GENERAL NOTES

- 1. A GRADING PERMIT FROM THE BUILDING DIVISION IS REQUIRED. ALL GRADING SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF SAN MARTIN AND SANTA CLARA COUNTY MUNICIPAL
- CODE, THESE PLANS, SPECIAL INSTRUCTION ON THE PERMIT, AND ALL SUBSEQUENT ADDENDUMS. A PRE-GRADING MEETING AT THE SITE IS REQUIRED AMONG THE CITY AND COUNTY INSPECTOR, THE CIVIL ENGINEER AND THE GRADING CONTRACTOR
- HOURS OF OPERATION ARE 7:00 A.M. TO 7:00 P.M. WEEKDAYS AND WEEKEND, EXCEPT
- SEPARATE PERMITS SHALL BE REQUIRED FOR ANY IMPROVEMENT WORK IN THE PUBLIC RIGHT-OF-WAY
- CONSTRUCTION MATERIAL AND EQUIPMENT SHALL NOT OCCUPY ANY PORTION OF THE PUBLIC RIGHT-OF-WAY, SUCH AS STREET, ALLEY OR PUBLIC SIDEWALK AT ANY TIME. TEMPORARY USE OF PUBLIC RIGHT-OF-WAY, WHENEVER REQUESTED, SHOULD BE REVIEWED AND APPROVED BY
- REPAIR OR REPLACE ALL EXISTING DAMAGED OR ALTERED PUBLIC IMPROVEMENTS AS REQUIRED BY THE CITY AND COUNTY ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PRESERVATION AND OR PERPETUATION OF ALL EXISTING MONUMENTS AND STAKES WITHIN THE CONTRACTOR'S AREA OF WORK. THE PERMISSION. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 15 WORKING DAYS NOTICE TO THE CITY ENGINEER PRIOR TO DISTURBANCE OR REMOVAL OF EXISTING MONUMENTS OR STAKES. THE CONTRACTOR SHALL UTILIZE THE SERVICES OF A CALIFORNIA LICENSED LAND SURVEYOR TO RESET ALL DISTURBED OR REMOVED MONUMENTS AND STAKES OR PROVIDE WITNESS MONUMENTS, AND FILE THE REQUIRED DOCUMENTATION WITH THE COUNTY SURVEYOR PURSUANT TO THE BUSINESS AND PROFESSIONS CODE SECTION 8771
- PRIOR TO TAKING WATER FROM A CITY FIRE HYDRANT, THE CONTRACTOR SHALL MAKE
- LOCATION, DEPTH AND EXISTENCE OF UNDERGROUND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE POSITIONS BASED UPON INFORMATION AVAILABLE TO THE ENGINEER. THE CONTRACTOR SHALL EXCAVATE INSPECTION HOLES "POT HOLES" AND DETERMINE THE LOCATION AND DEPTH OF ALL UNDERGROUND STRUCTURES AND UTILITIES THAT ARE IN THE VICINITY OF AND/OR MAY BE AFFECTED BY THE PROPOSED IMPROVEMENT WORK PRIOR TO ANY
- STRICT ADHERENCE TO DUST CONTROL REQUIREMENTS SHALL BE ENFORCED AND ADJACENT
- SEPARATE PERMITS FROM THE BUILDING DIVISION SHALL BE REQUIRED FOR ALL WALLS.
- 12. AN APPROVED PRECISE GRADING PLAN WILL BE REQUIRED PRIOR TO A BUILDING PERMIT BEING
- 13. THE DESIGN CIVIL ENGINEER OF RECORD SHALL EXERCISE SUFFICIENT CONTROL DURING GRADING AND CONSTRUCTION TO INSURE COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE REQUIREMENTS WITHIN HIS PURVIEW. THE ENGINEERS SHALL SUBMIT ACKNOWLEDGMENT CONCERNING EMPLOYMENT FORM TO THE CITY PRIOR TO THE ISSUANCE OF A GRADING PERMIT
- 14. REVISIONS TO THE PLANS ARE TO BE SUBMITTED TO THE CITY AND COUNTY ENGINEER FOR
- 15. ALL GRADING SHALL BE PERFORMED UNDER THE SUPERVISION OF THE CIVIL ENGINEER WHO SHALL CERTIFY THAT ALL FILL HAS BEEN PROPERLY PLACED AND WHO SHALL SUBMIT A FINAL COMPACTION REPORT FOR ALL FILLS OVER 1' DEEP.
- 16. THE SOILS ENGINEER SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYONS, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND TO DETERMINE THE PRESENCE OR ABSENCE OF SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, DRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE
- 17. FILL AREAS SHALL BE CLEANED OF ALL VEGETATION AND DEBRIS, SCARIFIED TO A MINIMUM DEPTH OF 12 INCHES AND INSPECTED BY THE CIVIL ENGINEER PRIOR TO THE PLACING OF
- 18. ALL DELETERIOUS MATERIALS, I.E., LUMBER, LOGS, BRUSH, OR ANY OTHER ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.
- 19. UNSUITABLE MATERIALS, SUCH AS TOPSOIL, WEATHERED BEDROCK, ETC., SHALL BE REMOVED AS REQUIRED BY CIVIL ENGINEER FROM ALL AREAS TO RECEIVE COMPACTED FILL OR DRAINAGE STRUCTURE
- 20. WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE CIVIL ENGINEER, THE CIVIL ENGINEER SHALL SUBMIT DESIGN, LOCATIONS AND CALCULATIONS TO THE CITY ENGINEER PRIOR TO CONSTRUCTION. THE CIVIL ENGINEER WILL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
- 21. ALL CUT SLOPES SHALL BE INVESTIGATED, BOTH DURING AND AFTER GRADING BY THE CIVIL ENGINEERING, TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS, THE CIVIL ENGINEER SHALL RECOMMEND NECESSARY TREATMENT TO THE CITY ENGINEER FOR APPROVAL. ALL APPROVALS TO BE GRANTED ON THE BASIS OF DETAILED GEOLOGICAL MAPPING AND WRITTEN FIELD MEMO.
- 22. STABILITY CALCULATIONS WITH A SAFETY FACTOR OF AT LEAST ONE AND FIVE TENTHS (1.5) SHALL BE SUBMITTED BY THE CIVIL ENGINEER TO THE ENGINEERING DIVISION FOR CUT AND FILL SLOPES STEEPER THAN 2 TO 1 OR OVER 30' IN VERTICAL HEIGHT.
- 23. MAXIMUM CUT AND FILL SLOPES = 2 TO 1.
- 24. PROVIDE 4' WIDE BY 1' HIGH BERM OR EQUIVALENT ALONG THE TOP OF ALL FILL SLOPES OVER 5' HIGH, EXCEPT WHERE SHOWN OTHERWISE ON PLANS.
- 25. ALL SLOPES SHALL BE VEGETATED/PLANTED FOR EROSION CONTROL.
- 26. TERRACE DRAINS, INTERCEPTOR DRAINS AND DOWN DRAINS SHALL BE CONSTRUCTED OF 4" C.C. (OR GUNITE) REINFORCED WITH 6" X 6" - 2 1.4 X 1.4 W.W.M. REBAR SHALL BE GRADE 60 BILLET STEEL CONFORMING TO ASTM A615.
- 27. GROUND SHALL BE PRE-WETTED PRIOR TO THE PLACEMENT OF CONCRETE. MOISTURE LOSS RETARDANT SHALL BE USED WHEN REQUIRED BY THE CIVIL ENGINEER/CITY ENGINEER.

