

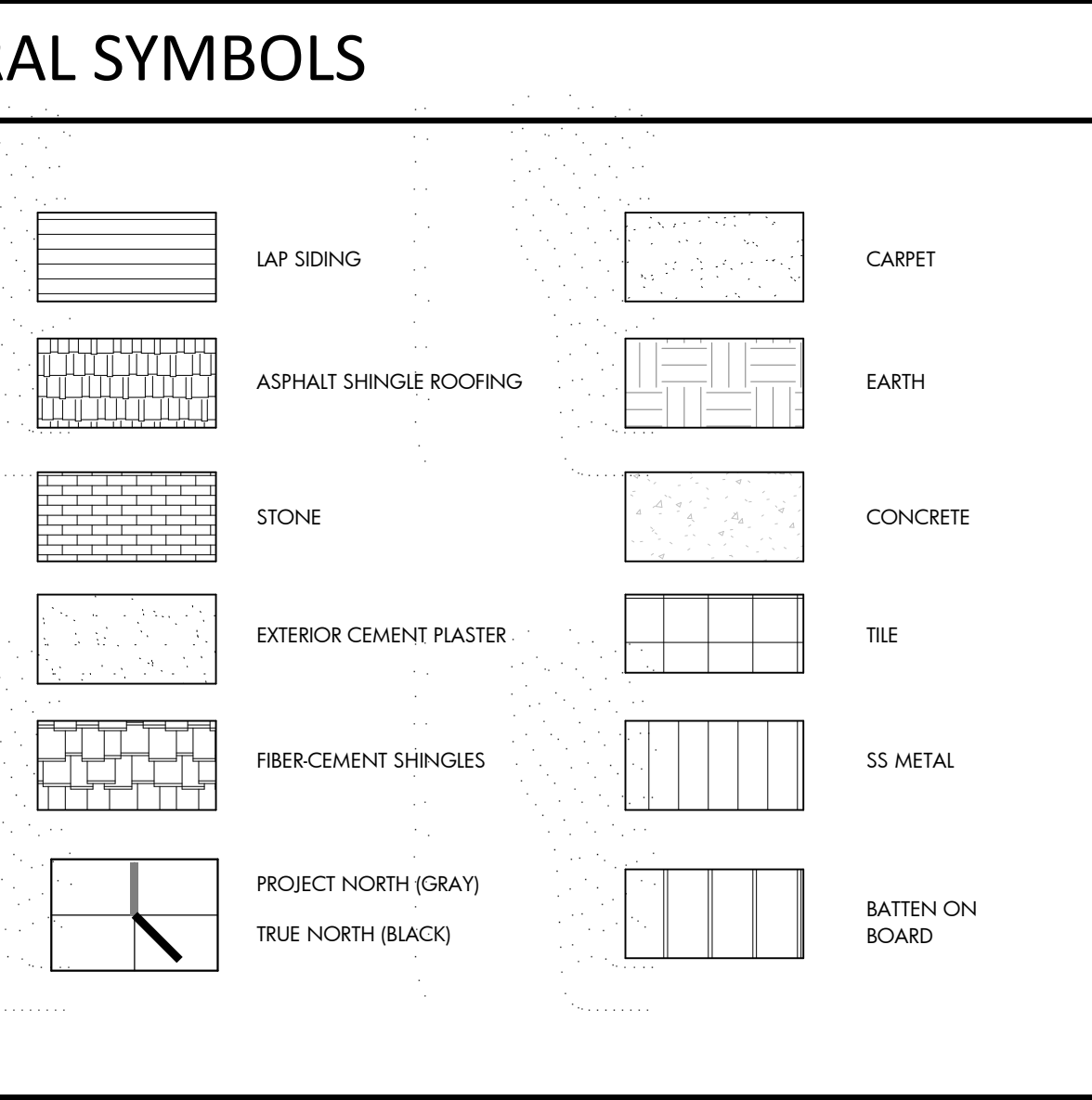
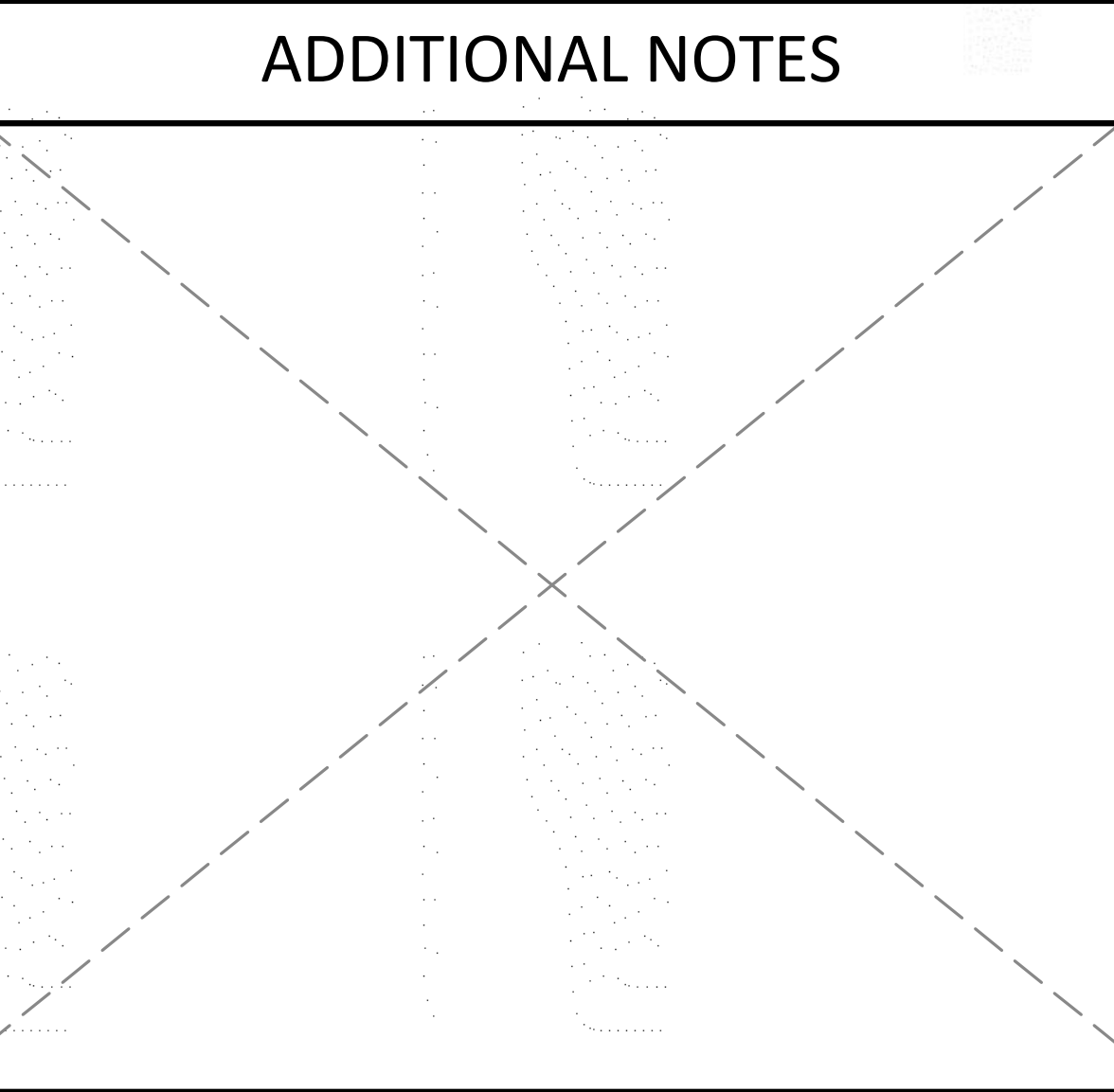
THE CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK.

SHEET ABBREVIATIONS					
AB	ANCHOR BOLT	GA	GAUGE	REINF	REINFORCED
ADJ	ADJACENT	GFCI	GROUND FAULT INTERRUPTER	ROOM	ROOM
ALUM	ALUMINUM	GALV	GALVANIZED	RWD	REDWOOD
BM	BEAM	GL	GLASS	S	SOUTH
BOW	BOTTOM OF WALL	GYP	GYPSUM	SB	SET BACK
BLKG	BLOCKING	H	HIGH OR HEIGHT	SF	SQUARE FOOT
BRD	BOARD	HB	HOSE BIBB	SHTHG	SHEATHING
CC	CENTER TO CENTER	JTS	JOIST	SHWR	SHOWER
CL	CENTERLINE	LAV	LAVATORY	SIM	SIMILAR
CEM	CEMENT	LB	POUND	SIMP	'SIMPSON'
CER	CERAMIC	LIN	LINEN	SLD	SLIDING
CJ	CONTROL JOINT	LT	LIGHT	S&P	SHELF & POLE
CLG	CEILING	MANF	MANUFACTURER	STRUCT	STRUCTURAL
CLR	CLEAR	MAX	MAXIMUM	T	TREAD
CLO	CLOSET	MC	MEDICINE CABINET	TEMP	TEMPERED
CO	CLEANOUT	MIN	MINIMUM	TOC	TOP OF CONCRETE
CONC	CONCRETE	MTL	METAL	TOG	TOP OF GRADE
CONTIN	CONTINUOUS	N	NORTH	TOF	TOP OF FLOOR
DBL	DOUBLE	O/	OVER	TOP	TOP OF PAVEMENT
DF	DOUGLAS FIR	OC	ON CENTER	TOS	TOP OF SLAB
DI	DRAIN INLET	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED	TOW	TOP OF WALL
DIA	DIAMETER			TV	TELEVISION
DR	DOOR	O	OWNER SELECTED	TYP	TYPICAL
DW	DISH WASHER	PB	PUSH BUTTON	UCR	UNDER COUNTER REFRIG
E	EAST	PH	PHONE	W	WEST
EL	ELEVATION	PL	PLATE	W/	WITH
EQ	EQUAL	POC	POINT OF CONNECTION	WC	WATER CLOSET
FF	FINISH FLOOR	PT	PRESSURE TREATED	WD	WOOD
FIX	FIXTURE	R	RISER	WH	WATER HEATER
FLUOR	FLUORESCENT	REF	REFRIGERATOR	WP	WATER PROOF
FP	FIRE PLACE			WWM	WELDED WIRE MESH

