

HOUSE ADDITION for MGD DEVELOPMENT

23205 MORA GLEN DRIVE, LOS ALTOS, CA 94024

PROJECT ADDRESS

23205 MORA GLEN DR.
LOS ALTOS, CA 94024

HOUSE ADDITION for

☐ PRELIMINARY (NOT FOR CONSTRUCTION) ☒ PLANNING DEPARTMENT (NOT FOR CONSTRUCTION) ☐ HEALTH DEPARTMENT ☐ BUILDING DEPARTMENT ☐ PRICING PLANS (NOT FOR CONSTRUCTION)

CONTACT INFORMATION

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CIVIL
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RYAN C LOH, S.E.
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E: rloh@rclse.com

PROJECT DATA

A.P.N.: 331-14-047
ZONING: R1E-1AC (SANTA CLARA COUNTY)
OCCUPANCY: R-3
BUILDING CONSTRUCTION: TYPE V-B

LOT SIZE: 45,227 SF (1.04 ACRE)
EXISTING HOUSE SIZE: 3,924 SF = LIVING 3,130 SF + GARAGE 794 SF
NEW HOUSE SIZE: 6,926 SF = LIVING 6,025 SF + GARAGE 904 SF

SETBACKS:
FRONT: REQ. 30 FT PROVIDE: 30'-2"
SIDE: REQ. 20 FT PROVIDE: 25'-10"
REAR: REQ. 25 FT PROVIDE: 71'-0"

YARD COVERAGE: REQ. 30% PROVIDE: 15.31%

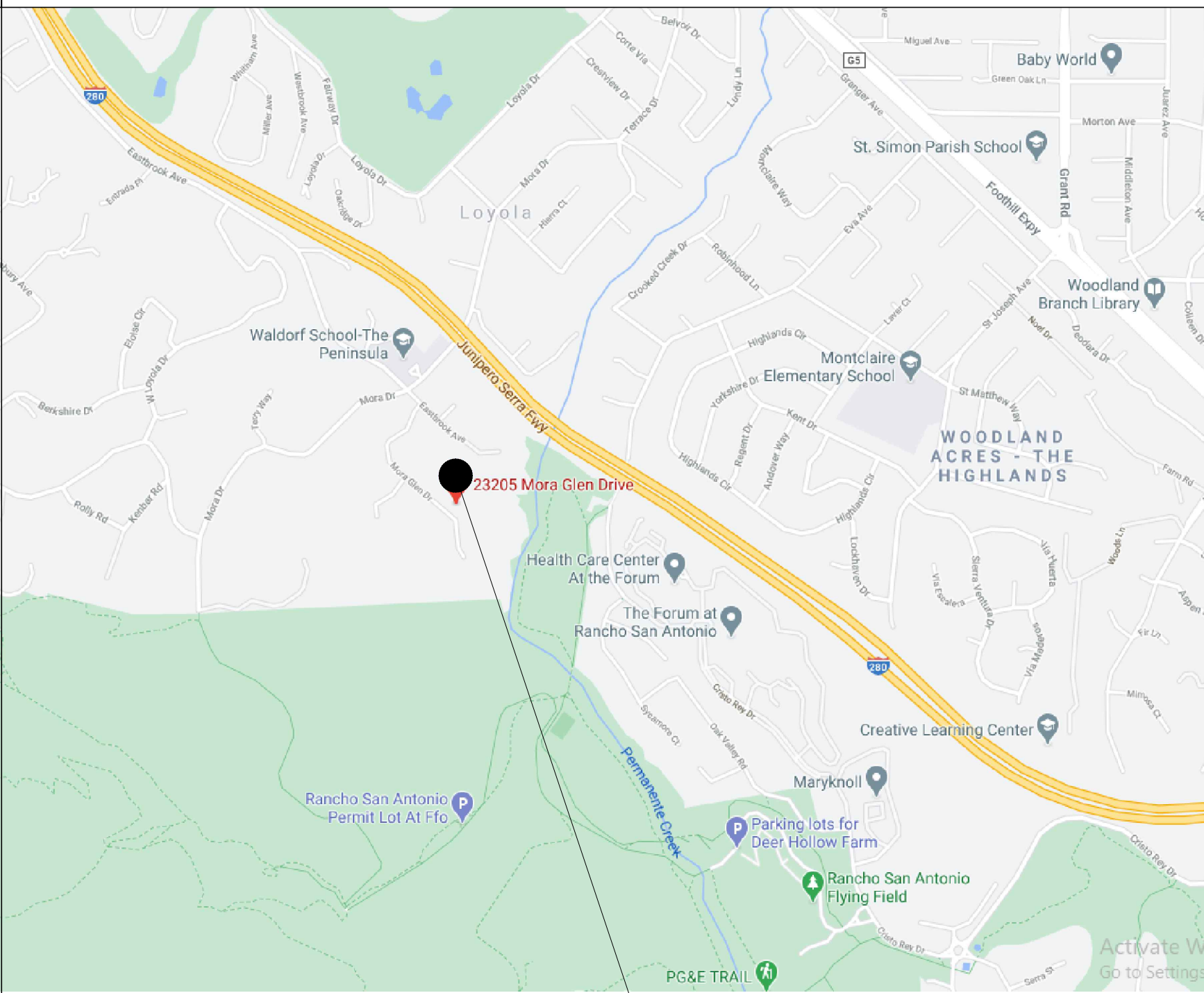
BUILDING HEIGHT: REQ. 35FT PROVIDE: 19FT

NUMBER OF STORIES: 1-STORY

FIRE SPRINKLER: DEFER SUBMITTAL

APPLICABLE CODES:
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA FIRE CODE
2019 CALGREEN CODE
*INCLUDING LOCAL CITY ADOPTED CODES & REQUIREMENTS

VICINITY MAP



PROJECT LOCATION

PROJECT SCOPE

THIS IS A HOME REBUILD DESIGNED TO INCLUDE:

DEMOLITION

SITE/EXTERIOR
DEMOLITION OF DRIVEWAY, PORCH, AND LANDSCAPE.

INTERIORS

DEMOLITION OF WALLS, ROOF, WINDOWS AND DOORS, ELECTRICAL & PLUMBING FIXTURES.

PROPOSED

SITE/EXTERIOR
NEW DRIVEWAY, PAVED SIDEWALK, DECK, AND OUTDOOR BBQ AREA.

INTERIORS

NEW BEDROOMS, BATHROOMS, KITCHEN, FAMILY ROOM, AND LIVING ROOM.

SHEET INDEX

GENERAL

A0.0 COVER SHEET
A0.1 GENERAL NOTES
A0.2 NEIGHBOR STREET VIEWS

SURVEY

C1 BOUNDARY & TOPOGRAPHIC SURVEY

CIVIL

CC1 GRADING & DRAINAGE PLAN

ARCHITECTURAL

A1.1 (E) SITE PLAN
A1.2 (N) SITE PLAN
A1.3 ENLARGED SITE PLAN & TRELLIS ELEVATIONS
A1.4 AREA CALCULATION
A1.5 EXHIBIT OF FIRE HYDRANTS

A2.1 (E) FLOOR PLAN
A2.2 (N) FLOOR PLAN

A3.1 (E) ROOF PLAN
A3.2 (N) ROOF PLAN

A4.1 (E) EXTERIOR ELEVATIONS
A4.2 (N) EXTERIOR ELEVATIONS
A4.3 (N) EXTERIOR ELEVATIONS
A4.4 BUILDING SECTIONS

A8.1 DOOR & WINDOW SCHEDULES

DEFERRED SUBMITTALS

DEFERRED SUBMITTALS (drawings and/or calculations) ARE DEFINED AS THOSE PORTIONS OF THE DESIGN THAT ARE NOT SUBMITTED AT THE TIME OF THE APPLICATION & THAT ARE TO BE SUBMITTED TO THE BUILDING OFFICIAL WITHIN A SPECIFIED PERIOD. DEFERRAL OF ANY SUBMITTALS SHALL BE REVIEWED & APPROVED BY THE ARCHITECT AND/OR ENGINEER OF RECORD PRIOR TO SUBMITTING TO THE COUNTY FOR REVIEW & APPROVAL. THE DEFERRED SUBMITTAL ITEMS SHALL BE REVIEWED & APPROVED BY THE COUNTY PRIOR TO FABRICATIONS & INSTALLATIONS OF THESE ITEMS.

THE GENERAL CONTRACTOR SHALL COORDINATE AND SUBMIT THE DEFERRED SUBMITTALS FOR REVIEW BY THE BUILDING OFFICIAL.

THE FOLLOWING ITEMS REQUIRE DEFERRED REVIEW AND PERMIT BY THE COUNTY OF SANTA CLARA, CA:
1. FIRE SPRINKLER SYSTEM

SUBMITTALS WILL INCLUDE STRUCTURAL CALCULATIONS WHERE REQUIRED BY THE LOCAL AUTHORIZING JURISDICTION.

CONTRACTOR TO REVIEW EXISTING FIRE SPRINKLER SYSTEM IN ALL BUILDINGS, FIRE SPRINKLER SYSTEM MUST COMPLY WITH 2019 CBC SECTION 903.3.1.1.

PLANNING SET NOT FOR CONSTRUCTION

STAMP

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REVISIONS

DATE	DESCRIPTION
12.11.2020	PLANNING SUBMITTAL
04.29.2021	PLANNING COMMENTS

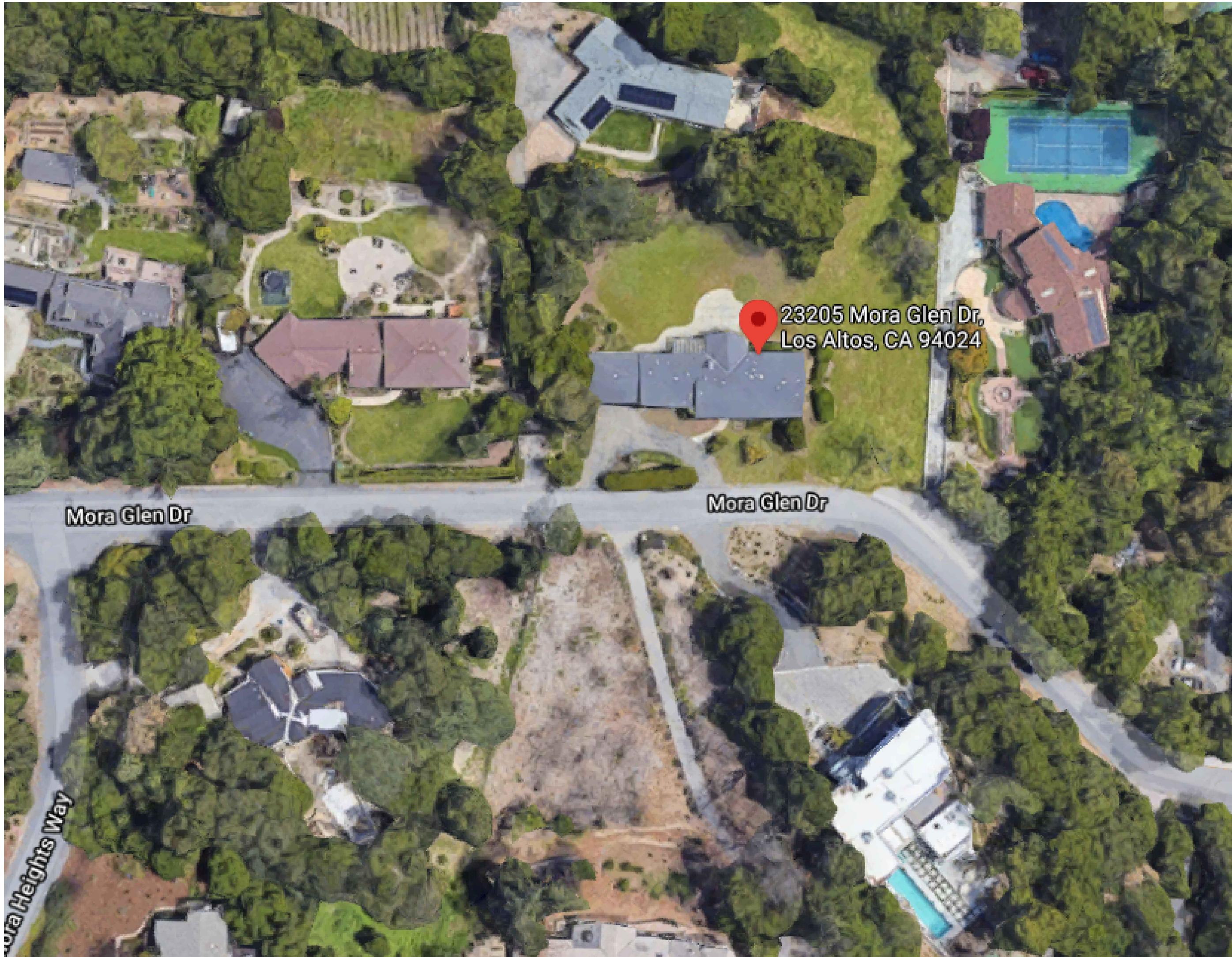
DATE	04.09.2021
SCALE	AS SHOWN
PROJECT ID	2020.137
DRAWN BY	KSGY

COVER SHEET

SHEET TITLE

SHEET NO.

