

HOUSE ADDITION for

MGD DEVELOPMENT

23205 MORA GLEN DRIVE, LOS ALTOS, CA 94024

PROJECT ADDRESS

23205 MORA GLEN DR.
LOS ALTOS, CA 94024

HOUSE ADDITION for

☐ PRELIMINARY
(NOT FOR CONSTRUCTION)

☒ PLANNING DEPARTMENT
(NOT FOR CONSTRUCTION)

☐ HEALTH DEPARTMENT

☐ BUILDING DEPARTMENT

☐ PRICING PLANS (NOT FOR
CONSTRUCTION)

CONTACT INFORMATION

OWNER

MGD DEVELOPMENT
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Los Altos, CA 94024
p: 415.254.8415

SURVEY

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ARCHITECT

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CIVIL

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PROJECT DATA

A.P.N.: 331-14-047

ZONING: R1E-1AC

OCCUPANCY: R-3

BUILDING CONSTRUCTION: TYPE V-B

LOT SIZE: 45,227 SF (1.04 ACRE)

EXISTING HOUSE SIZE: 3,924 SF = LIVING 3,130 SF + GARAGE 794 SF

NEW HOUSE SIZE: 6,926 SF = LIVING 6,025 SF + GARAGE 904 SF

SETBACKS:

FRONT: REQ. 30 FT PROVIDE: 30'-2"

SIDE: REQ. 20 FT PROVIDE: 25'-10"

REAR: REQ. 25 FT PROVIDE: 71'-0"

YARD COVERAGE: REQ. 30% PROVIDE: 15.31%

BUILDING HEIGHT: REQ. 35FT PROVIDE: 19FT

NUMBER OF STORIES: 1-STORY

SPRINKLERED: N/A

APPLICABLE CODES:

2019 CALIFORNIA BUILDING CODE

2019 CALIFORNIA RESIDENTIAL CODE

2019 CALIFORNIA ELECTRICAL CODE

2019 CALIFORNIA MECHANICAL CODE

2019 CALIFORNIA PLUMBING CODE

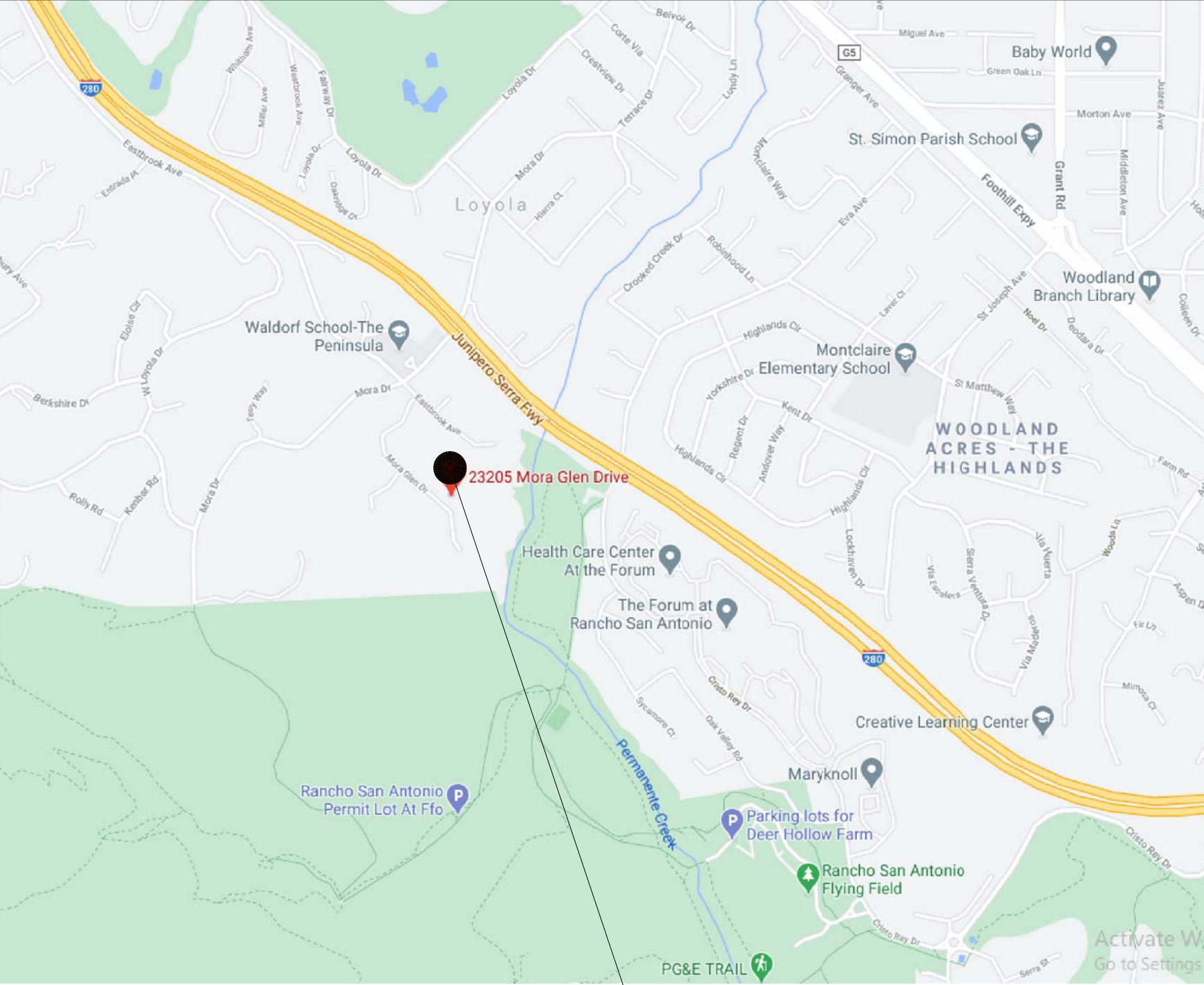
2019 CALIFORNIA ENERGY CODE

2019 CALIFORNIA FIRE CODE

2019 CALGREEN CODE

*INCLUDING LOCAL CITY ADOPTED CODES & REQUIREMENTS

VICINITY MAP



NORTH



PROJECT
LOCATION

PROJECT SCOPE

THIS IS A HOME ADDITION TO INCLUDE:

DEMOLITION

SITE/EXTERIOR
DEMOLITION OF DRIVEWAY, PORCH, AND LANDSCAPE.

INTERIORS
DEMOLITION OF WALLS, ROOF, WINDOWS AND DOORS, ELECTRICAL & PLUMBING FIXTURES.

PROPOSED

SITE/EXTERIOR
NEW DRIVEWAY, PAVED SIDEWALK, DECK, AND OUTDOOR BBQ AREA.

INTERIORS
NEW BEDROOMS, BATHROOMS, KITCHEN, FAMILY ROOM, AND LIVING ROOM.

SHEET INDEX

GENERAL

A0.0 COVER SHEET

A0.1 GENERAL NOTES

A0.2 NEIGHBOR STREET VIEWS

SURVEY

C1 BOUNDARY & TOPOGRAPHIC SURVEY

CIVIL

CC1 GRADING & DRAINAGE PLAN

ARCHITECTURAL

A1.1 (E) SITE PLAN

A1.2 (N) SITE PLAN

A1.3 AREA CALCULATION

A2.1 (E) FLOOR PLAN

A2.2 (N) FLOOR PLAN

A3.1 (E) ROOF PLAN

A3.2 (N) ROOF PLAN

A4.1 (E) EXTERIOR ELEVATIONS

A4.2 (N) EXTERIOR ELEVATIONS

A4.3 (N) EXTERIOR ELEVATIONS

A4.4 BUILDING SECTIONS

A8.1 DOOR & WINDOW SCHEDULES

STAMP

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REVISIONS

DATE	DESCRIPTION
12.11.2020	PLANNING SUBMITTAL

DATE	12.11.2020
SCALE	AS SHOWN
PROJECT ID	2020.137
DRAWN BY	KS/GY

COVER SHEET

SHEET TITLE

SHEET NO.

A0.0

PLANNING SET NOT FOR CONSTRUCTION

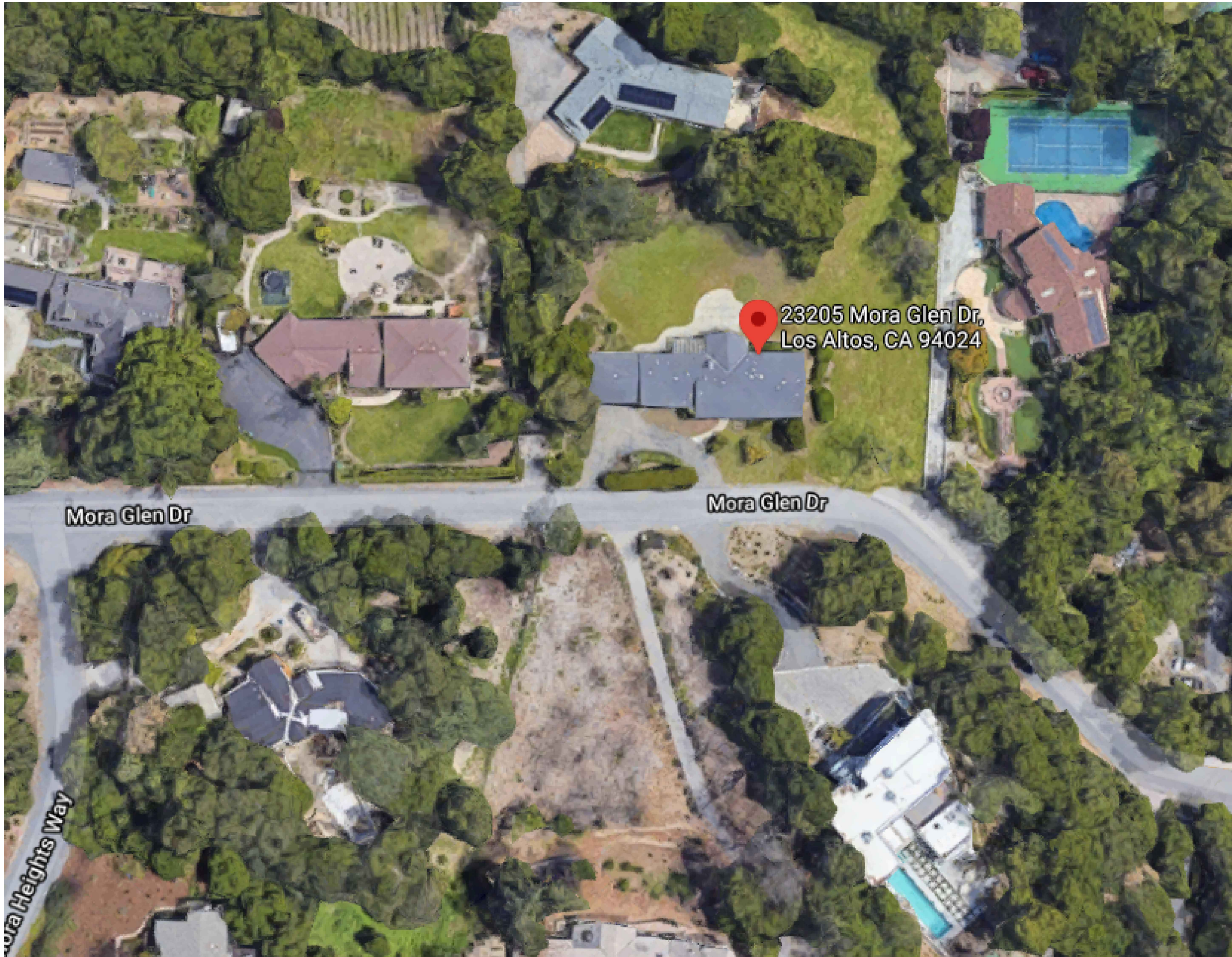
1. THESE GENERAL NOTES SHALL APPLY TO ALL WORK AND ALL DRAWINGS IN THIS SET AND SHALL EXTEND TO ANY CHANGES, EXTRAS, OR ADDITIONS AGREED TO DURING THE COURSE OF THE WORK.
2. BIDDERS ARE INSTRUCTED TO VISIT AND INSPECT PREMISES PRIOR TO SUBMITTING THEIR PROPOSALS AND TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED. NO SUBSEQUENT EXTRAS OR ADDITIONS WILL BE ALLOWED ON ANY CLAIM OF LACK OF KNOWLEDGE OF CONDITIONS OR CIRCUMSTANCES ABOUT WHICH THE BIDDER COULD HAVE INFORMED HIMSELF. APPOINTMENTS SHALL BE ARRANGED THROUGH THE OWNER'S REPRESENTATIVE.
3. BIDDERS SHALL MAKE KNOWN TO STUDIO G ARCHITECTS, INC. ANY LIMITATIONS, EXCLUSIONS, OR MODIFICATIONS TO THE PROJECT DURING BIDDING PHASE OF THE PROJECT. UNLESS NOTED THEY WILL BE PRESUMED INCLUDED BY THE OWNER.
4. THE GENERAL CONTRACTOR SHALL PAY ALL FEES AND SECURE ALL REQUIRED PERMITS FOR THE WORK INDICATED IN THESE DRAWINGS.
5. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE PREMISES ON WHICH THE WORK IS PERFORMED AND FOR SAFETY OF ALL PERSONS AND PROPERTY ON THE SITE DURING PERFORMANCE OF HIS CONTRACT. THESE REQUIREMENTS SHALL NOT BE LIMITED TO NORMAL WORKING HOURS, BUT SHALL APPLY CONTINUOUSLY.
6. THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR APPROVED EQUAL" IS USED THE ARCHITECT ALONE SHALL DETERMINE THE EQUALITY BASED UPON THE INFORMATION SUBMITTED BY THE CONTRACTOR FROM THE MANUFACTURER.
7. THE GENERAL CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND VERIFY ALL GOVERNING DIMENSIONS AT THE BUILDING PRIOR TO THE COMMENCEMENT OF WORK. HE SHALL EXAMINE ALL ADJOINING WORK OR AREAS UPON WHICH THE PERFORMANCE OF HIS WORK IS IN ANY WAY DEPENDENT. ANY VARIATIONS OR DISCREPANCIES SHALL BE REPORTED WITH ALL DUE EXPEDIENCY TO STUDIO G ARCHITECTS INC. PRIOR TO THE FABRICATION OR ERECTION OF THE WORK IN QUESTION.
8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS JURISDICTION. AFTER EXECUTION OF THE CONSTRUCTION CONTRACT, THE AWARDED GENERAL CONTRACTOR WILL RECEIVE FIVE (5) COMPLETE SETS OF DOCUMENTS AS "ISSUED FOR CONSTRUCTION." ADDITIONAL SETS BEYOND THE FIVE (5) SETS PROVIDED MAY BE OBTAINED BY THE GENERAL CONTRACTOR AT THEIR OWN EXPENSE, AT NO ADDITIONAL COST TO THE OWNER.
9. ANY INFORMATION REQUIRED BY THE CONTRACTORS THAT IS NOT SHOWN ON THE DRAWINGS OR OTHER CONTRACT DOCUMENTS SHALL BE REQUESTED BY THE GENERAL CONTRACTOR FROM THE ARCHITECT PRIOR TO BID OR COMMENCING ANY WORK.
10. NO PORTION OF WORK REQUIRING A SHOP DRAWING OR SAMPLE REVIEW SHALL BE COMMENCED UNTIL THE SUBMITTAL HAS BEEN APPROVED BY THE ARCHITECT.
11. SHOULD THE GENERAL CONTRACTOR BY HIS OWN FAULT FAIL TO ADHERE TO THE CONSTRUCTION SCHEDULE, HE SHALL, AT THE DISCRETION OF THE OWNER, PERFORM WORK ON PREMIUM TIME TO CONFORM WITH THE SCHEDULE. ANY EXPENSES ATTRIBUTED TO SUCH WORK SHALL BE BORNE BY THE GENERAL CONTRACTOR.
12. THE GENERAL CONTRACTOR SHALL SUPPLY PRIOR TO COMMENCING WORK A LIST OF ALL SUB CONTRACTORS TO THE ARCHITECT. THE NAME OF THE PRINCIPLE CONTACT, THE ADDRESS AND THE PHONE NUMBER OF EACH SUB CONTRACTOR SHALL BE INCLUDED IN THE LIST.
13. THE GENERAL CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE TOWN OF LOS GATOS AS TO THE HOURS OF AVAILABILITY, AND ALSO TO THE MANNER OF HANDLING MATERIALS, EQUIPMENT, AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH NORMAL OPERATIONS.
14. ALL DIMENSIONS SHOWN ARE TAKEN TO FACE OF FINISH. U.O.N.
15. A WEEKLY REPORT FORM, SIGNED BY THE CONTRACTOR'S SUPERINTENDENT, SHALL BE COMPLETED AND DELIVERED TO THE ARCHITECT, AS REQUIRED BY THE OWNER. THIS REPORT SHALL INDICATE WORK IN PROGRESS AND ANY ITEMS TO BE RESOLVED.
16. THE CONTRACTOR SHALL BE ANSWERABLE TO THE OWNER'S REPRESENTATIVE FOR HIS WORK AND SHALL NOT ACCEPT INSTRUCTION FROM OTHER PERSONNEL WITHOUT VERIFICATION FROM THE ARCHITECT. CONTRACTOR WILL BE LIABLE FOR ANY EXPENSE CAUSED BY THE EXECUTION OF WORK WITHOUT SUCH VERIFICATION AND FOR THE EXPENSES CAUSED BY ITS REMOVAL OR CORRECTION.
17. A REPRESENTATIVE OF THE GENERAL CONTRACTOR AUTHORIZED TO DISCUSS THE WORK AND RECEIVE INSTRUCTIONS FROM THE ARCHITECT SHALL BE AVAILABLE AT ALL TIMES WHILE THE WORK IS IN PROGRESS.
18. GREAT CARE SHALL BE EXERCISED TO ASSURE THAT THE BUILDING SHALL BE PROTECTED FROM DAMAGE THAT COULD OCCUR BECAUSE OF THIS WORK AND CONTRACTORS SHALL PROVIDE PROTECTION FOR EXISTING AREAS AND NEW WORK AREAS. ANY DAMAGES DUE TO THIS WORK OR ACCIDENTS SHALL BE REPAIRED, REPLACED OR PATCHED AT THE DISCRETION OF THE OWNER. THE CONTRACTOR SHALL BEAR FINANCIAL RESPONSIBILITY FOR SUCH DAMAGE AND ANY WORK UNDERTAKEN TO CORRECT IT.
19. THE CONTRACTOR SHALL EXERCISE GREAT CARE IN PROTECTING ALL MATERIALS EXISTING ON THE JOB FROM DAMAGE AND SHALL MAINTAIN PROTECTION FOR ALL TRAFFIC AREAS OF THE BUILDING TO BE USED DURING EXECUTION OF WORK. RELATING TO THIS CONTRACT WITH THE UNDERSTANDING THAT THE CONTRACTOR WILL RECTIFY ANY DAMAGE ATTRIBUTABLE TO HIS OPERATIONS.
20. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL WOODWORK, DOORS AND FRAMES AND SUCH WORK AS MAY BE SPECIFICALLY REQUESTED IN THE CONTRACT DOCUMENTS TO THE ARCHITECT FOR WRITTEN APPROVAL. SHOP DRAWINGS SHALL SHOW ALL DIMENSIONS AND CONDITIONS. WHEN THE ARCHITECT REQUIRES A REVISION AND RESUBMITTAL OF THE SHOP DRAWINGS SUCH RESUBMITTALS SHALL OCCUR WITHIN ONE (1) WEEK OF NOTIFICATION OF SUCH REQUIREMENT.
21. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXTENT, NATURE AND SCOPE OF WORK DESCRIBED IN THE CONTRACT DOCUMENTS AND WILL COORDINATE WITH THE ARCHITECT OR THE OWNER'S REPRESENTATIVE THE INTERFACING OF THE OWNERS WORK WITH THAT INDICATED IN THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR IS TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO EXECUTE ALL WORK AS SHOWN ON THESE DRAWINGS WITH THE EXCEPTION OF THOSE ITEMS NOTED AS SEPARATE CONTRACTS OR N.I.C. HE SHALL BE RESPONSIBLE FOR COORDINATING THIS WORK WITH THAT OF ALL OTHER TRADES, INCLUDING THOSE OPERATING UNDER SEPARATE CONTRACT WITH THE OWNER.
22. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN AND IN ACCORDANCE WITH THE HIGHEST STANDARD OF QUALITY AND THE BEST PRACTICES OF THE TRADES INVOLVED. CARE SHALL BE TAKEN TO ENSURE COMPLIANCE WITH BUILDING REGULATIONS AND/OR GOVERNMENTAL LAWS, STATUTES OR ORDINANCES CONCERNING THE USE OF LABOR.