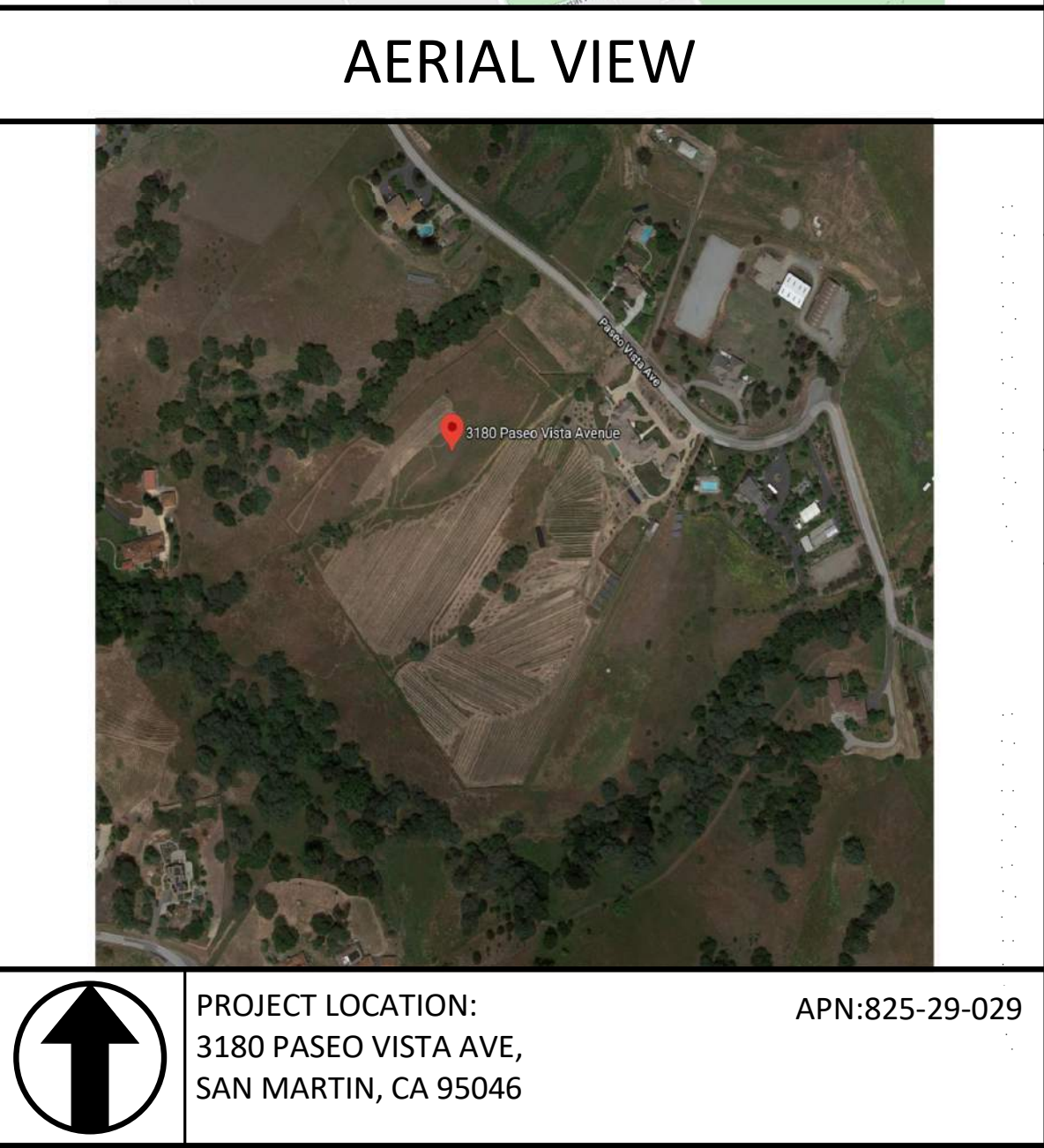
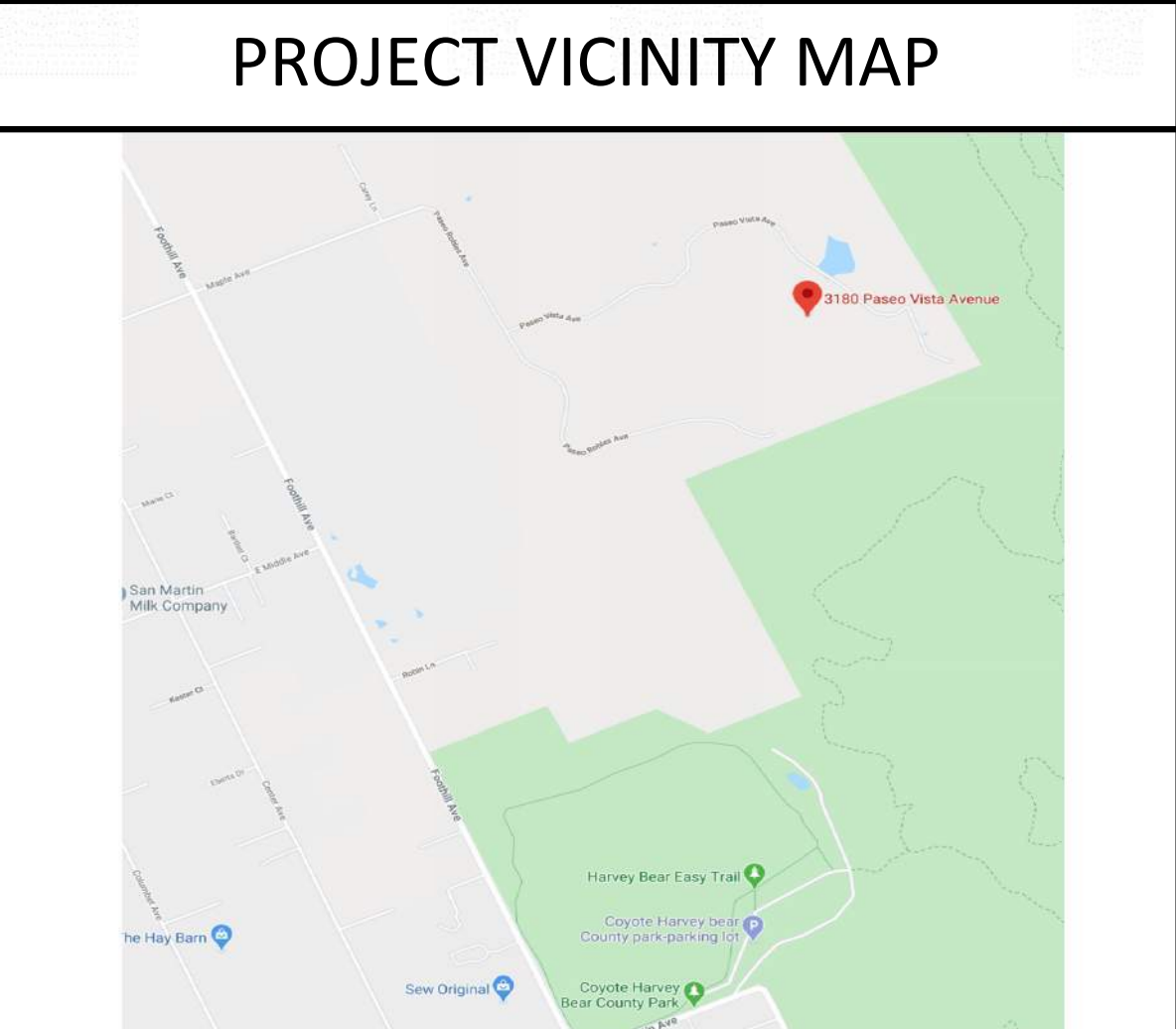
PROJECT DIRECTORY	
ARCHITECT	SEAN FREITAS, AIA 100 GATEWAY DRIVE, SUITE 120 LINCOLN, CA 95648 TEL: 916-580-9981
DRAFTING	NICHOLAS OUSHAKOFF, ASSOC. AIA 100 GATEWAY DRIVE, SUITE 120 LINCOLN, CA 95648 TEL: 916-862-1660
STRUCTURAL ENGINEER	
MEP ENGINEER	
CIVIL ENGINEER	
FIRE SPRINKLER	
TRUSS DESIGNER	

ARCHITECTURAL SYMBOLS					
#	GRIDLINE	1 A101	SECTION	LAP SIDING	CARPET
W# R#	WINDOW TAG	1 A101	DETAIL	ASPHALT SHINGLE ROOFING	EARTH
D101 R#	DOOR TAG	1	REVISION	STONE	CONCRETE
ROOM NAME R#	ROOM TAG	Name Elevation	SPOT ELEVATION	EXTERIOR CEMENT PLASTER	TILE
PROPOSED KEYNOTE	EXISTING KEYNOTE	1 SHEET	ELEVATION	FIBER CEMENT SHINGLES	SS METAL
				PROJECT NORTH (GRAY)	BATTEN ON BOARD
				TRUE NORTH (BLACK)	

WINE STORAGE & PROCESSING FOR:



# MOOSE MOUNTAIN VINEYARDS



PROJECT INFORMATION		
APPLICABLE BUILDING CODE: 2019 CALIFORNIA BUILDING CODE (CBC) 2019 CALIFORNIA MECHANICAL CODE (CMC) 2019 CALIFORNIA PLUMBING CODE (CPC) 2019 CALIFORNIA ENERGY CODE (CEC) 2019 CALIFORNIA FIRE CODE (CFC) 2019 CALIFORNIA GREEN BUILDING CODE (CGBS) 2019 CALIFORNIA ENERGY CODE (2019 CALIFORNIA ENERGY STANDARDS AS AMENDED BY THE STATE OF CALIFORNIA AND THE LOCAL JURISDICTION.		
GENERAL PROJECT DATA:	F-2/S-2 (WINE STORAGE AND PROCESSING)	
APN:	825-29-029	
ZONE:	HS - SMALL SCALE AG PROCESSING PERMITTED	
BUILDING JURISDICTION:	SANTA CLARA COUNTY	
CODE COMPLIANCE:	ALLOWED:	ACTUAL:
OCCUPANCY GROUP (CBC CH 3):	F-2/S-2	F-2/S-2
CONSTRUCTION TYPE (CBC, TABLE 601):	V-B 1-LEVEL	V-B 1-LEVEL
ALLOWABLE HEIGHT:	35'	27'
ALLOWABLE STORIES:	3	1
ALLOWABLE AREA:		0.44%
FLOOR AREA RATIO:		0.0044 : 1

PROJECT SCOPE			
NEW WINE STORAGE AND PROCESSING BUILDING CONSISTING OF OFFICE, RESTROOM, LAB, AND STORAGE. NOT FOR WINE TASTING.			
AREA CALCULATIONS			
NAME	(E) AREA	(N) AREA	NET CHANGE
CONDITIONED			
(N) STRUCTURE	0 SF	1918 SF	1918 SF
CONDITIONED	0 SF	1918 SF	1918 SF
TOTAL:	0 SF	1918 SF	1918 SF
LOT SIZE			
LOT COVERAGE (40% MAX)			
(E) SF	(N) SF	CHANGE (SF)	CHANGE (%)
435600 SF	435600 SF	0 SF	0.00%
	1918 SF	1918 SF	0.44%

SHEET INDEX	
SHEET	TITLE
A0.12	GENERAL NOTES
A1.11	SITE PLAN
A1.12	TOPOGRAPHIC SURVEY
A2.10	LEVEL-1 FLOOR PLAN
A2.11	UTILITY PLAN
A3.11	ROOF PLAN
A4.11	SCHEDULES
A5.00	PERSPECTIVE VIEWS
A5.11	ELEVATIONS
A5.12	ELEVATIONS

GRAPHIA  
ARCHITECTURE  
& ENGINEERING

100 GATEWAY DRIVE, SUITE 120  
LINCOLN, CA 95648  
(916) 580-9981  
Sean@GRAPHIA.com  
GRAPHIA.com

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PROJECT: 20200619

CIENT: MOOSE MOUNTAIN VINEYARDS  
3210 PASEO VISTA AVENUE,  
SAN MARTIN, CA 95046  
Tel: 408-607-7777  
Email: RICH@MOOSEMOUNTAINVINEYARDS.COM

WINE STORAGE & PROCESSING FOR:

MOOSE MOUNTAIN VINEYARDS  
3180 PASEO VISTA AVE,  
SAN MARTIN, CA 95046

TITLE: COVER SHEET

ISSUES:  
Project Issue Date:  
Project Status:  
Sheet Issue Date:  
Revision Number:  
Revision Date:

08/17/16

ARCHITECT'S APPROVAL

SEAN P. FREITAS  
NO. C23563  
REN. 7/21  
STATE OF CALIFORNIA

THIS PROJECT IS NOT APPROVED FOR CONSTRUCTION UNLESS THE DRAWINGS ARE STAMPED AND WET SIGNED BY THE ARCHITECT AND THE BUILDING AUTHORITY HAVING JURISDICTION OVER THE PROJECT.

