

W.U.I. NOTES

W.U.I. Fire Resistive Construction Requirements for Residential Projects Based on the 2016 CRC & 2016 CBC.

Roofing Assemblies
Roofing assemblies shall be designed to prevent the intrusion of flames and embers between the roof covering and the roof decking.
Roof valley flashing shall be made of not less than 26-gage galvanized sheet metal installed over a minimum 36" wide underlayment of one layer of 72# cap sheet running the full length of the valley.
Roof gutters shall be designed to prevent the accumulation of leaves and debris in the

Attic Ventilation
Roof and attic vents shall be designed to resist the intrusion of flames and embers into the attic of a structure, and shall be protected with corrosion-resistant, noncombustible wire mesh with mesh opening of 1/16" minimum and 1/8" maximum.
Eave and cornice vents shall be designed to resist the intrusion of flames and burning embers into the attic of a structure, and shall be approved by the State Fire Marshal. Eave vents located 12 feet above grade shall be protected with noncombustible wire mesh with mesh opening of 1/16" minimum and 1/8" maximum.
Eave protection - Eaves and soffits shall be protected by ignition-resistant materials or noncombustible construction on the exposed underside.

Exterior Walls
Exterior walls shall be designed using ignition-resistant materials, noncombustible construction, heavy timber, log wall construction, or equivalent, or installed with one layer of 5/8" Type X gypsum bd. on the exposed side of the framing under any type of wall covering or, have the exposed side covered by the exterior portion of a one-hour fire resistive exterior wall assembly as found in the Gypsum Association Fire Resistance Design Manual.

Open roof eaves, enclosed roof eaves and roof eave soffits, the exposed underside of exterior porch ceilings and floor projections shall comply with one of the following:
covered with noncombustible or ignition resistant materials or one layer of 5/8" Type X gypsum board sheathing applied behind an exterior covering on the underside of the floor projection, or have the exposed side covered by the exterior portion of a one-hour resistive exterior wall assembly as found in the Gypsum Association Fire Resistance Design Manual.

Exterior wall coverings shall extend from the top of the foundation to the roof, and terminate at 2" nominal solid wood blocking between the rafters at all roof overhangs, or terminate at an eave enclosure.

Exterior wall vents shall be designed to resist the intrusion of flame and embers into the structure, or shall be protected with a corrosion-resistant, noncombustible wire mesh with mesh openings of 1/16" minimum and 1/8" maximum.

Floor Projections
The exposed underside of a cantilevered floor projection where a floor assembly extends over an exterior wall shall be protected by a noncombustible material ignition resistant material, one layer of 5/8" type 'X' gypsum sheathing applied behind an exterior covering on the underside of the floor projection, or the exterior portion of a 1-hour fire resistive exterior wall assembly applied to the underside of the floor projection including assemblies using the gypsum panel sheathing products listed in the Gypsum Association Fire Resistance Design Manual, or The underside of a floor projection assembly that meets the performance criteria in accordance with the test procedures set forth in either of the following: SFM Standard 12-7A-3 or ASTM E2957.

Underfloor protection
The underfloor area of elevated or overhanging buildings shall be enclosed to grade in accordance with the requirements of the CRC section R337 or the underside of the exposed underfloor shall consist of one of the following:
noncombustible material, ignition resistant material, one layer of 5/8" type 'X' gypsum sheathing applied behind an exterior covering on the underside of the floor projection, the exterior portion of a 1-hour fire resistive exterior wall assembly applied to the underside of the floor including assemblies using the Gypsum Association Fire Resistance Design Manual, or the underside of a floor assembly that meets the performance criteria in accordance with the test procedures set forth in the following: SFM Standard 12-7A-3 or ASTM E2957.

Underfloor and appendages protection
The underside of elevated or overhanging buildings and floor projections shall be enclosed to grade or the underside shall be covered with ignition resistant or non-combustible materials or one layer of 5/8" type X gypsum sheathing applied behind an exterior covering on the underside of the floor projection or shall have the exposed underside covered by a one-hour resistive exterior wall assembly as listed in the Gypsum Association Fire Resistance Design Manual.

Exterior Windows and Doors
Exterior windows, including skylights, and glazed door assemblies shall have a 20 minute fire-resistant rated, or be designed using insulating-glass units with a minimum of one tempered pane, or glass block units, any window listed on the OSFM website
Note that window sash, stile, and frames may be of wood, aluminum, vinyl, or fiberglass material.

Exterior door surface or cladding shall be ignition resistant or non-combustible material or 20 minute fire-resistant rated or be constructed of solid-core wood having stiles and rails not less than 1-3/8" thick, and field panels not less than 1-1/4" thick or any doo listed on the OSFM website
Exterior vehicle access doors shall be non-combustible or exterior fire-retardant treated wood.
Exterior vehicle access doors shall be non-combustible or exterior fire-retardant treated wood.

Weather stripping, exterior garage doors shall be provided with weather stripping to resist the intrusion of embers from entering through gaps between doors and door openings when visible gaps exceed 1/8 inch (3.2mm). Weather stripping or seals shall be installed on the bottom, sides, and tops of doors to reduce gaps between doors and door openings to 1/8 inch or less.

Decking
The walking surface of decks, balconies, porches, and stairs within 10 feet of a building that is required to be WUI compliant shall be of the following materials:
Solid wood decking (redwood or cedar 5/4" thick nominal 6" wide) over 2x6 DF minimum joists spaced 24" or less on center or any decking material listed on the OSFM website. (<http://www.osfm.fire.ca.gov/structfireengineer/pdf/html/wui/products.pdf>)
guardrails, handrails, and structural members need not comply WUI requirements.

Accessory buildings and structures
Attached accessory structures such as trellises, arbors, patio covers, carports, and gazebos or similar structures attached to applicable buildings are required to be constructed of fire-resistant material.

Note:
The use of paints, coatings, stains or other surface treatments are not an approved method of protection.

Prior to building permit final approval, the property shall be in compliance with the vegetation management requirements prescribed in the California Fire Code section 4906, including California Public Resources Code 4291 or California Government Code 51182. See CRC R337.1.5

GEN. CONSTRUCTION NOTES

ANY VARIATION FROM THE SPECIFIED DESIGN, FINISH PRODUCTS OR EXTERIOR ELEVATION STYLE IS TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO CONSTRUCTION.

ANY DISCREPANCY DISCOVERED ON THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL WORK TO BE IN CONFORMANCE WITH
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA HISTORICAL BUILDING CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA EXISTING BUILDING CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
2019 CALIFORNIA REFERENCED STANDARDS CODE
2019 CALIFORNIA ELECTRICAL CODE
AS WELL AS THE STATE AND LOCAL CODES.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.

VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BIDDING.

SLOPE ALL FINISH GRADES A MIN. OF 5% FOR POSITIVE DRAINAGE @ LANDSCAPED AREAS & SLOPE GRADE 2% PAVED AREAS.

THE BUILDER SHALL PROVIDE THE BUILDING OWNER, MANAGER, AND THE ORIGINAL OCCUPANTS A LIST OF THE ENERGY-SAVING CONSERVATION FEATURES DEVICES, MATERIALS, AND COMPONENTS INSTALLED IN THE BUILDING, AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. SUCH FEATURES INCLUDE HEATING, COOLING, WATER HEATING AND LIGHTING SYSTEMS, AS WELL AS INSULATION, WEATHERSTRIPPING WINDOW SHADES, AND THERMAL MASS MATERIALS. THE INSTRUCTIONS SHALL BE CONSISTANT WITH SPECIFICATIONS SET FORTH BY THE EXECUTIVE DIRECTOR

ALL WORK, APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.C. TITLE 24 RESIDENTIAL ENERGY STANDARDS.

SEE SHEET T24 FOR ADDITIONAL ENERGY COMPLIANCE NOTES.

FIRE PROTECTION WATER:
FIRE PROTECTION WATER SYSTEM SHALL BE INSTALLED, FUNCTIONING AND INSPECTED PRIOR TO APPROVAL OF THE FOUNDATION. SYSTEM SHALL BE MAINTAINED IN GOOD WORKING ORDER AND ACCESSIBLE THROUGHOUT CONSTRUCTION. A STOP WORK ORDER MAY BE PLACED ON THE PROJECT IF THE REQUIRED HYDRANT SYSTEMS ARE NOT INSTALLED, ACCESSIBLE, AND/OR FUNCTIONING.

FIRE SPRINKLER SYSTEM:
AN APPROVED FIRE SPRINKLER SYSTEM COMPLYING WITH FIRE MARSHAL STANDARD NFPA 13 SHALL BE INSTALLED THROUGHOUT THE STRUCTURE. A FIRE PUMP MEETING NFPA 20 WILL BE REQUIRED IF DEMANDS CAN NOT BE MET WITHOUT A PUMP.

THE FIRE HYDRANT INSTALLED SHALL BE A STANDARD FIRE HYDRANT LOCATED NO CLOSER THAN 40 FEET AND NO FURTHER THAN 400 FEET FROM THE STRUCTURE. THE FIRE HYDRANT SHALL MEET NFPA 24 STANDARDS.

THE FIRE SPRINKLER SYSTEM SHALL BE INSTALLED AND FINALED BY THE COUNTY OF SANTA CLARA FIRE DEPARTMENT PRIOR TO OCCUPANCY. A SEPARATE PERMIT SHALL BE OBTAINED FROM THE COUNTY OF SANTA CLARA FIRE DEPARTMENT BY A STATE LICENSED C-16 CONTRACTOR PRIOR TO INSTALLATION. PLEASE ALLOW FOR A MINIMUM OF 30 DAYS FOR PLAN REVIEW OF FIRE SPRINKLER PLANS BY THE COUNTY OF SANTA CLARA FIRE DEPARTMENT.

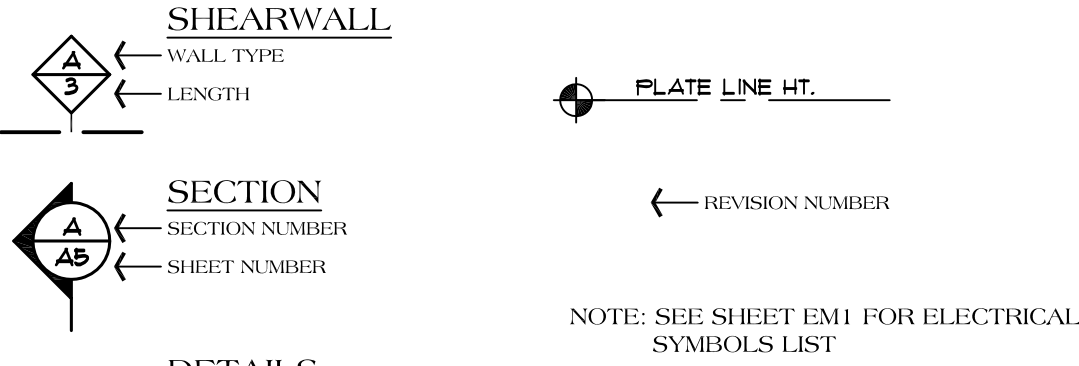
MAINTENANCE:
FIRE PROTECTION WATER SYSTEMS AND EQUIPMENT SHALL BE ACCESSIBLE AND MAINTAINED IN OPERABLE CONDITION AT ALL TIMES, AND SHALL BE REPLACED OR REPAIRED WHERE DEFECTIVE. FIRE PROTECTION WATER SHALL BE MADE AVAILABLE TO THE FIRE DEPT.

FIRE DEPT. ACCESS ROADS, DRIVEWAYS, TURNOUTS, & TURNAROUNDS SHALL BE MAINTAINED FREE & CLEAR & ACCESSIBLE AT ALL TIMES FOR FIRE DEPT. USE. GATES SHALL BE MAINTAINED IN GOOD WORKING ORDER, & SHALL REMAIN IN COMPLIANCE WITH FIRE MARSHAL STANDARD CFMO-A3 AT ALL TIMES.

GATES: GATES SHALL NOT OBSTRUCT THE REQUIRED WIDTH OR VERTICAL CLEARANCE OF THE DRIVEWAY & MAY REQUIRE A FIRE DEPARTMENT LOCK BOX/GATE SWITCH TO ALLOW FOR FIRE DEPARTMENT ACCESS. INSTALLATION SHALL COMPLY WITH CFMO-A3.

W.U.I.: THIS PROJECT IS LOCATED IN THE WILDLAND/URBAN INTERFACE FIRE AREA. COMPLIANCE WITH W.U.I. REGULATIONS IS REQUIRED. A 100 FOOT DEFENSIBLE SPACE WILL BE REQUIRED AT ALL TIMES.

SYMBOLS



CONSULTANTS

Geotechnical Report

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Project No. F064.G
Dated: April 29, 2020

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DRAWING INDEX

T1 Title Sheet

Civil Drawings:

- 1 Cover Sheet & County Notes
- 2 Overall Site Plan
- 3 Preliminary Grading and Drainage Plan
- 4 Preliminary Grading and Drainage Plan Sections, Details, and Notes
- 5 Driveway Sections
- 6 Erosion Control Plan
- BMP-1 Best Management Practices
- BMP-2 Best Management Practices

Design Drawings:

- A2.1 Main Level Floor Plan
- A2.2 Lower Level Floor Plan
- A3.1 Exterior Elevations
- A3.2 Exterior Elevations
- A4.1 Building Cross Sections
- A4.2 Building Cross Sections
- A5 Roof Plan
- A6 Floor Area Diagram

SCOPE OF WORK

CONSTRUCT A NEW 4,312 SQUARE FOOT SINGLE FAMILY RESIDENCE WITH A 981 SQUARE FOOT GARAGE/GYM, 920 SQUARE FOOT UN-CONDITIONED BASEMENT, AND A 226 SQUARE FOOT CELLAR.

PROJECT DATA

OWNER:

Doug and Heather Hayden
710 Colleen Drive
San Jose, California 95123
(408) 896-3456

LOT DATA:

APN: 742-02-006
Zoning: HS-SR-H1
Lot Size: 25.386 Acres (Gross)
Lot: Cinnabar Hills Road
San Jose, California
County of Santa Clara

Occupancy Group: R3/U
Type of Construction: VB

House Data:

3,535 sq. ft. Main Level
447 sq. ft. Guest Suite
3,982 sq. ft. Total Living Area
93 sq. ft. Observation Tower
939 sq. ft. Garage/Gym
1,339 sq. ft. Unconditioned Storage
6,419 sq. ft. Gross Floor Area
1,341 sq. ft. Rear Terraces
470 sq. ft. Lower Patio
452 sq. ft. Observation Deck
2,263 sq. ft. Total Terraces & Decks

NO./ DATE/ REVISION

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED. ANY REUSE OF THESE PLANS FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGN ASSOCIATES, INC. IS PROHIBITED. ANY REUSE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGN ASSOCIATES, INC. ANY REUSE OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ASSOCIATES, INC. PRIOR TO COMMENCEMENT OF THE PROJECT. THE DESIGN ASSOCIATES, INC. SHALL HAVE THE PRECEDENCE OVER SCALED DIMENSIONS.



DRAWING TITLE	Title Sheet
JOB TITLE	Hayden Residence
JOB ADDRESS	Cinnabar Hills Road San Jose, California

DATE	NOV. 19, 2020
SCALE	N/A
PROJECT MANAGER	M. DAVIS
DRAWN	GZ
JOB NO.	DZ3319
SHEET	

T1

San Jose, California

Custom Home

Cinnabar Hills Road

General Construction Specifications

1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY QUANTUM GEOTECHNICAL, INC. PROJECT NO. F064.G AND DATED APRIL 29TH, 2020 THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.
2. DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND THE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
3. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
4. DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER PLANT AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
5. DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA.
6. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
7. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
8. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
9. UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION 18-18)
10. THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
11. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL BE 2.0 FEET FROM ROW. FOR ALL OTHER STAKES, THE LATERAL OFFSET SHALL BE ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR. PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK. PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

2. IN ACCORDANCE WITH THE CALIFORNIA PROFESSIONAL LAND SURVEYORS' ACT (BUSINESS AND PROFESSIONS CODE) CHAPTER 15 SECTIONS 8771 AND 8725.1, CALIFORNIA PENAL CODE 605, AND CALIFORNIA GOVERNMENT CODE 27581, ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING ROADWAY/STREET MONUMENT, PROPERTY CORNER, OR ANY OTHER PERMANENT SURVEYED MONUMENT AND/OR AS SHOWN ON THIS TENTATIVE MAP SHALL ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR OFFICE PRIOR TO DISTURBING SAID MONUMENTS. ALL DISTURBED OR DESTROYED MONUMENTS SHALL BE RESET AND FILED IN COMPLIANCE WITH SECTION 8771.

1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
2. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
3. INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-4868 FOR INSPECTION WORK AND AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
4. DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
5. THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR COMMENCEMENT OF THE BUILDING FOUNDATION.

1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:

- A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
- B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.

CONTRACTOR SHALL NOTIFY UTA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.

ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.

ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE, UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY. GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.

TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL COMPOSE OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.

TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90% THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.

BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.
2. SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IT SHALL BE STRIPPED OF ALL VEGETATION TO ACHIEVE A 12" MINIMUM BOND WITH THE FILL MATERIAL. THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEPT IN PLACE TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL, THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFT NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. WHEN COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION. EITHER BY ADDING OR REMOVING WATER TO OBTAIN (2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
2. EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE.
3. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
4. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS.
5. THE SLOADER OR SKID STEER WHEEL ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
6. MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE.
EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.

7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
8. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
9. THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%
10. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
11. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.
12. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.
13. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.
14. TOTAL DISTURBED AREA FOR THE PROJECT 38,669 SF.
15. WDD NO. _____
16. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
 - A. FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRUPLINE OF THE TREE OR GROVE OF TREES.
 - B. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.
 - C. FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
 - D. SIGNAGE STATING, "WARNING- THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT <http://www.sccplanning.gov>" SHALL BE PLACED ON THE TREE PROTECTIVE FENCING USING FINAL COPY OF THE TREE PROTECTION PLAN.
2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACED AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
3. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
4. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST) TO THE COUNTY TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
5. ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC.

1. PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

2. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
3. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
4. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
5. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
6. SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ON ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
7. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
8. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.
9. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
10. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
 - A. 15 MILES PER HOUR (MPH) SPEED LIMIT
 - B. 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
 - C. TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAINT HOTLINE OF 1-800-334-6367.
11. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
12. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUIV). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
13. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDB.
14. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. EROSION DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
15. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEEDDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
16. FERNMOUNT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
17. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.

17. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPs SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
- A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS.
 - B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
 - C. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.
19. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE AND SITUATIONALLY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAG012008 / ORDER NO. R2-2009-0047 AND NPDES PERMIT CAG012008 / ORDER NO. 2013-0001.
2. DRAIN INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DRAIN INLETS, WHERE STREET PROFILE GRADE EXCEEDS 6% DRAIN INLETS SHALL BE SET AT 500' ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
3. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW.
4. PROTECTION OF EXISTING DRAINAGE DITCHES AND PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
5. THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (___ WERE) (___ WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (*). THERE (___ WERE) (___ WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL Δ.

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.



1. THE LANDOWNER/CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES.
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY.
3. THE LANDOWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD OR RECORD OF SURVEY IS FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS AND RE-ESTABLISHING PERMANENT MONUMENTS TO PERPETUATE THE LOCATION OF ANY PERMANENT MONUMENTS THAT ARE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBSCURED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.



1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
4. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT-OF-WAY WITHOUT AN ENCROACHMENT PERMIT, INCLUDING THE STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.

REGISTERED PROFESSIONAL ENGINEER
AMANDA JOY MUSY-VERDE
NO. 69278
EXP. 6-30-
CIVIL
STATE OF CALIFORNIA

AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE _____ CHRISTOPHER L. FREITAS
R.C.E. NO. 42107
EXPIRES 3/31/



1. THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE EROSION CONTROL PLAN. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE DESIGN OF THE EROSION CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSION CONTROL PLANS TO PREVENT ILLICIT DISCHARGES FROM THE SITE DURING CONSTRUCTION.

2. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND CERTIFIED ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGICAL REPORTS SHALL BE SUBMITTED PRIOR TO GRADING COMPLETION AND RELEASE OF BOND.
3. CLEAR & GRUB DRIVEWAY AND BUILDING SITE
4. CONSTRUCT DRIVEWAY AND BUILDING PAD
5. INSTALL STORM DRAIN SYSTEM
6. CONSTRUCT DRIVEWAY APPROACH
7. CONSTRUCT DETENTION PONDS
8. INSTALL WATER TANKS AND PAD
9. REMOVE EXISTING TREES (PER PLAN OR AS DIRECTED BY ARBORIST)

1. INSTALL SEPTIC SYSTEM
2. CONSTRUCT RETAINING WALL

1	COVER SHEET
2	OVERALL SITE PLAN
3-4	PRELIMINARY GRADING & DRAINAGE PLAN
4.5	STORM CHAMBER DETAILS
5	DETAILS, NOTES, ABBREVIATIONS & LEGEND
6	DRIVEWAY SECTIONS
7	EROSION CONTROL PLAN
BMP1&2	BEST MANAGEMENT PRACTICES

ENGINEER'S NAME: HANNA & BRUNETTI

ADDRESS: 7651 EIGLEBERRY STREET, GILROY CA 95020

PHONE NO. 408 842-2173

FAX NO. 408 842-3662

PRELIMINARY IMPROVEMENT PLANS

FOR THE
HOME GRADING AND DRAINAGE
ON THE LANDS OF HAYDEN
CINNABAR HILLS ROAD, SAN JOSE

A PORTION OF SAN VICENTE RANCHO
PER DOCUMENT NO. 24173859
SANTA CLARA COUNTY, CALIFORNIA
A.P.N.: 742-02-006

DECEMBER 2020			NO SCALE
Revision 1	Date	APN	Sheet
Revision 2	Date	742-02-006	1
Revision 3	Date	Co. File	of
		X	9

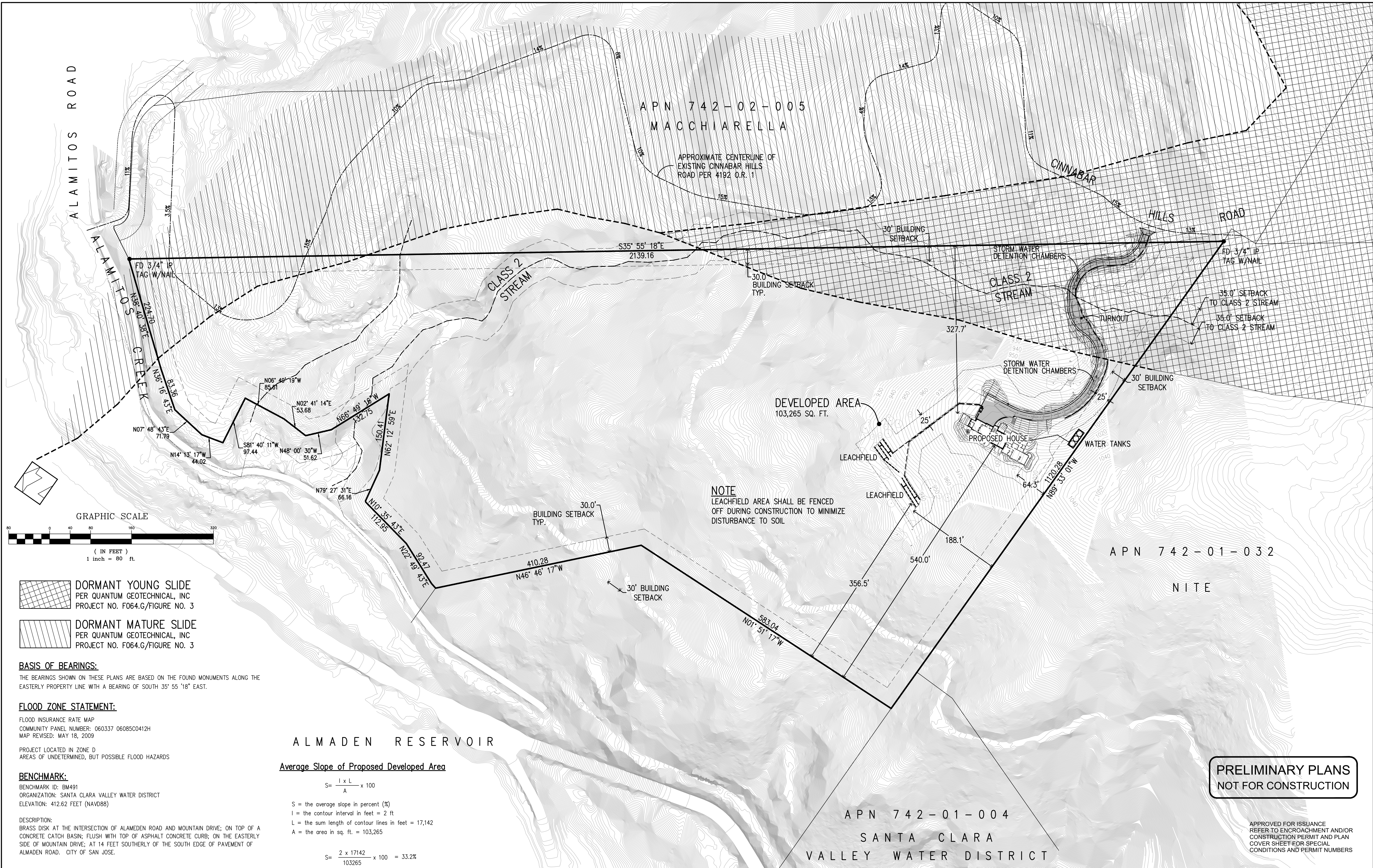
JOB NO. 19039

APPLICANT: HAYDEN

ROAD: CINNABAR HILLS ROAD

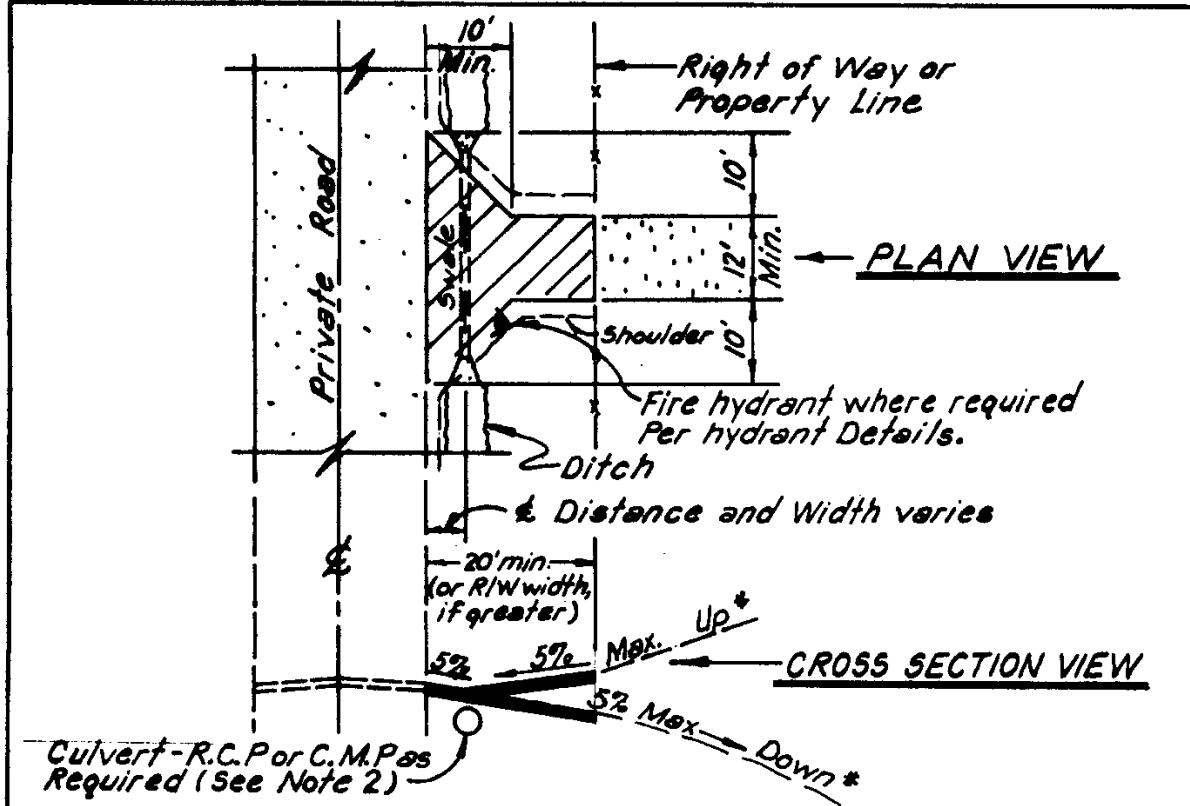
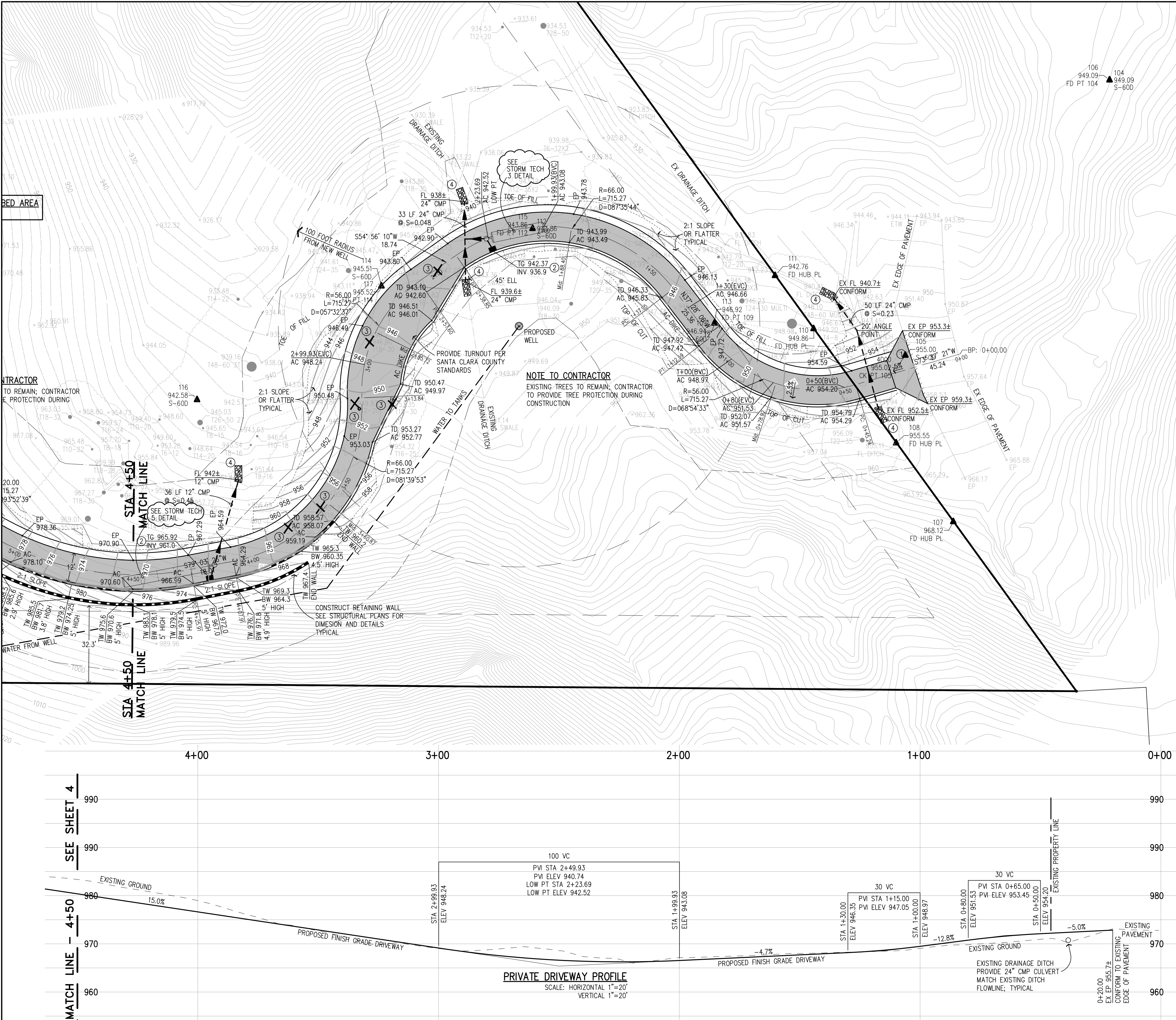
COUNTY FILE NO.:

PLAN # _____
SHEET _____ OF _____



REVISIONS: DATE DESCRIPTION BY:			DATE: <u>DECEMBER 2010</u> HORIZ. SCALE: <u>1"=60'</u> VERT. SCALE: <u>NONE</u> DESIGNED BY: <u>AM</u> CHECKED BY: _____ DRAWN BY: <u>TM</u>		date: _____ 20 Hanna - Brunetti Amanda Joy Musy-Verdel R.C.E. # 69278 expires: 6/30/		REFERENCES UNINCORPORATED DECEMBER 2020		SITE CONSTRAINTS MAP Lands of Hayden - Cinnabar Hills Road - apn 742-02-006 SANTA CLARA COUNTY CALIFORNIA				SHEET 2 OF 9 JOB NO. 19039	
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THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR PART, IS PROHIBITED. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



DRIVEWAY APPROACH
Connection to Private Road

NOTES

- Culvert plus swale shall accommodate maximum flow. Minimum culvert size to be 12" Culvert shall extend 1' beyond each toe of shoulder. Provide headwalls and/or rip-rap as required. C.M.P. to be not less than 14 gauge.
- Culvert may be omitted where no roadside ditch exists with written approval of County Surveyor.
- Driveway approach base & paving to be same as or better than ultimate private road base & pavement.
- See Driveway section (this manual) for more information.

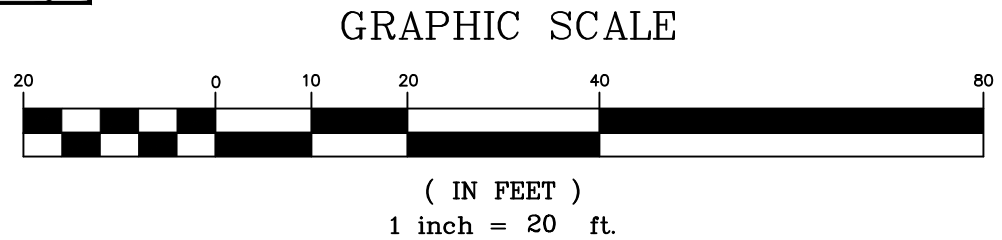
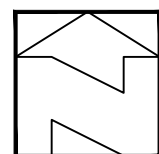
Approved: *[Signature]* Date: *[Date]*
Lands Dev., Engineering & Surveying

COUNTY OF SANTA CLARA
ENVIRONMENTAL MANAGEMENT /
GENERAL SERVICES AGENCY

DRIVEWAY APPROACH
(PRIVATE ROAD)

SD
4

- CONSTRUCTION NOTES:**
- CONSTRUCT DRIVEWAY APPROACH PER COUNTY STANDARD SD/4 CONFORM TO EXISTING EDGE OF PAVEMENT
 - FURNISH & INSTALL 2'x3' CATCH BASIN CHRISTY TYPE "U-SERIES" (U32) WITH TRAFFIC RATED GRATE; OR APPROVED EQUAL.
 - EXISTING TREE TO BE REMOVED
 - PROVIDE ROCK RIP-RAP AT BOTH END OF PIPE 3' WIDE x 6' LONG; 4-6 INCH MIN. DIA. ROCK SIZE 2 COURSES



PRELIMINARY PLANS
NOT FOR CONSTRUCTION

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS

REVISIONS:		
DATE	DESCRIPTION	BY:

HANNA-BRUNETTI
EST. 1980
CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 EAGLEBERRY STREET • GILROY • 95020 • CALIFORNIA
OFFICE (408) 842-2173 • FAX (408) 842-3682
EMAIL: ENGINEERING@HANNABRUNETTI.COM

DATE: DECEMBER 2020
HORIZ. SCALE: 1"=20'
VERT. SCALE: 1"=10'
DESIGNED BY: AM
CHECKED BY: TM
DRAWN BY: TM

date: 12/20/20
Hanna - Brunetti
Amanda Joy Musy-Verdel
R.C.E. # 69278
expires: 6/30/21
REGISTERED PROFESSIONAL ENGINEER
AMANDA JOY MUSY-VERDEL
NO. 69278
EXP. 6-30-21
CIVIL
STATE OF CALIFORNIA

REFERENCES

UNINCORPORATED
DECEMBER 2020

Preliminary Grading & Drainage Plan

Lands of Hayden - Cinnabar Hills Road - apn 742-02-006

SANTA CLARA COUNTY
CALIFORNIA

SHEET
3
OF 9
JOB NO.
19039

APPLICANT: HAYDEN

ROAD: CINNABAR HILLS ROAD

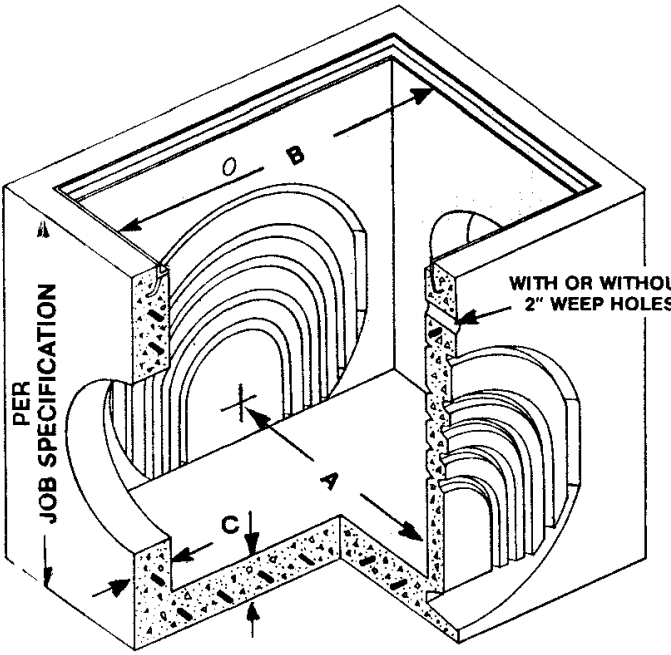
COUNTY FILE NO.:

JOB NO. 19039

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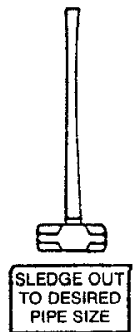
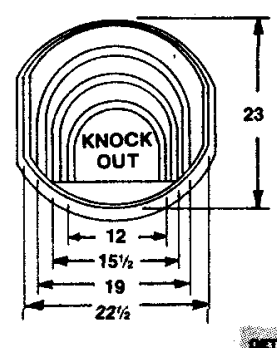
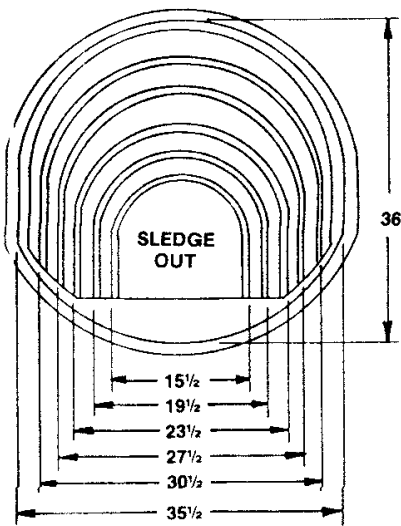
Christy

"U" Series Catch Basins



Product Number	Dimensions		
	A	B	C
U21	2'	2'	4"
U23	2'	2'	6"
U32	2'	3'	6"
U36	2'	4'	5"
U43	3'	3'	6"
U52	3'	4'	6"

"U" Series Catch Basins are specifically designed as a "heavy duty" standard for drainage installations. They provide the greater labor savings, quality and simplicity that standardization of pre-cast unit makes possible over pour-in-place installations. Standard grade rings are available in 6" increments up to 4' high. Customer specified top edge choices cast into box or grade ring.



PRECAST ADVANTAGES



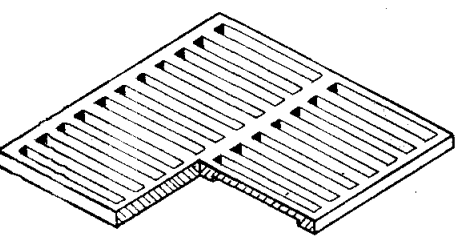
QUALITY PRECAST CONCRETE PRODUCTS

Cast Iron & Welded Steel Grates

For "U" Series Catch Basins

Christy

LIGHT DUTY CAST IRON

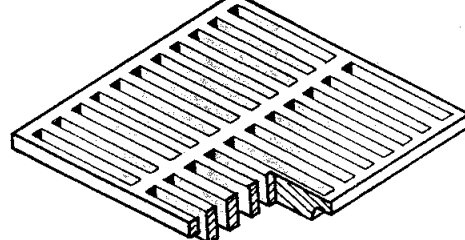


48% OPEN FLOW AREA

Catch Basin No.	Christy Ordering Code	I.D. Catch Basin	Approx. Wt. Per Set
U21	U21-71CLD	2' x 2'	125
U23	U23-71CLD	2' x 2'	125

Grate Size
U21 26 1/2" x 26 1/2"
U23 26 1/2" x 26 1/2"

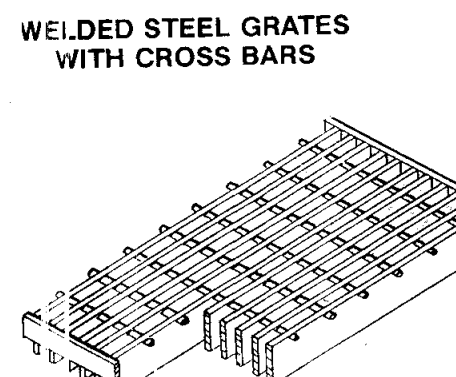
HEAVY DUTY CAST IRON



41% OPEN FLOW AREA

Catch Basin No.	Christy Ordering Code	I.D. Catch Basin	Approx. Wt. Per Set
U21	U21-71CHD	2' x 2'	230
U23	U23-71CHD	2' x 2'	230

Grate Size
U21 26 1/2" x 26 1/2"
U23 26 1/2" x 26 1/2"



WELDED STEEL GRATES WITH CROSS BARS

77% OPEN FLOW AREA

Catch Basin No.	Christy Ordering Code	I.D. Catch Basin	Approx. Wt. Per Set
U21	U21-71WHD	2' x 2'	165
U23	U23-71WHD	2' x 2'	165
U32	U32-71WHD	2' x 3'	195
U36	U36-71WHD	2' x 4'	270
U43	U43-71WHD	3' x 3'	295
U52	U52-72WHD	3' x 4'	390

Grate Size
U21 23 1/2" x 29"
U23 23 1/2" x 29"
U32 33 1/2" x 40"
U36 33 1/2" x 53"
U43 33 1/2" x 43"
U52 17 1/2" x 53"

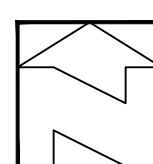
- Cast Iron & Welded Steel Grates for "U" Series Catch Basins to Meet Job Specifications.
- Individual City, County, District or State Requirement Information on Request.
- See Catch Basin Page for Frame Detail.

PRECAST ADVANTAGES



QUALITY PRECAST CONCRETE PRODUCTS

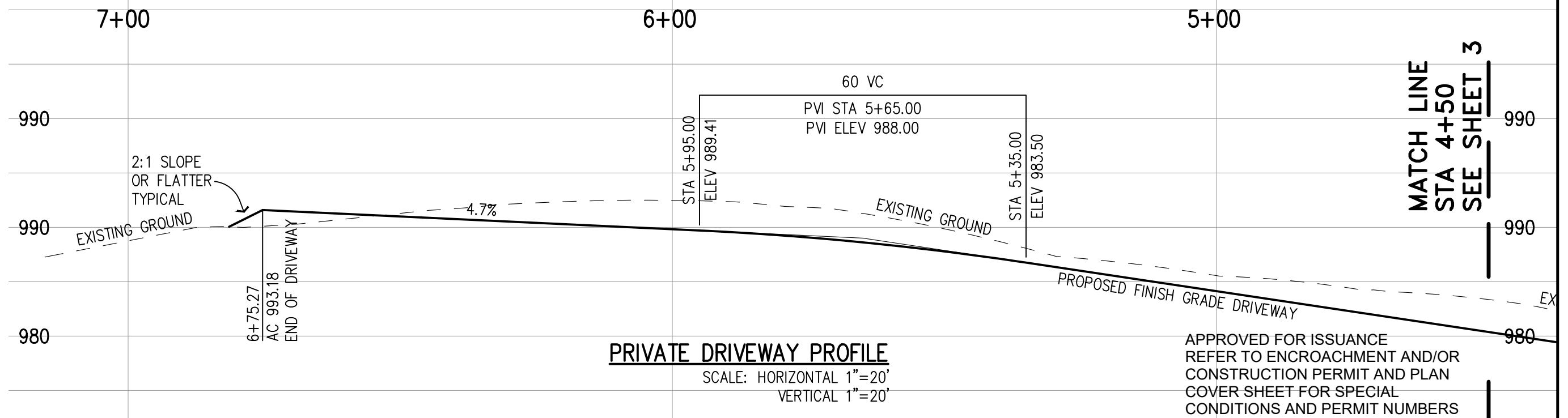
GRAPHIC SCALE



PRELIMINARY PLANS
NOT FOR CONSTRUCTION

CONSTRUCTION NOTES:

1. CONSTRUCT DRIVEWAY APPROACH PER COUNTY STANDARD SD/4 CONFORM TO EXISTING EDGE OF PAVEMENT
2. FURNISH & INSTALL 2'x3' CATCH BASIN CHRISTY TYPE "U-SERIES" (U32) WITH TRAFFIC RATED GRATE; OR APPROVED EQUAL.
3. EXISTING TREE TO BE REMOVED
4. PROVIDE ROCK RIP-RAP AT BOTH END OF PIPE 3' WIDE x 6' LONG; 4-6 INCH MIN. DIA ROCK SIZE 2 COURSES



Preliminary Grading & Drainage Plan

Lands of Hayden - Cinnabar Hills Road - apn 742-02-006

UNINCORPORATED
DECEMBER 2020

SANTA CLARA COUNTY
CALIFORNIA

SHEET

4

OF 9

JOB NO.