A0.0



1. NEIGHBORS



2. (E) HOUSE



3. (E) HOUSE FRONT VIEW



4. LEFT SIDE NEIGHBOR



5. RIGHT SIDE NEIGHBOR

PLANNING SET NOT FOR CONSTRUCTION

299 BASSETT ST. SUITE 250
SAN JOSE, CA 95110
T:408.283.0100

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g
ARCHITECTS

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LOS ALTOS, CA 94024

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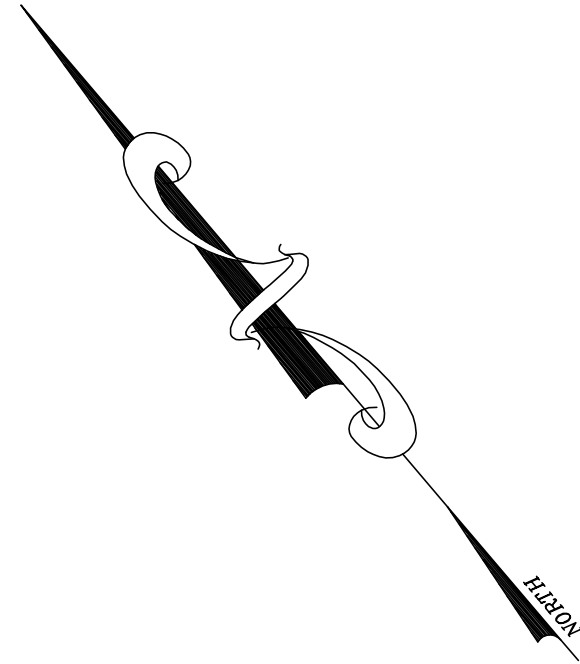
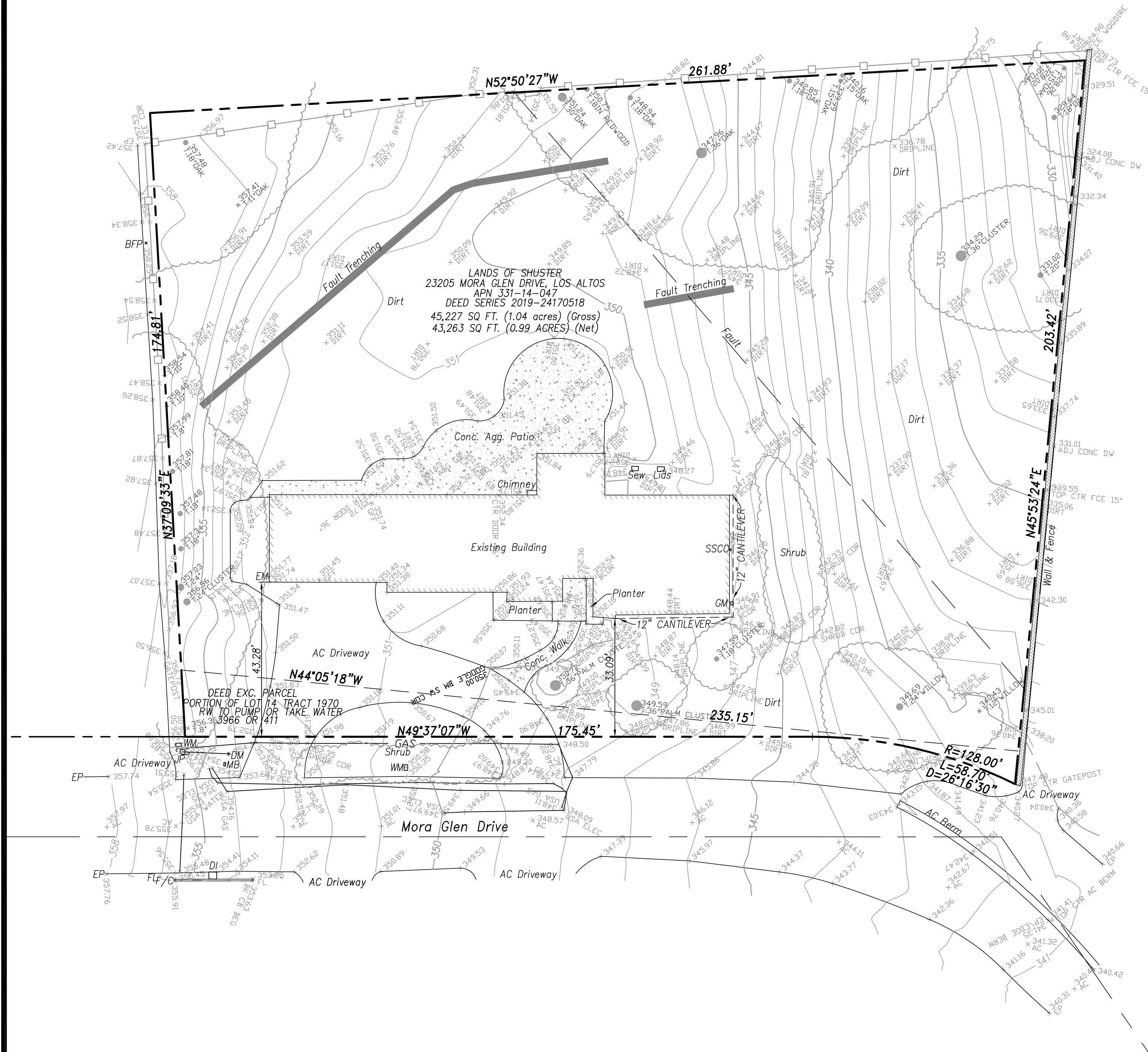
DATE	04.09.2021
SCALE	AS SHOWN
PROJECT ID	2020.137
DRAWN BY	KS/GY

(E) STREET VIEWS

SHEET TITLE

SHEET NO.

A0.2



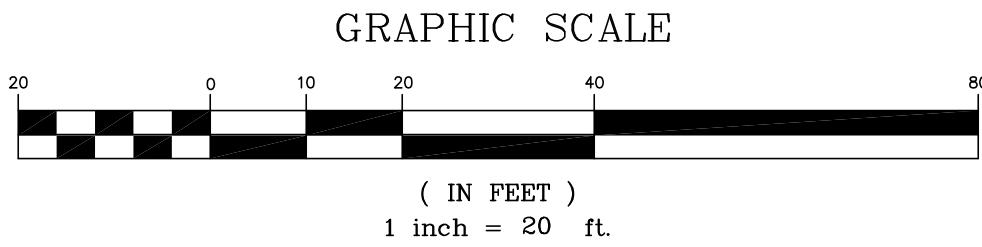
LEGEND	
SYMBOL	DESCRIPTIONS
	BOUNDARY / RIGHT-OF-WAY LINE
	EASEMENT LINE
	CENTERLINE (CL)
	RETAINING WALL
	SANITARY SEWER LINE AND MANHOLE OR CLEANOUT
	DRAIN INLET
	PERCENT GRADE
	EXISTING GRADE ELEVATION
	EXISTING CONTOUR w/ ELEVATION
	EXISTING TREE w/ DBH
ABBREVIATIONS	DESCRIPTIONS
AC	AIR CONDITIONER UNIT
AD	AREA DRAIN
AP	ASPHALT PAVEMENT
BFP	BACKFLOW PREVENTOR
BSW	BACK OF WALK
BW	BOTTOM OF WALL (EXPOSED FACE)
CB	CATCH BASIN
CONC.	CONCRETE
DBH	DIAMETER AT BREAST HEIGHT
DI	DRAIN INLET
DM	DEADMAN ANCHOR
DS	DOWNSPOUT
EP	EDGE OF PAVEMENT
EM	ELECTRIC METER
EX	EXISTING
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE ELEVATION
FH	FIRE HYDRANT
FL	FLOW LINE ELEVATION
FW	FACE OF WALL
GM	GAS METER
JP	JOINT POLE
MB	MAIL BOX
O/H	OVERHEAD
PB	PULL BOX
PL	PROPERTY LINE
PUE	PUBLIC UTILITY EASEMENT
R=	RADIUS OF CURVE
Δ=	INCLUDED ANGLE OF CURVE
L=	LENGTH OF CURVE
SSCO	SANITARY SEWER CLEAN-OUT
SSMH	SANITARY SEWER MANHOLE
SL	STREET LIGHT
VG	VALLEY GUTTER
WM	WATER METER

AVERAGE SLOPE

$$S = \frac{0.00229 \times I \text{ (CONTOUR INTERVAL)} \times L \text{ (CONTOUR LENGTH IN FT)}}{A \text{ (AREA IN ACRES)}}$$
$$S = \frac{0.00229 \times 1 \times 5402.7 \text{ FT}}{1.038 \text{ (gross ACRES)}}$$

$$S = 11.92 \%$$

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VERTICAL DATUM: HELD ASSUMED GOOGLE EARTH ELEVATION OF 350.00' AT CONCRETE WALK CORNER ON SITE.

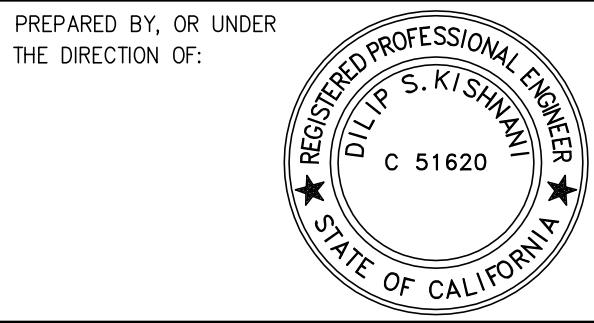
BASIS OF BEARINGS: CALCULATED BEARING OF S35°06'58"E BETWEEN THE MONUMENT AT THE INTERSECTION OF MORA GLEN DRIVE AND MORA HEIGHTS WAY AND THE PI MON 44.19' NW OF THE CUL-DE-SAC RADIUS POINT AT THE SOUTHEAST END OF MORA GLEN DRIVE AS SHOWN ON THE MAP OF MORA HEIGHTS ESTATES, TRACT 1970, BOOK 88 OF MAPS PAGE 54-55, S.C.C.R.

GROSS LOT AREA = 45,227 SQ. FT. (1.0383 ACRES)

BOUNDARY: BOUNDARY BASED UPON FIELD SURVEY PERFORMED BY OR UNDER DIRECTION OF HELMUT KORSTICK, PLS 7739.



DATE: SEPTEMBER 17, 2020					
SCALE: AS NOTED					
DRAWN: DSK					
DESIGNED: DSK					
ENGINEER: DSK					
MANAGER: DSK					
	NO.	BY	DATE	REVISIONS	CITY APPR



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PREPARED FOR:
RYAN LOH
23205 MORA GLEN DRIVE
LOS ALTOS, CA

APN: 331-14-047 23205 MORA GLEN DRIVE

BOUNDARY & TOPOGRAPHIC SURVEY

CITY OF LOS ALTOS SANTA CLARA COUNTY CALIFORNIA

SHEET NO.

C1

JOB NO. 2020-486

PROJECT ADDRESS

23205 MORA GLEN DRIVE
LOS ALTOS, CA

GENERAL GRADING/DRAINAGE NOTES:

A. PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS OR REQUIRED DEVIATIONS FROM THE PLAN PRIOR TO CONSTRUCTION. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

B. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED, IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER. AS NEEDED, THE AREA SHALL THEN BE SEEDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

C. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.

D. REFER TO GEOTECHNICAL REPORT FOR SPECIFIC SITE SOIL CONDITIONS AND CONSIDERATIONS.

E. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.

F. ALL HOPE PIPE IN SANDY OR HIGHLY EROSION, OR EXPANSIVE SOILS SHALL BE N-12 WT IB (OR EQUIVALENT) WITH SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS. 4"-48" PIPE SHALL MEET ASTM F2648 (OR AASHTO M252 TYPE S) REQUIREMENTS, AND SHALL HAVE A MINIMUM MANNINGS "n" DESIGN VALUE OF 0.012. JOINTS SHALL BE WATERTIGHT ACCORDING TO ASTM D3212 (OR AASHTO M252, M259) REQUIREMENTS. GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477. JOINT PERFORMANCE, FITTINGS, MATERIAL PROPERTIES, AND INSTALLATION SHALL BE DONE PER THE COMPLETE ADS SPECIFICATION FOR ADS N-12 WT IB PIPE FOUND IN THE ADS, INC. DRAINAGE HANDBOOK, LATEST EDITION.

G. ALL OTHER HOPE PIPE SHALL BE N-12 ST IB (OR EQUIVALENT) WITH SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS. 4"-48" PIPE SHALL MEET ASTM F2648 (OR AASHTO M252 TYPE S OR SP) REQUIREMENTS, AND SHALL HAVE A MINIMUM MANNINGS "n" DESIGN VALUE OF 0.012. JOINT PERFORMANCE, FITTINGS, MATERIAL PROPERTIES, AND INSTALLATION SHALL BE DONE PER THE COMPLETE ADS SPECIFICATION FOR ADS N-12 ST IB PIPE FOUND IN THE ADS, INC. DRAINAGE HANDBOOK, LATEST EDITION.

H. IF USING HOPE PERFORATED PIPE FOR SUBSURFACE DRAINAGE AND DETENTION/RETENTION SYSTEMS, THE PERFORATIONS SHALL MEET THE AASHTO CLASS II STANDARD PERFORMANCE PATTERN REQUIREMENTS.

PROPOSED LEGEND:

- PROPERTY LINE
- PROPOSED CONCRETE
- PROPOSED CONTOUR
- ELEVATIONS
- DRAINAGE FLOW DIRECTION
- PROPOSED CONCRETE/ SIDEWALK
- PROPOSED 4" CL B CONCRETE ON 4" CL3 AB
- PROPOSED AC
- PROPOSED STOCK PILE AREA
- PROPOSED WOOD DECK
- PROPOSED LANDSCAPE AREA
- PROPOSED HYDROSEED AREA
- PROPOSED GRAVEL GARDEN
- LIMIT OF DISTURBANCE
- 6" SDR-35 @ MIN. 1%
- BUBBLER BOX
- AREA DRAIN, NYLOPLAST OR EQUIVALENT
- FINISHED GRADE
- FINISHED GRADE
- TOP OF CONCRETE
- EXISTING ELEVATION

EARTHWORK CALCULATIONS:					
RESIDENCE	CUT (CY)	FILL (CY)	NET (CY)	MAX. CUT (FT)	MAX. FILL (FT)
DRIVEWAY/ SIDEWALK	20	21	1 (FILL)	1	1
SITE GRADING/ LANDSCAPE	39	96	57 (FILL)	1.75	2
TOTAL	59	117	58 (FILL)		

IMPERVIOUS AREA CALCULATIONS:	
PRE-DEVELOPED	8,037 SF
POST-DEVELOPED	9,949 SF
NET CHANGE	1,912 SF

PROPOSED DEVELOPMENT RESULTED IN NET INCREASE OF 1,912 SF IMPERVIOUS AREA. THEREFORE IT WILL NOT CAUSE ADVERSE IMPACT TO DOWNSIDE PROPERTIES.

STAMP

Ryan C. LOH, SE

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REVISIONS

DATE	DESCRIPTION
12.01.20	PLANNING SUBMITTAL
06.01.21	PLANNING RESUBMITTAL

DATE 11.30.20

SCALE as NOTED

PROJECT ID

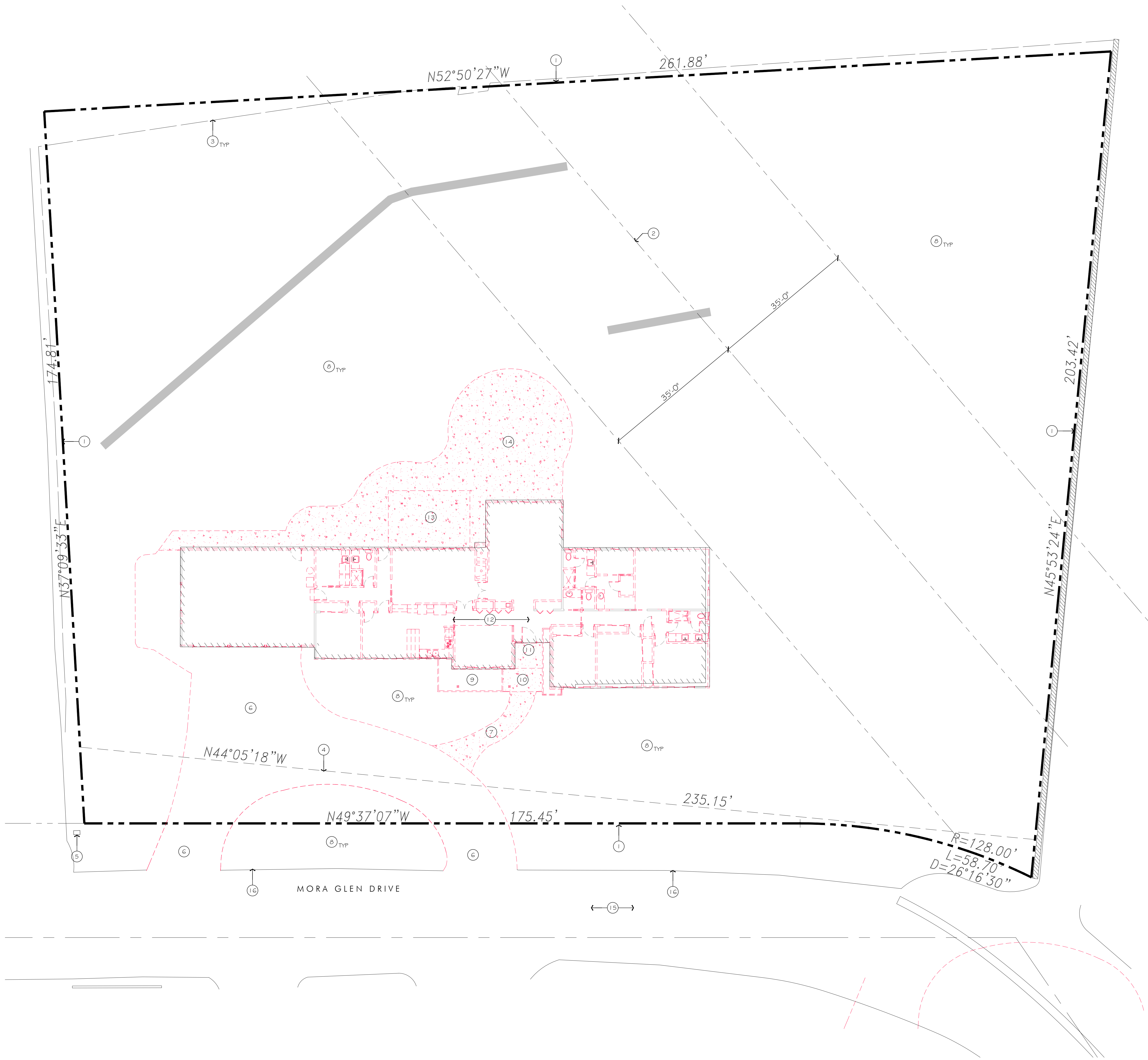
DRAWN BY

GRADING &
DRAINAGE PLAN

SHEET TITLE

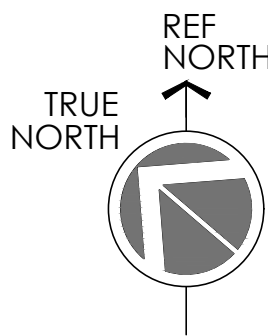
CC1

SHEET NO.