SHEET:

A0.11

SHEET: OF SHEETS



Residential Occupancies Application Checklist for Green Building Code Requirements					
Based on the 2019 California Green Building Standards Code Comprehensive list of all green building code compliance measures for single family dwellings					
The purpose of this code is to improve public health, safety and general welfare by enhancing the design and construction of buildings through the use of building concepts having a reduced negative impact or positive environmental impact and encouraging sustainable construction practices. These measures shall be provided as a sheet within the master plans or on a compact disc or other available media at the time of plan review.					
Feature or Measure	Levels		Verification Method		
Mandatory measures are required and checked below (not all items may apply to your specific project)	Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party
		Tier 1 Tier 2	All	All	All
<b>PLANNING AND DESIGN</b> <b>Site Selection</b> A4.103.1 A site which complies with at least one of the following characteristics is selected: 1. A dry hill site is selected. 2. A greyfield site is selected. 3. A EPA-recognized brownfield site is selected.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>Site Preservation</b> A4.104.1 An individual with oversight responsibility for the project has participated in an educational program promoting environmentally friendly design or development and has provided training or instruction to appropriate officials.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>Preservation and Reuse of Existing Materials</b> A4.105.2 Existing buildings are dismantled for reuse or recycling of building materials. The proposed structure utilizes at least one of the following materials which can be easily reused: 1. Light fixtures 2. Plumbing fixtures 3. Doors and trim 4. Masonry 5. Electrical devices 6. Appliances 7. Foundations or portions of foundations					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>Site Development</b> A4.106.2 A plan is developed to manage storm water drainage during construction.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
Residential Green Building Code Checklist Revised: 12/21/2019					
Page 1 of 11					

Feature or Measure	Levels		Verification Method		
Mandatory measures are required and checked below (not all items may apply to your specific project)	Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party
		Tier 1 Tier 2	All	All	All
<b>4.106.3</b> Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>4.106.4</b> Provide capability for electric vehicle charging in one and two-family dwellings, townhouses with attached private garages, multifamily dwellings, and hotels/motels in accordance with Section 4.106.4.1, 4.106.4.2, or 4.106.4.3.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>4.106.2.1</b> Soil analysis is performed by a licensed design professional and the findings utilized in the structural design of the building.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>4.106.2.2</b> Soil disturbance and erosion are minimized by at least one of the following: 1. Natural drainage patterns are evaluated and erosion controls are implemented to minimize erosion during construction and after occupancy. 2. Site access is accomplished by minimizing the amount of cut and fill needed to install access roads. 3. Underground construction activities are coordinated to utilize the same trench, minimize the amount of the trench disturbed soil is exposed and the soil is replaced using accepted compaction methods.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>4.106.2.3</b> Topsoil shall be protected or saved for reuse as specified in this section. Tier 1: Disrupted topsoil shall be stockpiled for reuse in a designated area and covered or protected from erosion. Tier 2: The construction area shall be identified and delineated by fencing or flagging to limit construction activity to the construction area.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>4.106.3</b> Post construction landscape designs accomplish one or more of the following: 1. Areas disrupted during construction are reestablished to be consistent with native vegetation species and native plants. 2. Utilize at least 75 percent California or drought tolerant plant and tree species appropriate for the installation zone region.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>4.106.4</b> Permeable paving is utilized for the parking, walking or patio surfaces in compliance with the following: Tier 1: Not less than 20 percent of the total parking, walking or patio surfaces shall be permeable. Tier 2: Not less than 30 percent of the total parking, walking or patio surfaces shall be permeable.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>4.106.5</b> Roofing materials shall have a minimum 3-year aged solar reflectance and thermal emittance or a minimum Solar Reflectance Index (SRI) equal to or greater than the values specified in the applicable tables.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>Low-rise Residential</b> Tier 1 roof covering shall meet or exceed the values contained in Table A4.106.5.1(1). Tier 2 roof covering shall meet or exceed the values contained in Table A4.106.5.1(2).					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All

Feature or Measure	Levels		Verification Method		
Mandatory measures are required and checked below (not all items may apply to your specific project)	Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party
		Tier 1 Tier 2	All	All	All
<b>High-rise Residential, Hotels and Motels</b> Tier 1 roof covering shall meet or exceed the values contained in Table A4.106.5.1(3). Tier 2 roof covering shall meet or exceed the values contained in Table A4.106.5.1(4).					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>4.106.6</b> Install a vegetated roof for at least 50 percent of the roof area. Vegetated roofs shall comply with requirements for roof greening and landscaped roofs in the California Building Code, Chapters 15 and 16.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>4.106.7</b> Reduce non-roof heat islands for 50 percent of the roofs, balconies, driveways or other paved areas by using one or more of the methods listed: 1. Trees or other plantings to provide shade and that mature within 10 years of planting. Trees should be native or adaptive to the region and climate zones and noninvasive, hardy and resistant to drought, insects and disease, easy to maintain, frequent shedding of leaves, branches, unwielded fruit or seed pods; and suitable in mature size and environmental requirements for the site. Tree selection and placement should consider location and size of areas to be shaded, location of other infrastructure and the structure, distance to sidewalks and footpaths, overhangs onto adjacent properties and streets, other infrastructure and adjacent landscaping. In addition, shading shall not cast a shadow, as specified, on any neighboring solar collectors pursuant to Public Resources Code Section 25981, et seq. (Solar Shade Control Act). 2. Use high albedo materials with an initial solar reflectance value of at least 0.30 as determined in accordance with American Society for Testing and Materials (ASTM) Standards E1918 or E1549. 3. Use open ground pavement system or pervious or permeable parking. 4. Locate 50 percent of parking underground or use mulch/gravel parking. 5. Other methods of reducing heat island effects acceptable to the enforcing agency.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>4.106.8.1 Tier 1 and Tier 2</b> for one- and two-family dwellings and townhouses with attached private garages. Install a dedicated 200/240-volt branch circuit, including an overcurrent protective device rated at 40 amperes minimum per dwelling unit. A4.106.8.2 Provide capacity for future electric vehicle charging in new multifamily dwellings, as specified. Tier 1: In 15 percent of total parking spaces. Tier 2: In 20 percent of total parking spaces.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>4.106.8.3</b> Provide electric vehicle spaces for new hotels and motels. Tier 1: Install EV spaces per Table A4.106.8.3.1. Tier 2: Install EV spaces per Table A4.106.8.3.2.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>4.106.9</b> Provide bicycle parking facilities as noted below. Number of bicycle parking spaces may be reduced, as approved by the enforcing agency, due to building site characteristics, including but not limited to, isolation from other development. 1. Provide short-term bicycle parking, per Section A4.106.9.1. 2. Provide long-term bicycle parking for multifamily buildings, per					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All

Feature or Measure	Levels		Verification Method		
Mandatory measures are required and checked below (not all items may apply to your specific project)	Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party
		Tier 1 Tier 2	All	All	All
<b>Section A4.106.9.2</b> Provide long-term bicycle parking for hotel and motel buildings, per Section A4.106.9.3.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>A4.106.10 DMV</b> Outdoor lighting systems shall be designed and installed to comply with: 1. The minimum requirements in the California Energy Code for Lighting Zones 1-4 and 2. Backlight, Uplight and Glare (BUG) ratings as defined in IES TM-15-11 and 3. Allowable BUG ratings not exceeding those shown in Table A4.106.10.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>Energy Efficiency</b> <b>General</b> 4.203.1 Building meets or exceeds the requirements of the California Building Energy Efficiency Standards.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>Performance Approach for Newly Constructed Buildings</b> A4.203.1.1 Tier 1 and Tier 2. Total Energy Design Rating (Total EDR) as defined in the California Building Energy Efficiency Code (CBECC) for the Proposed Design Building is included in the Certificate of Compliance documentation.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>A4.203.1.2 Tier 1 and Tier 2</b> Quality Insulation Installation procedures specified in the Building Energy Efficiency Standards Reference Appendices RA3 are completed.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>A4.203.1.3 Tier 1 and Tier 2</b> Prerequisite systems. One of the following options is required: • Roof deck insulation or ducts in conditioned space. • High-performance walls. • HERS-verified compact hot water distribution system. • HERS-verified drain water heat recovery.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>A4.203.1.3.1 Tier 1</b> Buildings complying with the first level of advanced energy efficiency shall have additional integrated efficiency and create renewable energy generation to achieve a Total EDR for Tier 1 as specified in Table A4.203.1.1 or lower as calculated by the Tier 1 and Tier 2 Compliance Software approved by the Energy Commission. This Total EDR is in addition to meeting the Efficiency EDR.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>A4.203.1.3.2 Tier 2</b> Buildings complying with the second level of advanced energy efficiency shall have additional integrated efficiency and create renewable energy generation to achieve a Total EDR for Tier 2 as specified in Table A4.203.1.1 or lower as calculated by the Tier 1 and Tier 2 Compliance Software approved by the Energy Commission. This Total EDR is in addition to meeting the Efficiency EDR.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>Water Efficiency and Conservation</b> <b>Indoor Water Use</b>					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All

Feature or Measure	Levels		Verification Method		
Mandatory measures are required and checked below (not all items may apply to your specific project)	Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party
		Tier 1 Tier 2	All	All	All
<b>4.303.1.1 Water closets.</b> The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>4.303.1.2 Urinals.</b> The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>4.303.1.3 Single showerheads.</b> Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>4.303.1.3.2 Multiple showerheads serving one shower.</b> When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at any time. Note: A hand-held shower shall be considered a showerhead.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>4.303.1.4 Residential lavatory faucets.</b> The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.5 gallons per minute at 60 psi.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>4.303.1.4.3 Metering faucets in residential buildings shall not deliver more than 0.2 gallons per cycle.</b>					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>4.303.1.4.4 Kitchen Faucets.</b> The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Kitchen Faucets. Note: Where competing faucets are unavailable, aerators or other means may be used to achieve reduction.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>4.303.2 Plumbing fixtures and fittings</b> required in Section 4.303.1 Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 7001.1 of the California Plumbing Code.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>A4.303.3 Alternate water source for non-potable applications.</b> Alternate non-potable water sources are used for indoor potable water reduction. Alternate non-potable water sources shall be installed in accordance with the California Plumbing Code.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>A4.303.3.1</b> Install at least one qualified ENERGY STAR dishwasher or clothes washer.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>A4.303.3.2</b> Hot water recirculation systems or waterless toilets are installed.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All
<b>A4.303.3.3</b> Hot water supply systems. One- and two-family dwellings shall be equipped with a demand hot water recirculation system, as defined in Chapter 2. The demand hot water recirculation system shall be installed in accordance with the California Plumbing Code, California Energy Code, and the manufacturer's installation instructions.					
Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party	
	Tier 1 Tier 2	All	All	All	All

Feature or Measure	Levels		Verification Method		
Mandatory measures are required and checked below (not all items may apply to your specific project)	Applicant may voluntarily select measures for Tier 1 and Tier 2		Applicant to select verification method for each measure OR check box immediately below to indicate verification method for all measures (Items already selected will be verified by the Building Division)		
	Mandatory Measures	Voluntary Tiers	Building Inspector	Installer or Designer	Third party
		Tier 1 Tier 2	All All	All All	All All
<b>4.401.1 Rainwater catchment systems.</b> An approved rainwater catchment system is designed and installed to use rainwater generated by at least 65 percent of the available roof area. Rainwater catchment systems shall be designed and installed in accordance with the California Plumbing Code.			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.401.2 Potable water elimination.</b> When landscaping is provided and as allowed by local ordinance, a water efficient landscape irrigation design that eliminates the use of potable water beyond the initial requirements for plant installation and establishment should be provided. Methods used to accomplish the requirements of this section must be designed to the requirements of the California Building Standards Code and shall include, but not be limited to, the following: 1. Use of captured rainwater. 2. Use of recycled water. 3. Water treated for irrigation purposes and conveyed by a water district or public entity. 4. Use of graywater (if approved by Roseville E.U.). 5. Use of drought tolerant plants.			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.401.3</b> For new water service connections, landscaped irrigated areas less than 5,000 square feet shall be provided with separate sub-meters or metering devices for outdoor potable water use.			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>WATER REUSE SYSTEMS</b>					
<b>4.401.3</b> Piping is installed to permit future use of a graywater irrigation system served by the clothes washer or other fixtures.			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.401.3</b> Recycled water piping is installed.			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.401.3</b> Recycled water is used for landscape irrigation.			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>MATERIAL CONSERVATION AND RESOURCE EFFICIENCY</b>					
<b>Foundation Systems</b>					
<b>4.401.1</b> A Frost-protected Shallow Foundation (FPS) is designed and constructed.			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.401.2</b> Cement use in foundation mix design is reduced. Tier 1. Not less than a 20 percent reduction in cement use. Tier 2. Not less than a 25 percent reduction in cement use.			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Efficient Framing Techniques</b>					
<b>4.401.1</b> Beams and headers and trimmers are the minimum size to adequately support the load.			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.401.2</b> Building dimensions and layouts are designed to minimize waste.			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.401.3</b> Use prefabricated building systems to eliminate solid sawn lumber whenever possible.			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.401.4</b> Material lists are included in the plans which specify material quantities and provide direction for on-site cuts.			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Material Selection</b>					
<b>4.401.5</b> One or more of the following materials, that do not require additional resources for finishing, are used: 1. Exterior trim not requiring paint or stain. 2. Windows not requiring paint or stain. 3. Siding or exterior wall coverings which do not require paint or stain.			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.401.5</b> Floors that do not require additional coverings are used including but not limited to stained, natural or stained concrete.			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



THE CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK.