- 31. CITY AND COUNTY APPROVAL OF PLANS DOES NOT RELIEVE THE DEVELOPER FROM HIS/HER RESPONSIBILITY TO CORRECT ERRORS AND/OR OMISSIONS DISCOVERED DURING CONSTRUCTION ANY PLAN REVISIONS SHALL BE PROMPTLY SUBMITTED TO THE CITY AND COUNTY ENGINEER FOR
- 32. ALL KNOWN WELL LOCATIONS ON THE SITE HAVE BEEN INCLUDED AND SUCH WELLS SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE CITY
- 33. ANY ABANDONED UNDERGROUND PIPES EXPOSED DURING CONSTRUCTION SHALL BE REMOVED OR ADEQUATELY PLUGGED. OR A COMBINATION OF BOTH IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY AND THE COUNTY
- 34. IF HUMAN REMAINS ARE DISCOVERED DURING THE CONSTRUCTION, UNLESS THE CORONER HAS NOT TO BE NATIVE AMERICAN, THE PERMITEE SHALL NOTIFY ALL PERSONS ON THE COUNYT'S NATIVE AMERICAN NOTIFICATION LIST OF SUCH DISCOVERY. SUCH NOTIFICATION SHALL BE SENT BY FIRST CLASS U.S. MAIL WITHIN SEVEN (7) DAYS OF THE DATE ON WHICH THE PERMITEE NOTIFIED THE CORONER AND SHALL STATE THAT THE CORONER HAS BEEN NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW.
- 35. THE CONTRACTOR SHALL ADVISE THE OWNER OF APPROPRIATE MAINTENANCE PROCEDURES OF
- LESS THAN TWICE DAILY TO CONTROL DUST. AREAS OF DIGGING AND GRADING OPERATIONS SHALL BE CONSISTENTLY WATERED TO CONTROL DUST. GRADING OR OTHER DUST-PRODUCING ACTIVITIES SHALL BE SUSPENDED DURING PERIODS OF HIGH WIND WHEN DUST IS READILY VISIBLE IN THE AIR. STOCKPILES OF SOIL, DEBRIS, SAND, OR OTHER DUST-PRODUCING MATERIALS SHALL BE WATERED OR COVERED. THE CONSTRUCTION AREA AND THE SURROUNDING STREETS SHALL BE SWEPT (NO WATER) AS NECESSARY. BUT NOT LESS THAN TWICE DAILY.

LEGEND DESCRIPTION EXISTING PROPERTY LINE EASEMENT LINE CURB AND GUTTER SIDEWALK WATER METER DOMESTIC WATER SERVICE SANITARY SEWER STORM SEWER