1. EXISTING SITE PLAN

SCALE: 3/32" = 1'-0"



GENERAL NOTES

- A. CONTRACTOR SHALL CAREFULLY EXAMINE ALL DEMOLITION AND PROPOSED ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND LANDSCAPING PLANS PRIOR TO DEMOLITION AND NOTIFY ARCHITECT IF ANY DISCREPANCY NOTED PRIOR TO WORK COMMENCE.
- B. MODIFY EXISTING ROOF FRAMING FOR FLAT ROOF AREAS AS REQUIRED TO ACHIEVE NEW ROOF FRAMING - SEE STRUCTURAL DRAWINGS.
- C. ALL SLOPED ROOF AREAS TO BE COMPLETELY REMOVED.
- D. PREPARE EXISTING WALLS TO BE "SISTERED" TO RECEIVE NEW TOP PLATE HEIGHT. SEE STRUCTURAL DRAWINGS.
- E. REMOVE ALL WINDOWS, DOORS AND EXISTING STUCCO FINISH ALL AROUND. PATCH AND REPAIR EXISTING SURFACES TO REMAIN AS REQUIRED TO APPEAR NEW.
- F. PROVIDE ANY NECESSARY SUPPORT AND BRACING DURING DEMOLITION WORK TO MAINTAIN INTEGRITY OF HOUSE STRUCTURE TO REMAIN.
- G. DISPOSE OF ALL REMOVED MATERIAL OFF-SITE IN A LAWFUL MANNER.
- H. PROTECT STORM WATER RUN-OFF FROM ANY CONTAMINATION RESULTING FROM THIS WORK. PROTECT (E) STRUCTURES (I.E.: ADJACENT FENCES) AND PLANT LIFE (I.E.: TREES AND PLANT MATERIAL TO REMAIN) DURING CONSTRUCTION.
- I. TERMINATE OR SHUT-OFF ANY UTILITIES THAT WILL BE AFFECTED BY THE WORK.
- J. CAP OFF/REMOVE OR RELOCATE PLUMBING LINES AS REQUIRED FOR NEW LAYOUT.
- K. CAP OFF / REROUTE IRRIGATION AS REQUIRED WHEN AFFECTED BY NEW SCOPE OF WORK.

KEYNOTES

Indicated by # → on the plan

- 1. PROPERTY LINE.
- 2. (E) FAULT. SEE SURVEY.
- 3. EXISTING FENCE TO REMAIN.
- 4. (E) WATER RIGHT EASEMENT.
- 5. EXISTING DOMESTIC WATER METER TO REMAIN.
- 6. (E) SITE ACCESS DRIVEWAY.
- 7. CONCRETE WALK TO BE REMOVED.
- 8. (E) LANDSCAPE AREA TO BE REMOVED.
- 9. (E) PLANTER TO BE REMOVED.
- 10. (E) PORCH TO BE REMOVED.
- 11. (E) MAIN ENTRANCE.
- 12. (E) HOUSE.
- 13. (E) TRELLIS TO BE REMOVED.
- 14. REMOVE (E) CONC. PAVING.
- 15. (E) STREET.
- 16. (E) EDGE OF STREET PAVEMENT.

NOTE: SEE LANDSCAPE DRAWINGS FOR TREE REMOVAL.

NOTE: REMOVE ANY VEGETATION OR OTHER OBSTRUCTIONS NECESSARY TO PROVIDE ADEQUATE LINE-OF-SIGHT AT THE DRIVEWAY APPROACH LOCATION.

LEGEND

- INDICATE PROPERTY LINE
- - - (E) EASEMENT

PLANNING SET NOT FOR CONSTRUCTION

299 BASSETT ST. SUITE 250
SAN JOSE, CA 95110
T:408.283.0100



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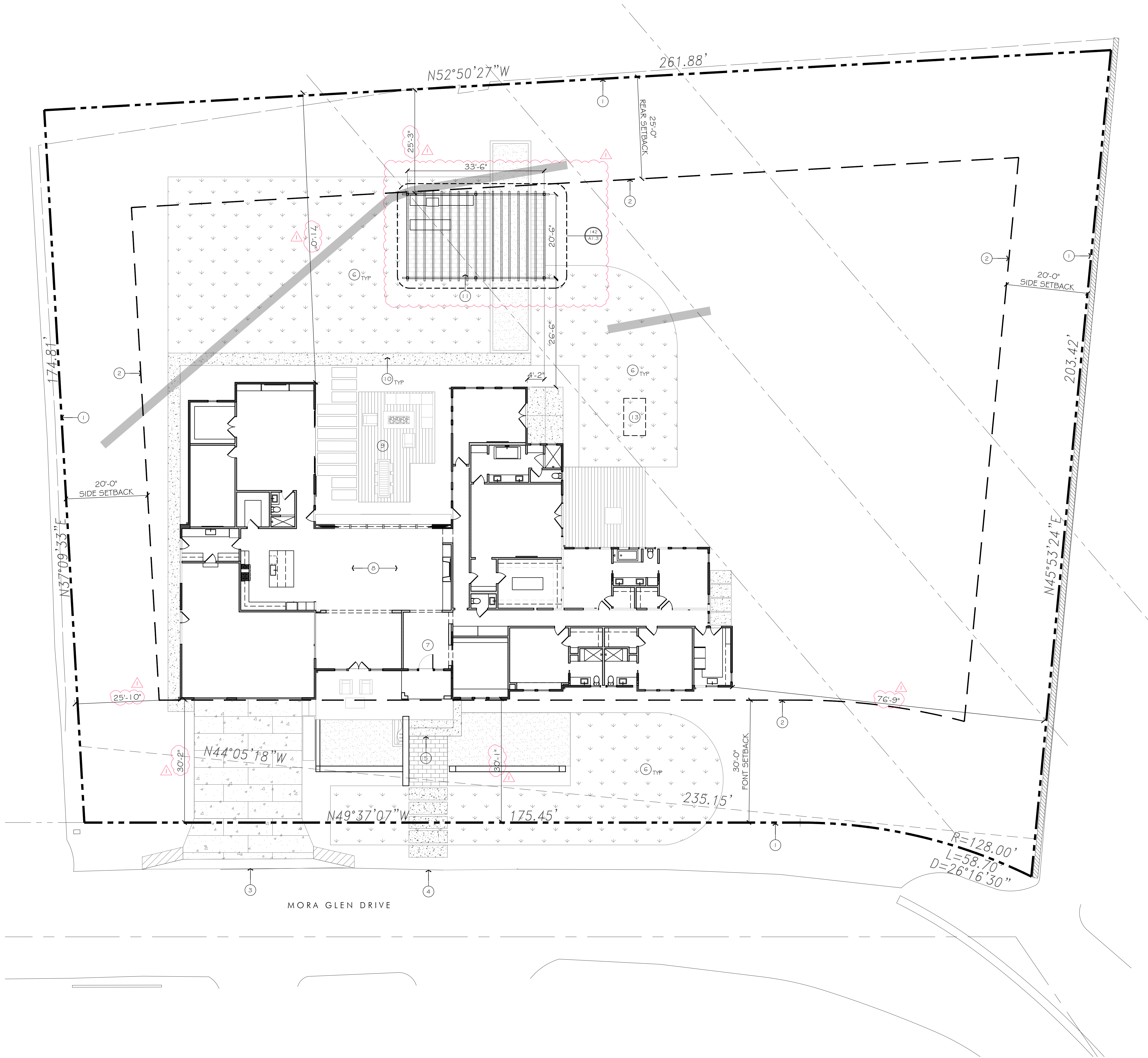
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DRAWN BY	KS/GY

EXISTING SITE PLAN

SHEET TITLE

SHEET NO.

A1.1



AREA CALCULATION

SITE AREA:	45,227 SF
PROPOSED HOUSE :	6,927 SF
PROPOSED PAVED AREA:	5,087 SF
PROPOSED LANDSCAPE:	33,213 SF
(E) LANDSCAPE:	37,129 SF

KEYNOTES

Indicated by (#) → on the plan

1. PROPERTY LINE.
2. SETBACK LINE.
3. (N) CONCRETE DRIVEWAY.
4. (N) CONCRETE SIDEWALK TO PUBLIC STREET.
5. (N) LAWN AREA.
6. (N) CONCRETE STEPS. SEE LANDSCAPE DRAWINGS.
7. (N) HOUSE ENTRANCE.
8. (N) HOUSE. SEE NEW FLOOR PLAN.
9. (N) OUTDOOR DECK W/ FIRE PIT.
10. (N) CONC. SIDEWALK.
11. (N) OUTDOOR PATIO. SEE ENLARGED PLAN.
12. OUTDOOR BAR AND BBQ COUNTER.
13. (N) SEPTIC TANK. SEE CIVIL DRAWING CC1.

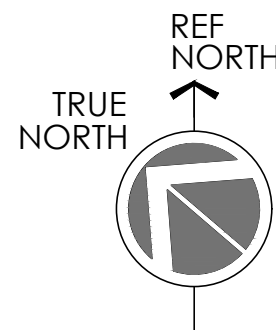
SEE CIVIL DRAWINGS FOR MORE INFORMATION.

LEGEND

	PROPERTY LINE
	SETBACK LINE
	FAULT
	(N) LAWN AREA
	(N) CONCRETE PAVING
	(N) GRAVEL
	(N) PAVERS
	(N) WOOD DECK

1. NEW SITE PLAN

SCALE: 3/32" = 1'-0"



PLANNING SET NOT FOR CONSTRUCTION

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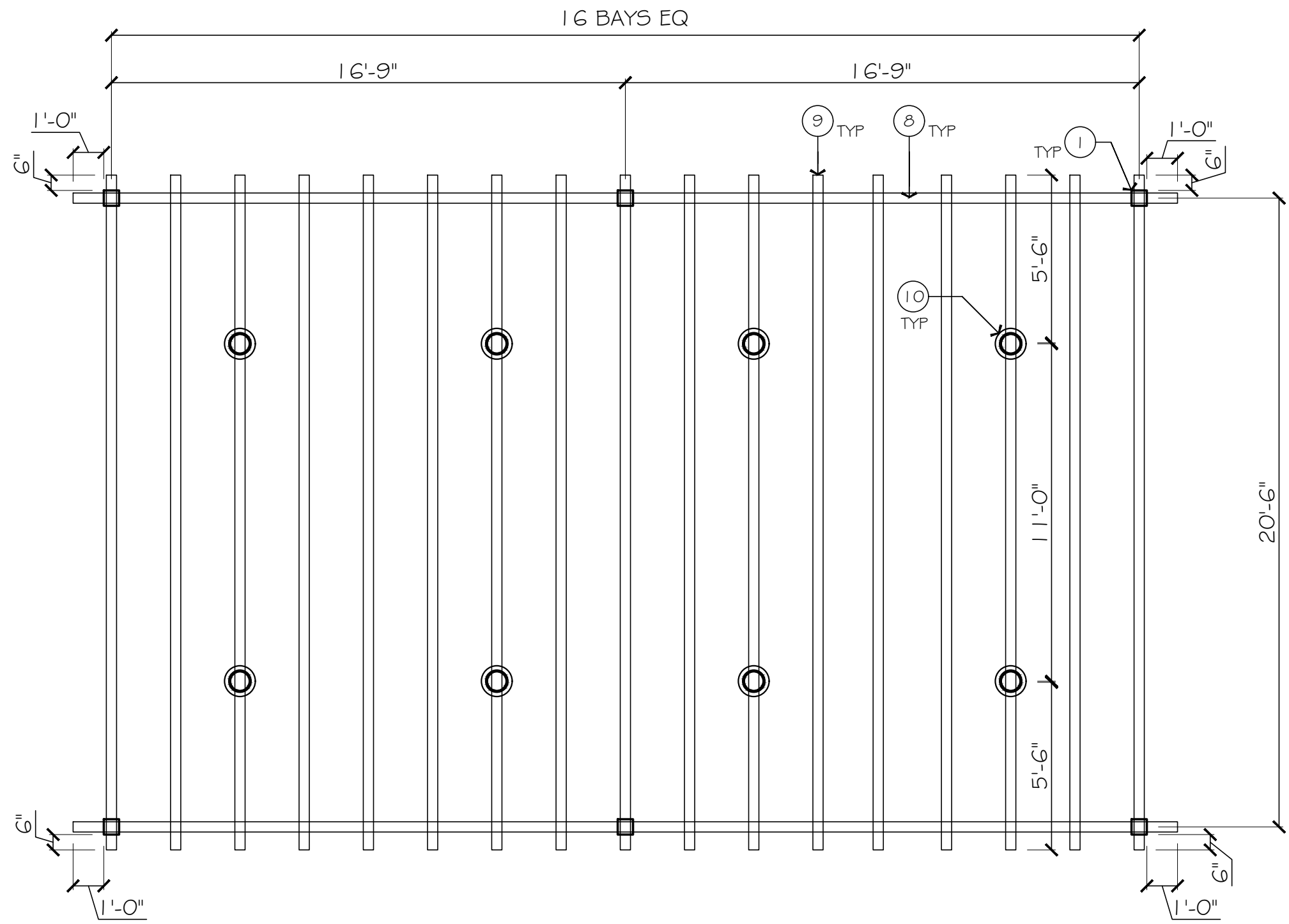
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SCALE	AS SHOWN
PROJECT ID	2020.137
DRAWN BY	KS/GY