19039

APPLICANT: HAYDEN

ROAD: CINNABAR HILLS ROAD

COUNTY FILE NO.:

JOB NO. 19039

DATE: DECEMBER 2020

HORIZ. SCALE: 1"=20'

VERT. SCALE: 1"=10'

DESIGNED BY: AM.

CHECKED BY:

DRAWN BY: TM.

date: 12/20/20

Hanna - Brunetti

Amanda Joy Musy-Verdel

R.C.E. # 69278

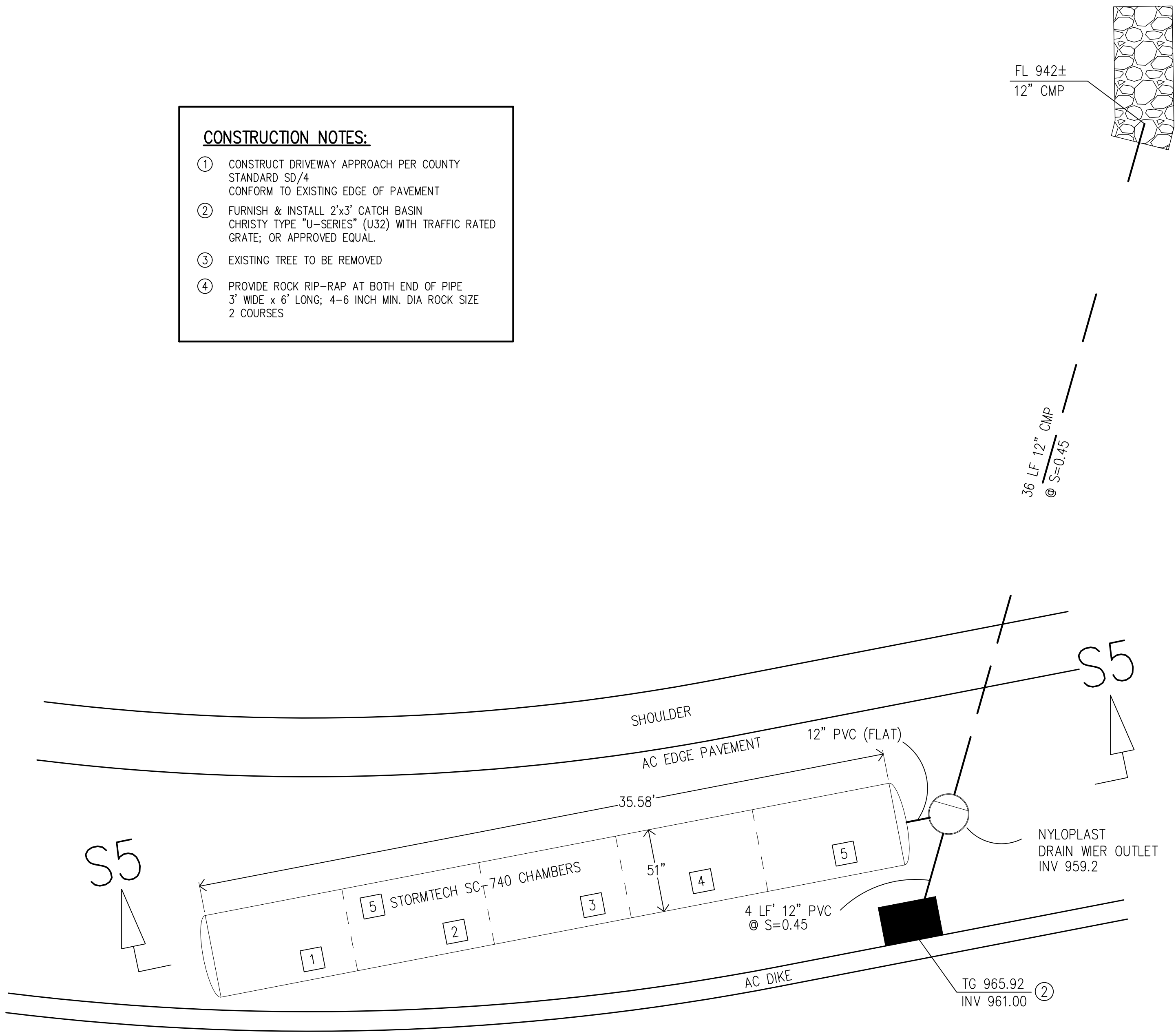
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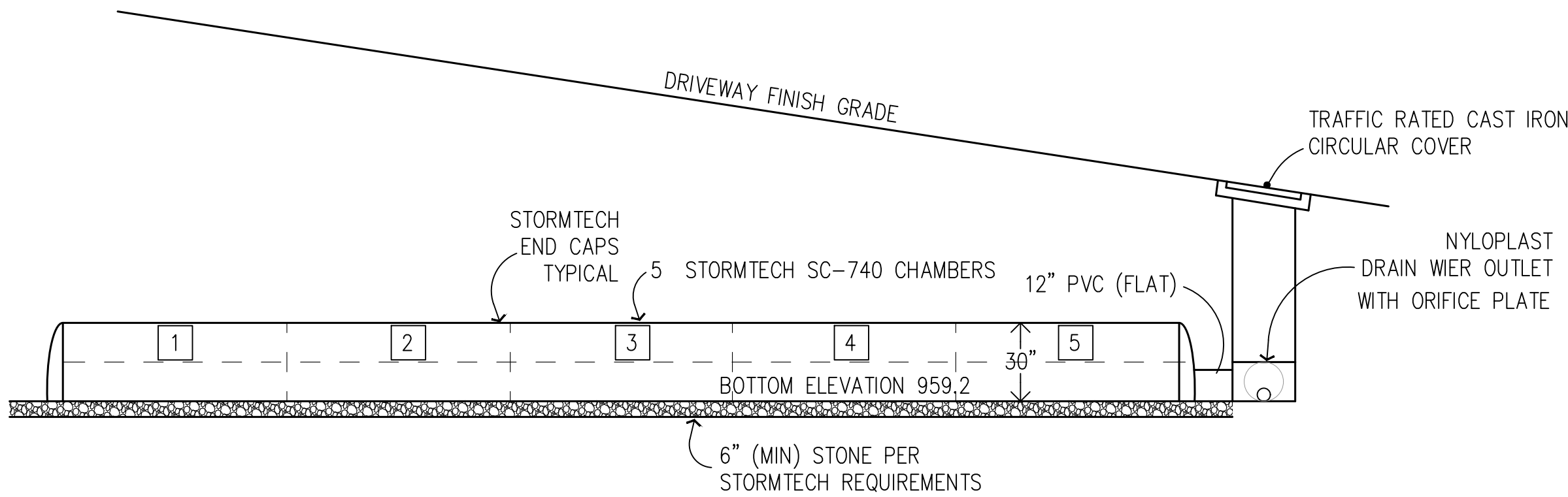
REFERENCES

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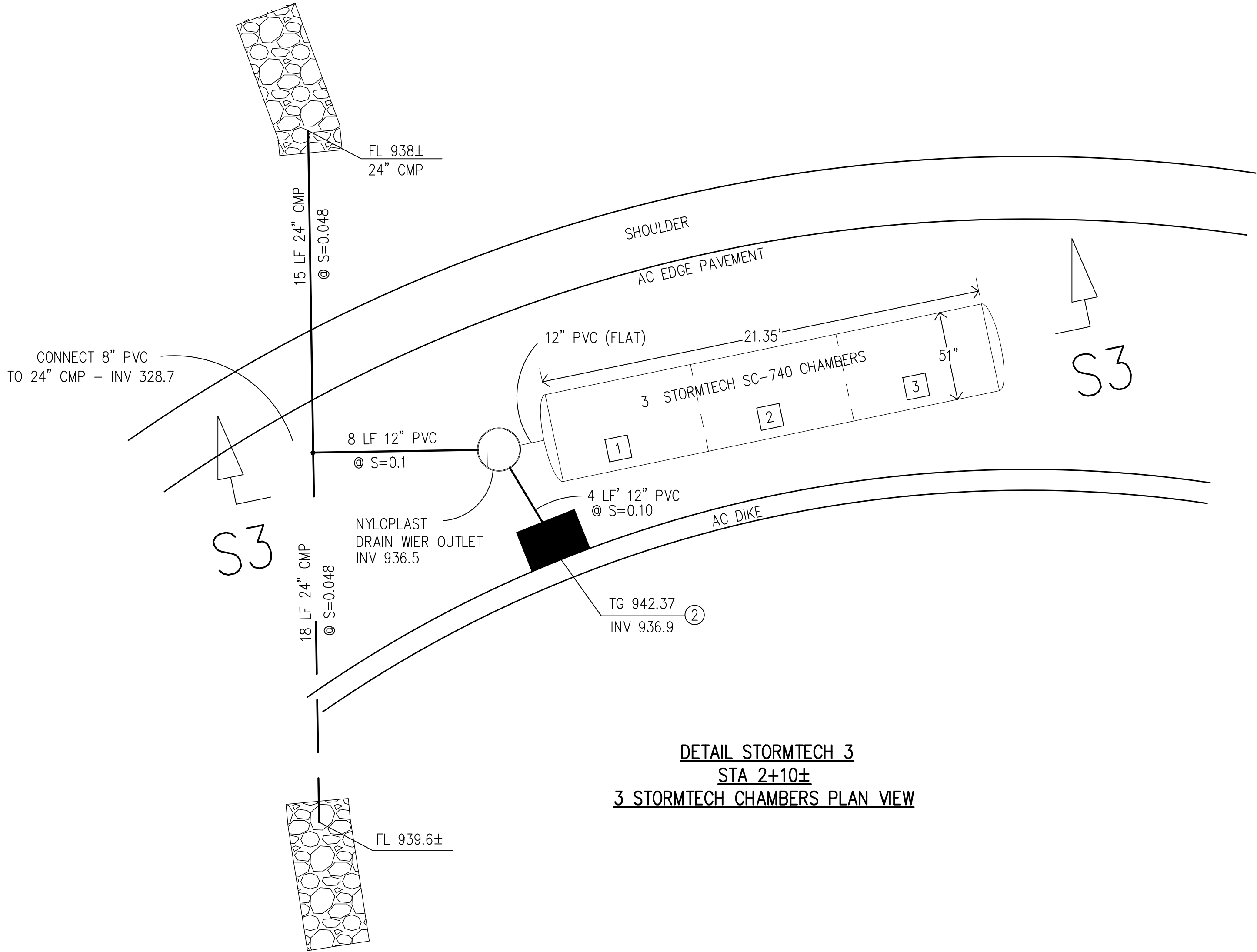
- CONSTRUCTION NOTES:**
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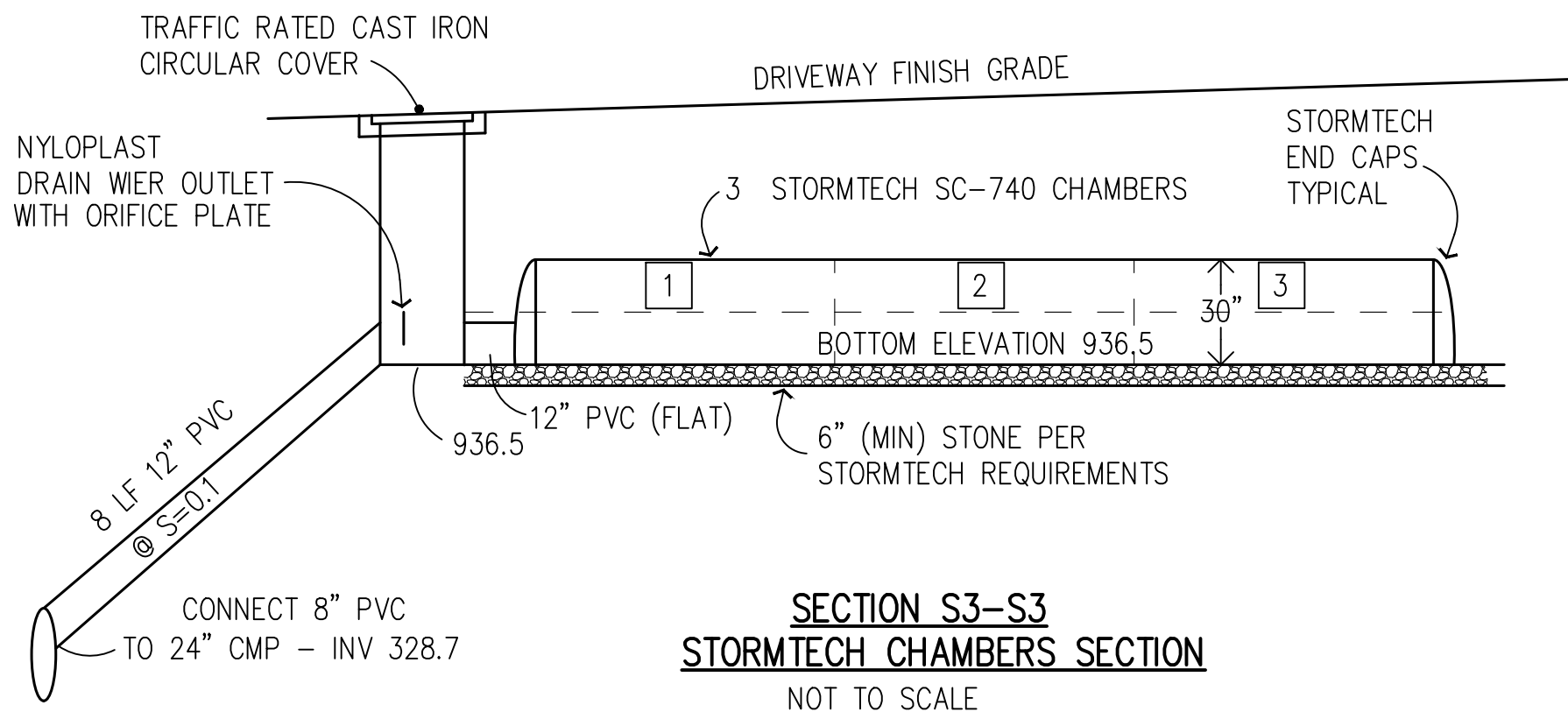
DETAIL STORMTECH 5
STA 4+35±
5 STORMTECH CHAMBERS PLAN VIEW



SECTION S5-S5
STORMTECH CHAMBERS SECTION
SCALE: 1"=5'



DETAIL STORMTECH 3
STA 2+10±
3 STORMTECH CHAMBERS PLAN VIEW



SECTION S3-S3
STORMTECH CHAMBERS SECTION
NOT TO SCALE

REVISIONS:		
DATE	DESCRIPTION	BY:

HANNA-BRUNETTI
EST. 1990
CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 EGGLEBERRY STREET • GILROY • 95020 • CALIFORNIA
OFFICE (408) 842-2173 • FAX (408) 842-3662
EMAIL: ENGINEERING@HANNABRUNETTI.COM

DATE: DECEMBER 2020
HORIZ. SCALE: N/A
VERT. SCALE: N/A
DESIGNED BY: AM
CHECKED BY: _____
DRAWN BY: TM

date: _____ 20
Hanna - Brunetti

Amanda Joy Musy-Verdel

R.C.E. # 69278
expires: 6/30/



REFERENCES

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DECEMBER 2020

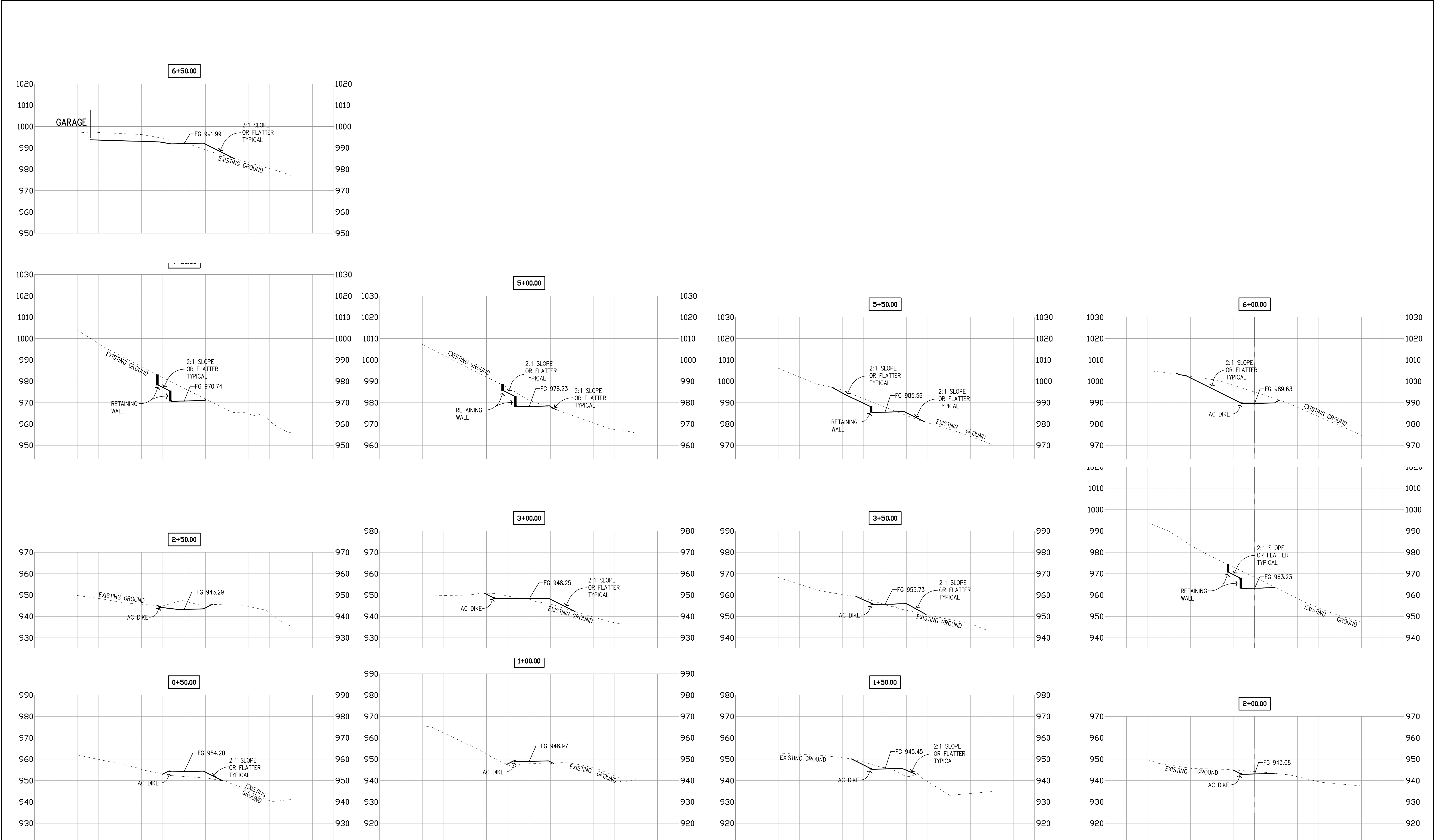
Storm Chamber Details
Lands of Hayden - Cinnabar Hills Road - apn 742-02-006

SANTA CLARA COUNTY
CALIFORNIA

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS

SHEET
4.5
OF 9
JOB NO. 19039

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PRELIMINARY PLANS
NOT FOR CONSTRUCTION

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REVISIONS:		
DATE	DESCRIPTION	BY:

HANNA-BRUNETTI

EST. 1991

CIVIL ENGINEERS • LAND SURVEYORS

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DATE: DECEMBER 2020
HORIZ. SCALE: 1"=10'
VERT. SCALE: NONE
DESIGNED BY: AM
CHECKED BY: _____
DRAWN BY: T.M.

