County of Santa Clara

Department of Planning and Development Planning Office

County Government Center, East Wing, 7th Floor 70 West Hedding Street San Jose, California 95110-1705 (408) 299-5770 FAX (408) 288-9198 www.sccplanning.org



STAFF REPORT Zoning Administration September 1, 2022 Item #1

Staff Contact: Valerie Negrete, Senior Planner (408) 299-5791, <u>valerie.negrete@pln.sccgov.org</u>

File: PLN21-085 (Walden West) Minor Modification of Architecture and Site Approval and Grading Approval

Summary: Minor Modification of Architectural and Site Approval (ASA) and Grading Approval for the renovation of Building B (Boys' Dormitory) and Building L (Counselors dormitory and shower). Proposed work includes fire road extension, renovation of outdoor amphitheater area, replacement of an existing shade structure, and landscaping replacement and upgrade. Grading consists of 750 cubic yards of cut and 150 cubic yards of fill.

Owner: Santa Clara County Superintendent of Schools Applicant: Matt Lightner Lot Size: 35-acre APN: 517-04-058 Supervisorial District: 5 Gen. Plan Designation: Hillsides Zoning: HS-sr Address: 15795 Sanborn Ave., Saratoga Present Land Use: Education Facility HCP: Not a Covered Project

RECOMMENDED ACTIONS

- A. Accept a Categorical Exemption under Section 15301 of the CEQA Guidelines, Attachment A; and
- **B.** Grant a Minor Modification of Architecture and Site Approval (ASA) and Grading Approval, subject to Conditions of Approval in Attachment B.

ATTACHMENTS INCLUDED

Attachment A – Proposed CEQA Determination Attachment B – Proposed Conditions of Approval Attachment C – Location & Vicinity Map Attachment D – Proposed Plans

PROJECT DESCRIPTION

The proposed project includes a request for a minor modification of Architecture and Site Approval (ASA) and Grading Approval to allow the renovation of two existing buildings (Building B and L). Improvements shall also include fire road extension to improve access to the pool area, renovation of outdoor amphitheater area, replacement of an existing shade structure, and landscaping replacement and upgrade. No new square footage is proposed. Grading consists of 750 cubic yards of cut and 150 cubic yards of fill.

The current property (Walden West) obtained an approval for camps, retreats. and outdoor educational programs in 1982 for a maximum of 160 people. In 2005, the Planning Commission granted a modification of the Use Permit allowing up to 212 people and included a master renovation plan that authorized a 9,100 square foot (s.f.) administration building with dining area and kitchen, six cabin buildings and related onsite improvements. In 2010, the Planning Commission approved a modification of the Use Permit to allow an increase in weekend use and attendance to 150 people, increase in daily on-site outdoor school attendees from 212 to 272 campers. That modification included the demolition of the existing cafeteria, dining hall, dormitory building and existing covered picnic area, and grading of 750 cubic yards of cut and 115 cubic yards of fill, for the construction of a 3,400 s.f. science building (Bldg. N), three new cabins, new picnic area, and construction of parking and bus drop-off. Not all of the improvements were completed and renovation of existing buildings were conducted instead.

Setting/Location Information

The subject property is a 35 gross-acre parcel located off from Sanborn Avenue, Saratoga and accessed through Pick Road, in unincorporated Santa Clara County. The parcel is owned by Santa Clara Office of Education and is currently operated by the Walden West Center as an outdoor education program, in which both day camps and weeklong programs are available. The Walden West Center provides residential science camps for 5th and 6th grade students. The mission of Walden West Center is to immerse students in the world of science and inspire environmental stewardship.

The property is located in a heavily wooded hillside area of Saratoga surrounded by the County Sanborn Park parkland areas. The existing facility is east of Sanborn Ave. and is surrounded by low density residential parcels to the west. North of the parcel is vacant and thick with vegetation, while to the east is straddled by Sanborn Road.

The site is not located within the Santa Clara Valley Habitat Plan (HCP) and is not a covered project under HCP.

REASONS FOR RECOMMENDATIONS

A. Environmental Review and Determination (CEQA)

The proposed project qualifies for a Categorical Exemption under Section 15301 for the renovation of two existing buildings (Building B and L), fire road expansion, amphitheater, and landscaping improvements. Previously, a Mitigated Negative Declaration (MND) was adopted by the Planning Commission on August 4, 2005, for the project entitled "Walden West Center Use Permit, ASA, Grading Modifications." The project was not found to create any significant impacts. An expansion of the facility to construct three new buildings, increase the number of campers, allow weekend use, and allow additional

grading was approved on September 2, 2010 and found to not to warrant additional environmental review by the Planning Commission. The proposed work includes renovation that will take place in existing disturbed areas and the activity authorized by the use permit is not changing. Therefore, the project qualifies for a Categorical Exemption under CEQA per Section 15301 as the exemption provides for changes that involve "operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use". As there are no changes to the use and site improvements are negligible, no further analysis was warranted. As such, an Initial Study and further analysis under the CEQA is not required.

B. Minor Modification of Permit Approval

According to Section § 5.40.030, the Zoning Administration Hearing Officer, may approve a Minor Modification of an original approval. A modification may involve a change of use, alteration of approved structure, change in configuration of site improvements, or modification or deletion of conditions of approval, pursuant to certain findings of fact listed in § 5.20.200 of the County Zoning Ordinance. Listed below are the individual findings in **bold**, with a discussion following in plain text.

1. [The project] does not involve substantive changes to the approved site plan;

The renovation project does not increase the use or occupancy of the site. Building B is a 5,200 s.f. dormitory building with three (3) teachers' beds, teachers' lounge, nurses' station and men's and women's restroom with showers in each. Proposed work includes the addition of beds from Building L, reconfiguration of restrooms for accessibility compliance and teachers' dorms and nurses' station to be re-located to Building L. The location and size of the structure will not change. Building L will be remodeled to remove 21 camper beds to Building B and relocate the teacher's dorms with reconfigured laundry area, teachers work rooms and larger multi-purpose restrooms and changing rooms. No increase in square footage is proposed with these renovations.

Site improvements include enhanced landscaping, extension of fire access road to accommodate emergency vehicles to the pool area, renovation of outdoor amphitheater area, and replacement of an existing shade structure.

Since the scope of this project does not involve additional square footage of buildings from the original approval and improvements are to take place in existing disturbed areas, and no other changes to the approved site plan are proposed, staff has determined that the modifications are minor and do not involve substantive changes to the September 3, 2010, approved site plan. As such, this finding can be made to approve the minor modification.

2. [The project] does not significantly change the nature of the approved use;

As noted under the 'Setting/Location Information' section of this report, the property is currently operating as an educational camp facility. The proposed modifications are in line with the most recently approved Use Permit. There are no changes proposed to the facility use as a result of the project. The number of employees, hours of operation, days/times of activities, and number of trips to and from the site will be the same. As such, this finding can be made to approve the minor modification.

3. [The project] does not intensify the approved use; and

The site includes an education facility with overnight use and occasional reception facility use. None of the uses authorized for Walden West are proposed to change with this renovation, however, due to the age of the buildings and some of the site improvements it was necessary to undertake renovations. As such, this finding can be made to approve the minor modification.

4. [The project] would not result in any new or substantially greater environmental effects than the originally approved project.

As noted in Section A (Environmental Review and Determination) of this report, a Mitigated Negative Declaration was adopted by the Planning Commission on August 4, 2005, for the project entitled "Walden West Center Use Permit, ASA, Grading Modifications." The project was not found to create any significant impacts. An expansion of the facility to construct three new buildings, increase the number of campers, allow weekend use, and allow additional grading was approved on September 2, 2010, and found to not to warrant additional environmental review by the Planning Commission.

This renovation does not include additional square footage or activity then what was previously approved therefore no further environmental review is required under CEQA. The project is found to be exempt pursuant to Section 15301, for a project involving negligible or no expansion of existing or former use. As such, this finding can be made to approve the minor modification.

C. Architectural and Site Approval (ASA)

The project requests approval of an extension and a minor modification to the September 2, 2010, ASA Use Permit and ASA approved by the Planning Commission, and buildings approved by the original Use Permit and ASA approved by the Planning Commission. As such, review and approval of ASA findings have been analyzed to ensure that the minor modifications continue to comply with required ASA findings of fact. The Zoning Administration Hearing Officer may approve an ASA application if all applicable findings listed in §5.40.040 of the County Zoning Ordinance can be made. Listed below are the individual findings in **bold**, with a discussion following in plain text.

1. Adequate traffic safety, on-site circulation, parking and loading areas, and insignificant effect of the development on traffic movement in the area;

As noted in the Project Description section of this report, the project includes a request to renovate two buildings in the same location. Site improvements include an extension of a fire access road in an already disturbed area. The renovations will not increase the number of people on-site nor the uses within each building. Existing parking and loading areas are located at the project entry of the property. As such, the project conforms with this finding.

2. Appearance of proposed site development and structures, including signs, will not be detrimental to the character of the surrounding neighborhood or zoning district;

The surrounding area includes large spans of parkland from Sanborn County Park. No new signs are requested as part of this modification. The operation of the facility will not change as a result of the renovation project.

3. Appearance and continued maintenance of proposed landscaping will not be detrimental to the character of the surrounding neighborhood or zoning district;

Additional landscaping will be included around the project scope area, as well as to add an enhanced pre-hike gathering area adjacent to the amphitheater. As such, the renovations will not be detrimental to the character of the neighborhood and this finding can be made.

4. No significant, unmitigated adverse public health, safety and environmental effects of proposed development;

There will not be any significant, unmitigated adverse public health, safety or environmental effects resulting from the proposed renovation project. No known biological or environmental issues were identified on site in the areas of the development proposal. Due to the age of the buildings to be renovated, the Applicant provided a historical assessment prepared by Robert R. Certier of Archeological Resource Management dated January 13, 2021 and found no potential impacts to possible resources. Proposed improvements would not result in new environmental impacts, including but not limited to traffic, noise, construction, biological resources, or air quality. The project was reviewed and conditioned by County's Land Development Engineering Division, Department of Environmental Health, the Fire Marshals' Office, and Roads and Airports. As such, this finding can be made.

5. No adverse effect of the development on flood control, storm drainage, and surface water drainage;

The proposed project will not have any significant impact to flood control, storm drainage, and surface water drainage as the proposal was reviewed by Land Development Engineering to ensure that the design of the project does not create impacts. Runoff from the additional impervious surface area will be adequately managed and treated, as required through the Conditions of Approval placed on the project to address on-site drainage. As such, this finding can be made.

6. Adequate existing and proposed fire protection improvements to serve the development;

Proposed improvements would not result in inadequate fire protection. The project was reviewed by the Fire Marshals' Office, and Roads and Airports and, as conditioned, would not result in adverse effects related to fire protection or inadequate access for emergency vehicles. The project includes an expansion of the existing fire access road just north of the project area to allow for improved access to the pool area. As such, this finding can be made.

7. No significant increase in noise levels;

The proposed project will not result in any significant increase of noise levels in the area, as no changes to the conditions of approval prohibits amplified noise is being requested. As conditioned, the project will be required to adhere to existing conditions of approval.

8. Conformance with zoning standards, unless such standards are expressly eligible for modification by the Zoning Administrator as specified in the Zoning Ordinance;

The proposed project satisfies all the required zoning standards, as stipulated in the County Zoning Ordinance. The zoning district for subject parcel is HS-sr. No proposed modifications to these standards are proposed or required. No changes to the existing structures, aside of interior changes and improved facades, are proposed. As such (and as conditioned) this finding can be made.

9. Conformance with the general plan and any applicable area or specific plan, or, where applicable, city general plan conformance for property located within a city's urban service area;

The General Plan designation for subject parcel is Hillsides with a Scenic Road overlay "sr". The project does not conflict with the General Plan. There are no improvements proposed within the 100-feet of Sanborn Road which is designated as "scenic". As such, this finding can be made.

10. Substantial conformance with the adopted "*Guidelines for Architecture and Site Approval*" and any other applicable guidelines adopted by the County.

The proposal is required to adhere to all conditions set forth in the September 2, 2010, conditions of approval (Attachment B). The intent of the "Guidelines for Architecture and Site Approval" is to maintain the character and integrity of zoning districts by promoting quality development in harmony with the surrounding area, through consideration of all aspects of site configuration and design, and to generally promote the public health, safety and welfare. As the character of the proposal is in harmony with the existing surroundings, and there is no significant effect on traffic or congestion, the proposal is consistent to the above finding. New siding will emulate wood paneling of light army green. Exterior siding will include beige rock texture along the lower portion of each building to add texture. Doors will be painted colors of orange, magenta, blue and yellow to provide interest. The structure facades will be consistent with the natural setting, with open windows and shades of green to blend in with the overall environment of the neighborhood with similar trees located in the background. As such, this finding can be made.

Findings for Grading Approval

All Grading Approvals are subject to the findings per County Grading Ordinance Section C12-433 included below in underline. Facts supporting each finding are shown in italics.

A. The amount, design, location, and the nature of any proposed grading is necessary to establish or maintain a use presently permitted by law on the property.

According to project plans, there will be approximately 66 cubic yards of cut and 620 cubic yards of fill. The grading proposed is focused on the enhanced landscaping and clearing for fire access road extension.

B. The grading will not endanger public and/or private property, endanger public health and safety, will not result in excessive deposition of debris or soil sediments on any public right of way, or impair any spring or existing watercourse.

Proposed grading will be mainly for the updated landscaping for the project and will not endanger public and/or private property and will maintain the public health and safety of nearby properties. No excessive grading will be conducted, as all grading will be associated with the development of the site for the refurbishing of the amphitheater and establishment of the expanded access road.

C. Grading will minimize impacts to the natural landscape, scenic, biological and aquatic resources, and minimize erosion impacts.

The site is slightly sloped where development is situated, and the proposed grading has been designed to follow contours of the natural topography of the site to the maximum extent possible. No scenic, biological or aquatic resources are within the project renovation area, and no grading is proposed within any waterway or creek.

D. For grading associated with a new building or development site, the subject site shall be one that minimizes grading in comparison with other available development sites, taking into consideration other development constraints and regulations applicable to the project.

The project site area is relatively flat but is surrounded by slopes and spans of Sanborn Park and the proposed site work is limited to two existing buildings and emergency access to the site.

E. Grading and associated improvements will conform with the natural terrain and existing topography of the site as much as possible, and should not create a significant visual scar.

The proposed grading is designed to conform with the natural topography of the land. No retaining walls are proposed; thus, there would be no visual scars as a result of the grading for the project.

F. Grading conforms with any applicable general plan or specific plan policies;

The project area is relatively flat, and the proposed grading is in conformance with specific findings and policies identified in the County General Plan policies R-GD 20 and R-GD 22, which provide that grading shall be minimal and cause minimal disturbance to

the site's natural terrain. The proposed grading is consistent with the property's natural topography and is the minimum necessary to renovate the site.

G. Grading substantially conforms with the adopted "Guidelines for Grading and Hillside Development" and other applicable guidelines adopted by the County.

The proposed development is minimizing grading as much as possible by balancing cut and fill on-site. The development is in a hillside area and includes grading to improve the fire access to the pool area which is just north of the turnaround. The area of improvements is within a flat area of the property.

In conclusion, based on the findings of facts described in the body of this report and the Minor Modification, staff can make the required findings pursuant to Zoning Ordinance Section 5.40.040. The proposed renovation of Building L and B with associated improvements will not create a detrimental impact to the property and/or surrounding neighborhood. Therefore, Staff recommends that the Zoning Administration Hearing Officer accept the CEQA exemption and grant the Minor Modification of Architecture and Site Approval (ASA) and Grading Approval for the Walden West renovation project.

BACKGROUND

On June 9, 2020, an application for the project was submitted by Matt Lightner, the representative of Walden West. The application was reviewed and subsequently deemed incomplete on July 9, 2020. A subsequent submittal was made on June 9, 2021, and deemed incomplete on July 9, 2021. Walden West representatives met with Planning Staff to discuss incomplete items from the application and submitted on March 17, 2022, and the resubmitted was deemed incomplete on April 16, 2022. After submitting all required information, the application was deemed complete on June 23, 2022. It is important to note that the applicant agreed to a one-time 90-day extension to the Permit Streamlining Act (PSA) for the Minor Modification.

On August 19, 2022, a public notice was mailed to all property owners within a 300-foot radius of the project and was also published in the Post Records on August 19, 2021, for the Zoning Administration Hearing date.

STAFF REPORT REVIEW

Prepared by: Valerie Negrete, Senior Planner Reviewed by: Samuel Gutierrez, Principal Planner.

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ATTACHMENT A Proposed CEQA Determination

ATTACHMENT A

STATEMENT OF EXEMPTION

from the California Environmental Quality Act (CEQA)

FILE NUMBER	APN(S)	
PLN21-085	517-04-058	8/26/2022
PROJECT NAME	APPLICATION TYPE	
Walden West	Architecture and Site Approval and Grading Approval	
OWNER	APPLICANT	
Santa Clara County Superintendent of Schools	Matt Lightner	

PROJECT LOCATION

15795 Sanborn Ave, Saratoga

PROJECT DESCRIPTION

Minor Modification of Architecture and Site Approval and Grading Approval for the renovation of Building B (Boys' Dormitory) and Building L (Counselors dormitory and shower). Proposed work includes a fire road extension for improved emergency access, renovation of outdoor amphitheater area, replacement of an existing shade structure, and landscaping upgrades. Grading consists of 750 cubic yards of cut and 150 cubic yards of fill.

All discretionary development permits processed by the County Planning Office must be evaluated for compliance with the California Environmental Quality Act (CEQA) of 1970 (as amended). Projects which meet criteria listed under CEQA may be deemed exempt from environmental review. The project described above has been evaluated by Planning Staff under the provisions of CEQA and has been deemed to be exempt from further environmental review per the provision(s) listed below.

CEQA (GUIDELINES) EXEMPTION SECTION

Categorically Exempt – Section 15301 for renovation of two existing structures, landscaping, shade structure replacement, expansion of a fire access road, along with improvements to outdoor amphitheater area.

COMMENTS

The project proposes to renovate Buildings B and L, along with minor site improvements including the extension of an emergency access road. No new square footage is requested.

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APPROVED BY:	C9CE3F722BF74F5		
Valerie Negrete, Senior Planner		8/15/2022	
	Signature	Date	

Approved by:

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ATTACHMENT B Proposed Conditions of Approval

ATTACHMENT B

PRELIMINARY CONDITIONS OF APPROVAL MINOR MODIFICATION OF ARCHITECTURE AND SITE APPROVAL AND GRADING APPROVAL

Date:	September 1, 2022			
Owner/Applicant:	Matt Lightner / Santa Clara Superintendent of Schools			
Location:	15795 Saratoga Avenue, Saratoga, CA (APN: 517-04-058)			
File Number:	PLN21-085			
CEQA:	Categorically Exempt – Section 15301			
Project Description:	n: Minor Modification of Architecture and Site Approval and Grading			
	Approval for the renovation of Building B (Boys' Dormitory) and			
	Building L (Counselors dormitory and shower). Proposed work includes			
	fire road extension, renovation of outdoor amphitheater area, replaceme			
	of an existing shade structure, and landscaping replacement and upgrade.			
	Grading consists of 750 cubic yards of cut and 150 cubic yards of fill.			

Development is not a covered project under the Santa Clara Valley Habitat Conservation Plan (HCP).

For any question regarding the following preliminary conditions of approval, contact the person listed for that agency. S/he represents a specialty and can provide details about the conditions of approval.

Agency	Name	Phone	E-mail
Planning	Valerie Negrete	(408) 299-5791	valerie.negrete@pln.sccgov.org
Land Development Engineering	Darrel Wong	(408) 299-5735	darrell.wong@pln.sccgov.org
Fire Marshal	Alex Goff	(408) 299-5763	alex.goff@sccfd.org
Environmental Health	Darrin Lee	(408) 299-5748	darrin.lee@cep.sccgov.org
Geology	Jim Baker	(408) 299-5774	jim.baker@pln.sccgov.org
Building Inspection		(408) 299-5700	

STANDARD CONDITIONS OF APPROVAL

Planning

 Development must take place in substantial conformance with the submitted plans on June 9, 2010, as well as updated plans received on July 7, 2021 and May 31,2022 along with the approved Conditions of Approval. All conditions of approval from County File 952-18-54-10P-10A-10G shall remain in effect and are applicable with this approval. Any changes to the proposed project may result in additional environmental review, pursuant to the California Environmental Quality Act, or additional Planning review and a public hearing. (Modified Condition No.1 of October 7, 2010 Approval)

2. Maintain the following setbacks for the construction and maintenance of all buildings associated with the subject approval. (Previous Condition No. 2 of October 7, 2010)

Front: 30 feet Side: 30 feet Rear: 30 feet

Parking

- A total of 75 parking spaces including a minimum of three (3) handicapped stalls are required. All required parking spaces are to be located onsite. The required handicapped spaces are to be in conformance with the development standards outlined in §4.30.060.D & §4.30.070 (I) (Parking Design Standards) of the County Zoning Ordinance. (Previous Condition No. 3 & 4 of October 7, 2010)
- 4. On-site parking spaces shall be delineated with paint and directional arrows to indicate the direction of traffic. (Previous Condition No. 5 of October 7, 2010)
- 5. Provide and maintain a 4-inch to 6-inch high concrete curb, or similar, between all landscaped areas and automobile traffic to clearly delineate parking spaces. Driveways shall be defined by concrete curb, landscaped area, or other similar means. (Previous Condition No. 6 of October 7, 2010)

Grading

- 6. Associated grading for the project consists of 750 cubic yards of cut and 150 cubic yards of fill. Any increase in grading quantities or modification to the grading design is subject to further review.
- 7. All excess fills shall be taken off-site to an approved disposal location. A note of this requirement shall be incorporated into the civil plan.