ABBREVIATIONS

BUILDING

AGGREGATE BASE ASPHALT CONCRETE

BLOW OFF VALVE

CABLE TELEVISION

CAST IRON PIPE

CATCH BASIN

CENTERLINE

CONCRETE

CORNER

DRIVEWAY

EX, EXIST EXISTING

COR

DWY

SLB SSMH SPUN CONCRETE PIPE

BACK FLOW PREVENTER

DROP INLET/DITCH INLET

DUCTILE IRON PIPE

EDGE OF PAVEMENT

END OF RETURN

FINISH FLOOR FINISH GRADE

FIRE HYDRANT

GRADE BREAK

FLOW LINE

JOINT POLE

LOW POINT

NATURAL GROUND

PUBLIC SERVICE EASEMENT

SANITARY SEWER MANHOLE

UNDERGROUND GAS LINE

UNDERGROUND TELEPHONE LINE

STORM DRAIN MANHOLE

PROPERTY LINE

RIGHT OF WAY

STANDARD TOP OF CURB

TYPICAL

WATER VALVE

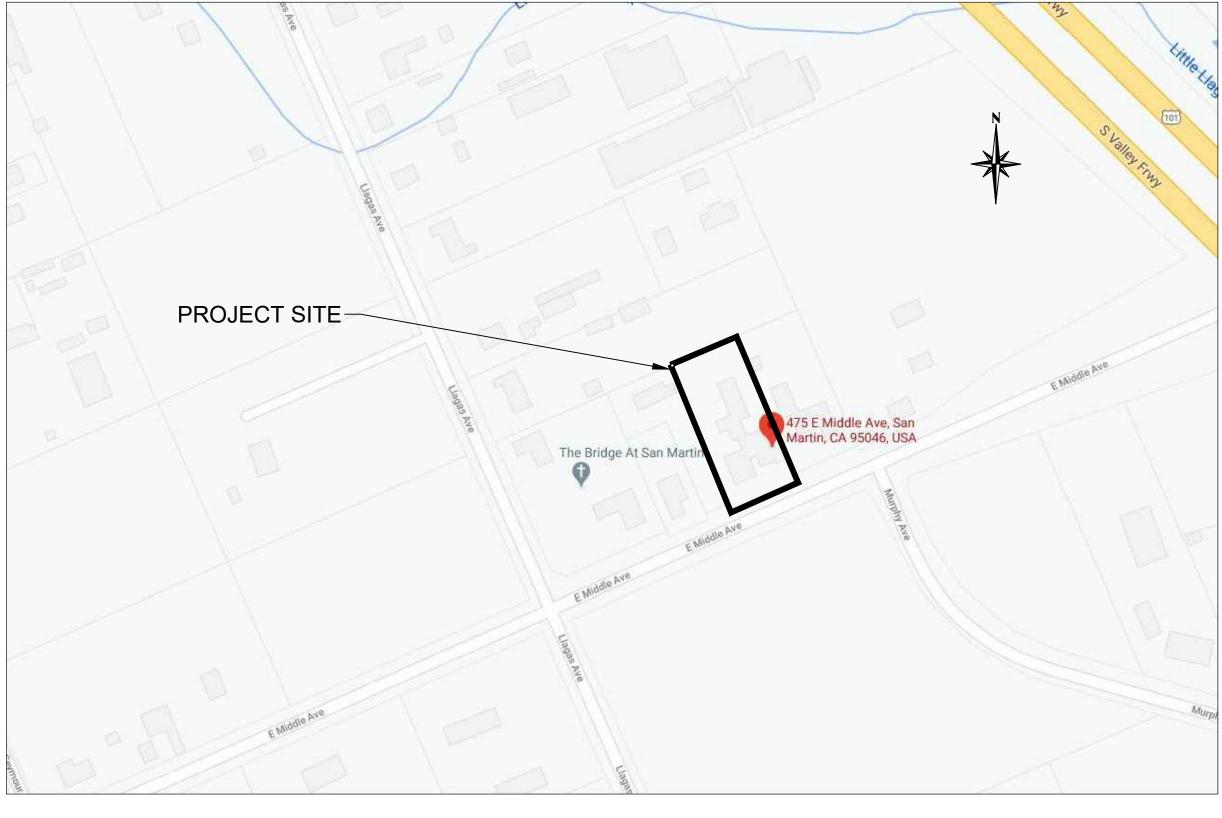
MAXIMUM MINIMUM

INVERT

DOUBLE CHECK DETECTOR ASSEMBLY

GRADING AND DRAINAGE PLANS

PARADISE RESIDENCE 475 E MIDDLE AVE. SAN MARTIN, CA. 95046 APN # 82507004 LOT AREA: 1.0 AC



INDEX OF DRAWINGS

SHEET NO.	DESCRIPTIONS
C1	COVER SHEET / NOTES
C2	SITE PLAN
C3	GRADING & DRAINAGE PLAN
C4	STORMWATER CONTROL PLAN
C 5	EROSION CONTROL PLAN
C 6	EROSION CONTROL DETAILS

DESCRIPTION	CUT	FILL	IMPORT
	VOLUME (CY)	VOLUME (CY)	VOLUME (CY)
BUILDING FOOTPRINT	85	0	0
REAR YARD	0	85	0
TOTAL	85	85	0