NEW SITE PLAN

SHEET TITLE

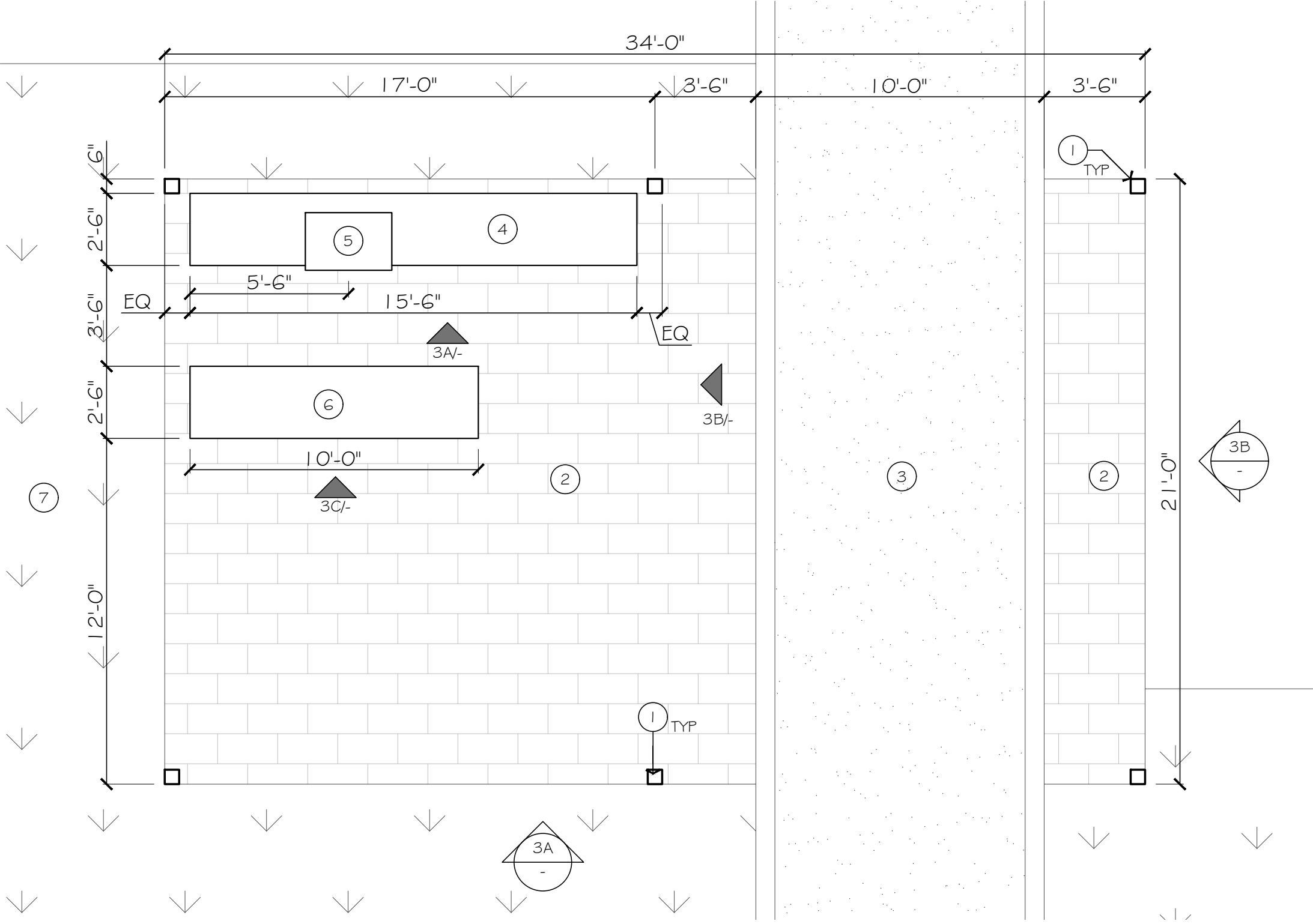
SHEET NO.

A1.2



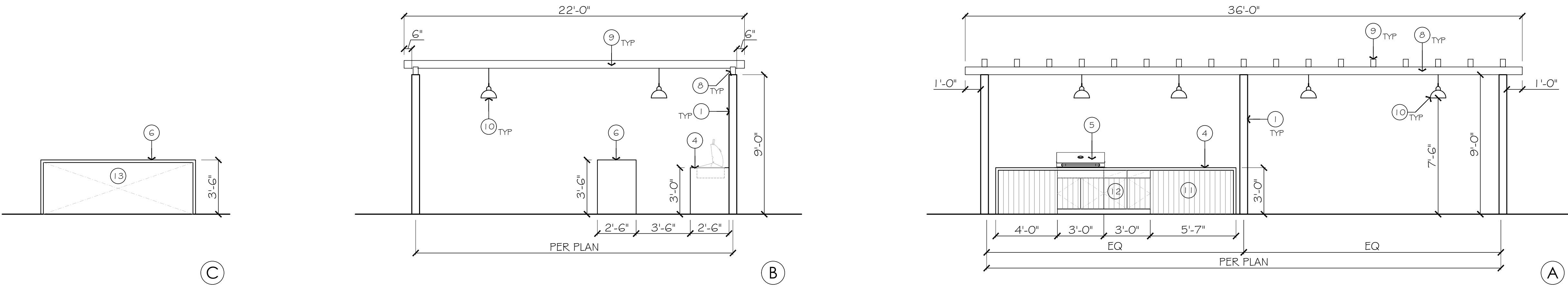
2. (N) TRELLIS PLAN

SCALE: 1/4" = 1'-0"



1. (N) TRELLIS FLOOR PLAN

SCALE: 1/4" = 1'-0"



3. NEW TRELLIS ELEVATIONS

SCALE: 1/4" = 1'-0"

KEYNOTES

Indicated by (#) → on the plan

1. STEEL COLUMN, S.S.D. FOR SIZE.
2. (N) PAVING.
3. (N) GRAVEL AREA.
4. CONC. REINFORCED WATERFALL EDGE BBQ COUNTER & CABINET.
5. BBQ GRILL.
6. CONC. REINFORCED WATERFALL EDGE BAR HEIGHT TABLE. SEE ELEVATIONS.
7. (N) LAWN AREA.
8. 4X6 STEEL BEAM, S.S.D.
9. 4X6 STEEL JOIST, S.S.D.
10. (N) PENDANT LIGHT.
11. WOOD PLANK ON FRONT & BACK SIDES.
12. CABINETS.
13. OPEN BELOW COUNTER.

LEGEND

- (N) LAWN AREA
- (N) GRAVEL
- (N) PAVERS

PLANNING SET NOT FOR CONSTRUCTION

299 BASSETT ST. SUITE 250
SAN JOSE, CA 95110
1-408-283-0100

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ARCHITECTS

PROJECT ADDRESS

23205 MORA GLEN DR.
LOS ALTOS, CA 94024

HOUSE ADDITION for

STAMP

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REVISIONS

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12.11.2020	PLANNING SUBMITTAL
04.29.2021	PLANNING COMMENTS

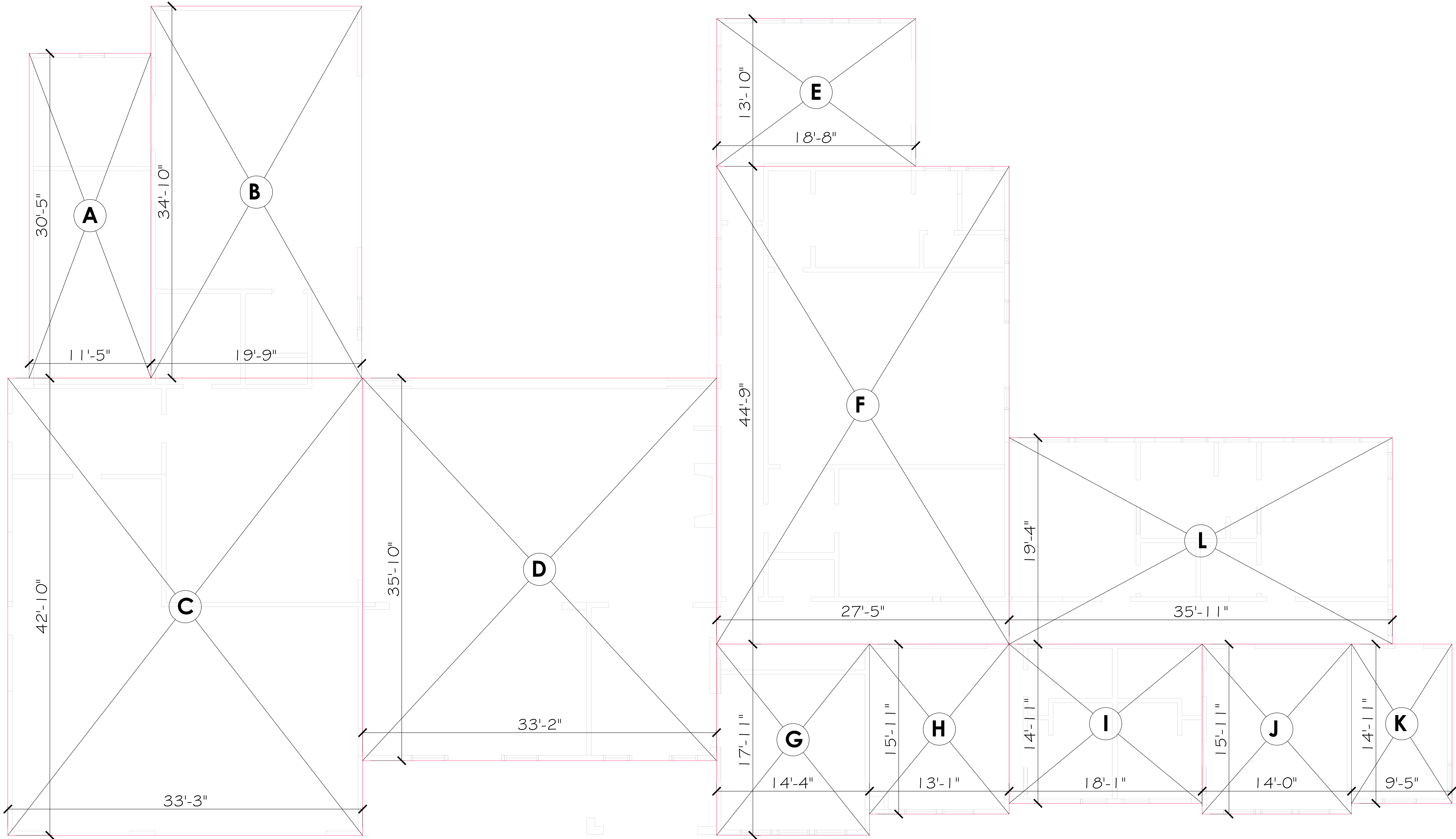
DATE	04.09.2021
SCALE	AS SHOWN
PROJECT ID	2020.137
DRAWN BY	KSGY

ENLARGED SITE PLAN
TRELLIS PLANS & ELEVATIONS

SHEET TITLE

SHEET NO.

A1.3



1. NEW FLOOR AREA CALCULATION

SCALE: 1/4" = 1'-0"

FLOOR AREA CALCULATION	
	AREA (SF)
A	347
B	600
C	1,424
D	1,180
E	250
F	1,227
G	257
H	200
I	270
J	223
K	141
L	694
TOTAL	6,926

PLANNING SET NOT FOR CONSTRUCTION

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T:408.283.0100



PROJECT ADDRESS

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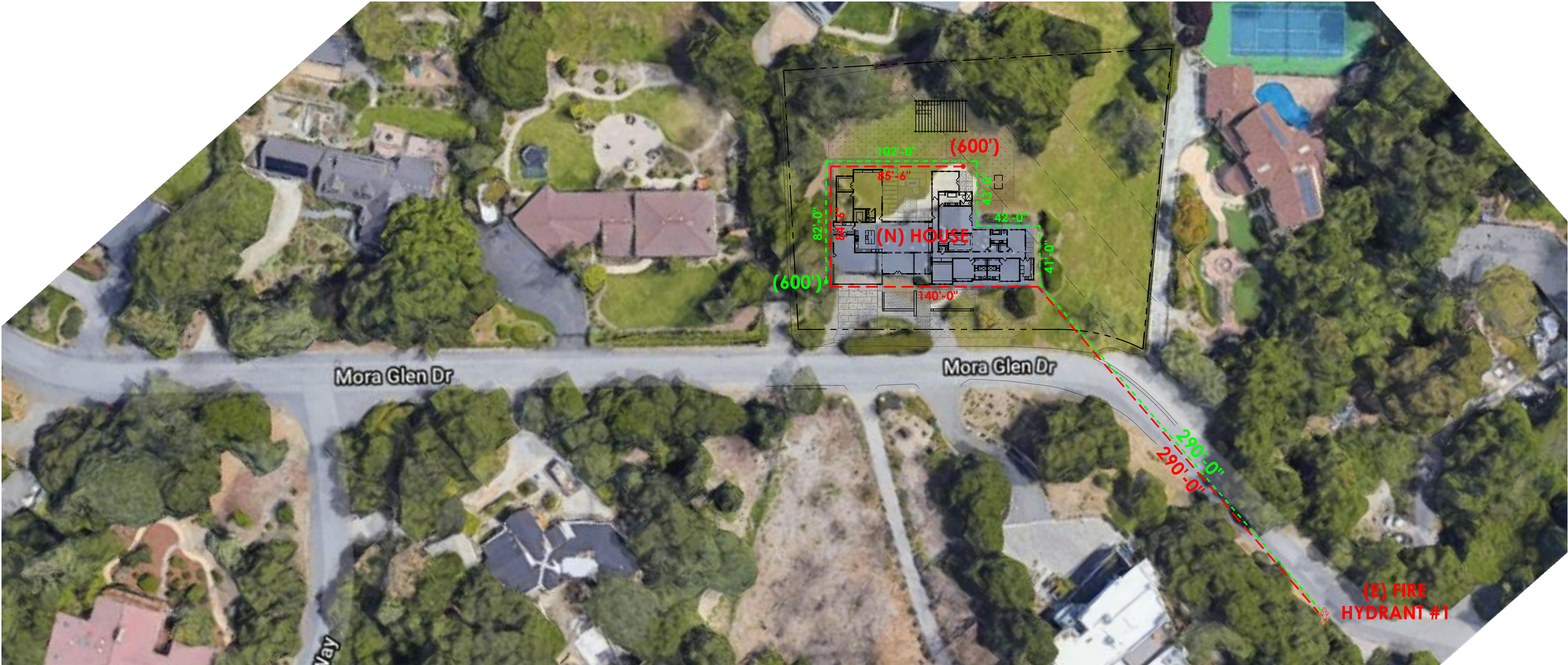
DATE	04.09.2021
SCALE	AS SHOWN
PROJECT ID	2020.137
DRAWN BY	KS/GY

AREA PLAN

SHEET TITLE

SHEET NO.