Landscaping

- 8. On-site landscaping shall include use of native, drought tolerant plantings of sufficient height, depth, and location in order to provide adequate screening. Landscaping shall be continuously maintained. Said landscaping shall be maintained by all future owners/ operators of the site. (Modified Condition No. 7 of October 7, 2010)
- 9. INGRESS/ EGRESS location is limited to one existing driveway access onto Sanborn Road. (Previous Condition No. 8 of October 7, 2010)
- 10. No signage is authorized at this time. (Previous Condition No. 9 of October 7, 2010)
- Renovated Buildings L and B shall be painted in earth tone colors with accent doors as shown on plans received July 7, 2021, LRV of 35 or less. (Modified Condition No. 10 of October 7, 2010)

Environmental Health

12. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m.

on weekdays and Saturdays, or at any time on Sundays for the duration of construction. (Modified Condition No. 26 of October 7, 2010)

- 13. For the existing public water system, CA4300764, continue to maintain and receive an 'operating permit' with California State Water Resources Control Board, Division of Drinking Water.
- 14. If food is to be served to the public, a DEH food facility permit is required. If the events are served by the permitted on-site kitchen, a temporary events permit is not required. However, if vendors are bringing food and/ or drink on-site, a temporary events permit will be needed. (Previous Condition No. 28 of October 7, 2010)
- 15. Maintain existing garbage service as it is mandatory within the unincorporated areas of Santa Clara County.

Land Development Engineering (LDE)

16. Property owner is responsible for the adequacy of any drainage facilities and for the continued maintenance thereof in a manner that will preclude any hazard to life, health, or damage to adjoining property.

<u>CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO BUILDING AND/OR</u> <u>GRADING PERMIT ISSUANCE</u>

Planning

- 17. **Prior to issuance of any permits**, submit a lighting plan and manufacturer's detail of shields for review and approval. On-site lighting shall be designed, controlled and maintained so that no light source is visible from off the property. In order to ensure that the existing and proposed light fixtures throughout subject property do not create a significant new source of light, light shields will be required which direct the light down onto the property. (Modified Condition No. 10 of October 7, 2010)
- 18. **Prior to issuance of grading permits**, the following BAAQMD dust control measures will be adhered to during construction for all improvements. Final improvement plans must contain language requiring that the following control measures be implemented.
 - a) Water all active construction areas at least twice daily.
 - b) Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard.
 - c) Pave, apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at construction sites.
 - d) Sweep daily (with water sweepers) all paved access roads, parking areas and staging areas at construction sites.
 - e) Sweep streets daily (with water sweepers) if visible soil material is carried onto adjacent public streets. (Modified Condition No. 12 of October 7, 2010)

Environmental Health

17. **Prior to issuance of a building permit**, for septic system clearance, submit to the Department of Environmental Health a site plan that show building/plumbing connection to septic tank, locations of all septic tanks, and location(s) of dispersal field(s).

- a) For septic system clearance, pump and inspect all existing septic tanks. Provide to the Department of Environmental Health the pumper's report and inspection report.
- b) For the existing onsite wastewater treatment system (OWTS), provide wastewater calculation to document the existing OWTS ability to accommodate the wastewater loading contributions from the reallocation/movement of beds from one building to the next. This calculation shall demonstrate no net change in wastewater loading and remains in compliance with prior use permit conditions with respect to number of allowable occupants.
- 18. **Prior to issuance of a building permit,** for the existing public water system, provide to the Department of Environmental Health a current copy of Walden West's 'permit' from California State Resources Control Board, Division of Drinking Water.

Land Development Engineering (LDE)

19. Obtain a Grading Permit from Land Development Engineering (LDE) prior to beginning any construction activities. Issuance of the grading permit is required prior to LDE clearance of the building permit (building and grading permits may be applied for concurrently). The process for obtaining a grading permit and the forms that are required can be found at the following web page:

<u>https://plandev.sccgov.org/home</u> > How to > Apply for a Development Permit or Planning Application > Grading Permit

If the County Roads and Airports Department provides a condition of approval to obtain an encroachment permit, for your convenience, the grading and encroachment permits will be processed concurrently under one set of improvement (grading) plans.

- 20. Final plans shall include a single sheet which contains the County standard notes and certificates as shown on County Standard Cover Sheet. Plans shall be neatly and accurately drawn, at an appropriate scale that will enable ready identification and recognition of submitted information.
- 21. Final improvement plans shall be prepared by a licensed civil engineer for review and approval by LDE and the scope of work shall be in substantial conformance with the conditionally approved preliminary plans on file with the Planning Office. Include plan, profile, typical sections, contour grading for all street, road, driveway, structures, and other improvements as appropriate for construction. The final design shall be in conformance with all currently adopted standards and ordinances. The following standards are available on-line:

§ Standard Details Manual, September 1997, County of Santa Clara, Roads and Airports Department

https://countyroads.sccgov.org/home > Do Business with Us > County Standard Details, Specifications and Documents

§ March 1981 Standards and Policies Manual, Volume 1 (Land Development)

<u>https://plandev.sccgov.org/home</u> > Ordinances & Codes > Land Development Standards and Policies § 2007 Santa Clara County Drainage Manual

<u>https://plandev.sccgov.org/home</u> > Ordinances & Codes > Grading and Drainage Ordinance

- 22. Survey monuments shall be shown on the improvement plan to provide sufficient information to locate the proposed improvements and the property lines. Existing monuments must be exposed, verified, and noted on the grading plans. Where existing monuments are below grade, they shall be field verified by the surveyor and the grade shall be restored and a temporary stake shall be placed identifying the location of the found monument. If existing survey monuments are not found, temporary staking delineating the property line may be placed prior to construction and new monuments shall be set prior to final acceptance of the improvements. The permanent survey monuments shall be set pursuant to the State Land Surveyor's Act. The Land Surveyor / Engineer in charge of the boundary survey shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.
- 23. The improvement plans shall include an Erosion and Sediment Control Plan that outlines seasonally appropriate erosion and sediment controls during the construction period). Include the County's Standard Best Management Practice Plan Sheets BMP-1 and BMP-2 with the Plan Set.
- 24. All applicable easements affecting the parcel(s) with benefactors and recording information shall be shown on the improvement plans.
- 25. Provide landscaping and disturbed area quantities on the final plans along with water efficiency calculations to demonstrate compliance with water usage requirements.

Utilities

26. All new on-site utilities, mains and services shall be placed underground and extended to serve the proposed development. All extensions shall be included in the building plans. Off-site work should be coordinated with any other undergrounding to serve other properties in the immediate area.

Stormwater Treatment – San Francisco Bay

- 27. Include one of the following site design measures in the project design: (a) direct hardscape and/or roof runoff onto vegetated areas, (b) collect roof runoff in cisterns or rain barrels for reuse, or (c) construct hardscape (driveway, walkways, patios, etc.) with permeable surfaces. Though only one site design measure is required, it is encouraged to include multiple site design measures in the project design. For additional information, please refer to the C.3 Stormwater Handbook (June 2016) available at the following website:
 - <u>www.scvurppp.org</u> > Elements > New Development and Redevelopment > C.3 Stormwater Handbook (June 2016)

Soils and Geology

28. Submit one copy of the signed and stamped geotechnical report for the project.

Notice of Intent

29. Indicate on the improvement plans the land area that will be disturbed. If one acre or more of land area will be disturbed, file a Notice of Intent (NOI) with the State Water Resources Control Board (SWRCB) for coverage under the State General Construction Permit. The SWRCB will issue a Waste Discharge Identification number (WDID). The WDID number shall be shown on the on the final improvement plans. The SWRCB web site is at:

www.waterboards.ca.gov > Water Issues > Programs > Stormwater

30. Submit evidence of legal access to the site from the nearest publicly maintained road compiled and/or verified by a Licensed Land Surveyor or Registered Civil Engineer who is authorized to practice land surveying. Should access not exist, submit signed, notarized, and recorded agreements to grant rights-of-ingress and egress. This applies to Pick Road (private road) if it serves more than one parcel.

Environmental Health

- 31. **Prior to issuance of building permit**, submit a completed Hazardous Materials Clearance Form (available at www.EHinfo.org/hazmat) to the Hazardous Materials Compliance Division of the Department of Environmental Health. This is a separate submittal to DEH and additional fees may apply.
- 32. **Prior to issuance of building permit**, submit plans and associated documentation and required fees to the Hazardous Materials Compliance Division (HMCD) of the Department of Environmental Health at 1555 Berger Drive, Suite 300, San Jose, CA 95112-2716. Contact HMCD at (408) 918-3400 to ensure all necessary materials are included in the plan submittal. This is a separate submittal to DEH and additional fees may apply.

Fire Marshal's Office

- 33. The scope of this review is for fire protection water supply and fire department access only. An additional review for further compliance with the California Fire and Building Code will be performed by this office when a complete set of construction drawings is submitted for building permit application.
- 34. A written construction site safety plan shall be submitted directly to the Fire Marshal's Office prior to approval of any Land Development Engineering construction permit (if required) or prior to approval of the building permit.

FIRE PROTECTION WATER SUPPLY:

IMPORTANT: Fire protection water system shall be installed and inspected prior to approval of the foundation or final inspection for construction with completely noncombustible components. System shall be maintained in good working order and accessible throughout construction. A Stop-Work Order may be placed on the project if the required hydrant systems are not installed, accessible, and/or functioning.

35. Minimum fire-flow for this facility/structure shall be meet Appendix B of the CFC based on the structure requiring the greatest flow.

- 36. Standard hydrant(s) shall be provided within 400-ft. of all portions of the/all structure(s). The number of hydrants shall be determined by Table C105.1 and the number needed to meet the distance requirement. Hydrant placement shall be approved by this office. Plans are to clearly label all fire hydrant's on the plans as (N)new or (E)existing.
- 37. At the time of plan submittal for building permit, provide written verification from the water company that these condition can be satisfied. NOTE: water company must supply location of nearest hydrant(s) in addition to available fire-flow at 20 psi.

FIRE DEPARTMENT ACCESS

IMPORTANT: All required access roads, driveways, turnarounds, and turnouts shall be installed, and serviceable prior to approval of the foundation and shall be maintained throughout construction. A Stop-Work order may be placed on the project if required driving surfaces are not installed, accessible, and/or maintained.

- 38. These are minimum Fire Marshal standards. Should these standards conflict with any other local, state or federal requirement, the most restrictive shall apply. Construction of access roads and driveways shall use good engineering practice.
- 39. See CFMO-C7 for minimum requirements for access roads/driveways during construction.

Fire department Access Roads shall be provided within 150-ft. of all exterior portions of all structures. Access roads shall comply with the following:

- a) Width: Clear width of drivable surface of 20-ft.
- b) Vertical Clearance: 15-ft.
- c) Inside Curve Radius: 42-ft.
- d) Grade: Maximum grade shall not exceed 15%.
- e) Surface: All driving surfaces shall be all-weather and capable of sustaining 65,000 pound gross vehicle weight.
- f) Dead-end Roads: Dead-end roads in excess of 150-ft. in length shall be provided with an approved turnaround meeting County Standard SD-16. Acceptable turnarounds shall be 40 ft. by 48 ft. pad, hammerhead, or bulb of 32 ft. radius complying with County Standard SD-16. All turnarounds shall have a slope of not more than 5% in any direction.
- g) Gates: Gates shall not obstruct the required width or vertical clearance of the driveway, and may require a Fire Department Lock Box/Gate Switch to allow for fire department access. Installation shall comply with CFMO-A3.
- h) All fire apparatus access roads meeting the minimum width shall have permanent "no parking fire lane" signs located so that all access roads are clearly identified and the required clearance maintained.
- i) A number address approved by the Building Inspection Office shall be placed on the building (or at the entrance to the facility) in such a position as to be plainly visible and legible from the street or road fronting the property.
- 40. Property is located within the State Response Area (served by Cal Fire).
- 41. This property is located in the Wildland/Urban Interface Fire Area. All of the following conditions shall apply:

- a) A Class "A" roof assembly is required. Detail shall be included in plans submitted for building permit.
- b) Provide a 1/2 inch spark arrester for the chimney.
- c) Remove significant combustible vegetation within 30 feet of the structure to minimize risk of wildfire casualty. Maintain appropriate separation of vegetative fuels in areas between 30 and 100 feet from the structure.
- 42. This property is located in the Wildland/Urban Interface Fire Area. All of the following conditions shall apply:
 - a) A Class "A" roof assembly is required. Detail shall be included in plans submitted for building permit.
 - b) Provide a 1/2 inch spark arrester for the chimney.
 - c) Remove significant combustible vegetation within 30 feet of the structure to minimize risk of wildfire casualty. Maintain appropriate separation of vegetative fuels in areas between 30 and 100 feet from the structure.
- 43. MAINTENANCE: Fire protection water systems and equipment shall be accessible and maintained in operable condition at all times and shall be replaced or repaired where defective. Fire protection water shall be made available to the fire department.
- 44. Fire department access roads, driveways, turnouts, and turnarounds shall be maintained free and clear and accessible at all times for fire department use. Gates shall be maintained in good working order, and shall remain in compliance with Fire Marshal Standard CFMO-A3 at all times.

<u>CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO FINAL OF THE</u> <u>GRADING FINAL.</u>

Geology

45. Cornerstone Earth Group's Geotechnical Review of Civil and Landscape Plans letter (dated 5-17-2022) concludes "the geotechnical aspects of the civil and landscape plans are in general conformance with the recommendations provided in our geotechnical report." Therefore, the requirement for a Plan Review Letter is satisfied and the permit may be issued with the requirement that, prior to Final Inspection/Grading Completion, submit a Construction Observations Letter which verifies the work was completed in accordance with the approved plans and specifications. (A note to the effect will be stamped on the plans.)

Fire Marshal's Office

- 46. The buildings shall be equipped with an approved automatic fire sprinkler system complying with NFPA 13. Sprinkler plans are to show what modifications to existing sprinkler system will be proposed.
 - 47. The fire sprinkler system shall be installed and finaled by this office prior to occupancy. A separate permit shall be obtained from the Fire Marshal's Office by a state licensed C-16 contractor prior to installation. Please allow for a minimum of 30 days for plan review of fire sprinkler plans.

Land Development Engineering

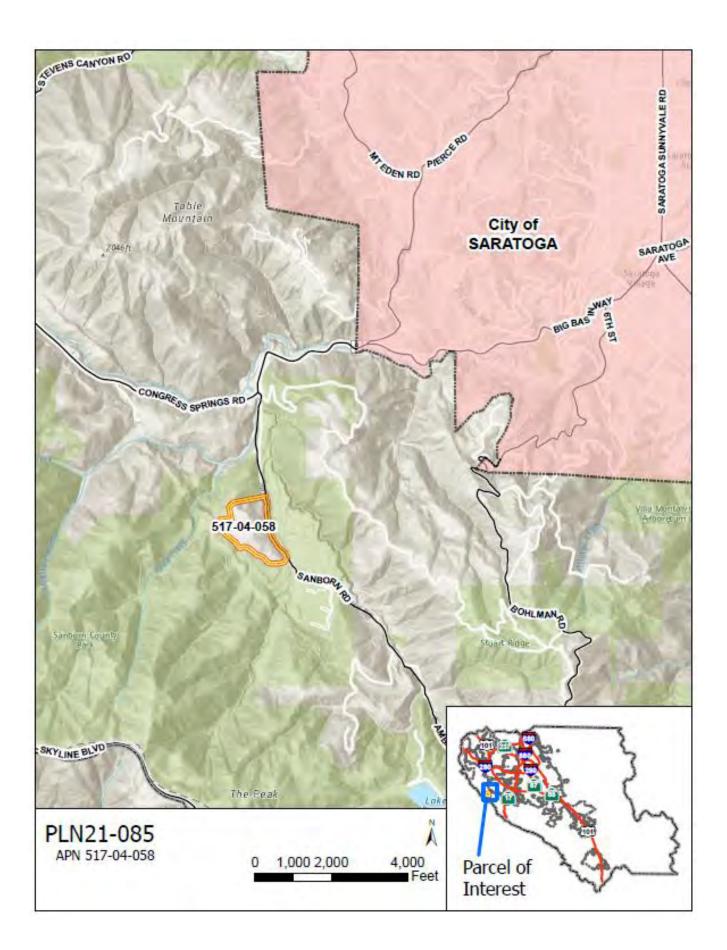
- 48. Existing and set permanent survey monuments shall be verified by inspectors prior to final acceptance of the improvements by the County. Any permanent survey monuments damaged or missing shall be reset by a licensed land surveyor or registered civil engineer authorized to practice land surveying and they shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.
- 49. Construct the improvements. Construction staking is required and shall be the responsibility of the developer.

<u>CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO OCCUPANCY OR</u> <u>ONE YEAR FROM THE DATE OF THE LAND DEVELOPMENT AGREEMENT,</u> <u>WHICHEVER COMES FIRST.</u>

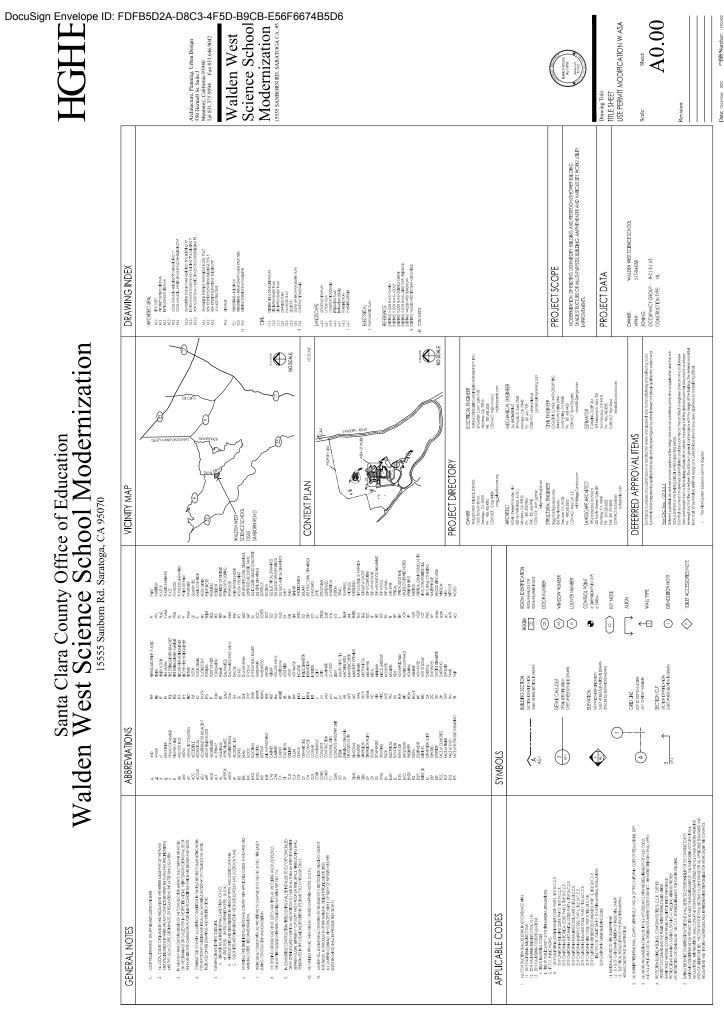
Planning

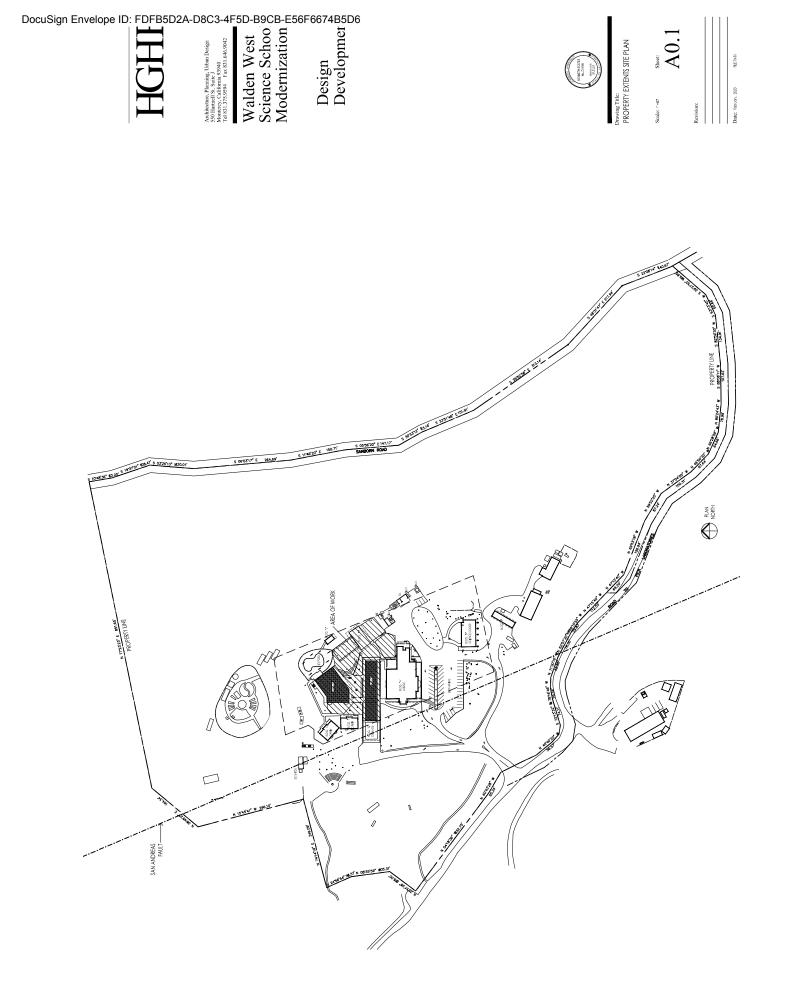
- 50. **Prior to final inspection**, apply for a demolition permit to remove the two (2) 35 foot wireless towers.
- 51. **Prior to final inspection**, contact Lara Tran in the Planning Division, **at least two (2) weeks in advance** to schedule a site visit to verify the approved exterior colors have been installed as approved.