1. ALL MATERIALS SHALL BE NEW UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE AND IN PROPER ALIGNMENT.
3. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS UNLESS OTHERWISE NOTED.
4. WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES. ANY DISCREPANCIES, VARIATIONS OR OMISSIONS IN THE CONTRACT DOCUMENTS SHALL BE REPORTED PROMPTLY TO THE ARCHITECT.
5. TIME IS OF THE ESSENCE AND THE GENERAL CONTRACTOR SHALL KEEP SUFFICIENT WORKMEN ON THE JOB SITE AT ALL TIMES TO PERFORM THE WORK IN THE MOST EXPEDIENT MANNER CONSISTENT WITH GOOD WORKMANSHIP, SOUND BUSINESS PRACTICE, AND THE BEST INTERESTS OF THE OWNER.
6. SHOULD THE OWNER REQUIRE WORK TO BE PERFORMED ON PREMIUM TIME ABOVE AND BEYOND THAT IMPLIED BY THE CONTRACT DOCUMENTS, THE ARCHITECT SHALL GIVE WRITTEN NOTICE AND THE CONTRACTOR SHALL COMPLY THEREWITH.
7. IT IS EXPECTED THAT SUFFICIENT LABOR WILL BE PROVIDED SO THAT ACTIVITY FOR ANY GIVEN TRADE WILL NOT BE LIMITED TO ONLY ONE PART OF THE TOTAL WORK AREA.
8. EACH TRADE WILL BE EXPECTED TO PROCEED IN A FASHION THAT WILL NOT DELAY OR DETAIN THE TRADE FOLLOWING THEM.
9. ALL WORK SHALL BE COMPLETED FOR THE AGREED CONTRACT PRICE WITHOUT RECOURSE TO LABOR STOPPAGES OR REVISIONS OF GOVERNING REGULATIONS, LAWS, AND CODES ABOUT WHICH THE CONTRACTOR COULD HAVE REASONABLY BEEN EXPECTED TO HAVE ANY FOREWARNING AND TO HAVE MADE APPROPRIATE CONTINGENCY PLANS PRIOR TO SIGNING OF THE CONTRACT.
10. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL WORK OR CHANGES FOR WHICH HE EXPECTS ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. FAILURE TO OBTAIN SUCH AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR SUCH EXTRA COMPENSATION.
11. DO NOT SCALE DRAWINGS; DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCING WORK.
12. CUTTING, CHASING, DRILLING, OR DEMOLITION OF WALLS, SLABS, ETC. REQUIRING THE USE OF JACK HAMMERS OR OTHER HEAVY HAND OR POWER TOOLS SHALL BE PERFORMED PER CITY REQUIREMENTS.
13. ALL INSTALLED PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT SHALL OPERATE AS QUIETLY AND AS FREE OF VIBRATIONS AS POSSIBLE.
14. ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, WORKMANSHIP, AND MATERIALS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM APPROVAL FOR FINAL PAYMENT.
15. CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS OR OPERATIONS OF SEPARATE CONTRACTORS. CONTRACTOR SHALL CONFINE HIS OPERATIONS FOR REMOVAL TO SUCH METHODS AS MAY BE AGREEABLE TO THE OWNER. THE PROJECT SHALL BE LEFT CLEAN AND CLEAR TO THE SATISFACTION OF THE OWNER AND THE DISPOSITION TO ALL SALVAGED MATERIALS IS TO BE CLEARED WITH THE OWNER PRIOR TO REMOVAL. PREMISES TO BE SWEEP CLEAN OF RELATED CONSTRUCTION DEBRIS DAILY.
16. UPON COMPLETION OF THE WORK THE CONTRACTOR SHALL NOTIFY THE ARCHITECT WHICH SHALL COMPILE A "PUNCH LIST" OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT ON THE COMPLETION OF THESE ITEMS UNDER THE TERMS OF THE CONTRACT.
17. THE MAXIMUM FLAME SPREAD CLASSIFICATION OF FINISH MATERIALS USED ON WALLS AND CEILINGS MUST COMPLY WITH UBC CHAPTER 8.
18. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL FIXTURES, LAMPS AND ACCESSORIES AS NOTED ON THE DRAWINGS. SUBSTITUTIONS WILL NOT BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER.
19. HEATING, VENTILATING AND AIR CONDITIONING: WORK SHALL CONSIST OF ALL LABOR, MATERIALS AND SERVICES REQUIRED FOR MODIFICATIONS TO THE EXISTING SYSTEMS, AND SHALL RESULT IN A COMPLETE OPERABLE FORCED AIR HEATING, VENTILATING AND AIR CONDITIONING SYSTEM, IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES, REQUIREMENTS OF THE SERVICING UTILITY AND FUNCTIONS SHOWN ON THE DRAWINGS.
20. ELECTRICAL: WORK SHALL CONSIST OF ALL LABOR, MATERIALS AND SERVICES REQUIRED FOR MODIFICATIONS TO THE EXISTING SYSTEMS, AND SHALL RESULT IN A COMPLETE WIRING SYSTEM INCLUDING OUTLETS, WALL SWITCHES, AND INSTALLATION OF LIGHTING FIXTURES, LAMPS, APPLIANCES, AND LIKE ACCESSORIES ALL AS INDICATED ON THE DRAWINGS OR REQUIRED FOR THE COMPLETION OF THE WORK.
21. PLUMBING: WORK SHALL CONSIST OF ALL LABOR, MATERIALS AND SERVICES REQUIRED FOR MODIFICATIONS TO THE EXISTING SYSTEMS, AND SHALL RESULT IN A COMPLETE SYSTEM INCLUDING DRAIN-WASTE AND VENT LINES, HOT AND COLD WATER LINE, AND GAS LINES IF INDICATED ON THE DRAWINGS, ALL EXCAVATION AND BACKFILL REQUIRED, AND THE INSTALLATION OF ALL FIXTURES AND APPLIANCES. THE SYSTEM SHALL MEET THE REQUIREMENTS OF THE STATE BOARD OF HEALTH AND ALL LOCAL CODES AND REGULATIONS.
22. BIDDERS ARE INSTRUCTED TO VISIT AND INSPECT PREMISES PRIOR TO SUBMITTING THEIR PROPOSALS AND TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED. NO UNUSUAL EXTRAS OR ADDITIONS WILL BE ALLOWED ON ANY CLAIM OF LACK OF KNOWLEDGE OF CONDITIONS OR CIRCUMSTANCES ABOUT WHICH THE BIDDER COULD HAVE INFORMED HIMSELF. APPOINTMENTS SHALL BE ARRANGED THROUGH THE OWNER'S REPRESENTATIVE.
23. BIDDERS SHALL MAKE KNOW TO STUDIO G ARCHITECTS, INC. ANY LIMITATIONS, EXCLUSIONS, OR MODIFICATIONS TO THE PROJECT DURING BIDDING PHASE OF THE PROJECT. UNLESS NOTED THEY WILL BE PRESUMED INCLUDED BY THE OWNER.
24. DRAWINGS IN THIS SET AND THE DESIGNS THEREON ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED IN ANY WAY WITHOUT SPECIFIC WRITTEN AUTHORIZATION FROM THE ARCHITECT.
25. IT IS INTENDED THAT THE GENERAL CONTRACTOR PROVIDE A COMPLETE JOB AND ANY OMISSIONS IN THESE NOTES OR IN THE OUTLINE OF WORK SHALL NOT BE CONSTRUED AS RELIEVING THE GENERAL CONTRACTOR OF SUCH RESPONSIBILITIES AS ARE IMPLIED BY THE SCOPE OF THEIR WORK EXCEPT FOR ITEMS SPECIFICALLY NOTED.

