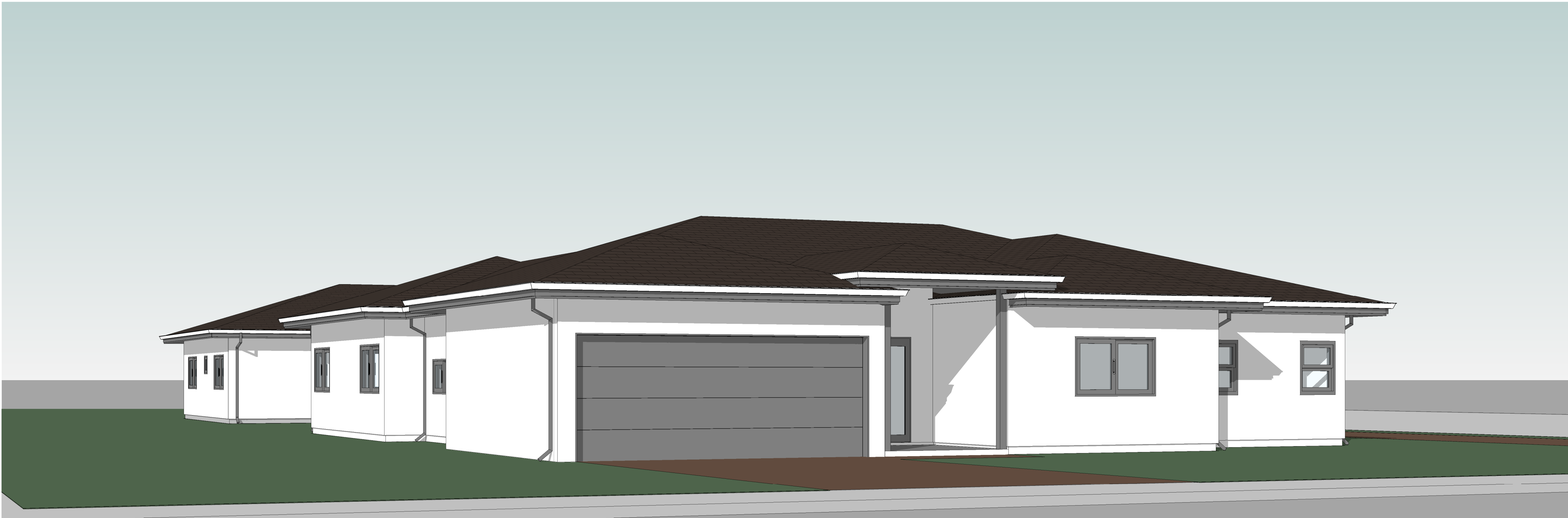


3D View 1



3D View 2

R E V I S I O N		
ID	DATE	BY

3D VIEW

NEW MDU & ADU, STORAGE

11205 Monterey Highway, San Martin, CA 95020

DATE:	04/01/2020
SCALE AS SHOWN	
DRAW BY:	X.XX
STAMP:	

JOB NO	:	#116
DRAWING NO	:	

A0.00

SITE PLAN NOTES

1. R401.3 CRC : SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES (152 MM) WITHIN THE FIRST 10 FEET (3048 MM).
- EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES (152 MM) OF FALL WITHIN 10 FEET (3048 MM), DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE, IMPERVIOUS SURFACES WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING.
2. PER BUILDING POLICY, WHERE FEASIBLE AND AS DETERMINE THE BUILDING INSPECTOR, ALL ABOVE GROUND UTILITIES SHALL BE RELOCATE UNDER-GROUND.
3. FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL
4. DRIVEWAYS, PATHWAYS, UNCOVER PATIOS AND OTHER PAVER AREAS SHALL BE UNCOLORED CONCRETE.
5. BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY (R319.1).
6. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE AT EXTERIOR WALL.
7. CONTRACTOR SHALL PROVIDE ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.
8. CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK.
9. CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES AS TO LEAST IMPACT NEIGHBORS AND AS DIRECTED BY CITY REGULATIONS.

SCOPE OF WORK

1. NEW MDU : 2500 SQ.FT
2. NEW ADU : 1200 SQ.FT

DEFFERED SUBMITAL

1. SOLAR ZONE

APPLICABLE CODES

2019 CBC - CA BUILDING CODE PART 1&2
2019 CRC - CA RESIDENTIAL CODE
2019 CEC - CA ENERGY EFFICIENCY STANDARD
2019 CMC - CA PLUMBING CODE
2019 CFC - CA FIRE CODE
2019 CGBSC - CA GREEN BUILDING STANDARDS CODE
2019 CALIFORNIA REFERENCED STANDARDS CODE
CITY OF **SANTA CLARA COUNTY** MUNICIPAL CODE

PROJECT DATA:

PROJECT ADDRESS : 11205 Monterey Highway, San Martin, CA 95020

ASSESSOR'S PARCEL NUMBER:

- TRACT: xxx

- LOT: 37

- ZONING: RR

- SETBACKS: FRONT: 30' SIDE: 30' REAR: 30'

- LOT SIZE, GROSS: 87 170.54 .SF (1.99 AC)