BENCHMARK: TEMPORARY BENCH MARK (T.B.M.) =

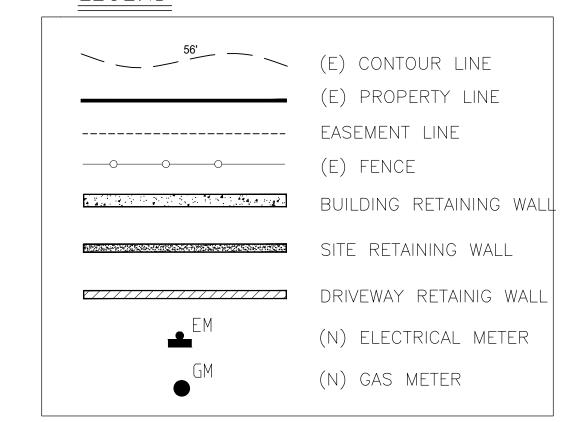
SCOPE OF WORK: 1. INSTALL EROSION CONTROL BMP 2. CUT AND FILL BUILDING PAD

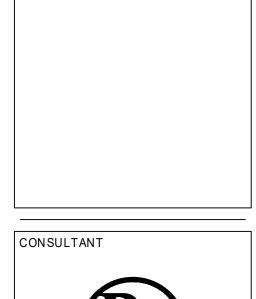
O1 VICINITY MAP C1.0 SCALE:NTS

UTILITY SCHEDULE

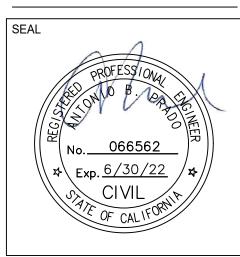
UTILITY	QTY	SIZE
WATER/FIRE SPRINKER	1	1" COPPER
SEWER	1	4" VCP
GAS	1	1.25" BIP

LEGEND







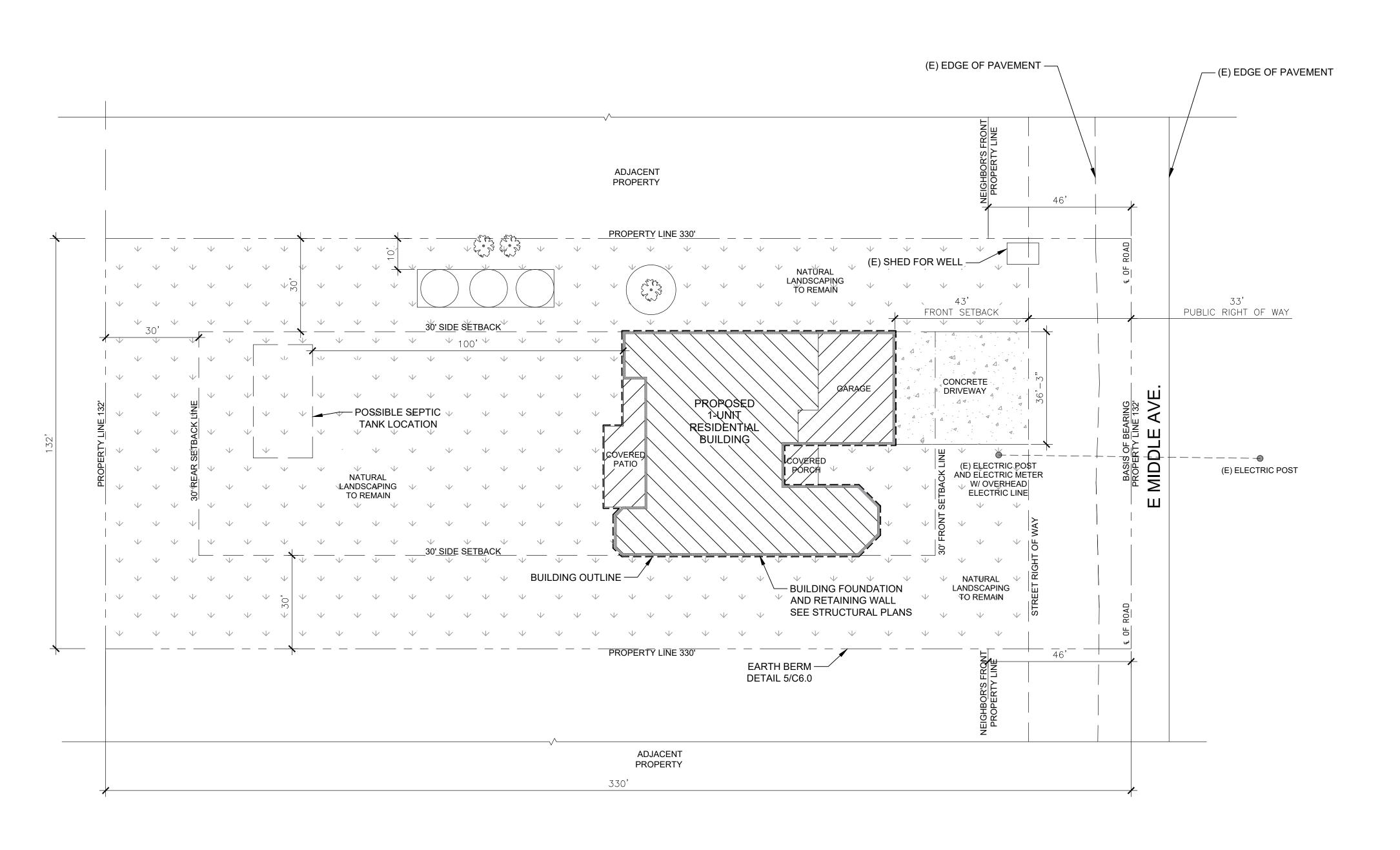


PROJECT TITLE **PARADISE RESIDENCE GRADING PLAN** 82507004 ADDRESS 475 E MIDDLE AVE. SAN MARTIN, CA. 95046

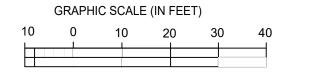
MICHAEL PARADISE ADDRESS 475 E MIDDLE AVE. SAN MARTIN, CA. 95046

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	#	DATE	DESCRIPTION	
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DATE:_				
	DRAWN BY :		JLV	
	CHEC	CKED BY :	JLV, ABP	
	DATE	:	01/26/2021	

JOB NUMBER :



SITE PLAN AND LANDSCAPING PLAN C2.0 SCALE:1":20'

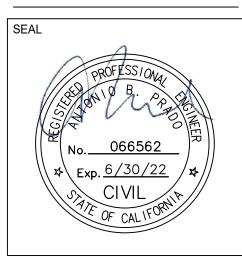




CONSULTANT



3505 GLENWOOD DR. FAIRFIELD CA 94533 TEL. (415) 889-0878



PROJECT TITLE

PARADISE RESIDENCE GRADING PLAN

N#: 82507004

475 E MIDDLE AVE.

OWNER

MICHAEL PARADISE

SAN MARTIN, CA. 95046

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475 E MIDDLE AVE. SAN MARTIN, CA. 95046

INFO	REVIS	IONS
#	DATE	DESCRIPTION
DRAW	/N BY :	JLV
CHEC	KED BY :	JLV, ABF
DATE		01/26/2021
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SHEET #

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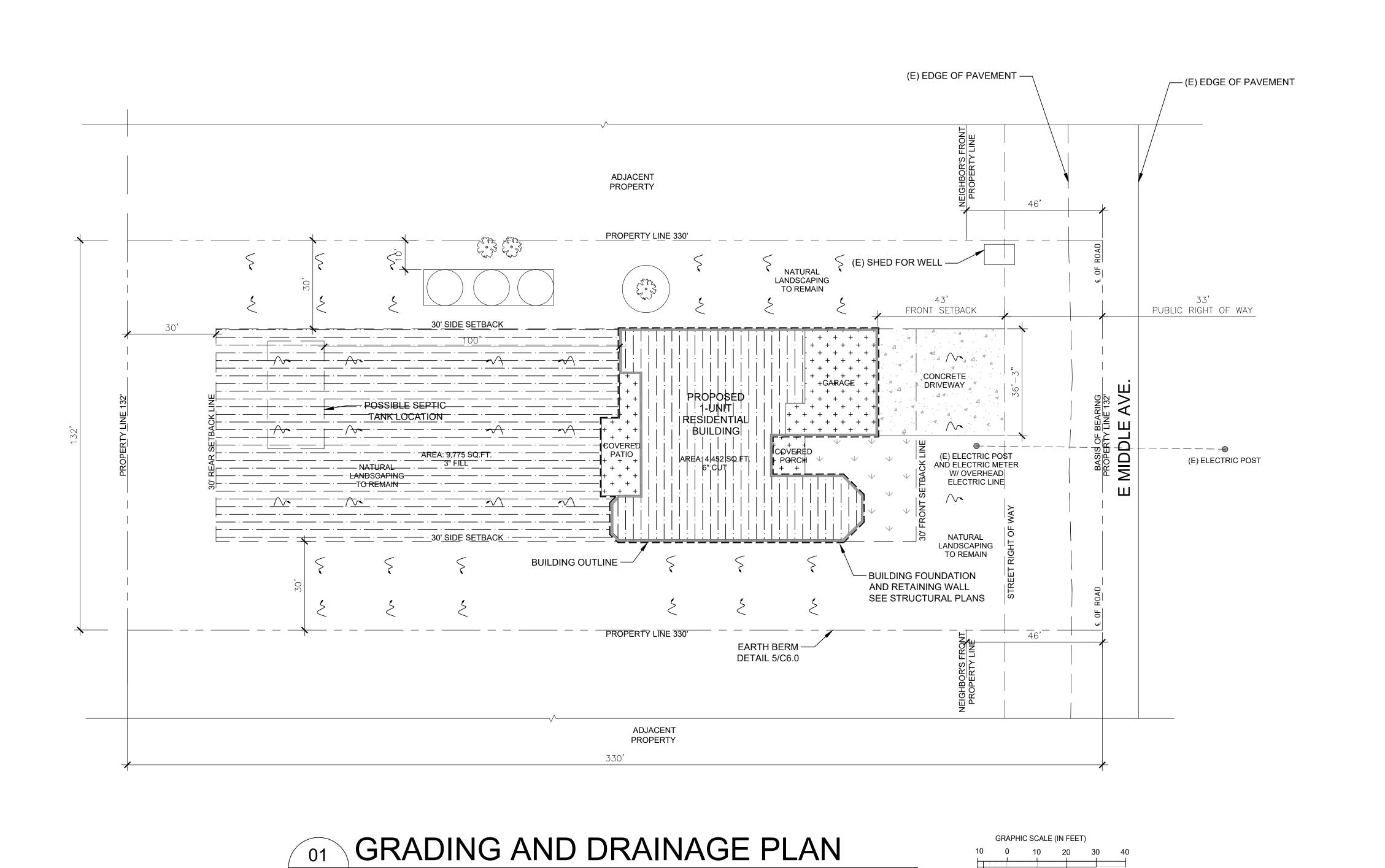
PROJECT NORTH GEODETIC NORTH