A.C.	ANCHOR BOLT	MAT.	MATERIAL
A.D.	ASPHALT CONCRETE	MAX.	MAXIMUM
A.F.	AIR CONDITIONING	M.B.	MACHINE BOLT
A.F.F.	ABOVE FINISH FLOOR	MECH.	MECHANICAL
A.T.	ACUSTIC TILE	MEMB.	MEMBRANE
ADJ.	ADJUSTABLE	MFR.	MANUFACTURER
A.F.S.	AUTOMATIC FIRE SPRINKLER	M.H.	MANHOLE
ALUM.	ALUMINUM	M.I.	MINIMUM
ANG.	ANGLE	MISC.	MISCELLANEOUS
AND.	AND	M.S.	MASSOR OPENING
APPROX.	APPROXIMATELY	M.S.	MACHINE SCREW
ARCH.	ARCHITECTURAL	MOUNT.	MOUNTED
ASPH.	ASPHALT	MUL.	METAL MULLION
AT	AT		
BD.	BOARD	N.I.C.	NOT IN CONTRACT
BDM.	BUILDING	NO.	NUMBER
BLDG.	BUILDING	N.S.P.	NET SQUARE FEET
BM.	BEAM	N.T.S.	NOT TO SCALE
B.O.J.	BOTTOM OF JOISTS		
B.O.	BOTTOM	O.C.	ON CENTER
B.U.	BUILT-UP	O.D.	OUTSIDE DIAMETER
		O.D.	OVERFLOW DRAIN
CAB.	CABINET	OFF.	OFFICE
CAD. FL.	CADMIUM PLATED	O.H.	OVERHEAD
C.B.	CUP BASKIN	OPNG.	OPENING
C.B.	CHALKBOARD	OPP.	OPPOSITE
CBM.	CLIP DISPENSER		
CER.	CEMENT	P.B.	PANIC BAR
CER.	CERAMIC	P.D.F.	POWDER DRIVEN FASTENER
CH.	CONSTRUCTION GUARD	P.H.	PHILLIPS HEAD
C.I.	CHANNEL	R.	PLATE
C.I.	CAST IRON	R. OR FL.	PLATE
CL.	CONSTRUCTION JOINT	PL.	PROPERTY LINE
OR C.L.	CENTERLINE	PLAS.	PLASTER
CL.	CEILING	PLM.	PLASTIC LAMINATE
CLG.	CEILING	PLYWD.	PLYWOOD
C.M.U.	CONCRETE MASONRY UNIT	POL.	PANEL
CO	CLEANOUT	POL.	POLISHED
COL.	COLUMN	FORCLAS.	FORCLAS.
COMP.	COMPOSITION	POL.	POLISHED
CONC.	CONCRETE	PAIR.	PAIR
CONN.	CONNECTION	P.S.D.	POWDER SOAP DISPENSER
CONT.	CONTINUOUS	POINT.	POINT
CONTR.	CONTRACTOR	P.T.D.	PAPER TOWEL DISPENSER
C.O.T.G.	CLEAN OUT TO GRADE	PTN.	PARTITION
CTSK.	COUNTERSINK	P.V.C.	POLY VINYL CHLORIDE
C.W.	COLD WATER	Q.T.	QUARRY TILE
DET.	DETAIL	R.	RISERS
D.F.	DOUGLAS FIR	R.A.	RETURN AIR
D.F.	DRAINING FOUNTAIN	RAD.	RADIUS
DIA. OR Ø	DIAMETER	R.C.P.	REINFORCED CONCRETE PIPE
DM.	DIMENSION	RD.	ROUND
DN.	DOWN	R.D.	ROOF DRAIN
DOOR	DOOR	REC.	RECEIVED
D.S.	DRAINSPOUT	REF.	REFERENCE
DWS.	DRAWINGS	REINF.	REINFORCED
		RES.	RESISTANT
EA.	EACH	R.H.	RESILIENT
E.J.	EXPANSION JOINT	RSH.	ROUND HEAD OR ROBE HOOK
ELECT.	ELECTRIC	RM.	ROOM
ELEV.	ELEVATION	RO.	ROUGH
ENAM.	ENAMEL	R.O.	ROUGH OPENING
ENCL.	ENCLOSURE	RW.	RIGHT WAY
E.P.B.	ELECTRIC PANEL BOARD	R.W.D.	RAIN WATER LEADER
EQ.	EQUIPMENT		
E.W.G.	ELECTRIC WATER COOLER	S.C.	SOLID CORE
F.H.	FIRE FIGHTER WATER HEATER	S.C.D.	SEE CIVIL DRAWING DISPENSER
DH.	EXHAUST	S.C.	SEE CIVIL DRAWINGS
EXT.	EXTERIOR	S.D.	STORM DRAIN OR SOAP DISPENSER
F.A.	FIRE ALARM	SEC.	SECTION
F.B.	FIBER GLASS	S.E.D.	SEE ELECTRICAL DRAWINGS
F.BGL.	FIBER GLASS	S.F.	SQUARE FOOT/FEET
F.D.	FLOOR DRAIN	SQ. FT.	SQUARE FOOT/FEET
FDN.	FOUNDATION	SFT.	SHEET
F.E.	FIRE EXTINGUISHER	SHTG.	SHEATHING
F.E.C.	FIRE EXTINGUISHER CABINET	SHLV.	SHELVING
F.H.	FIRE HYDRANT OR FLAT HEAD	SIM.	SIMILAR
F.H.C.	FIRE HOSE CABINET	SK.	SINK OR SKETCH
FIN.	FINISH	S.M.	SEE MECHANICAL DRAWINGS
F.F.	FIRE FIGHTER WATER HEATER	S.M.D.	SEE MECHANICAL DRAWINGS
F.O.	FINISHED OPENING OR FACE OF	S.M.S.	SEE MECHANICAL DRAWINGS
F.O.C.	FACE OF CONCRETE	S.N.D.	SANITARY NAPKIN DISPOSAL
F.O.F.	FACE OF FINISH	S.O.V.	SANITARY NAPKIN VENDOR
F.O.M.	FACE OF MASONRY	S.P.D.	SEE PLUMBING DRAWINGS
F.O.S.	FACE OF STUD	SPEC.	SPECIFICATIONS
F.S.	FLOOR SINK	S.S.	SERVICE SINK / STAINLESS STEEL
FTG.	FOOTING	S.S.T.	SEE STRUCTURAL DRAWINGS
F.R.P.	FIBER GLASS REINFORCED PLASTIC	S.T.	STAINLESS STEEL
		STD.	STANDARD
GA.	GAUGE	STEL.	STEEL
GALV.	GALVANIZED	STN.	STAIN
G.I.	GALVANIZED IRON	STOR.	STORAGE
GLD.	GLASS	STRUCT.	STRUCTURAL
GRD.	GROUND OR GRADE	SUSP.	SUSPENDED
G.S.F.	GROSS SQUARE FEET		
G.V.	GATE VALVE	T & B	TOP AND BOTTOM
G.V.C.B.	GATE VALVE IN CONCRETE BOX	T.B.	TOWEL BAR
GYP.	GYP.	TELEPH.	TELEPHONE
		T & G	TONGUE AND GROOVE
HDR.	HEADER	T.O.P.	TOP OF
HDWD.	HARDWOOD	T.O.S.	TOP OF SLAB
HDWR.	HARDWARE	T.O.W.	TOP OF WALL
H.M.	HOLLOW METAL	T.P.D.	TOLIT PAPER DISPENSER
HORIZ.	HORIZONTAL	TREAD	TREAD
H.P.	HYP.	TYP.	TYPICAL
H.R.	HOUR		
H.R.C.	HOURS REEL CABINET	UNF.	UNFINISHED
H.S.B.	HIGH STRENGTH BOLT	U.N.F.	UNLESS OTHERWISE NOTED
HT.	HIGH	U.O.N.	URNAL
H.T.D.	HOT WATER TOWEL DISPENSER		
HTG.	HEATING		
H.W.	HOT WATER	V.C.P.	VITREOUS GLASS TILE
H.W.D.	HOT WATER DISPENSER	V.G.	VINYL COMPOSITION TILE
		VERT.	VERTICAL
		VEST.	VESTIBULE
I.D.	INSIDE DIAMETER	V.G.O.F.	VERTICAL GRASS DOUGLAS FIR
INV.	INVERT	V.V.C.	VINYL WALL COVERING
INSUL.	INSULATION		
INT.	INTERIOR	W.	WITH
JAN.	JANITOR	W.C.	WATER CLOSET
J.B.	JUNCTION BOX	WD.	WASHER & DRYER STACKED
JF.	JF.	WD.	WOOD
K.F.	KITCHEN	W.H.	WATER HEATER
K.O.	KNOCK-OUT</		

 COLUMN OR GRIDLINE
 SECTION REFERENCE NO.
 SECT. REF. SHEET NO.
 EXTERIOR ELEVATION REFERENCE NO.
 ELEV. REF. SHEET NO.
 DETAIL REFERENCE NO.
 DETAIL REF. SHEET NO.
 REVISION
 SEE REVISION PURPOSE & DATE ON COVER SHEET
 DATUM / POINT OF REFERENCE
 INTERIOR ELEVATION REFERENCE NO.
 DIRECTION OF ELEVATION VIEW
 ELEV. REF. SHEET NO.
 CONFERENCE ROOM
 ROOM NAME
 ROOM NUMBER
 CEILING HEIGHT

A0.1



1. NEIGHBORS



2. (E) HOUSE



3. (E) HOUSE FRONT VIEW



4. LEFT SIDE NEIGHBOR



5. RIGHT SIDE NEIGHBOR

PLANNING SET NOT FOR CONSTRUCTION

299 BASSETT ST. SUITE 250
SAN JOSE, CA 95110
T:408.283.0100

PROJECT ADDRESS

23205 MORA GLEN DR.
LOS ALTOS, CA 94024

HOUSE ADDITION for

STAMP

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REVISIONS

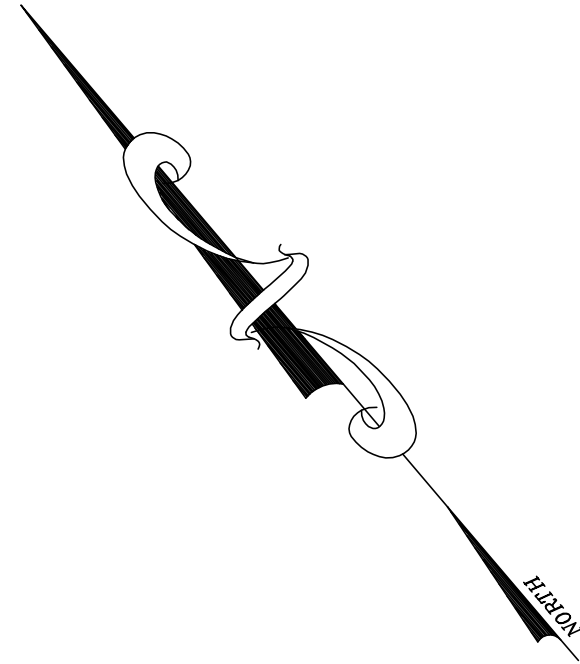
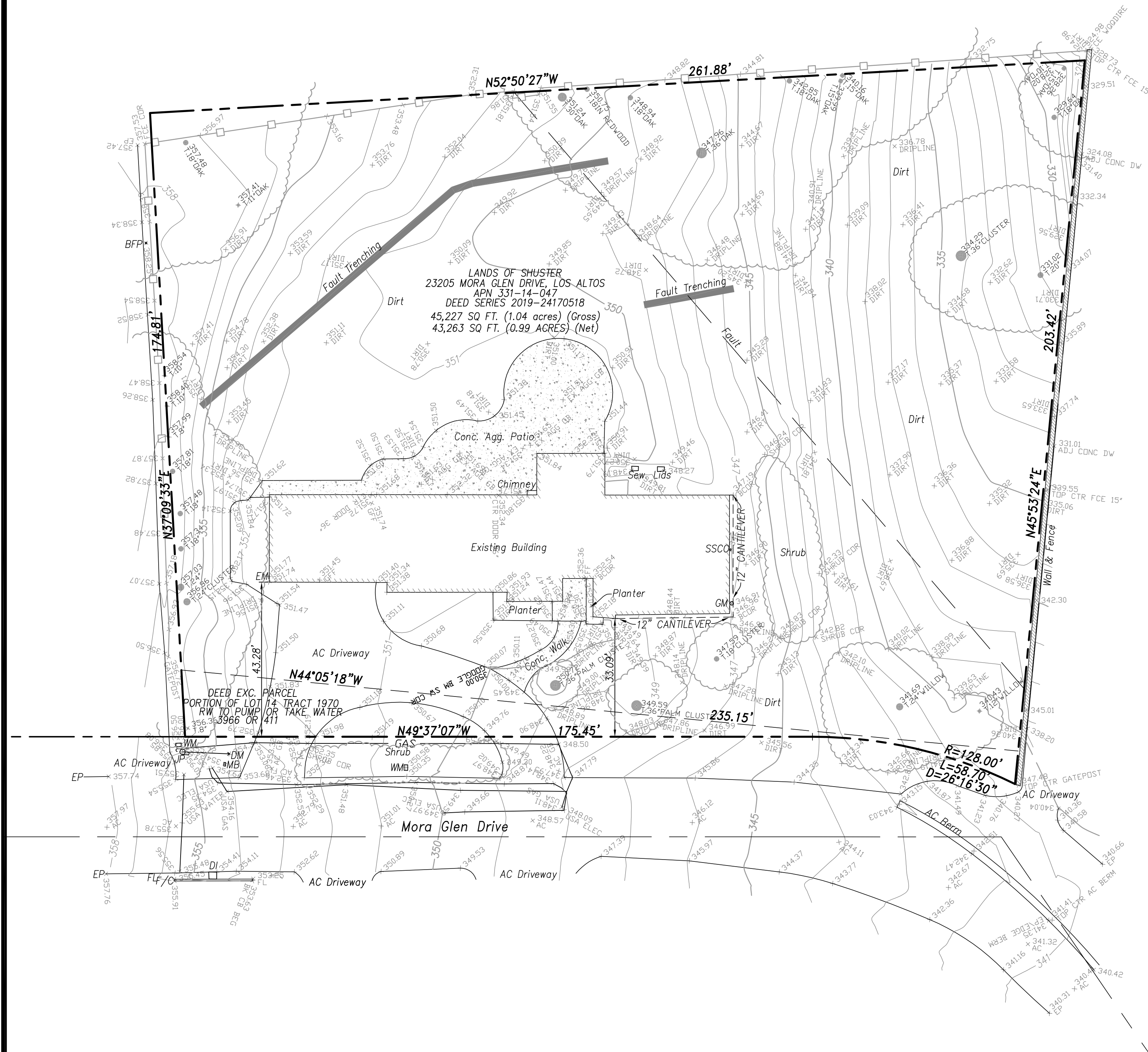
DATE	DESCRIPTION
12.11.2020	PLANNING SUBMITTAL

DATE	12.11.2020
SCALE	AS SHOWN
PROJECT ID	2020.137
DRAWN BY	KS/GY

(E) STREET VIEWS

SHEET TITLE

SHEET NO.



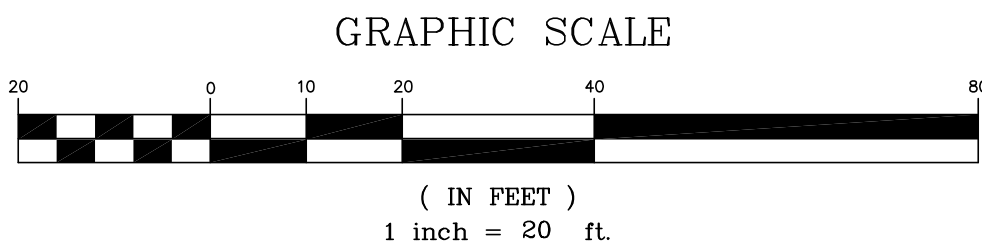
LEGEND	
SYMBOL	DESCRIPTIONS
	BOUNDARY / RIGHT-OF-WAY LINE
	EASEMENT LINE
	CENTERLINE (CL)
	RETAINING WALL
	SANITARY SEWER LINE AND MANHOLE OR CLEANOUT
	DRAIN INLET
	PERCENT GRADE
	EXISTING GRADE ELEVATION
	EXISTING CONTOUR w/ ELEVATION
	EXISTING TREE w/ DBH
ABBREVIATIONS	DESCRIPTIONS
AC	AIR CONDITIONER UNIT
AD	AREA DRAIN
AP	ASPHALT PAVEMENT
BFP	BACKFLOW PREVENTOR
BSW	BACK OF WALK
BW	BOTTOM OF WALL (EXPOSED FACE)
CB	CATCH BASIN
CONC.	CONCRETE
DBH	DIAMETER AT BREAST HEIGHT
DI	DRAIN INLET
DM	DEADMAN ANCHOR
DS	DOWNSPOUT
EP	EDGE OF PAVEMENT
EM	ELECTRIC METER
EX	EXISTING
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE ELEVATION
FH	FIRE HYDRANT
FL	FLOW LINE ELEVATION
FW	FACE OF WALL
GM	GAS METER
JP	JOINT POLE
MB	MAIL BOX
O/H	OVERHEAD
PB	PULL BOX
PL	PROPERTY LINE
PUE	PUBLIC UTILITY EASEMENT
R=	RADIUS OF CURVE
Δ=	INCLUDED ANGLE OF CURVE
L=	LENGTH OF CURVE
SSCO	SANITARY SEWER CLEAN-OUT
SSMH	SANITARY SEWER MANHOLE
SL	STREET LIGHT
VG	VALLEY GUTTER
WM	WATER METER

AVERAGE SLOPE

$$S = \frac{0.00229 \times I \text{ (CONTOUR INTERVAL)} \times L \text{ (CONTOUR LENGTH IN FT)}}{A \text{ (AREA IN ACRES)}}$$
$$S = \frac{0.00229 \times 1 \times 5402.7 \text{ FT}}{1.038 \text{ (gross ACRES)}}$$

$$S = 11.92 \%$$

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VERTICAL DATUM: HELD ASSUMED GOOGLE EARTH ELEVATION OF 350.00' AT CONCRETE WALK CORNER ON SITE.