- OCCUPACY GROUP: R3- U

- CONSTRUCTION TYPE: V- B

- NEW MADU SQ.FT: 2 500 .SF
+ NEW 2CAR- GARAGE: 400 .SF
+ PATIO: 575 .SF
+ PORCH: 78 .SF

- NEW ADU SQ.FT: 1 250 .SF

- 2 STORAGE (120.SF) FOR MDU & ADU: 240 SFT

- TOTAL FLOOR AREA (ADU + MDU + 2- STORAGE): 2500 + 1250 + 240 = 3 990 .SF

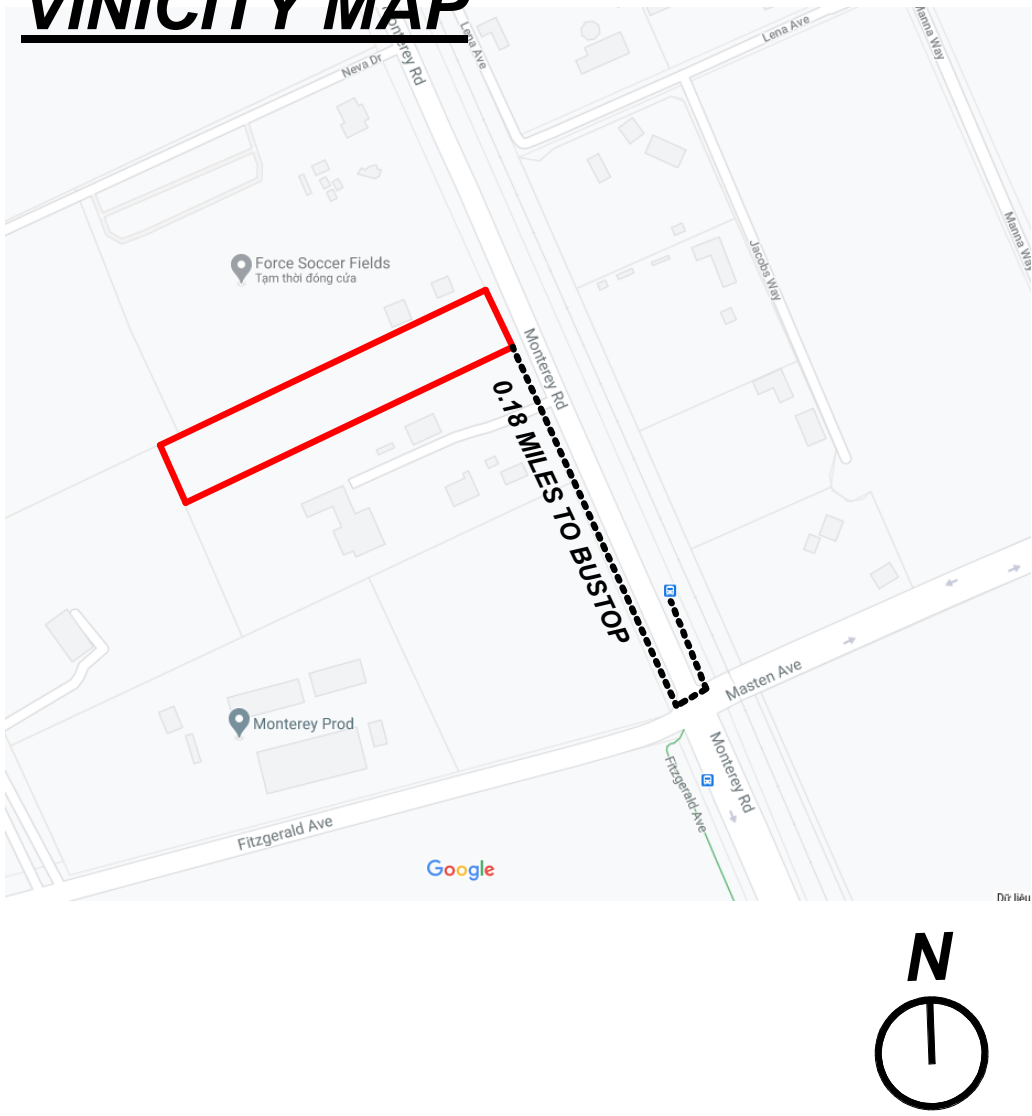
- TOTAL AREA FOOTPRINT: 2500 + 1250 + 400 + 575 + 78 = 5 043 . SF

- LOT COVERAGE: (3990 / 87 170.54) X100% = 4.57%

- RFA : (TOTAL AREA FOOTPRINT / LOT SIZE) X100% = (5043 / 87 170.54) X 100% = 5.78 %

- FIRE SPRINKLER : NO

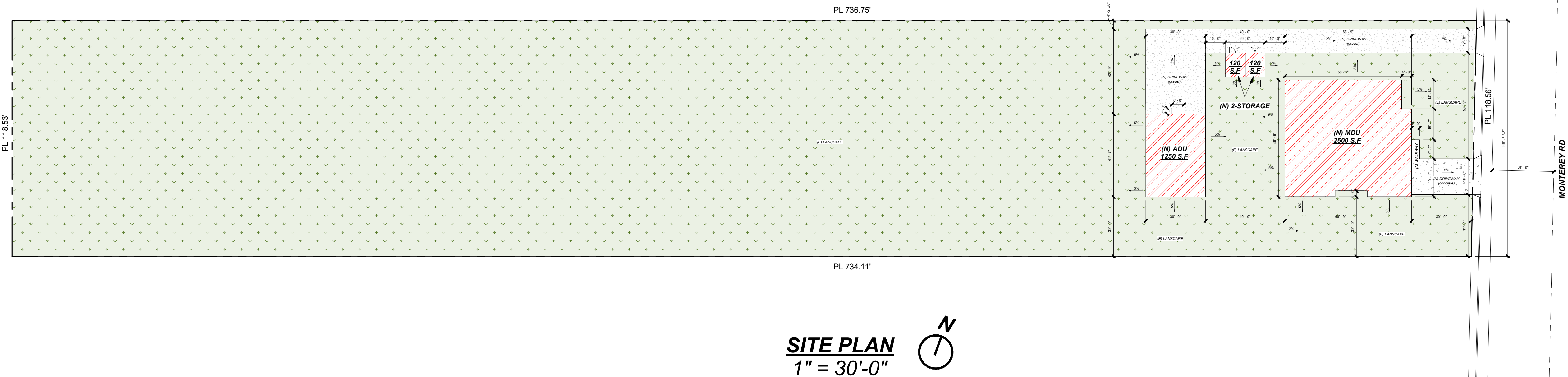
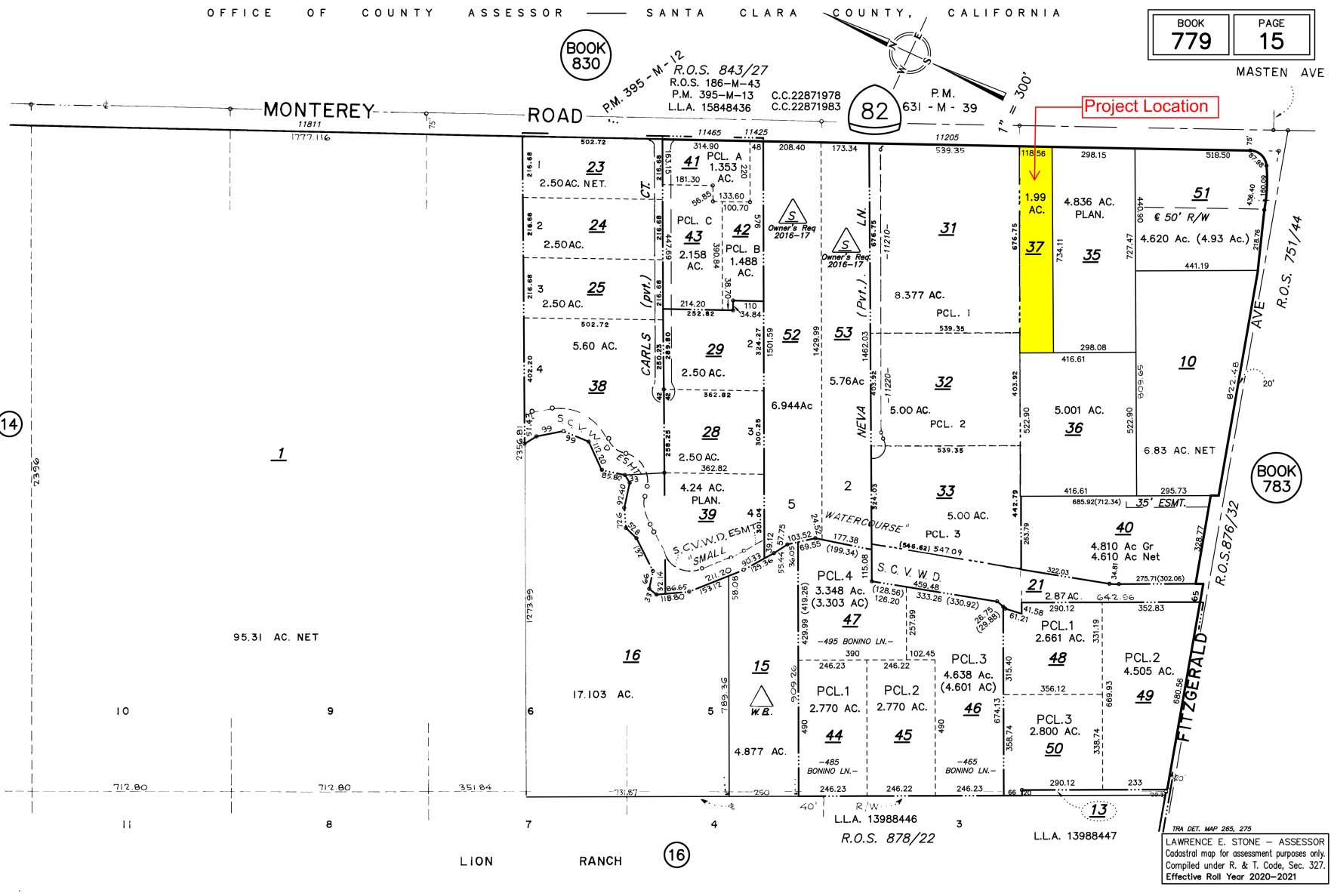
VINICITY MAP