date: _____20
Hanna - Brunetti

Amanda Joy Musy-Verdel
R.C.E. # 69278
expires: 6/30/

REGISTERED PROFESSIONAL ENGINEER

AMANDA JOY MUSY-VERDEL

NO. 69278

EXP. 6-30-

CIVIL

STATE OF CALIFORNIA

REFERENCES

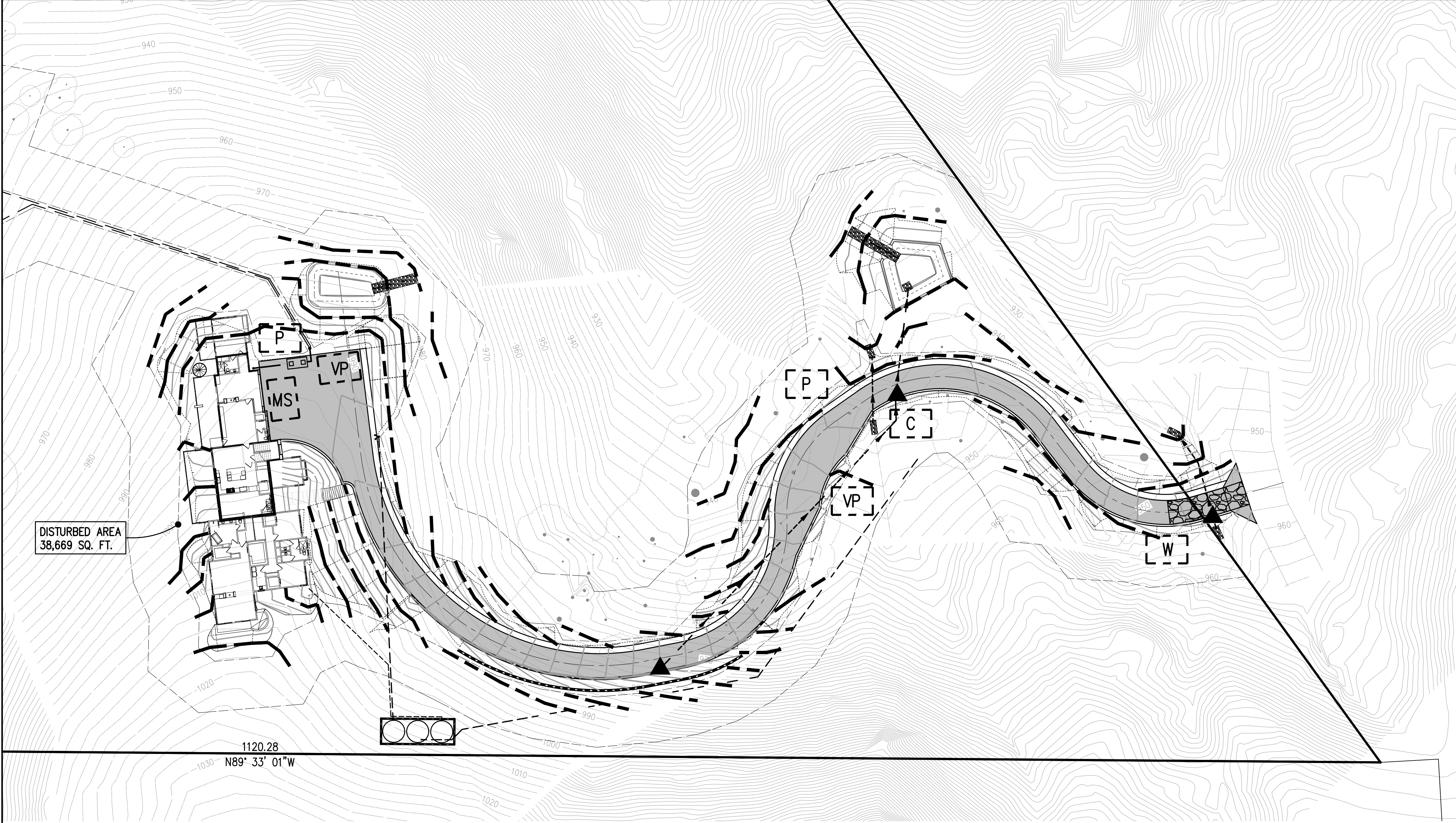
UNINCORPORATED
DECEMBER 2020

Driveway Sections

Lands of Hayden - Cinnabar Hills Road - apn 742-02-006

SANTA CLARA COUNTY
CALIFORNIA

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EROSION CONTROL NOTES

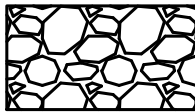
1. EROSION CONTROL MEASURES SHALL BE EFFECTIVE FOR CONSTRUCTION DURING THE RAINY SEASON; OCTOBER 15 THROUGH APRIL 15.
2. NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN INTO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM SYSTEM UNTIL SUITABLE EROSION CONTROL MEASURES ARE FULLY IMPLEMENTED. NO STORM WATER RUNOFF SHALL BE ALLOWED TO ENTER THE STORM DRAIN SYSTEM THAT IS NOT CLEAR, AND FREE OF SILTS.
3. A FIBER ROLL BARRIER PER "DETAIL SE-5" SHALL BE INSTALL ALONG THE PERIMETER OF THE PROJECT SITE. THE LOCATION OF THE FIBER ROLL ALONG THE PERIMETER SHALL BE ADJUSTED TO ELIMINATE SEDIMENT LADEN RUNOFF FROM LEAVING THE SITE. A FIBER ROLL SHALL ALSO BE REQUIRED AROUND THE PERIMETER OF ANY STOCKPILE OR OTHER SITE OF BARE, LOOSE EARTH.
4. ALL STORM DRAIN MANHOLES, CATCH BASINS, AND/OR DROP INLETS THAT ARE TO ACCEPT STORM WATER SHALL HAVE INLET PROTECTION MEASURES PER DETAIL SE-10. STORM WATER RUNOFF SHALL BE DIRECTED TO THESE INLETS ONLY. STORM DRAIN CATCH BASINS THAT ARE NOT COMPLETE, SHALL BE BLOCKED OFF COMPLETELY.
5. THE NAME, ADDRESS, AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR THE IMPLEMENTATION OF THE EROSION CONTROL PLAN SHALL BE PROVIDED TO THE COUNTY.
6. PRIOR TO GRADING, AN ENTRANCE SHALL BE CONSTRUCTED, CONSISTING OF A MINIMUM OF 50 LF OF DRAIN ROCK, 3" IN DIAMETER, PLACED OVER MIRAFI 500X (OR EQUAL) PER DETAIL TC-1. THE ENTRANCE SHALL CONFORM TO "CONSTRUCTION ENTRANCE DETAIL TC-1". THERE SHALL BE ONLY ONE ENTRANCE/EXIT POINT TO THE SITE DURING THE RAINY SEASON. THE LOCATION SHALL BE AS SHOWN ON THESE PLANS, OR AT A LOCATION APPROVED BY THE COUNTY.
7. ALL AREAS OF BARE, TURNED OR DISTURBED EARTH SHALL BE STABILIZED BY USE OF HYDROSEED PER THE TABLE BELOW. ALL STOCKPILES, AND/OR BORROW AREAS SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES SUCH AS A PERIMETER SILT FENCE, AND OTHER METHODS TO PREVENT ANY EROSION OR SILTS MIGRATION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THE EROSION CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS, BUT ONLY WITH THE APPROVAL OF, OR AT THE DIRECTION OF THE COUNTY INSPECTOR. THE STORM DRAIN SYSTEM SHALL MAINTAIN A FORM OF DRAIN INLET PROTECTION UNTIL COUNTY ACCEPTS THE FINAL STREET IMPROVEMENTS. THE DRAIN INLET PROTECTION SHALL BE MAINTAINED, EFFECTIVE AND SUBJECT TO COUNTY INSPECTOR'S APPROVAL.
8. ALL PAVED STREET, AND AREAS ADJACENT TO THE SITE SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO ELIMINATE SEDIMENT LADEN RUNOFF FROM ENTERING THE STORM DRAIN SYSTEM.
9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND REPAIR ALL EROSION CONTROL FACILITIES AT THE END OF EACH DAY DURING THE RAINY SEASON. ANY DAMAGED STRUCTURAL MEASURES ARE TO BE REPAIRED BY END OF THE DAY. TRAPPED SEDIMENT IN "SD INLETS" (AND OTHER EROSION CONTROL MEASURES) SHALL BE REMOVED TO MAINTAIN TRAP EFFICIENCY. REMOVED SEDIMENT SHALL BE DISPOSED BY SPREADING ON SITE, WHERE IT WILL NOT MIGRATE.
10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREVENT THE FORMATION OF AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM A FAILURE TO DO SO.
11. ALL DRAIN SWALES SHALL BE PER DETAIL EC-9.
12. INCOMPLETE GRADING SHALL NOT BE ALLOWED. CONTRATOR SHALL MAINATIN A DRAIN PATH AS SHOWN ON THIS PLAN. SAID DRAIN PATH SHALL BE MAINTAINED LINED DRAIN SWALES, AND INLET PROTECTION AT A MINIMUM. IF PONDING DOES OCCUR ON THE SITE AFTER GRADING, THE WATER MUST BE FREE AND CLEAR OF SEDIMENT PRIOR TO DISCHARGE TO THE STORM DRAIN SYSTEM. THIS REQUIREMENT MAY NECESSTATE THE USE OF NATURAL AND/OR MECHANICAL DESILTING METHODS, SUBJECT TO APPROVAL BY THE COUNTY INSPECTOR.
13. F THESE EROSION CONTROL MEASURE PROVE INADEQUATE, STRAW MULCH, TACKIFIER, AND ADDITIONAL HYDROSEEDING MAY BE REQUIRED.

HYDROSEED TABLE

ITEM	LBS/ACRE
COMMON BARLEY	45
ANNUAL RYEGRASS	45
CRIMSON CLOVER	10
FERTILIZER 7-2-3	400
FIBER MULCH	2000
TACKIFIER	100

14. ALL GRADING WORK BETWEEN OCTOBER 15th AND APRIL 15th IS AT THE DISCRETION OF THE SANTA CLARA COUNTY BUILDING OFFICIAL.
15. PROVIDE SHRUBS AND/OR TREES REQUIRED ON SLOPES GREATER THAN 15 FEET IN VERTICAL HEIGHT.
16. THE OWNER/OWNER'S CONTRACTOR, AGENT, AND/OR ENGINEER SHALL INSTALL AND MAINTAIN THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL WITHIN THE SANTA CLARA COUNTY MAINTAINED ROAD RIGHT OF WAY AND ANY PORTION OF THE SITE WHERE STORM WATER RUN-OFF IS DIRECTLY FLOWING INTO THE SANTA CLARA COUNTY MAINTAINED ROAD RIGHT OF WAY BEST MANAGEMENT PRACTICES (BMP'S) TO PREVENT CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, WASTE MATERIALS, AND SEDIMENT CAUSED BY EROSION FROM CONSTRUCTION ACTIVITIES ENTERING THE STORM DRAIN SYSTEM, WATERWAYS, AND ROADWAY INFRASTRUCTURE. BMP'S SHALL INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING PRACTICES APPLICABLE TO THE PUBLIC ROAD AND EXPRESSWAY FACILITIES:
 - A) REDUCTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN/STAGING AREAS.
 - B) PREVENTION OF TRACKING OF MUD, DIRT AND CONSTRUCTION MATERIALS ONTO PUBLIC ROAD RIGHT OF WAY.
 - C) PREVENTION OF DISCHARGE OF WATER RUNOFF DURING DRY AND WET WEATHER CONDITIONS ONTO PUBLIC ROAD RIGHT OF WAY
17. THE OWNER/OWNER'S CONTRACTOR, AGENT, AND/OR ENGINEER SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY MAINTAINED ROAD RIGHT OF WAY AND ANY PORTION OF THE SITE WHERE STORM WATER RUN-OFF IS DIRECTLY FLOWING INTO THE SANTA CLARA COUNTY MAINTAINED ROAD RIGHT OF WAY SHALL HAVE SEASONALLY APPROPRIATE BMP'S INSTALLED AND MAINTAINED AT ALL TIMES.

LEGEND



PROVIDE CONSTRUCTION ENTRANCE/EXIT
PER DETAIL TC-1



PROVIDE FIBER ROLL SLOPE PROTECTION
PER DETAIL SE-5



PROVIDE STORM DRAIN INLET PROTECTION
PER DETAIL SE-10

P

PORT-O-LET WITH SECONDARY CONTAINMENT

W

WATER TO WASHDOWN VEHICLES LEAVING SITE

C

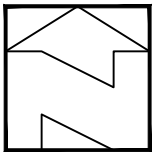
CONCRETE WASHDOWN AREA

VP

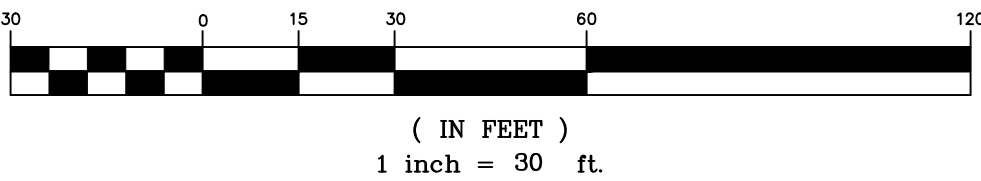
VEHICLE PARKING AREA

MS

MATERIAL STORAGE AREA



GRAPHIC SCALE



REVISIONS:		
DATE	DESCRIPTION	BY:



HANNA-BRUNETTI
EST. 1990
CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS
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OFFICE (408) 842-2173 • FAX (408) 842-3682
EMAIL: ENGINEERING@HANNABRUNETTI.COM

DATE: <u>DECEMBER 2020</u>
HORIZ. SCALE: <u>1"=30'</u>
VERT. SCALE: <u>NONE</u>
DESIGNED BY: <u>AM</u>
CHECKED BY: _____
DRAWN BY: <u>TM</u>

date: _____20
Hanna - Brunetti

Amanda Joy Musy-Verdel

R.C.E. # 69278
expires: 6/30/



REFERENCES

UNINCORPORATED
DECEMBER 2020

Erosion Control Plan

Lands of Hayden - Cinnabar Hills Road - apn 742-02-006

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

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SHEET

7

OF 9

JOB NO.

19039

SANTA CLARA COUNTY
CALIFORNIA

JOB NO. 19039

APPLICANT: HAYDEN

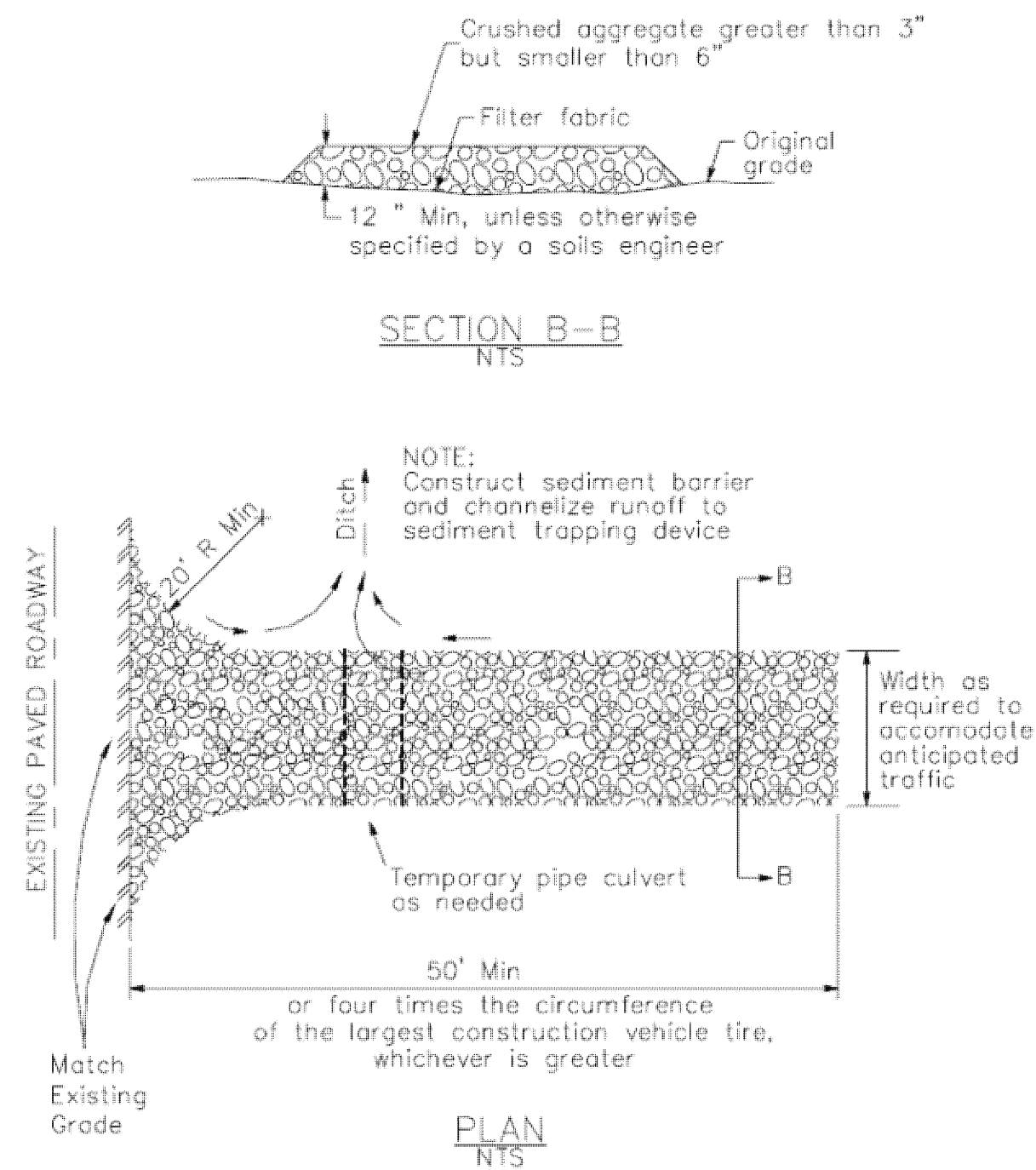
ROAD: CINNABAR HILLS ROAD

COUNTY FILE NO.:

3

Stabilized Construction Entrance/Exit

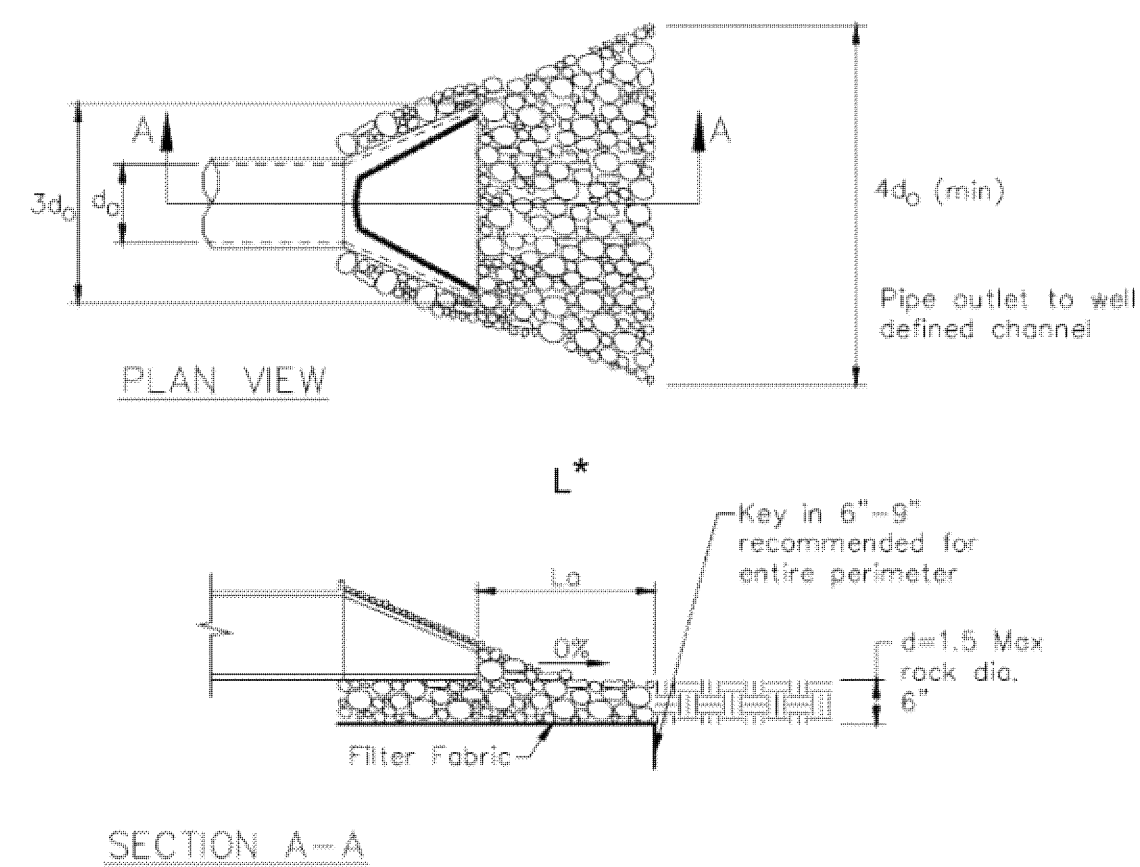
CASQA Detail TC-1



4

Velocity Dissipation Devices

CASQA Detail EC-10



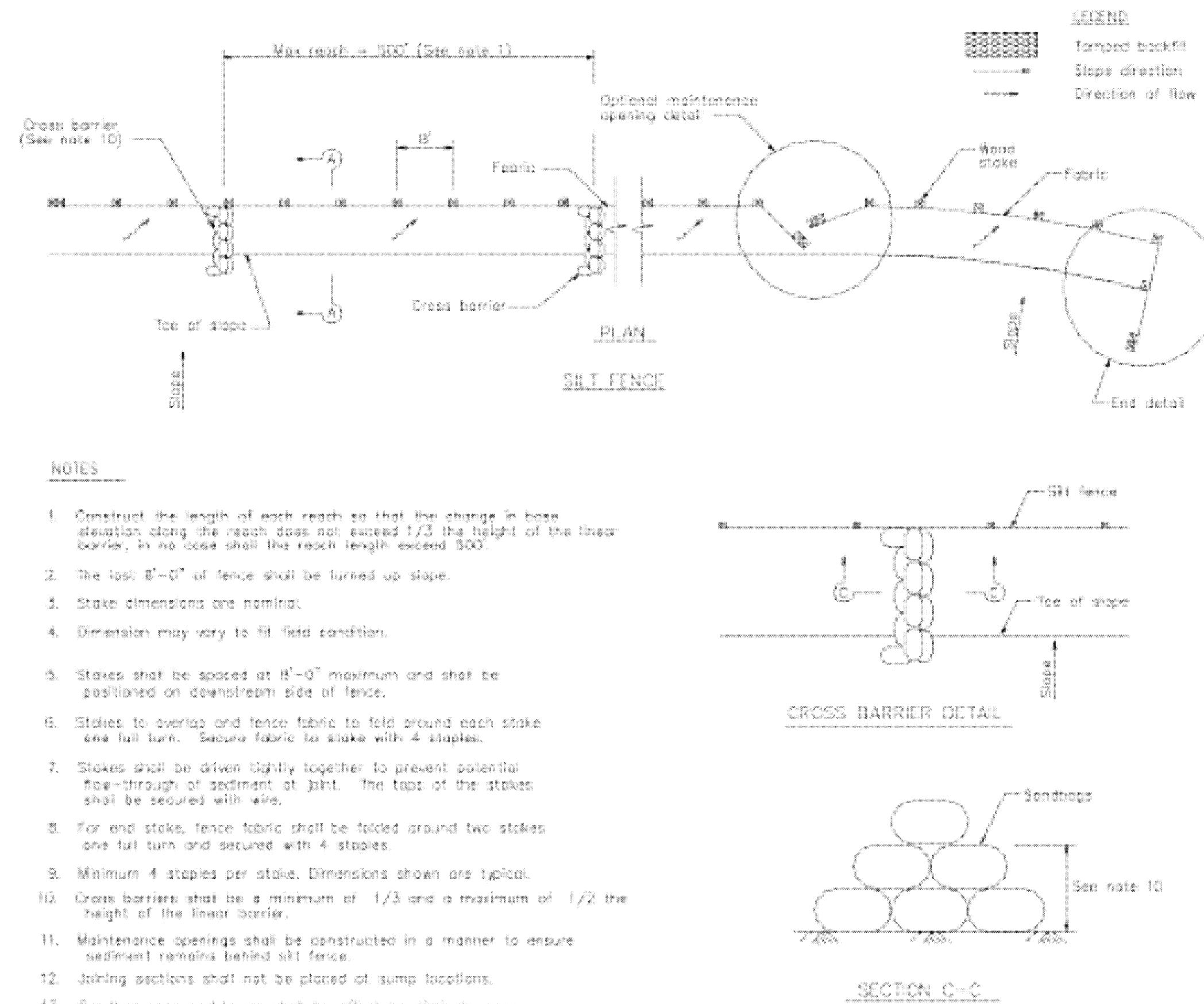
* Length per ABAG Design Standards

Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.
Available from www.cabmphandbooks.com.

