: PERSPECTIVE VIEWS

Project Issue Date: Project Status: Sheet Issue Date: Revision Number: Revision Date:

WINE

08/12/20