SHEET INDEX

04-ARCHITECTURAL	
A0.00	3D VIEW
A1.00	PROPOSER SITE PLAN
A1.01	PROPOSER FLOOR PLAN
A1.02	PROPOSER ROOF PLAN
A1.03	MDU- PROPOSER ELEVATION
A1.04	ADU- PROPOSER ELEVATION

PARCEL MAP



PROPOSER SITE PLAN

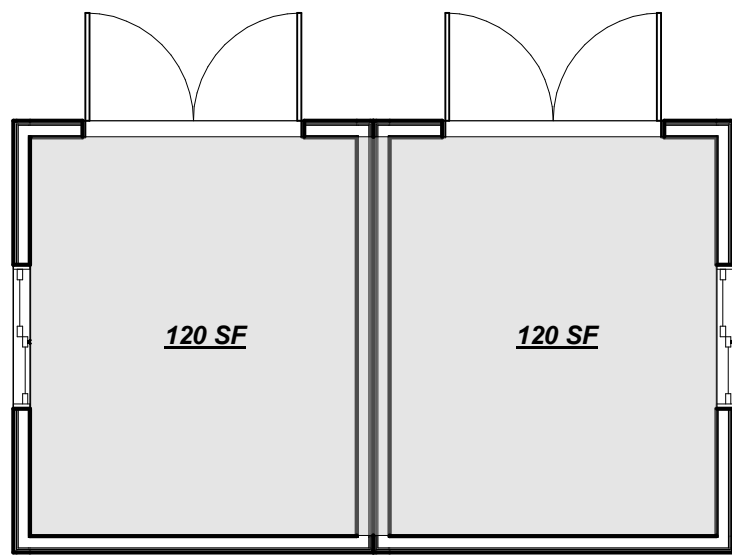
NEW MDU & ADU, STORAGE

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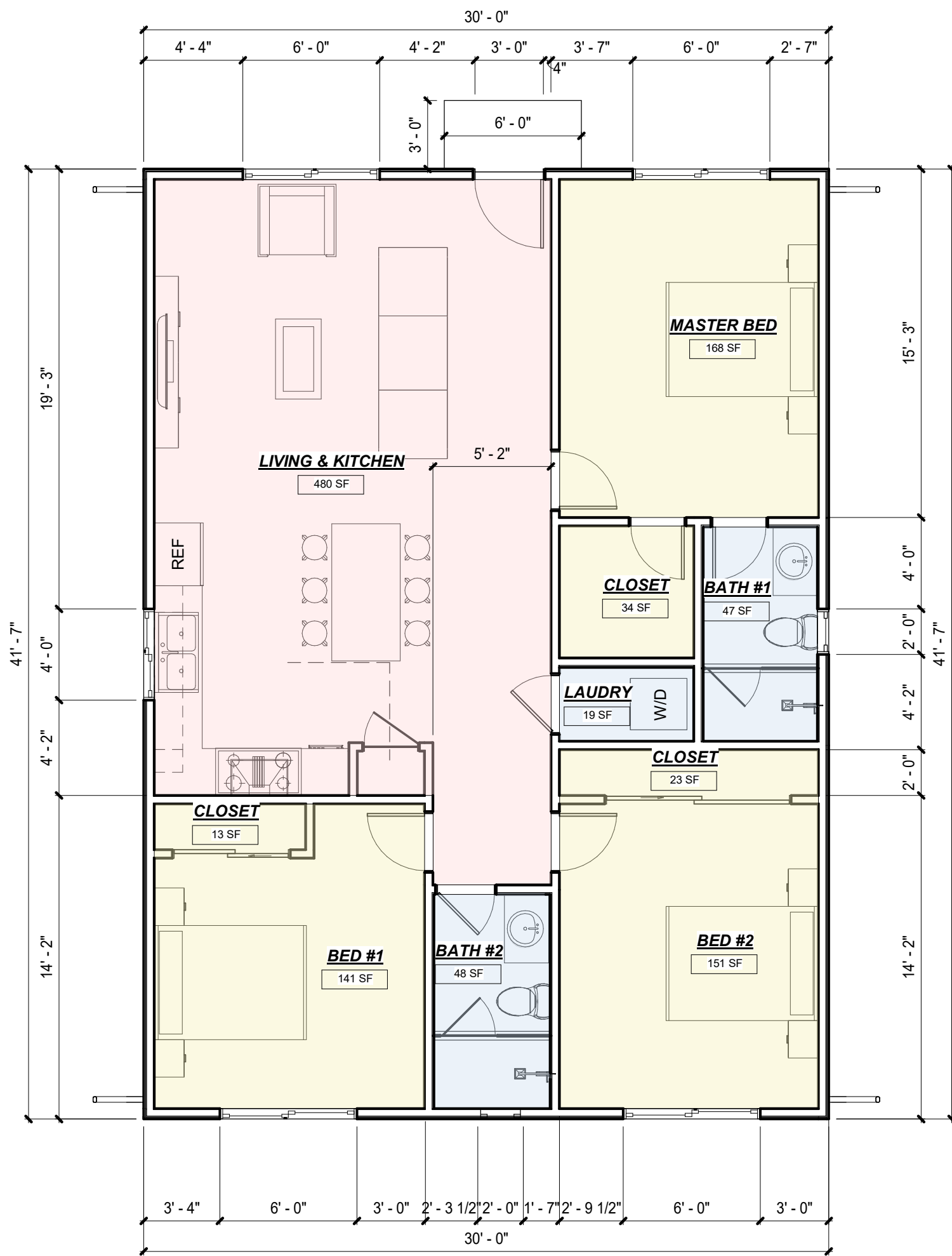
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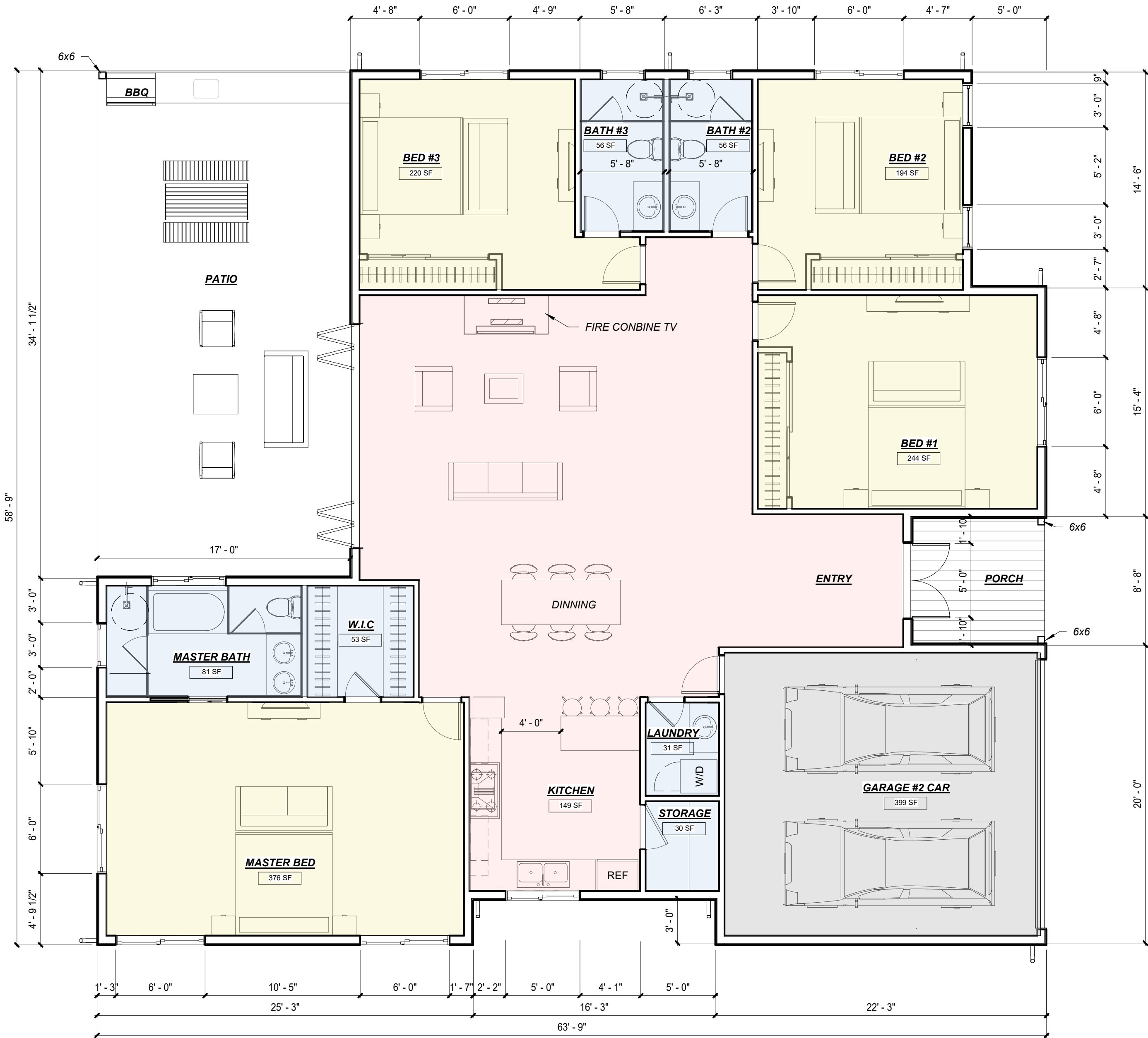
A1.00