1

Silt Fence

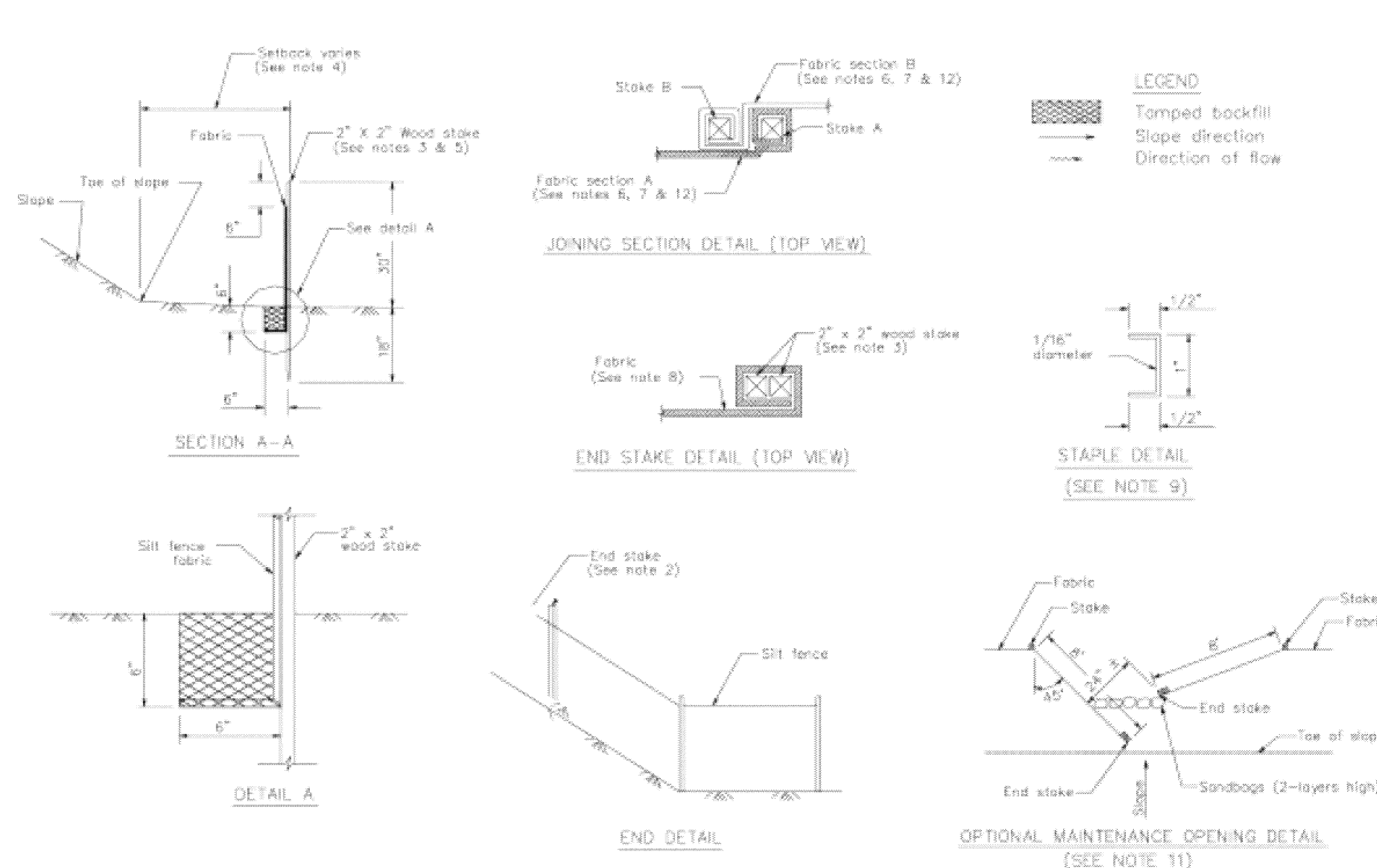
CASQA Detail SE-1



2

Silt Fence

CASQA Detail SE-1

**STANDARD BEST MANAGEMENT PRACTICE NOTES**

- Solid and Demolition Waste Management:** Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or latest.
- Hazardous Waste Management:** Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- Spill Prevention and Control:** Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
- Vehicle and Construction Equipment Service and Storage:** An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
- Material Delivery, Handling and Storage:** In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- Handling and Disposal of Concrete and Cement:** When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
- Pavement Construction Management:** Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- Contaminated Soil and Water Management:** Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
- Sanitary/Septic Water Management:** Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
- Inspection & Maintenance:** Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

STANDARD EROSION CONTROL NOTES

- Sediment Control Management:**

Tracking Prevention & Clean Up: Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.

Storm Drain Inlet and Catch Basin Inlet Protection: All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber roles or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.

Storm Water Runoff: No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.

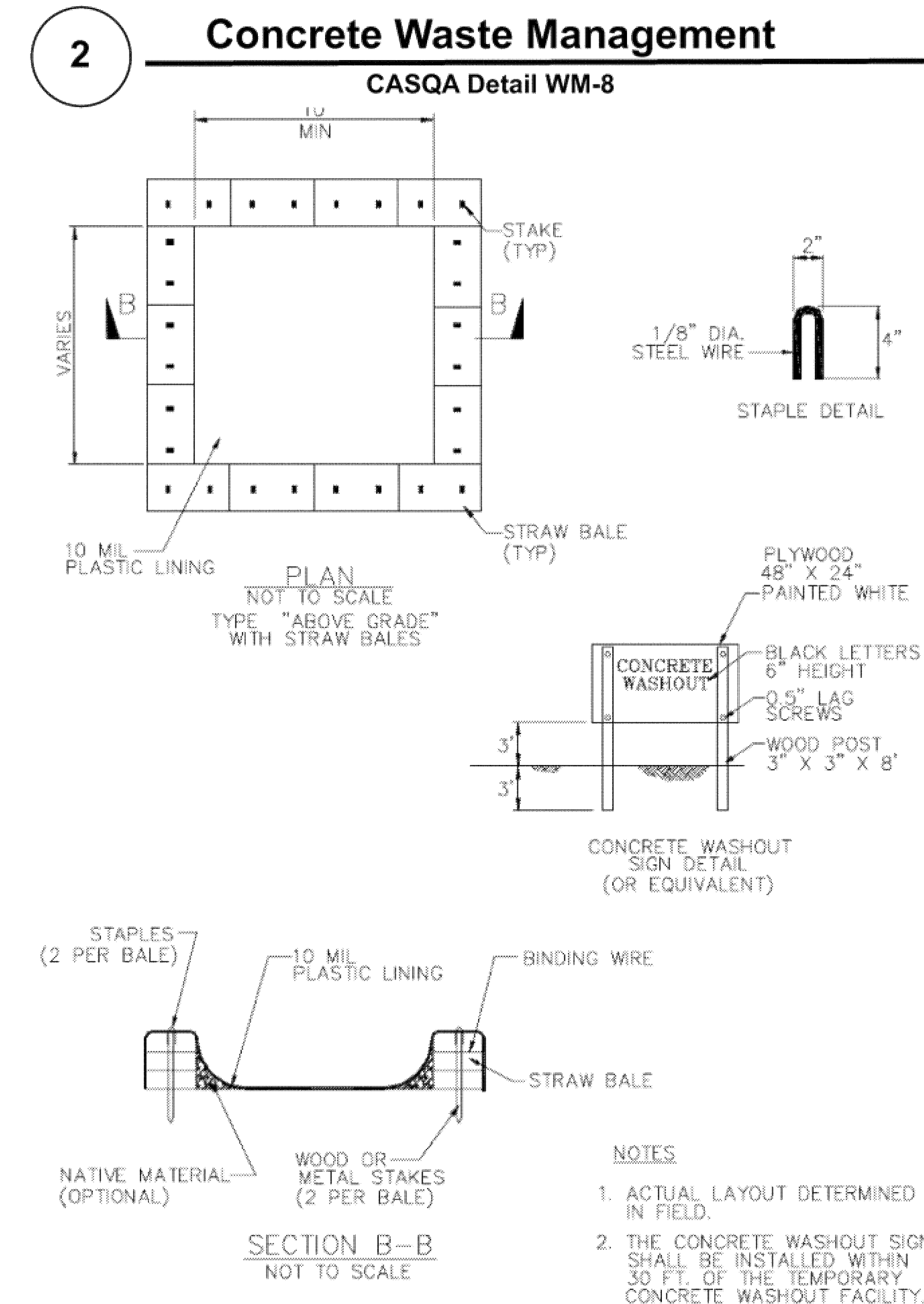
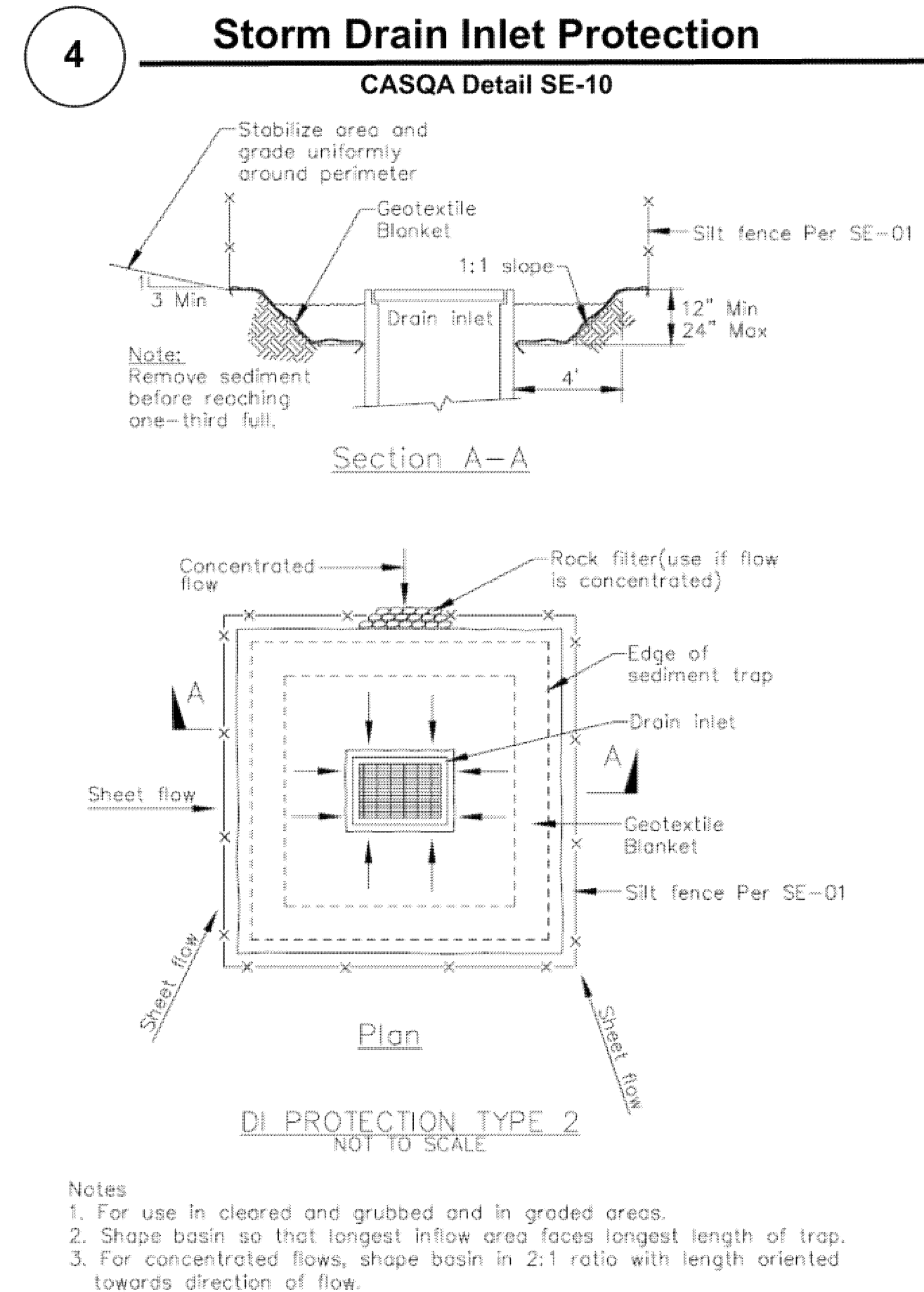
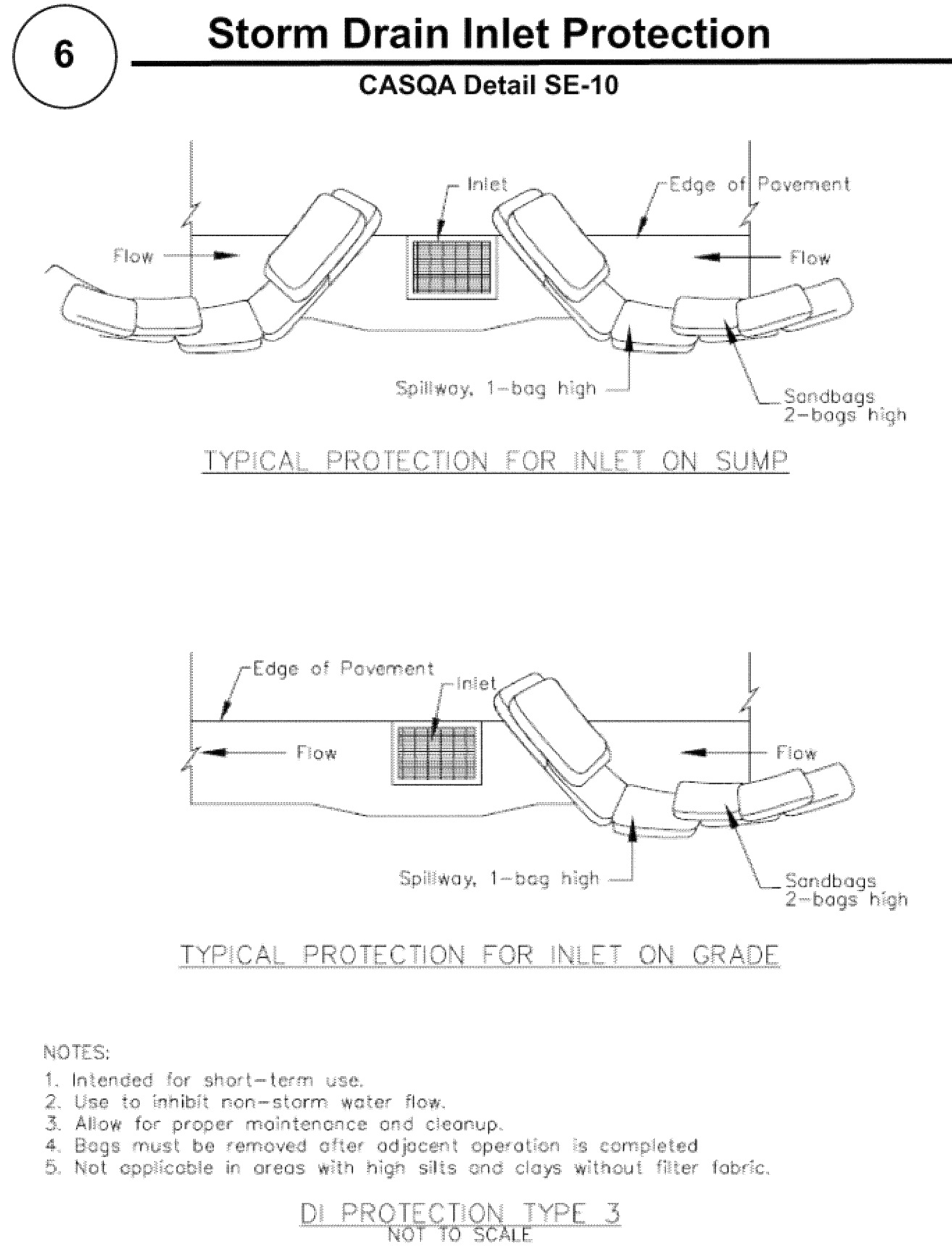
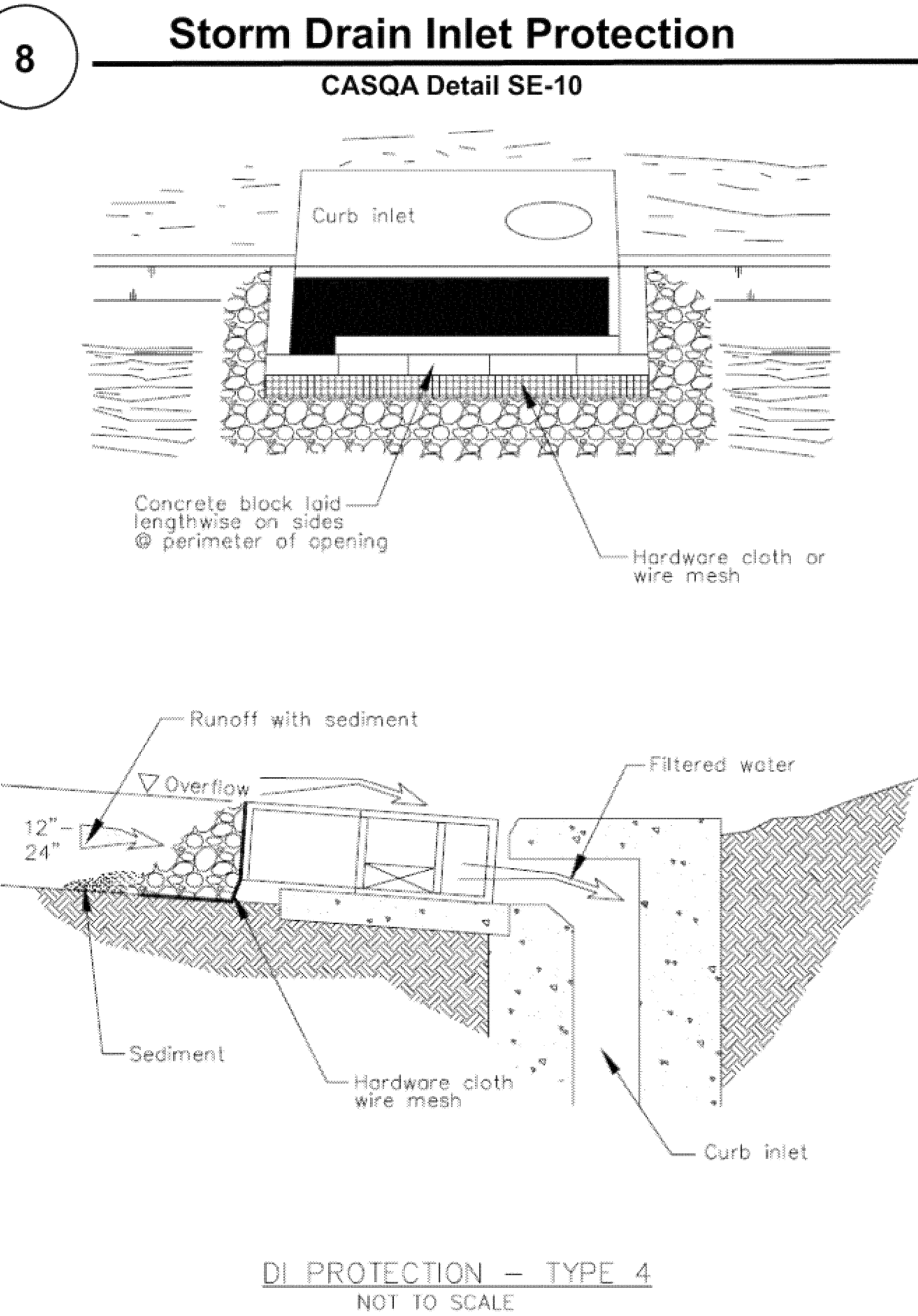
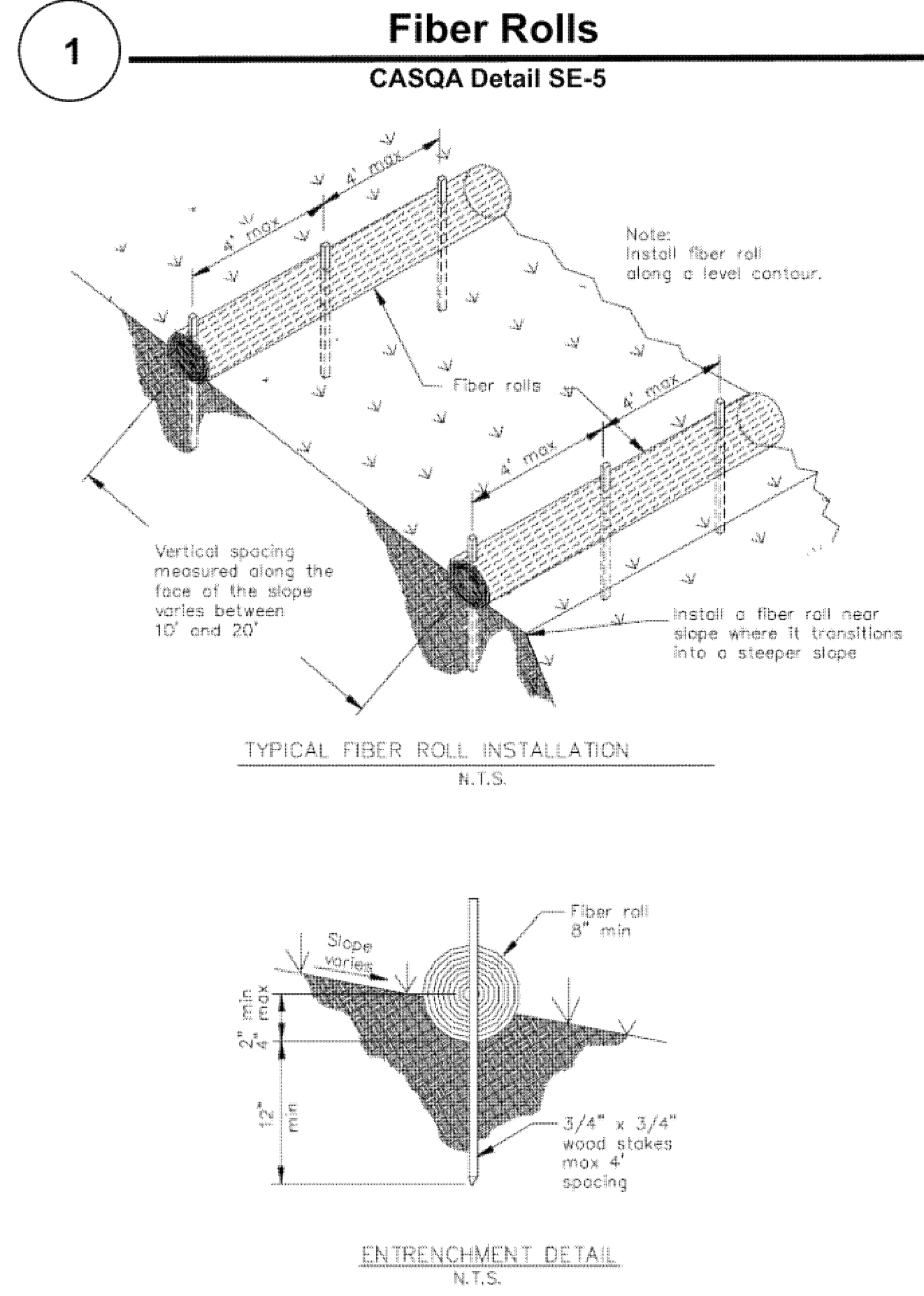
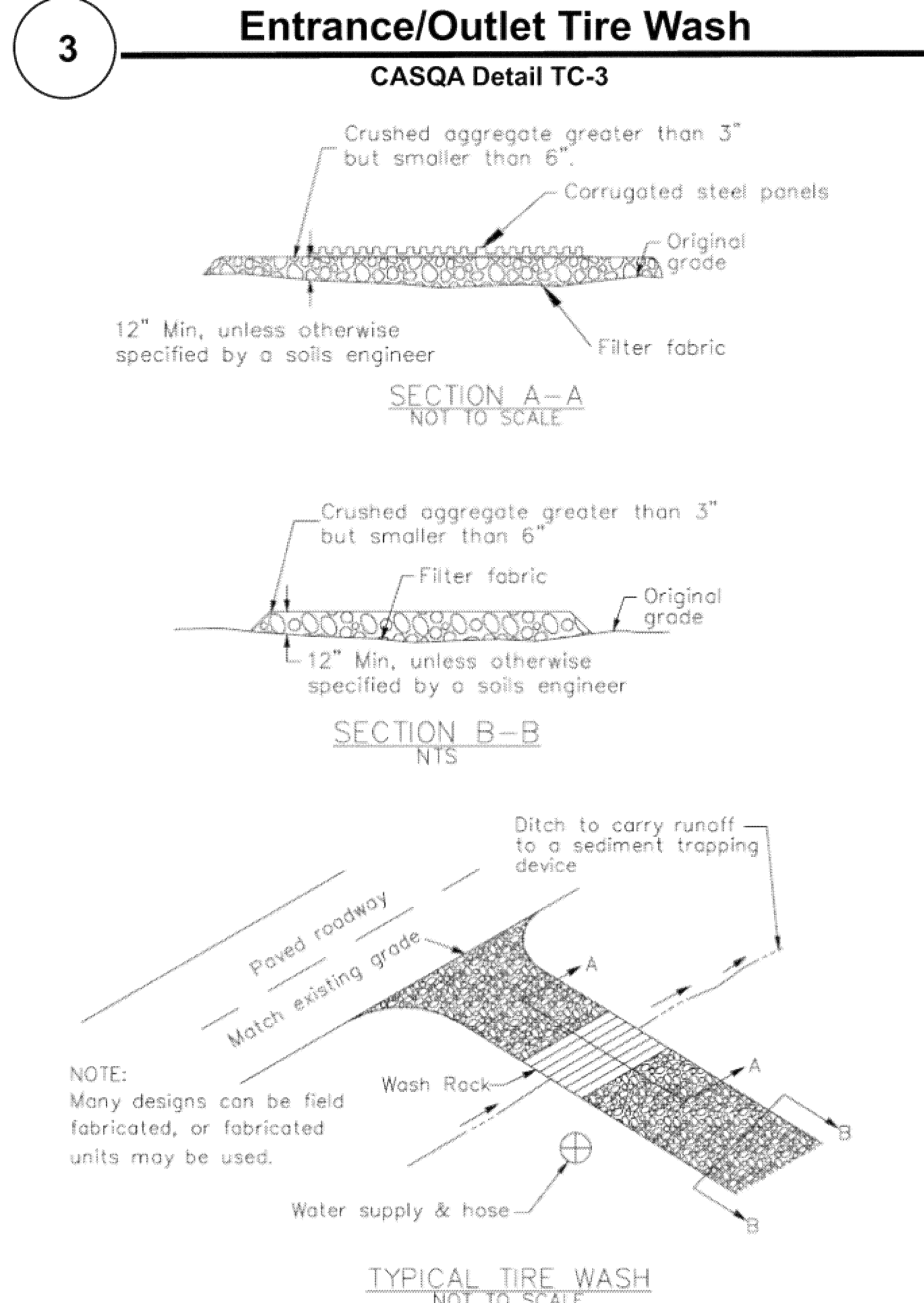
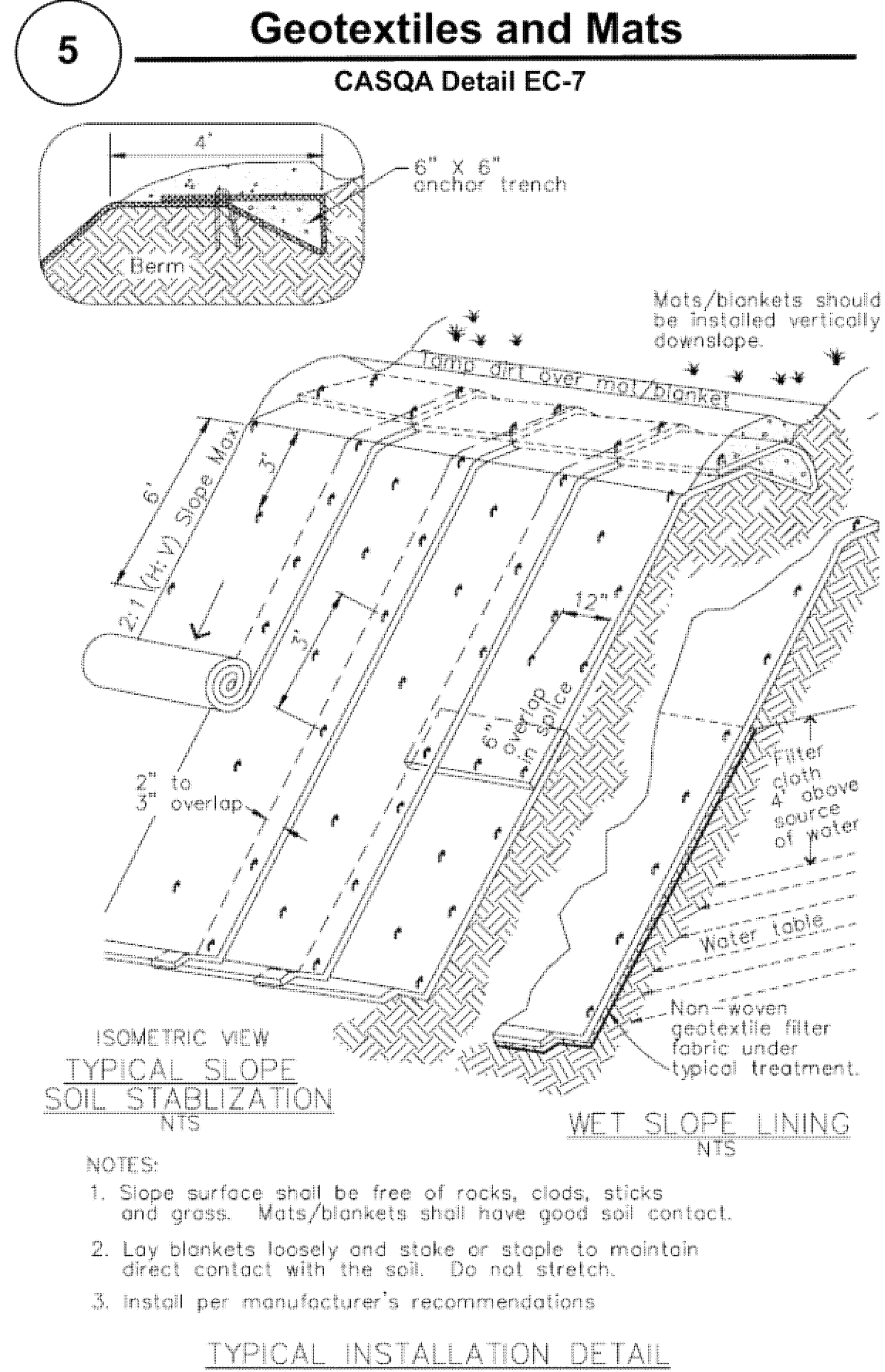
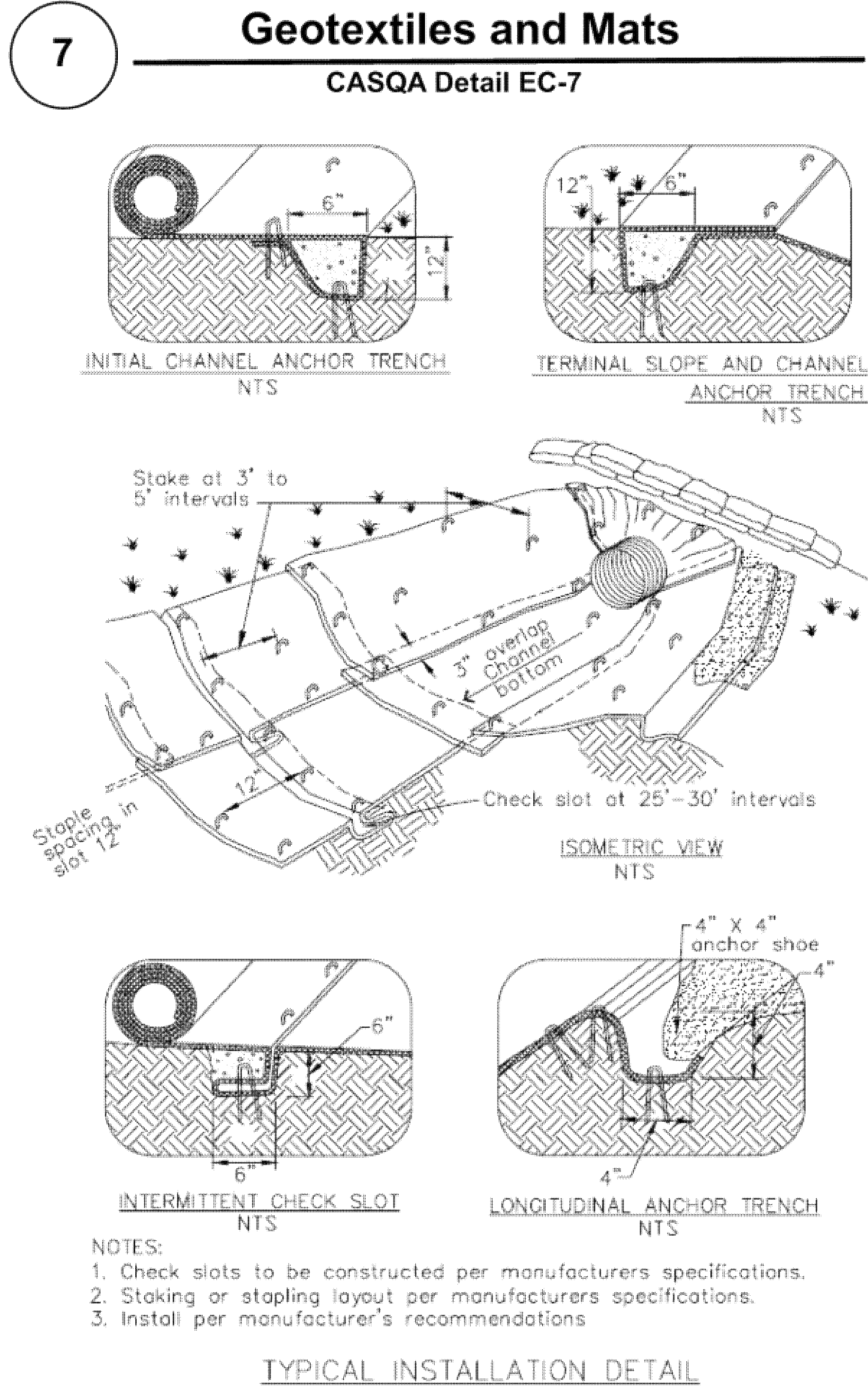
Dust Control: The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.