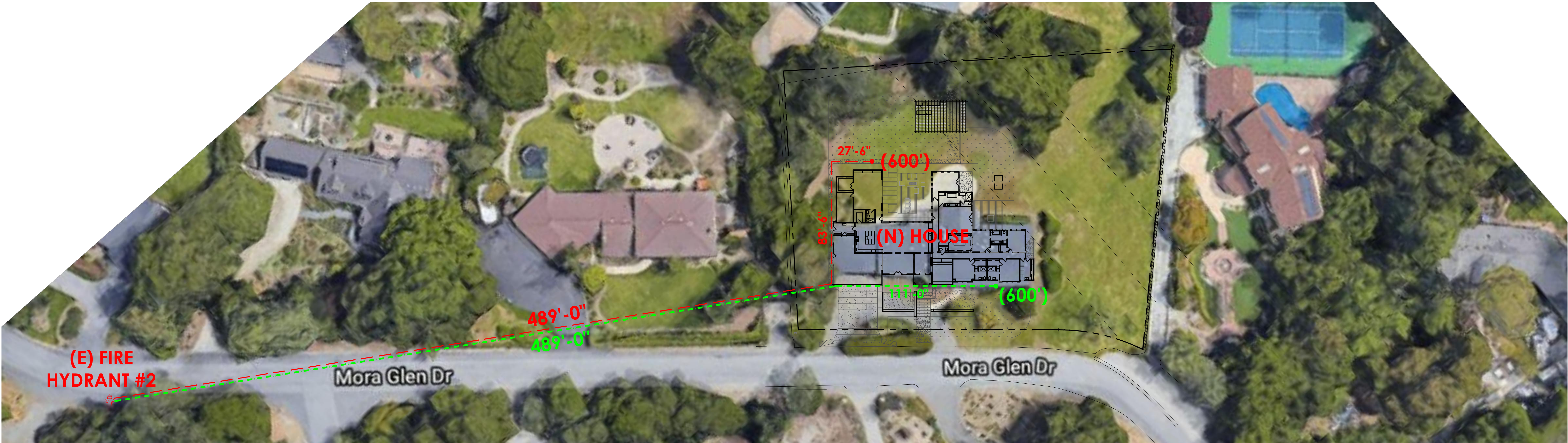
A1.4



1. EXHIBIT OF FIRE HYDRANT #1

PRIMARY FIRE HYDRANT WITHIN 600FT EXTERIOR PATH OF TRAVEL TO ALL PARTS OF THE BUILDING.

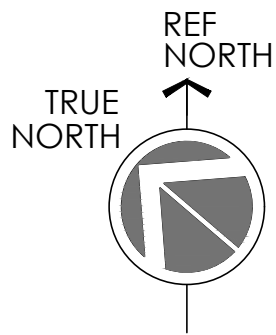
SCALE: 1/32" = 1'-0"



2. EXHIBIT OF FIRE HYDRANT #2

REDUNDANCY FIRE HYDRANT COVERAGE

SCALE: 1/32" = 1'-0"



LEGEND	
---	ROUTE #1
---	ROUTE #2

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EXHIBIT OF FIRE HYDRANTS

SHEET TITLE

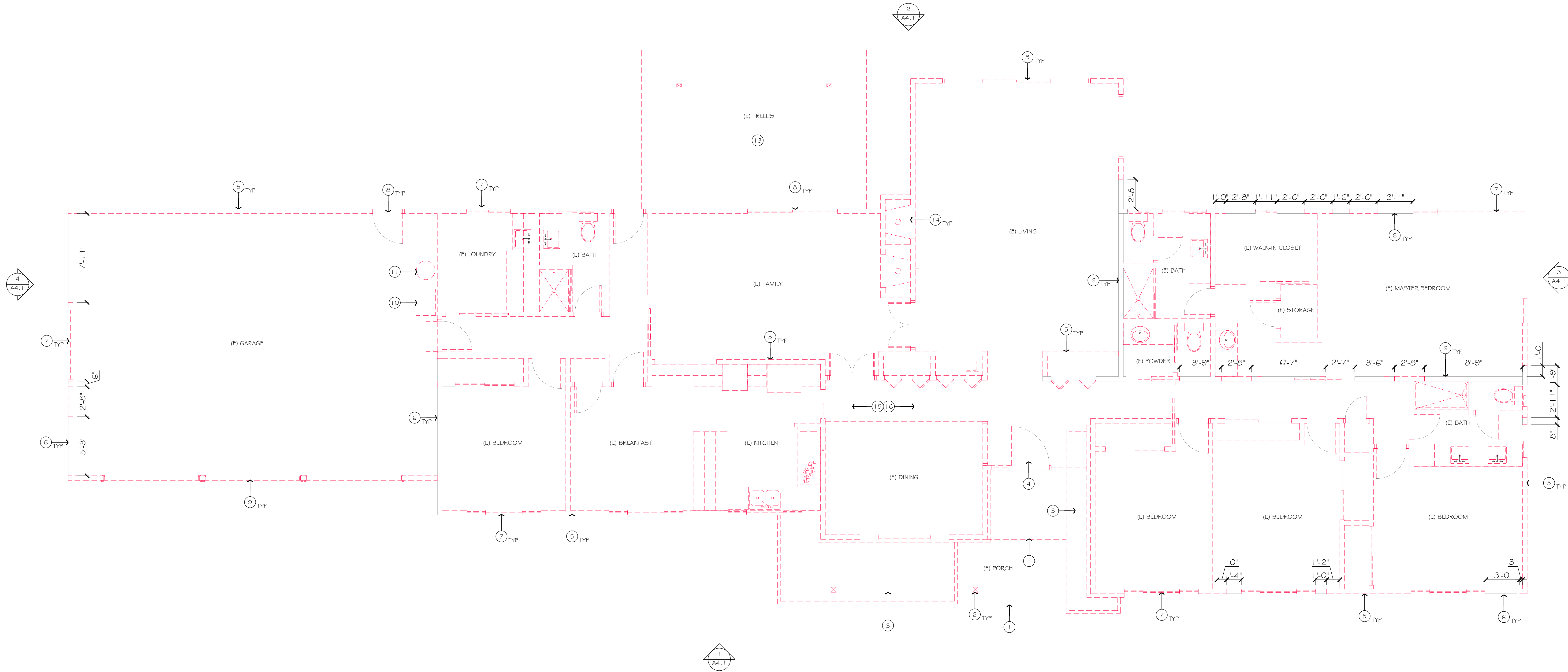
SHEET NO.

A1.5

PROJECT ADDRESS

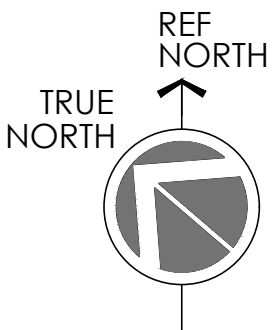
23205 MORA GLEN DR.
LOS ALTOS, CA 94024

HOUSE ADDITION for



1. EXISTING & DEMOLITION FLOOR PLAN

SCALE: 1/4" = 1'-0"



GENERAL NOTES

- A. CAP OFF/REMOVE OR RELOCATE PLUMBING LINES AS REQUIRED FOR NEW LAYOUT.
- B. DISPOSE OF ALL REMOVED MATERIAL OFF-SITE IN A LAWFUL MANNER.
- C. PATCH AND REPAIR EXISTING SURFACES TO REMAIN AS REQUIRED TO APPEAR NEW.
- D. PROVIDE ANY NECESSARY SUPPORT AND BRACING DURING DEMOLITION WORK TO MAINTAIN INTEGRITY OF HOUSE STRUCTURE TO REMAIN.
- E. TERMINATE OR SHUT-OFF ANY UTILITIES THAT WILL BE AFFECTED BY THE WORK.

KEYNOTES

Indicated by (#) → on the plan

- 1. REMOVE (E) CONC. STEPS.
- 2. (E) PORCH POST TO BE REMOVED.
- 3. (E) PLANTER TO BE REMOVED.
- 4. (E) MAIN ENTRY DOOR TO BE REMOVED.
- 5. REMOVE (E) WALL.
- 6. (E) WALL TO REMAIN. CONTRACTOR SHALL FIELD VERIFY AND COORDINATE WITH NEW FLOOR PLAN FOR WALL LOCATION.
- 7. (E) WINDOW TO BE REMOVED.
- 8. (E) EXTERIOR DOOR TO BE REMOVED.
- 9. (E) GARAGE DOOR TO BE REMOVED.
- 10. RELOCATE (E) FURNACE.
- 11. RELOCATE (E) WATER HEATER.
- 12. (E) INTERIOR WALL TO REMAIN.
- 13. (E) TRELLIS TO BE REMOVED.
- 14. REMOVE (E) FIREPLACE AND CHIMNEY.
- 15. REMOVE FLOOR FINISHES THROUGHOUT.
- 16. REMOVE ALL CASEWORKS, KITCHEN APPLIANCES, PLUMBING FIXTURES THROUGHOUT.

LEGEND

- (E) WALL TO REMAIN
- WALL TO BE REMOVED
- DOOR TO BE REMOVED

PLANNING SET NOT FOR CONSTRUCTION

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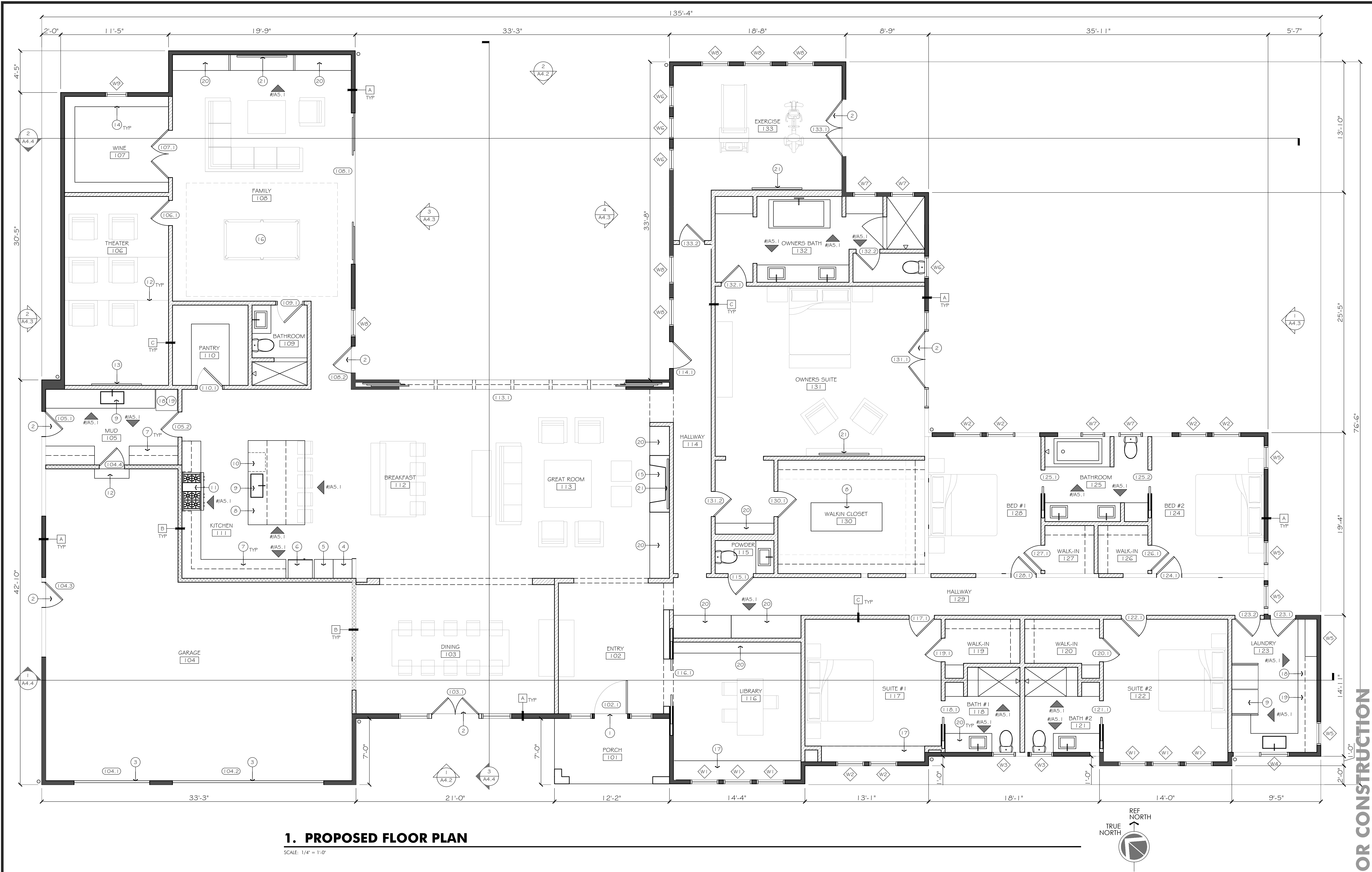
DATE	04.09.2021
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PROJECT ID	2020.137
DRAWN BY	KSGY

EXISTING & DEMOLITION
FLOOR PLAN

SHEET TITLE

SHEET NO.

A2.1



1. PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES

- NEW GYP. BD. FINISH TO BE LEVEL 4 SMOOTH WALL AND REFINISH EXISTING GYP. BD. TO MATCH LEVEL 4 SMOOTH WALL IN ALL NEW OR REMODELED AREAS, TYPICAL.
- GYP BD. FINISH IN LIVING/DINING/ENTRY SHALL BE LEVEL 5 FINISH, SMOOTH.
- REPLACE ALL BULLNOSE CORNERS OF GYP.BD. WITH STRAIGHT METAL ANGLE FOR CLEAN LOOK. ALL NEW CORNERS TO BE STRAIGHT.
- WRAP PLUMBING PIPES WITH NOISE BLOCKING MATERIAL INSIDE PLUMBING WALLS.
- NEW APPLIANCES, PLUMBING FIXTURES TO BE SELECTED BY OWNER & INSTALLED BY CONTRACTOR.
- KITCHEN COUNTER AND ISLAND TO HAVE NEW STONE COUNTERTOP. SLAB TO BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR.
- BATHROOM COUNTERS TO HAVE NEW STONE COUNTERTOP. SLAB TO BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR.
- CONTROL VALVES IN BATHTUBS, SHOWERS, ETC. MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
- ALL NEW CABINETS, GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT & CLIENT REVIEW AND APPROVAL BEFORE START OF FABRICATION.
- ALL DIMENSIONS ARE TAKEN TO FACE OF STUD TYPICAL, UNLESS NOTED OTHERWISE. WINDOW AND DOOR JAMB DIMENSIONS ARE FROM FACE OF INTERIOR GYP. BD. TO FACE OF EXTERIOR PLY. SHITG., THICKNESS OF EXTERIOR SIDING & TRIM ARE NOT INCLUDED IN THE JAMB DIMENSION, TYP.
- INSTALL LINEAR FLOOR DRAIN AT ALL SHOWERS, TYP.
- INSTALL ELECTRIC FLOOR HEATING AT ALL FLOORS IN BATHROOMS, EXCEPT POWDER ROOM.
- ELECTRICAL AND PLUMBING CONTRACTORS TO VERIFY REQUIREMENTS FOR ALL APPLIANCES NOTED ON THE FLOOR PLAN AND PROVIDE REQUIRED CONNECTIONS.
- ALL EXISTING 8'-0" TOP PLATE TO BE RAISED TO 9'-0". SEE STRUCTURAL DRAWINGS. MASTER BEDROOM TOP PLATE TO BE RAISED TO 10'-0". POOLHOUSE IS TO HAVE CUSTOM CUT TOP PLATE. SEE SECTIONS. GARAGE AND BREEZEWAY TO HAVE 8'-0" TOP PLATE.
- NEW WOOD FLOOR TO BE SELECTED BY OWNER. FINISH NEW HARDWOOD W/2 COATS GLOSS POLYURETHANE AND ONE FINISH SATIN COAT. TYPICAL THROUGHOUT HOUSE. REPLACE EXISTING PLYWOOD SUBFLOOR IF DAMAGED OR DRYROT.