STORAGE ONE STORY
3/16" = 1'-0"



ADU - FLOOR PLAN
3/16" = 1'-0"



MDU - FLOOR PLAN
3/16" = 1'-0"

REVISION		
ID	DATE	BY

PROPOSER FLOOR PLAN

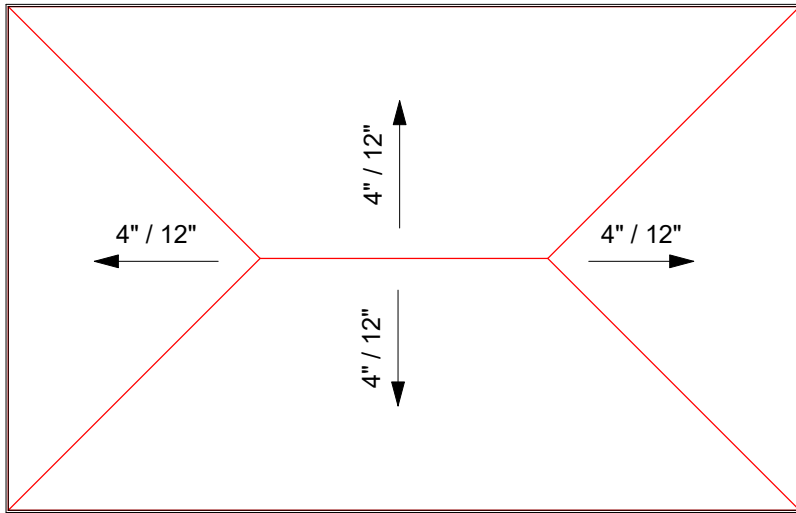
NEW MDU & ADU, STORAGE

11205 Monterey Highway, San Martin, CA 95020

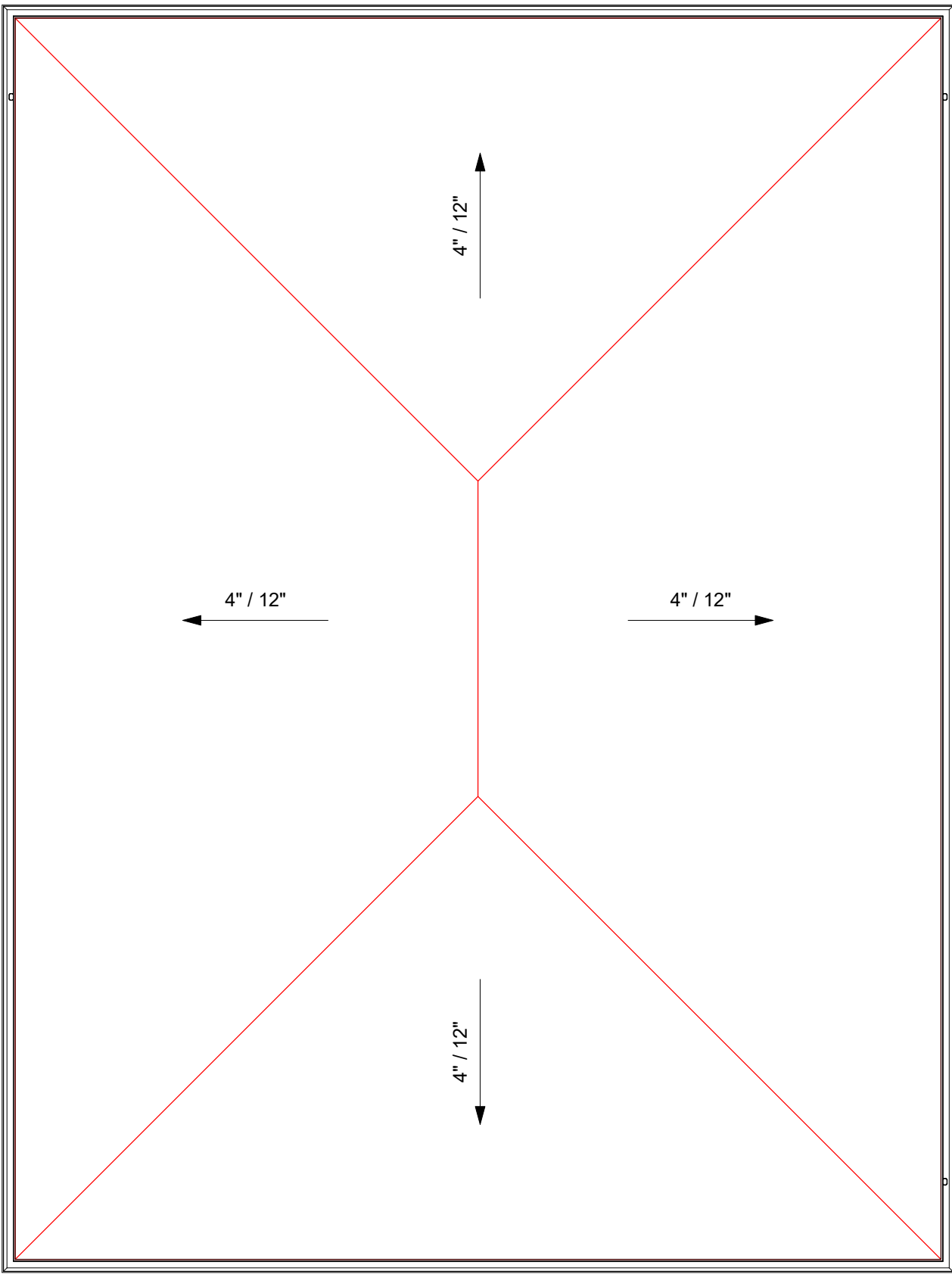
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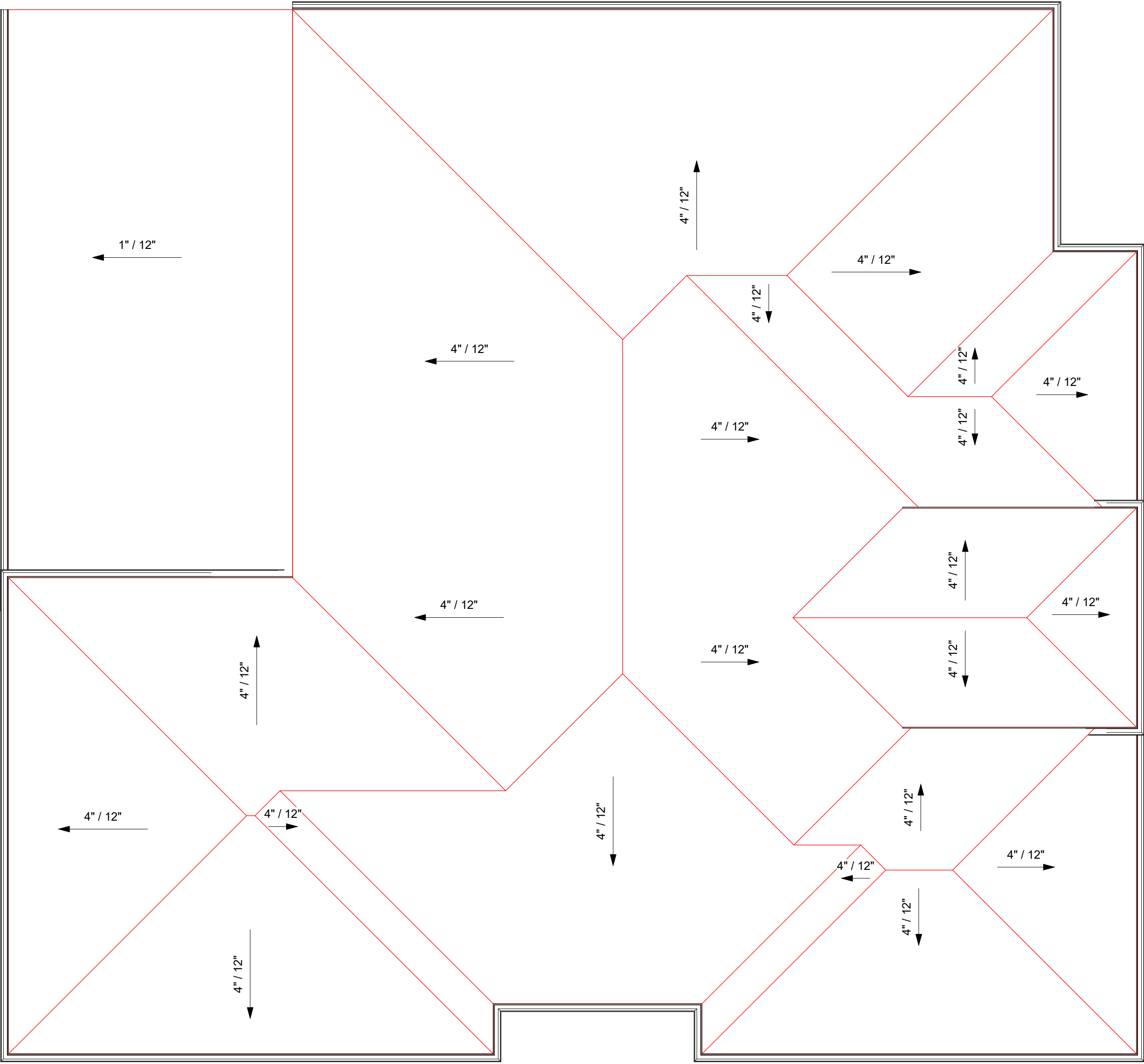
A1.01



STORAGE -ROOF PLAN
3/16" = 1'-0"



ADU -ROOF PLAN
3/16" = 1'-0"



MDU -ROOF PLAN
3/16" = 1'-0"