**SITE PLAN NOTES:**

- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY STANDARD SPEC.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF AND REPAIR OF DAMAGE TO THEM. CONTACT UNDERGROUND SERVICE ALERT 1-800-642-2444, 48 HOURS BEFORE WORK IS TO BEGIN.
- THE CONTRACTOR SHALL PROVIDE EROSION, SEDIMENT, AND POLLUTION CONTROL BEST MANAGEMENT PRACTICES (BMPs) WHEN AND WHERE APPLICABLE.
- DIRECT ALL NEW DOWNSPOUTS ONTO NATURAL GROUND OR LANDSCAPED AREAS WHERE FEASIBLE.
- NO PERMANENT STRUCTURE (INCLUDING WITHOUT LIMITATION GARAGES, PATIOS, CONCRETE SLABS, TOOL SHED, ROOF OVERHANGS AND SIMILAR STRUCTURES) SHALL BE CONSTRUCTED ON TOP OF WATER, SEWER OR DRAINAGE PIPELINES OR ANYWHERE WITHIN THE ASSOCIATED UTILITY EASEMENTS.
- STORM WATER PROTECTION MEASURES SHALL BE IMPLEMENTED AT THE INITIAL PHASE OF CONSTRUCTION ACTIVITY. PROJECTS SHALL PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE THROUGH THE USE OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD.
- SITE SHALL BE GRADED TO PREVENT SURFACE WATER FROM ENTERING BUILDINGS. SITE PLANS SHALL INDICATE HOW THE SITE GRADING WILL MANAGE SURFACE FLOWS. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET (5%).
- IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING SHALL BE SLOPED A MINIMUM OF 1/4" PER FOOT (2%) AWAY FROM THE FOUNDATION.

**LEGEND: SITE PLAN**

	PROPOSED LOT COVERAGE		EXISTING LOT COVERAGE
	CONCRETE		RAINWATER DETENTION SITE
	PROPERTY LINE		VEHICLE STAGING & STORAGE AREA
	ROAD CENTERLINE		STREET LIGHT
	SETBACK LINE		EXISTING WATER METER
	(E) SIDEWALK		EXISTING GAS LINE
	(E) SEWER		EXISTING ELECTRICAL
	(E) WATER LINE		TELEPHONE POLE

**CODE COMPLIANCE: (TABLE 2.20-3)**

PARAMETER	REQUIRED
FRONT SETBACK	30'
SIDE SETBACK	30'
REAR SETBACK	30'
MAX. HEIGHT	35'

**IMPERVIOUS LOT COVERAGE CALCULATION:**

	EXISTING	PROPOSED
(N) DRIVEWAY	0 SQ. FT.	4,590 SQ. FT.
(N) STRUCTURE	0 SQ. FT.	1,918 SQ. FT.
TOTAL:		6,508 SQ. FT.

LOT SIZE	435,600 SQ. FT.	
TOTAL IMPERVIOUS COVERAGE	6,508 SQ. FT.	1.49 %
TOTAL PERVIOUS COVERAGE	429,092 SQ. FT.	98.51 %

**GRADING QUANTITIES FOR PROPOSED IMPROVEMENTS:**

	CUT	FILL	CUT (-) / FILL (+) VOL	MAX CUT/FILL DEPTH
(N) DRIVEWAY	-1,892 FT³	+ 89 FT³	-1,803 FT³	-1.79 FT
(N) STRUCTURE	-211 FT³	+ 2,473 FT³	+2,262 FT³	+3.5 FT
			NET: +459 FT³	

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3210 PASEO VISTA AVENUE,  
SAN MARTIN, CA 95046  
Tel: 408-607-7777  
Email: RICH@MOOSEMOUNTAINVINEYARDS.COM

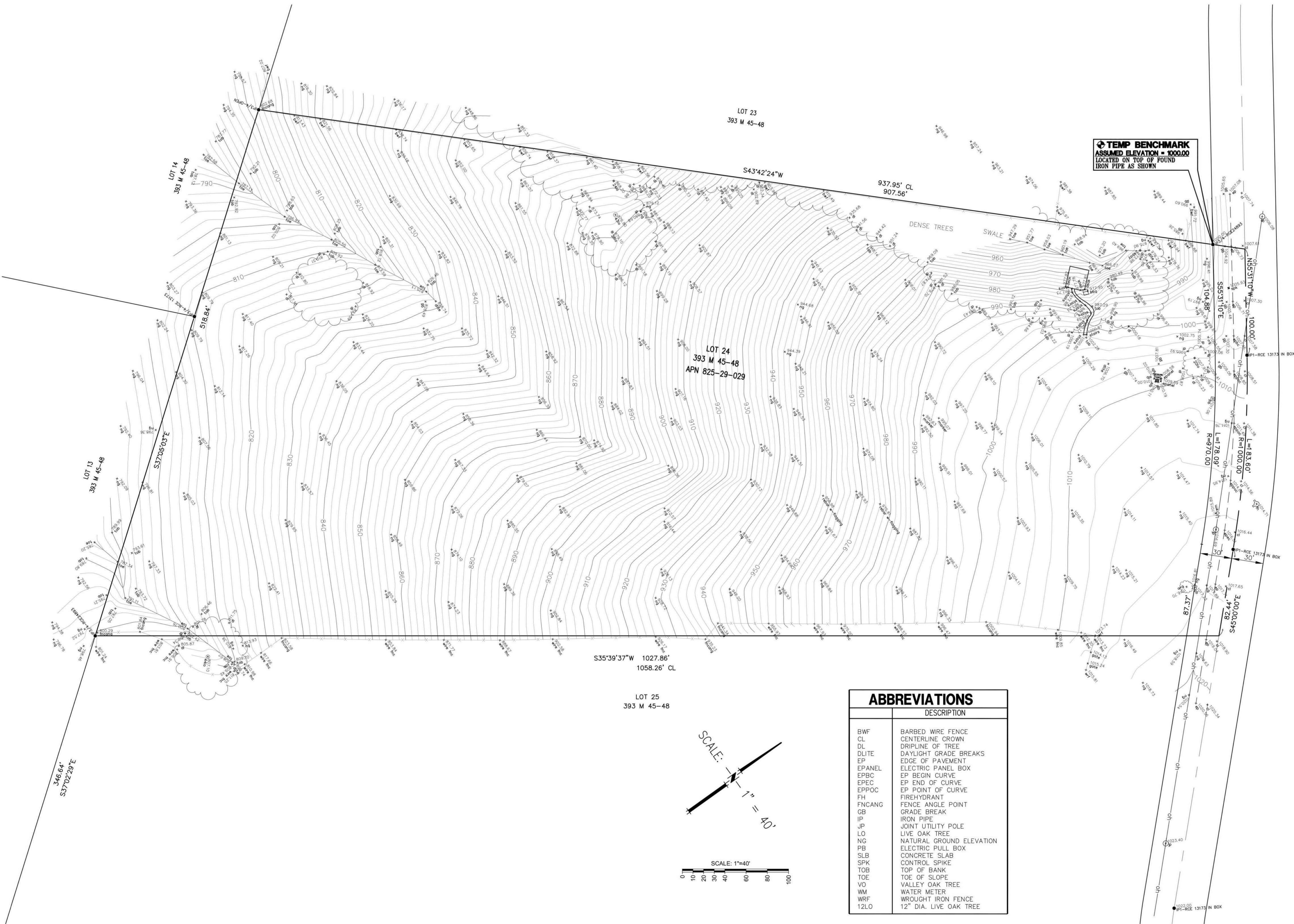
WINE STORAGE & PROCESSING FOR:  
**MOOSE MOUNTAIN VINEYARDS**  
3180 PASEO VISTA AVE,  
SAN MARTIN, CA 95046

TITLE:  
SITE PLAN  
ISSUES:  
Project Issue Date: -  
Project Status: -  
Sheet Issue Date: 08/21/24  
Revision Number: -  
Revision Date: -

ARCHITECT'S APPROVAL  
  
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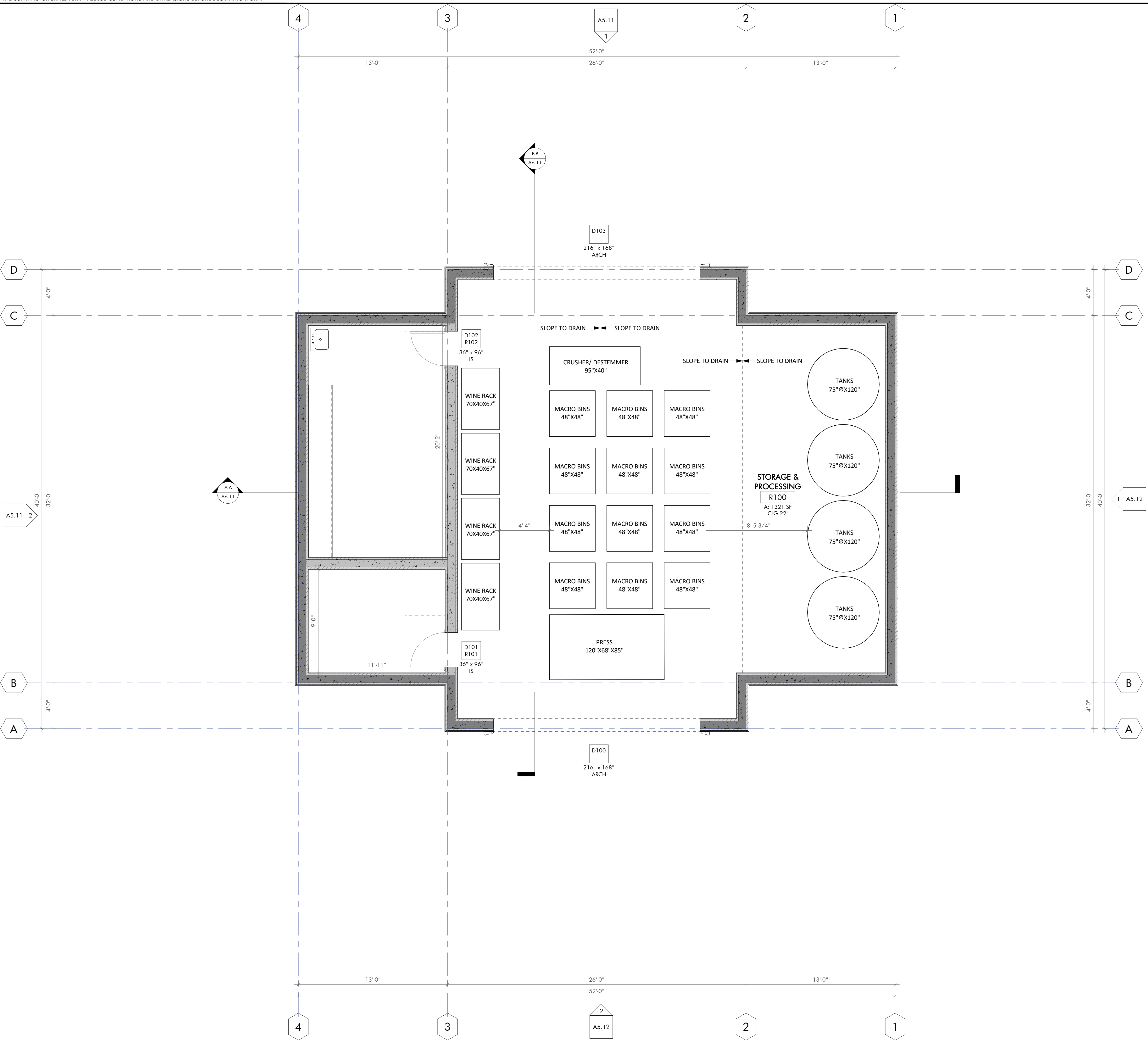
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ABBREVIATIONS	
	DESCRIPTION
BWF	BARBED WIRE FENCE
CL	CENTERLINE CROWN
DL	DRILLHOLE OF TREE
DLITE	DAYLIGHT GRADE BREAKS
EP	EDGE OF PAVEMENT
EPANEL	ELECTRIC PANEL BOX
EPBC	EP BEGIN CURVE
EPEC	EP END OF CURVE
EPPOC	EP POINT OF CURVE
FH	FIREHYDRANT
FNCANG	FENCE ANGLE POINT
GB	GRADE BREAK
IP	IRON PIPE
JP	JOINT UTILITY POLE
LO	LIVE OAK TREE
NG	NATURAL GROUND ELEVATION
PB	ELECTRIC PULL BOX
SLB	CONCRETE SLAB
SPK	CONTROL SPIKE
TOB	TOP OF BANK
TOE	TOE OF SLOPE
VO	VALLEY OAK TREE
WM	WATER METER
WRF	WROUGHT IRON FENCE
12LO	12" DIA. LIVE OAK TREE





**LEGEND: FLOOR PLAN**

NEW INTERIOR WALL CONSTRUCTION: INSULATING CONCRETE FORM (ICF), FINISH AS SPECIFIED IN ROOM SCHEDULE, U.N.O.