Stockpiling: Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures (tarps, straw bales, silt fences, etc.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.
- Erosion Control:** During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
- Inspection & Maintenance:** Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- Project Completion:** Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

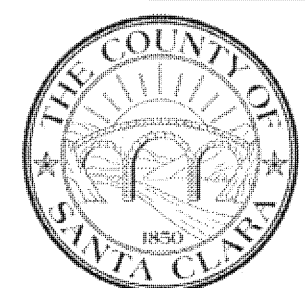
IMPROVEMENT PLANS**Project Information**

FOR THE
HOME GRADING AND DRAINAGE
ON THE LANDS OF HAYDEN
CINNABAR HILLS ROAD, SAN JOSE
A PORTION OF SAN VICENTE RANCHO
PER DOCUMENT NO. 24173859
SANTA CLARA COUNTY, CALIFORNIA
A.P.N.: 742-02-006

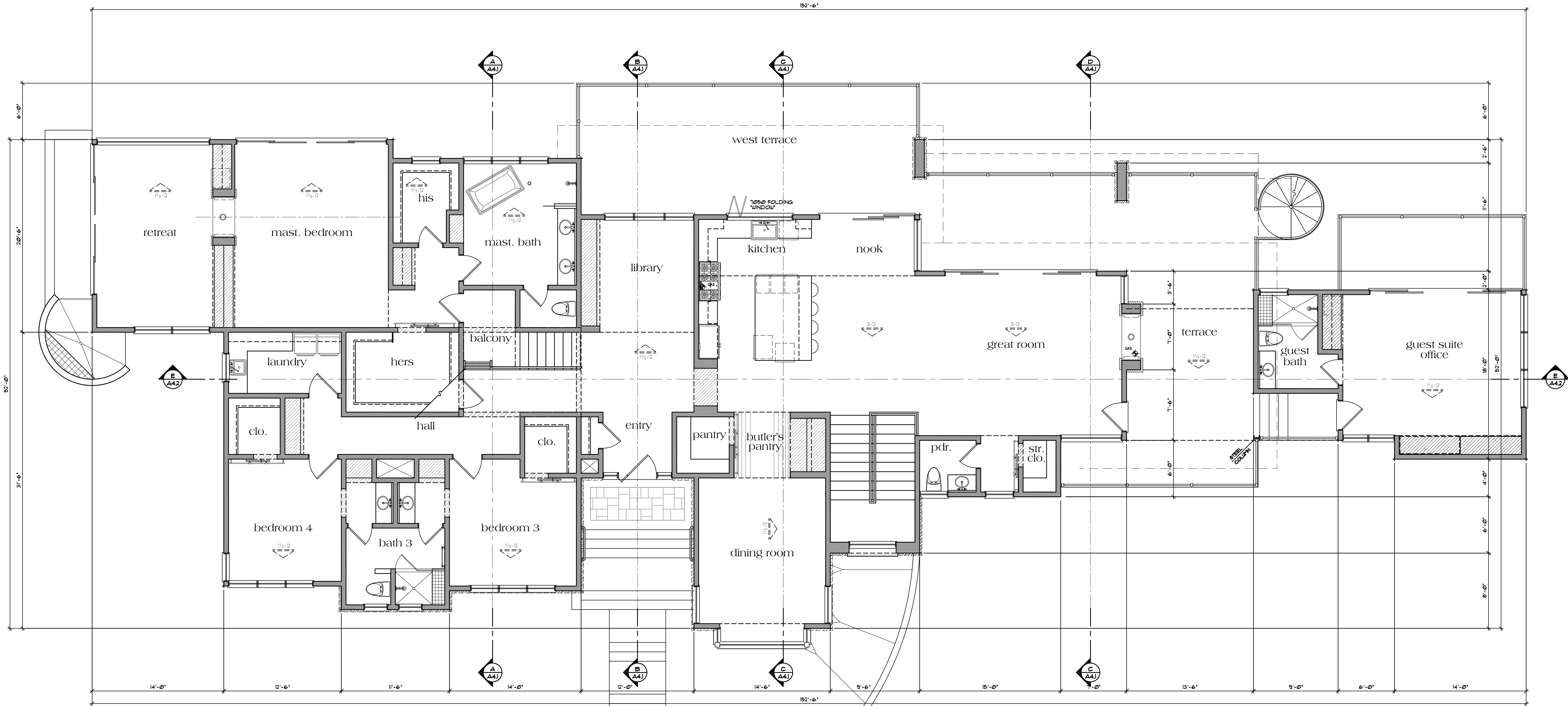
**BMP-1**



Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.
Available from www.cabmphandbooks.com.



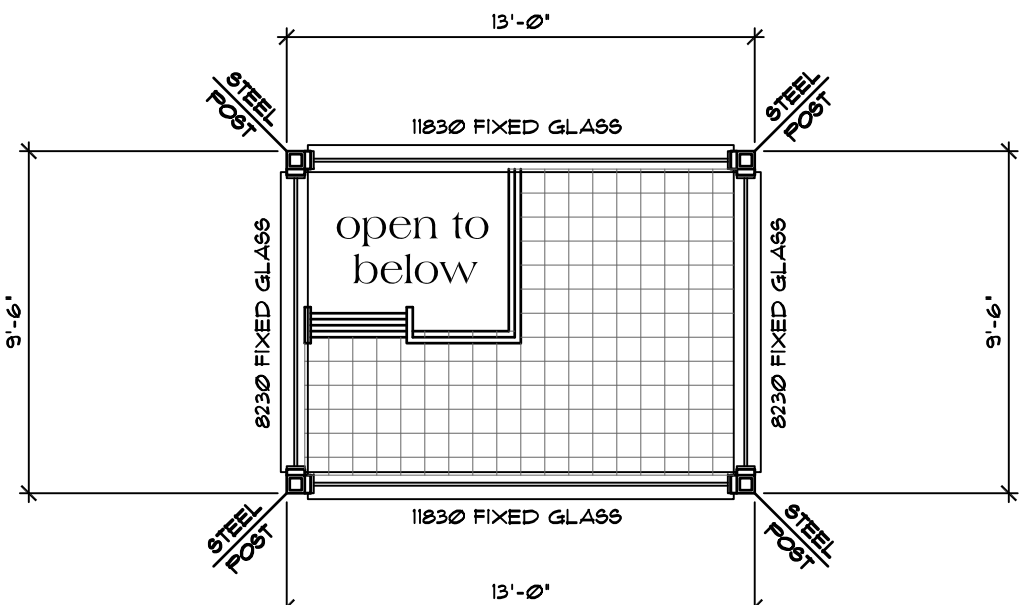
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Entry Level Floor Plan

3,535 sq. ft. Main Level
447 sq. ft. Guest Suite
3,982 sq. ft. Total Living Area
93 sq. ft. Observation Tower
939 sq. ft. Garage/Gym
1,339 sq. ft. Unconditioned Storage
6,419 sq. ft. Gross Floor Area
1,341 sq. ft. Rear Terraces
470 sq. ft. Lower Patio
452 sq. ft. Observation Deck
2,263 sq. ft. Total Terraces & Decks

scale: 3/16"=1'-0"

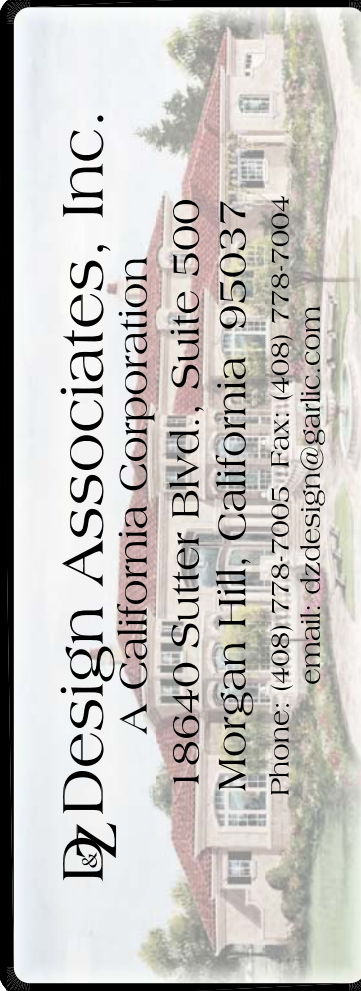


Observation Floor Plan

scale: 3/16"=1'-0"

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DRAWING TITLE Entry Level Floor Plan