R E V I S I O N		
ID	DATE	BY

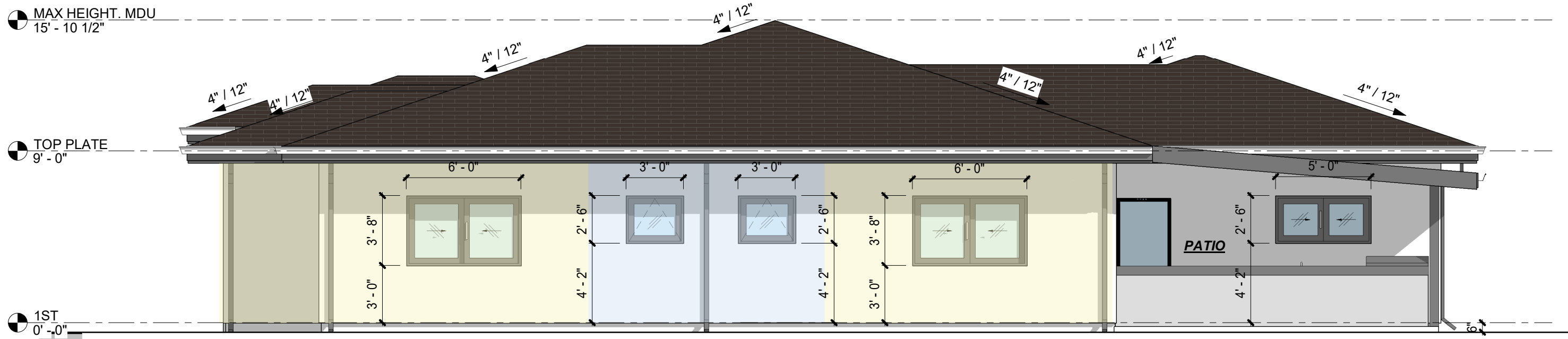
PROPOSER ROOF PLAN

NEW MDU & ADU, STORAGE
11205 Monterey Highway, San Martin, CA 95020

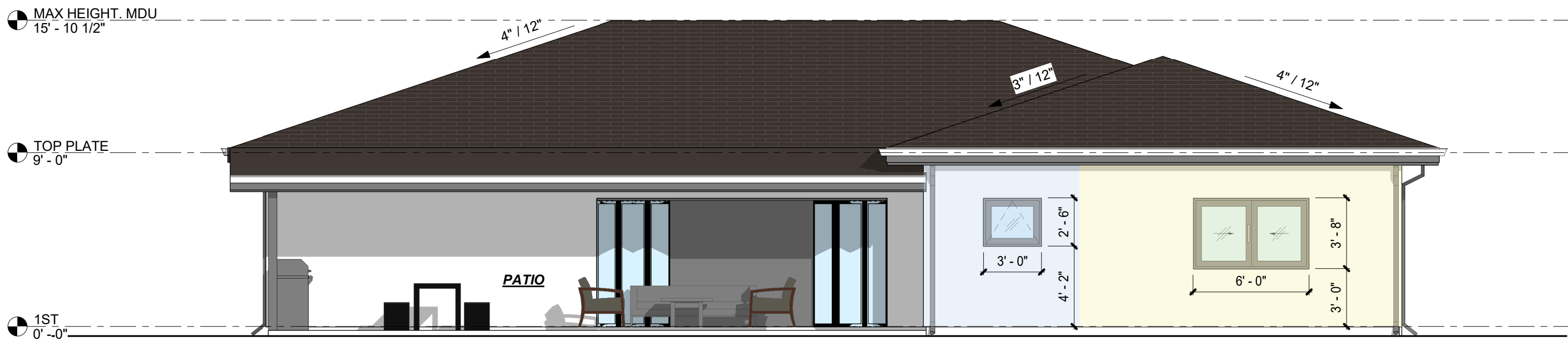
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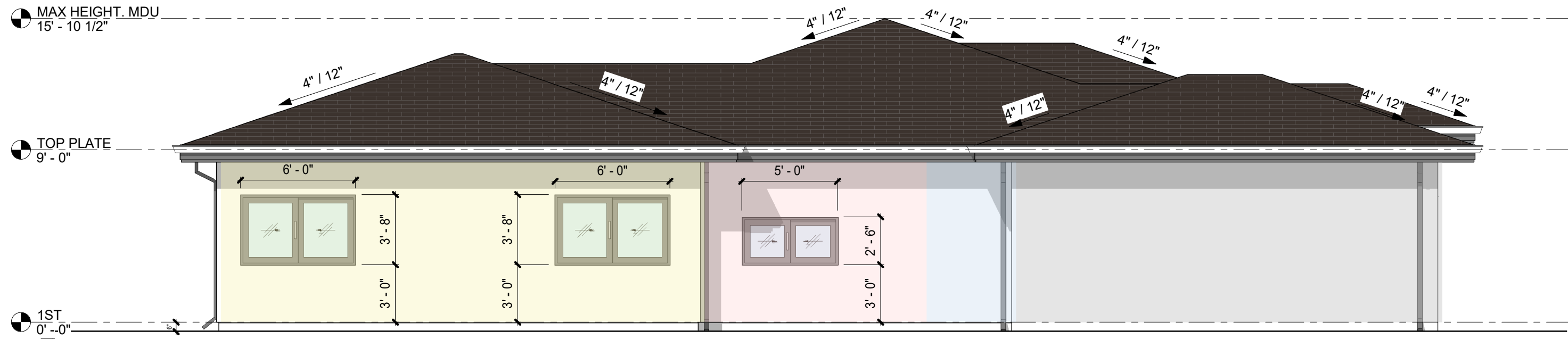
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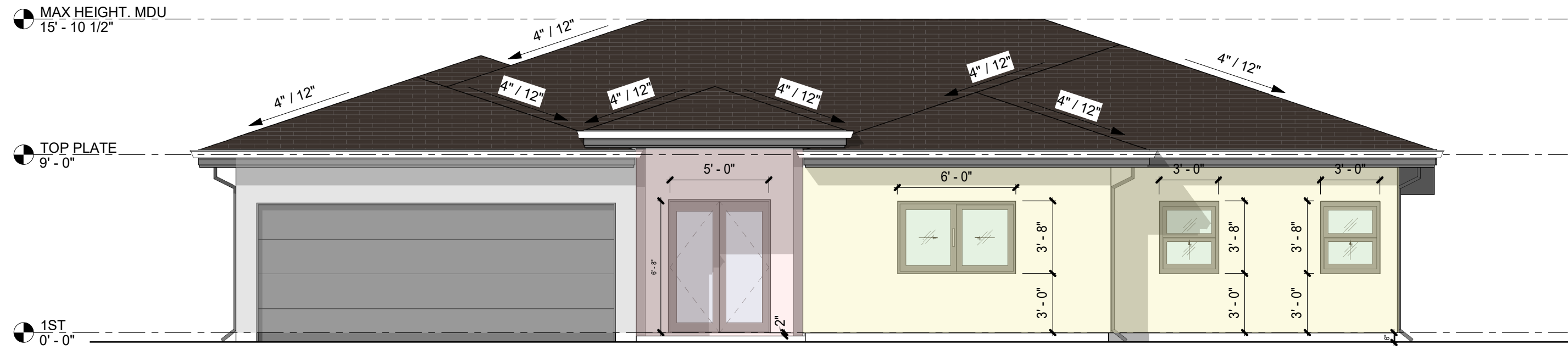
MDU - LEFT ELEVATION