KEYNOTES

- (N) ENTRY DOOR.
- (N) EXTERIOR DOOR.
- (N) GARAGE DOOR.
- (N) WINE FRIDGE STORAGE.
- (N) FREEZER.
- (N) REFRIGERATOR.
- (N) LOWER & UPPER CASEWORK.
- (N) ISLAND.
- (N) UNDERMOUNTED SINK.
- (N) UNDERCOUNTER DISHWASHER.
- (N) GAS STOVE WITH HOOD ABOVE.
- (N) STEP.
- (N) PROJECTOR SCREEN.
- (N) WINE STORAGE SHELVES.
- (N) GAS FIREPLACE.
- PULL TABLE.
- BUILT-IN WINDOW SEAT.
- WASHER.
- DRYER.
- BUILT-IN CABINET.
- PROVIDE CABLE AND POWER FOR TV.

Indicated by (#) → on the plan

LEGEND

- (E) WALL TO REMAIN
- TYPE A: (N) EXTERIOR WALL
- TYPE B: (N) 1 HR RATED WALL
- TYPE C: (N) INTERIOR WALL
- (N) DOOR
- (N) WINDOW
- EXTERIOR ELEVATION REFERENCE NO.
- INTERIOR ELEVATION REFERENCE NO.
- WINDOW REFERENCE NO.
- DOOR REFERENCE NO.
- NEW WALL TYPE
- BEDROOM ROOM NAME ROOM NUMBER

PROJECT ADDRESS

23205 MORA GLEN DR.
LOS ALTOS, CA 94024

HOUSE ADDITION for

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04.29.2021	PLANNING COMMENTS

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PROJECT ID	2020.137
DRAWN BY	KS/GY

PROPOSED FLOOR PLAN

SHEET TITLE

SHEET NO.

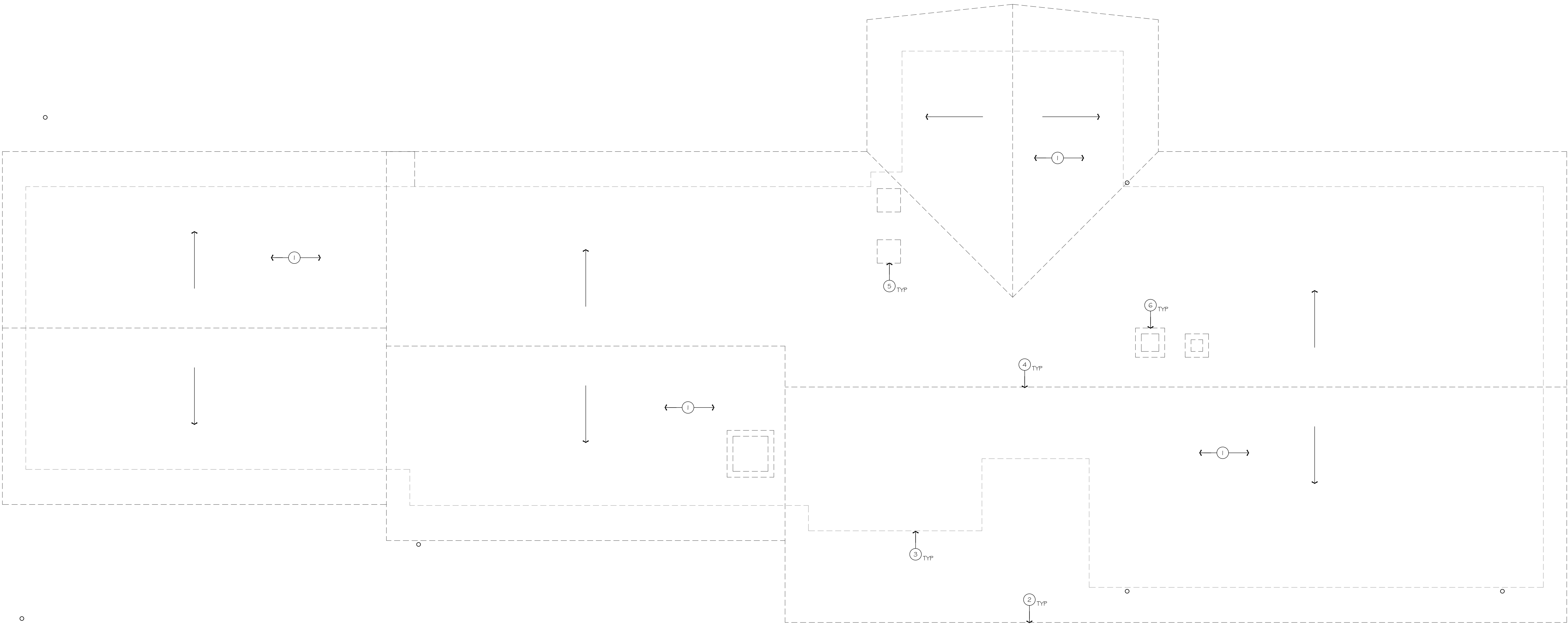
A2.2

PLANNING SET NOT FOR CONSTRUCTION

PROJECT ADDRESS

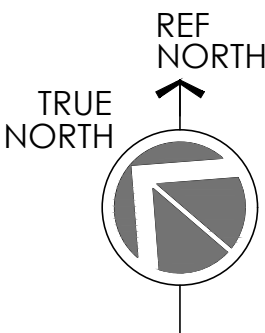
23205 MORA GLEN DR.
LOS ALTOS, CA 94024

HOUSE ADDITION for



1. EXISTING & DEMOLITION ROOF PLAN

SCALE: 1/4" = 1'-0"



KEYNOTES

Indicated by (#) on the plan

- 1. REMOVE ENTIRE ROOF.
- 2. (E) EAVE.
- 3. (E) HOUSE OUTLINE.
- 4. (E) RIDGE.
- 5. (E) CHIMNEY.
- 6. (E) SKYLIGHT.

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EXISTING & DEMOLITION
ROOF PLAN

SHEET TITLE

SHEET NO.

A3.1

PROJECT ADDRESS

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HOUSE ADDITION for

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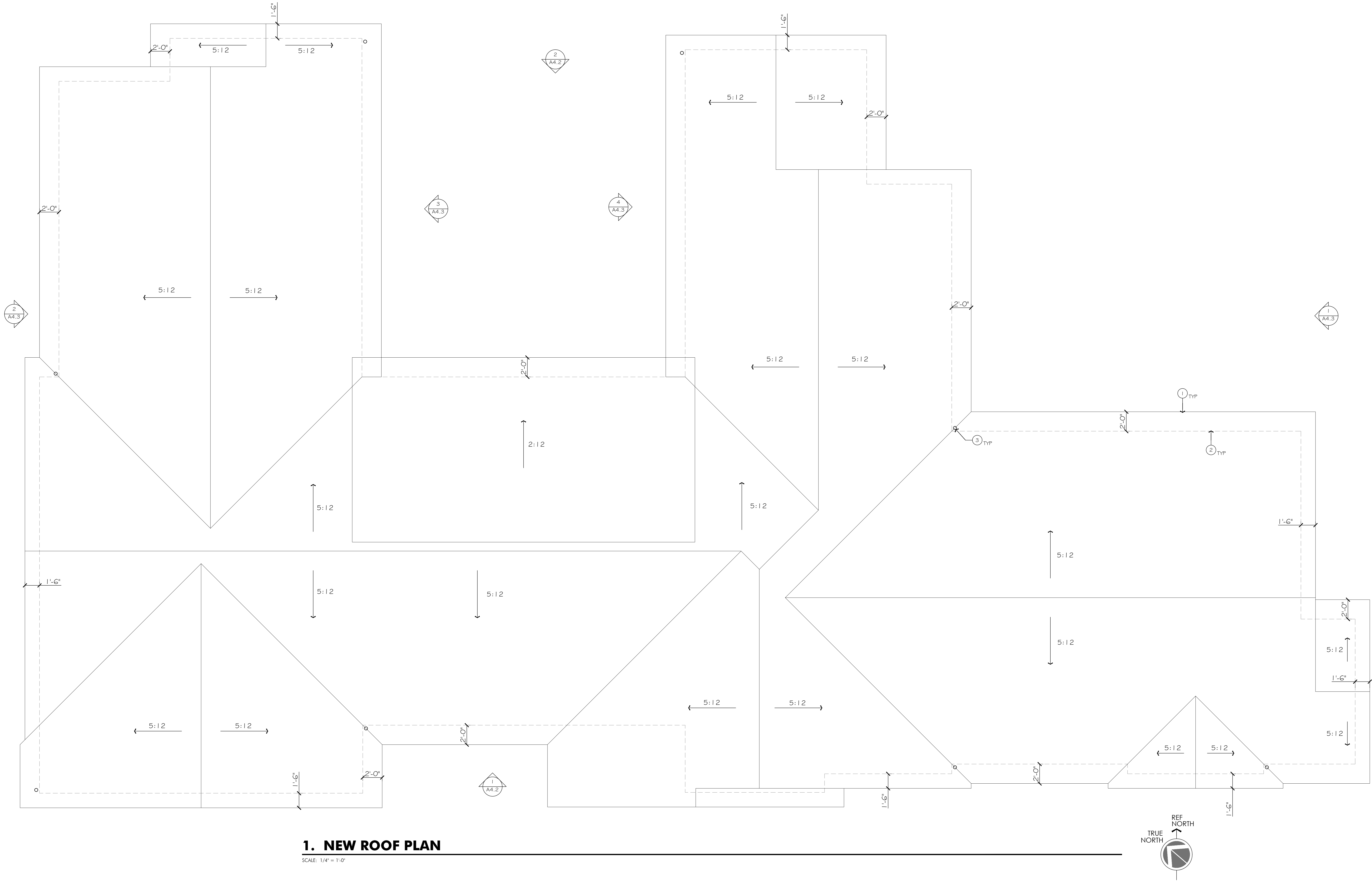
DATE	04.09.2021
SCALE	AS SHOWN
PROJECT ID	2020.137
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NEW ROOF PLAN

SHEET TITLE

SHEET NO.

A3.2



1. NEW ROOF PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES

- ALL EXISTING ROOFING WOOD SHINGLES, EAVES, GUTTERS AND DOWNSPOUTS AND PLYWOOD TO BE REMOVED. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION. PREPARE ROOF FOR NEW SYNTHETIC ROOF UNDERLAYMENT.
- ALL NEW GUTTERS AND DOWNSPOUTS TO BE 26 GA. MATCH COLOR TO NEW ROOF. SUBMIT SAMPLES TO ARCHITECT.
- ALL NEW 4:12 SLOPE ROOF TO BE ARCHITECTURAL METAL SHEET. SEE ELEVATIONS FOR COLOR.
- CUT AND FRAME 3' x 3' OPENING IN EXISTING ABANDONED ROOF TO ALLOW ACCESS TO NEW ATTIC ADDITION. CUT THROUGH NO MORE THAN ONE EXISTING RAFTER.
- ALL FLASHING TO BE 26 GA.
- FLAT ROOFED AREAS TO BE MODIFIED BIT. SINGLE PLY MEMBRANE ROOFING SYSTEM SUITABLE OVER NAILABLE DECK. PROVIDE PROTECTIVE COATING AS RECOMMENDED BY MANUFACTURER. PROVIDE VENTING AS RECOMMENDED BY MANUFACTURER.
- LOCATION AND DESING OF ALL ADDITIONAL ROOF PENETRATIONS FRO PLUMBING VENT AND OHTER SHALL BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.

KEYNOTES

- (N) EAVE.
- BUILDING OUTLINE BELOW ROOF.
- (N) RAINWATER DOWNSPOUT.

Indicated by (#) on the plan

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LOS ALTOS, CA 94024

HOUSE ADDITION for



1. NEW FRONT ELEVATION - SOUTHWEST

SCALE: 1/4" = 1'-0"



2. NEW REAR ELEVATION - NORTHEAST

SCALE: 1/4" = 1'-0"

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NEW ELEVATIONS

SHEET TITLE

SHEET NO.

A4.2

GENERAL NOTES

- A. ALL EXTERIOR TO RECEIVE NEW PAINT FINISH INCLUDING EAVES, RAFTERS, FASCIAS, GUTTERS, STUCCO, SIDING AND WOOD TRIM. PRIME NEW WOOD BEFORE APPLYING (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT.
- B. ALL SOLID WOOD TRIM TO BE KILN DRIED CLEAR CEDAR (NO SAP WOOD), ALL TRIM TO BE MILLED WITH SQUARE CORNERS.
- C. MEMBRANE WINDOW FLASHING TO BE MANUFACTURE GRACE; PRODUCT: VYCOR SELF-ADHERED FLASHING.
- D. EXTERIOR STUCCO WALLS SHALL HAVE A WEEP SCREED AT OR BELOW THE FOUNDATION PLATE LINE AND 4" MIN. ABOVE GRADE OR 2" ABOVE PAVED AREAS THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. EXTERIOR STUCCO WALLS HAVING A WOOD BASE WILL BE PROVIDED WITH TWO (2) LAYERS OF KRAFT "D" PAPER. (CRC 703.6.2.)

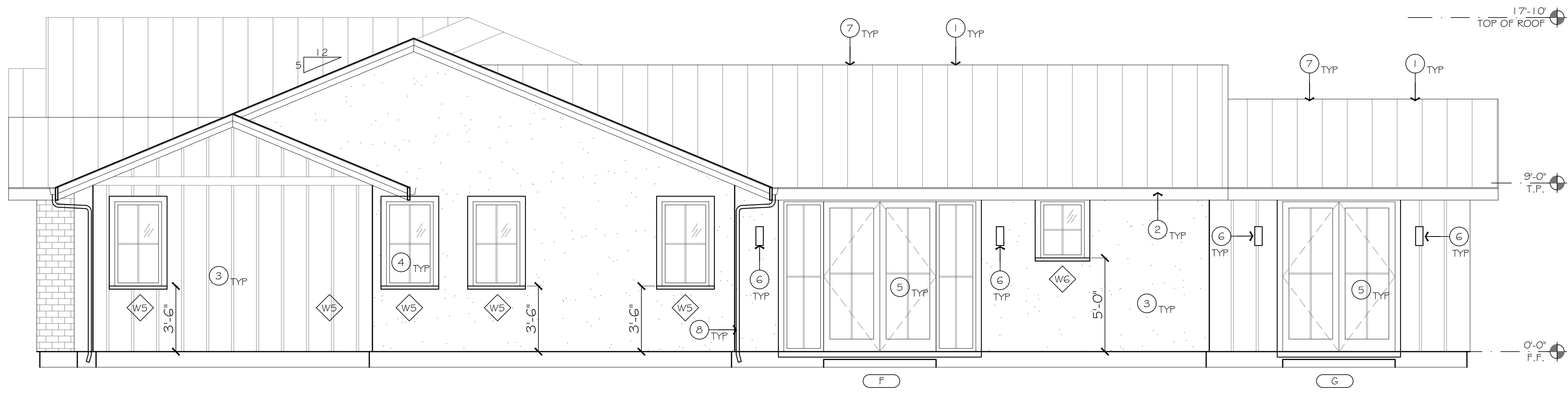
KEYNOTES

Indicated by (#) → on the plan

1. STANDING SEAM METAL ROOF.
2. (N) GUTTER.
3. WALL FINISH. SEE LEGEND.
4. (N) WINDOW. SEE WINDOW SCHEDULE.
5. (N) DOOR. SEE DOOR SCHEDULE.
6. EXTERIOR WALL SCONCE. STYLE TBD.
7. STEPS BEYOND. SEE LANDSCAPE PLAN.
8. CONCRETE LOW WALL SHOWN DASHED. SEE CIVIL & LANDSCAPE DRAWINGS.
9. RIDGE VENT, TYP.
10. RAINWATER DOWNSPOUT.
11. SHED ROOF AT 2:12 SLOPE.