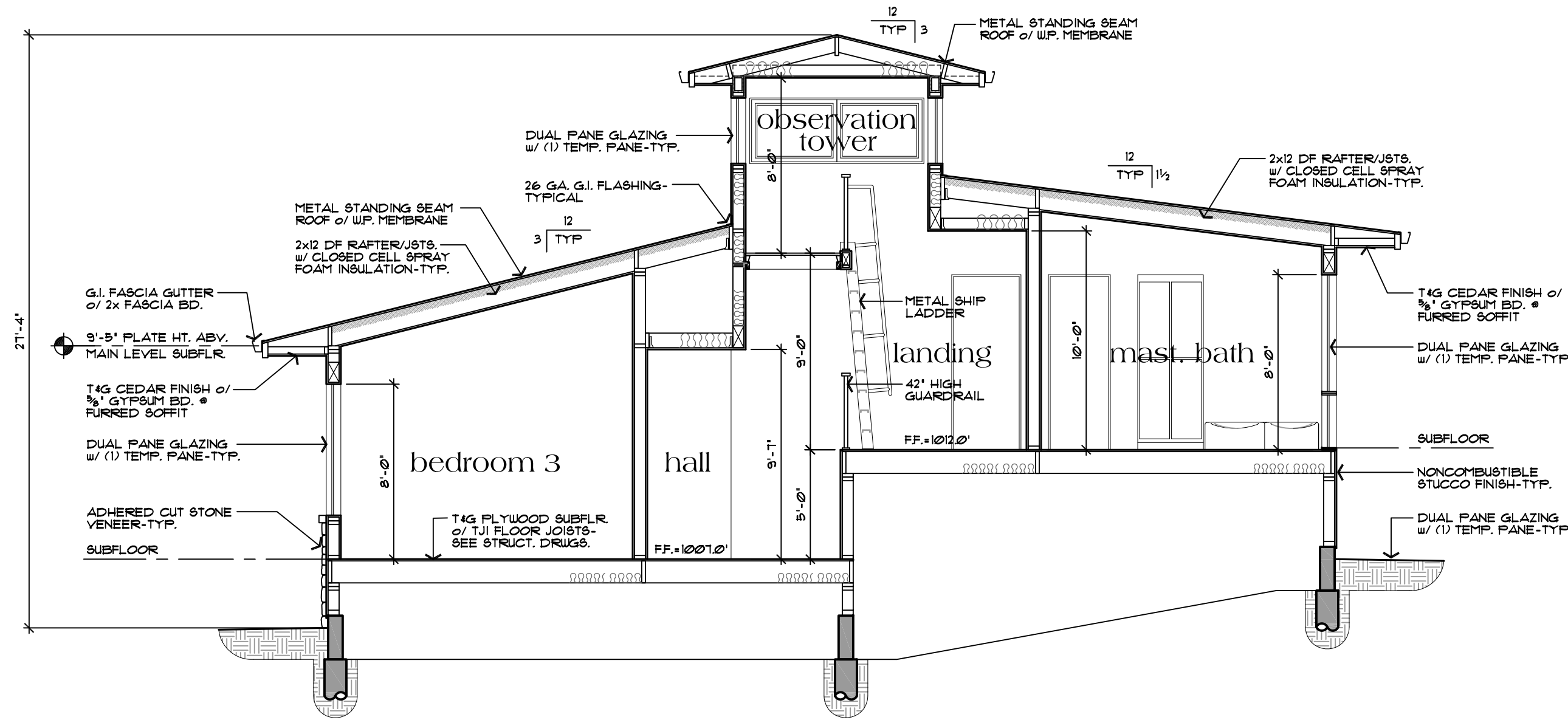
JOB TITLE Hayden Residence

JOB ADDRESS Cinnabar Hills Road
San Jose, California

DATE 10/19/2020
SCALE 3/16"=1'-0"
PROJECT MANAGER T. DAVIS
DRAWN GZ
JOB NO. DZ3319
SHEET

A2.1

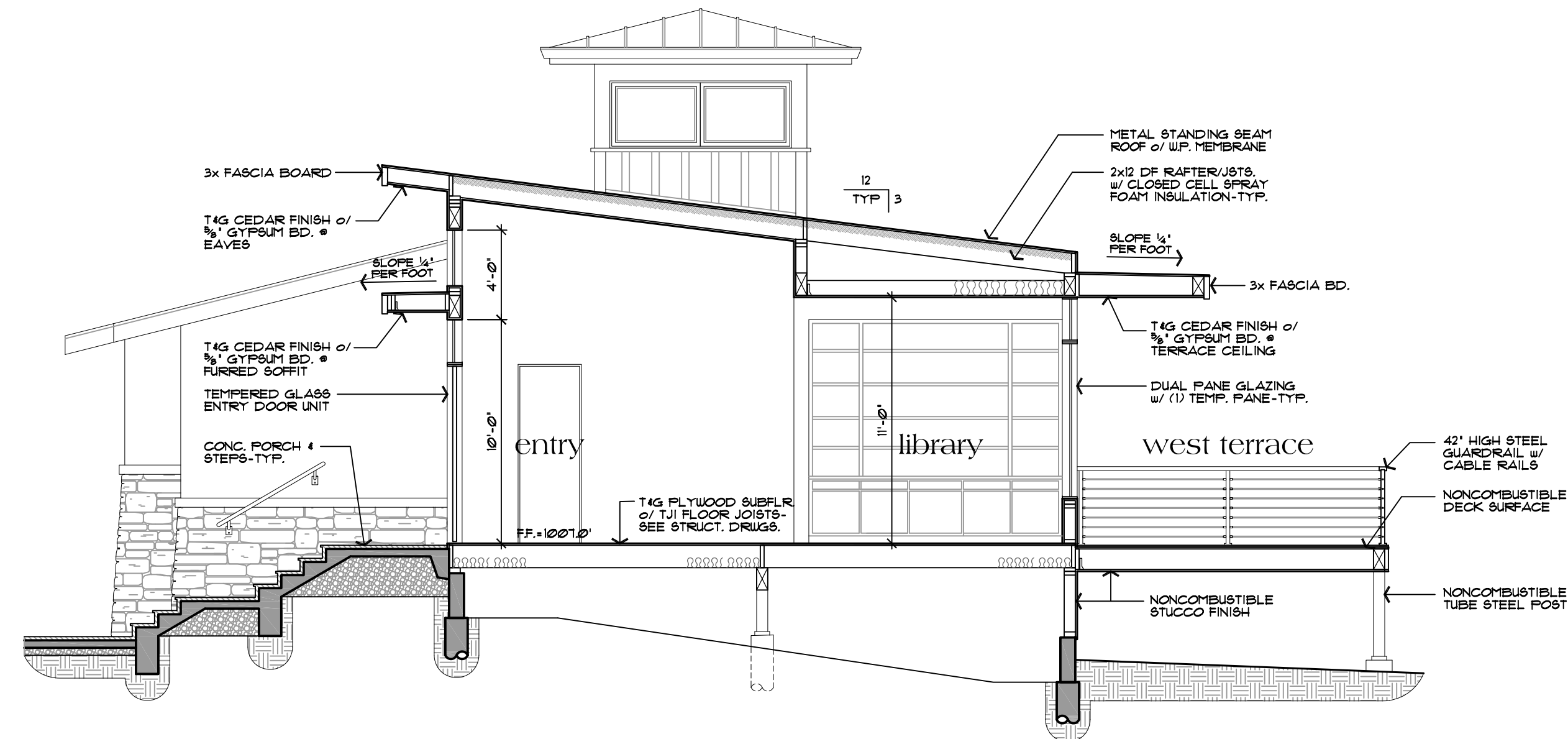




A Cross Section

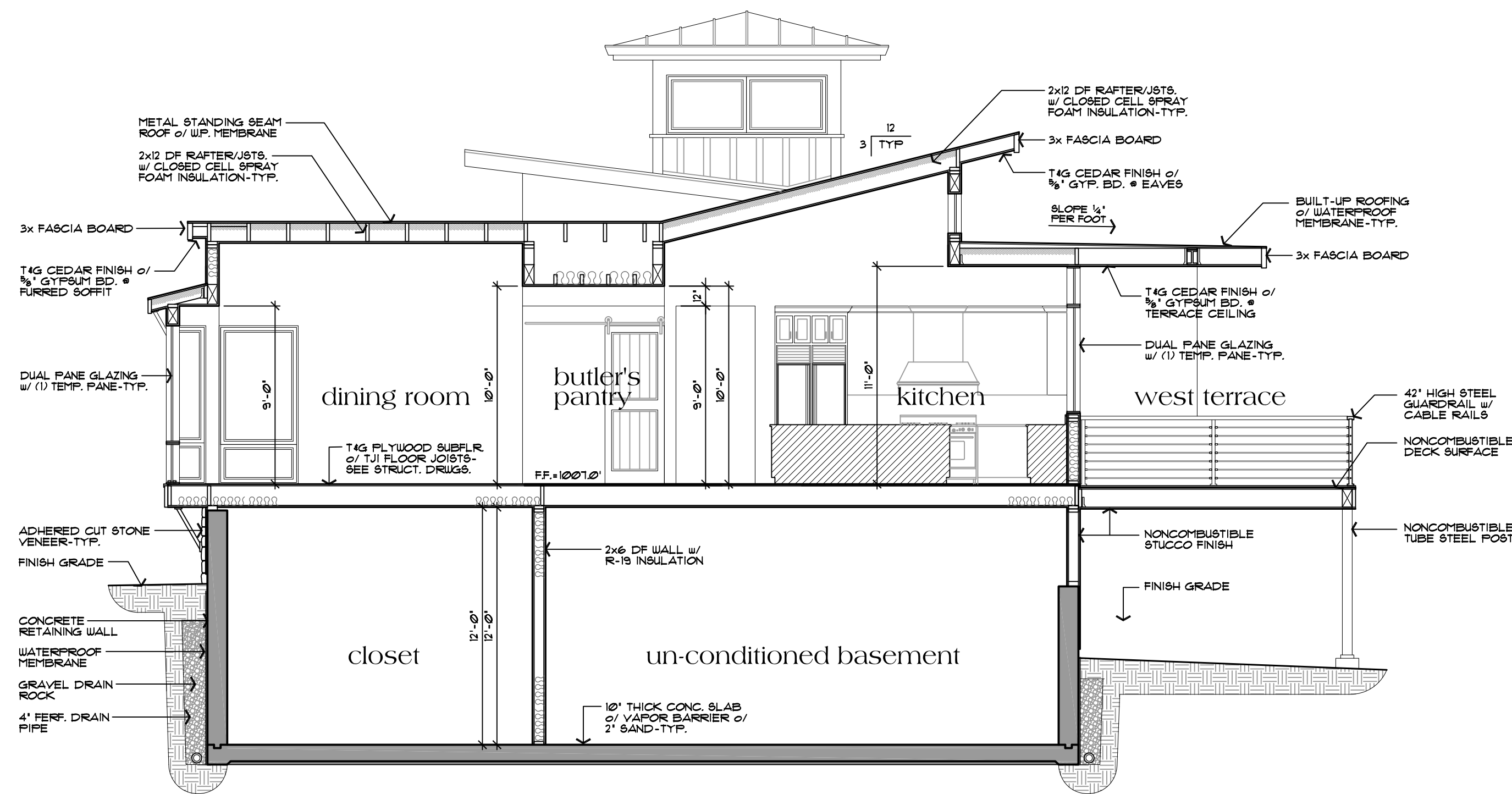
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- NOTE:
ALL SHEARWALLS SHALL BE FRAMED UP TO THE BOTTOM OF ROOF SHEATHING - TYP.
- FIRE BLOCKS & DRAFT STOPS:
FIRE STOPS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS PER CBC R302.1 & R302.2:
1) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROUS OF STUDS OR STAGGERED STUDS VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
2) AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING, AND COVE CEILING.
3) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER THE STAIRS SHALL COMPLY WITH SECTION R302.1.
4) AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET ASTM E 136 REQUIREMENTS.
5) ALL SPACES BETWEEN CHIMNEYS AND FLOORS AND CEILINGS THROUGH WHICH CHIMNEYS PASS SHALL BE FIRE-BLOCKED WITH NON-COMBUSTIBLE MATERIAL SECURELY FASTENED IN PLACE. THE FIRE-BLOCKING OF SPACES BETWEEN CHIMNEYS AND WOOD JOISTS, BEAMS OR HEADERS SHALL BE SELF-SUPPORTING OR PLACED ON STRIPS OF METAL OR METAL LATH LAID ACROSS THE SPACES BETWEEN COMBUSTIBLE MATERIAL AND THE CHIMNEY PER R603.3.



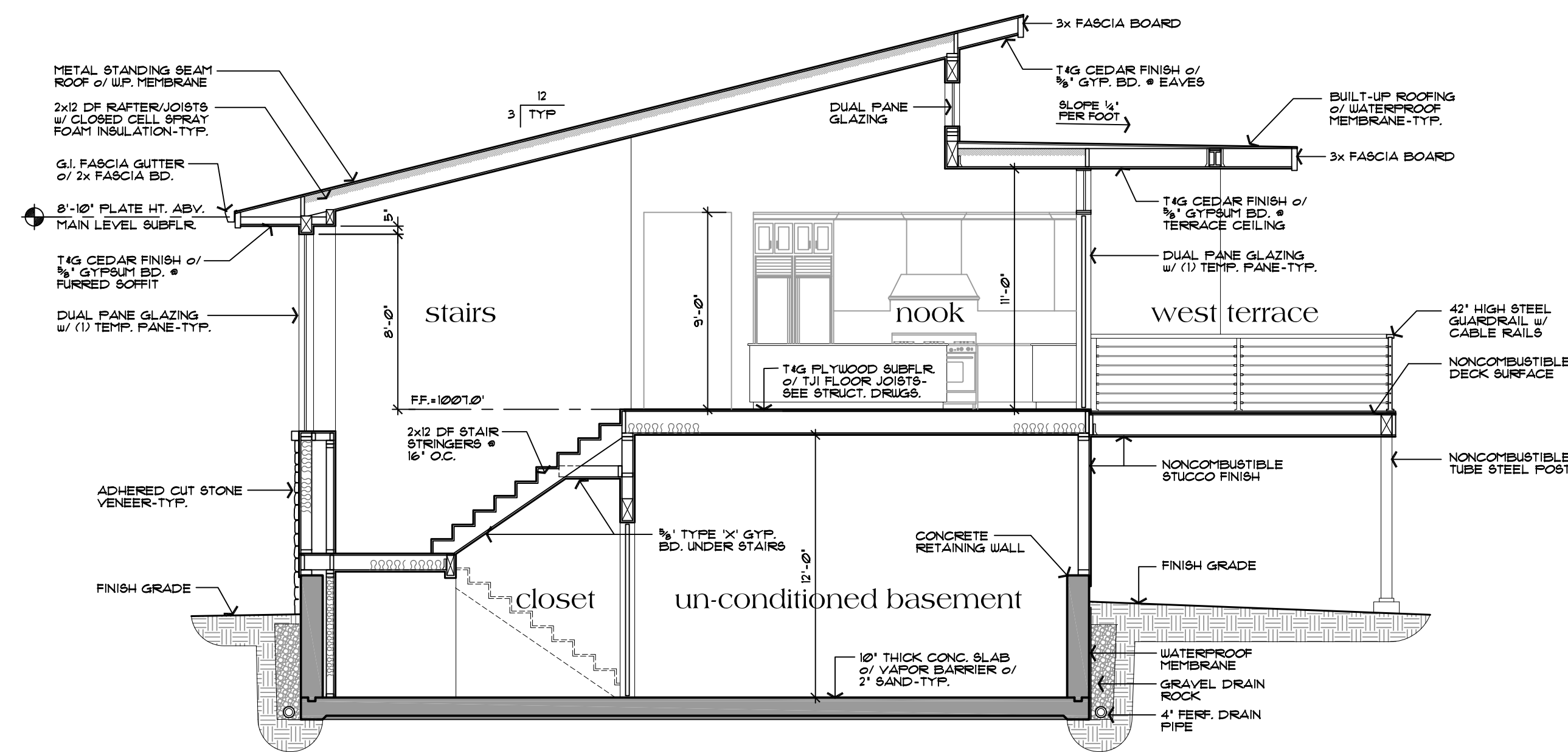
B Cross Section

SCALE: 3/16"=1'-0"



C Cross Section

SCALE: 3/16"=1'-0"



D Cross Section

SCALE: 3/16"=1'-0"

NO./ DATE/ REVISION

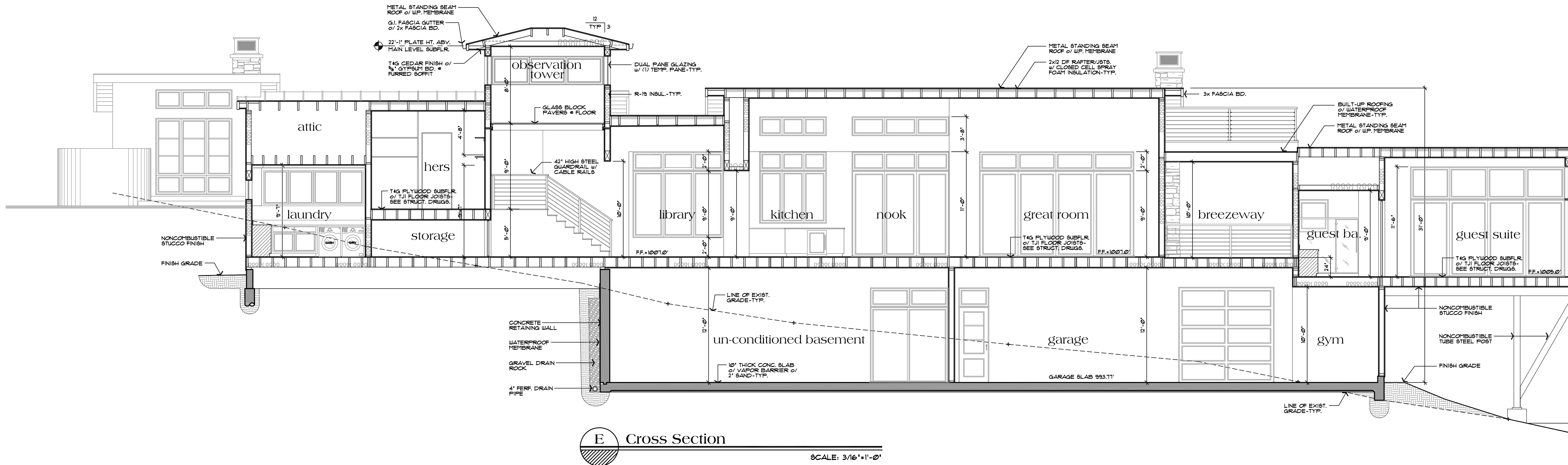
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Building Cross Sections
Hayden Residence
Cinnabar Hills Road
San Jose, California

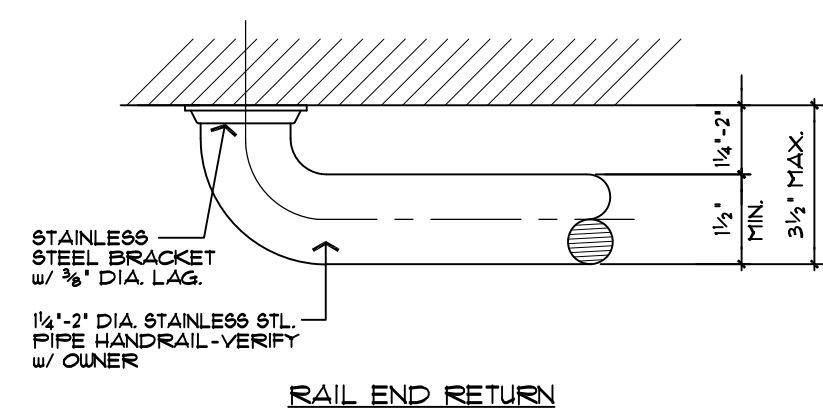
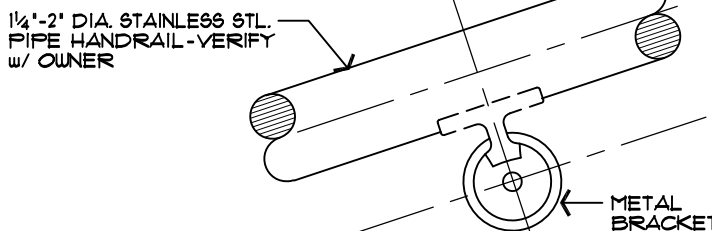
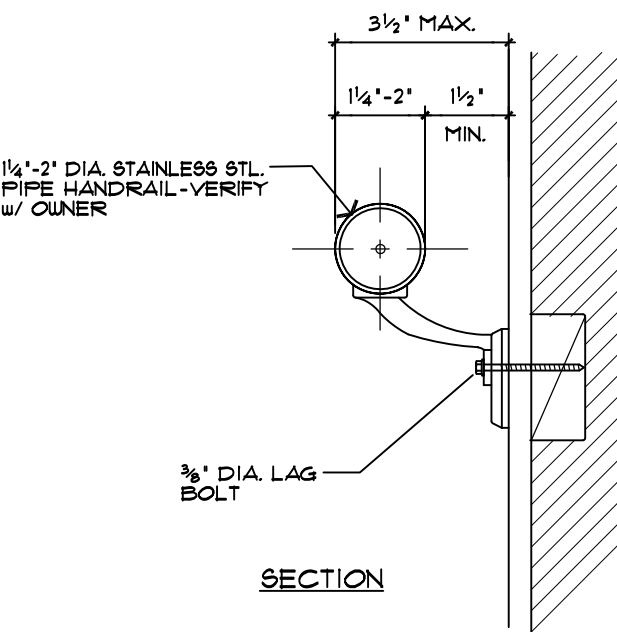
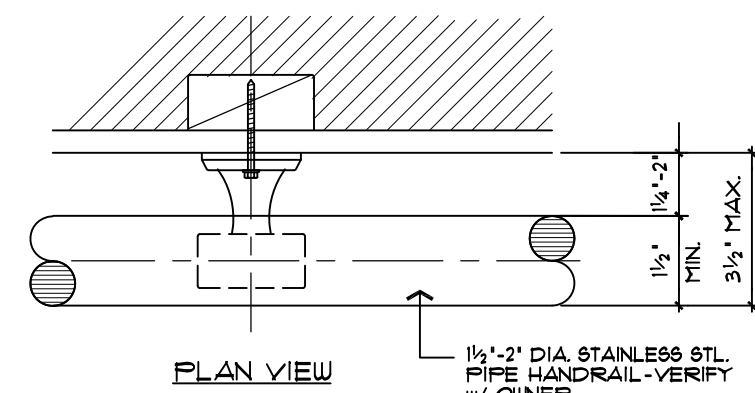
DATE: NOV. 19, 2020
SCALE: 3/16"=1'-0"
PROJECT MANAGER: M. DAVIS
DRAWN: GZ
JOB NO.: DZ3319
SHEET:

A4.1

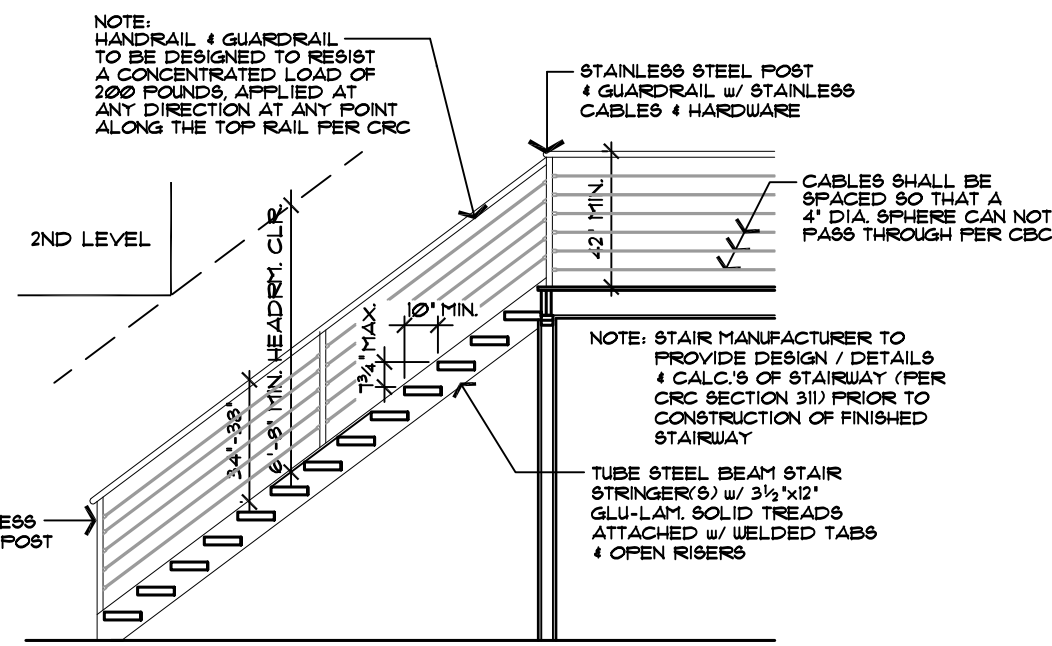


CAL Green Requirements

- 4.505.2 CONCRETE SLAB FOUNDATIONS OR CONCRETE SLAB ON GROUND FLOORS ARE REQUIRED TO HAVE A VAPOR BARRIER.
- 4.505.2.1 CONCRETE SLAB FOUNDATIONS OR CONCRETE SLAB ON GROUND FLOORS ARE REQUIRED TO HAVE A CAPILLARY BREAK.
- 4.505.2.2 BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FINISHING SHALL NOT BE ENCLOSED WHEN THE FINISHING MEMBERS EXCEED 10% MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING:
1. MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A MOISTURE METER OR A CONTACT-TYPE MOISTURE METER OR EQUIVALENT.
 2. MOISTURE READINGS SHALL BE TAKEN AT A POINT 7 FEET TO 4 FEET FROM THE GRADE-SHAPED END OF EACH PIECE TO BE VERIFIED.
 3. AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE ACCEPTED ON WALL AND FLOOR FINISHING WITH DOCUMENTATION.
- INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUFACTURERS' DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.