3/16" = 1'-0"



MDU - REAR ELEVATION
3/16" = 1'-0"



MDU - RIGHT ELEVATION
3/16" = 1'-0"



MDU - FRONT ELEVATION
3/16" = 1'-0"

REVISION

ID	DATE	BY

MDU- PROPOSER
ELEVATION

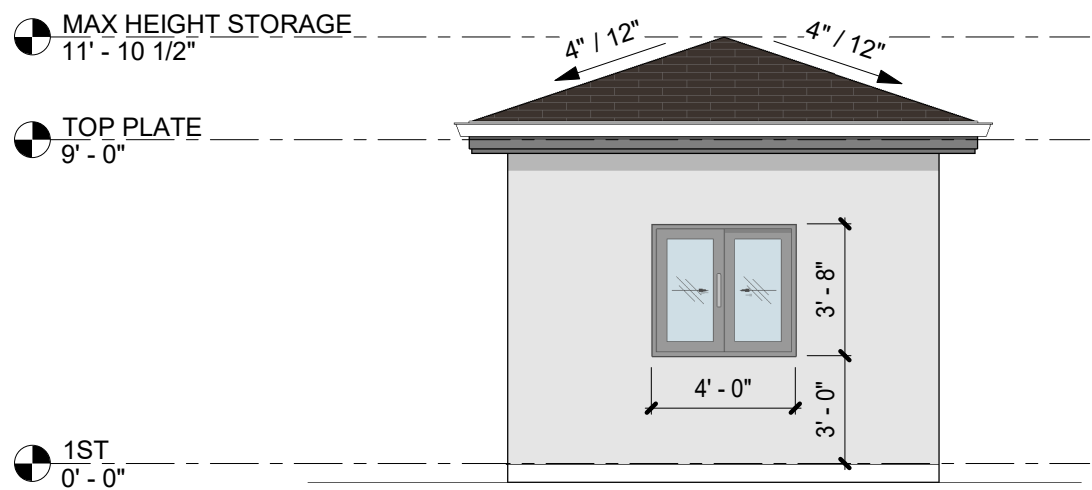
NEW MDU & ADU, STORAGE

11205 Monterey Highway, San Martin, CA 95020

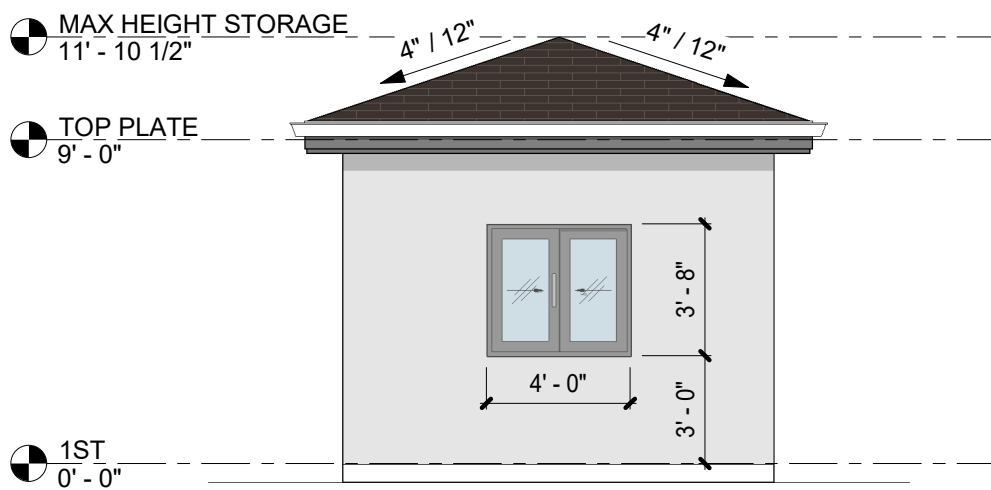
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STAMP:

JOB NO : #116
DRAWING NO :

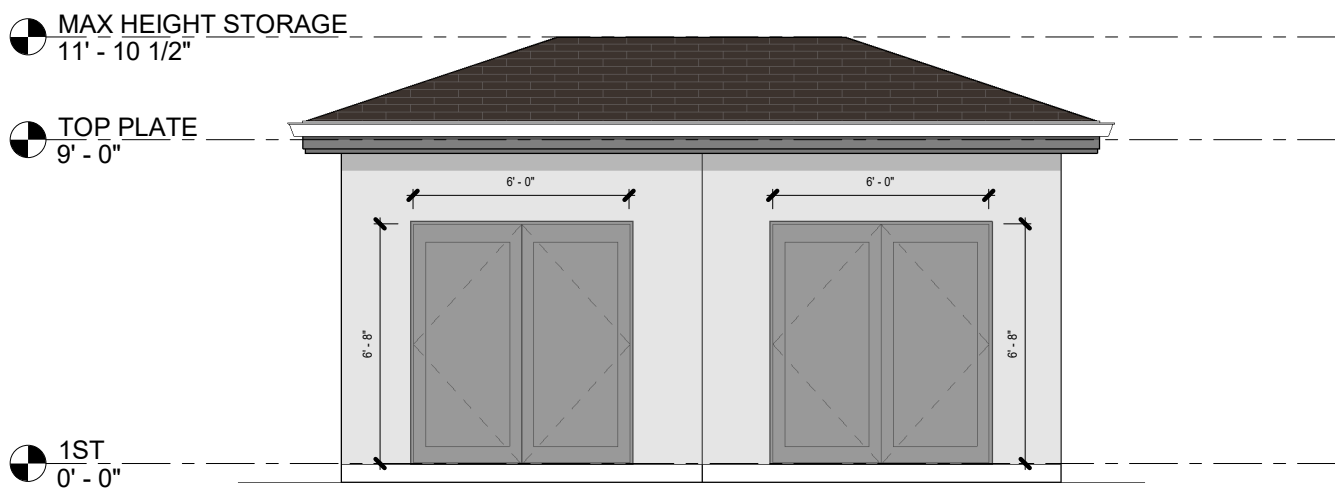
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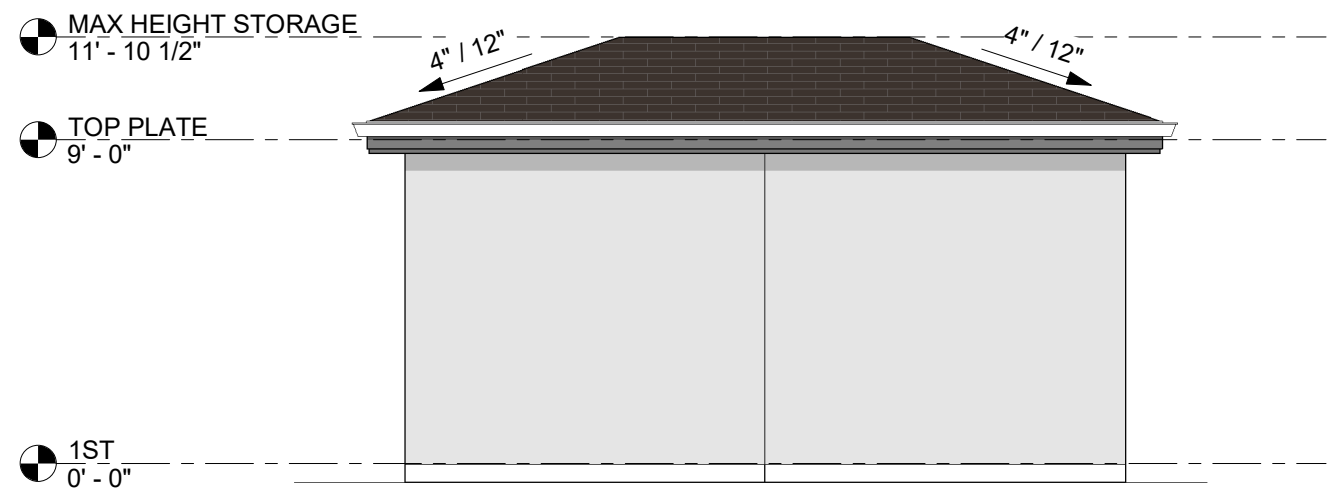
STORAGE - RIGHT ELEVATION
3/16" = 1'-0"



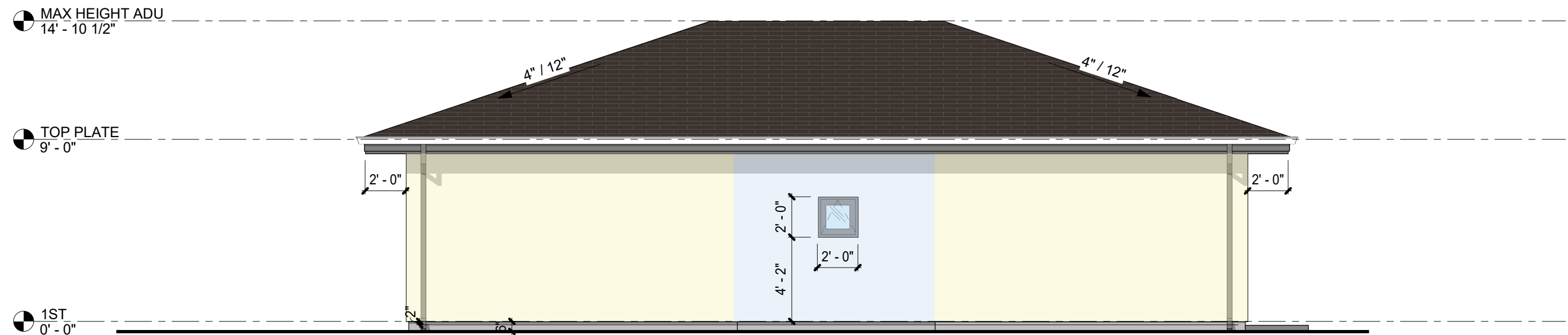
STORAGE - LEFT ELEVATION
3/16" = 1'-0"