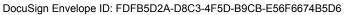
ATTACHMENT C Location & Vicinity Map

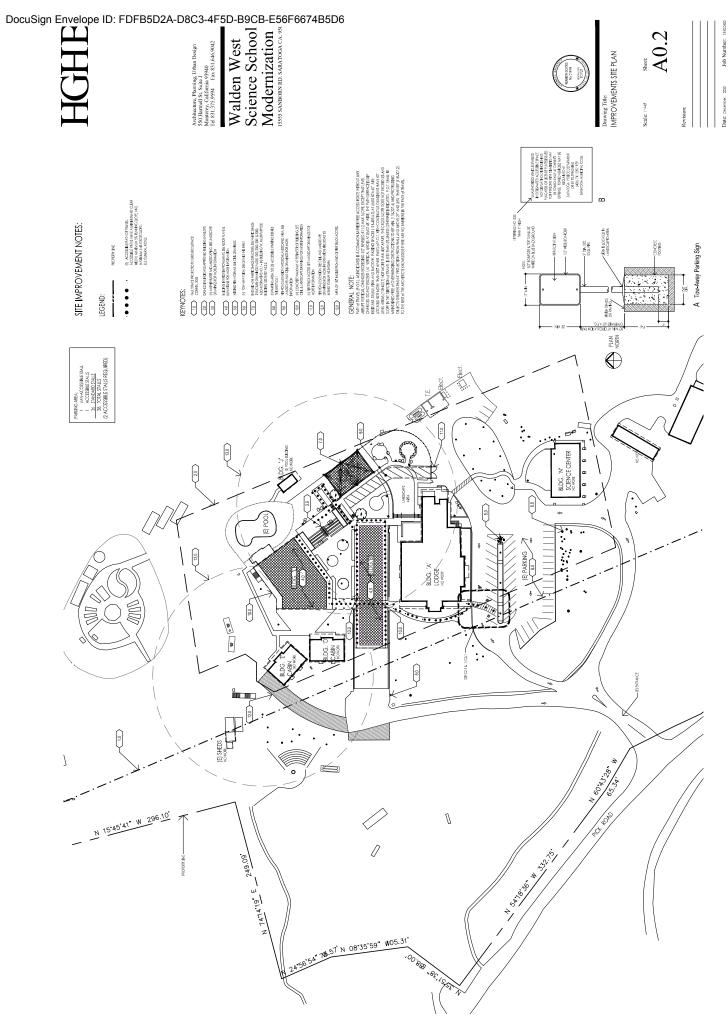


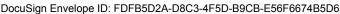
ATTACHMENT D Proposed Plans

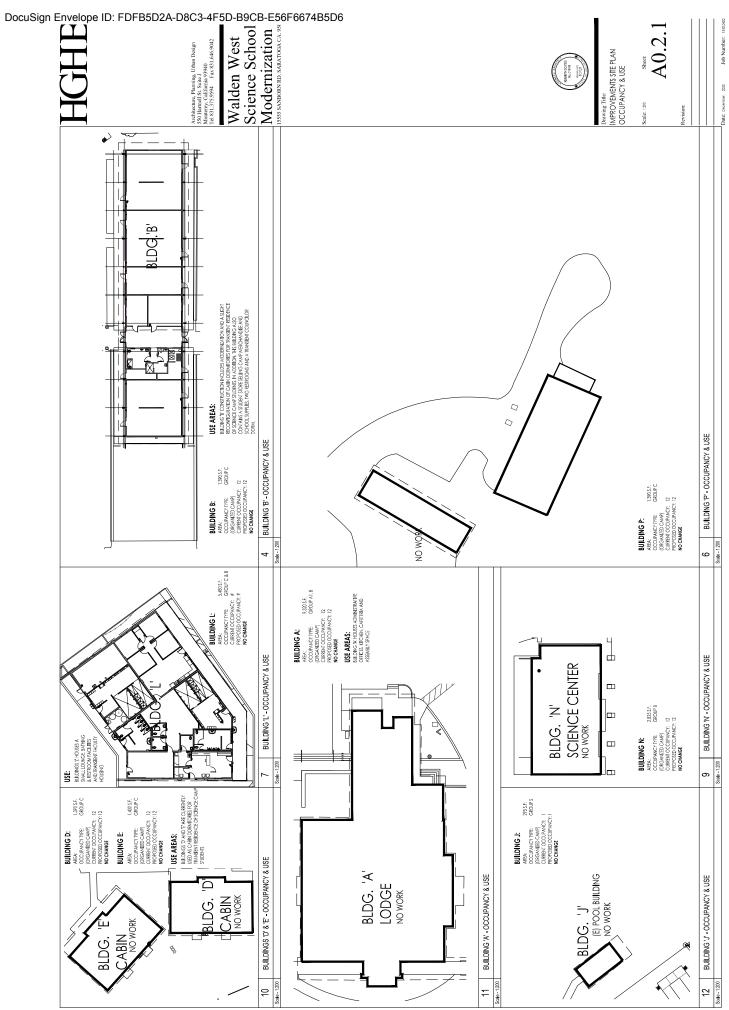


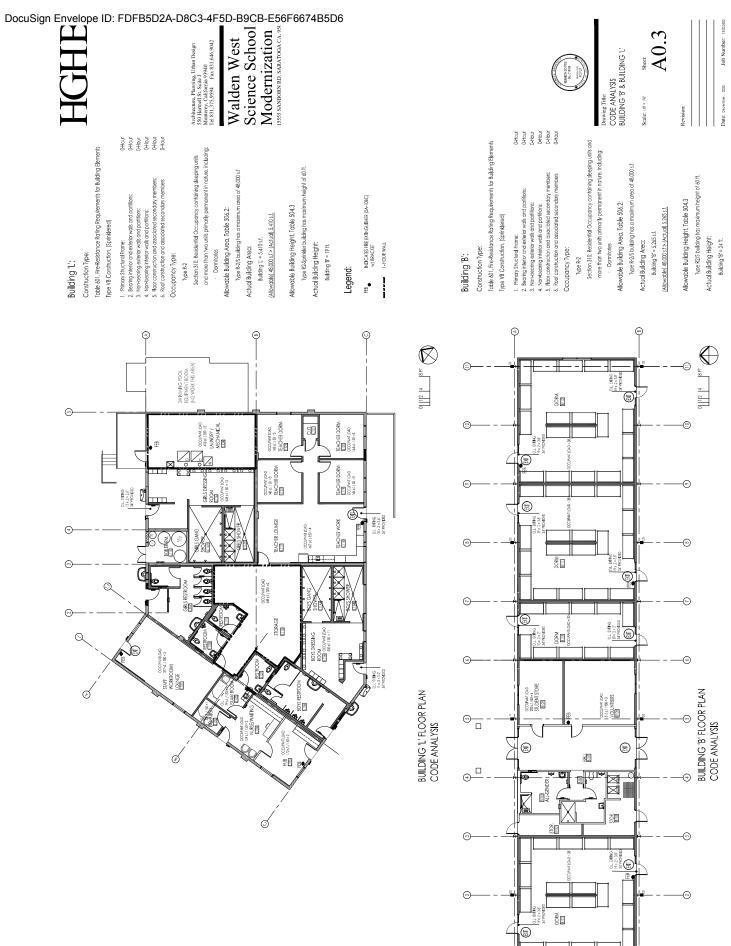










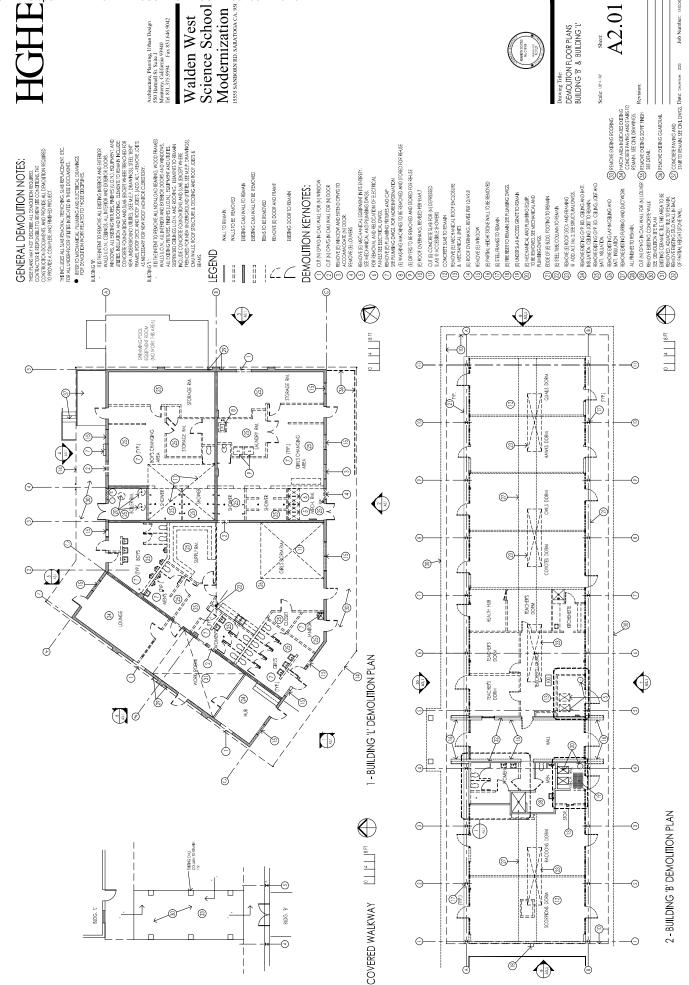


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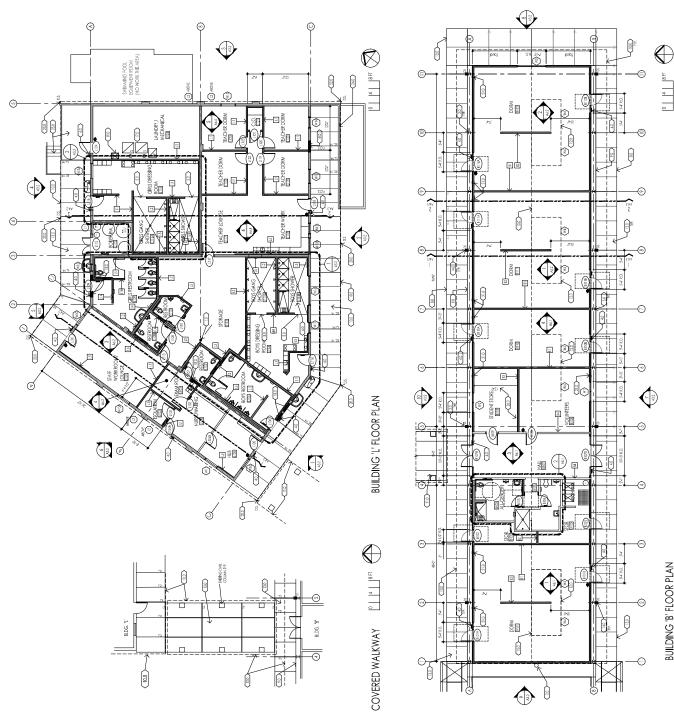


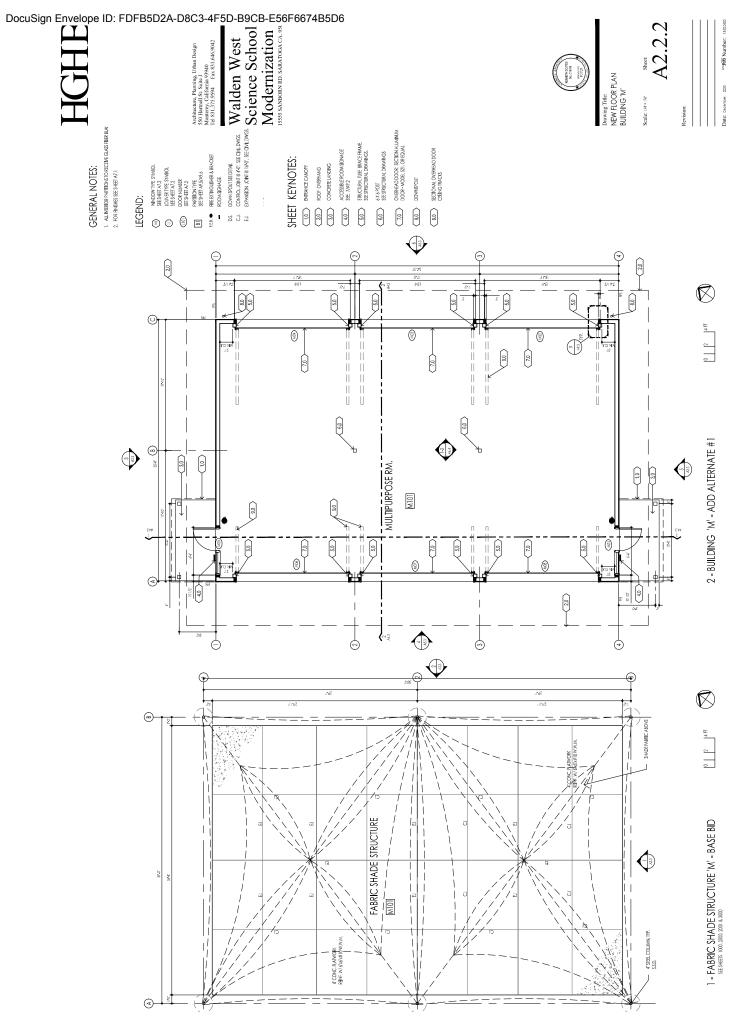
BUILDING 'B' FLOOR PLAN

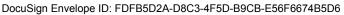
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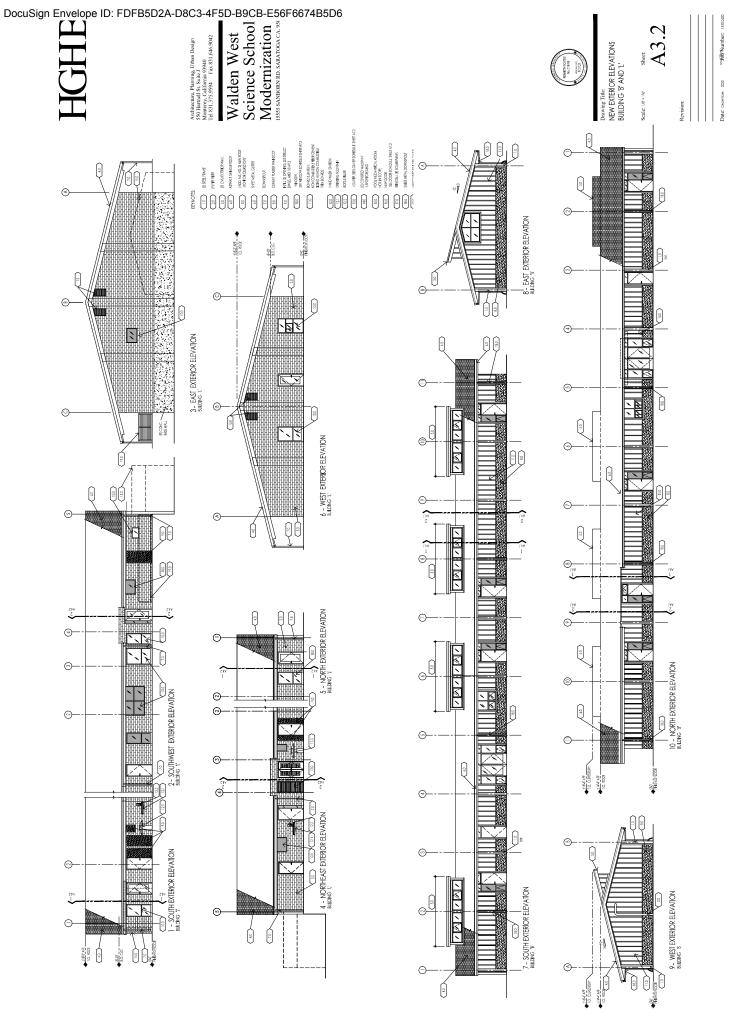
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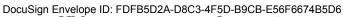