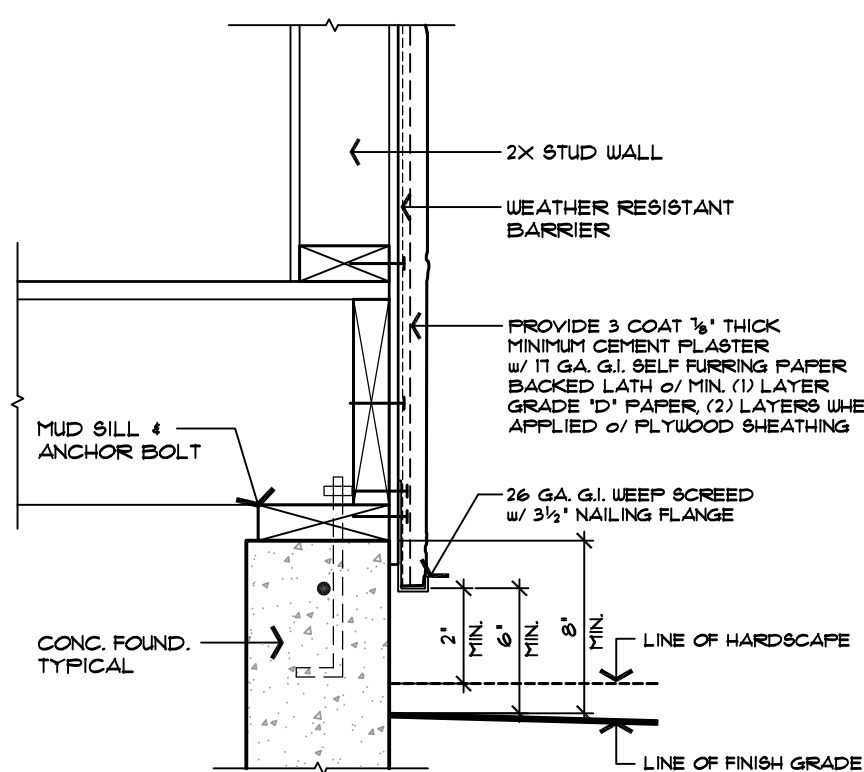


HANDRAIL & GUARDRAIL CONNECTIONS

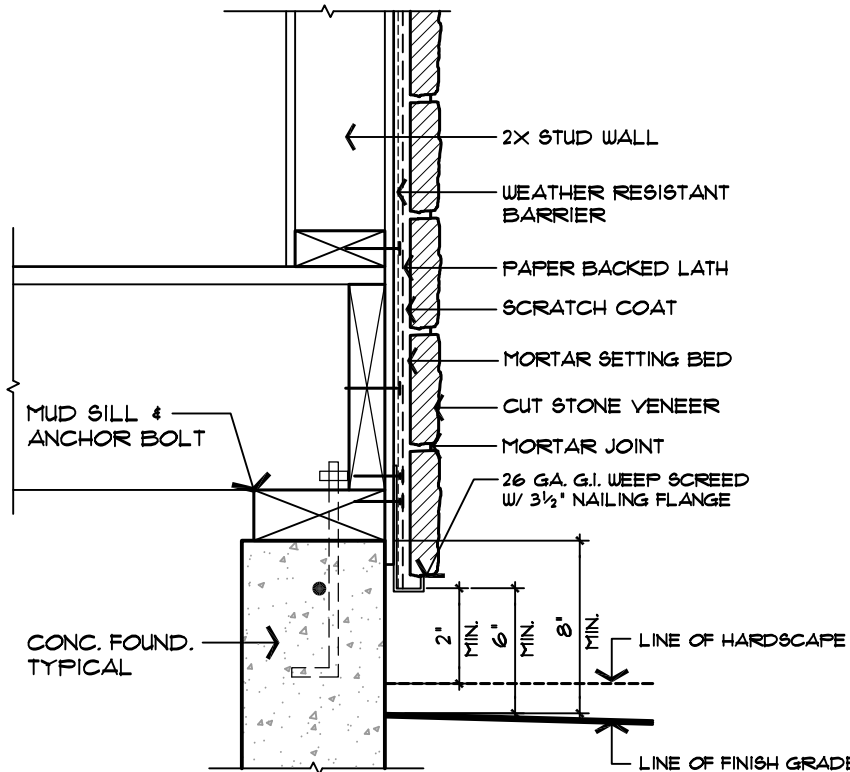


TYPICAL STAIR DETAIL

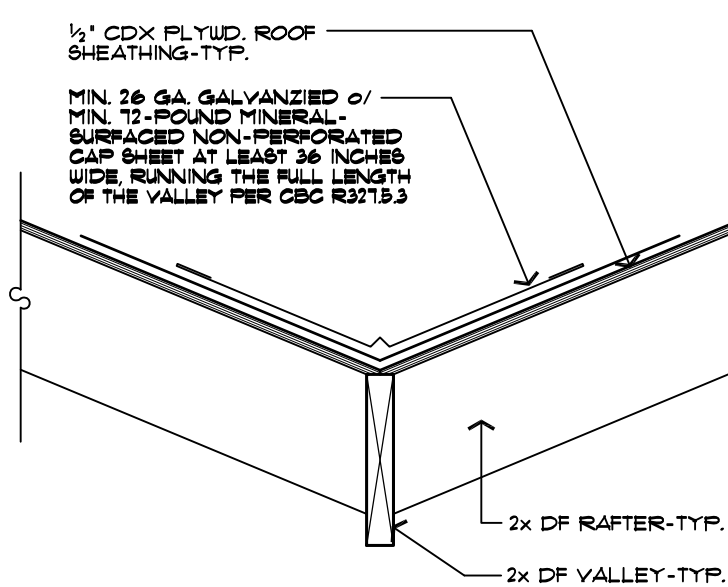
- STAIR NOTES:
1. CONTINUOUS HANDRAILS ARE REQUIRED ON AT LEAST ONE SIDE OF STAIRWAY.
 2. HANDRAIL HEIGHT SHALL BE 34\"-36\" ABOVE THE NOSING OF THE TREAD.
 3. HANDRAILS SHALL EXTEND FROM A POINT DIRECTLY ABOVE THE BOTTOM RISER TO A POINT DIRECTLY ABOVE THE TOP RISER.
 4. THE ENDS OF HANDRAILS MUST BE RETURNED TO THE WALL OR TERMINATE IN AN ANGLE POST.
 5. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE HANDRAIL AND THE WALL.
 6. HANDRAILS MUST BE DESIGNED TO SUPPORT 200 LBS LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL.
 7. GUARDRAILS SHALL NOT BE LESS THAN 42 INCHES IN HEIGHT.
 8. GUARDRAILS ARE REQUIRED AT THE OPEN SIDE OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE.
 9. ALL REQUIRED GUARDRAILS MUST HAVE INTERMEDIATE RAILS OR CABLES SPACED SO THAT A 4 INCH DIAMETER SPHERE CAN NOT PASS THROUGH, EXCEPT THAT THE TRIANGULAR SPACE FORMED BY THE BOTTOM OR A GUARDRAIL RIBBON AND STAIR TREAD MAY BE SUCH THAT A 6 INCH DIAMETER SPHERE CAN NOT PASS THROUGH.
 10. MAXIMUM VARIATION BETWEEN IN HEIGHT OF RISERS OR WIDTH OF TREADS SHALL BE 3/8 INCH.
 11. MINIMUM HEADROOM CLEARANCE MEASURED VERTICALLY FROM THE FLOOR OR CEILING FINISH TANGENT TO THE TREAD NOSING SHALL BE 6'-8\" CLEAR.
 12. MAXIMUM VERTICAL DISTANCE BETWEEN STAIRWAY LANDINGS SHALL BE 12'-0\".
 13. STAIR TREAD NOSINGS ARE REQUIRED AT STAIRS WITH A TREAD LESS THAN 11 INCHES.



TYPICAL DRIP SCREED DETAIL



ADHERED STONE VENEER DETAIL



TYPICAL VALLEY FLASHING - W.U.I.

NO.	DATE/ REVISION

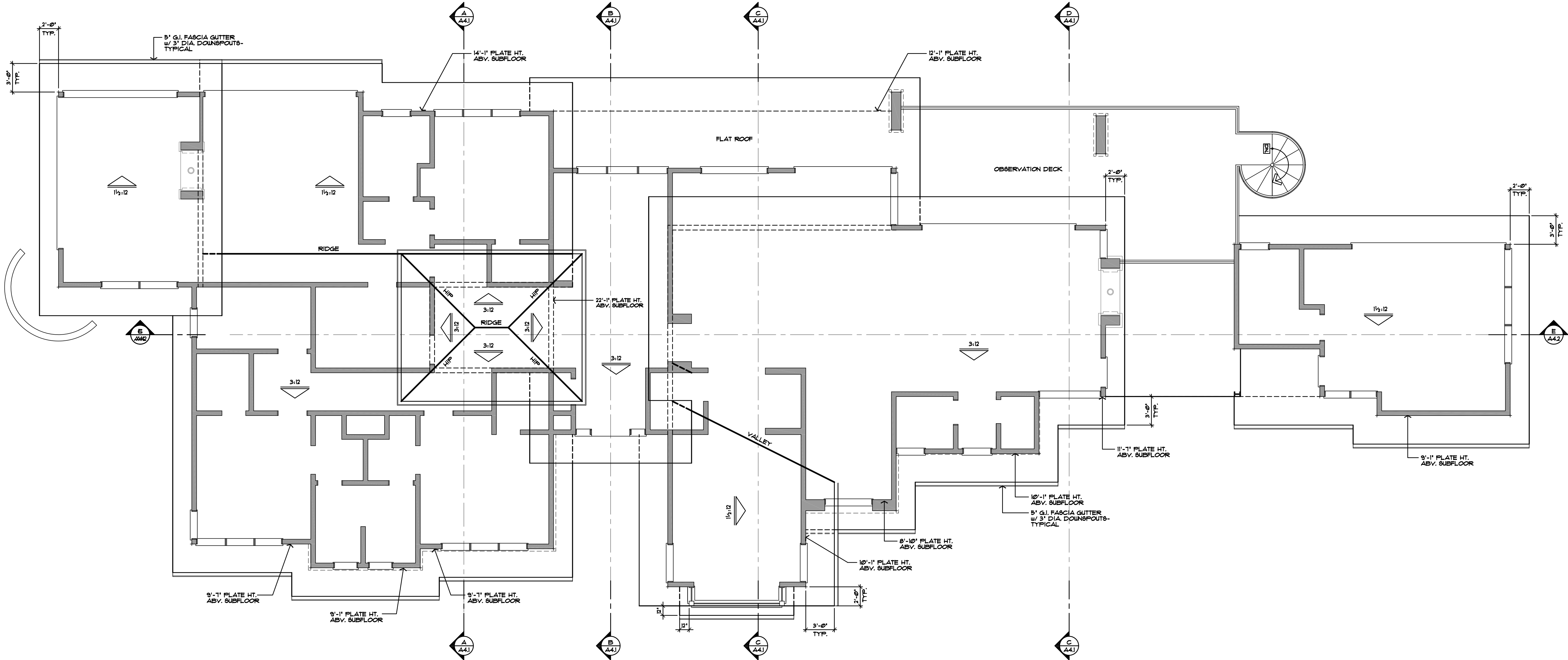
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DRAWING TITLE	Building Cross Sections
JOB TITLE	Hayden Residence
JOB ADDRESS	Cinnabar Hills Road San Jose, California

DATE	NOV. 19, 2020
SCALE	3/16" = 1'-0"
PROJECT MANAGER	M. DAVIS
DRAWN	GZ
JOB NO.	DZ3319
SHEET	

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Roof Plan

ROOF PLAN NOTES:


ROOF SLOPE SHALL BE 3:12 UNO.
ARROWS INDICATE DIRECTION OF ROOF SLOPE.
PLATE HEIGHT IS TO BE 10'-1" UNO.
OVERHANGS ARE TO BE 36" AT EAVES & 24" AT GABLES UNO.
PROVIDE EAVE VENTS FOR ATTIC VENTILATION PER CBC TYPICAL.
INSTALL G.I. MATERIAL ROOF JACKS FOR PLUMBING VENTS, ETC. AS REQUIRED.
PROVIDE 26 GA. G.I. FASCIA GUTTER w/ 3' DIA. DOWNSPOUTS. ALL DOWNSPOUTS SHALL DIRECT RAINWATER ONTO VEGETATED AREAS.

scale: 3/16"=1'-0"

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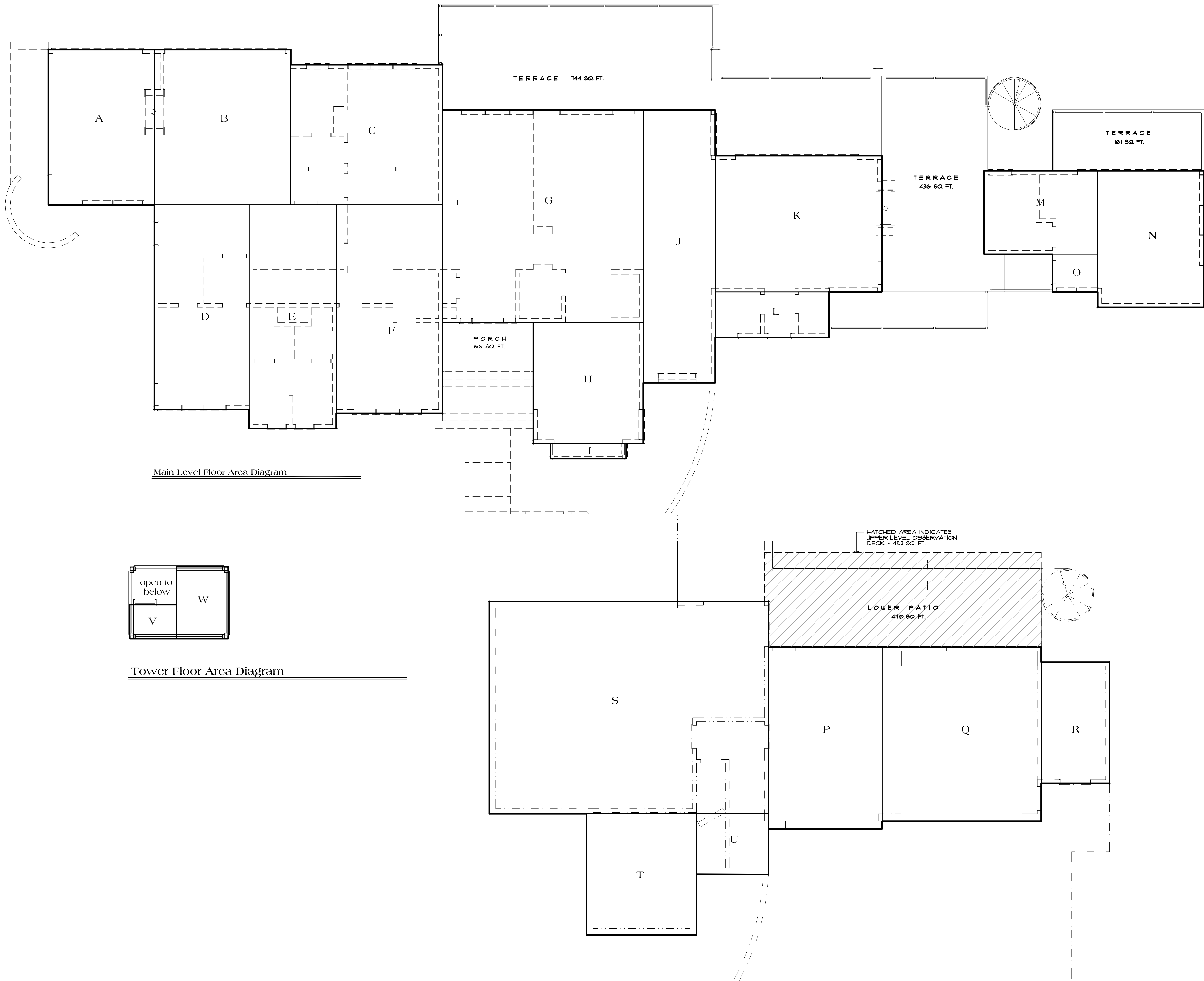
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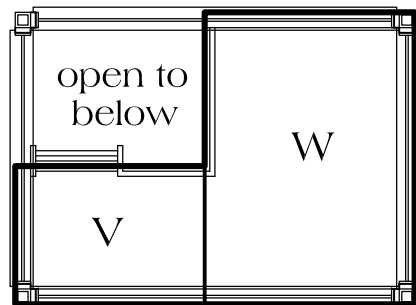
DRAWING TITLE	Roof Plan
JOB TITLE	Hayden Residence
JOB ADDRESS	Cinnabar Hills Road San Jose, California

DATE	NOV. 19, 2020
SCALE	3/16"=1'-0"
PROJECT MANAGER	T. DAVIS
DRAWN	GZ
JOB NO.	DZ3319
SHEET	

A5



Main Level Floor Area Diagram



Tower Floor Area Diagram

Lower Level Floor Area Diagram

FLOOR AREA CALCULATION

MAIN LIVING AREA

- A. 14'-0" x 20'-6" = 287.0 SQ. FT.
- B. 18'-0" x 20'-6" = 369.0 SQ. FT.
- C. 20'-0" x 10'-4" = 366.6 SQ. FT.
- D. 12'-6" x 27'-6" = 337.5 SQ. FT.
- E. 11'-6" x 29'-6" = 339.3 SQ. FT.
- F. 13'-10" x 27'-6" = 380.3 SQ. FT.
- G. 26'-6" x 28'-0" = 744.0 SQ. FT.
- H. 14'-8" x 16'-0" = 234.6 SQ. FT.
- I. 10'-0" x 2'-0" = 20.0 SQ. FT.
- J. 13'-10" x 22'-0" = 342.0 SQ. FT.
- K. 22'-0" x 18'-0" = 396.0 SQ. FT.
- L. 15'-0" x 6'-0" = 90.0 SQ. FT.

MAIN LIVING TOTAL = 3,535.3 SQ. FT. ● 3,535 SQ. FT.

GUEST SUITE

- M. 15'-0" x 11'-0" = 165.0 SQ. FT.
- N. 14'-0" x 18'-0" = 252.0 SQ. FT.
- O. 6'-0" x 5'-0" = 30.0 SQ. FT.

GUEST SUITE = 447.0 SQ. FT. ● 447 SQ. FT.

GARAGE AREA

- P. 15'-0" x 11'-0" = 360.0 SQ. FT.
- Q. 21'-0" x 23'-0" = 483.0 SQ. FT.
- R. 9'-0" x 15'-0" = 96.0 SQ. FT.

GARAGE TOTAL = 939.0 SQ. FT. ● 939 SQ. FT.

STORAGE AREA

- S. 36'-10" x 28'-0" = 1,031.2 SQ. FT.
- T. 14'-6" x 16'-0" = 232.0 SQ. FT.
- U. 9'-6" x 8'-0" = 76.0 SQ. FT.

STORAGE TOTAL = 1,339.2 SQ. FT. ● 1,339 SQ. FT.

TOWER

- V. 6'-2" x 4'-6" = 27.7 SQ. FT.
- W. 6'-10" x 9'-6" = 64.91 SQ. FT.

TOWER TOTAL = 92.6 SQ. FT. ● 93 SQ. FT.

- MAIN LIVING 3,535 SQ. FT.
- GUEST SUITE 447 SQ. FT.
- TOTAL LIVING 3,982 SQ. FT.
- TOWER 93 SQ. FT.
- GARAGE 939 SQ. FT.
- STORAGE AREA 1,339 SQ. FT.
- ENTRY PORCH 66 SQ. FT.
- GROSS FLOOR AREA 6,419 SQ. FT.

- REAR TERRACES 1341 SQ. FT.
- LOWER PATIO 470 SQ. FT.
- OBSERVATION DECK 452 SQ. FT.
- TOTAL TERRACES/DECKS 2,263 SQ. FT.
- (NOT COUNTED IN GROSS FLOOR AREA)

NO./ DATE/ REVISION

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Floor Area Diagrams
Hayden Residence
Cinnabar Hills Road
San Jose, California

DATE NOV. 19, 2020
SCALE N.T.S.
PROJECT MANAGER M. DAVIS
DRAWN GZ
JOB NO. DZ3319
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