NEW EXTERIOR WALL CONSTRUCTION: INSULATING CONCRETE FORM (ICF) INTERIOR FINISH AS SPECIFIED IN ROOM SCHEDULE, U.N.O.. SEE EXTERIOR ELEVATIONS FOR LOCATION AND TYPE OF EXTERIOR FINISH. U.N.O.

DOORS: MAKE/MODEL AS SELECTED BY OWNER- CAULK ALL EXTERIOR JOINTS (TYP). SEE IN VIEW FOR LOCATION & SIZE. REFER TO SCHEDULES FOR TYPES.

STYLE: 2-PANEL OR AS SELECTED BY OWNER  
MATERIAL: SEE SCHEDULE SHEETS, U.N.O.  
FRAME: SEE SCHEDULE SHEETS, U.N.O.  
HARDWARE: SEE SCHEDULE SHEETS, U.N.O.

FIRST NUMBER FOR WINDOW TAG AND ROOM TAG = UNIT NUMBER

WINDOWS: MAKE/MODEL AS SELECTED BY OWNER- CAULK ALL EXTERIOR JOINTS (TYP). SEE IN VIEW FOR LOCATION & SIZE. REFER TO SCHEDULES FOR TYPES.

FRAME: AS SELECTED BY OWNER, U.N.O.  
MULLION: AS SELECTED BY OWNER, U.N.O.  
EGRESS: EGRESS WINDOWS SILL HEIGHTS SHALL NOT BE GREATER THAN 44" A.F.F.

FIRST NUMBER FOR WINDOW TAG AND ROOM TAG = UNIT NUMBER

CASED OPENING: RECTANGULAR OPENING W/ DECORATIVE WOOD TRIM. TRIM PROFILE AS SELECTED BY OWNER.

CABINETS: SHAKER WHITE OR AS SELECTED BY OWNER. COUNTER TOPS: AS SELECTED BY OWNER. BACKSPASHES: AS SELECTED BY OWNER. CONTRACTOR SHALL COORDINATE EQUIPMENT, UTILITIES, AND SIZE WITH CASEWORK FABRICATOR AND SUB-CONTRACTORS, SEE NOTE "A".

SINK: MAKE/MODEL AS SELECTED BY OWNER. SGL. BOWL, MAX 8" BOWL DEPTH. PROVIDE LEVER TYPE HARDWARE. WATER USAGE: ≤ 1.8 GPM @ 60 PSI; TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8 GPM.

**ADDITIONAL KEYNOTES:**

1. FURNITURE IS FOR GRAPHICAL REFERENCE ONLY.

**ADDITIONAL FLOOR PLAN NOTES:**

1. CONTRACTOR SHALL COORDINATE EQUIPMENT, UTILITIES, AND SIZE WITH CASEWORK FABRICATOR AND SUB-CONTRACTORS. ALL REQUIRED UTILITIES PER MANUFACTURERS INSTRUCTIONS SHALL BE ROUTED BY A LICENSED PROFESSIONAL.

2. MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR LISTED APPLIANCES SHALL BE AVAILABLE TO THE FIELD INSPECTOR AT THE TIME OF INSPECTIONS PER 2019 CRC SEC. R106.1.2.

3. WATER-RESISTANT GYPSUM BOARD SHALL NOT BE INSTALLED OVER CLASS I OR II VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT AND SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY PER 2019 CRC SEC. R702.3.8 & R702.3.8.1

4. GLAZING IN AREAS SUBJECT TO HUMAN IMPACT SHALL BE OF SAFETY GLAZING MATERIALS SUCH AS WIRED GLASS, LAMINATED GLASS, TEMPERED GLASS, OR SAFETY PLASTIC AND TESTED IN ACCORDANCE WITH CPSC 16 AND CFR 1201. SEC. R308.3, CRC.

5. ALL WASTE VENTING SHALL BE PLACED AT THE REAR OF THE STRUCTURE WHENEVER APPLICABLE OR POSSIBLE.

**LEGEND: SYMBOLS**

ROOM NAME	ROOM SYMBOL: ROOM NAME, ROOM NUMBER, NET AREA, CEILING HEIGHT, AND LENGTH BY WIDTH MEASUREMENTS.
R101 A: AREA CLG:CLG HT L X W	FLOOR FINISH: SELECTED BY OWNER. ANY AREAS WHERE WATER IS PRESENT FLOORING IS TO BE NON-ABSORBENT TILE OR VINYL FLOORING. WALL FINISH: AS SELECTED BY OWNER, U.N.O. CEILING FINISH: AS SELECTED BY OWNER, U.N.O.
D# RM #	DOOR SYMBOL: DOOR NUMBER, ROOM NUMBER, DOOR SIZE, STYLE, AND COMMENTS.
WIDTH x HEIGHT FAMILY - COMMENTS	DOOR NOTES: 1. DOORS NOT DIMENSIONED TO ARE CNTR LOCATED BETWEEN ADJ WALLS. 2. SEE SCHEDULE SHEETS FOR DOOR TYPES.
W# RM #	WINDOW SYMBOL: WINDOW NUMBER, ROOM NUMBER, WINDOW SIZE, GLAZING, STYLE, AND COMMENTS.
WIDTH x HEIGHT TYPE - COMMENTS	WINDOW NOTES: 1. SEE SCHEDULE SHEETS FOR WINDOW TYPES.

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PROJECT: 20200619

CLIENT: MOOSE MOUNTAIN VINEYARDS

3210 PASEO VISTA AVENUE,  
SAN MARTIN, CA 95046

Tel: 408-607-7777  
Email: RICH@MOOSEMOUNTAINVINEYARDS.COM

**WINE STORAGE & PROCESSING FOR:  
MOOSE MOUNTAIN VINEYARDS**  
3180 PASEO VISTA AVE,  
SAN MARTIN, CA 95046

TITLE:  
LEVEL-1 FLOOR PLAN

ISSUES:  
Project Issue Date:  
Project Status:  
Sheet Issue Date: 07/18/19  
Revision Number:  
Revision Date:

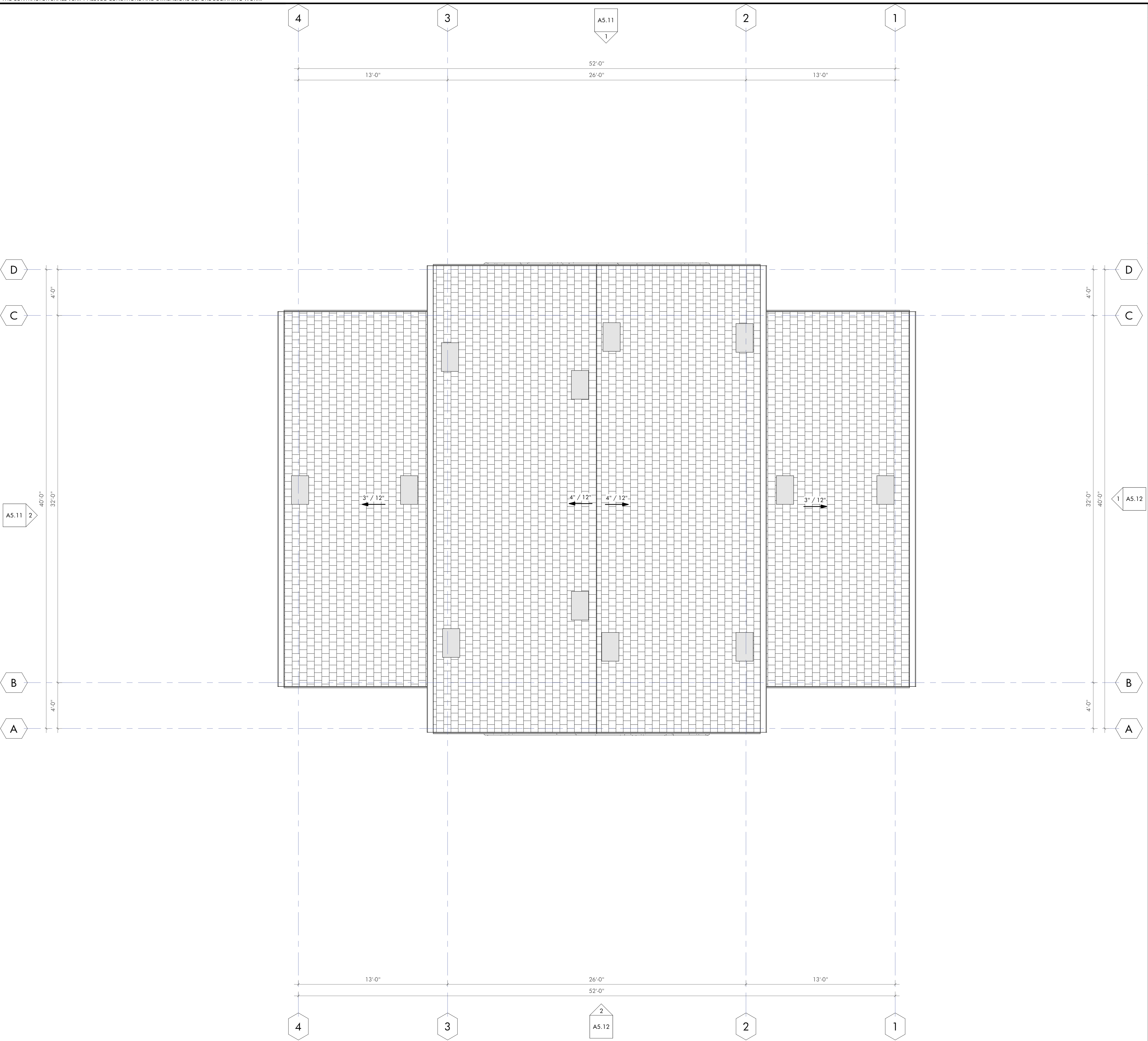
ARCHITECT'S APPROVAL

SEAN P. FREITAS  
LICENSED ARCHITECT  
NO. C23565  
EXPIRATION DATE: 07/21/2021  
STATE OF CALIFORNIA

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SHEET:  
**A2.10**  
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THE CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK.



LEGEND: ROOF PLAN

ROOFING: CONCRETE TILE ROOFING OVER 2-LAYERS 30 LB FELT AND PLYWOOD SHEATHING. TYP. COLOR AND STYLE AS SELECTED BY OWNER.

ROOF FASCIA GUTTER: 5" HIGH X 4" DEEP X26 GA METAL FASCIA GUTTER PAINT 3-COAT.COLOR AND STYLE AS SELECTED BY OWNER.

ROOF VENT-1: O'HAGIN VENTILATION; 86.25 SQ. IN. NFVA LOW/MEDIUM PROFILE MODEL. COLOR AND STYLE AS SELECTED BY OWNER.

ATTIC VENTILATION CALCULATION

SQUARE FEET		SQUARE INCHES					
	REQ. NFVA (A/300)	REQ. NFVA IN SI (NFVA*144)	REQ. NFVA @ TOP & BOT	VENT NFVA	TOP VENTS	BOT VENTS	
AREA	6.693333	963.84	481.92	86.25	5.587478	5.587478	
2008							

-USE TWELVE (12) O'HAGIN ROOF VENTS (86.25 SQ. IN. NFVA EACH) LOCATED IN VIEW. 6 HIGH & 6 LOW.