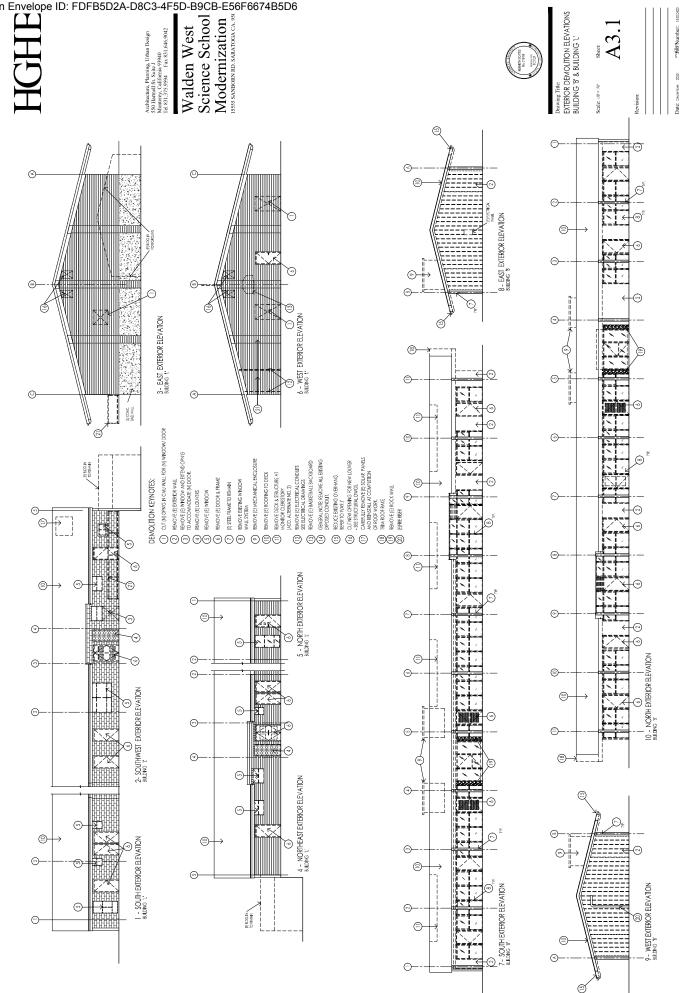








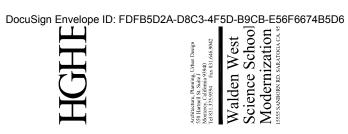
















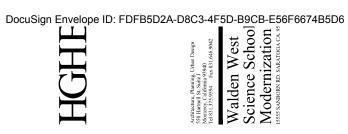




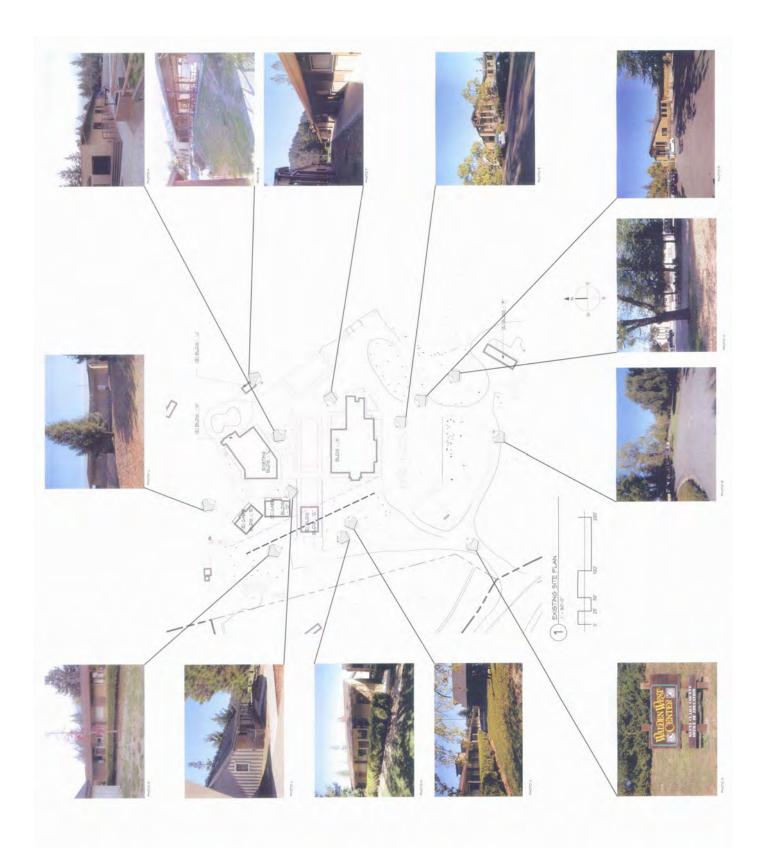


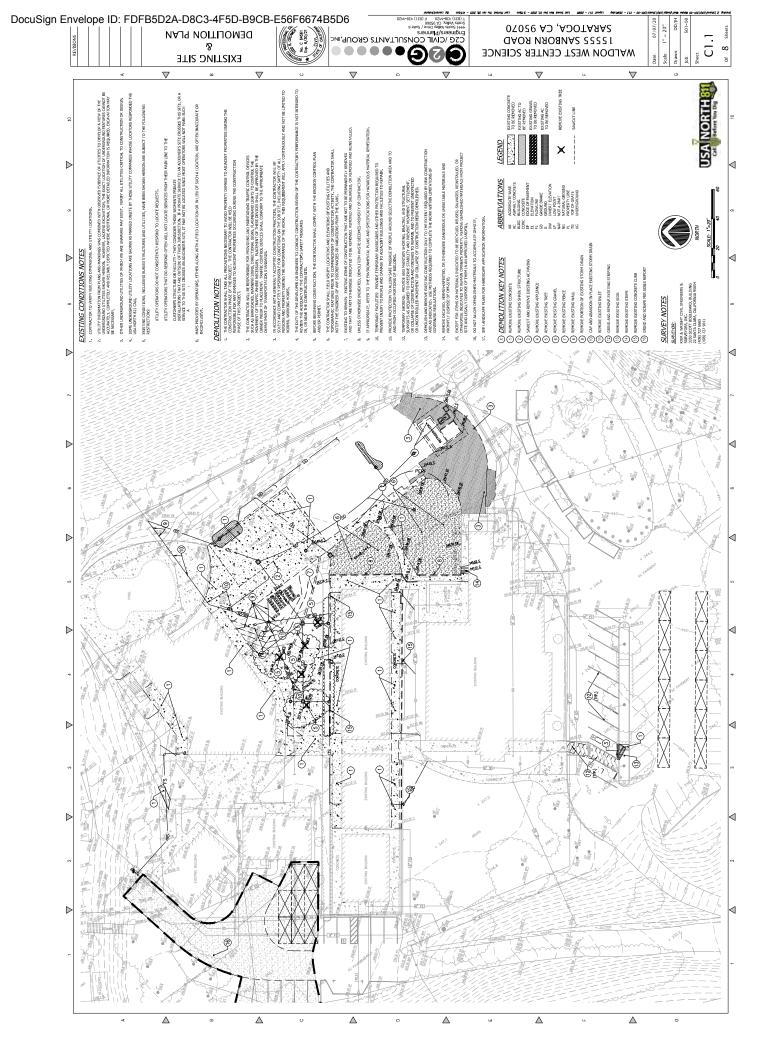
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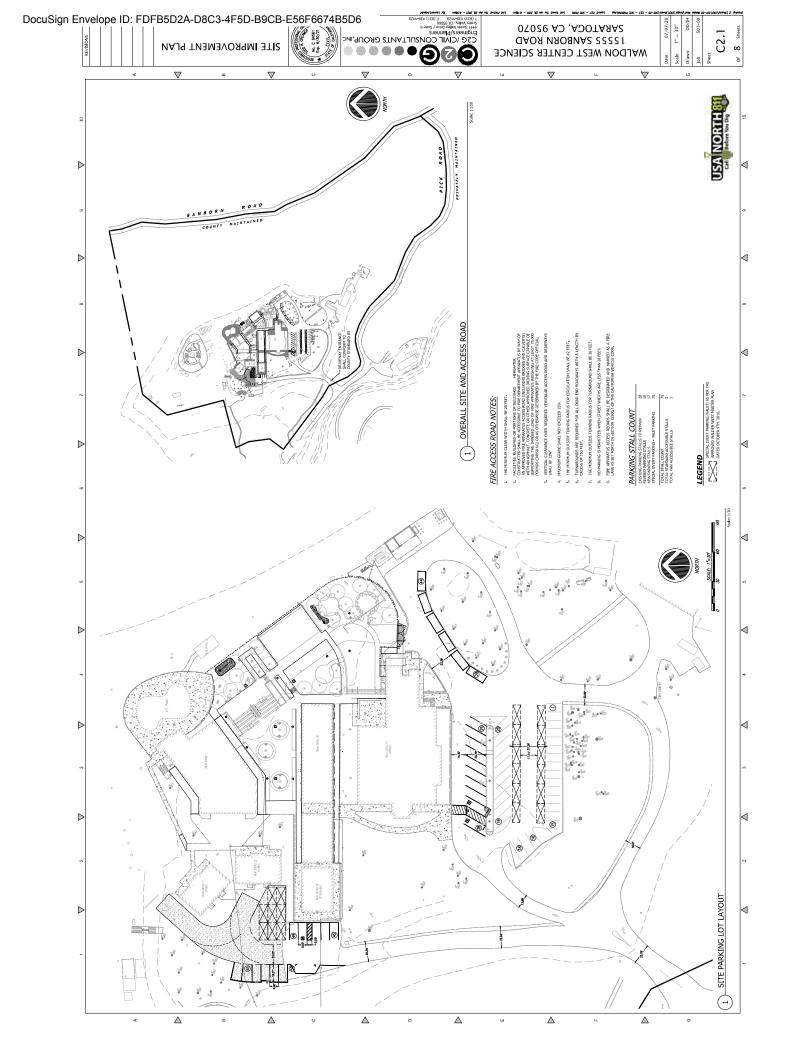
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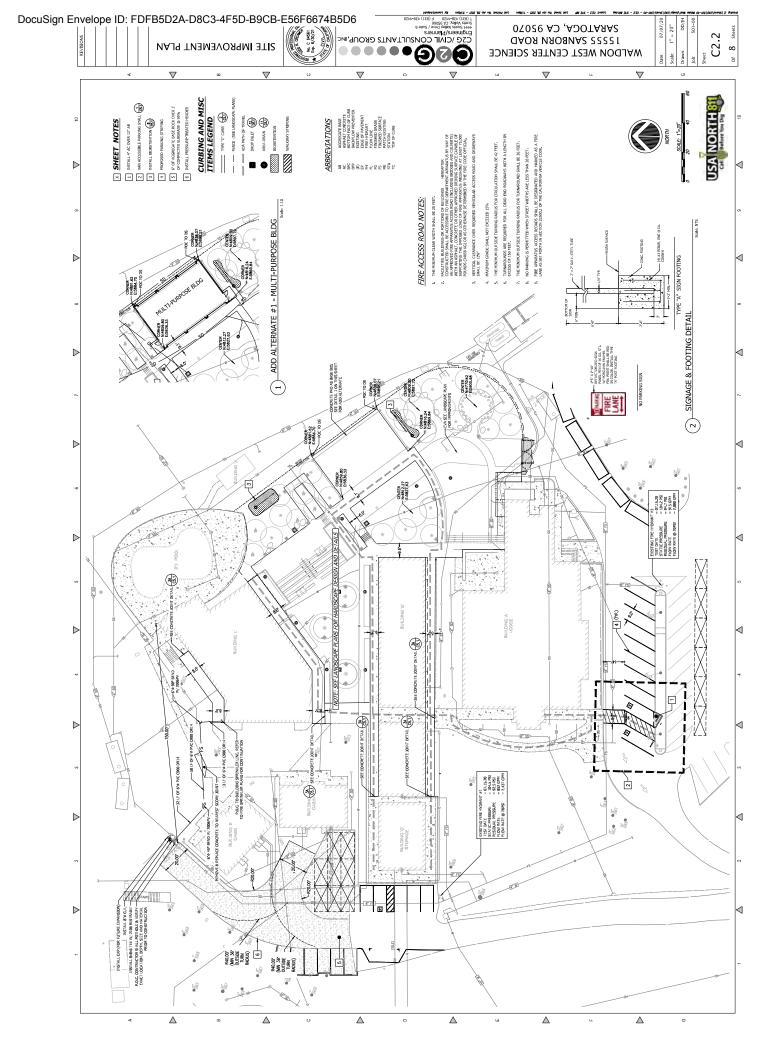


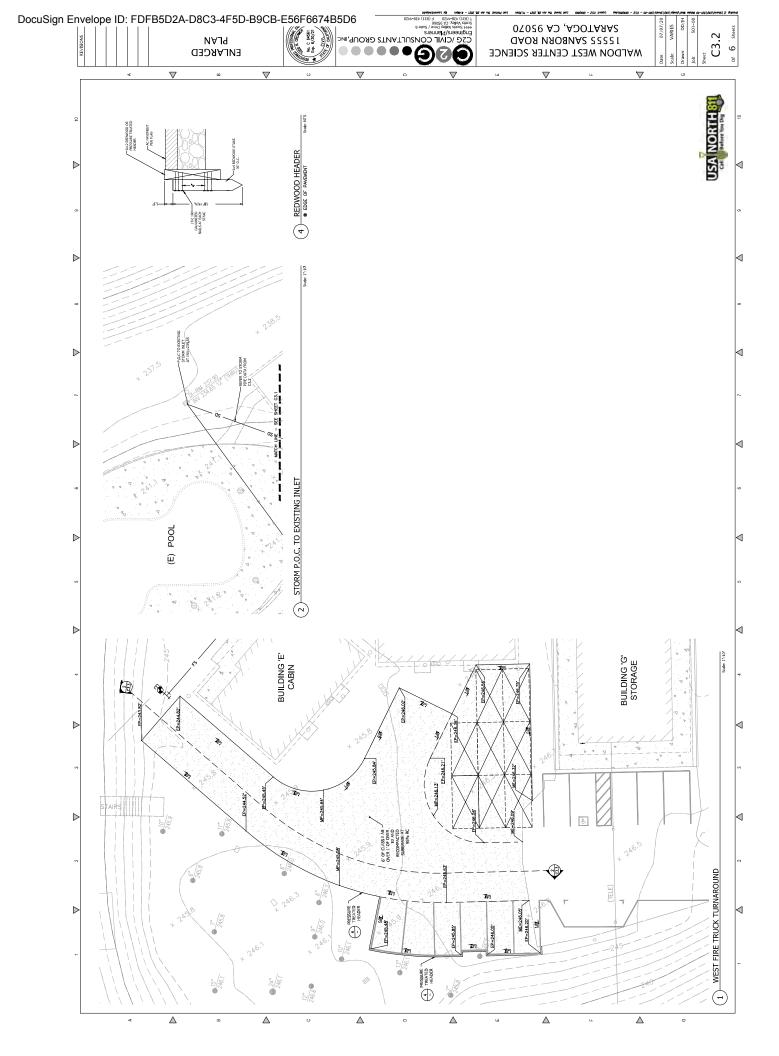


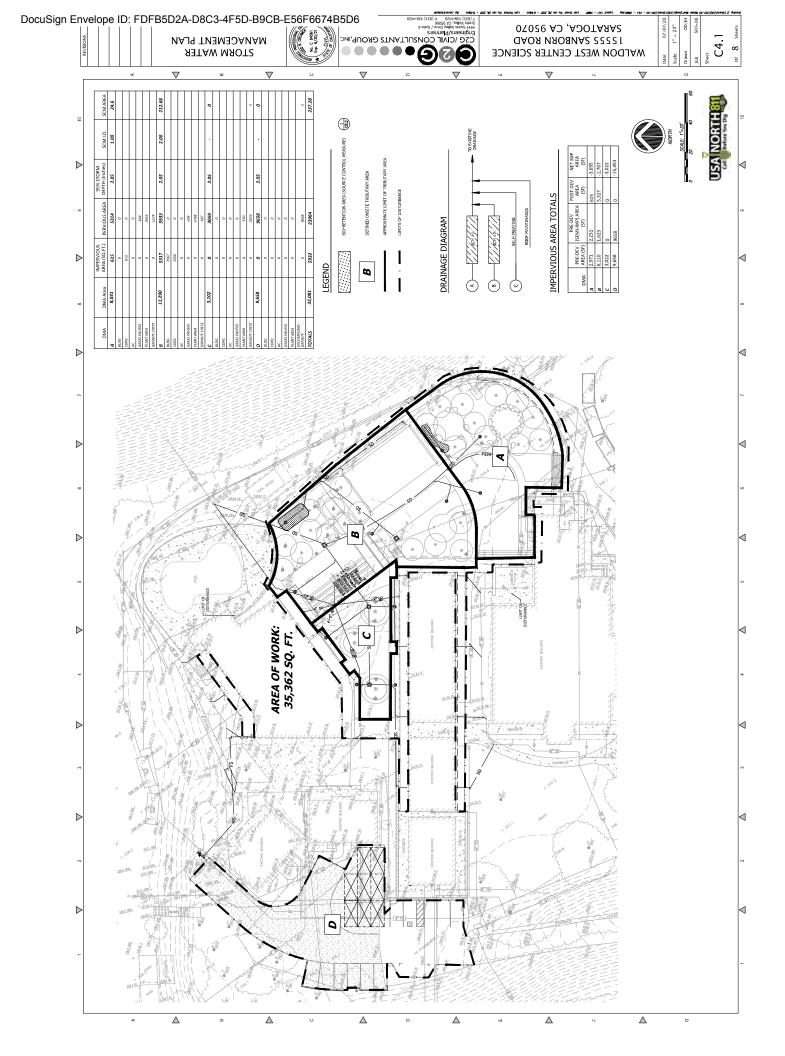


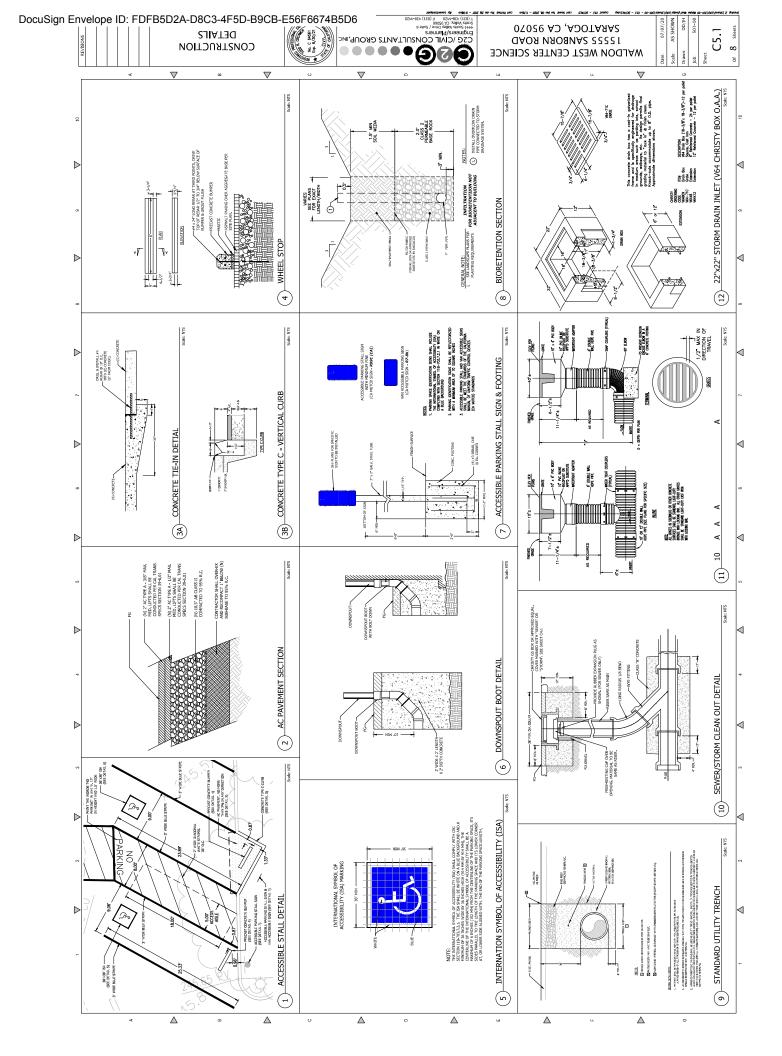


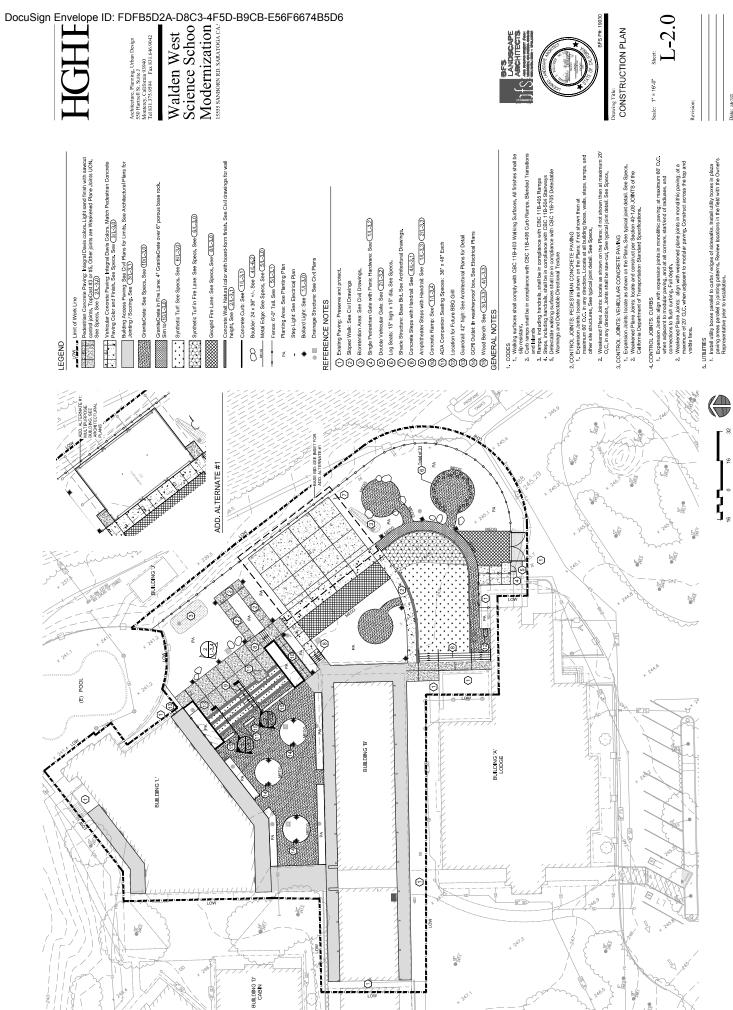












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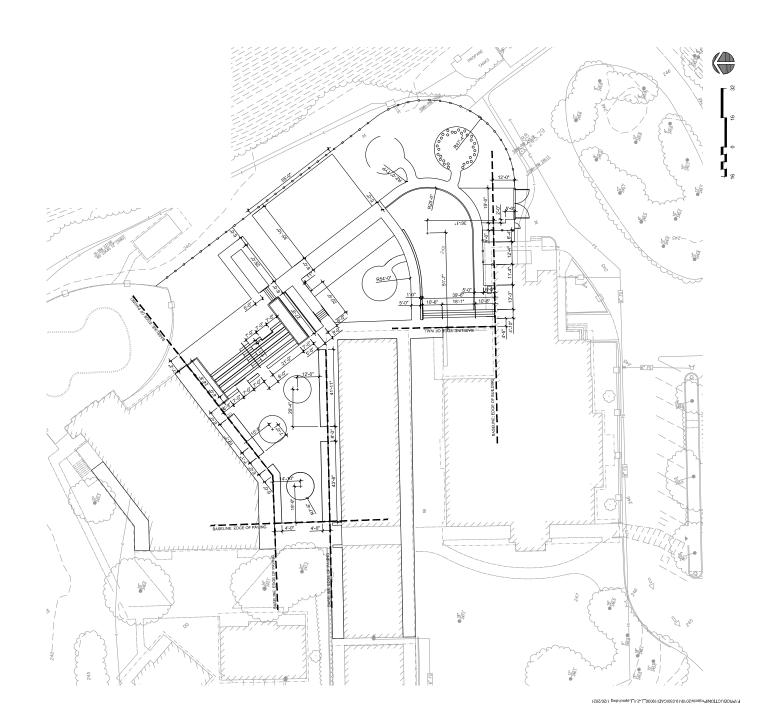
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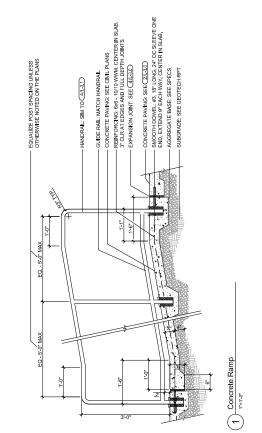


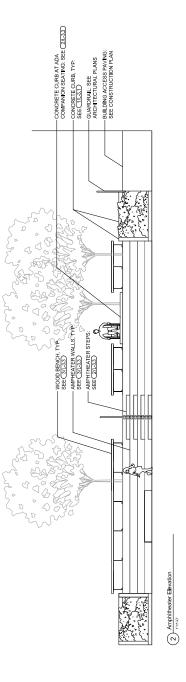
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5	Architecture, Planning, Urban Design 550 Hartnell St. Suite J Monterey, California 93940 Tel 831.375 9594 Fax 831.646.904	Walden West Science Schooo Modernization
Ħ	Architecture, Planning, 550 Hartnell St. Suite J Monterey, California 9 Tel 831.375.9594 Fa	Walden Science Modern