- CONCRETE SLAB

- LANDSCAPING

- PROPERTY LINE

LEGEND



CUT	FILL	EXPORT
VOLUME (CY)	VOLUME (CY)	VOLUME (CY)
85	0	0
0	85	0
85	85	0
	VOLUME (CY) 85 0	VOLUME (CY) 85 0 85 85

C3.0 | SCALE:1":20'

FILL

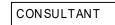
LEGEND

ON-GRADE

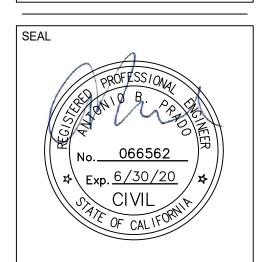
- CONCRETE SLAB

- LANDSCAPING

----- - PROPERTY LINE







PROJECT TITLE

PARADISE RESIDENCE GRADING PLAN

N#: 82507004

475 E MIDDLE AVE.

OWNER

MICHAEL PARADISE

SAN MARTIN, CA. 95046

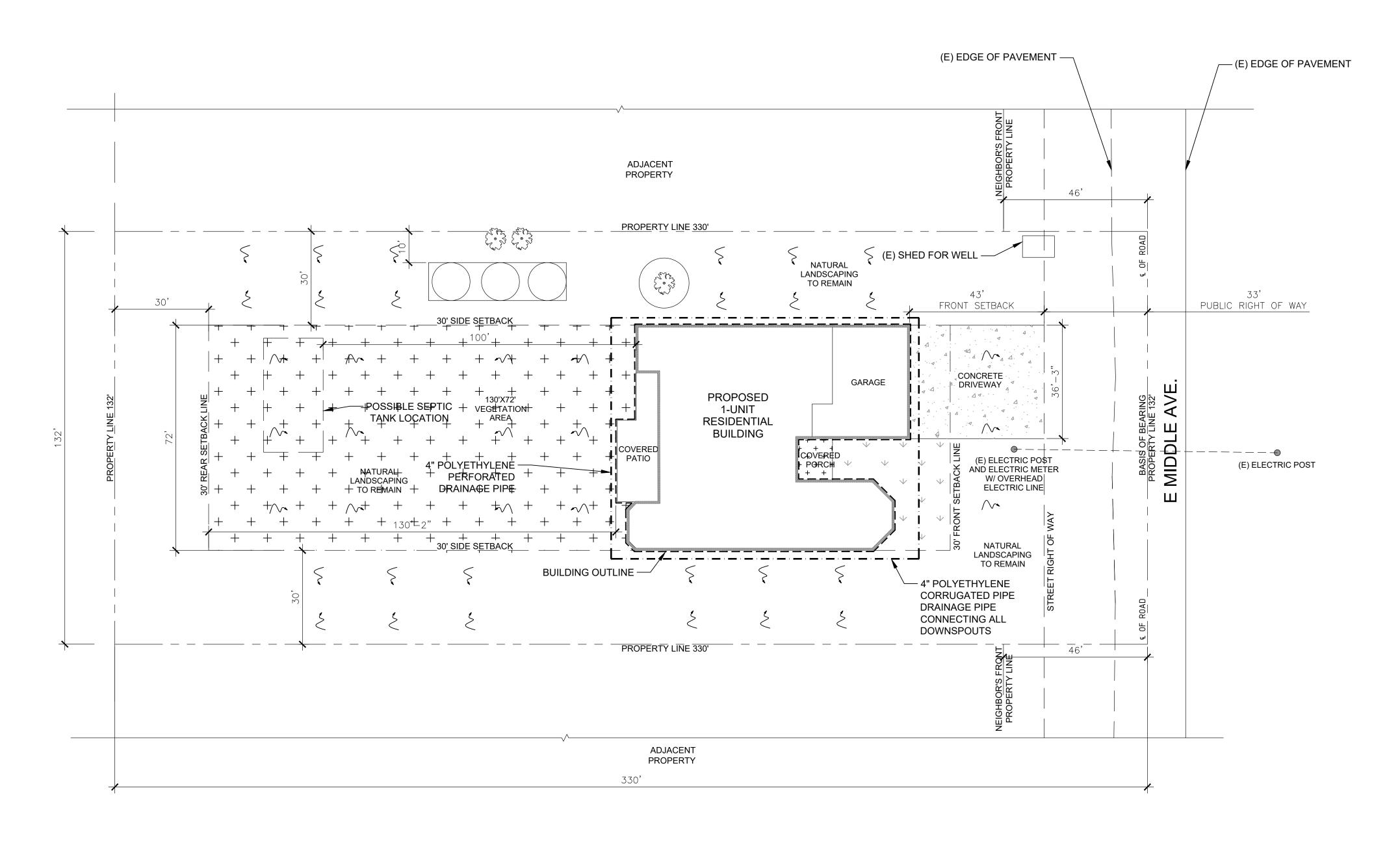
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475 E MIDDLE AVE. SAN MARTIN, CA. 95046

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		DATE	:	01/26/2021

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APPROVED BY OWNER:	\sim
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PROJECT NORTH GEODETIC NORTH





AREA SUMMARY:

GRAPHIC SCALE (IN FEET)

10 0 10 20 30 40

CUT

LEGEND

- BUILDING AREA

- CONCRETE PAVER

- CONCRETE SLAB

- LANDSCAPING

- PROPERTY LINE

— — — - CONTOUR LINE

FILL

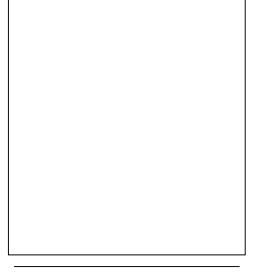
43,560 SQ.FT. LOT AREA: IMPERMEABLE AREAS GARAGE ROOF AREA: 964 SQ.FT. 4,452 SQ.FT. **BUILDING ROOF AREA: COVERED PATIO:** 441 SQ.FT. COVERED PORCH: 147 SQ.FT. 1,553 SQ.FT. DRIVEWAY: 7,557 SQ.FT. PERMEABLE AREAS 36,003 SQ.FT. LANDSCAPING AREA:

REQUIRED VEGETATION AREA:

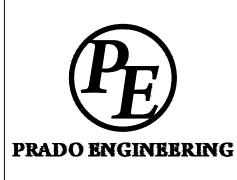
ROOF AREAS:

PROVIDED AREA:

130'X72' = 9,360 SQ.FT.