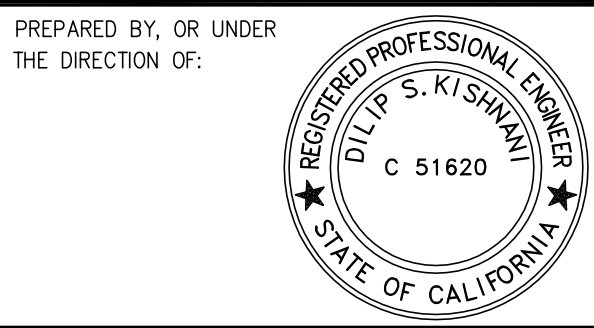
BASIS OF BEARINGS: CALCULATED BEARING OF S35°06'58"E BETWEEN THE MONUMENT AT THE INTERSECTION OF MORA GLEN DRIVE AND MORA HEIGHTS WAY AND THE PI MON 44.19' NW OF THE CUL-DE-SAC RADIUS POINT AT THE SOUTHEAST END OF MORA GLEN DRIVE AS SHOWN ON THE MAP OF MORA HEIGHTS ESTATES, TRACT 1970, BOOK 88 OF MAPS PAGE 54-55, S.C.C.R.

GROSS LOT AREA = 45,227 SQ. FT. (1.0383 ACRES)

BOUNDARY: BOUNDARY BASED UPON FIELD SURVEY PERFORMED BY OR UNDER DIRECTION OF HELMUT KORSTICK, PLS 7739.



DATE: SEPTEMBER 17, 2020					
SCALE: AS NOTED					
DRAWN: DSK					
DESIGNED: DSK					
ENGINEER: DSK					
MANAGER: DSK					
	NO.	BY	DATE	REVISIONS	CITY APPR



PREPARED BY:
STERLING CONSULTANTS
46560 FREMONT BOULEVARD, UNIT NO. 205
FREMONT, CA 94538
sterlingconsultants@gmail.com PHONE: 510.344.8955

PREPARED FOR:
RYAN LOH
23205 MORA GLEN DRIVE
LOS ALTOS, CA

APN: 331-14-047 23205 MORA GLEN DRIVE

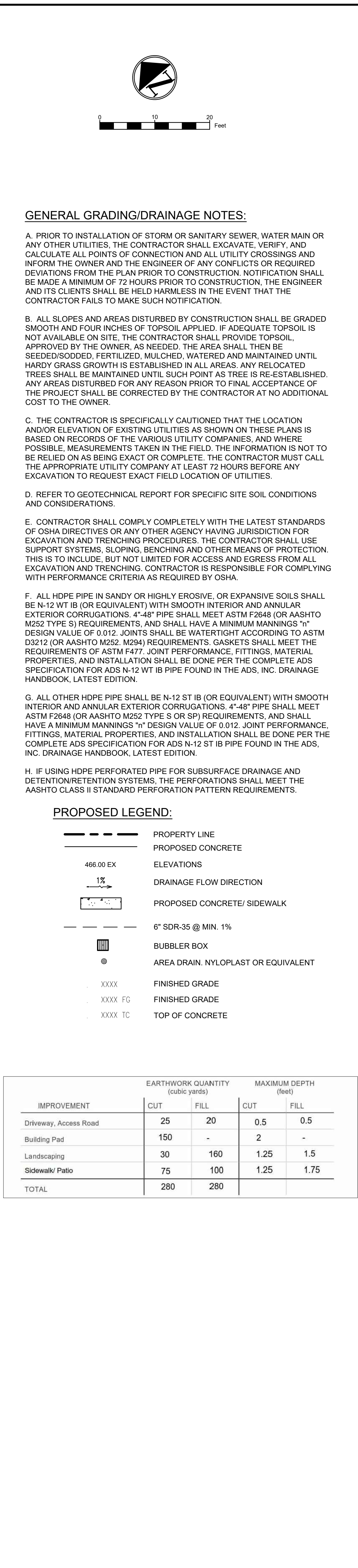
BOUNDARY & TOPOGRAPHIC SURVEY

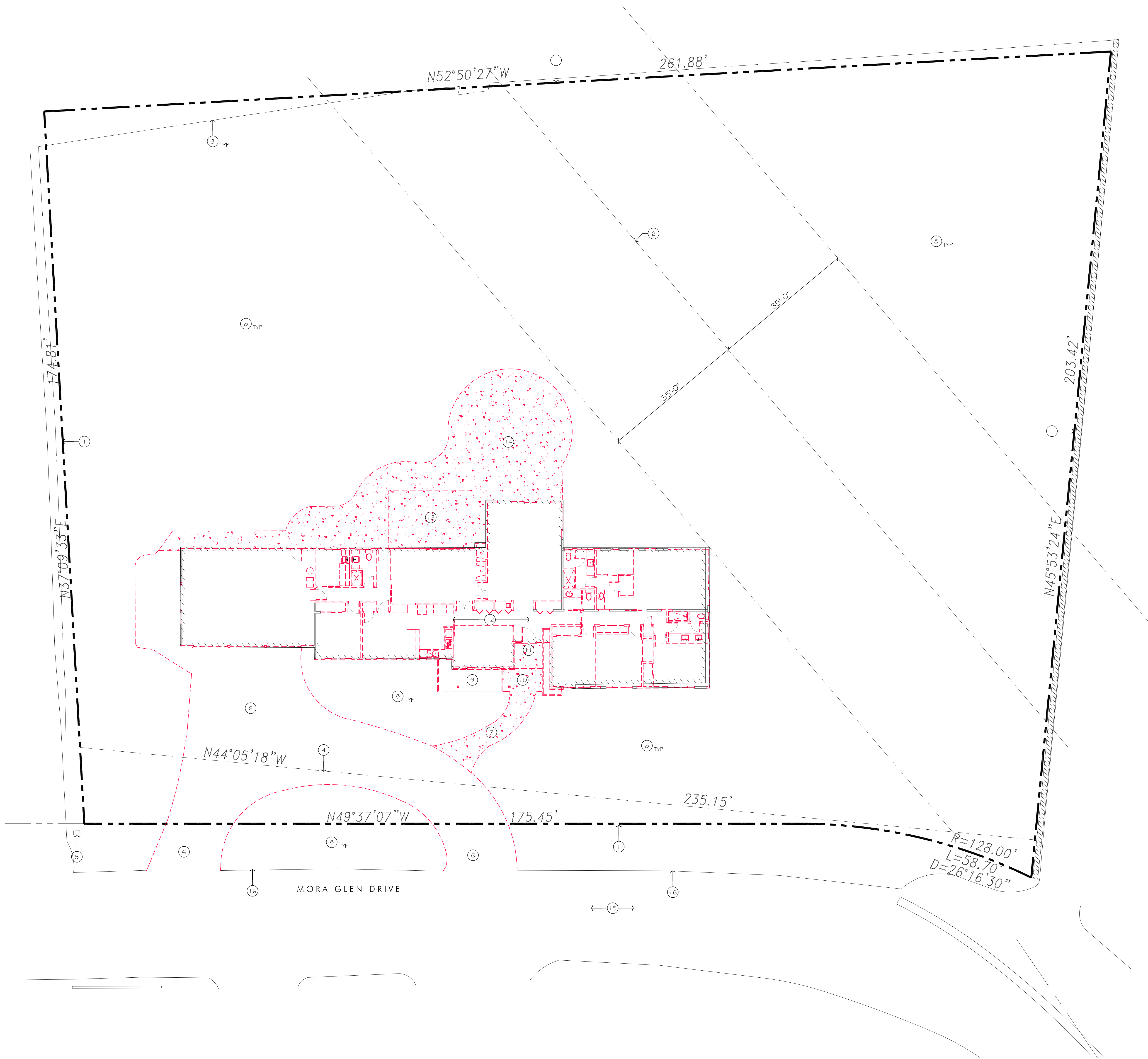
CITY OF LOS ALTOS SANTA CLARA COUNTY CALIFORNIA

SHEET NO.

C1

JOB NO. 2020-486





GENERAL NOTES

- A. CONTRACTOR SHALL CAREFULLY EXAMINE ALL DEMOLITION AND PROPOSED ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND LANDSCAPING PLANS PRIOR TO DEMOLITION AND NOTIFY ARCHITECT IF ANY DISCREPANCY NOTED PRIOR TO WORK COMMENCE.
- B. MODIFY EXISTING ROOF FRAMING FOR FLAT ROOF AREAS AS REQUIRED TO ACHIEVE NEW ROOF FRAMING - SEE STRUCTURAL DRAWINGS.
- C. ALL SLOPED ROOF AREAS TO BE COMPLETELY REMOVED.
- D. PREPARE EXISTING WALLS TO BE 'ISTERED' TO RECEIVE NEW TOP PLATE HEIGHT. SEE STRUCTURAL DRAWINGS.
- E. REMOVE ALL WINDOWS, DOORS AND EXISTING STUCCO FINISH ALL AROUND. PATCH AND REPAIR EXISTING SURFACES TO REMAIN AS REQUIRED TO APPEAR NEW.
- F. PROVIDE ANY NECESSARY SUPPORT AND BRACING DURING DEMOLITION WORK TO MAINTAIN INTEGRITY OF HOUSE STRUCTURE TO REMAIN.
- G. DISPOSE OF ALL REMOVED MATERIAL OFF-SITE IN A LAWFUL MANNER.
- H. PROTECT STORM WATER RUN-OFF FROM ANY CONTAMINATION RESULTING FROM THIS WORK. PROTECT (E) STRUCTURES (I.E.: ADJACENT FENCES) AND PLANT LIFE (I.E.: TREES AND PLANT MATERIAL TO REMAIN) DURING CONSTRUCTION.
- I. TERMINATE OR SHUT-OFF ANY UTILITIES THAT WILL BE AFFECTED BY THE WORK.
- J. CAP OFF/REMOVE OR RELOCATE PLUMBING LINES AS REQUIRED FOR NEW LAYOUT.
- K. CAP OFF / REROUTE IRRIGATION AS REQUIRED WHEN AFFECTED BY NEW SCOPE OF WORK.

KEYNOTES

Indicated by # → on the plan

- 1. PROPERTY LINE.
- 2. (E) FAULT. SEE SURVEY.
- 3. EXISTING FENCE TO REMAIN.
- 4. (E) WATER RIGHT EASEMENT.
- 5. EXISTING DOMESTIC WATER METER TO REMAIN.
- 6. (E) SITE ACCESS DRIVEWAY.
- 7. CONCRETE WALK TO BE REMOVED.
- 8. (E) LANDSCAPE AREA.
- 9. (E) PLANTER TO BE REMOVED.
- 10. (E) PORCH TO BE REMOVED
- 11. (E) MAIN ENTRANCE.
- 12. (E) HOUSE.
- 13. (E) TRELLIS TO BE REMOVED.
- 14. REMOVE (E) CONC. PAVING.
- 15. (E) STREET.
- 16. (E) EDGE OF STREET PAVEMENT.

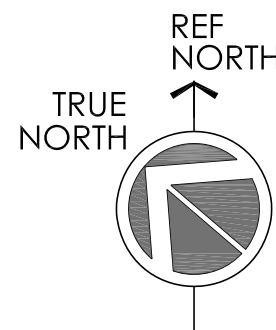
NOTE: SEE LANDSCAPE DRAWINGS FOR TREE REMOVAL.

LEGEND

- INDICATE PROPERTY LINE
- - - (E) EASEMENT

1. EXISTING SITE PLAN

SCALE: 3/32" = 1'-0"



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PROJECT ADDRESS

23205 MORA GLEN DR.
LOS ALTOS, CA 94024

HOUSE ADDITION for

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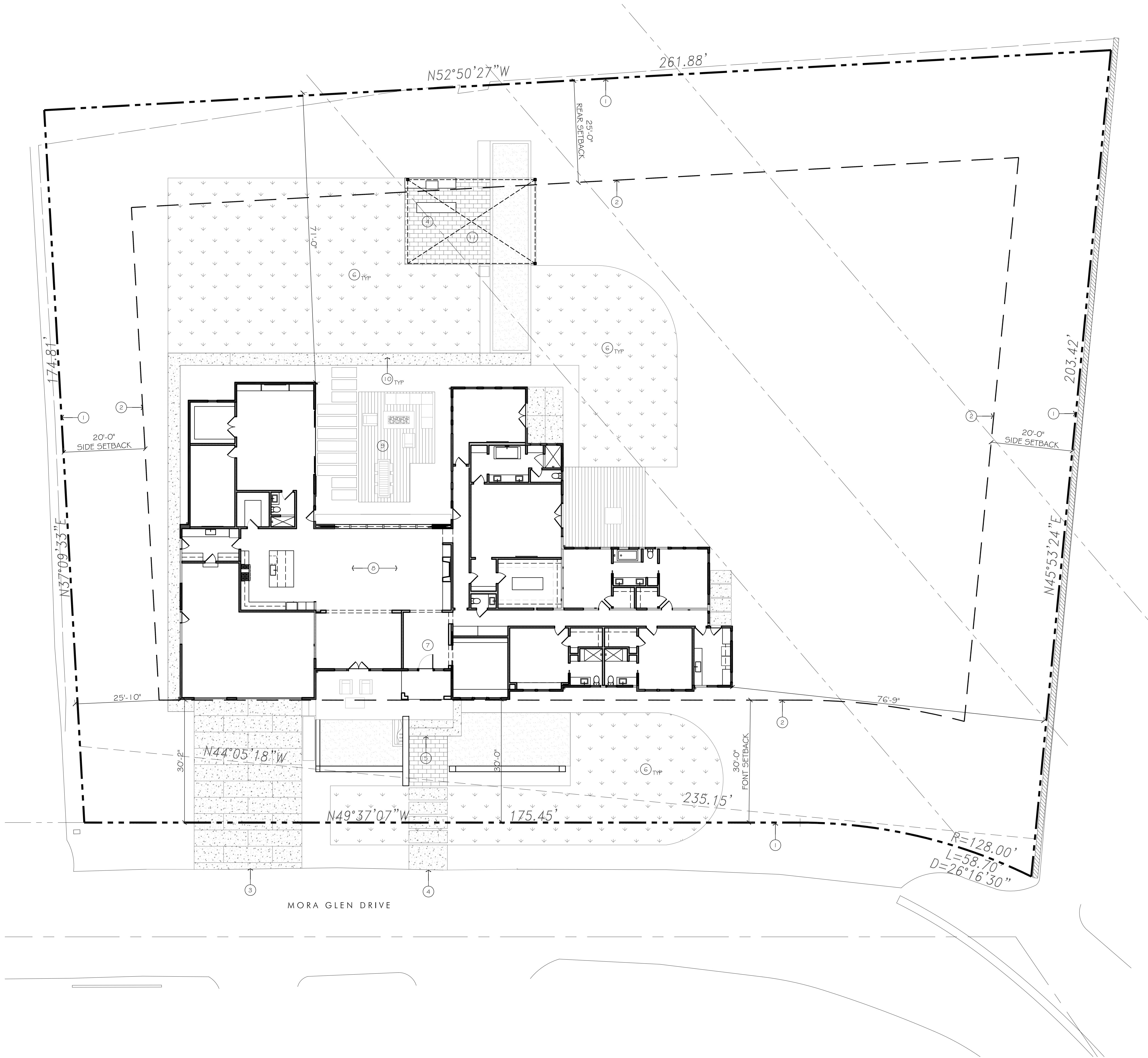
DATE	12.11.2020
SCALE	AS SHOWN
PROJECT ID	2020.137
DRAWN BY	KS/GY

EXISTING SITE PLAN

SHEET TITLE

SHEET NO.