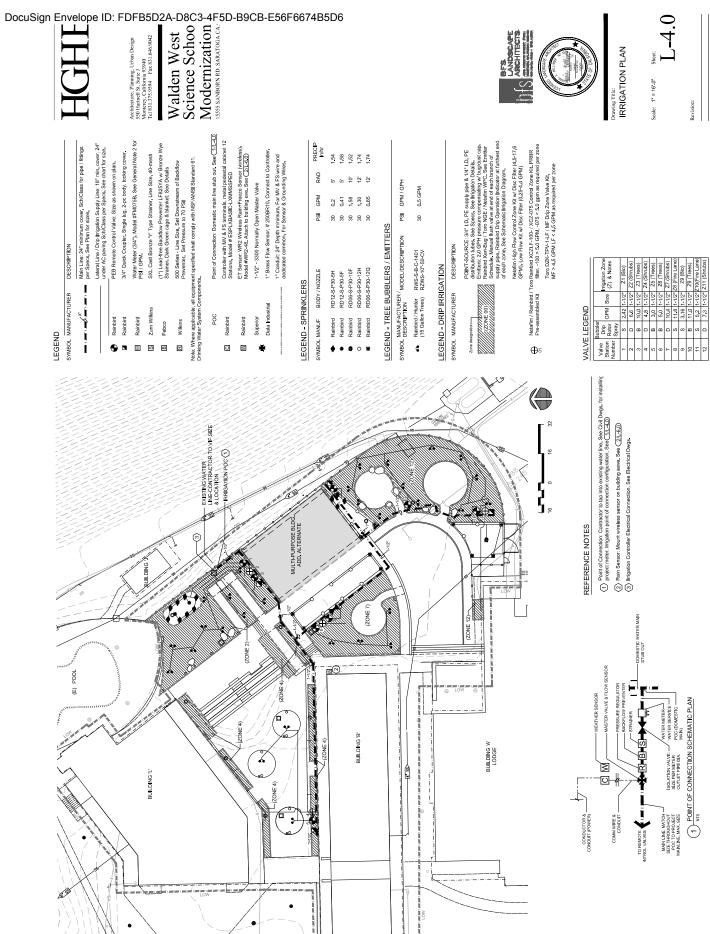


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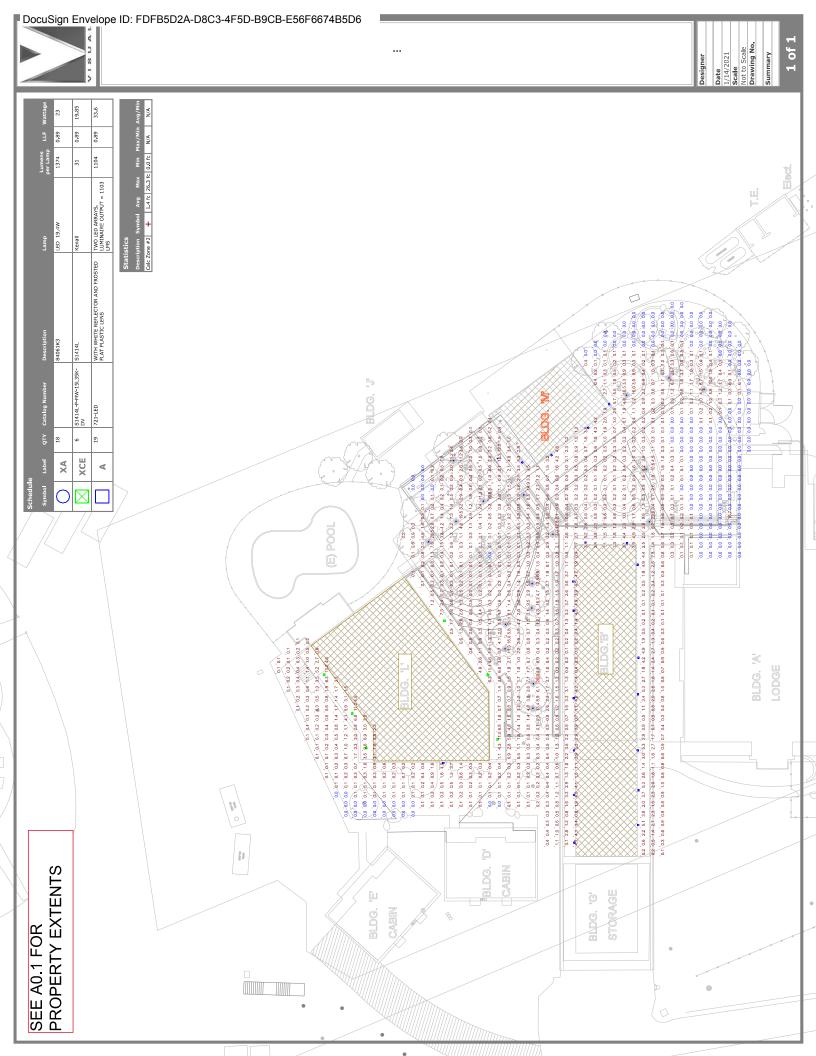
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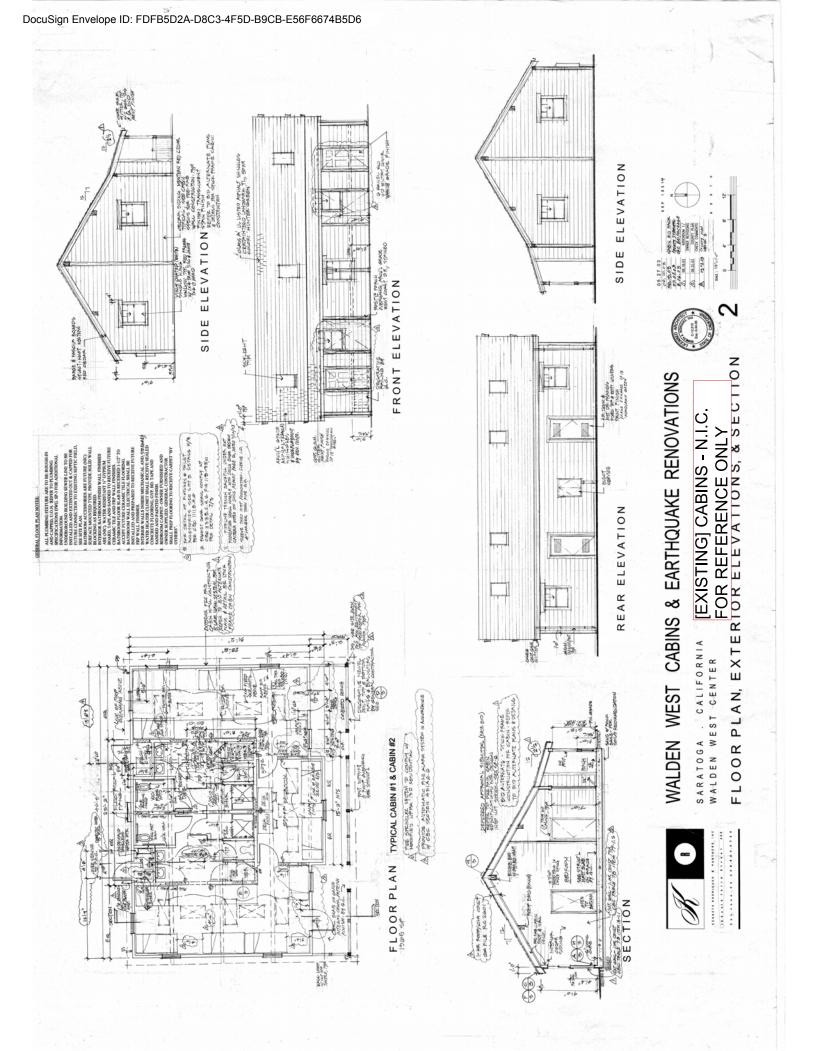


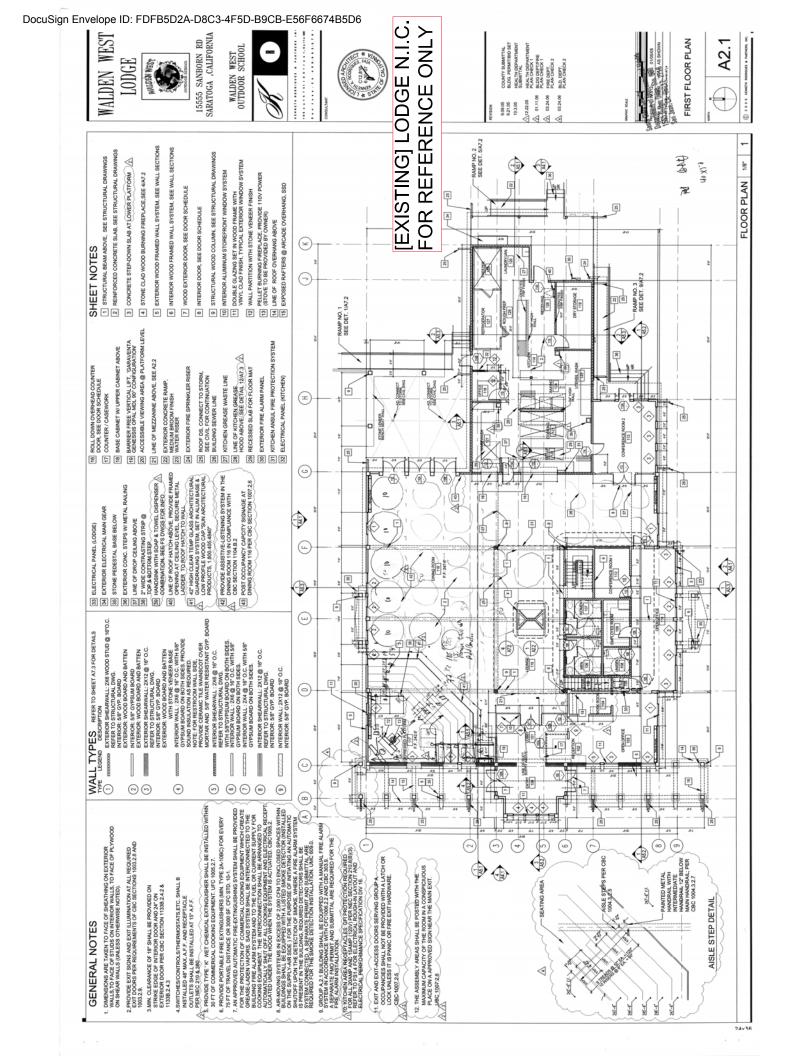




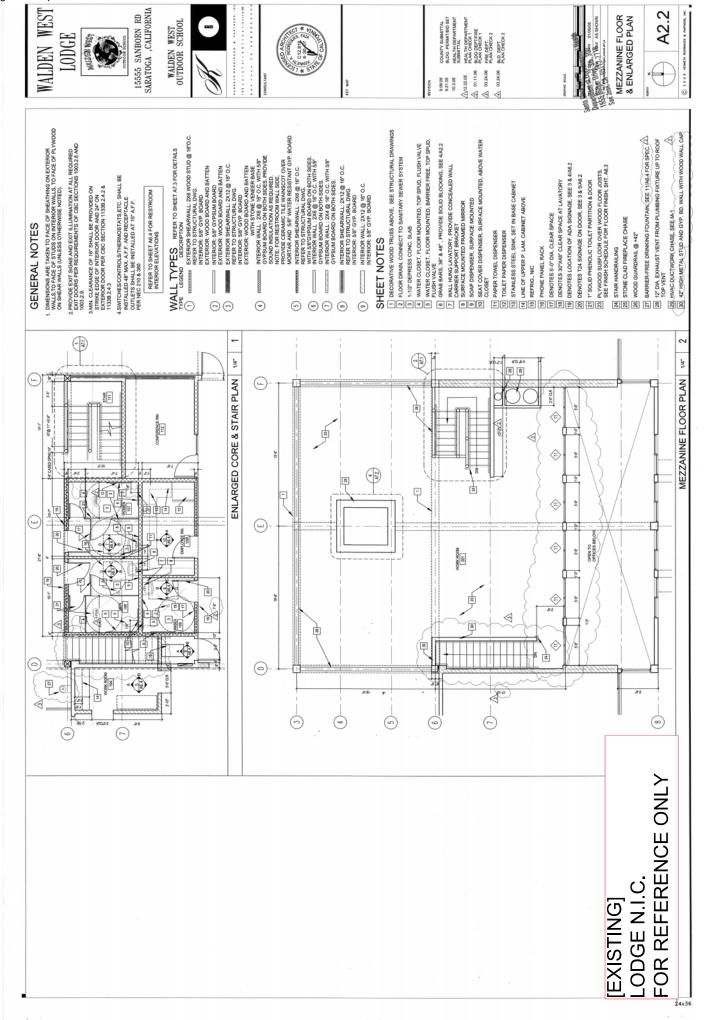
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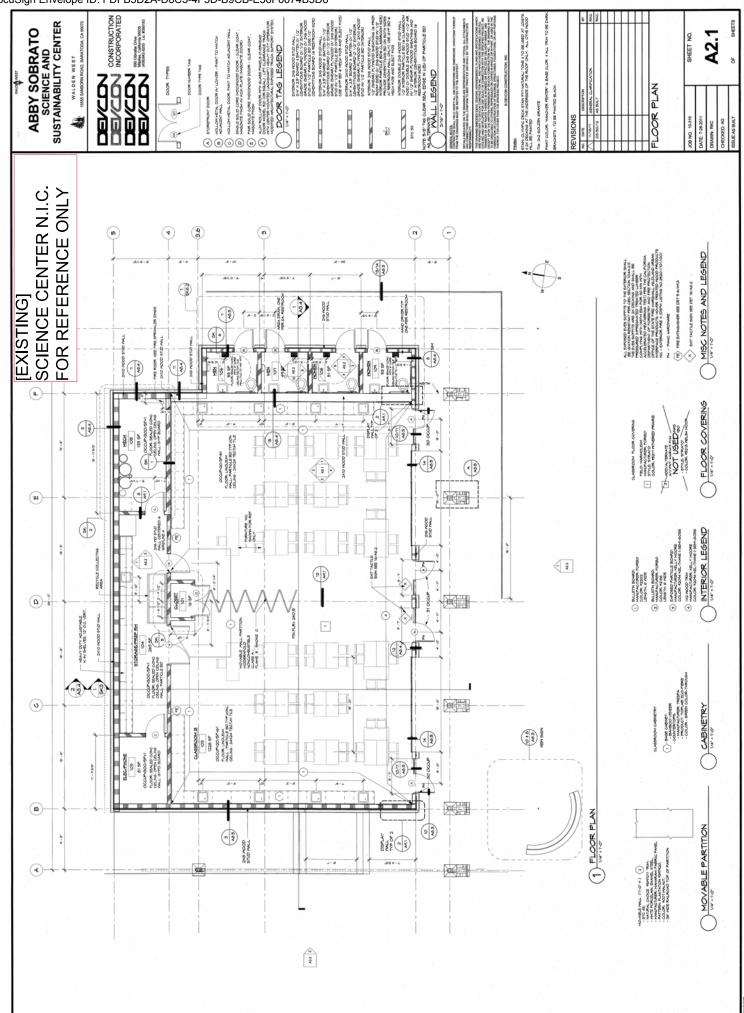




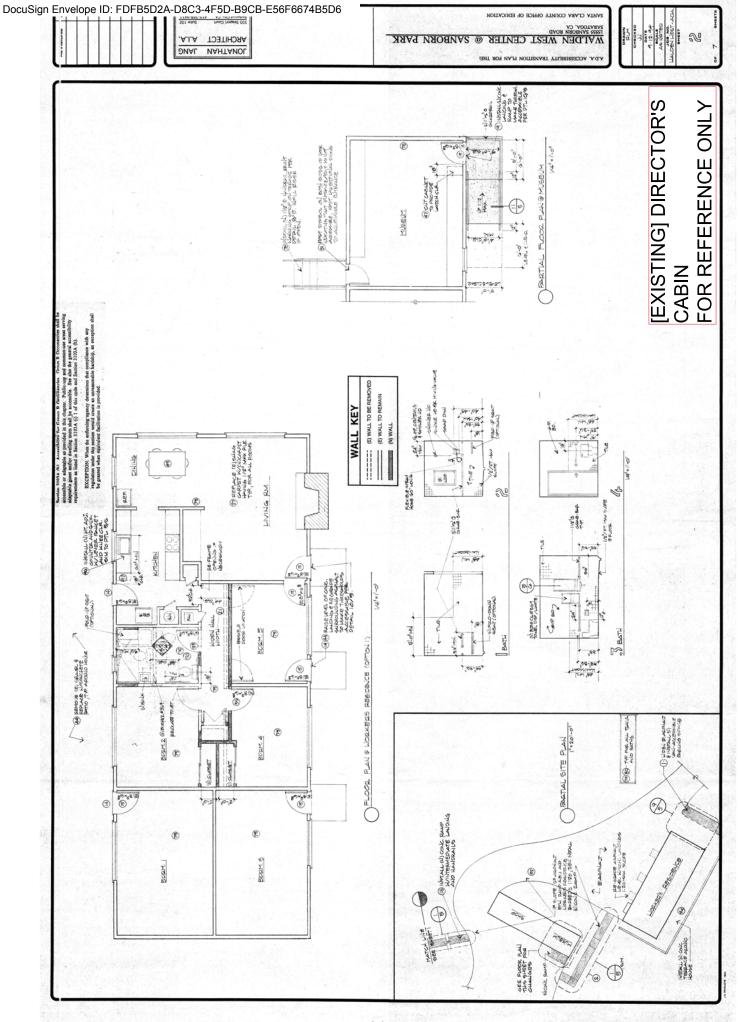


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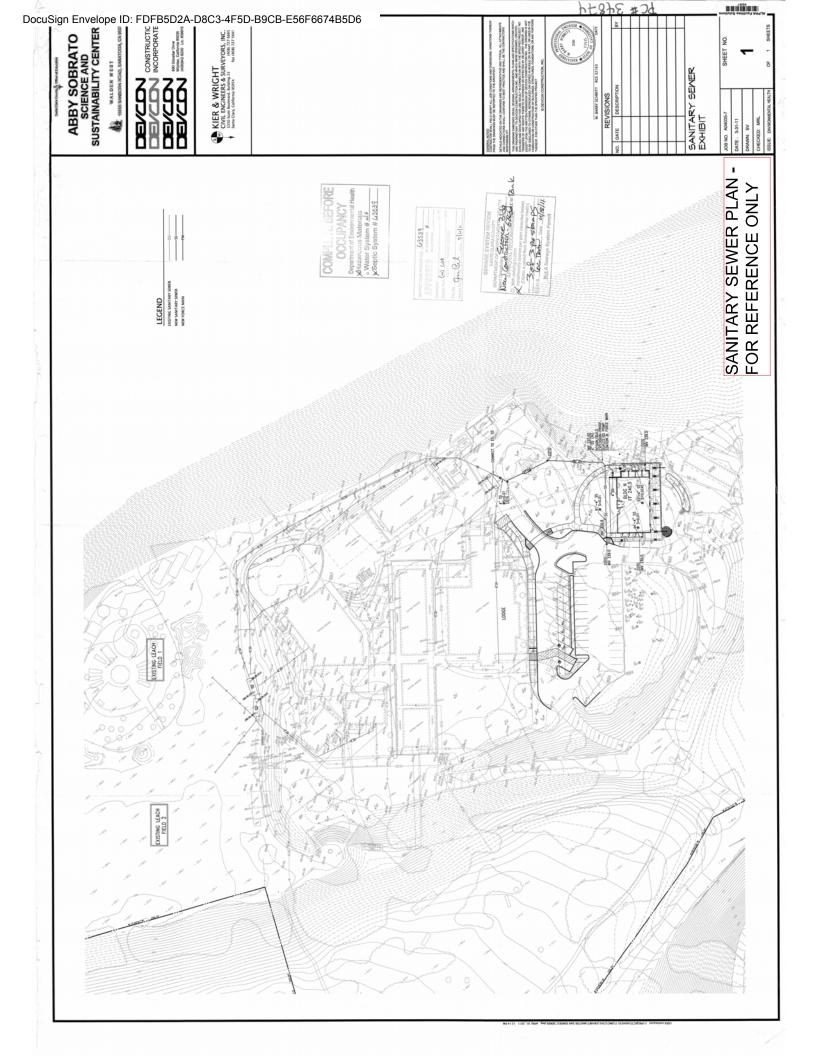


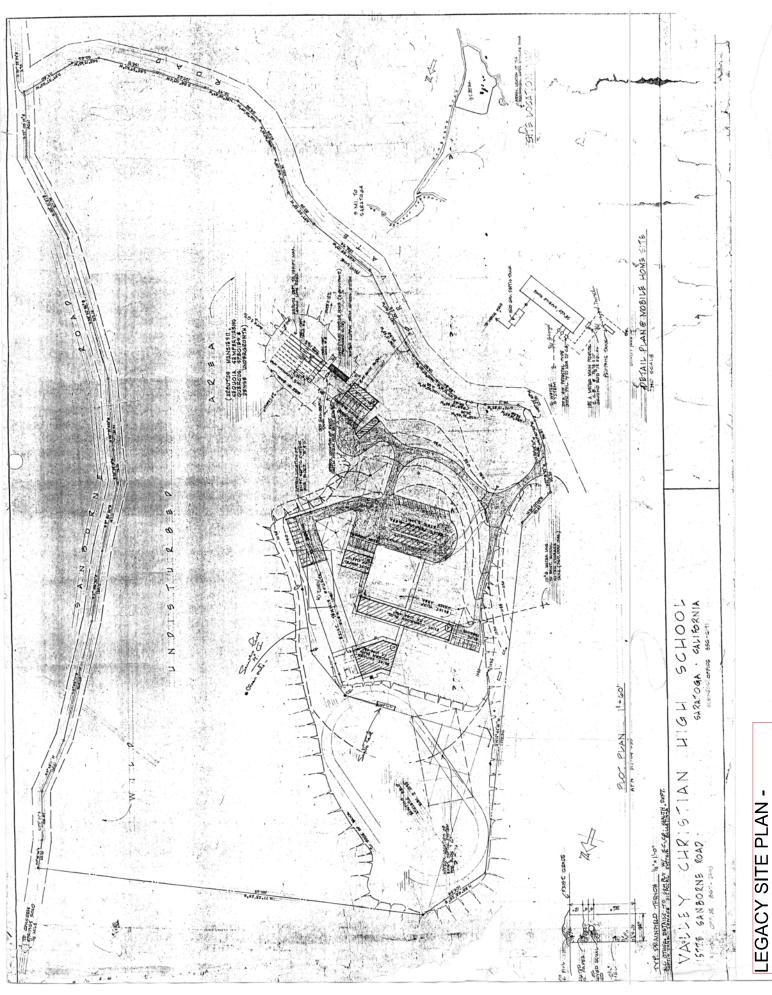


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FOR REFERENCE ONLY

PROJECT DIRECTORY

CLIENT Walden West Science School 15555 Sanborn Road, Saratoga, CA 95070 (408) 453-4310 Contact: Craig Wilde craig_wilde@sccoe.org

LANDSCAPE ARCHITECT BFS Landscape Architects 425 Pacific Street, Suite 201 Monterey, CA 93940 (831) 646-1383 Contact: Casey Starks casey@bfsla.com

CIVIL C2G/CIVIL CONSULTANTS GROUP.INC. 4444 Scotts Valley Drive Scotts Valley, CA 95066 (831) 438-4420 Contact: Dave Dauphin david@c2gengrs.com

ELECTRICAL Aurum Consulting Engineers Monterey Bay, Inc. 60 Garden Court, Suite 2100 Monterey, CA 93940 (831) 646-3330 Contact: Najib Anwary najib@acemb.com

ARCHITECT HGHB 550 Hartnell Street, Suite J Monterey, CA 93940 (831) 375-9594 Contact: Matt Lightner mlightner@hghb.net

MECHANICAL/ PLUMBING ZAL Engineering 99 Pacific St. Suite 375G Monterey, CA 93940 (831) 641-7739 Contact: Jaime Zaldivar jaime@zalengineering.com

STRUCTURAL Biggs Cardosa Associates 865 The Alameda San Jose, CA 95126 (408) 550-8505 Contact: Mike Luft, mluft@biggsCardosa.com

PROJECT DESCRIPTION

Modernization of existing dormitory building and restrooms/shower building, shade structure or multi-purpose building, amphitheater and various site work/utility improvements.

、1,295 sqft Existing Planting Area within project limits: Proposed Planting Area within project limits: 8,635 sqft



ITEM		DESCRIPTION	SHEET #
А	Project Information		L-1.0
	1. Date		L-1.0
	2. Project Applicant		L-4.1
	3. Project Address	15555 Sanborn Rd. Saratoga CA, 95070	
	4. Landscape Area	8,635 sf	
	5. Project Type	Modernization of Ex. Bldgs and Sitework	
	6. Water Supply Type	Well	
	7. Checklist		L-1.0
	8. Project Contacts		L-1.0
	9. Applicant Signature		L-4.0
В	Water Efficient Landscape Worksheet		L-4.1
	1. Hydrozone Information Table		L-4.1
	2. Water Budget Calcs		L-4.1
С	Soil Management Report		
D	Landscape Design Plan		L-5.0
Е	Irrigation Design Plan		L-4.0
	1. Meter & Back-flow Preventer		L-6.0

Grading Design Plan

GENERAL NOTES

DESIGN INTENT These Drawings and accompanying technical specifications represent the general design intent to be implemented on the site. Contractor shall be responsible for contacting the Owner's Representative for any additional clarification or details necessary to accommodate site conditions.

CONTRACTOR COORDINATION The Contractor shall coordinate and otherwise integrate his work with that of others in an efficient, craftsmanlike and timely manner so as to provide the Owner with a well-constructed, easily maintainable project. Each contractor shall notify others at least two working days in advance of covering, completing or exposing work to be installed by others.