CONSULTANT





PROJECT TITLE

PARADISE RESIDENCE GRADING PLAN

APN #: 82507004

ADDRESS

475 E MIDDLE AVE. SAN MARTIN, CA. 95046

OWNER

MICHAEL PARADISE

ADDRESS

475 E MIDDLE AVE. SAN MARTIN, CA. 95046

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		DRAV	VN BY :	JLV
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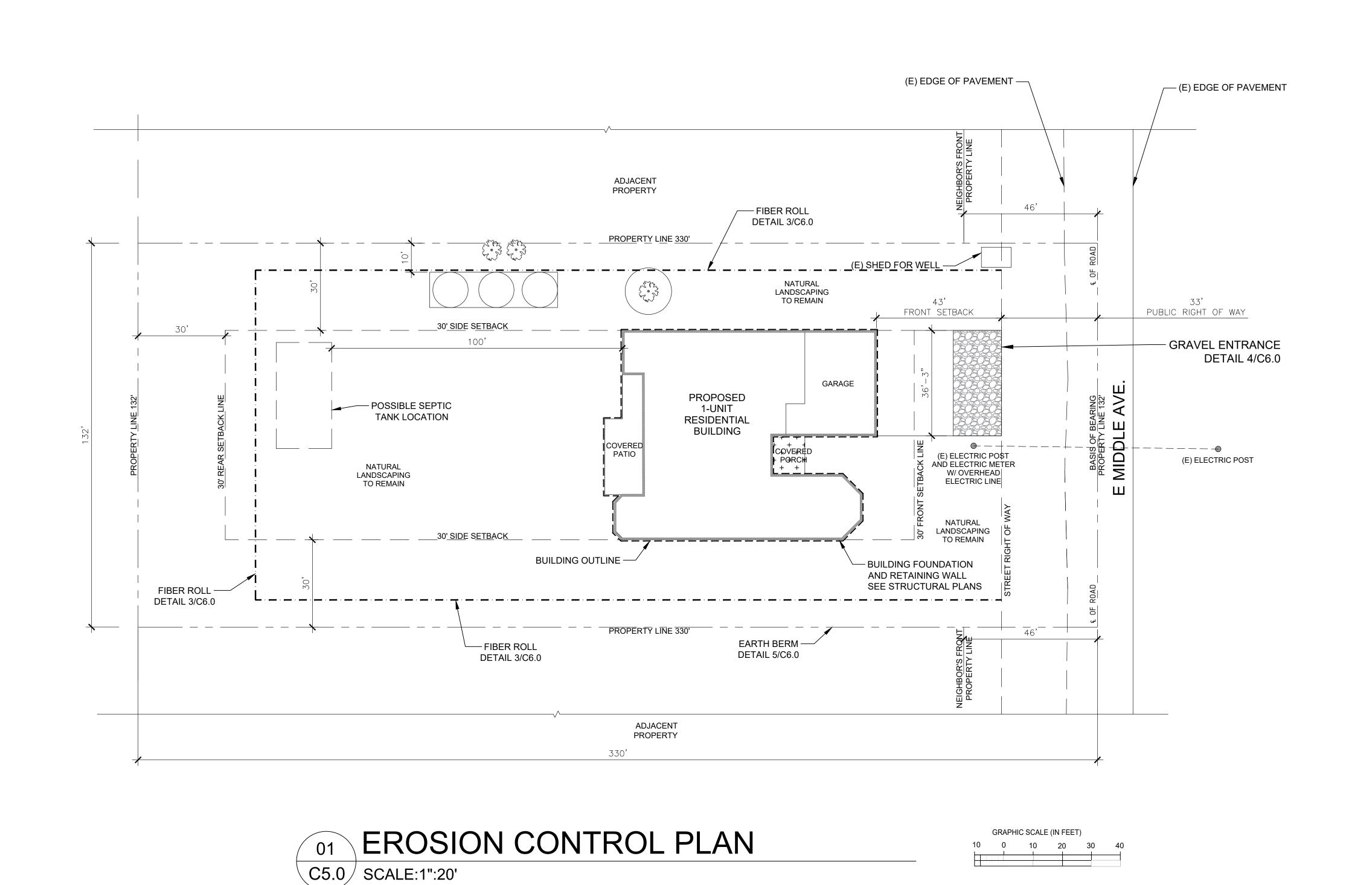
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PROJECT NORTH GEODETIC NORTH



FILL

LEGEND

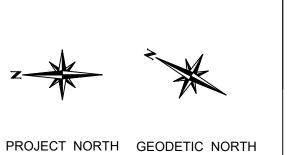
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ON-GRADE

- CONCRETE SLAB

- LANDSCAPING

----- - PROPERTY LINE



CONSULTANT

PE

PRADO ENGINEERING



PROJECT TITLE

PARADISE RESIDENCE GRADING PLAN

APN #: 82507004

475 E MIDDLE AVE.

OWNER

MICHAEL PARADISE

SAN MARTIN, CA. 95046

ADDRESS

475 E MIDDLE AVE. SAN MARTIN, CA. 95046

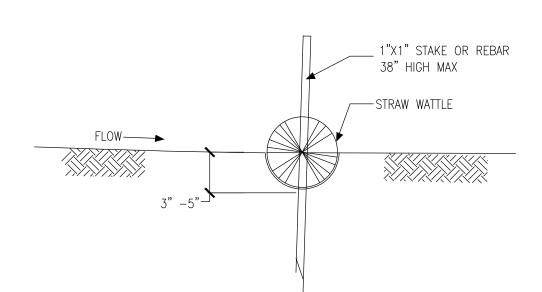
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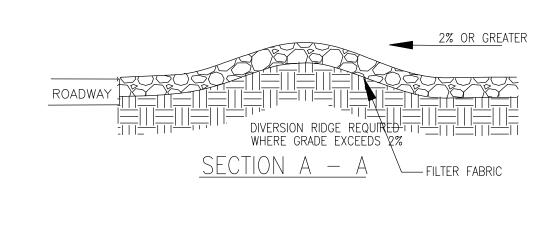
O1 NOT IN USE C6.0 SCALE:NTS

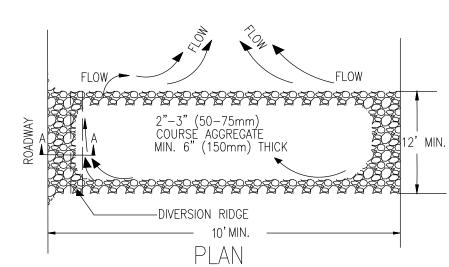
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1. FIBER ROLL SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFECIENCY 2. INSPECT AND REPAIR ROLL AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY 3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED. 4. STRAW WATTLE INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE WATTLE IN A TRENCH, 3" - 5" DEEP, DUB ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND

> FIBER ROLL DETAIL C6.0 SCALE:NTS





GRAVEL CONSTRUCTION ENTRANCE \C6.0 / SCALE:NTS

EROSION CONROL PLAN NOTES

1. ALL GRADING WORK SHALL BE WINTERIZED PRIOR TO OCTOBER 15, BY PLACING APPROPRIATE SILT FENCING, SILT FENCE/STRAW BASE DIKE AND STRAW BALES IN A MANNER TO MINIMIZE EROSION AND COLLECT SEDIMENT AND ALSO BY HYDROSEEDING AREAS DISTRURBED.