A1.1



AREA CALCULATION

SITE AREA:	45,227 SF
PROPOSED HOUSE :	6,927 SF
PROPOSED PAVED AREA:	5,087 SF
PROPOSED LANDSCAPE:	33,213 SF
(E) LANDSCAPE:	37,129 SF

KEYNOTES

Indicated by (#) → on the plan

1. PROPERTY LINE.
2. SETBACK LINE.
3. (N) CONCRETE DRIVEWAY.
4. (N) CONCRETE SIDEWALK TO PUBLIC STREET.
5. (N) LAWN AREA.
6. (N) CONCRETE STEPS, SEE LANDSCAPE DRAWINGS.
7. (N) HOUSE ENTRANCE.
8. (N) HOUSE.
9. (N) OUTDOOR DECK W/ FIRE PIT.
10. (N) CONC. SIDEWALK.
11. (N) OUTDOOR PATIO.
12. OUTDOOR BAR AND BBQ COUNTER.

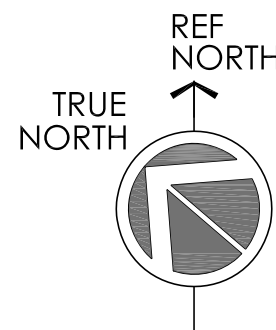
SEE CIVIL AND LANDSCAPING DRAWINGS
FOR FOR MORE INFORMATION.

LEGEND

	PROPERTY LINE
	SETBACK LINE
	FAULT
	(N) LAWN AREA
	(N) CONCRETE PAVING
	(N) GRAVEL
	(N) PAVERS
	(N) WOOD DECK

1. NEW SITE PLAN

SCALE: 3/32" = 1'-0"



PLANNING SET NOT FOR CONSTRUCTION

299 BASSETT ST. SUITE 250
SAN JOSE, CA 95110
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STUDIO
g
ARCHITECTS

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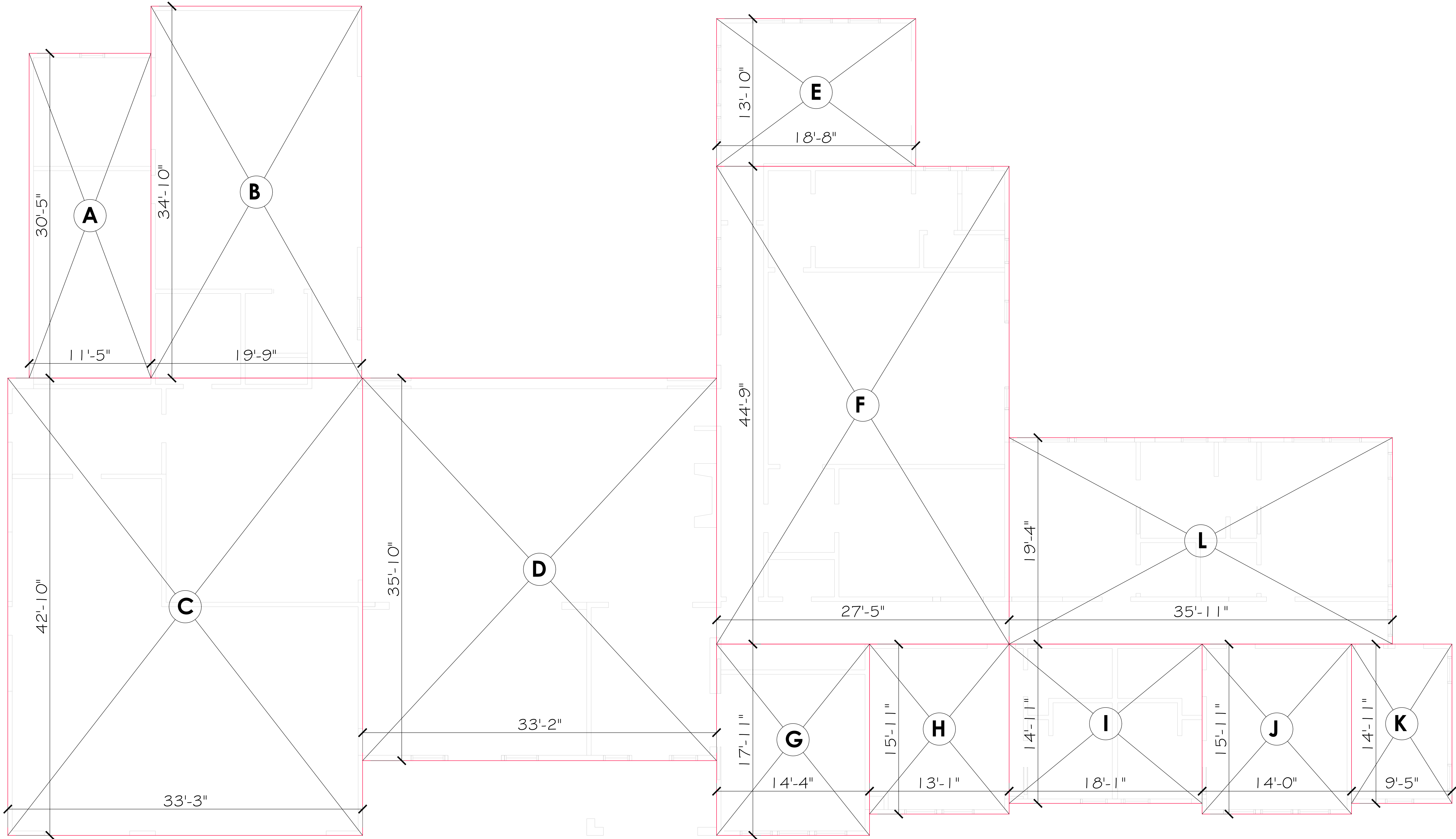
DATE	12.11.2020
SCALE	AS SHOWN
PROJECT ID	2020.137
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NEW SITE PLAN

SHEET TITLE

SHEET NO.

A1.2



1. NEW FLOOR AREA CALCULATION

SCALE: 1/4" = 1'-0"

FLOOR AREA CALCULATION	
	AREA (SF)
A	347
B	600
C	1,424
D	1,189
E	250
F	1,227
G	257
H	200
I	270
J	223
K	141
L	694
TOTAL	6,926

PLANNING SET NOT FOR CONSTRUCTION

299 BASSETT ST. SUITE 250
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PROJECT ADDRESS

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DATE	12.11.2020
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AREA PLAN

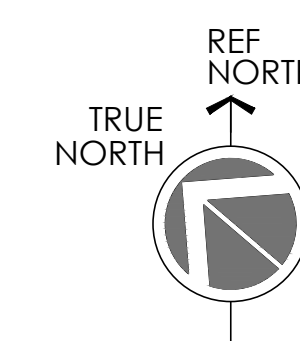
SHEET TITLE

SHEET NO.

A1.3

23205 MORA GLEN DR.
LOS ALTOS, CA 94024

HOUSE ADDITION for



SCALE: 1/4" = 1'-0"

LEGEND

- 
- (E) WALL TO REMAIN
- WALL TO BE REMOVED
- DOOR TO BE REMOVED

PLANNING SET NOT FOR CONSTRUCTION

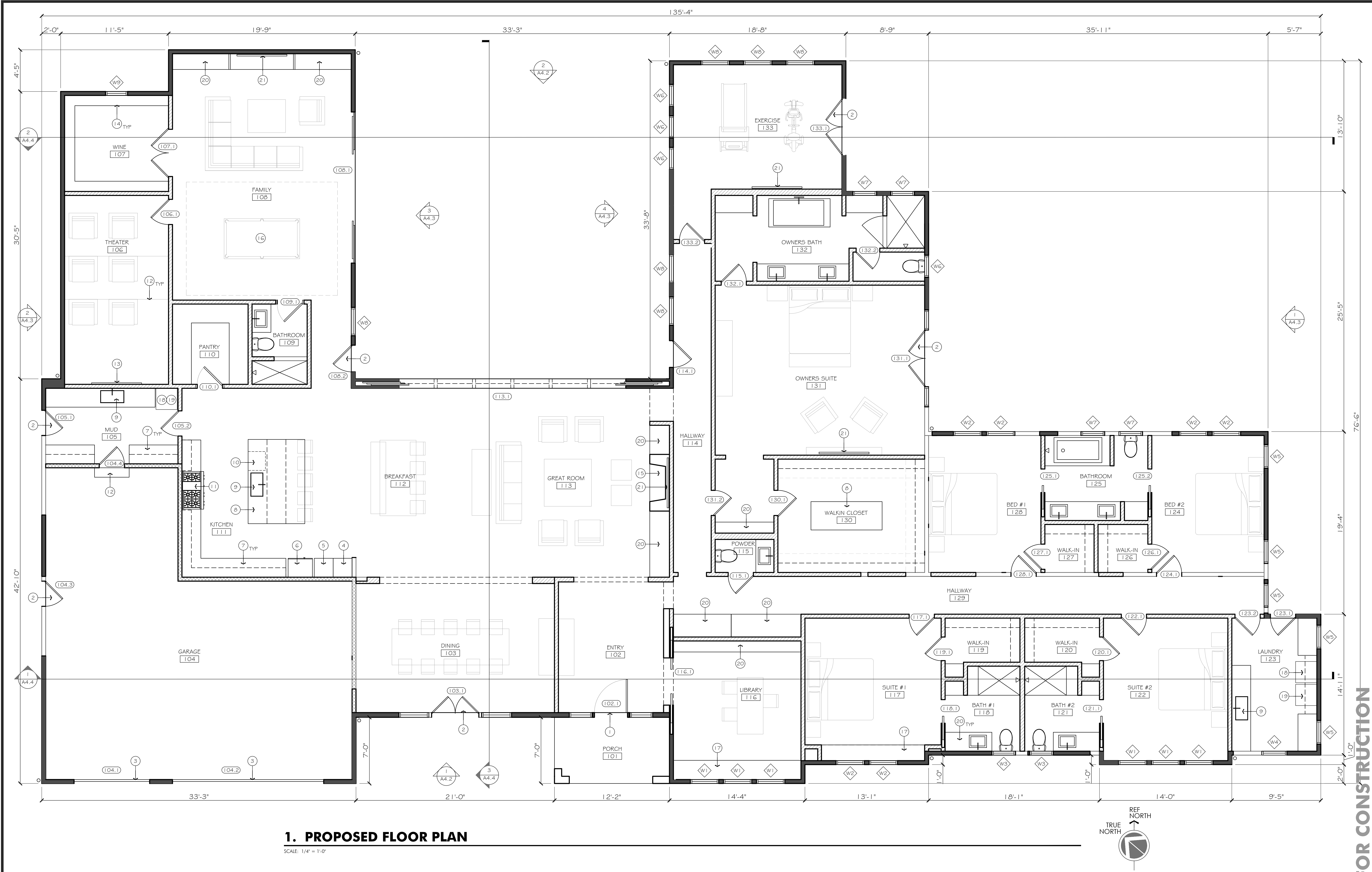
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SHEET TITLE

SHEET NO.

A2.1



1. PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES

- A. NEW GYP. BD. FINISH TO BE LEVEL 4 SMOOTH WALL AND REFINISH EXISTING GYP. BD. TO MATCH LEVEL 4 SMOOTH WALL IN ALL NEW OR REMODELED AREAS, TYPICAL.
- B. GYP BD. FINISH IN LIVING/DINING/ENTRY SHALL BE LEVEL 5 FINISH, SMOOTH.
- C. REPLACE ALL BULLNOSE CORNERS OF GYP.BD. WITH STRAIGHT METAL ANGLE FOR CLEAN LOOK. ALL NEW CORNERS TO BE STRAIGHT.
- D. WRAP PLUMBING PIPES WITH NOISE BLOCKING MATERIAL INSIDE PLUMBING WALLS.
- E. NEW APPLIANCES, PLUMBING FIXTURES TO BE SELECTED BY OWNER & INSTALLED BY CONTRACTOR.
- F. KITCHEN COUNTER AND ISLAND TO HAVE NEW STONE COUNTERTOP. SLAB TO BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR.
- G. BATHROOM COUNTERS TO HAVE NEW STONE COUNTERTOP. SLAB TO BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR.
- H. CONTROL VALVES IN BATHTUBS, SHOWERS, ETC. MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
- I. ALL NEW CABINETS, GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT & CLIENT REVIEW AND APPROVAL BEFORE START OF FABRICATION.
- J. ALL DIMENSIONS ARE TAKEN TO FACE OF STUD TYPICAL, UNLESS NOTED OTHERWISE. WINDOW AND DOOR JAMB DIMENSIONS ARE FROM FACE OF INTERIOR GYP. BD. TO FACE OF EXTERIOR PLY. SHITG., THICKNESS OF EXTERIOR SIDING & TRIM ARE NOT INCLUDED IN THE JAMB DIMENSION, TYP.
- K. INSTALL LINEAR FLOOR DRAIN AT ALL SHOWERS, TYP.
- L. INSTALL ELECTRIC FLOOR HEATING AT ALL FLOORS IN BATHROOMS, EXCEPT POWDER ROOM.
- M. ELECTRICAL AND PLUMBING CONTRACTORS TO VERIFY REQUIREMENTS FOR ALL APPLIANCES NOTED ON THE FLOOR PLAN AND PROVIDE REQUIRED CONNECTIONS.
- N. ALL EXISTING 8'-0" TOP PLATE TO BE RAISED TO 9'-0". SEE STRUCTURAL DRAWINGS. MASTER BEDROOM TOP PLATE TO BE RAISED TO 10'-0". POOLHOUSE IS TO HAVE CUSTOM CUT TOP PLATE. SEE SECTIONS. GARAGE AND BREEZEWAY TO HAVE 8'-0" TOP PLATE.
- O. NEW WOOD FLOOR TO BE SELECTED BY OWNER. FINISH NEW HARDWOOD W/2 COATS GLOSS POLYURETHANE AND ONE FINISH SATIN COAT. TYPICAL THROUGHOUT HOUSE. REPLACE EXISTING PLYWOOD SUBFLOOR IF DAMAGED OR DRYROT.

KEYNOTES

1. (N) ENTRY DOOR.
2. (N) EXTERIOR DOOR.
3. (N) GARAGE DOOR.
4. (N) WINE FRIDGE STORAGE.
5. (N) FREEZER.
6. (N) REFRIGERATOR.
7. (N) LOWER & UPPER CASEWORK.
8. (N) ISLAND.
9. (N) UNDERMOUNTED SINK.
10. (N) UNDERCOUNTER DISHWASHER.
11. (N) GAS STOVE WITH HOOD ABOVE.
12. (N) STEP.
13. (N) PROJECTOR SCREEN.
14. (N) WINE STORAGE SHELVES.
15. (N) GAS FIREPLACE.
16. PULL TABLE.
17. BUILD-IN WINDOW SEAT.
18. WASHER.
19. DRYER.
20. BUILT-IN CABINET.
21. PROVIDE CABLE AND POWER FOR TV.

Indicated by (#) → on the plan

LEGEND

- (E) WALL TO REMAIN
- (N) EXTERIOR WALL
- (N) 1 HR. RATED WALL
- (N) INTERIOR WALL
- (N) DOOR
- (N) WINDOW

PROJECT ADDRESS

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LOS ALTOS, CA 94024

HOUSE ADDITION for

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PROPOSED FLOOR PLAN

SHEET TITLE

SHEET NO.