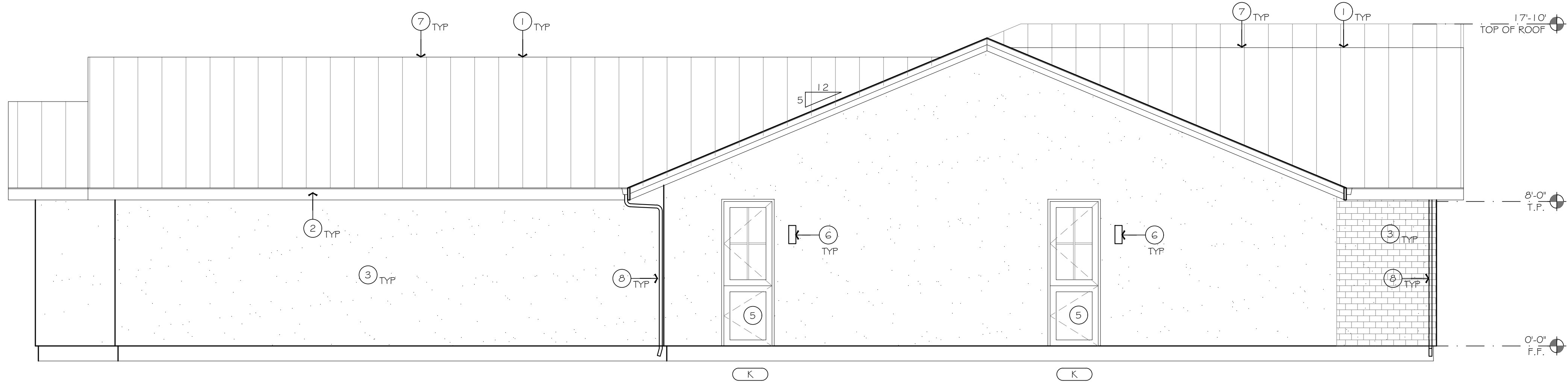
LEGEND

- STANDING SEAM METAL ROOF
- LIMEWASHED BRICK VENEER - SWISS COFFEE
- SMOOTH STUCCO - SWISS COFFEE
- BASE BID: PAINTED BOARD AND BATTEN - SWISS COFFEE
ALT: GREY CEDAR SHIP LAP OR T&G



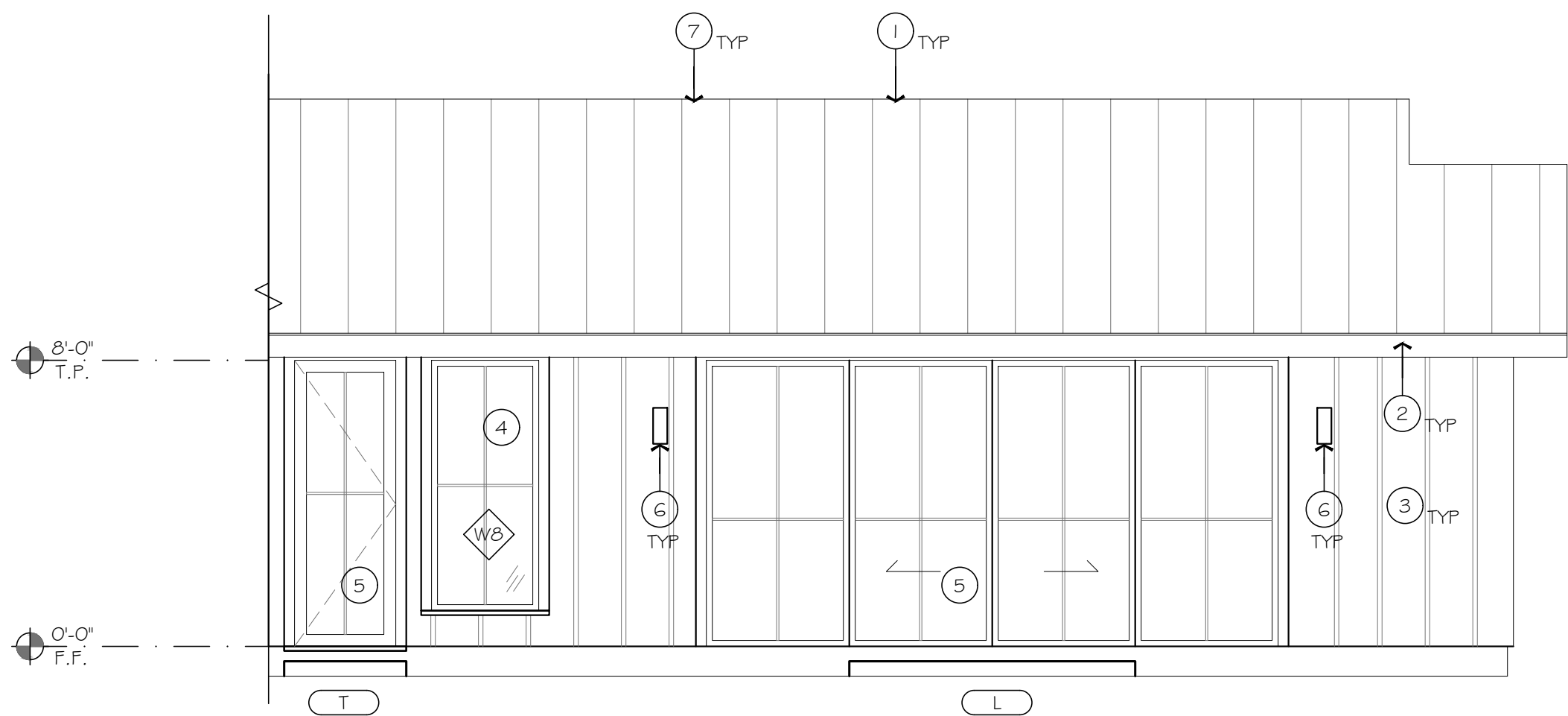
1. NEW LEFT ELEVATION - NORTHWEST

SCALE: 1/4" = 1'-0"



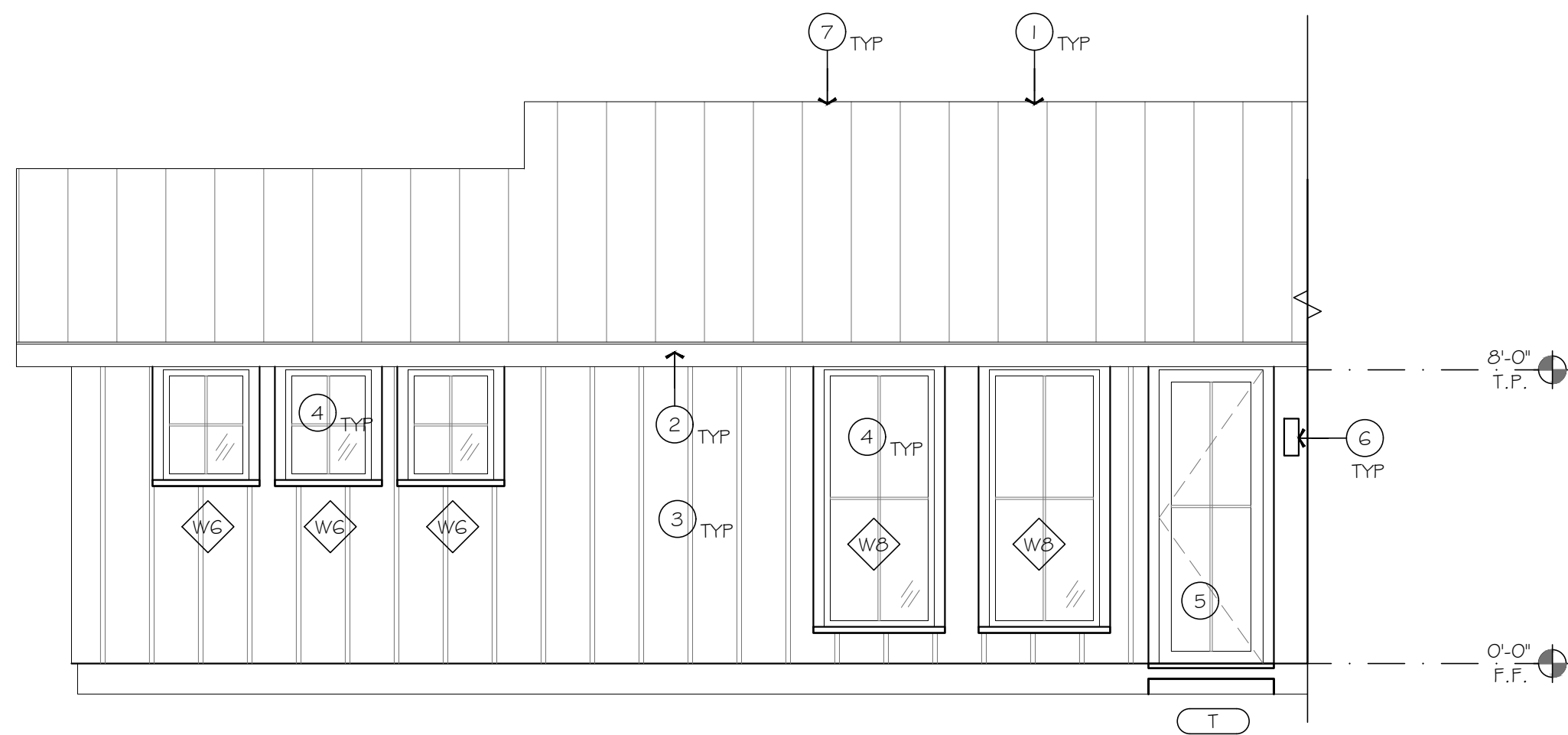
2. NEW RIGHT ELEVATION - SOUTHEAST

SCALE: 1/4" = 1'-0"



3. NEW COURTYARD ELEVATION - EAST

SCALE: 1/4" = 1'-0"



4. NEW COURTYARD ELEVATION - WEST

SCALE: 1/4" = 1'-0"

GENERAL NOTES

- A. ALL EXTERIOR TO RECEIVE NEW PAINT FINISH INCLUDING EAVES, RAFTERS, FASCIAS, GUTTERS, STUCCO, SIDING AND WOOD TRIM. PRIME NEW WOOD BEFORE APPLYING (2) FINISH COATS. COLOR TO BE SELECTED BY ARCHITECT.
- B. ALL SOLID WOOD TRIM TO BE KILN DRIED CLEAR CEDAR (NO SAP WOOD). ALL TRIM TO BE MILLED WITH SQUARE CORNERS.
- C. MEMBRANE WINDOW FLASHING TO BE MANUFACTURE GRACE; PRODUCT: VYCOR SELF-ADHERED FLASHING.
- D. EXTERIOR STUCCO WALLS SHALL HAVE A WEEP SCREED AT OR BELOW THE FOUNDATION PLATE LINE AND 4" MIN. ABOVE GRADE OR 2" ABOVE PAVED AREAS THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. EXTERIOR STUCCO WALLS HAVING A WOOD BASE WILL BE PROVIDED WITH TWO (2) LAYERS OF KRAFT "D" PAPER. (CRC 703.6.2.)

KEYNOTES

1. STANDING SEAM METAL ROOF.
2. (N) GUTTER.
3. WALL FINISH. SEE LEGEND.
4. (N) WINDOW. SEE WINDOW SCHEDULE.
5. (N) DOOR. SEE DOOR SCHEDULE.
6. EXTERIOR WALL SCONCE. STYLE TBD.
7. RIDGE VENT, TYP.
8. RAINWATER DOWNSPOUT.

Indicated by (#) → on the plan

LEGEND

- STANDING SEAM METAL ROOF
- LIMEWASHED BRICK VENEER - SWISS COFFEE
- SMOOTH STUCCO - SWISS COFFEE
- BASE BID: PAINTED BOARD AND BATTEN - SWISS COFFEE
ALT: GREY CEDAR SHIP LAP OR T&G

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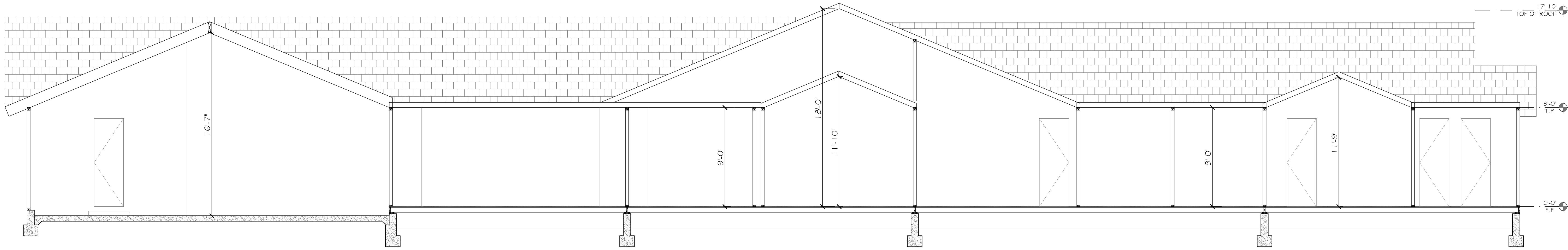
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NEW ELEVATIONS

SHEET TITLE

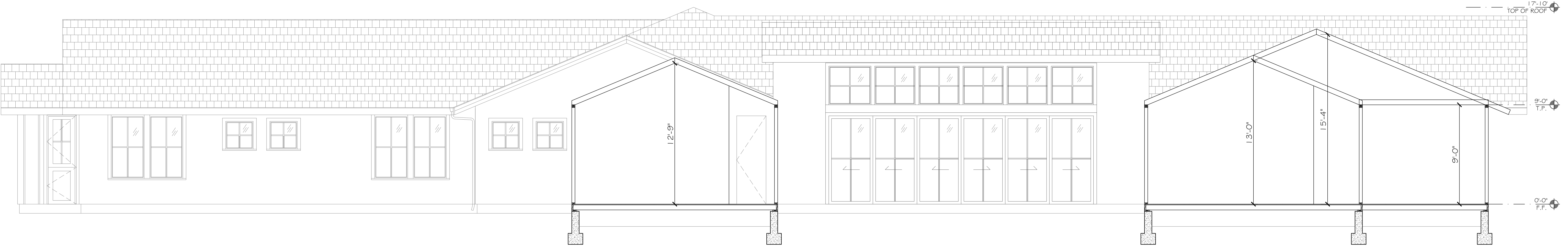
SHEET NO.