2. THIS PLAN IS INTENDED FOR EROSION CONTROL ONLY. OTHER INFORMATION SHOWN HEREIN MAY NOT BE THE MOST CURRENT.

3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND FILLING ALL PLANS WITH THE RELATED AGENCIES ASSOCIATED WITH THE WORK. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, PERMITS FOR STORAGE OF HAZARDOUS MATERIALS, BUSINESS PLANS, PERMITS FOR STORAGE OF FLAMMABLE LIQUIDS, GRADING PERMITS, OR OTHER OR PLANS PERMITS REQUIRED BY CITY OF MILPITAS. ALL PROPERTY OWNERS, CONTRACTORS, OR SUBCONTRACTORS WORKING ON-SITE ARE INDIVIDUALLY RESPONSIBLE FOR OBTAINING AND SUBMITING ANY BUSINESS PLANS OR PERMITS REQUIRED BY CITY, STATE OR LOCAL AGENCIES.

4. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED DURING THE RAINY SEASON (OCT. 15 TO MAY 15), UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THIS PLAN TO MEET FIELD CONDITIONS WILL BE MADE ONLY WITH THE APPROVAL OF, OR AT THE DIRECTION OF THE OWNER. CHANGES MADE TO SUIT FIELD CONDITIONS WILL BE MADE ONLY WITH THE APPROVAL OF OR THE DIRECTION OF THE OWNER. CHANGES MADE TO SUIT FIELD CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CIVIL ENGINEER AND CITY OF COUNTY FOR COMMENTS AND APPROVAL.

5. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AS NECESSARY AT THE END OF EACH WORKING DAY, AFTER SIGNIFICANT RAIN OR DAILY DURING THE RAINY SEASON.

6. IF SIGNIFICANT SEDIMENT OR OTHER VISUAL SYMPTOMS OF IMPURITIES ARE NOTICED IN THE STORM WATER, CONTACT THE CIVIL ENGINEER IMMEDIATELY.

7. CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND RESTORATION OF ALL ASPECTS OF THE EROSION CONTROL PLAN. SEDIMENT ON THE SIDEWALKS AND GUTTERS SHALL BE REMOVED BY SHOVEL OR BROOM AND DISPOSED APPROPRIATELY.

8. ALL EMPLOYEES, CONTRACTORS, AND SUBCONTRACTORS ARE RESPONSIBLE FOR CONFORMING TO THE ELEMENTS SHOWN ON THIS PLAN AND RELATED DOCUMENTS.

9. CONTRACTOR TO EMPLOY BEST MANAGEMENT PRACTICES (BMP'S) IN ACCODANCE WITH THE ASSOCIATION OF BAY AREA GOVERMENTS (ABAG) LATEST RECOMMENDATIONS.

10. ALL DUMPS OR OTHER TRASH STORAGE ENCLOSURES SHALL BE UTILIZED SOLELY FOR NON-HAZARDOUS MATERIALS.

11. DURING THE RAINY SEASON, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS, THE SITE SHALL MAINTAINED SO THAT A MINIMUM OF SEDIMENT-LADEN RUNOFF ENTERS THE STORM DRAIN SYSTEM. THESE PLANS SHALL REMAIN IN EFFECT UNTIL THE IMPROVEMENTS ARE ACCEPTED BY COUNTY OF SANTA CLARA AND ALL SLOPES ARE STABILIZED.

12. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF COUNTY OF SANTA CLARA 13. REMOVE SPOILS PROMPTLY AND AVOID STOCKPILING OF FILL MATERIALS WHEN RAIN IS IN FORECAST. IF RAIN IS FORECAST OR APPARENT, STOCKPILED SOILS AND OTHER MATERIALS SHALL BE COVERED WITH PLASTIC OR A TAR, AT THE REQUEST OF CITY OF SAN MARTIN OR COUNTY OF SANTA CLARA

14. STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES SO AS TO PREVENT THEIR ENTRY INTO THE STORM DRAIN SYSTEM. CONTRACTOR MUST NOT ALLOW CONCRETE, WASHWATERS, SLURRIES, PAINT OR OTHER MATERIALS TO ENTER THE CATCH BASINS, STORM DRAINAGE OR ENTER SITE RUNOFF.

15. USE FILTRATION OR OTHER APPROVED MEASURES TO REMOVE SEDIMENT FROM DEWATERING AFFLUENT.

16. NO CLEANING, FUELING OR MAINTAINING VEHICLES ON SITE SHALL BE PERMITED TO ALLOW DELETERIOUS MATERIALS FROM ENTERING THE CATCH BASINS, STORM DRAINAGE, OR ENTER SITE RUNOFF.

17. EROSION CONTROL MEASURES TO BE EMPLOYED PER "EROSION AND SEDIMENT CONTROL FIELD MANUAL", CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD-SAN FRANCISCO BAY REGION.

18. ALL BARREN AREAS GENERATED DURING THE RAINY SEASON SHALL BE COVERED WITH STRAW OR EQUIVALENT. OR WELL SECURED WITH HEAVY PLASTIC TARPS OR GRAVEL, DEPENDING ON THE LOCATION, CONDITIONS, AND FREQUENCY OF ACCESS.

19. ALL EXCESS EXCAVATED SOIL MATERIALS (SPOILS) SHALL BE PROMPTLY REMOVED FROM THE PROPERTY AFTER EXCAVATION.

20. ALL EXCESS EXCAVATED SOIL MATERIALS (SPOILS) SHALL BE LEGALLY DISPOSED OF OFFSITE AT THE OWNER-DESIGNATED LOCATION IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THE NECESSARY DOCUMENTATION FROM THE OWNER TO ASCERTAIN FOR HIMSELF THAT THE OWNER HAS LEGAL RIGHT OR PERMISSION FOR SUCH DISPOSAL TO BE MADE AT THE OWNER-DESIGNATED LOCATION.