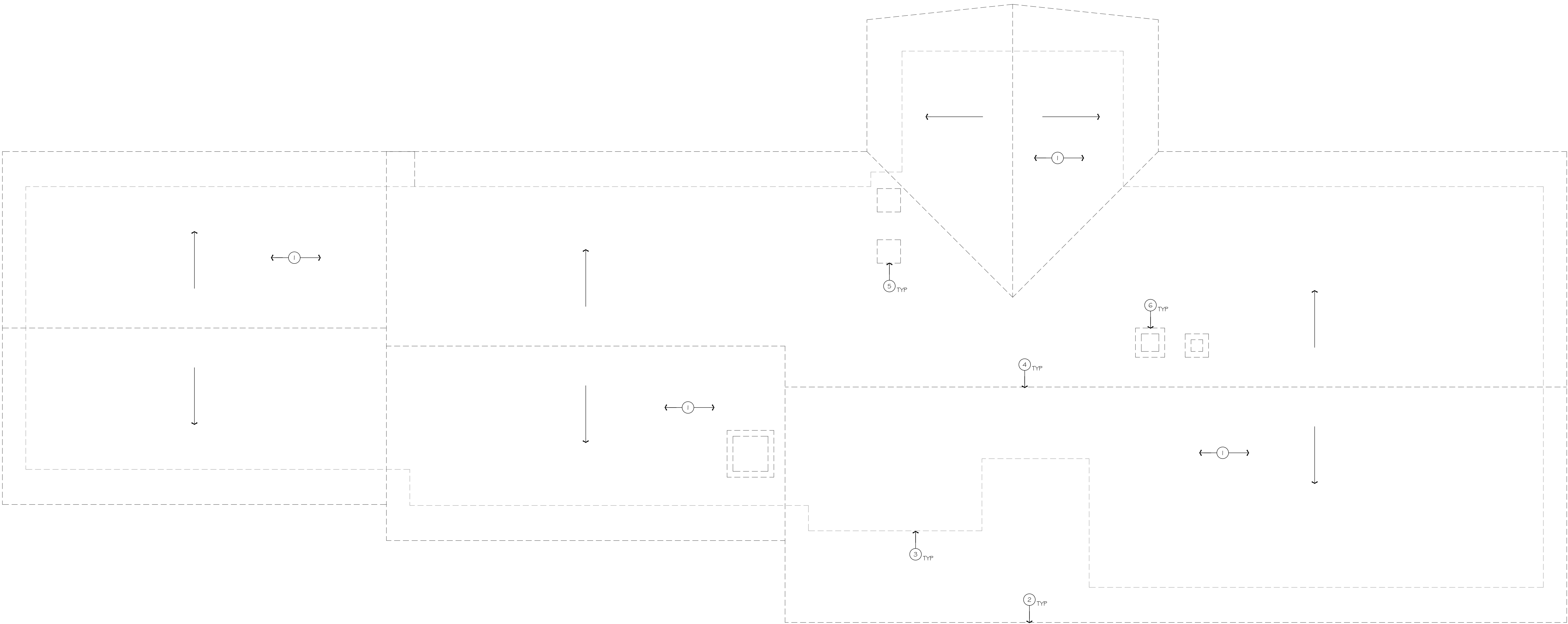
A2.2

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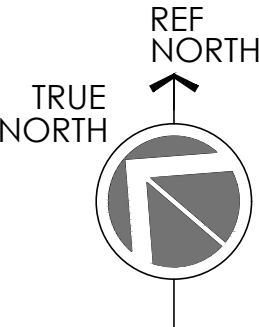
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LOS ALTOS, CA 94024

HOUSE ADDITION for



1. EXISTING & DEMOLITION ROOF PLAN

SCALE: 1/4" = 1'-0"



KEYNOTES

Indicated by (#) on the plan

1. REMOVE ENTIRE ROOF.
2. (E) EAVE.
3. (E) HOUSE OUTLINE.
4. (E) RIDGE.
5. (E) CHIMNEY.
6. (E) SKYLIGHT.

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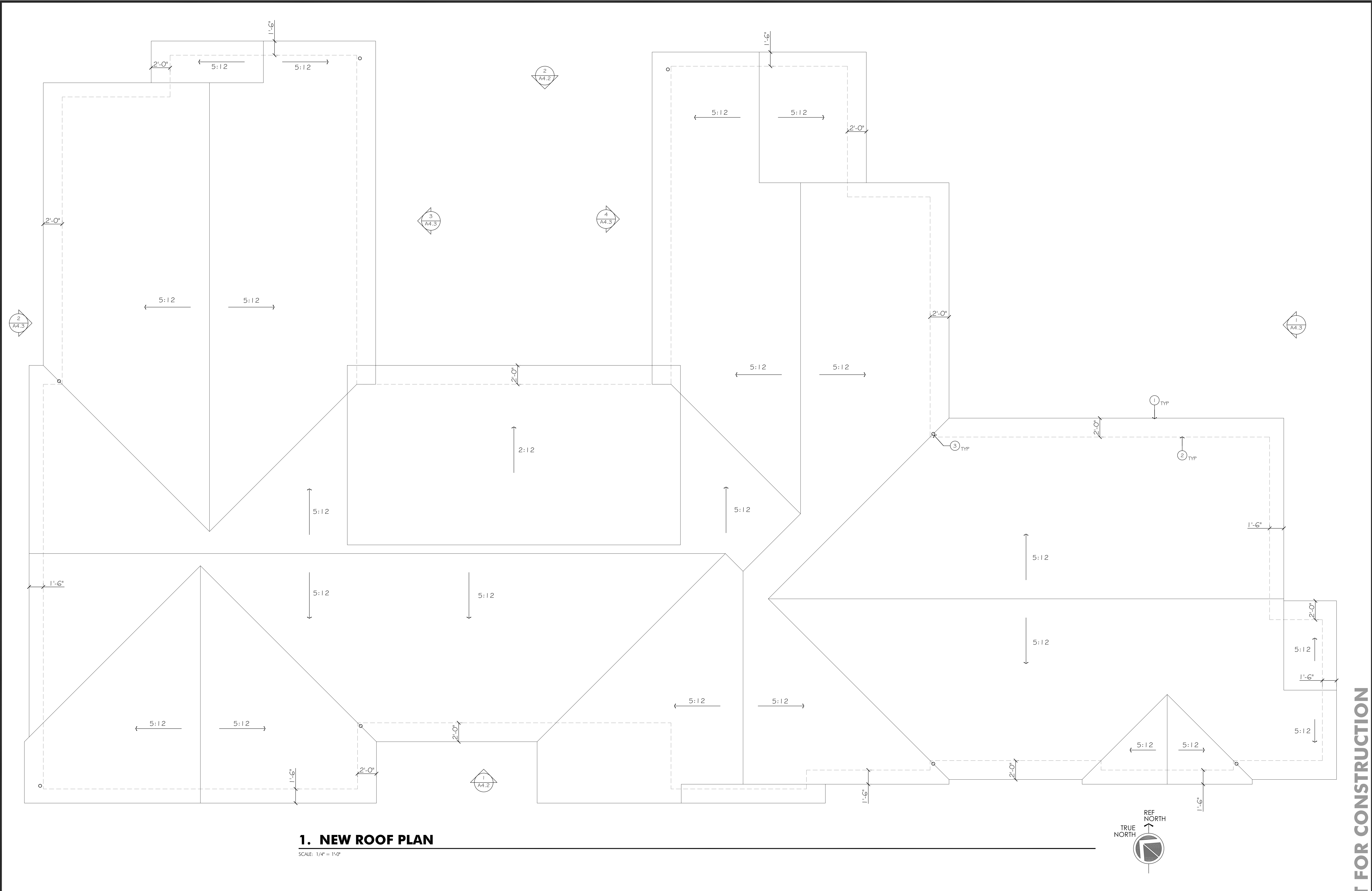
DATE	12.11.2020
SCALE	AS SHOWN
PROJECT ID	2020.137
DRAWN BY	KS/GY

EXISTING & DEMOLITION
ROOF PLAN

SHEET TITLE

SHEET NO.

A3.1



1. NEW ROOF PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES

- A. ALL EXISTING ROOFING WOOD SHINGLES, EAVES, GUTTERS AND DOWNSPOUTS AND PLYWOOD TO BE REMOVED. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION. PREPARE ROOF FOR NEW SYNTHETIC ROOF UNDERLAYMENT.
- B. ALL NEW GUTTERS AND DOWNSPOUTS TO BE 26 GA. MATCH COLOR TO NEW ROOF. SUBMIT SAMPLES TO ARCHITECT.
- C. ALL NEW 4:12 SLOPE ROOF TO BE ARCHITECTURAL METAL SHEET. SEE ELEVATIONS FOR COLOR.
- D. CUT AND FRAME 3' x 3' OPENING IN EXISTING ABANDONED ROOF TO ALLOW ACCESS TO NEW ATTIC ADDITION. CUT THROUGH NO MORE THAN ONE EXISTING RAFTER.
- E. ALL FLASHING TO BE 26 GA.
- F. FLAT ROOFED AREAS TO BE MODIFIED BIT, SINGLE PLY MEMBRANE ROOFING SYSTEM SUITABLE OVER NAILABLE DECK. PROVIDE PROTECTIVE COATING AS RECOMMENDED BY MANUFACTURER. PROVIDE VENTING AS RECOMMENDED BY MANUFACTURER.
- G. LOCATION AND DESING OF ALL ADDITIONAL ROOF PENETRATIONS FRO PLUMBING VENT AND OHTER SHALL BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.

KEYNOTES

- 1. (N) EAVE.
- 2. BUILDING OUTLINE BELOW ROOF.
- 3. (N) RAINWATER DOWNSPOUT.

Indicated by (#) on the plan

PLANNING SET NOT FOR CONSTRUCTION

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1-408-283-0100



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23205 MORA GLEN DR.
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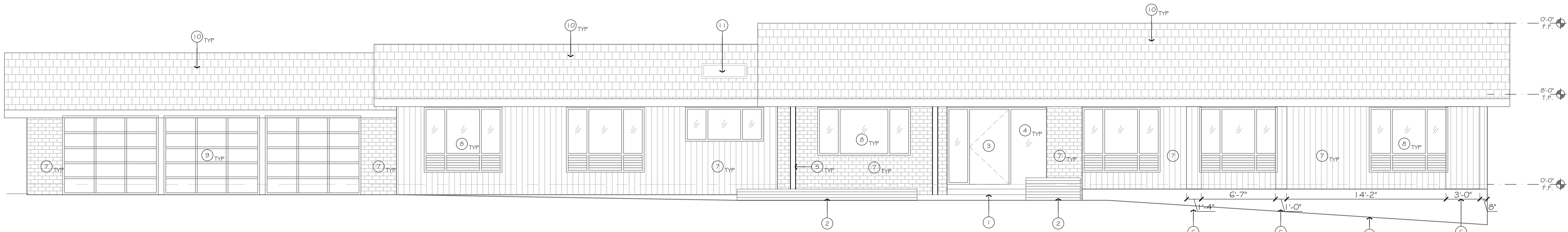
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DRAWN BY	KS:GY

NEW ROOF PLAN

SHEET TITLE

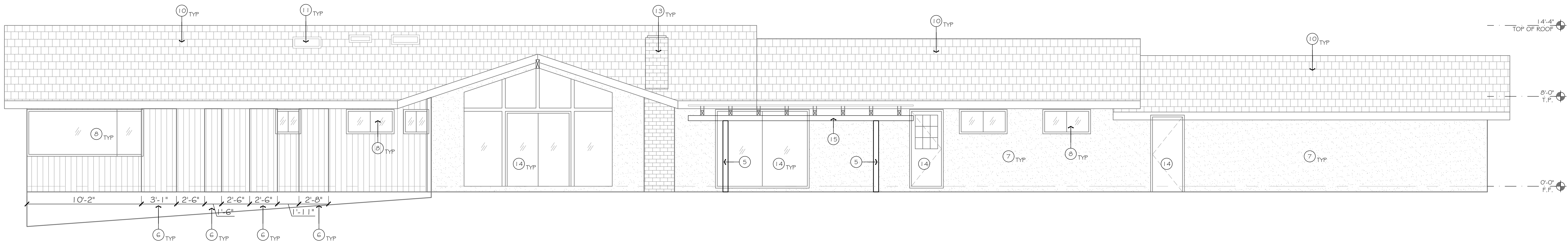
SHEET NO.

A3.2



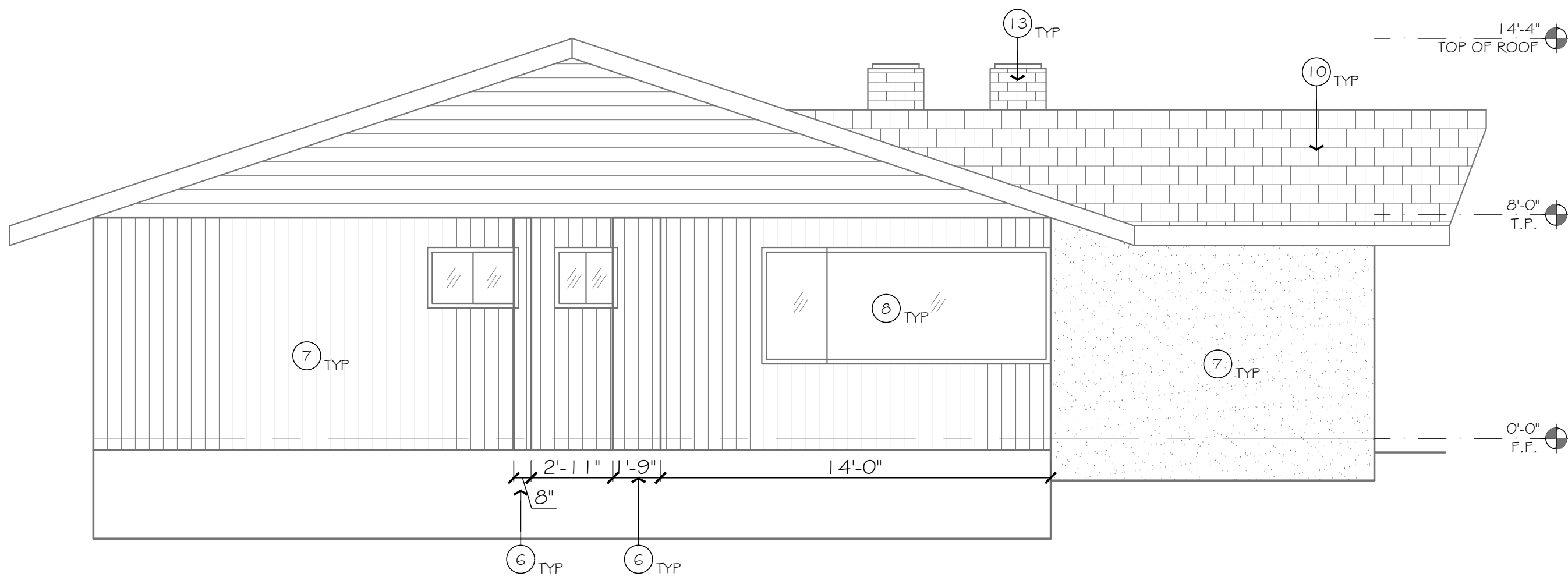
1. DEMOLITION FRONT ELEVATION - SOUTHWEST

SCALE: 1/4" = 1'-0"