TRUSS SYSTEM NOTE:

IF IT IS ELECTED THAT ROOF FRAMING IS A PREMANUFACTURED TRUSS SYSTEM, TRUSS MANUFACTURER AND CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS BEFORE BUILDING TRUSSES AND INSTALLING.

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- ADDITIONAL ROOF NOTES:
- VENT AND ROOF STACKS SHALL PROJECT THE MINIMUM DISTANCE REQUIRED BY CODE. PAINT VENTS AND STACKS TO MATCH ROOF MATERIAL COLORS. LOCATED IN AREA LEAST VISIBLE FROM STREET AND CONCEAL IN DORMER VENTS WHENEVER POSSIBLE.
  - ALL VENTS AND ROOF STACKS TO HAVE RAIN PROTECTION CAPS WHERE POSSIBLE.

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3210 PASEO VISTA AVENUE,  
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WINE STORAGE & PROCESSING FOR:

MOOSE MOUNTAIN VINEYARDS

3180 PASEO VISTA AVE,  
SAN MARTIN, CA 95046

TITLE:  
ROOF PLAN

ISSUES:  
Project Issue Date:  
Project Status:  
Sheet Issue Date:  
Revision Number:  
Revision Date:

08/12/20

ARCHITECT'S APPROVAL

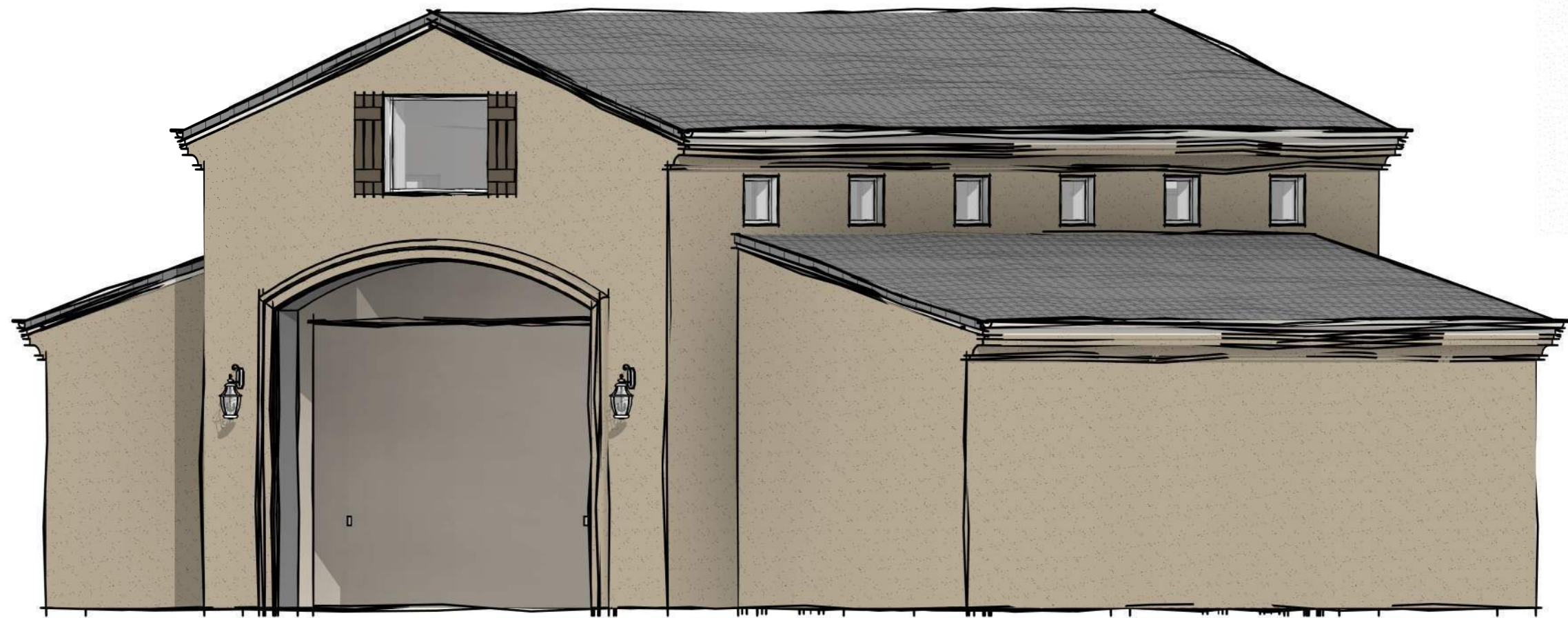
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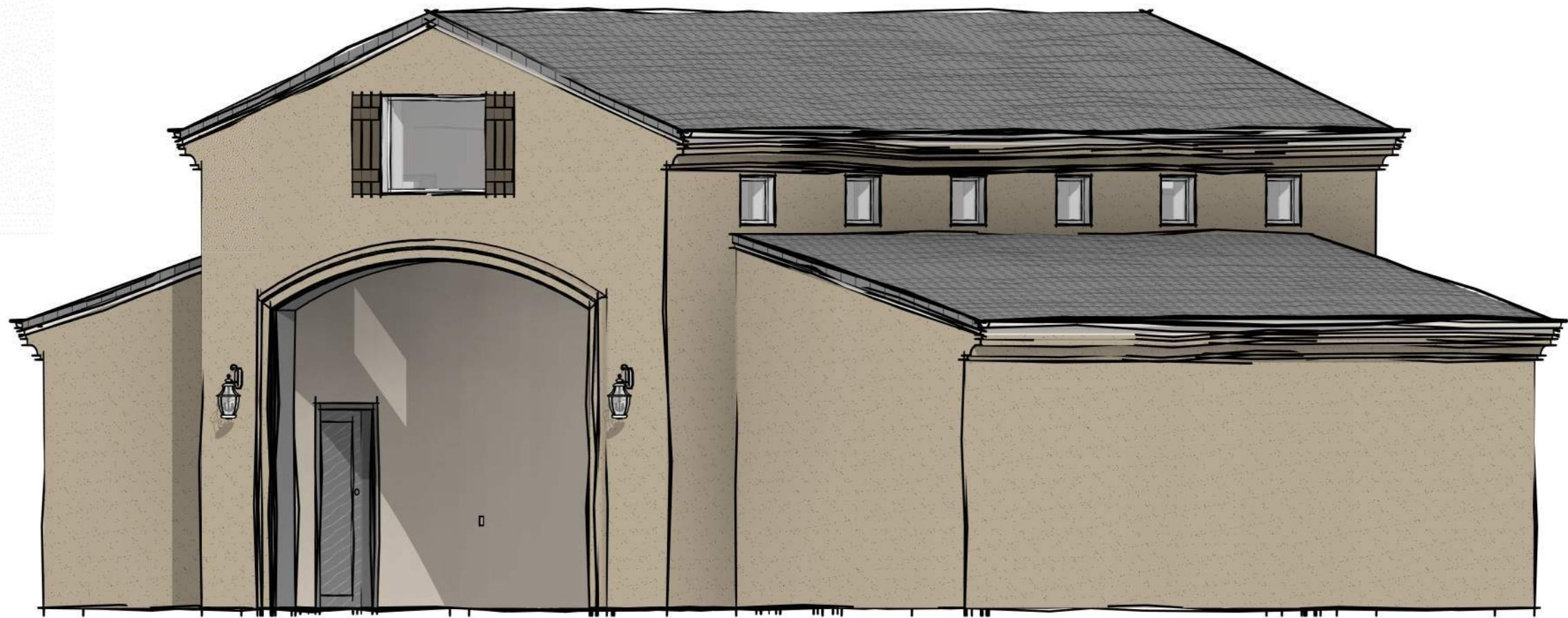
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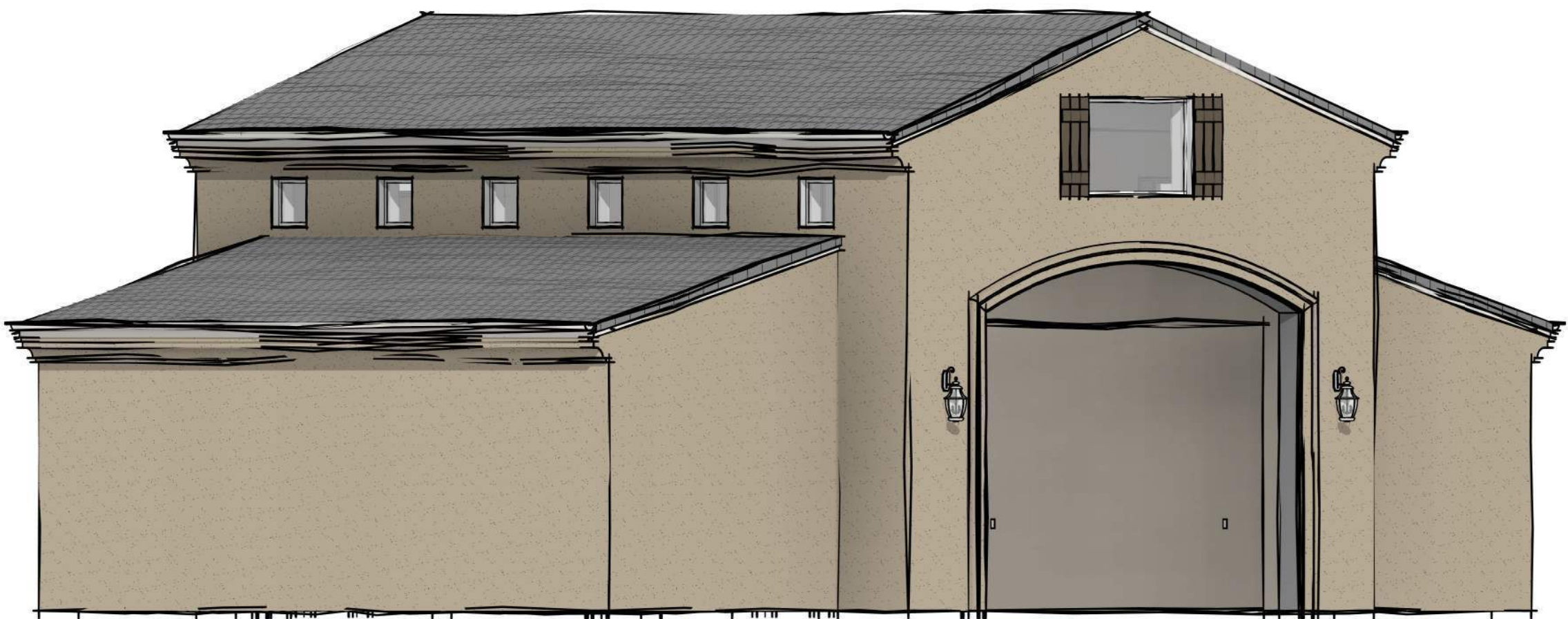
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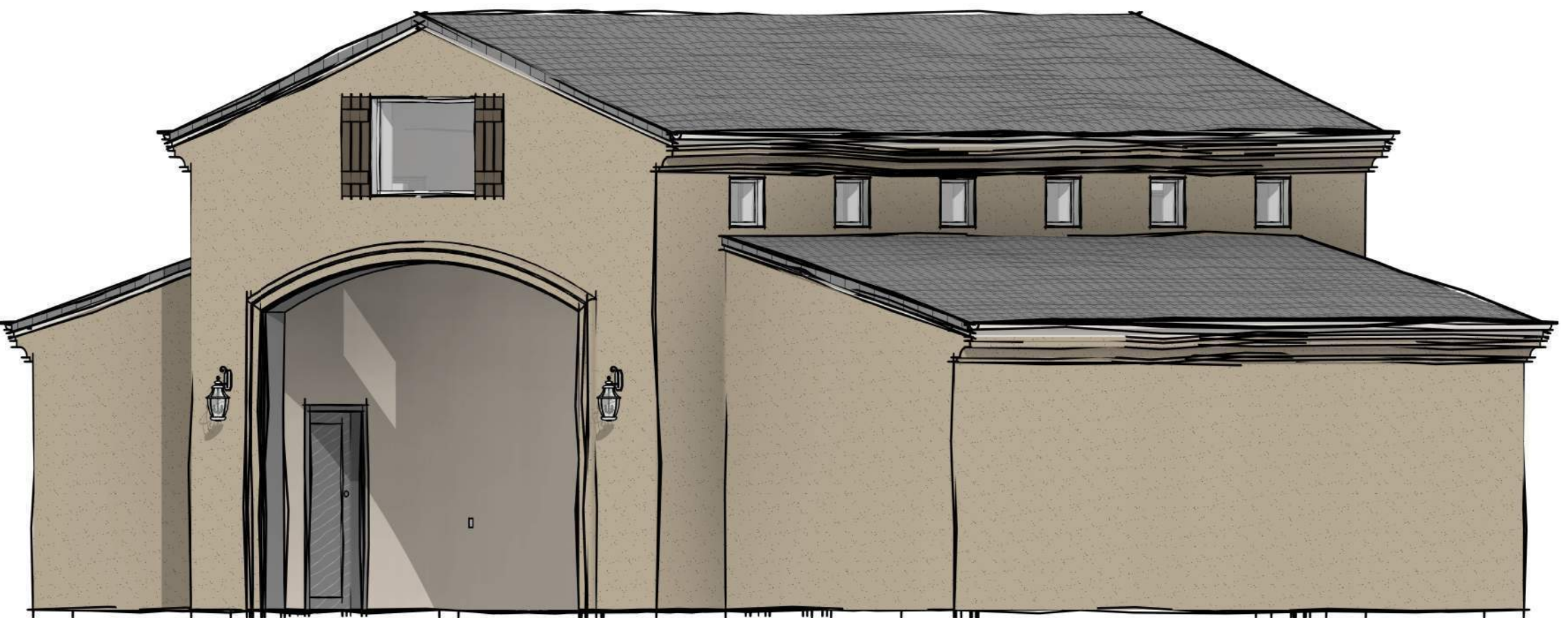
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VIEW 3