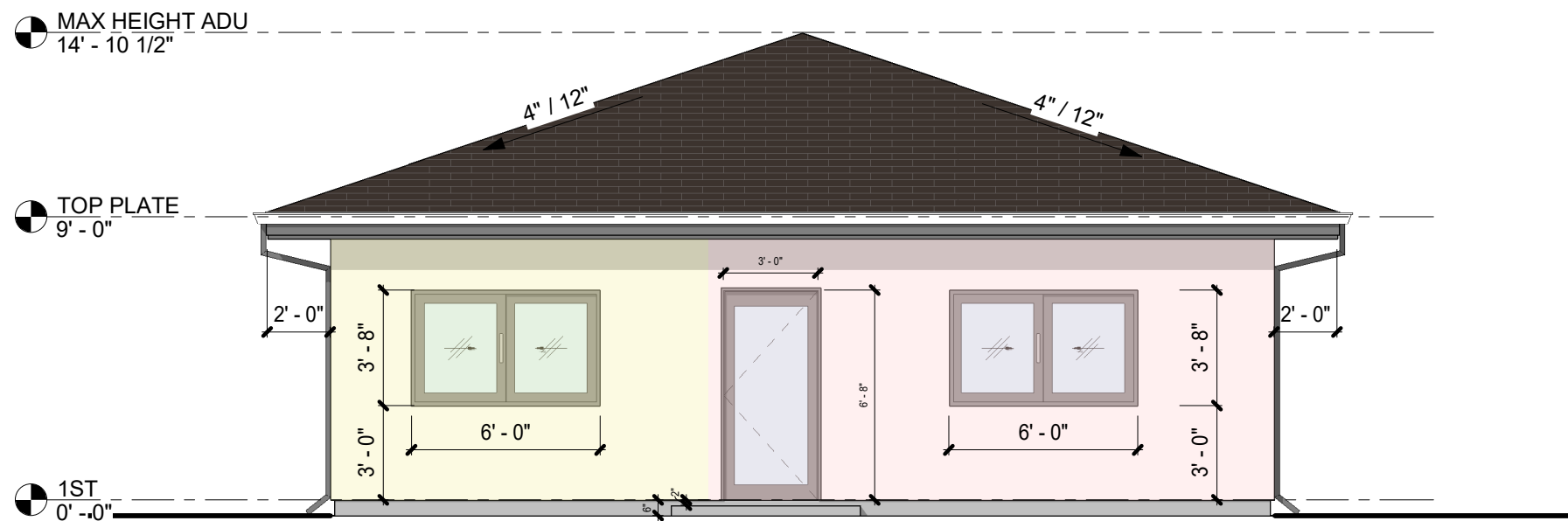
STORAGE - REAR ELEVATION
3/16" = 1'-0"



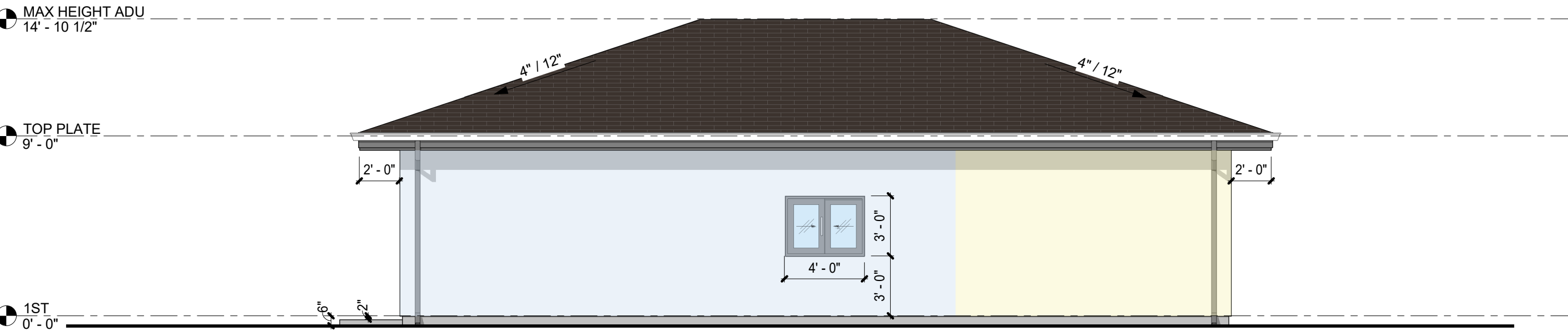
STORAGE - FRONT ELEVATION
3/16" = 1'-0"



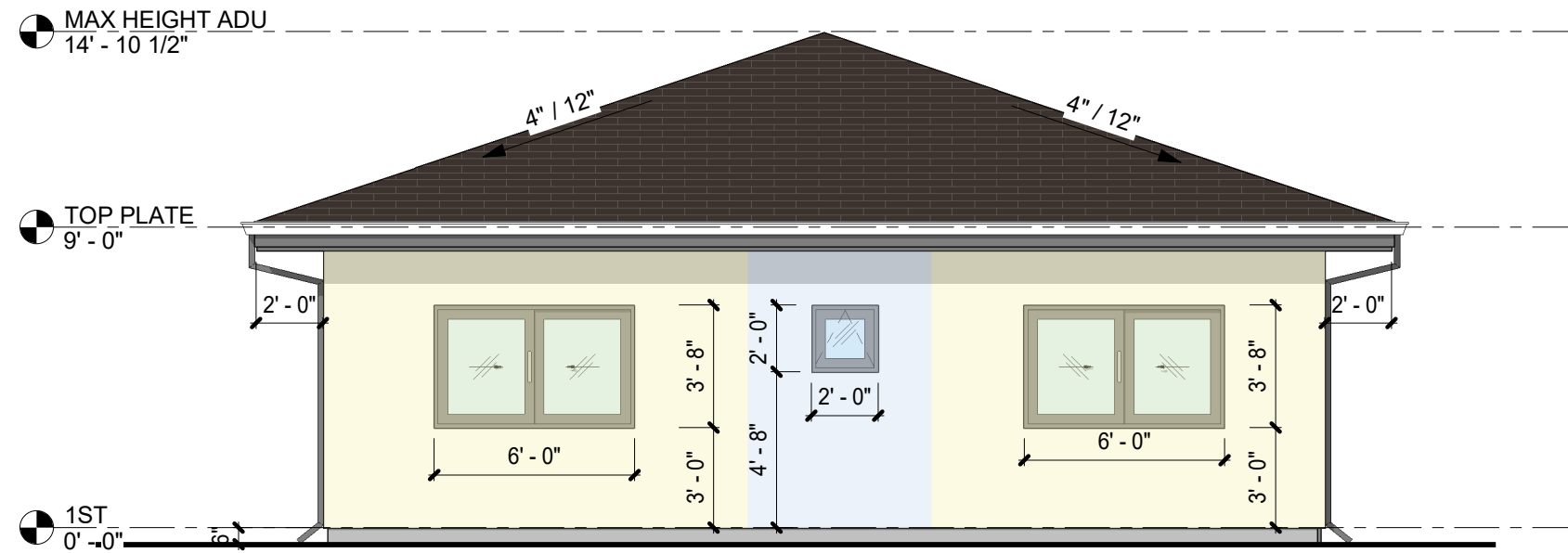
ADU - RIGHT ELEVATION
3/16" = 1'-0"



ADU - REAR ELEVATION
3/16" = 1'-0"



ADU - LEFT ELEVATION
3/16" = 1'-0"



ADU - FRONT ELEVATION
3/16" = 1'-0"

REVISION

ID	DATE	BY

ADU- PROPOSER
ELEVATION

NEW MDU & ADU, STORAGE

11205 Monterey Highway, San Martin, CA 95020

DATE: 04/01/2020

SCALE AS SHOWN

DRAW BY: X.XX

STAMP:

JOB NO : #116

DRAWING NO :

A1.04