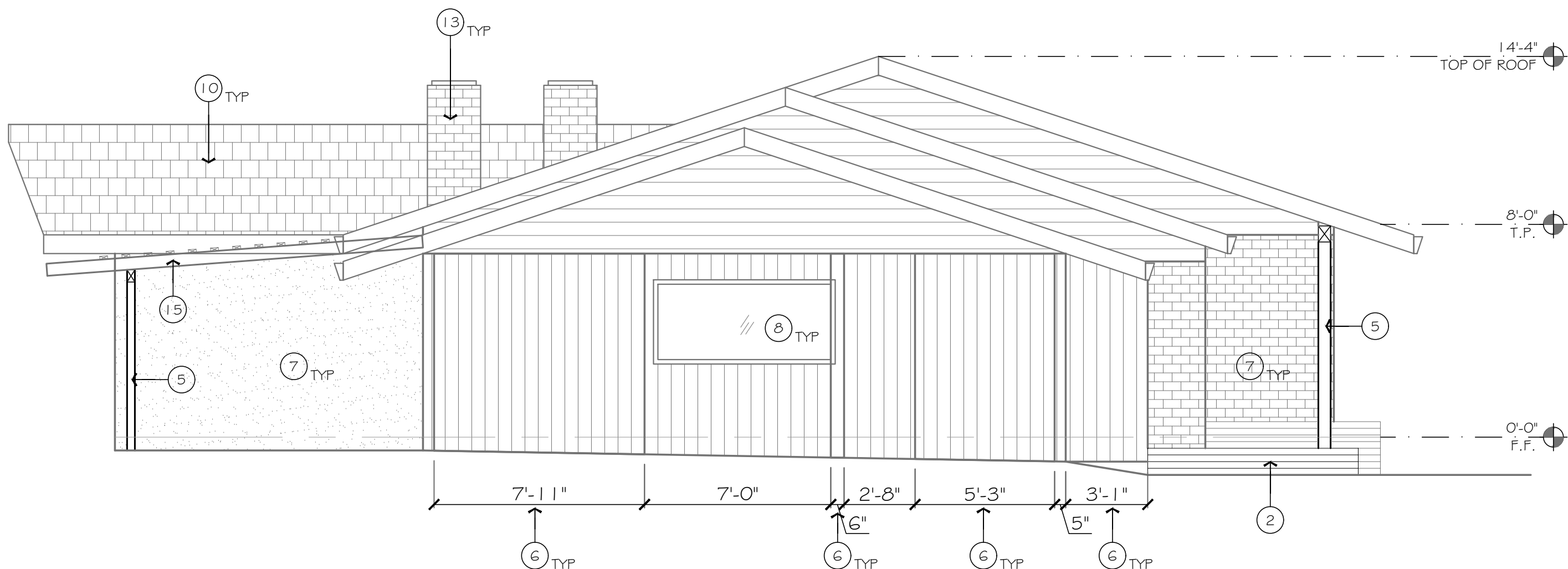
2. DEMOLITION REAR ELEVATION - NORTHEAST

SCALE: 1/4" = 1'-0"



3. DEMOLITION LEFT ELEVATION - NORTHWEST

SCALE: 1/4" = 1'-0"



4. DEMOLITION RIGHT ELEVATION - SOUTHEAST

SCALE: 1/4" = 1'-0"

KEYNOTES

Indicated by # on the plan

1. (E) CONC. STEPS.
2. (E) CONC. PLANTER.
3. (E) MAIN ENTRY DOOR.
4. (E) SIDELITE.
5. (E) POST TO BE REMOVED.
6. THIS PART OF WALL TO REMAIN. COORDINATE WITH FLOOR PLANS FOR LOCATION.
7. EXTERIOR WALL TO BE REMOVED. U.O.N.
8. REMOVE ALL WINDOWS.
9. GARAGE DOOR TO BE REMOVED.
10. REMOVE EXISTING ROOF.
11. (E) SKYLIGHT TO BE REMOVED.
12. SLOPED LAND. SEE CIVIL DRAWINGS FOR NEW GRADING.
13. (E) CHIMNEY TO BE REMOVED.
14. REMOVE (E) DOOR.
15. (E) TRELLIS TO BE REMOVED.

PLANNING SET NOT FOR CONSTRUCTION

299 BASSETT ST. SUITE 250
SAN JOSE, CA 95110
1-408-283-0100

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ARCHITECTS

PROJECT ADDRESS

23205 MORA GLEN DR.
LOS ALTOS, CA 94024

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REVISIONS

DATE	DESCRIPTION
12.11.2020	PLANNING SUBMITTAL

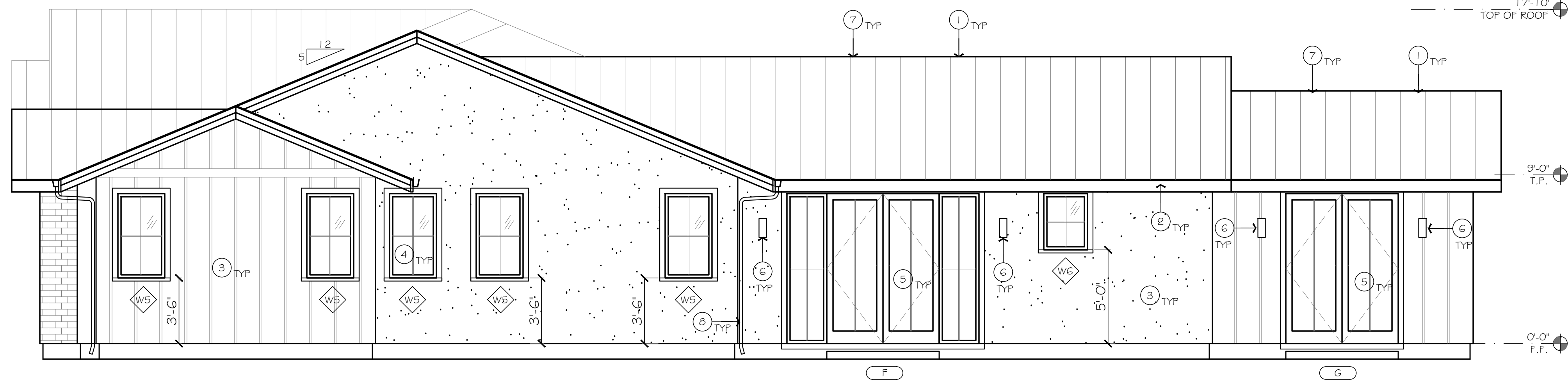
DATE	12.11.2020
SCALE	AS SHOWN
PROJECT ID	2020.137
DRAWN BY	KS/GY

EXISTING & DEMOLITION
ELEVATIONS

SHEET TITLE

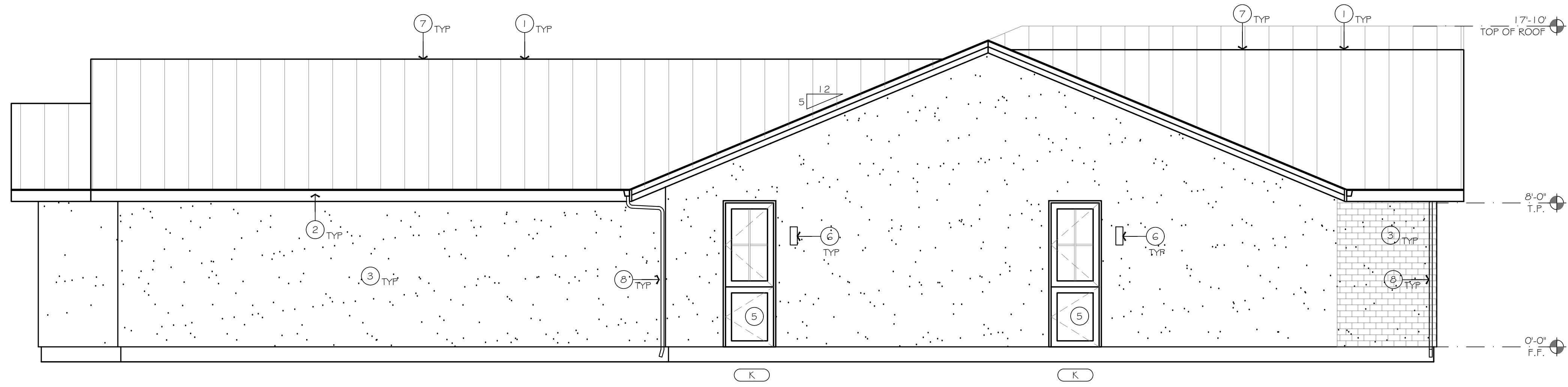
SHEET NO.

A4.1



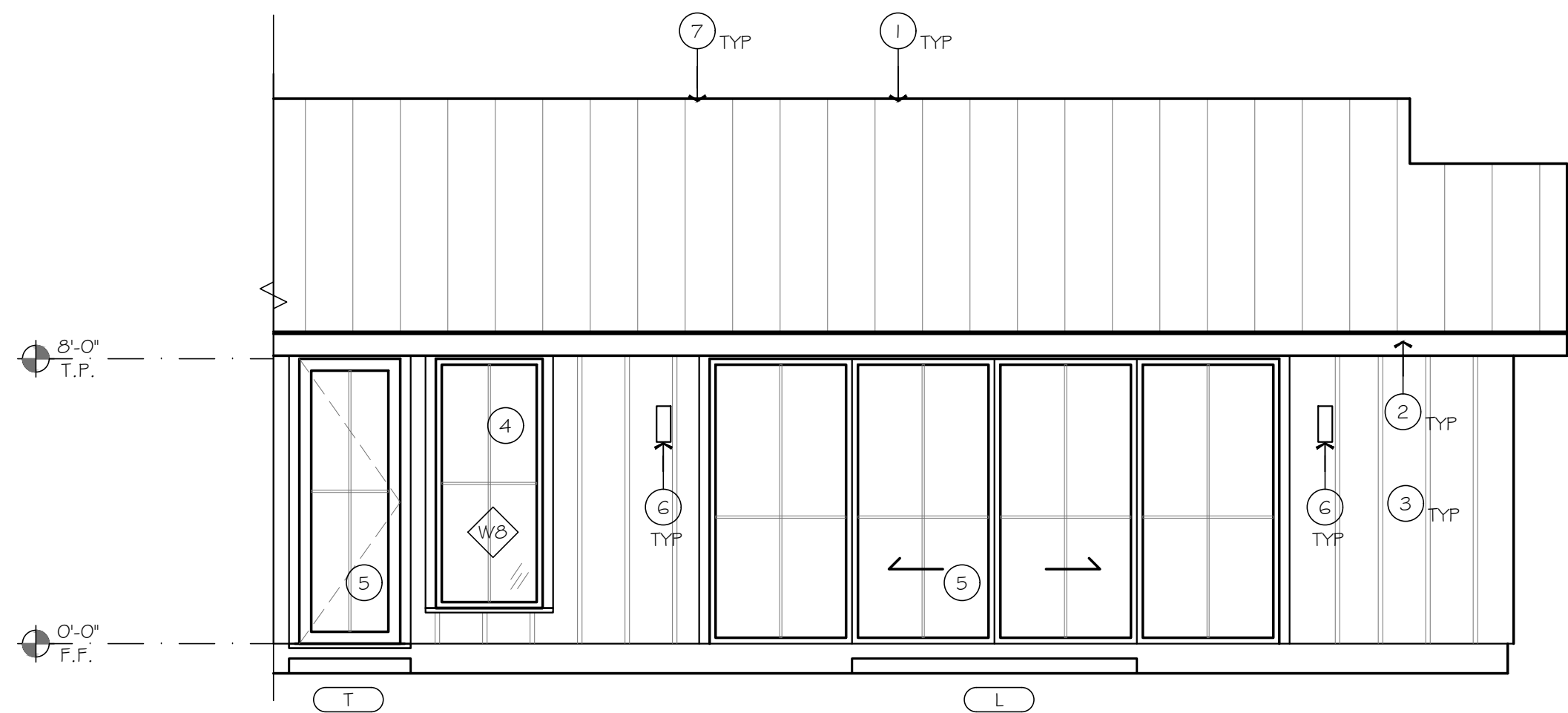
1. NEW LEFT ELEVATION - NORTHWEST

SCALE: 1/4" = 1'-0"



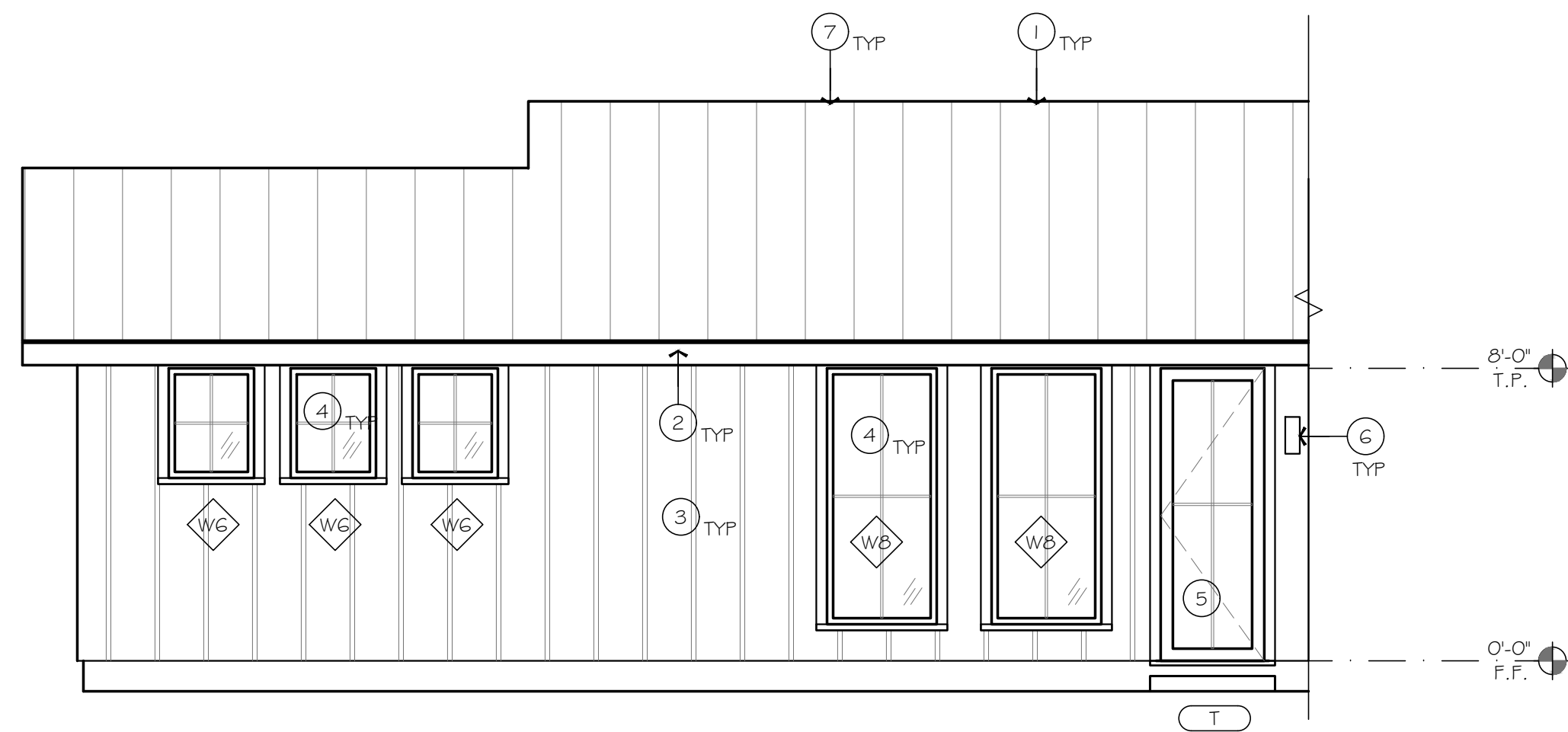
2. NEW RIGHT ELEVATION - SOUTHEAST

SCALE: 1/4" = 1'-0"



3. NEW COURTYARD ELEVATION - EAST

SCALE: 1/4" = 1'-0"



4. NEW COURTYARD ELEVATION - WEST

SCALE: 1/4" = 1'-0"

GENERAL NOTES

- A. ALL EXTERIOR TO RECEIVE NEW PAINT FINISH INCLUDING EAVES, RAFTERS, FASCIAS, GUTTERS, STUCCO, SIDING AND WOOD TRIM. PRIME NEW WOOD BEFORE APPLYING (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT.
- B. ALL SOLID WOOD TRIM TO BE KILN DRIED CLEAR CEDAR (NO SAP WOOD). ALL TRIM TO BE MILLED WITH SQUARE CORNERS.
- C. MEMBRANE WINDOW FLASHING TO BE MANUFACTURE GRACE; PRODUCT: VYCOR SELF-ADHERED FLASHING.
- D. EXTERIOR STUCCO WALLS SHALL HAVE A WEEP SCREED AT OR BELOW THE FOUNDATION PLATE LINE AND 4" MIN. ABOVE GRADE OR 2" ABOVE PAVED AREAS THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. EXTERIOR STUCCO WALLS HAVING A WOOD BASE WILL BE PROVIDED WITH TWO (2) LAYERS OF KRAFT "D" PAPER. (CRC 703.6.2.)