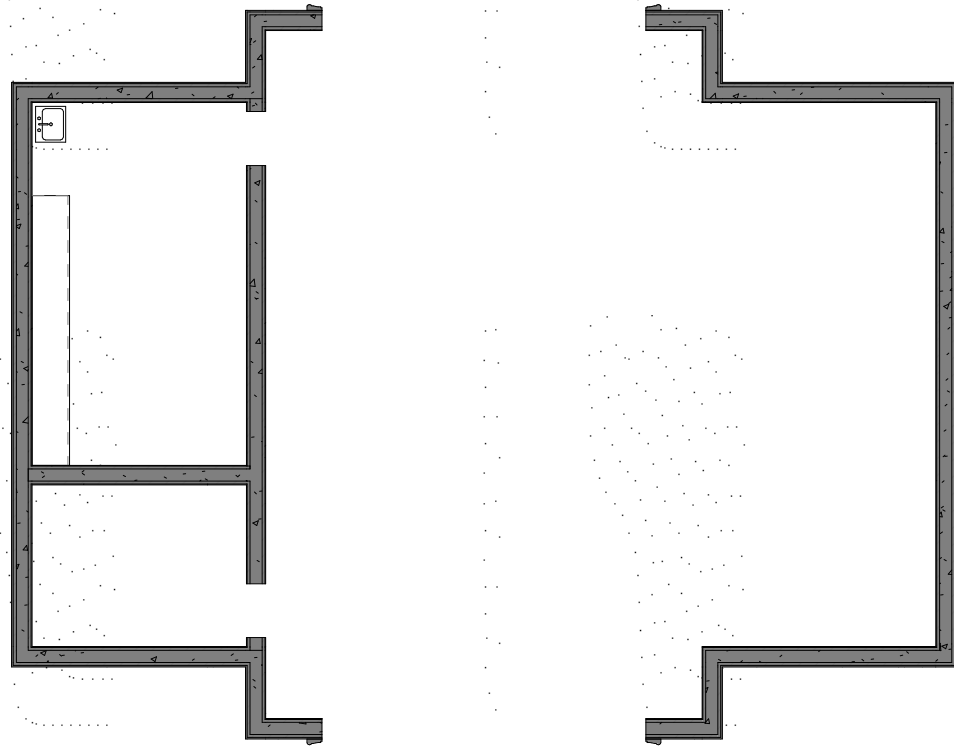
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VIEW 1

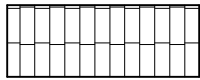
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VIEW 4



VIEW 3

LEGEND: ELEVATIONS EXTERIOR



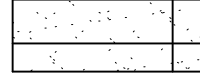
ROOFING: CLAY TILE ROOFING OVER 2 LAYERS 30 LB FELT AND PLYWOOD SHEATHING. TYP. COLOR AND STYLE TO MATCH EXISTING RESIDENCE.



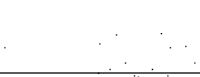
ROOF FASCIA GUTTER: 5" HIGH X 4" DEEP X26 GA METAL FASCIA GUTTER PAINT 3-COAT. COLOR AND STYLE TO MATCH EXISTING RESIDENCE.



EXTERIOR CEMENT PLASTER: 7/8" THICK 3-COAT CEMENT PLASTER WITH ROUGH FINISH OVER TWO LAYERS OF GRADE D PAPER AND PLYWOOD SHEATHING. PAINT 3-COAT AS SHOWN.



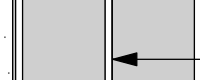
1/4" STUCCO EXPANSION JOINT



SCREED LINE: CEMENT PLASTER SCREED LINE SHALL BE PLACED PARALLEL WITH AND 6" ABOVE FINISH GRADE LINE (NOT STEPPED).



WINDOWS: MAKE/MODEL - AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.



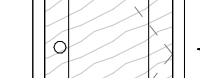
FRAME: BLACK VINYL TO MATCH EXISTING



2X4 TRIM & SHUTTERS (WHERE OCCURS): N/A



DOORS: MAKE/MODEL - AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.



2X4 TRIM (WHERE OCCURS): N/A

ADDITIONAL ELEVATION NOTES:

Brown Blend



ROOF TILES  
BORAL TILE: BROWN BLEND OR EQ

CHECK 10402-0000 / F&B 0.251 / 4mm 5.087 / 5/16" 20

SW 7519

MEXICAN SAND

PAINT:  
SHERWIN WILLIAMS:  
MEXICAN SAND OR EQ  
SW-7519  
LRV:33

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WINE STORAGE & PROCESSING FOR:

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3180 PASEO VISTA AVE,

SAN MARTIN, CA 95046

TITLE:  
PERSPECTIVE VIEWS

ISSUES:  
Project Issue Date:  
Project Status:  
Sheet Issue Date:  
Revision Number:  
Revision Date:

08/12/20

ARCHITECT'S APPROVAL



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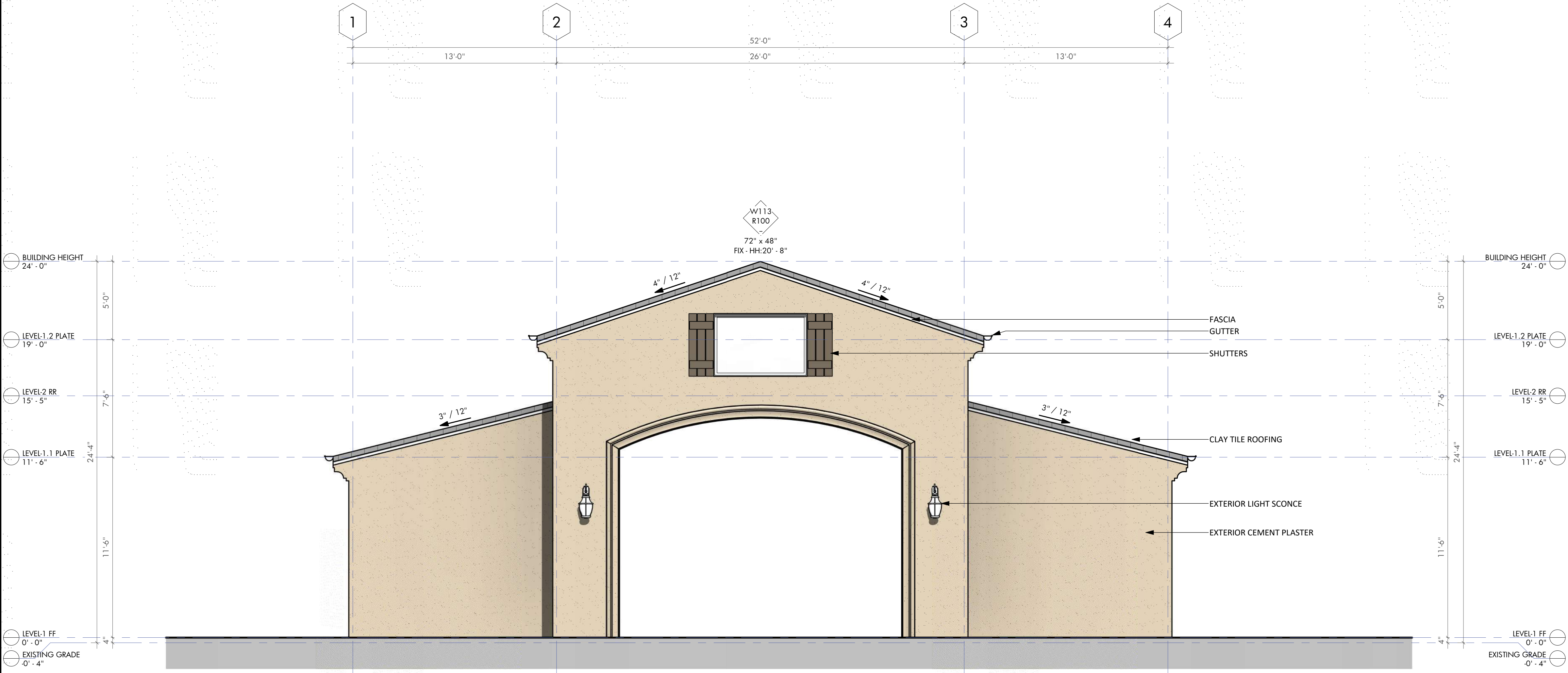
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A5.00

SHEET: OF SHEETS

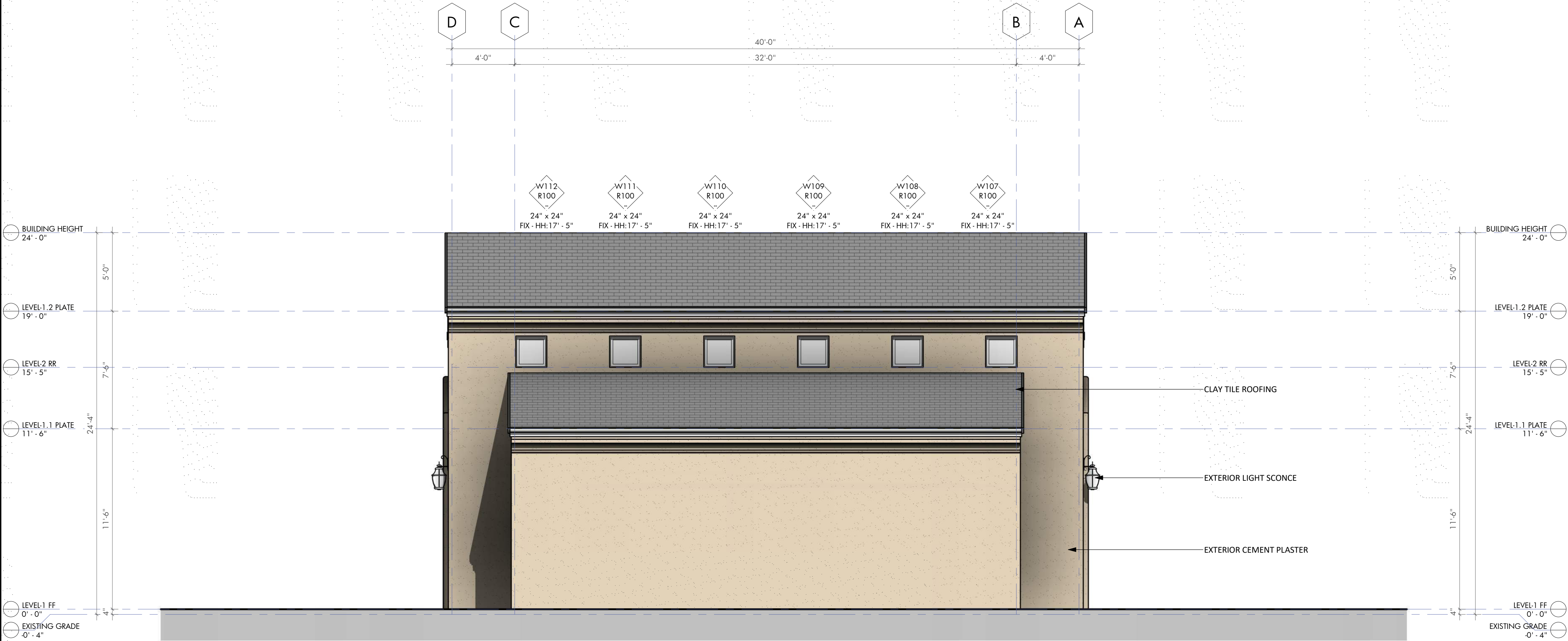


THE CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK.