CONTRACTORS' JOB SITE CONDITIONS The Contractor agrees to assume sole and complete responsibility for site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the Contractor shall defend, indemnify and hold the Owner and the Design Consultant harmless from any and all liability, real or alleged in connection with the performance of work on this project, excepting liability arising from the sole negligence of the Owner or the Design Consultant.

COMPOSITE BASE SHEET The proposed improvements shown on these Drawings are superimposed on a base sheet. This base sheet is compiled from a boundary survey, a topographic survey, architectural and/or engineering documents and other data as made available by the Owner. The Design Consultant shall not be held liable for changes, inaccuracies, omissions or other errors on these documents. The composite base sheet is provided only as an aid, and the Contractor shall be responsible for reviewing these documents and incorporating/integrating all construction as required to accommodate same.

UTILITIES A reasonable effort has been made to locate and delineate all known underground utilities. The Contractor is cautioned that only excavation will reveal the types, extent, sizes, location and depths of such underground utilities. However, the Design Consultant can assume no responsibility for the completeness or accuracy of delineation of such underground utilities, nor for the existence of other buried objects or utilities which are not shown on these Drawings.

- For areas under public ownership or private lands with public utility easements, the Contractor is responsible for contacting utility companies prior to commencing construction, and requesting a visual verification of the locations of their underground utilities. The utility companies are members of the Underground Service Alert (USA) one-call program. Notification shall be a minimum of (2) working days in advance of performing excavation work by contacting USA North at 811 / 1-800-227-2600 / www.usanorth.org for Northern California, and DigAlert 811 / www.digalert.org for Southern California.
- For areas under private ownership and campuses not members of USA, the Contractor is responsible for engaging the services of a private utility locator for a visual verification of the locations of underground utilities. Excavation is defined as being 6 or more inches in depth below the existing surface.

CODES / STANDARDS

GENERAL: Bring conflicts between Codes, Referenced Standards, Drawings, and Specifications to the attention of the Construction Manager in writing, for resolution before taking any action. Where differences exist between codes and standards, the one affording the greatest protection shall apply. If the year of adoption is omitted from the Code or Standard designation, it shall mean the latest revision in effect on the Bid date.

PROJECT SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:

2010 ADA Standards for Accessible Design, Department of Justice; Public Accommodations and Commercial Facilities (Title III regulations, 28 CFR Part 36, Subpart D, as amended by the final rules published on August 11, 2016, and December 2, 2016; 2004 ADAAG, 36 CFR part 1191, Appendices B and D).

Accessibility provisions of the 2016 California Building Codes (CBC): Part 2 of California Code Of Regulations, Title 24, including but not limited to: Division 4 Accessible Routes: 11B-402 Accessible Routes; 11B-403 Walking Surfaces; 11B-404 Doors & Gates; 11B-405 Ramps; 11B-406 Curb Ramps Division 5 General Site & Building Elements: 11B-502 Parking Spaces; 11B-503 Passenger Drop-off & Loading Zones; 11B-504 Stairways; 11B-505 Handrails Division 7 Communication Elements & Features: 11B-703 Signs; 11B-705 Detectable Warnings

California Model Water Efficient Landscape Ordinance 2015 (DWR Title 23 Chapter 2.7) or local ordinance if applicable.

2015 U.M.C as amended by the 2016 California Mechanical Code 2016 U.P.C as amended by the 2016 California Plumbing Code 2014 N.E.C as amended by the 2016 California Electrical Code

2016 California Energy Code 2016 California Green Building Standards Code (CALGreen)

2016 California Fire Code 2016 NFPA Automatic Sprinkler Systems (CA Amended)

WALDEN WEST SCIENCE SCHOOL MODERNIZATION

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ABBREVIATIONS

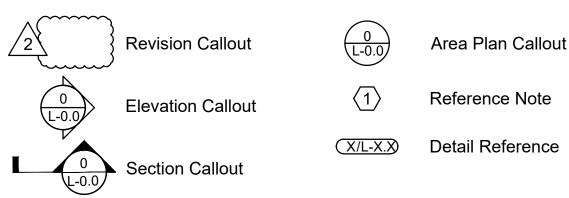
Aggregate Base

CONSTRUCTION DOCUMENTS SARATOGA, CALIFORNIA

AB

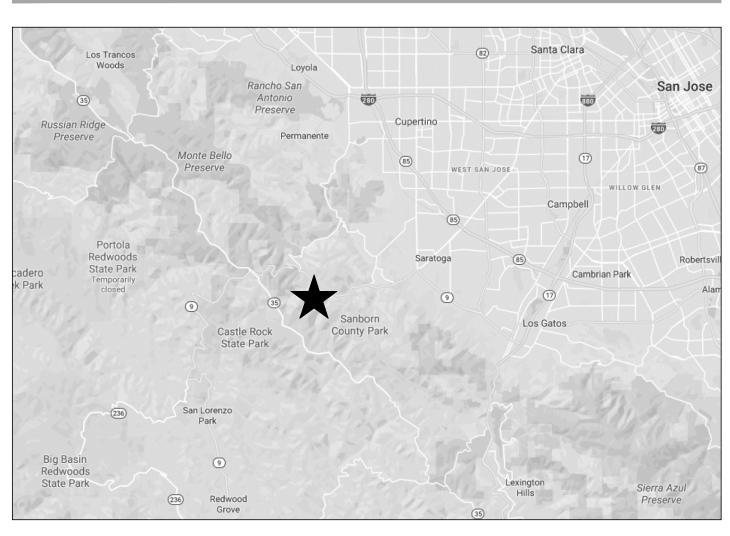
AB	Aggregate Base
AC	Asphalt Concrete
AD	Area Drain
ALT	Alternate
APPROX	Approximate
ARCH	Architectural
BLDG	Building
BC	Bottom of Curb
BW	Bottom of Wall
BS	Bottom of Step
BOT	Bottom
CB	Catch Basin
CBC	CA Building Code
CI	Cast Iron
CL, E	Centerline
CLR	Clear
CM	Centimeter
CMU	Concrete Masonry Unit
CONC	Concrete
CONST	Construction
CONT	Continuous
CO	Cleanout
COORD	Coordinate
CY	Cubic Yard
DBL	Double
DEMO	Demolition
DET	Detail
DG	Decomposed Granite
DIA, Ø	Diameter
DN	Down
DWG	Drawing
(E), EX	Existing
EA	Each
EG	Existing Grade
EJ	Expansion Joint
EP	Edge of Paving
ELEV	Elevation
ELEC	Electrical
EQ	Equal
EQUIP	Equipment
EXP	Exposed
EXT	Exterior
FFE	Finished Floor Elevation
FG	Finished Grade
FL	Flow Line
FOB	Face of Building
FOC	Face of Curb
FPS	Feet Per Second
FS	Finish Surface
FSF	Finish Surface Field
FT	Foot
GA	Gauge
GALV	Galvanized
GB	Grade Break
GI	Galvanized Iron
GPH	Gallons Per Hour
GPM	Gallons Per Minute
HDG	Hot Dipped Galvanized
HDR	Header
HORIZ	Horizontal
HP	High Point
HSS	Hollow Structural Steel
ICV	Irrigation Control Valve
	Inside Diameter
	Interior
INV	Invert

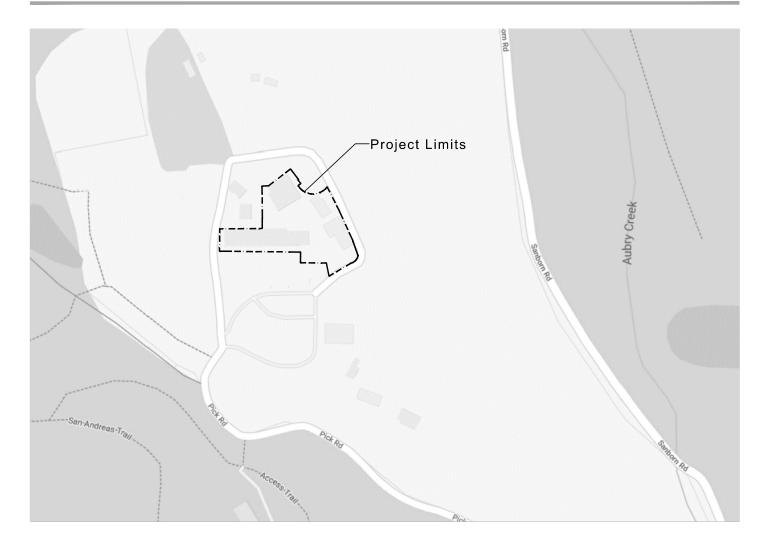
SYMBOLS



Pound Linear Feet Limit of Work Low Point Maximum MECH Mechanical Medium Manufacturer Manhole Minimum Millimeter Metal New Not In Contract Number Nominal Not To Scale On Center Outside Diameter Opposite Plant Area Pull Box Polyethylene Perforated Point of Beginning Point of Connection Point on Slope Point PREFAE Prefabricated Pounds per Square Inch Pressure Treated **Polyvinyl Chloride** Quantity R, RAD Radius REBAR Reinforcement Bar Reference REQD Required Rim Elevation Round Rain Water Leader Surface Four Sides Schedule Storm Drain Square Foot Similar SPECS Specifications Square Sanitary Sewer Steel Square Yard Synthetic To be Determined Top of Curb Thick Top of Step Typical Top of Wall Underground Unless Otherwise Noted VERT Vertical Verify in Field Water Weaked Plane Joint Water Valve WWM Welded Wire Mesh With

VICINITY MAP





HGHR

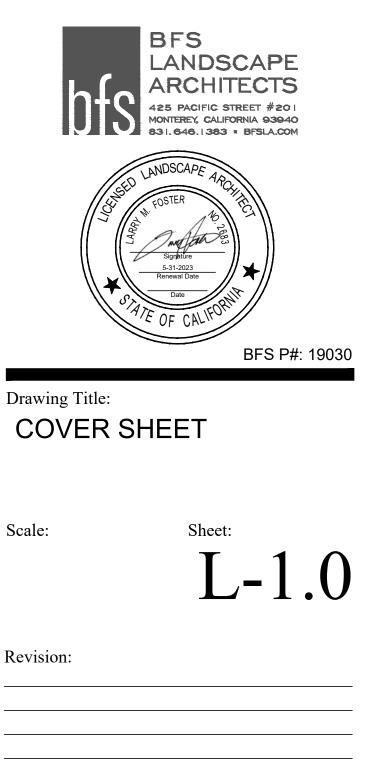
GEOTECHNICAL REPORT

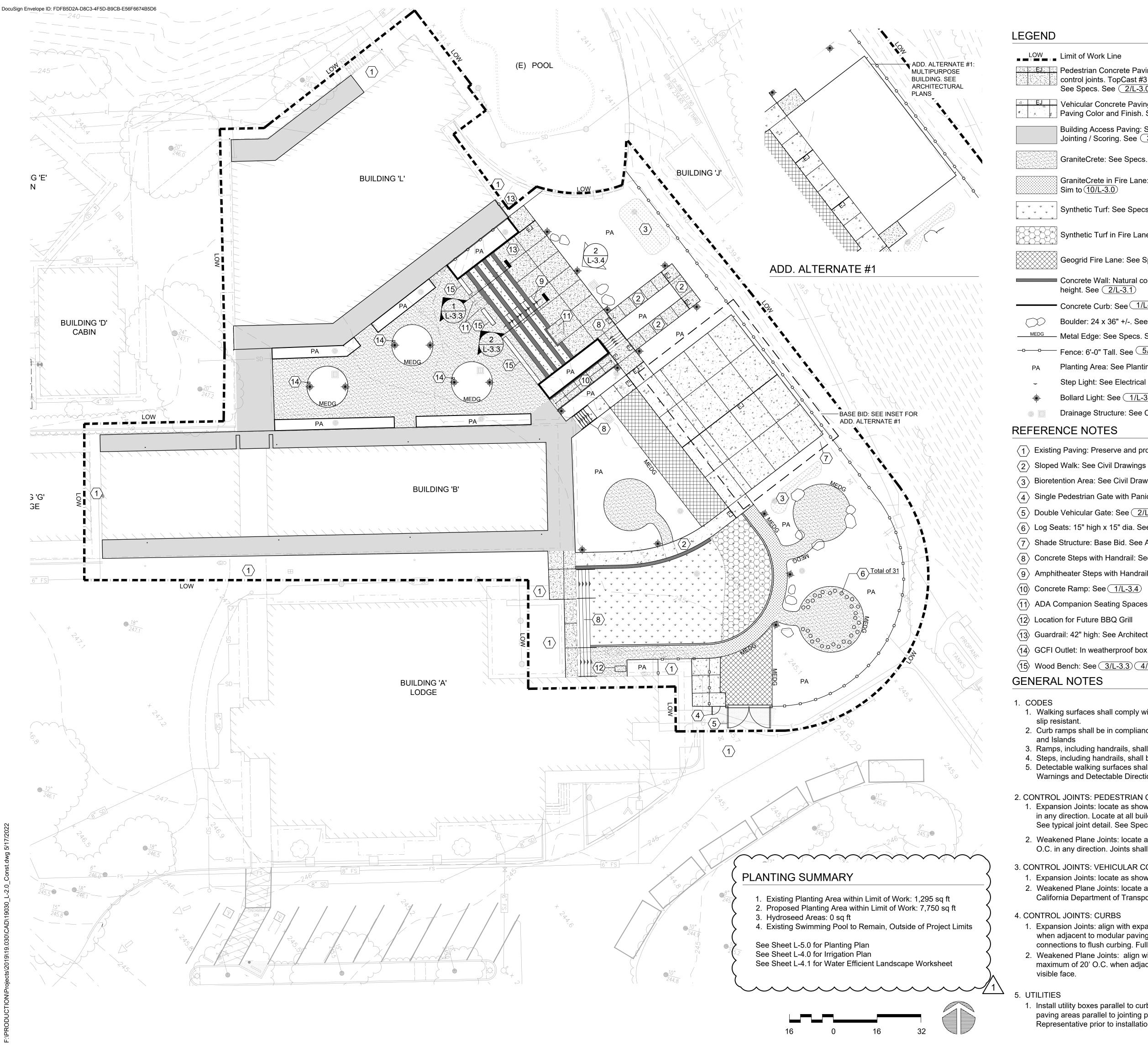
See Updated Design Level Geotechnical Report from CORNERSTONE EARTH GROUP, dated May 8, 2020 for geotechnical and geological hazard investigation.

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LOCATION MAP





Pedestrian Concrete Paving: Integral Davis colors. Light sand finish with sawcut control joints. TopCast #3 or #5. Other joints are Weakened Plane Joints UON. See Specs. See (2/L-3.0)

La Vehicular Concrete Paving: Integral Davis Colors, Match Pedestrian Concrete Paving Color and Finish. See Specs. See <u>3/L-3.0</u>

> Building Access Paving: See Civil Plans for Limits. See Architectural Plans for Jointing / Scoring. See 3/L-3.1

GraniteCrete: See Specs. See (10/L-3.0)

GraniteCrete in Fire Lane: 4" GraniteCrete over 6" porous base rock. Sim to 10/L-3.0

Synthetic Turf: See Specs. See 6/L-3.0

Synthetic Turf in Fire Lane: See Specs. See 6/L-3.0

Geogrid Fire Lane: See Specs. See 8/L-3.0

Concrete Wall: Natural color with board-form finish. See Civil drawings for wall

height. See 2/L-3.1

Concrete Curb: See 1/L-3.1

- Boulder: 24 x 36" +/-. See 4/L-6.2
- _____ Metal Edge: See Specs. See 5/L-3.0
- - Planting Area: See Planting Plan
 - Step Light: See Electrical Plan
 - Bollard Light: See 1/L-3.0
 - Drainage Structure: See Civil Plans

- $\langle 1 \rangle$ Existing Paving: Preserve and protect.
- $\langle 3 \rangle$ Bioretention Area: See Civil Drawings.
- $\langle 4 \rangle$ Single Pedestrian Gate with Panic Hardware: See 1/L-3.2
- $\langle 5 \rangle$ Double Vehicular Gate: See (2/L-3.2)
- $\langle 6 \rangle$ Log Seats: 15" high x 15" dia. See Specs.
- $\langle 7 \rangle$ Shade Structure: Base Bid. See Architectural Drawings.
- $\langle 8 \rangle$ Concrete Steps with Handrail: See 4/L-3.1
- $\langle 9 \rangle$ Amphitheater Steps with Handrail: See (1/L-3.3) (2/L-3.3)
- $\langle 11 \rangle$ ADA Companion Seating Spaces: 36" x 48" Each
- $\langle 13 \rangle$ Guardrail: 42" high: See Architectural Plans for Detail
- $\langle 14 \rangle$ GCFI Outlet: In weatherproof box. See Electrical Plans
- $\langle 15 \rangle$ Wood Bench: See <u>3/L-3.3</u> <u>4/L-3.3</u>

1. Walking surfaces shall comply with CBC 11B-403 Walking Surfaces. All finishes shall be

2. Curb ramps shall be in compliance with CBC 11B-406 Curb Ramps, Blended Transitions

3. Ramps, including handrails, shall be in compliance with CBC 11B-405 Ramps 4. Steps, including handrails, shall be in compliance with CBC 11B-504 Stairways 5. Detectable walking surfaces shall be in compliance with CBC 11B-705 Detectable Warnings and Detectable Directional Texture

2. CONTROL JOINTS: PEDESTRIAN CONCRETE PAVING

1. Expansion Joints: locate as shown on the Plans; if not shown then at maximum 60' O.C. in any direction. Locate at all building faces, walls, steps, ramps, and other site structures. See typical joint detail. See Specs.

2. Weakened Plane Joints: locate as shown on the Plans; if not shown then at maximum 20' O.C. in any direction. Joints shall be saw-cut. See typical joint detail. See Specs.

3. CONTROL JOINTS: VEHICULAR CONCRETE PAVING

1. Expansion Joints: locate as shown on the Plans. See typical joint detail. See Specs. 2. Weakened Plane Joints: locate and construct per Section 40-1.08 JOINTS of the California Department of Transportation Standard Specifications.

1. Expansion Joints: align with expansion joints in monolithic paving; at maximum 60' O.C. when adjacent to modular paving, and at all corners, start/end of radiuses, and connections to flush curbing. Full depth.

2. Weakened Plane Joints: align with weakened plane joints in monolithic paving; at a maximum of 20' O.C. when adjacent to modular paving. Construct across the top and

1. Install utility boxes parallel to curbs / edges of sidewalks. Install utility boxes in plaza paving areas parallel to jointing patterns. Review locations in the field with the Owner's Representative prior to installation.

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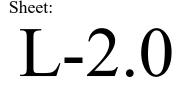
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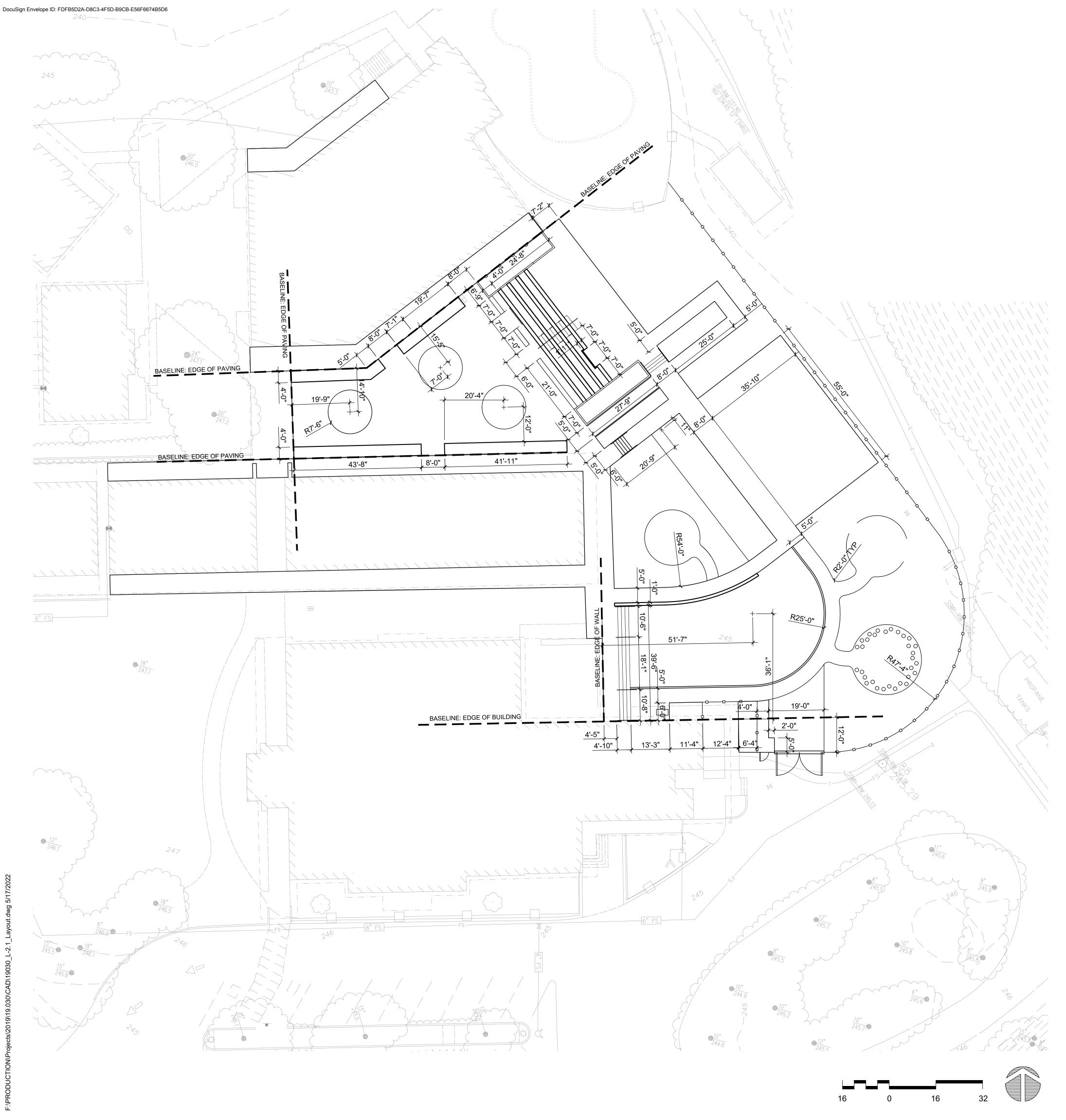