KEYNOTES

1. STANDING SEAM METAL ROOF.
2. (N) GUTTER.
3. WALL FINISH. SEE LEGEND.
4. (N) WINDOW. SEE WINDOW SCHEDULE.
5. (N) DOOR. SEE DOOR SCHEDULE.
6. EXTERIOR WALL SCONCE. STYLE TBD.
7. RIDGE VENT, TYP.
8. RAINWATER DOWNSPOUT.

Indicated by (#) → on the plan

LEGEND

- STANDING SEAM METAL ROOF
- LIMEWASHED BRICK VENEER - SWISS COFFEE
- SMOOTH STUCCO - SWISS COFFEE
- BASE BID: PAINTED BOARD AND BATTEN - SWISS COFFEE
ALT: GREY CEDAR SHIP LAP OR T&G

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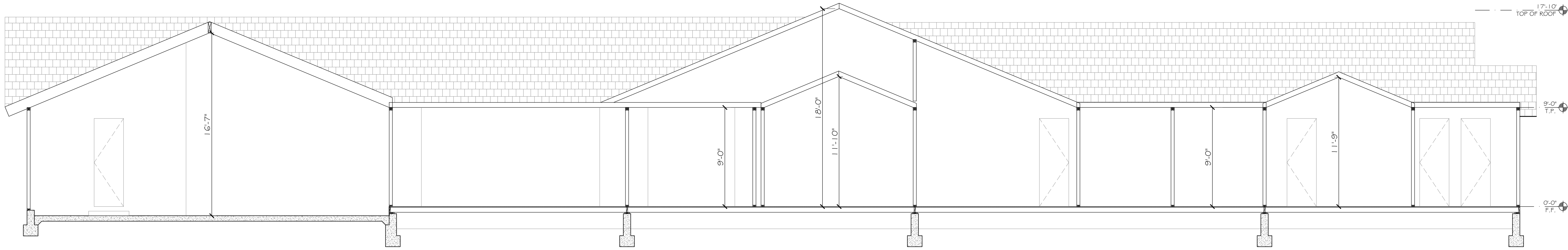
DATE	12.11.2020
SCALE	AS SHOWN
PROJECT ID	2020.137
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NEW ELEVATIONS

SHEET TITLE

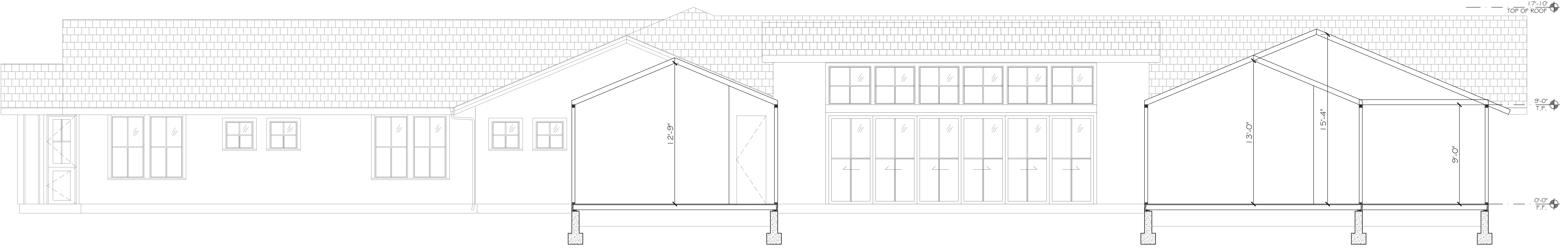
SHEET NO.

A4.3



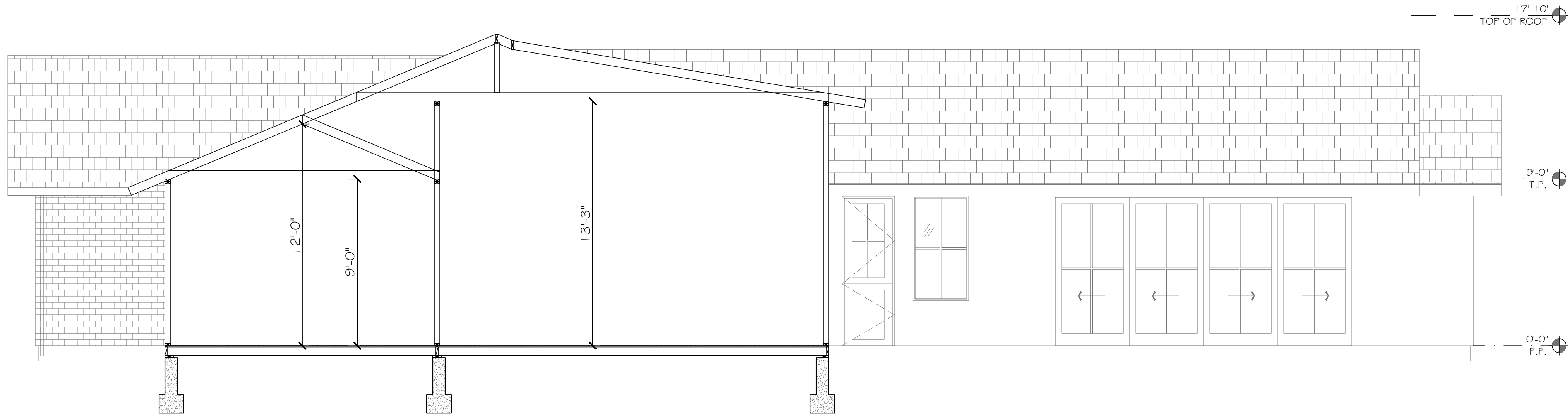
1. BUILDING SECTION

SCALE: 1/4" = 1'-0"



2. BUILDING SECTION

SCALE: 1/4" = 1'-0"



3. BUILDING SECTION

SCALE: 1/4" = 1'-0"

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DATE	DESCRIPTION
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BUILDING SECTIONS

SHEET TITLE

SHEET NO.

A4.4

DOOR TYPES

NO.	DOOR NUMBER	ROOM NAME	SIZE	THICKNESS	DOOR TYPE	HARDWARE GROUP	MATERIAL	FINISH	SIDELIGHT GLAZING	FRAME		FIRE RATING	REMARKS
			WIDTH X HEIGHT							MATERIAL	FINISH		
1	102.1	ENTRY	3'-6" X 8'-0"	1-3/4"	C	TBD							
2	103.1	DINING	5'-0" X 8'-0"	1-3/4"	Q	TBD							
3	104.1	GARAGE	8'-0" X 8'-0"	1-3/4"	N	TBD							
4	104.2	GARAGE	1'-0" X 8'-0"	1-3/4"	D	TBD							
5	104.3	GARAGE	2'-8" X 8'-0"	1-3/4"	N	TBD							
6	104.4	GARAGE	2'-8" X 8'-0"	1-3/4"	A	TBD							
7	105.1	MUD	2'-8" X 8'-0"	1-3/4"	B	TBD							
8	105.2	MUD	2'-8" X 8'-0"	1-3/4"	M	TBD							
9	106.1	THEATER	2'-8" X 8'-0"	1-3/4"	H	TBD							
10	107.1	WINE	5'-0" X 8'-0"	1-3/4"	N	TBD							
11	108.1	FAMILY	1'-0" X 8'-0"	1-3/4"	N	TBD							
12	108.1	FAMILY	2'-11" X 8'-0"	1-3/4"	Q	TBD							
13	109.1	BATHROOM	2'-8" X 8'-0"	1-3/4"	H	TBD							
14	110.1	PANTRY	2'-8" X 8'-0"	1-3/4"	N	TBD							
15	113.1	GREAT ROOM	24'-0" X 8'-0"	1-3/4"	N	TBD							
16	114.1	HALLWAY	2'-11" X 8'-0"	1-3/4"	P	TBD							
17	115.1	POWDER	2'-8" X 8'-0"	1-3/4"	L	TBD							
18	116.1	LIBRARY	5'-0" X 8'-0"	1-3/4"	J	TBD							
19	117.1	SUITE #1	2'-8" X 8'-0"	1-3/4"	N	TBD							
20	118.1	BATH #1	2'-6" X 8'-0"	1-3/4"	N	TBD							
21	119.1	WALK-IN	2'-6" X 8'-0"	1-3/4"	K	TBD							
22	120.1	WALK-IN	2'-6" X 8'-0"	1-3/4"	J	TBD							
23	121.1	BATH #2	2'-6" X 8'-0"	1-3/4"	N	TBD							
24	122.1	SUITE #2	2'-8" X 8'-0"	1-3/4"	S	TBD							
25	123.1	LAUNDRY	2'-8" X 8'-0"	1-3/4"	N	TBD							
26	123.2	LAUNDRY	2'-8" X 8'-0"	1-3/4"	R	TBD							
27	124.1	BEDROOM #2	2'-8" X 8'-0"	1-3/4"	M	TBD							
28	125.1	BATHROOM	2'-6" X 8'-0"	1-3/4"	M	TBD							
29	125.2	BATHROOM	2'-6" X 8'-0"	1-3/4"	R	TBD							
30	126.1	WALK-IN	2'-8" X 8'-0"	1-3/4"	N	TBD							
31	127.1	WALK-IN	2'-8" X 8'-0"	1-3/4"	H	TBD							
32	128.1	BEDROOM #1	2'-8" X 8'-0"	1-3/4"	N	TBD							
33	130.1	WALK-IN	2'-8" X 8'-0"	1-3/4"	N	TBD							
34	131.1	OWNERS SUITE	6'-0" X 8'-0"	1-3/4"	R	TBD							
35	131.2	OWNERS SUITE	2'-8" X 8'-0"	1-3/4"	R	TBD							
36	132.1	OWNERS BATH	2'-8" X 8'-0"	1-3/4"	N	TBD							
37	132.2	OWNERS BATH	2'-6" X 8'-0"	1-3/4"	N	TBD							
38	133.1	EXERCISE	2'-8" X 8'-0"	1-3/4"	N	TBD							
39	133.2	EXERCISE	6'-0" X 8'-0"	1-3/4"	N	TBD							

DOOR TYPES

WINDOW SCHEDULE								
WINDOW NUMBER	SIZE	TYPE.	MANUF.	OPERATION	GLAZING	FRAME		REMARKS
	WIDTH X HEIGHT					MATERIAL	FINISH	
W1	3'-0" X 6'-6"	TBD	TBD	FIXED	INSULATED	TBD	TBD	
W2	3'-0" X 5'-8"	TBD	TBD	FIXED	INSULATED	TBD	TBD	
W3	2'-6" X 3'-0"	TBD	TBD	FIXED	INSULATED	TBD	TBD	
W4	2'-8" X 4'-8"	TBD	TBD	FIXED	INSULATED	TBD	TBD	
W5	2'-6" X 4'-8"	TBD	TBD	FIXED	INSULATED	TBD	TBD	
W6	2'-4" X 3'-0"	TBD	TBD	FIXED	INSULATED	TBD	TBD	
W7	2'-4" X 4'-10"	TBD	TBD	FIXED	INSULATED	TBD	TBD	
W8	2'-6" X 2'-6"	TBD	TBD	FIXED	INSULATED	TBD	TBD	
W9	3'-0" X 7'-0"	TBD	TBD	FIXED	INSULATED	TBD	TBD	

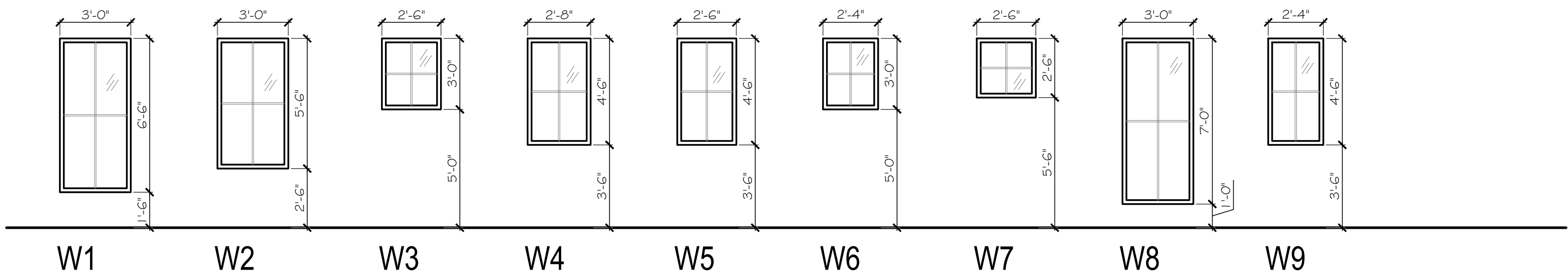
GENERAL DOOR NOTES

- A. ALL DOORS AND DOOR HARDWARE SHALL BE INSTALLED IN COMPLIANCE WITH THE 2019 CBC.
- B. VISION LIGHT GLAZING IN DOORS MUST QUALIFY AS SAFETY GLAZING PER CBC FOR ALL INSTALLATIONS. GLAZING MUST BE LABELED TO INDICATE THAT IT IS TEMPERED OR SAFETY GLAZING AND SHALL BEAR UL CLASSIFICATIONS MARKINGS AS REQUIRED.
- C. CONTRACTOR SHALL PROVIDE A DOOR, WINDOW AND HARDWARE SUBMITTAL TO ARCHITECT FOR APPROVAL.
- D. SEE EXTERIOR ELEVATIONS OF WINDOW AND DOOR SWING.
- E. ALL GLAZING TO BE DUAL GLAZED LOW E2 INSULATED.
- F. ALL WINDOWS AND DOORS SHALL HAVE NFRC RATING ATTACHED TO GLAZING WHEN DELIVERED TO THE SITE AND SHALL REMAIN ATTACHED UNTIL FINAL INSPECTION.
- G. ALL OPERABLE WINDOWS SHALL BE EQUIPPED WITH SCREENS.

DOOR TYPES



WINDOW TYPES



DOOR REMARKS

1. PROVIDE ELECTRIC GARAGE DOOR OPERATOR.
2. SHOWER DOOR, 1/2" TEMPERED GLASS.
3. PROVIDE DRAINAGE TRACK SYSTEM WITH POSITIVE SLOPE AND CONNECT IT TO STORM SYSTEM.
4. DUTCH STYLE DOOR OPERATION W/ SEPARATELY HINGED LEAVES.

WINDOW REMARKS

1. AT LEAST ONE WINDOW IN BEDROOM MUST COMPLY WITH EGRESS REQUIREMENTS FOUND IN CBC, SECT. R310.1 EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA 5.7 SQ. FT. THE MINIMUM NEW CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES AND THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. EGRESS WINDOWS SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.

SCALE: 1/4" = 1'-0"

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REVISIONS

[illegible]

DATE 12.11.2020

SCALE AS SHOWN

PROJECT ID 2020.137

DRAWN BY KS/GY

DOOR & WINDOW SCHEDULES

SHEET TITLE

SHEET NO.

A8.1

PLANNING SET NOT FOR CONSTRUCTION