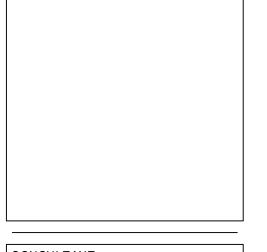
21. CONTRACTOR AND SUBCONTRACTOR SHALL COMPLY WITH THE FOLLOWING PRINCIPLES REFER TO THE DOCUMENT 'BLUEPRINT FOR A CLEAN BAY' TO

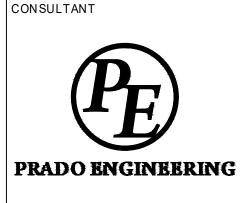
- IDENTIFY ALL STORM DRAINS, DRAINAGE SWALES AND CREEKS LOCATED NEAR THE CONSTRUCTION SITE AND MAKE SURE ALL SUBCONTRACTORS ARE AWAR OF THEIR LOCATIONS TO PREVENT POLLUTANTS FROM ENTERING THEM,
- CLEAN UP LEAKS, DRIPS, AND OTHER SPILLS IMMEDIATELY SO THEY DO NOT CONTACT STORMWATER.
- REFUEL VEHICLES AND HEAVY EQUIPMENT IN ONE DESIGNATED LOCATION ON THE SITE AND TAKE CARE TO CLEAN UP SPILLS IMMEDIATELY.
- WASH VEHICLES AT AN APPROPRIATE OFF-SITE FACILITY. IF EQUIPMENT MUSI BE WASHED ON-SITE, DO NOT USE SOAPS, SOLVENTS, DEGREASERS, OR STEAM CLEANING EQUIPMENT, AND PREVENT WASH WATER FROM ENTERING THE STORM DRAIN. IF POSSIBLE, DIRECT WASH WATER TO A LOW POINT
- NEVER WASH DOWN PAVEMENT OR SURFACES WHERE MATERIALS HAVE SPILLED. USE DRY CLEANUP METHODS WHENEVER POSSIBLE.
- AVOID CONTAMINATING CLEAN RUNOFF FROM AREAS ADJACENT TO YOUR SITE BY USING BERMS AND/OR TEMPORARY OR PERMANENT DRAINAGE DITCHES T DIVERT WATER FLOW AROUND THE SITE. REDUCE STORMWATER RUNOFF VELOCITIES BY CONSTRUCTING TEMPORARY CHECK DAMS AND/OR BERMS

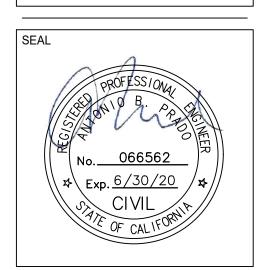
- PROTECT ALL STORM DRAIN INLETS USING FILTER FABRIC CLOTH OR OTHER BEST MANAGEMENT PRACTICES TO PREVENT SEDIMENTS FROM ENTERING THE STORM DRAINAGE SYSTEM DURING CONSTRUCTION ACTIVITIES.
- KEEP MATERIALS OUT OF THE RAIN PREVENT RUNOFF POLLUTION AT THE SOURCE. SCHEDULE CLEARING OR HEAVY EARTH MOVING ACTIVITIES FOR PERIODS OF DRY WEATHER. COVER EXPOSED PILES OF SOIL, CONSTRUCTION MATERIALS AND WASTES WITH PLASTIC SHEETING OR TEMPORARY ROOFS. BEFORE IT RAINS, SWEEP AND REMOVE MATERIALS FROM SURFACES THAT DRAIN TO STORM DRAINS, CREEKS, OR CHANNELS.
- KEEP POLLUTANTS OFF EXPOSED SURFACES. PLACE TRASH CANS AROUND THE SITE TO REDUCE LITTER. DISPOSE OF NON-HAZARDOUS CONSTRUCTION WASTES IN COVERED DUMPSTERS OR RECYCLING RECEPTACLES.
- PRACTICE SOURCE REDUCTION REDUCE WASTE BY ORDERING ONLY THE

MANUFACTURERS INSTRUCTIONS FOR MIXING AND APPLYING MATERIALS.

- AMOUNT YOU NEED TO FINISH THE JOB. • DO NOT OVER-APPLY PESTICIDES OR FERTILIZERS AND FOLLOW
- RECYCLE LEFTOVER MATERIALS WHENEVER POSSIBLE. MATERIALS SUCH AS CONCRETE, ASPHALT, SCRAP METAL, SOLVENTS, DEGREASERS, CLEARED VEGETATION, PAPER, ROCK, AND VEHICLE MAINTENANCE MATERIALS SUCH AS USED OIL, ANTIFREEZE, BATTERIES, AND TIRES ARE RECYCLABLE (CHECK WITH THE LOCAL PLANNING OR BUILDING DEPARTMENT FOR MORE INFORMATION).
- DISPOSE OF ALL WASTES PROPERLY. MATERIALS THAT CANNOT BE REUSED OR RECYCLED MUST BE TAKEN TO AN APPROPRIATE LANDFILL OR MAY REQUIRE DISPOSAL AS HAZARDOUS WASTE. NEVER THROW DEBRIS INTO CHANNELS, CREEKS OR INTO WETLAND AREAS. NEVER STORE OR LEAVE DEBRIS IN THE STREET OR NEAR A CREEK WHERE IT MAY CONTACT RUNOFF.
- ILLEGAL DUMPING IS A VIOLATION SUBJECT TO A FINE AND/OR TIME IN JAIL. BE SURE THAT TRAILERS CARRYING YOUR MATERIALS ARE COVERED DURING TRANSIT. IF NOT, THE HAULER MAY BE CITED AND FINED.
- TRAIN YOUR EMPLOYEES AND INFORM SUBCONTRACTORS ABOUT THE STORMWATER REQUIREMENTS AND THEIR OWN RESPONSIBILITIES.







PROJECT TITLE

PARADISE RESIDENCE **GRADING PLAN**

82507004

ADDRESS

475 E MIDDLE AVE. SAN MARTIN, CA. 95046

OWNER

MICHAEL PARADISE

ADDRESS

475 E MIDDLE AVE. SAN MARTIN, CA. 95046

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	DATE:_			
		DRAWN BY :		JLV
		CHEC	CKED BY:	JLV, ABP
		DATE	:	01/26/2021

JOB NUMBER :

REDUCE POLLUTION FROM CONSTRUCTION ACTIVITY:

WHERE IT CAN EVAPORATE AND/OR INFILTRATE

WHERE APPROPRIATE.