(N) NORTH FACING  
1/4" = 1'-0"

1



(N) WEST FACING  
1/4" = 1'-0"

2

#### LEGEND: ELEVATIONS EXTERIOR



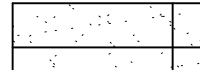
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1/4" STUCCO EXPANSION JOINT



SCREED LINE: CEMENT PLASTER SCREED LINE SHALL BE PLACED PARALLEL WITH AND 6" ABOVE FINISH GRADE LINE (NOT STEPPED).



WINDOWS: MAKE/MODEL - AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.



FRAME: BLACK VINYL TO MATCH EXISTING



2X4 TRIM & SHUTTERS (WHERE OCCURS): N/A



DOORS: MAKE/MODEL - AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.



2X4 TRIM (WHERE OCCURS): N/A

#### ADDITIONAL ELEVATION NOTES:



ROOF TILES: BROWN BLEND OR EQ



PAINT: SHERWIN WILLIAMS: MEXICAN SAND OR EQ SW-7519 LRV-33

GRAPHIA  
ARCHITECTURE  
& ENGINEERING

100 GATEWAY DRIVE, SUITE 120  
LINCOLN, CA 95648  
(916) 209-9890  
Design@GRAPHIA.com  
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PROJECT: 20200619

CLIENT: MOOSE MOUNTAIN VINEYARDS  
3210 PASEO VISTA AVENUE,  
SAN MARTIN, CA 95046  
Tel: 408-607-7777  
Email: RICH@MOOSEMOUNTAINVINEYARDS.COM

WINE STORAGE & PROCESSING FOR:  
**MOOSE MOUNTAIN VINEYARDS**  
3180 PASEO VISTA AVE,  
SAN MARTIN, CA 95046

TITLE: ELEVATIONS  
ISSUES:  
Project Issue Date:  
Project Status:  
Sheet Issue Date: 09/16/14  
Revision Number:  
Revision Date:

ARCHITECT'S APPROVAL



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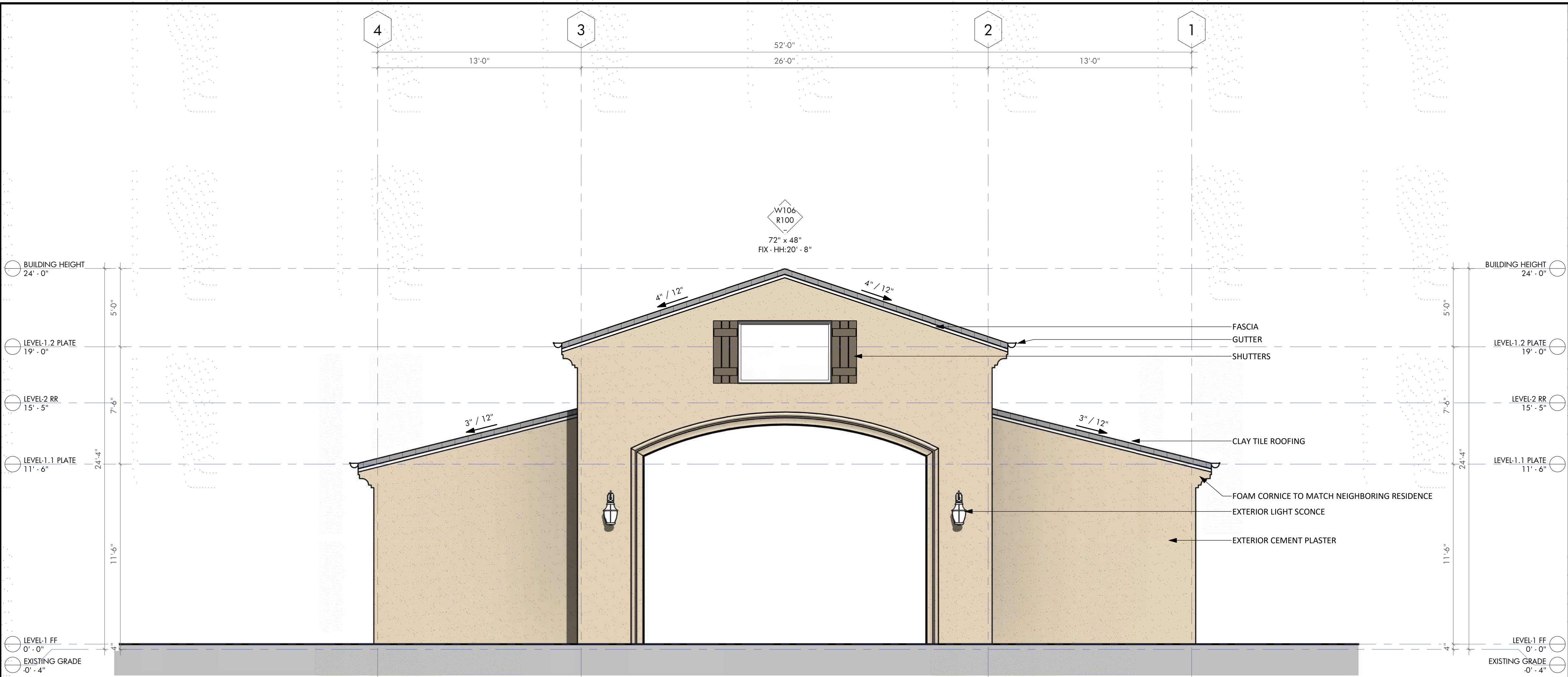
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SHEET: OF SHEETS

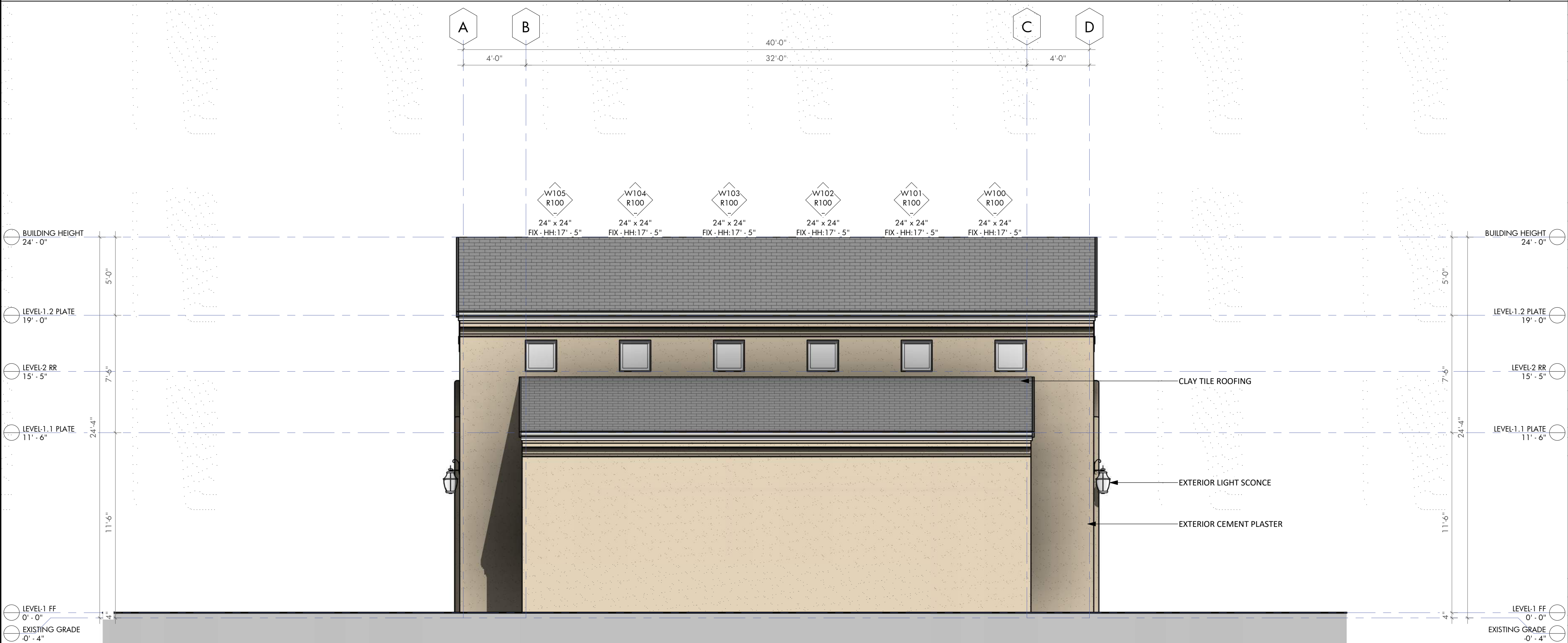


THE CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK.



(N) SOUTH FACING  
1/4" = 1'-0"

2



(N) EAST FACING  
1/4" = 1'-0"

1

#### LEGEND: ELEVATIONS EXTERIOR



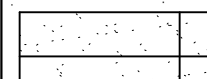
ROOFING: CLAY TILE ROOFING OVER 2-LAYERS 30 LB FELT AND PLYWOOD SHEATHING. TYP. COLOR AND STYLE TO MATCH EXISTING RESIDENCE.



ROOF FASCIA GUTTER: 5" HIGH X 4" DEEP X26 GA METAL FASCIA. GUTTER PAINT 3-COAT. COLOR AND STYLE TO MATCH EXISTING RESIDENCE.



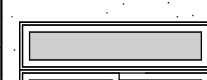
EXTERIOR CEMENT PLASTER: 7/8" THICK 3-COAT CEMENT PLASTER WITH ROUGH FINISH OVER TWO LAYERS OF GRADE D PAPER AND PLYWOOD SHEATHING. PAINT 3-COAT AS SHOWN.



1/4" STUCCO EXPANSION JOINT



SCREED LINE: CEMENT PLASTER SCREED LINE SHALL BE PLACED PARALLEL WITH AND 6" ABOVE FINISH GRADE LINE (NOT STEPPED).



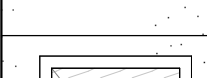
WINDOWS: MAKE/MODEL - AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.



FRAME: BLACK VINYL TO MATCH EXISTING



2X4 TRIM & SHUTTERS (WHERE OCCURS): N/A



DOORS: MAKE/MODEL - AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.



2X4 TRIM (WHERE OCCURS): N/A

#### ADDITIONAL ELEVATION NOTES:



ROOF TILES  
BORAL TILE: BROWN BLEND OR EQ



PAINT:  
SHERWIN WILLIAMS:  
MEXICAN SAND OR EQ  
SW-7519  
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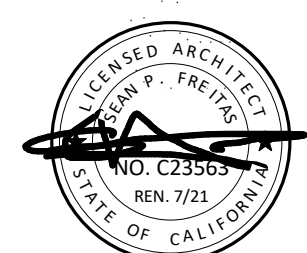
Sheet Issue Date:

Revision Number:

Revision Date:

07/19/19

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#### SHEET:

A5.12

SHEET: OF SHEETS