A4.3



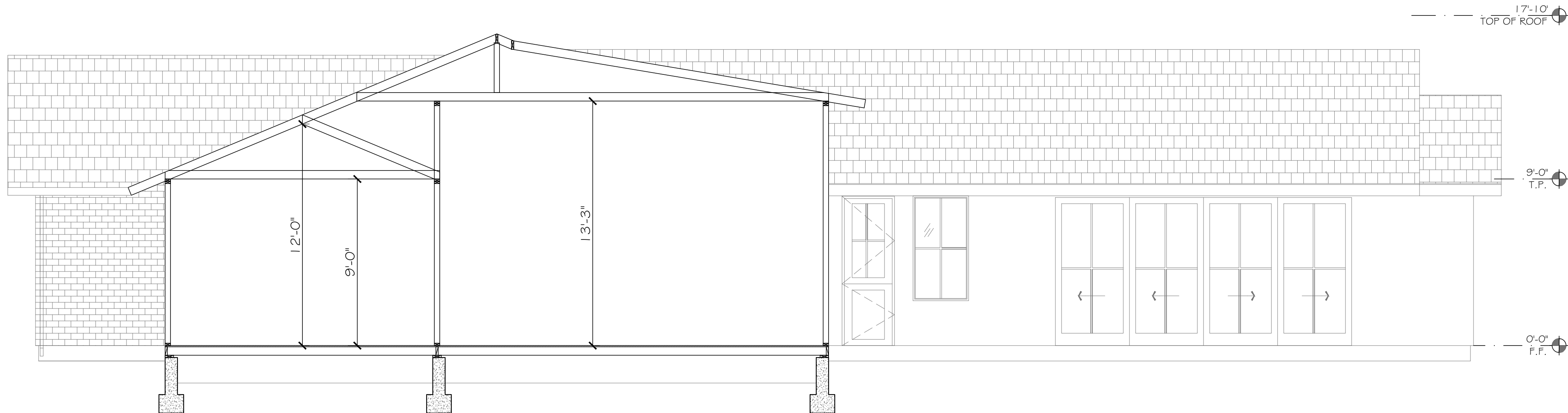
1. BUILDING SECTION

SCALE: 1/4" = 1'-0"



2. BUILDING SECTION

SCALE: 1/4" = 1'-0"



3. BUILDING SECTION

SCALE: 1/4" = 1'-0"

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BUILDING SECTIONS

SHEET TITLE

SHEET NO.

A4.4

DOOR TYPES

DOOR SCHEDULE													
NO.	DOOR NUMBER	ROOM NAME	SIZE	THICKNESS	DOOR TYPE	HARDWARE GROUP	MATERIAL	FINISH	SIDELIGHT GLAZING	FRAME		FIRE RATING	REMARKS
			WIDTH X HEIGHT							MATERIAL	FINISH		
1	102.1	ENTRY	3'-0" X 8'-0"	1-3/4"	C	TBD							
2	103.1	DINING	5'-0" X 8'-0"	1-3/4"	Q	TBD							
3	104.1	GARAGE	8'-0" X 8'-0"	1-3/4"	N	TBD							
4	104.2	GARAGE	16'-0" X 8'-0"	1-3/4"	D	TBD							
5	104.3	GARAGE	2'-8" X 8'-0"	1-3/4"	N	TBD							
6	104.4	GARAGE	2'-8" X 8'-0"	1-3/4"	A	TBD							
7	105.1	MUD	2'-8" X 8'-0"	1-3/4"	B	TBD							
8	105.2	MUD	2'-8" X 8'-0"	1-3/4"	M	TBD							
9	106.1	THEATER	2'-8" X 8'-0"	1-3/4"	H	TBD							
10	107.1	WINE	5'-0" X 8'-0"	1-3/4"	N	TBD							
11	108.1	FAMILY	16'-0" X 8'-0"	1-3/4"	N	TBD							
12	108.1	FAMILY	2'-10" X 8'-0"	1-3/4"	Q	TBD							
13	109.1	BATHROOM	2'-8" X 8'-0"	1-3/4"	H	TBD							
14	110.1	PANTRY	2'-8" X 8'-0"	1-3/4"	N	TBD							
15	113.1	GREAT ROOM	24'-0" X 8'-0"	1-3/4"	N	TBD							
16	114.1	HALLWAY	2'-10" X 8'-0"	1-3/4"	P	TBD							
17	115.1	POWDER	2'-8" X 8'-0"	1-3/4"	L	TBD							
18	116.1	LIBRARY	5'-0" X 8'-0"	1-3/4"	J	TBD							
19	117.1	SUITE #1	2'-8" X 8'-0"	1-3/4"	N	TBD							
20	118.1	BATH #1	2'-4" X 8'-0"	1-3/4"	N	TBD							
21	119.1	WALK-IN	2'-6" X 8'-0"	1-3/4"	K	TBD							
22	120.1	WALK-IN	2'-6" X 8'-0"	1-3/4"	J	TBD							
23	121.1	BATH #2	2'-6" X 8'-0"	1-3/4"	N	TBD							
24	122.1	SUITE #2	2'-8" X 8'-0"	1-3/4"	S	TBD							
25	123.1	LAUNDRY	2'-8" X 8'-0"	1-3/4"	N	TBD							
26	123.2	LAUNDRY	2'-8" X 8'-0"	1-3/4"	R	TBD							
27	124.1	BEDROOM #2	2'-8" X 8'-0"	1-3/4"	M	TBD							
28	125.1	BATHROOM	2'-6" X 8'-0"	1-3/4"	M	TBD							
29	125.2	BATHROOM	2'-6" X 8'-0"	1-3/4"	R	TBD							
30	126.1	WALK-IN	2'-8" X 8'-0"	1-3/4"	N	TBD							
31	127.1	WALK-IN	2'-8" X 8'-0"	1-3/4"	H	TBD							
32	128.1	BEDROOM #1	2'-8" X 8'-0"	1-3/4"	N	TBD							
33	130.1	WALK-IN	2'-8" X 8'-0"	1-3/4"	N	TBD							
34	131.1	OWNERS SUITE	6'-0" X 8'-0"	1-3/4"	R	TBD							
35	131.2	OWNERS SUITE	2'-8" X 8'-0"	1-3/4"	R	TBD							
36	132.1	OWNERS BATH	2'-8" X 8'-0"	1-3/4"	N	TBD							
37	132.2	OWNERS BATH	2'-6" X 8'-0"	1-3/4"	N	TBD							
38	133.1	EXERCISE	2'-8" X 8'-0"	1-3/4"	N	TBD							
39	133.2	EXERCISE	6'-0" X 8'-0"	1-3/4"	N	TBD							

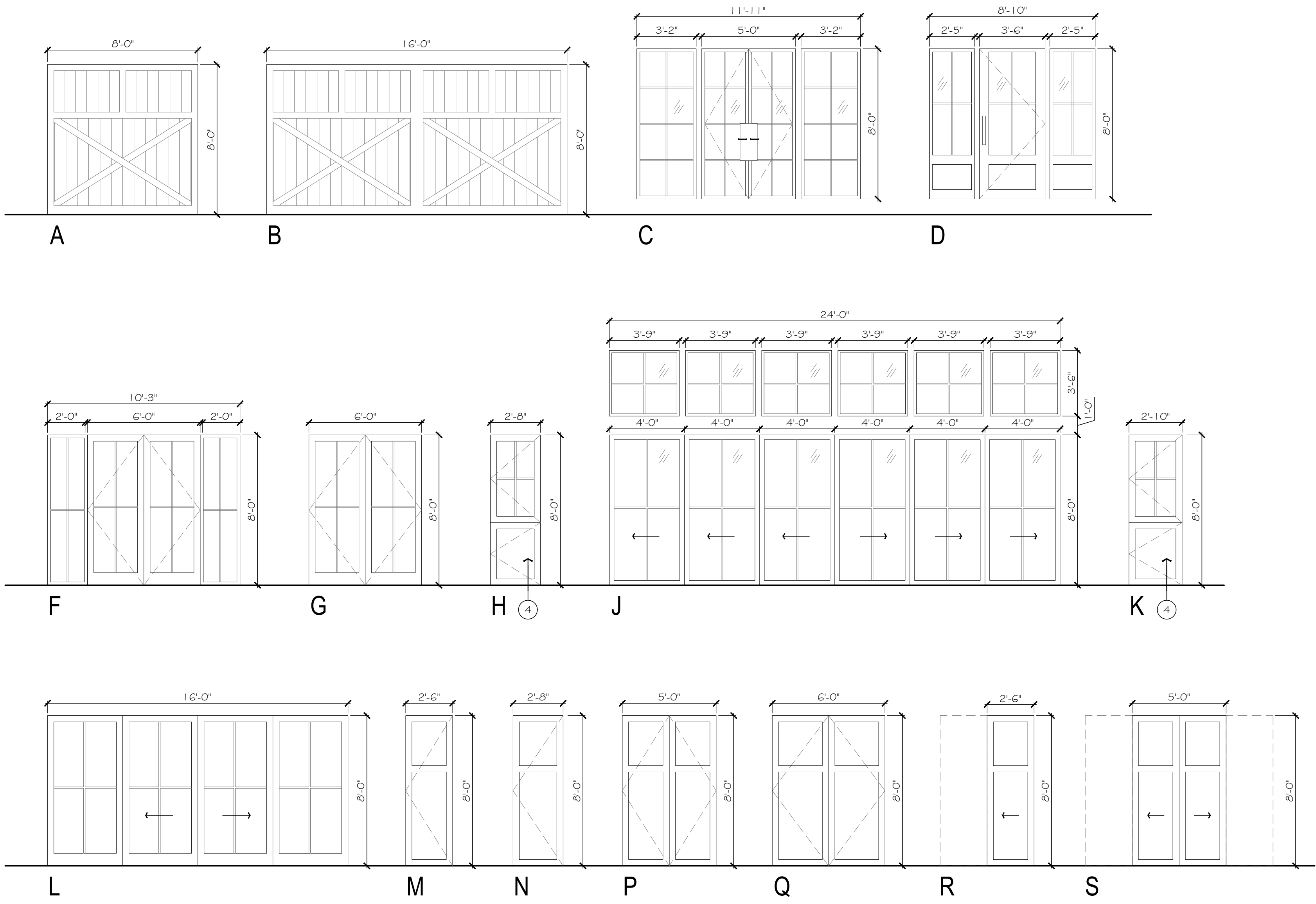
DOOR TYPES

WINDOW SCHEDULE								
WINDOW NUMBER	SIZE	TYPE	MANUF.	OPERATION	GLAZING	FRAME		REMARKS
	WIDTH X HEIGHT					MATERIAL	FINISH	
W1	3'-0" X 6'-0"	TBD	TBD	FIXED	INSULATED	TBD	TBD	
W2	3'-0" X 5'-8"	TBD	TBD	FIXED	INSULATED	TBD	TBD	
W3	2'-6" X 3'-0"	TBD	TBD	FIXED	INSULATED	TBD	TBD	
W4	2'-8" X 4'-8"	TBD	TBD	FIXED	INSULATED	TBD	TBD	
W5	2'-6" X 4'-8"	TBD	TBD	FIXED	INSULATED	TBD	TBD	
W6	2'-4" X 3'-0"	TBD	TBD	FIXED	INSULATED	TBD	TBD	
W7	2'-4" X 4'-10"	TBD	TBD	FIXED	INSULATED	TBD	TBD	
W8	2'-6" X 2'-6"	TBD	TBD	FIXED	INSULATED	TBD	TBD	
W9	3'-0" X 7'-0"	TBD	TBD	FIXED	INSULATED	TBD	TBD	

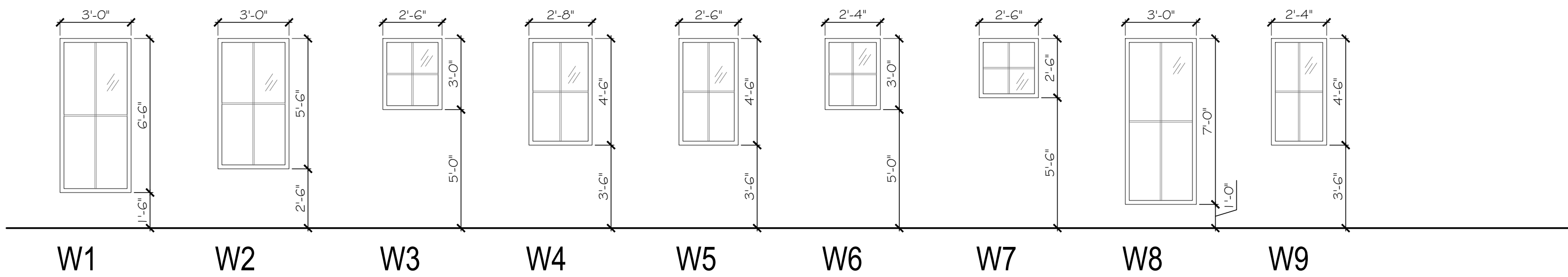
GENERAL DOOR NOTES

- A.
- ALL DOORS AND DOOR HARDWARE SHALL BE INSTALLED IN COMPLIANCE WITH THE 2019 CBC.
- B.
- VISION LIGHT GLAZING IN DOORS MUST QUALIFY AS SAFETY GLAZING PER CBC FOR ALL INSTALLATIONS. GLAZING MUST BE LABELED TO INDICATE THAT IT IS TEMPERED OR SAFETY GLAZING AND SHALL BEAR UL CLASSIFICATIONS MARKINGS AS REQUIRED.
- C.
- CONTRACTOR SHALL PROVIDE A DOOR, WINDOW AND HARDWARE SUBMITTAL TO ARCHITECT FOR APPROVAL.
- D.
- SEE EXTERIOR ELEVATIONS OF WINDOW AND DOOR SWING.
- E.
- ALL GLAZING TO BE DUAL GLAZED LOW E2 INSULATED.
- F.
- ALL WINDOWS AND DOORS SHALL HAVE NFRC RATING ATTACHED TO GLAZING WHEN DELIVERED TO THE SITE AND SHALL REMAIN ATTACHED UNTIL FINAL INSPECTION.
- G.
- ALL OPERABLE WINDOWS SHALL BE EQUIPPED WITH SCREENS.

DOOR TYPES



WINDOW TYPES



DOOR REMARKS

1.
- PROVIDE ELECTRIC GARAGE DOOR OPERATOR.
2.
- SHOWER DOOR, 1/2" TEMPERED GLASS.
3.
- PROVIDE DRAINAGE TRACK SYSTEM WITH POSITIVE SLOPE AND CONNECT IT TO STORM SYSTEM.
4.
- DUTCH STYLE DOOR OPERATION W/ SEPARATELY HINGED LEAVES.

WINDOW REMARKS

1.
- AT LEAST ONE WINDOW IN BEDROOM MUST COMPLY WITH EGRESS REQUIREMENTS FOUND IN CBC, SECT. R310 EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES AND THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. EGRESS WINDOWS SHALL HAVE A FINISHES SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.

SCALE: 1/4" = 1'-0"

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HOUSE ADDITION for

STAMP

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REVISIONS

DATE	DESCRIPTION
12.11.2020	PLANNING SUBMITTAL
04.29.2021	PLANNING COMMENTS

DATE	04.09.2021
SCALE	AS SHOWN
PROJECT ID	2020.137
DRAWN BY	KS/GY

DOOR & WINDOW SCHEDULES

SHEET TITLE

SHEET NO.

A8.1

PLANNING SET NOT FOR CONSTRUCTION