Drawing Title: CONSTRUCTION PLAN

Scale: 1" = 16'-0"



Revision:



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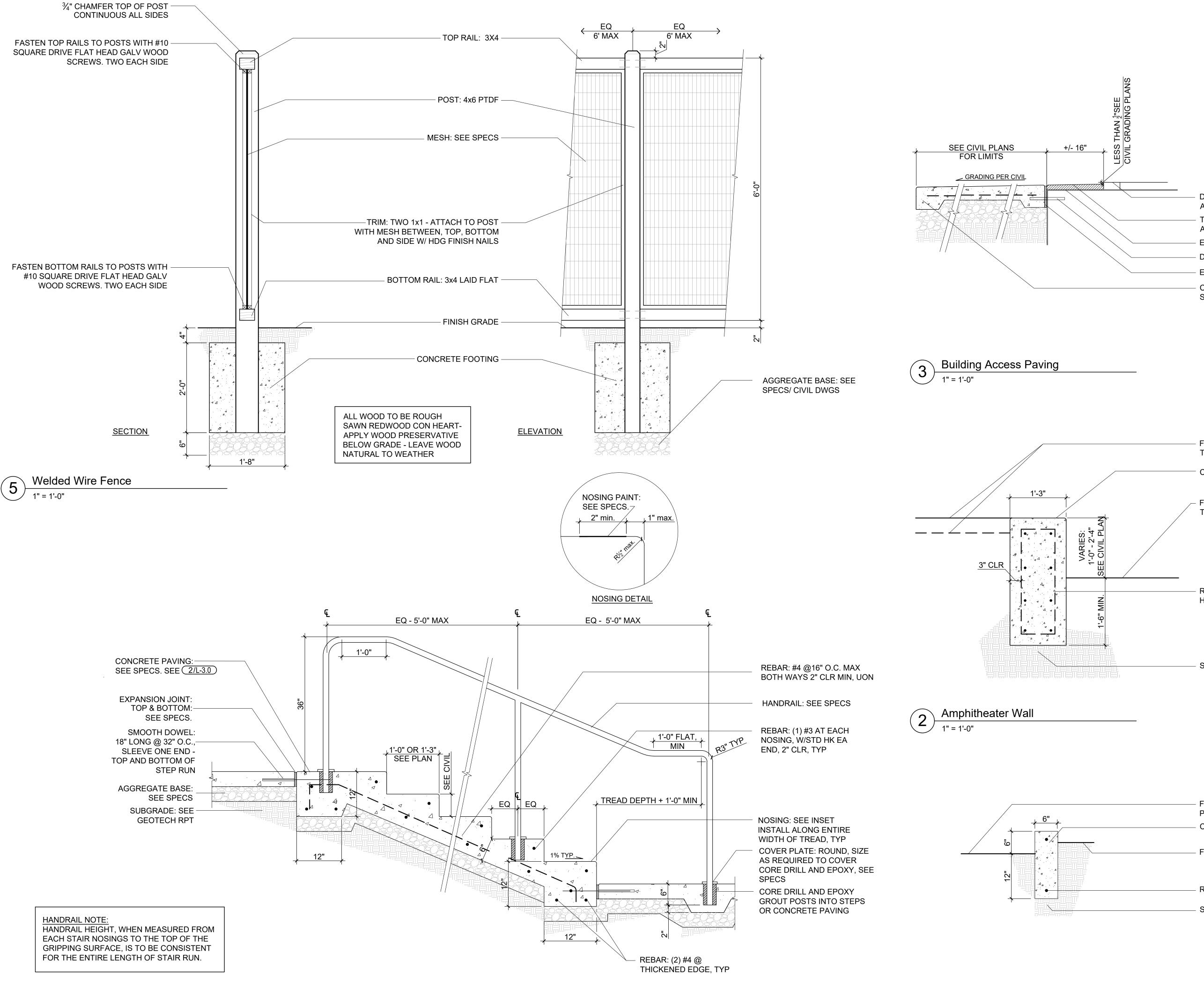


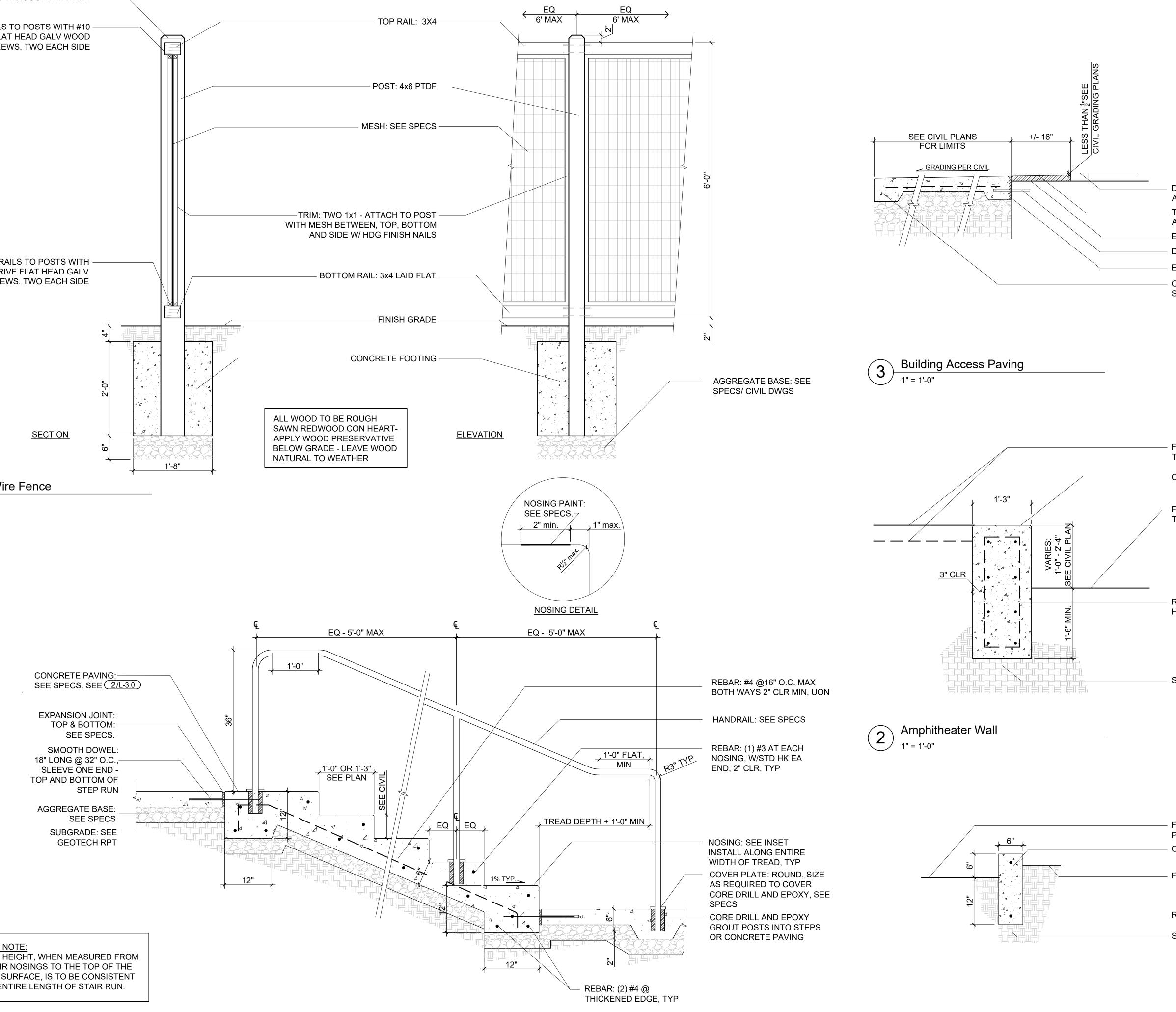
Drawing Title: LAYOUT PLAN

Scale: 1" = 16'-0"

Sheet: L-2.1

Revision:





Concrete Steps

1" = 1'-0"

4

Concrete Curb 1

1" = 1'-0"

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DOOR THRESHOLD: SEE ARCHITECTURAL PLANS TOPPING SLAB: SEE ARCHITECTURAL PLANS **EXISTING BUILDING FOUNDATION** - DOWELED EXPANSION JOINT: SEE 4/L-3.1 EXPANSION JOINTS: SEE (4/L-3.0)- CONCRETE PAVING, PEDESTRIAN: SEE 2/L-3.0

FINISH GRADE: CONCRETE OR SYNTHETIC TURF

CONCRETE WALL: $\frac{1}{2}$ " RADIUS ALL EDGES

FINISH GRADE: CONCRETE OR SYNTHETIC TURF

REBAR: #4 at 18" O.C., VERTICAL AND HORIZONTAL

SUBGRADE: SEE GEOTECH RPT

FINISH GRADE: CONCRETE PAVING OR GRANITE CRETE CONCRETE CURB: SEE SPECS

FINISH GRADE: PLANTING

REBAR: (2) CONT #4, TYP SUBGRADE: SEE GEOTECH RPT



Drawing Title: CONSTRUCTION DETAILS

Scale:



Revision:

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1'-6" DIA

GATE NOTES:

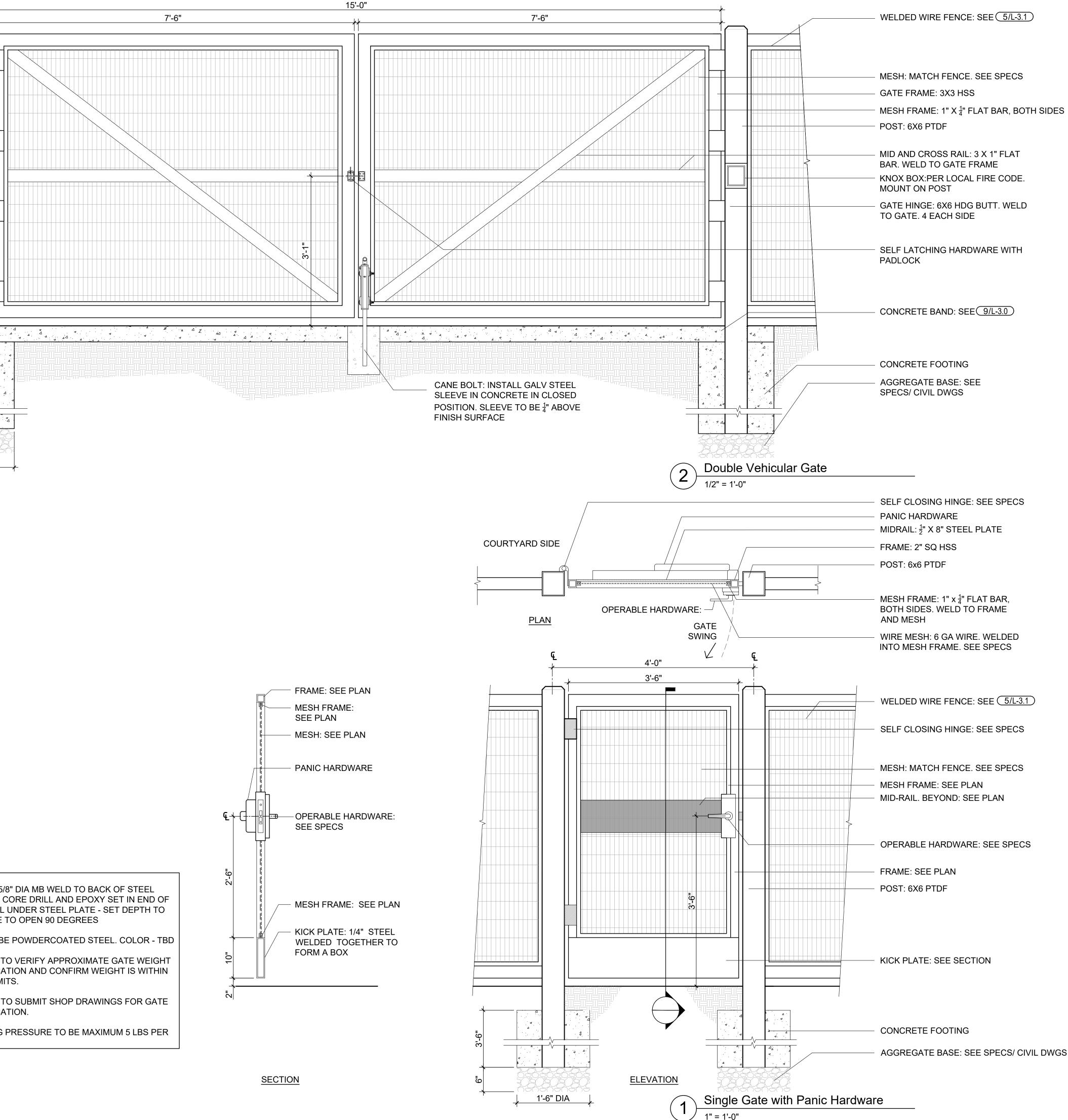
1. ANCHOR ROD: 5/8" DIA MB WELD TO BACK OF STEEL POST @ 12" O.C. - CORE DRILL AND EPOXY SET IN END OF WALL. GROUT FILL UNDER STEEL PLATE - SET DEPTH TO ALLOW FOR GATE TO OPEN 90 DEGREES

2. ALL METAL TO BE POWDERCOATED STEEL. COLOR - TBD

3. CONTRACTOR TO VERIFY APPROXIMATE GATE WEIGHT PRIOR TO FABRICATION AND CONFIRM WEIGHT IS WITHIN GATE CLOSER LIMITS.

4. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR GATE PRIOR TO FABRICATION.

5. GATE OPENING PRESSURE TO BE MAXIMUM 5 LBS PER CODE.



MESH: MATCH FENCE. SEE SPECS

MID AND CROSS RAIL: 3 X 1" FLAT

KNOX BOX:PER LOCAL FIRE CODE.

GATE HINGE: 6X6 HDG BUTT. WELD

SELF LATCHING HARDWARE WITH

BAR. WELD TO GATE FRAME

GATE FRAME: 3X3 HSS

POST: 6X6 PTDF

MOUNT ON POST

PADLOCK

TO GATE. 4 EACH SIDE

CONCRETE FOOTING

SPECS/ CIVIL DWGS

AGGREGATE BASE: SEE

SELF CLOSING HINGE: SEE SPECS PANIC HARDWARE MIDRAIL: ¹/₂" X 8" STEEL PLATE - FRAME: 2" SQ HSS

POST: 6x6 PTDF

MESH FRAME: 1" $x \frac{1}{4}$ " FLAT BAR, BOTH SIDES. WELD TO FRAME AND MESH

WIRE MESH: 6 GA WIRE. WELDED INTO MESH FRAME. SEE SPECS

WELDED WIRE FENCE: SEE 5/L-3.1

SELF CLOSING HINGE: SEE SPECS

MESH: MATCH FENCE. SEE SPECS MESH FRAME: SEE PLAN MID-RAIL. BEYOND: SEE PLAN

OPERABLE HARDWARE: SEE SPECS

FRAME: SEE PLAN POST: 6X6 PTDF

KICK PLATE: SEE SECTION

CONCRETE FOOTING

AGGREGATE BASE: SEE SPECS/ CIVIL DWGS

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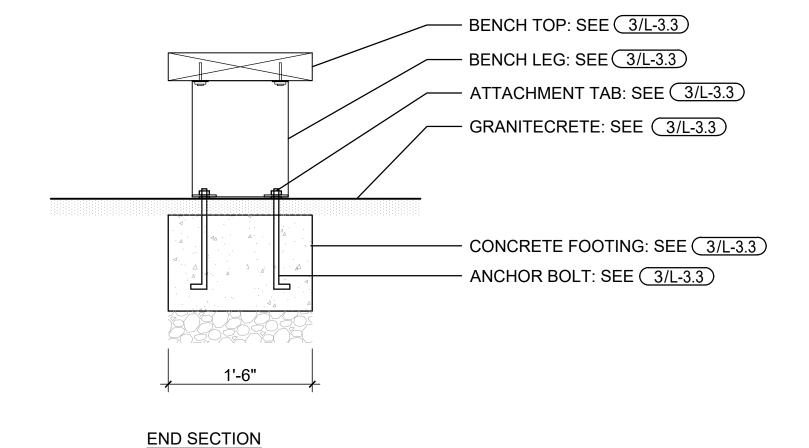
BFS LANDSCAPE ARCHITECTS 425 PACIFIC STREET #201 MONTEREY, CALIFORNIA 93940 831.646.1383 = BFSLA.COM ANDSCAP BFS P#: 19030

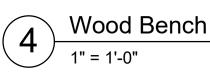
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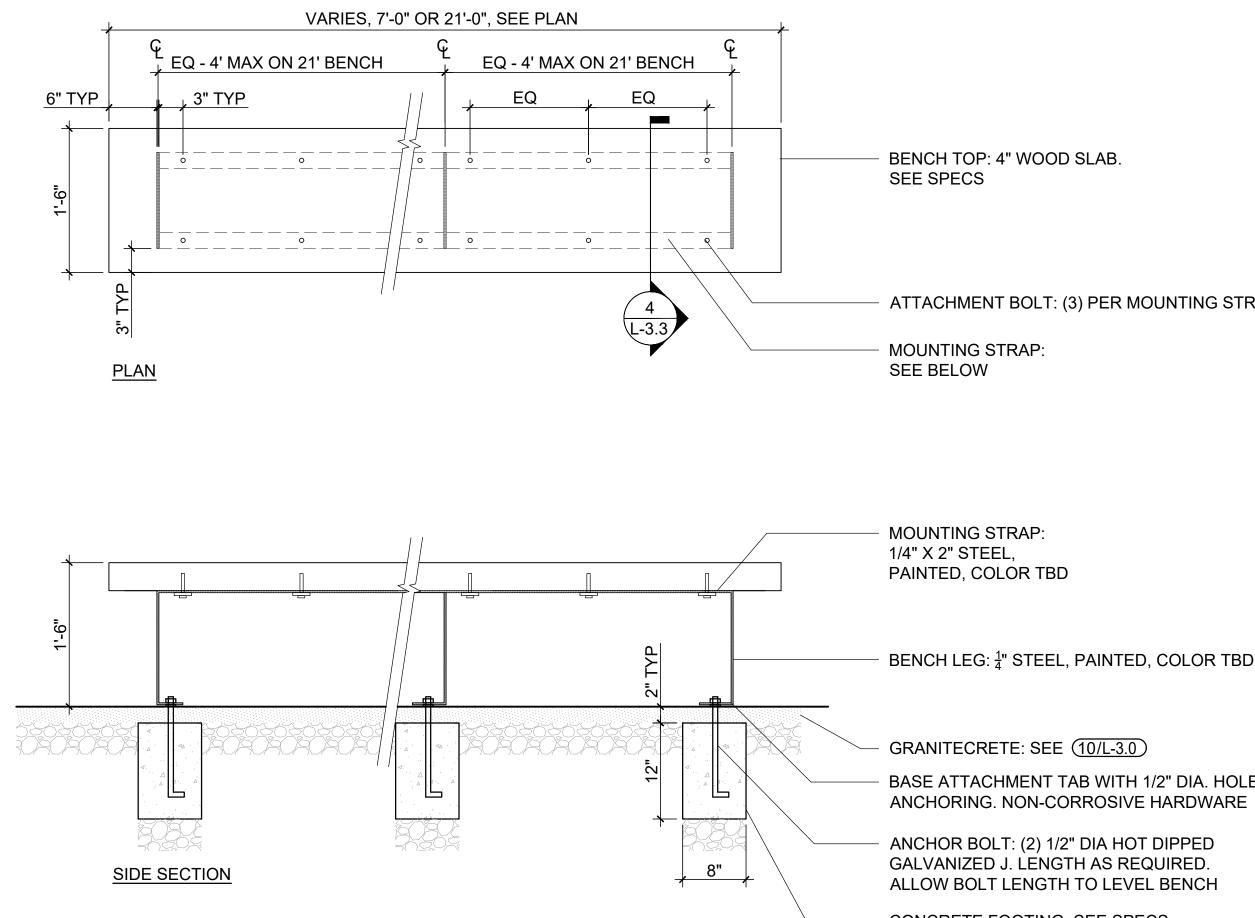
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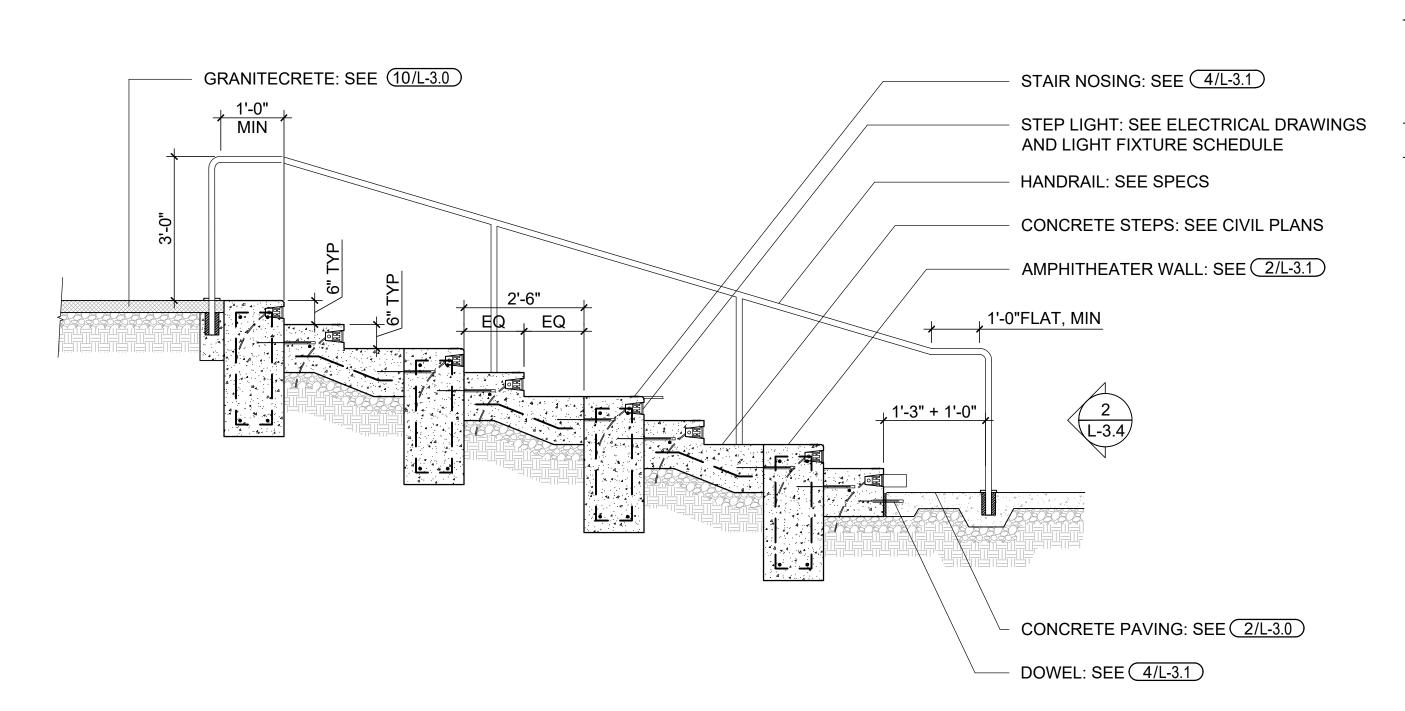
Sheet: L-3.2

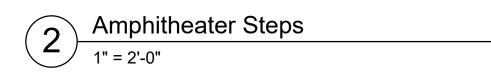
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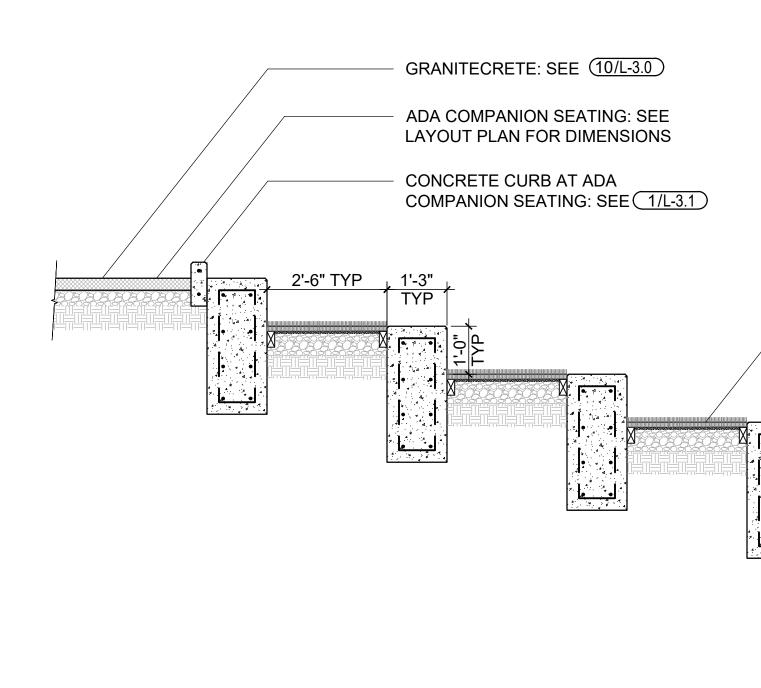
ATTACHMENT BOLT: (3) PER MOUNTING STRAP

BENCH LEG: ¹/₄" STEEL, PAINTED, COLOR TBD

BASE ATTACHMENT TAB WITH 1/2" DIA. HOLES FOR

ANCHOR BOLT: (2) 1/2" DIA HOT DIPPED GALVANIZED J. LÉNGTH AS REQUIRED. ALLOW BOLT LENGTH TO LEVEL BENCH

CONCRETE FOOTING: SEE SPECS



Amphitheater Walls 1" = 2'-0"

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Drawing Title: CONSTRUCTION DETAILS

Scale:

SYNTHETIC TURF: SEE 6/L-3.0

AMPHITHEATER WALL: SEE 2/L-3.1

CONCRETE PAVING: SEE 2/L-3.0

- DOWEL: SEE (4/L-3.1)

-



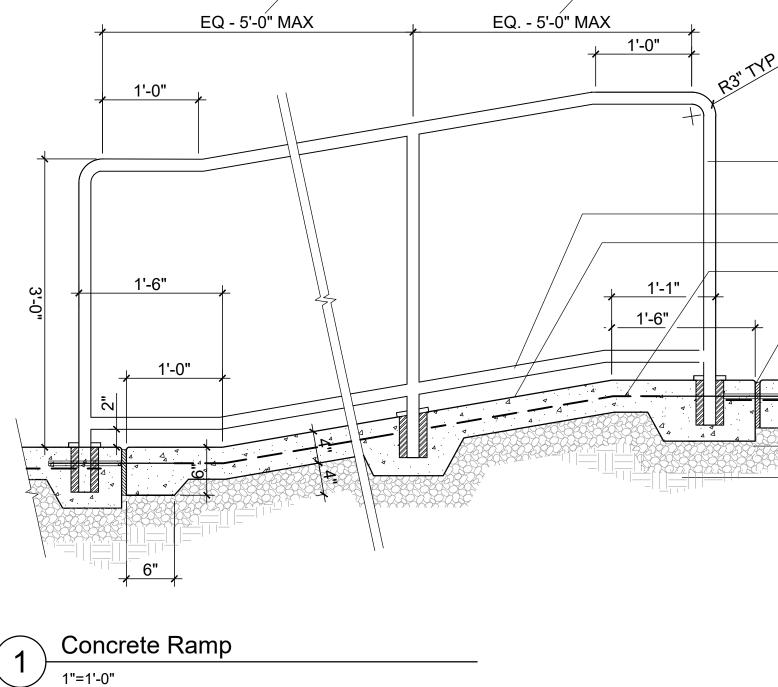
Revision:

PRODUCTION/Projects/2019/19.030/CAD/19030_L-3.0_ConDetails.dwg 5/17/2

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2 Amphitheater Elevation

- WOOD BENCH, TYP: SEE <u>3/L-3.3</u> - AMPHEATER WALLS, TYP: SEE <u>3/L-3.3</u> AMPHTHEATER STEPS: SEE 2/L-3.3 " they · 0 0'



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 CONCRETE CURB AT ADA COMPANION SEATING: SEE <u>2/L-3.3</u>
 CONCRETE CURB, TYP: SEE <u>1/L-3.1</u>

 GUARDRAIL: SEE
 ARCHITECTURAL PLANS
 BUILDING ACCESS PAVING: SEE CONSTRUCTION PLAN

------ FQUAUZE POST

EQUALIZE POST SPACING UNLESS OTHERWISE NOTED ON THE PLANS

<u>?</u>.

- HANDRAIL: SIM TO 4/L-3.1

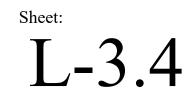
GUIDE RAIL: MATCH HANDRAIL
CONCRETE PAVING: SEE CIVIL PLANS
REINFORCING: 6x6 - 10/10 WWM, CENTER IN SLAB, 3" CLR AT EDGES AND FULL DEPTH JOINTS
EXPANSION JOINT: SEE 4/L-3.0

CONCRETE PAVING: SEE 2/L-3.0
SMOOTH DOWEL: #3, 18" LONG, 24" OC SLEEVE ONE END, EXTEND 9" EACH WAY. CENTER IN SLAB.
AGGREGATE BASE: SEE SPECS
SUBGRADE: SEE GEOTECH RPT

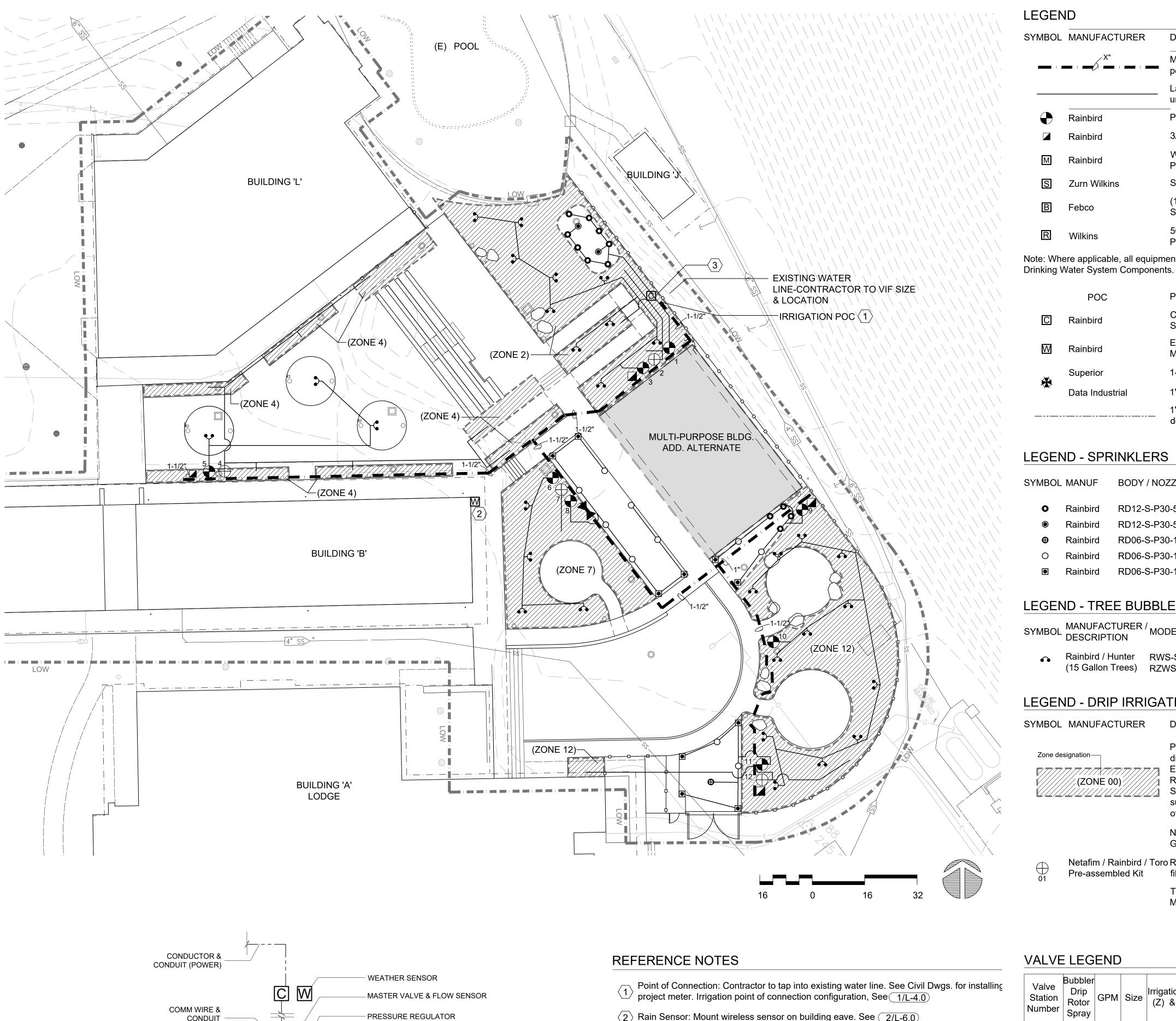


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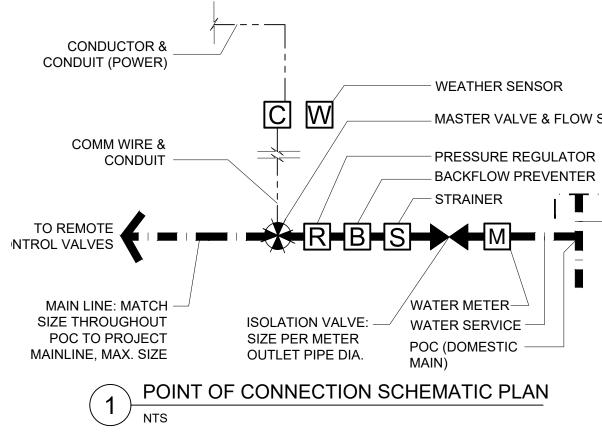


Revision:



DOMESTIC WATER MAIN

STUB OUT



- $\langle 2 \rangle$ Rain Sensor: Mount wireless sensor on building eave. See (2/L-6.0)
- $\langle 3 \rangle$ Irrigation Controller Electrical Connection, See Electrical Dwgs.

Valve Station Number	Bubbler Drip Rotor Spray	GPM	Size	Irrigation Zone (Z) & Notes
1	S	2.42	1-1/2"	Z1 (Bio)
2	D	6.6	1-1/2"	Z2 (Shrubs)
3	В	10.0	1-1/2"	Z3 (Trees)
4	D	4.8	1-1/2"	Z4 (Shrubs)
5	В	3.0	1-1/2"	Z5 (Trees)
6	В	5.0	1-1/2"	Z6 (Trees)
7	D	10.4	1-1/2"	Z7 (Shrubs)
8	S	11.8	1-1/2"	Z8 (Fire Lane)
9	S	3.16	1-1/2"	Z9 (Bio)
10	В	11.0	1-1/2"	Z9 (Trees)
11	S	5.2	1-1/2"	Z10(Fire Lane)
12	D	7.3	1-1/2"	Z11 (Shrubs)

DESCRIPTION Main Line: 24" minimum cover. Sch/Class for pipe / fittings per Specs. See Plan for sizes. Lateral Line / Drip Irrigation Supply Line: 18" min. cover, 24" under AC paving Sch/Class per Specs. See chart for size. PEB Remote Control Valve: Size as shown on plan. 3/4" Quick Coupler. Single lug, 2-pc body, locking cover. Water Meter (3/4"). Model #FM075B. See General Note 2 for PSI / GPM. SXL Cast Bronze 'Y' Type Strainer. Line Size. 40-mesh (1") Lead-free Backflow Preventer LF825YA w/ Bronze Wye Strainer. Dark Green cage & blanket: See Details 500 Series - Line Size. Set Downstream of Backflow Preventer. Set Pressure to 70 PSI

Note: Where applicable, all equipment specified shall comply with NSF/ANSI Standard 61:

C	Point of Connection: Domestic main line stub out. See 1/L-4.0
b	Controller with MV & FS terminals, metal pedestal cabinet 12 Stations. Model # ESPLXBASIC-LXMMSSPED
d	ET Sensor: WR2 Wireless Rain+Freeze Sensor (wireless). Model #WR2-48. Attach to building eve. See 2/L-6.0
r	1-1/2" - 3300 Normally Open Master Valve
dustrial	1" Brass Flow Sensor, # 250BR10. Connect to Controller.
	1" Conduit: 24" Depth minimum. For MV & FS wire and dedicated common. For Sensor & Grounding Wires.

BODY / NOZZLE	PSI	GPM	RAD	PRECIP In/hr
RD12-S-P30-5H	30	0.2	5'	1.54
RD12-S-P30-5F	30	0.41	5'	1.58
RD06-S-P30-10F	30	1.58	10'	1.52
RD06-S-P30-12H	30	1.30	12'	1.74
RD06-S-P30-12Q	30	0.65	12'	1.74

LEGEND - TREE BUBBLERS / EMITTERS

ACTURER / PTION	MODEL/DESCRIPTION	PSI	GPM / GPH
	RWS-S-B-C-1401 RZWS-10"-50-CV	30	0.5 GPM

LEGEND - DRIP IRRIGATION

SCRIPTION



POINT-SOURCE: 3/4" I.D. PE supply pipe & 1/4" I.D. PE distribution tubes. See Specs. See Irrigation Details. Emitters: 2.0 GPH pressure compensating w/ bug/dust cap. Rainbird Xeri-Bug / Toro NGE / Netafim WPC. See Emitter Schedule. Manual flush valve at end of each branch of supply pipe. Rainbird Drip Operation Indicator at furthest end of each zone. See Schematic Irrigation Diagram.

Netafim High Flow Control Zone Kit w/ Disc Filter (4.5-17.6 GPM). Low Flow Kit w/ Disc Filter (0.25-4.4 GPM)

Netafim / Rainbird / Toro Rainbird XCZLF-100- / XCZ-075 Control Zone Kit. PRBR filter. -100 > 5.0 GPM, -075 < 5.0 gpm as required per zone

Toro DZK-TPV-1-LF / MF Drip Zone Valve Kit. MF > 4.5 GPM LF < 4.5 GPM as required per zone

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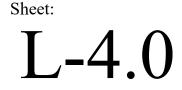
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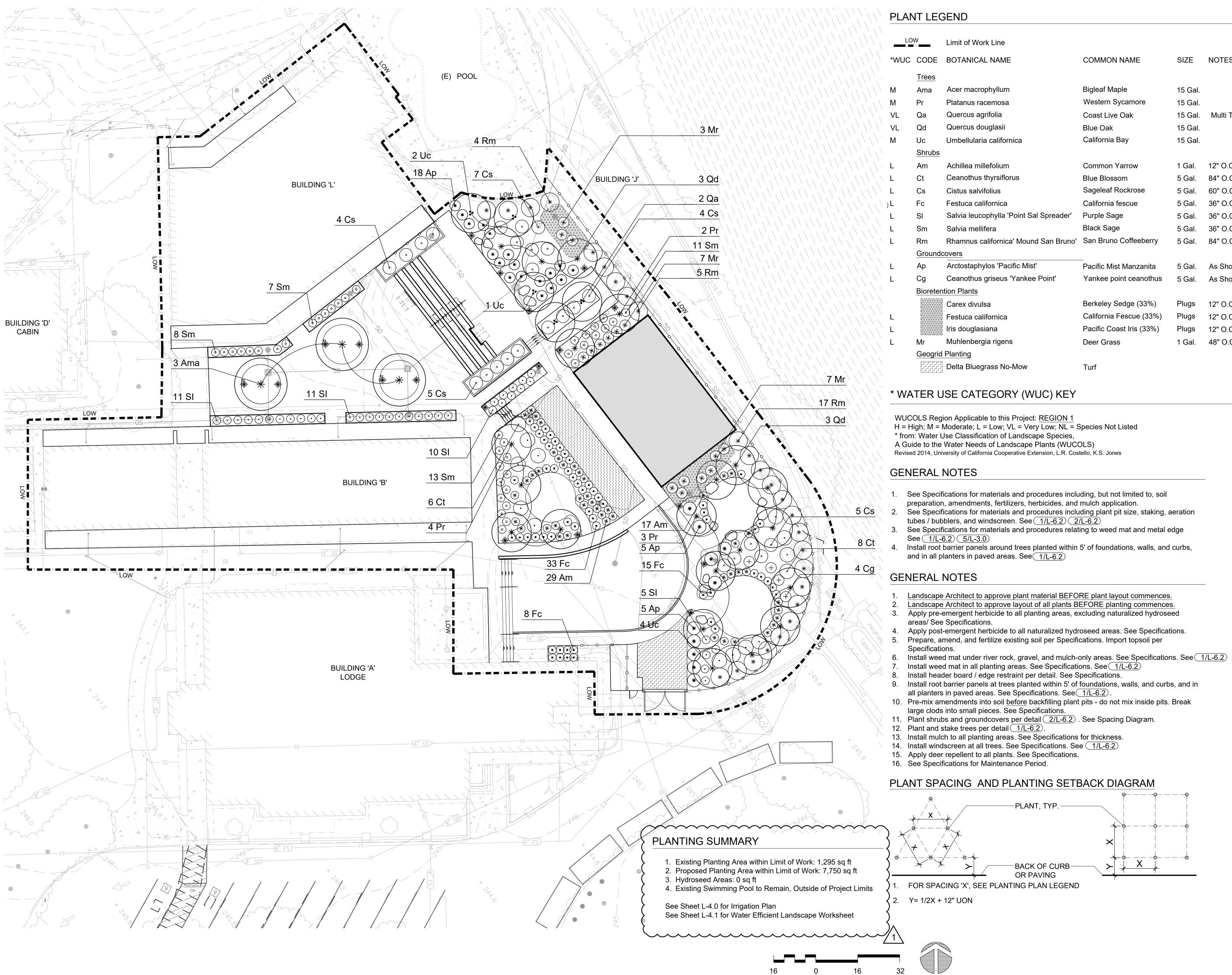


Drawing Title: **IRRIGATION PLAN**

Scale: 1" = 16'-0"



Revision:



LOW		Limit of Work Line			
*WUC	CODE	BOTANICAL NAME	COMMON NAME	SIZE	NOTES / SPACING
	Trees				
M	Ama	Acer macrophyllum	Bigleaf Maple	15 Gal.	
М	Pr	Platanus racemosa	Western Sycamore	15 Gal.	
VL	Qa	Quercus agrifolia	Coast Live Oak	15 Gal.	Multi Trunk
VL	Qd	Quercus douglasii	Blue Oak	15 Gal.	
М	Uc	Umbellularia californica	California Bay	15 Gal.	
	Shrubs				
L	Am	Achillea millefolium	Common Yarrow	1 Gal.	12" O.C.
L	Ct	Ceanothus thyrsiflorus	Blue Blossom	5 Gal.	84" O.C.
L	Cs	Cistus salvifolius	Sageleaf Rockrose	5 Gal.	60" O.C.
L	Fc	Festuca californica	California fescue	5 Gal.	36" O.C.
L	SI	Salvia leucophylla 'Point Sal Spreader'	Purple Sage	5 Gal.	36" O.C.
L	Sm	Salvia mellifera	Black Sage	5 Gal.	36" O.C.
L	Rm	Rhamnus californica' Mound San Bruno'	San Bruno Coffeeberry	5 Gal.	84" O.C.
	Ground	covers			
L	Ар	Arctostaphylos 'Pacific Mist'	Pacific Mist Manzanita	5 Gal.	As Shown
L	Cg	Ceanothus griseus 'Yankee Point'	Yankee point ceanothus	5 Gal.	As Shown
	Bioreten	tion Plants			
		Carex divulsa	Berkeley Sedge (33%)	Plugs	12" O.C.
L		Festuca californica	California Fescue (33%)	Plugs	12" O.C.
L		Iris douglasiana	Pacific Coast Iris (33%)	Plugs	12" O.C.
L	Mr	Muhlenbergia rigens	Deer Grass	1 Gal.	48" O.C.
	Geogrid	Planting			
		Delta Bluegrass No-Mow	Turf		

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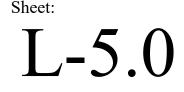
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PLANTING PLAN

Scale:1" = 16'-0"



Revision: