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PROJECT NAME

SINAPI
RESIDENCE

16968 BOHLMAN ROAD
SARATOGA, CA 95070
APN 517-30-013

REVISIONS	

GENERAL NOTES		AREA TABULATIONS		PROJECT INFORMATION		SHEET INDEX		VICINITY MAP			
1. CODES AND REGULATIONS	ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES, AS WELL AS ALL APPLICABLE STATE CODES & LOCAL CITY ORDINANCES, 2019 CALIFORNIA BUILDING CODE (C.B.C.) 2019 CALIFORNIA RESIDENTIAL CODE (C.R.C.) 2019 CALIFORNIA ELECTRICAL CODE (C.E.C.) 2019 CALIFORNIA PLUMBING CODE (C.P.C.) 2019 CALIFORNIA MECHANICAL CODE (C.M.C.) 2019 CALIFORNIA FIRE CODE (C.F.C.) 2019 CALIFORNIA ENERGY CODE (C.E.C.) 2019 CALIFORNIA GREEN CODE (C.G.C.) NOTHING ON THE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES & REGULATIONS.	1. SITE AREA GROSS AREA : = 13.41 AC. NET AREA : = 13.28 AC.		PROPERTY OWNERS ANTHONY AND NATASHA SINAPI PHONE: (669) 400-6406 MAILING ADDRESS 19982 LANARK LANE SARATOGA CA, 95070 PROJECT ADDRESS 16968 BOHLMAN ROAD SARATOGA, CA 95070 SITE GROSS AREA 13.41 AC SITE NET AREA 13.28 AC A.P.N. 517-30-013 TRACT MAP: 317-30 , PARCEL B ZONING HS-D1 -sr (100%) SETBACK REQUIREMENTS REQUIRED FRONT: 30' PROPOSED FRONT: 30'-5" SIDE: 30' SIDE: 30'-0"; 70'-4" REAR: 30' REAR: +/- 1,085' SCENIC ROAD: 100' LOCATED WITHIN DESIGNATED WILDLAND URBAN INTERFACE FIRE AREA YES MAX HEIGHT ALLOWED 35' PROPOSED 30.56' CONSTRUCTION TYPE V-B OCCUPANCY R-3/U STORIES 3 2 FIRE SPRINKLERS REQUIRED (NFPA-13D) EXISTING USE RESIDENTIAL, VACANT LOT		ARCHITECTURAL INDEX A-0.0 COVER SHEET C-1.0 TOPOGRAPHIC MAP A-1.0 PROPOSED SITE PLAN A-2.0 PROPOSED FLOOR PLAN A-2.1 LOWER FLOOR PLAN A-3.0 PROPOSED ROOF PLAN A-4.0 EXTERIOR ELEVATIONS A-4.1 EXTERIOR ELEVATIONS A-5.0 SECTIONS A-5.1 SECTIONS SP-1 SEPTIC PLAN		<div>PROJECT SITE</div>			
2. SITE VERIFICATION	GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL EXAMINE THOROUGHLY THE SITE AND SATISFY THEMSELVES AS TO THE CONDITIONS TO WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK, AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE SAME. NO EXTRA COST TO THE OWNER WILL BE ALLOWED RESULTING FROM HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS AFFECTING HIS WORK.	2. FLOOR AREA LOWER FLOOR AREA : = 1,396 SQ. FT. UPPER FLOOR AREA : = 2,485 SQ. FT. UPPER FLOOR AREA DBL. COUNTED: = 221 SQ. FT. TOTAL CONDITIONED FLOOR AREA : = 4,102 SQ. FT. LOWER FLOOR CABANA/ KITCHEN: = 340 SQ. FT. UPPER FLOOR AREA PORCH & BALCONY: = 67 SQ. FT. UPPER FLOOR AREA DBL.COUNTED @ BALCONY = 6 SQ. FT. GARAGE AREA : = 605 SQ. FT. TOTAL UNCONDITIONED FLOOR AREA : = 1,018 SQ. FT. TOTAL FLOOR AREA: = 5,120 SQ. FT.									
3. MEASUREMENTS	CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS BY TAKING FIELD MEASUREMENTS; FOR PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED. SHOULD THERE BE ANY DISCREPANCIES, IMMEDIATELY REPORT TO THE ARCHITECT IN WRITING PRIOR TO COMMENCEMENT OF ANY RELATED WORK. IN THE EVENT OF THE CONTRACTOR'S FAILURE TO DO SO, THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE CORRECTION OR ADJUSTMENT OF ANY SUCH RELATED WORK OR ERRORS.										
4. DIMENSIONS	DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.										
5. DISCREPANCIES	MINOR DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS ARE TO BE EXPECTED. CONDITIONS REQUIRING CLARIFICATION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.										
6. MANUFACTURER'S SPECIFICATIONS	CONTRACTOR AND ALL SUBCONTRACTORS SHALL INSTALL OR APPLY, AND PROTECT ALL PRODUCTS, MATERIALS, PROCESSES, METHODS, COATINGS, EQUIPMENT, APPLIANCES, HARDWARE, SOFTWARE, ETC. IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, DETAILS & INSTRUCTIONS, TYPICAL. ALL MANUALS OR INSTRUCTIONS PROVIDED BY THESE MANUFACTURERS FOR PROPER OPERATION AND MAINTENANCE OF THE ABOVE ARE TO BE DELIVERED TO THE OWNER AT THE COMPLETION AND FINAL INSPECTION OF THE PROJECT.										
7. WINDOWS AND DOORS	CONTRACTOR SHALL VERIFY THE QUANTITY, ROUGH OPENINGS AND TYPES OF DOORS AND WINDOW AND DOOR SCHEDULES IN RELATION TO FRAMING PER FIELD PRIOR TO ORDERING. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.										
8. CALGREEN STANDARDS	ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR. PER CGBSC SEC. 4.504.2.4 PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR ANY OWNER/BUILDER) PROJECTS MUST BE PROVIDED TO THE COUTY OF SANTA CLARA BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBSC SECTION 4.504.										
		CONSULTANT DIRECTORY				PROJECT DESCRIPTION					
		ARCHITECT METRO DESIGN GROUP CONTACT :TOM SLOAN A.I.A. 1475 S. BASCOM AVE. # 208 CAMPBELL, CALIFORNIA 95008 (408) 871-1071 PHONE TOPO SURVEY & BOUNDARIES ALPHA LAND SURVEYS, INC. A. BRODIE FRENCH, PSL 9301 4444 SCOTTS VALLEY DR #7 SCOTTS VALLEY, CA 95066 (831) 229-2032 CELL (831) 438-4453 OFFICE		GEOLOGICAL & GEOTECHNICAL ENGINEER UPP GEOTECHNOLOGY 750 CAMDEN AVE, SUITE A CAMPBELL, CA 95008 (408) 866-5436 PHONE (408) 941-6824 FAX SEPTIC SYSTEM ENGINEER S.R. HARTSELL, R.E.H.S. P.O. BOX 342 PACIFICA, CA 94044 (650) 888-2419 PHONE srhartsell@gmail.com		APPLICATION FOR DESIGN REVIEW TIER II FOR A NEW RESIDENCE ON A VACANT LOT. PROJECT DEVELOPMENT INCLUDES NEW DRIVEWAY, WALKWAYS, PATIOS, WATER STORAGE AND SEPTIC SYSTEM. TWO OAK TREES, ONE FIR TREE AND SEVEN BAY TREES ARE PROPOSED TO BE REMOVED.					
						PROJECT DESCRIPTION					



COVER SHEET

GENERAL NOTES
PROJECT INFORMATION
AREA TABULATIONS
PROJECT DESCRIPTION
VICINITY MAP
SHEET INDEX
CONSULTANT DIRECTORY

DATE : 3/26/2021

SCALE : AS-NOTED

DRAWN BY : D.Z.

CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 20695

SHEET NUMBER

A-0.0

427-M-29
PARCEL A

APN: 517-30-014

427-M-29
PARCEL B

APN: 517-30-017

154-M-32

833-M-15

BASIS OF BEARINGS

BEARINGS FOR THIS MAP ARE BASED ON THE CENTERLINE OF BOHLMAN (aka BOLLMAN) ROAD BETWEEN POINTS #48 AND #49, AS SHOWN ON THAT MAP FILED IN BOOK 145 OF MAPS, PAGE 27, SANTA CLARA COUNTY RECORDS, AND WAS ESTABLISHED BETWEEN FOUND MONUMENTS AS SHOWN HEREON.

NORTH 20°53' WEST

BASIS OF ELEVATIONS

ELEVATIONS FOR THIS MAP ARE BASED ON AN ASSUMED DATUM. SITE BENCHMARK IS CONTROL POINT #50, SET SPIKE ELEVATION = 1000.00'

TREE NOTE

TREE DIAMETERS ARE MEASURED AT APPROXIMATELY CHEST HEIGHT. ONLY TREES WITH A DIAMETER OF 8" OR GREATER WERE LOCATED DURING THIS SURVEY. USE CAUTION WHEN DESIGNING CLOSELY TO TREE TRUNKS BY TAKING INTO CONSIDERATION THE POSSIBLE "SPREAD" OR "LEAN" OF TREES.

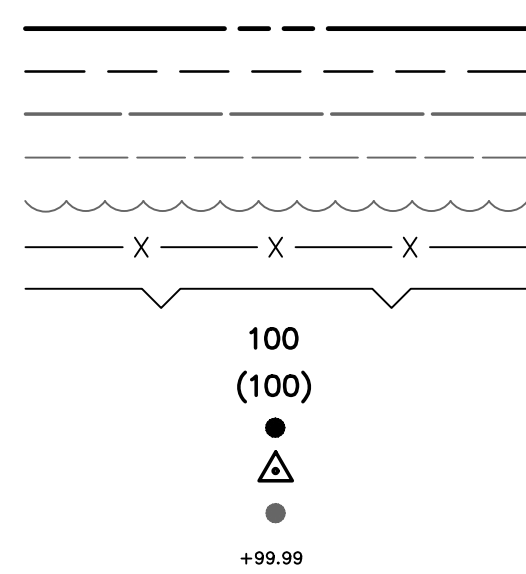
UTILITY NOTE

UTILITY LOCATIONS ARE APPROXIMATE. UTILITIES SHOWN ON THIS MAP WERE DETERMINED FROM SURFACE EVIDENCE OF UNDERGROUND LOCATIONS, DURING A SURVEY BY ALPHA LAND SURVEYS IN NOVEMBER 2020.

RECORD BOUNDARY NOTE

THE RECORD BOUNDARY SHOWN IS BASED ON FOUND MONUMENTS. A TITLE REPORT WAS NOT PROVIDED FOR THE PREPARATION OF THIS MAP. EASEMENTS SHOWN ARE PER RECORD DATA AS NOTED HEREON. PARCELS MAY BE SUBJECT TO EASEMENTS AND RIGHT OF WAYS OF RECORD THAT ARE NOT SHOWN ON THIS MAP.

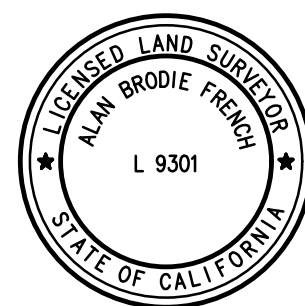
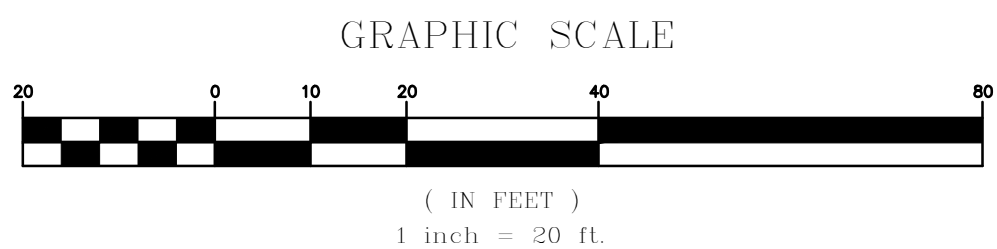
LEGEND



PROPERTY LINE
EASEMENT LINE
CONTOUR INTERVAL, MAJOR
CONTOUR INTERVAL, MINOR
DIP LINE
FENCE LINE
GRADE BREAK
DISTANCE MEASURED
RECORD DATA
FOUND MONUMENT, AS NOTED
RANDOM CONTROL POINT
TREE, AS NOTED
SPOT ELEVATION

CONTOUR INTERVAL = 2 FOOT

DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF

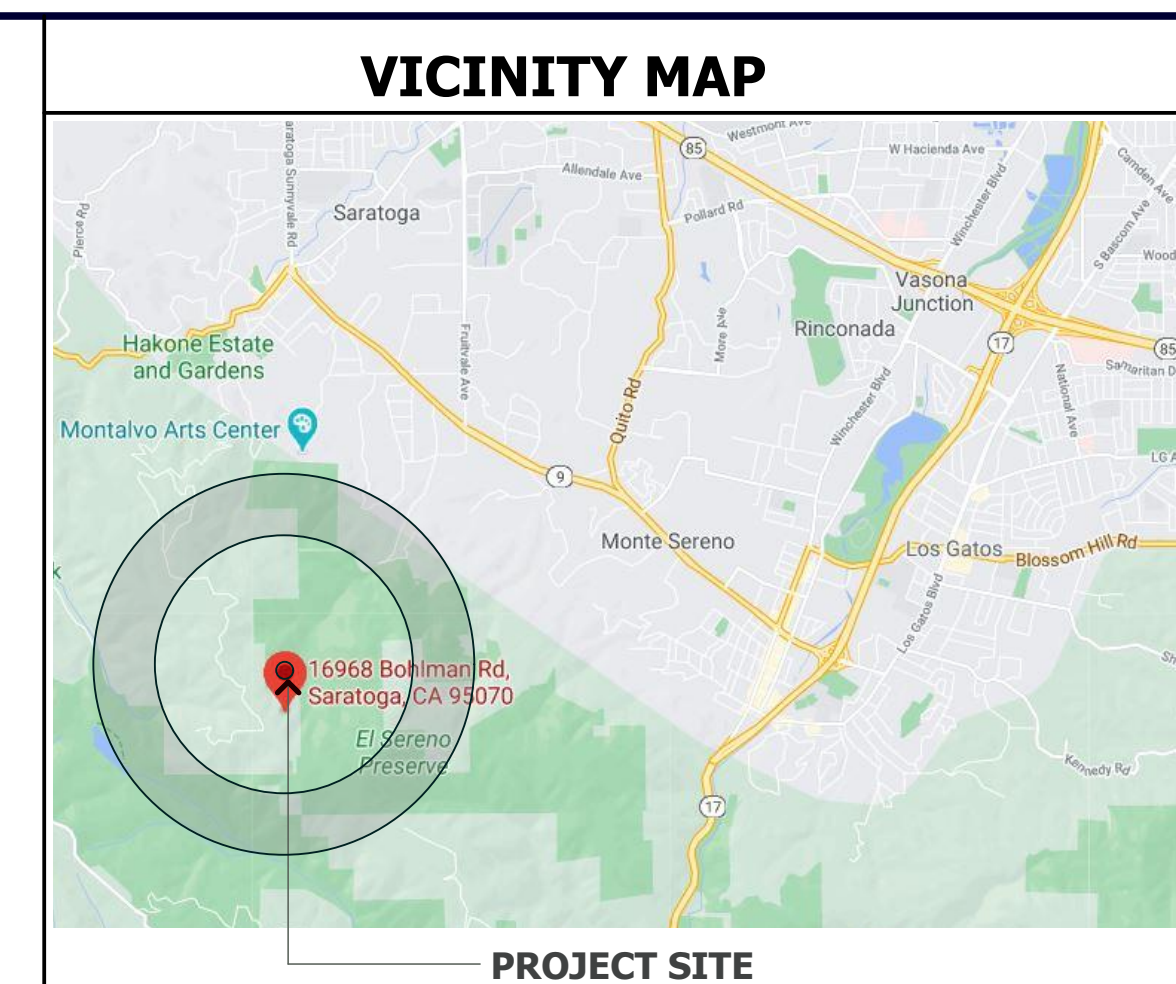
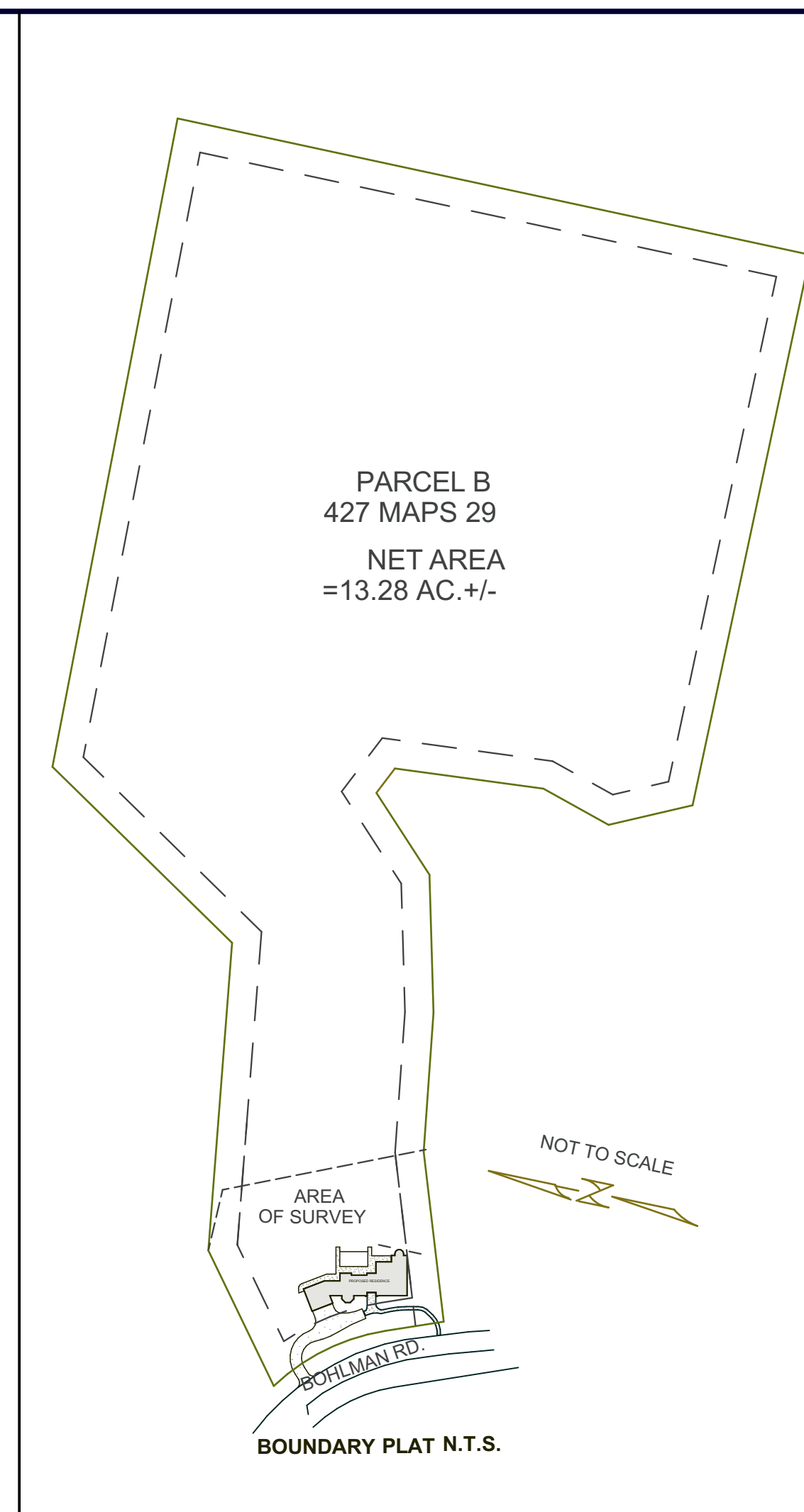
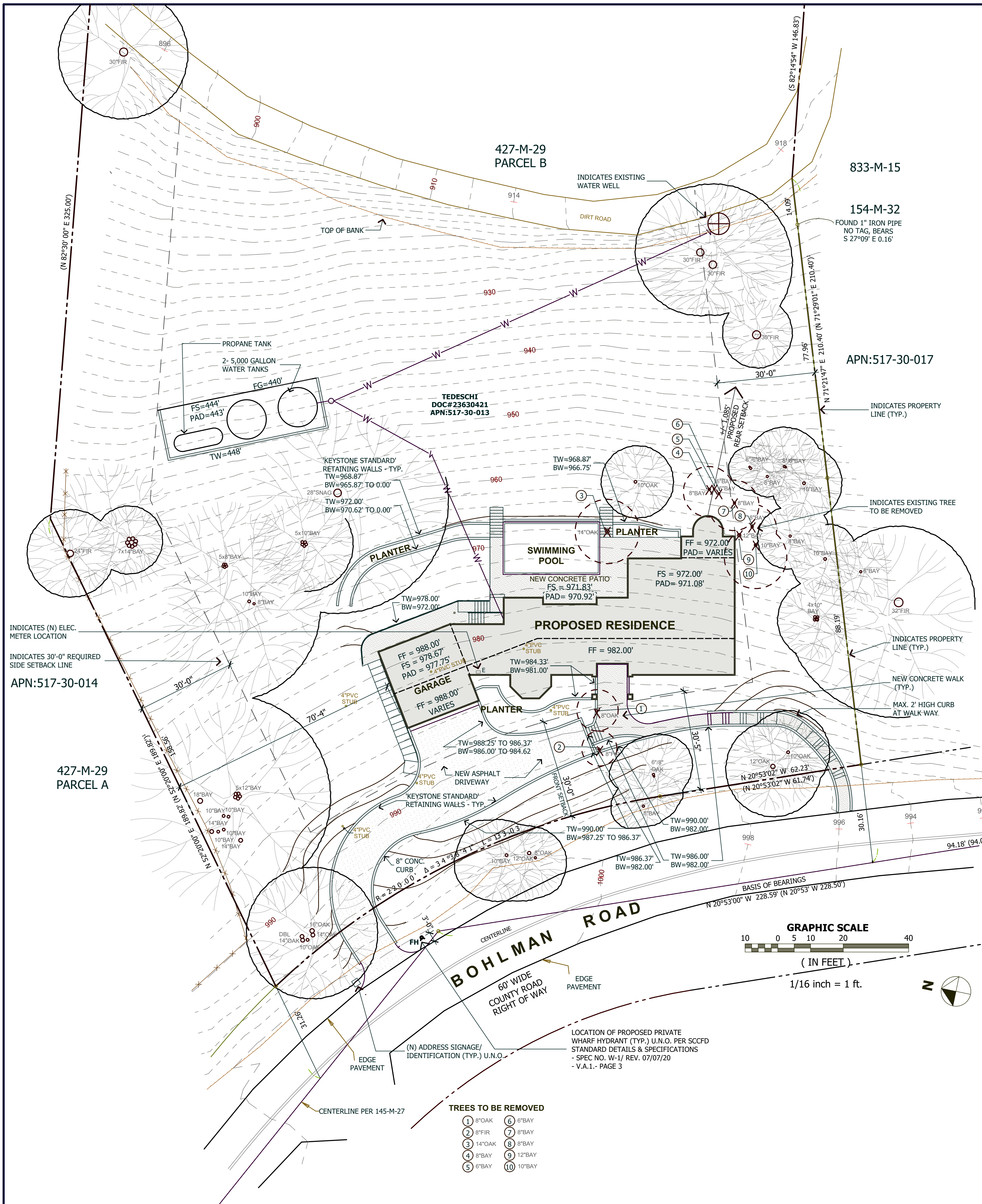


Alan Brodie French

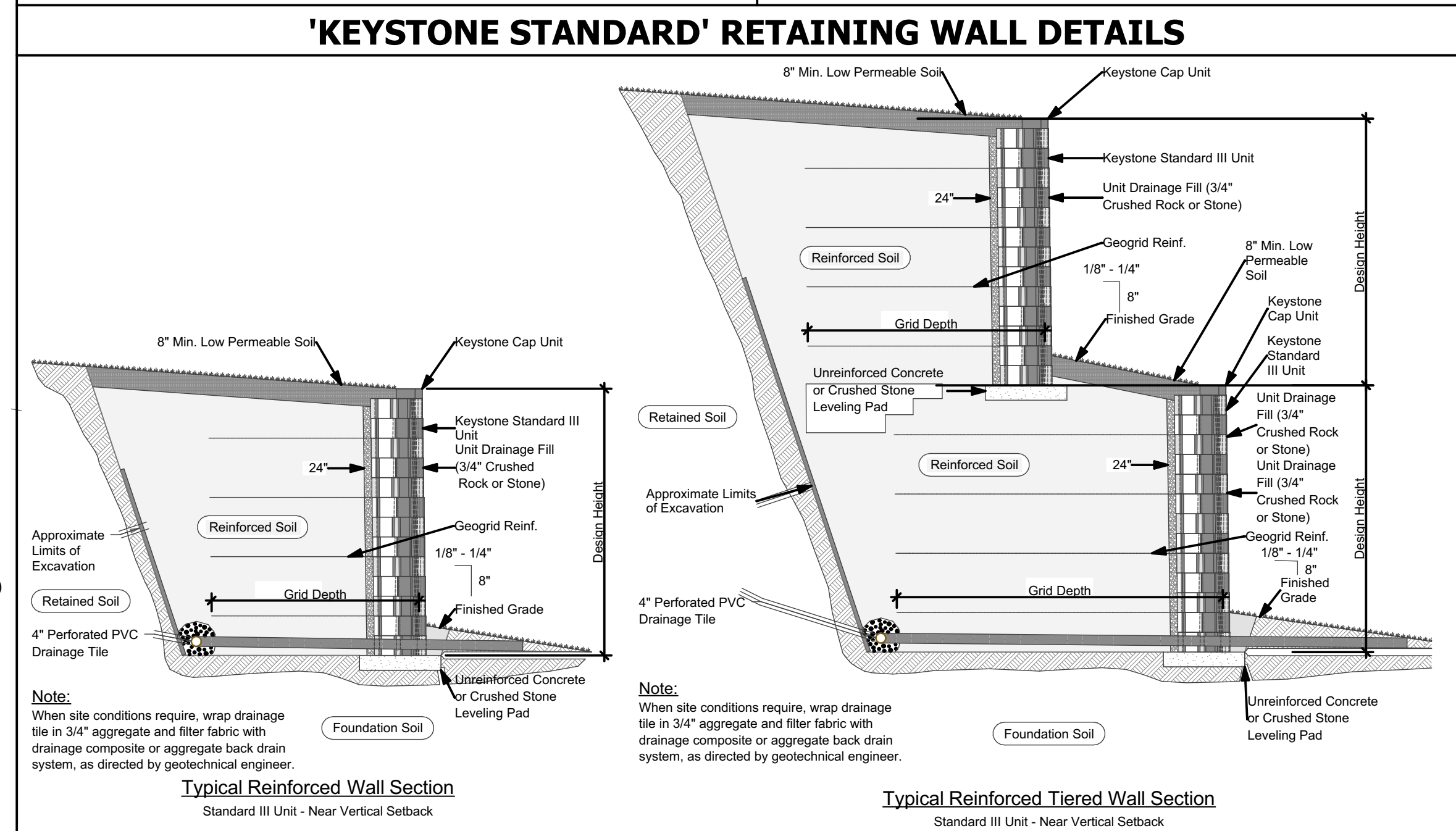
SANTA CLARA COUNTY APN: 517-30-013

ALPHA LAND SURVEYS, INC.

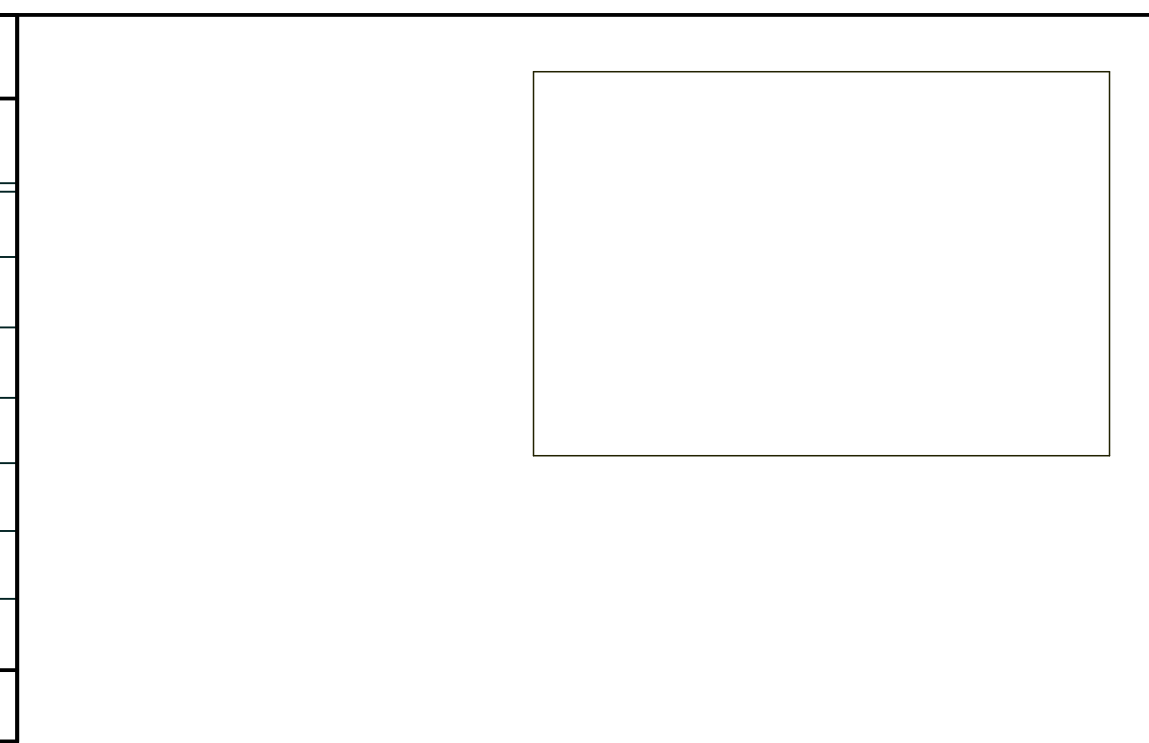
4444 SCOTTS VALLEY DR. #7 SCOTTS VALLEY, CA 95066 (831) 438-4453	P.O. BOX 1146 MORGAN HILL, CA 95038 (831) 438-4453	TOPOGRAPHIC MAP OF A PORTION OF 16968 BOHLMAN ROAD SARATOGA, CALIFORNIA	SHEET 1 OF ONE C-1.0
1" = 20'	DATE: 11/16/20	JOB#: 2020-176	



AREA TABULATIONS	
1. SITE AREA	
GROSS AREA :	= 13.41 AC.
NET AREA :	= 13.28 AC.
2. FLOOR AREA	
LOWER FLOOR AREA :	= 1,396 SQ. FT.
UPPER FLOOR AREA :	= 2,485 SQ. FT.
UPPER FLOOR AREA DBL. COUNTED:	= 221 SQ. FT.
TOTAL CONDITIONED FLOOR AREA :	= 4,102 SQ. FT.
LOWER FLOOR CABANA/ KITCHEN:	= 340 SQ. FT.
UPPER FLOOR AREA PORCH & BALCONY:	= 67 SQ. FT.
UPPER FLOOR AREA DBL.COUNTED @ BALCONY =	6 SQ. FT.
GARAGE AREA :	= 605 SQ. FT.
TOTAL UNCONDITIONED FLOOR AREA :	= 1,018 SQ. FT.
TOTAL FLOOR AREA:	= 5,120 SQ. FT.
3. IMPERVIOUS AREA	
BUILDING FOOTPRINT :	= 3,098 SQ. FT.
CONCRETE PATIO, WALKS :	= 1,548 SQ. FT.
SWIMMING POOL:	= 497 SQ. FT.
DRIVEWAY:	= 1,683 SQ. FT.
TOTAL AREA :	= 6,826 SQ. FT.



EARTHWORK QUANTITIES				
TYPE OF WORK	LOCATION	CUT	FILL	TOTAL
GRADING	HOUSE AND GARAGE	559 C.Y.	6 C.Y.	565 C.Y.
	DRIVEWAY	84 C.Y.	72 C.Y.	156 C.Y.
	LANDSCAPE	457 C.Y.	457 C.Y.	914 C.Y.
	POOL	67 C.Y.	0 C.Y.	67 C.Y.
TOTAL	-	1,167 C.Y.	535 C.Y.	1,702 C.Y.
EXPORT	-	-	-	632 C.Y.
MAXIMUM CUT	BUILDING PAD	11'-0"	-	-
MAXIMUM FILL	DRIVEWAY	-	4'-0"	-



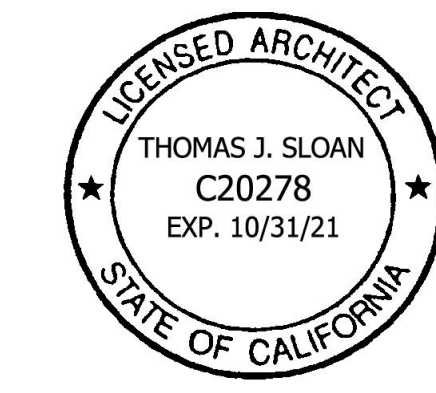
**M E T R O
D E S I G N
G R O U P**

ARCHITECTURE • PLANNING • INTERIORS

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PROJECT NAME
**SINAPI
RESIDENCE**
16968 BOHLMAN ROAD
SARATOGA, CA 95070
APN 517-30-013

[illegible]

SITE PLAN

BOUNDARY PLAT
AREA TABULATIONS
VICINITY MAP
GRADING QUANTITIES

DATE : 3/26/2021

SCALE : AS NOTED

DRAWN BY : D.Z.

CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 20695

SHEET NUMBER

A-1.0



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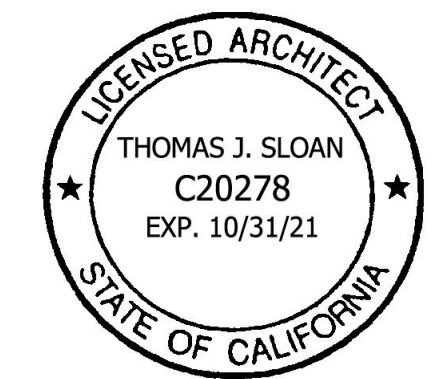
PROJECT NAME

**SINAPI
RESIDENCE**

16968 BOHLMAN ROAD
SARATOGA, CA 95070
APN 517-30-013

REVISIONS

NO.	DESCRIPTION	DATE



**MAIN FLOOR
PLAN**

DATE : 3/26/2021

SCALE : 1/4" = 1'- 0"

DRAWN BY : TS

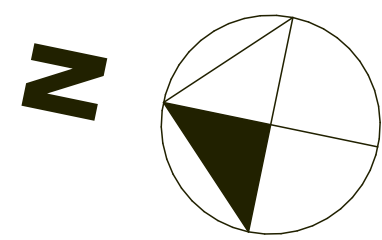
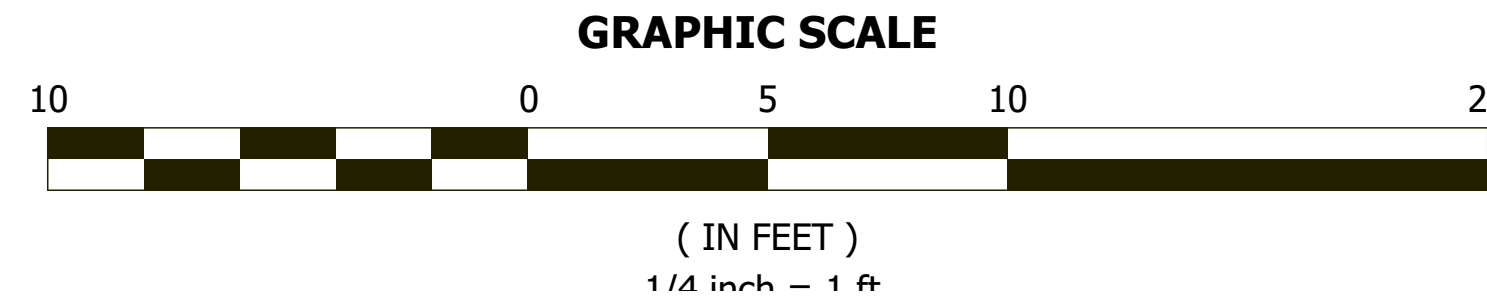
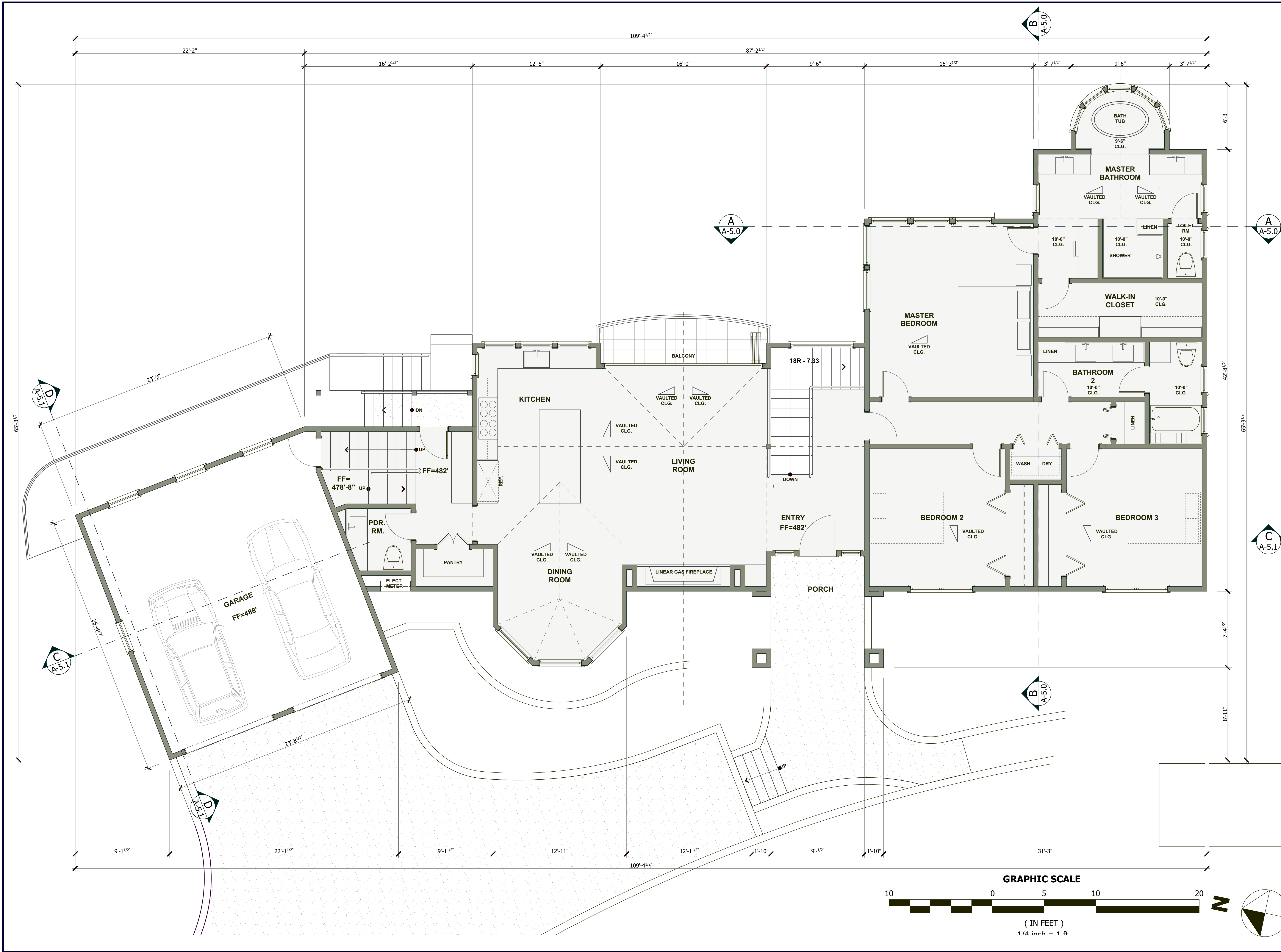
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 20695

SHEET NUMBER

A-2.0





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PROJECT NAME

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16968 BOHLMAN ROAD
SARATOGA, CA 95070
APN 517-30-013

REVISIONS

NO.	DESCRIPTION	DATE



**UPPER FLOOR
PLAN**

DATE : 3/26/2021

SCALE : 1/4" = 1'- 0"

DRAWN BY : TS

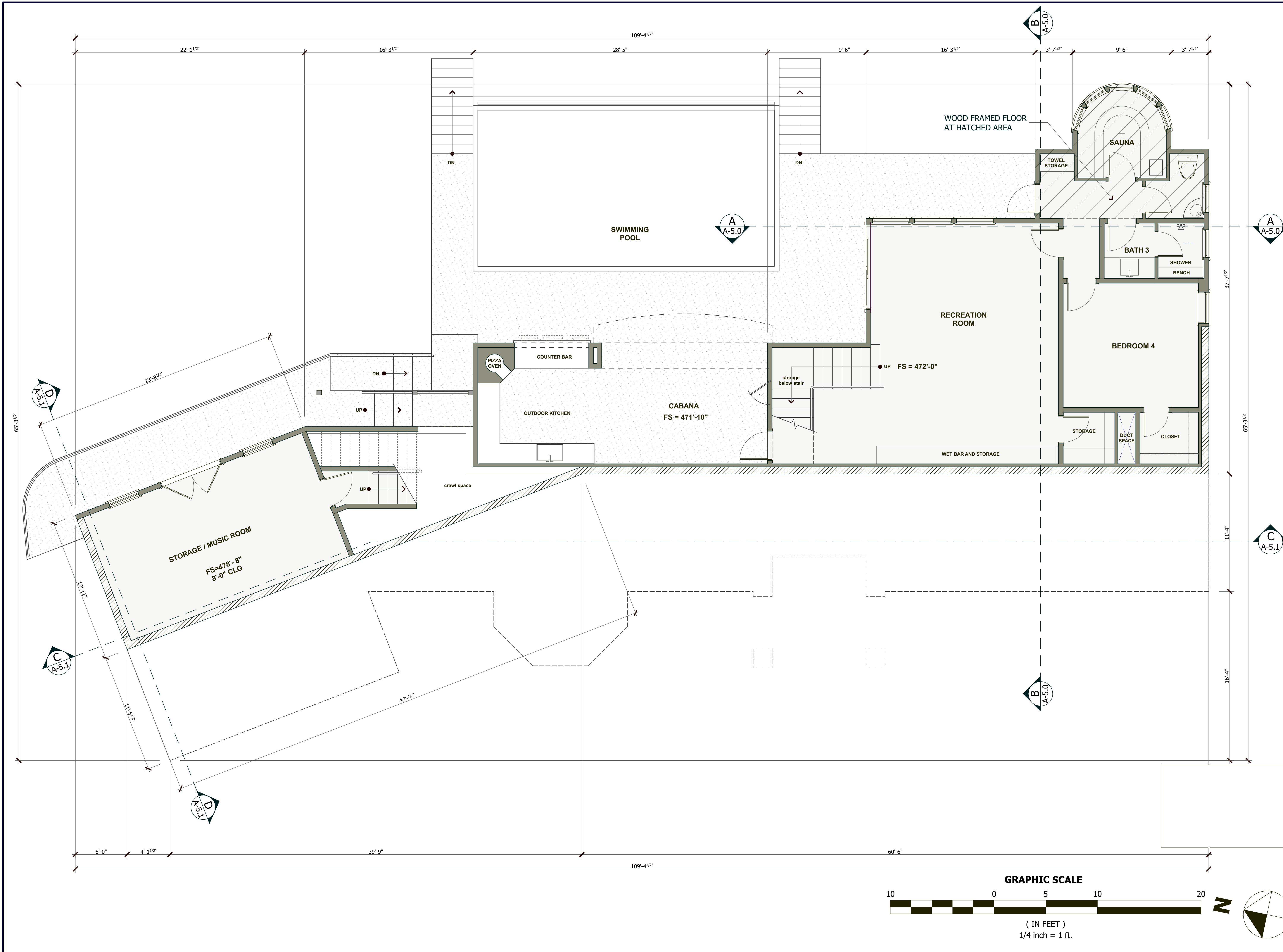
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 20695

SHEET NUMBER

A-2.1





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PROJECT NAME

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RESIDENCE**

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SARATOGA, CA 95070
APN 517-30-013

REVISIONS



**PROPOSED
ROOF PLAN**

DATE : 3/26/2021

SCALE : 1/4" = 1'- 0"

DRAWN BY : TS

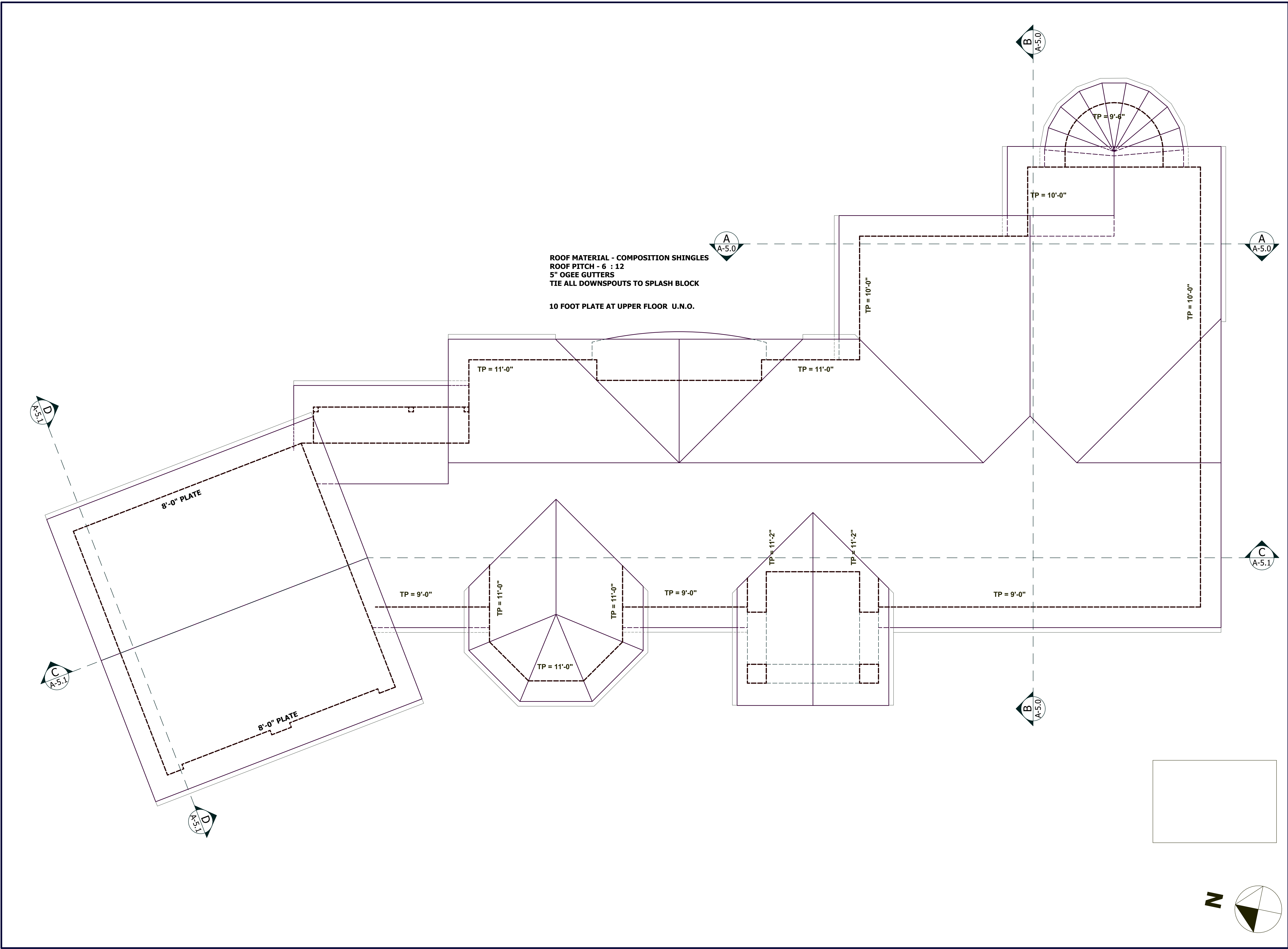
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 20695

SHEET NUMBER

A-3.0





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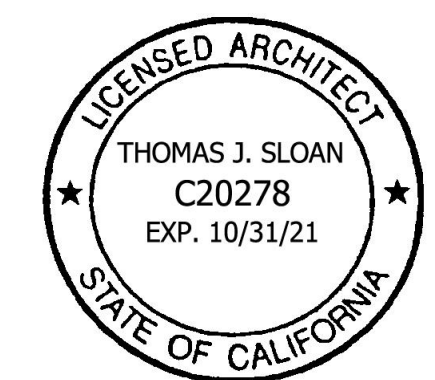
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PROJECT NAME

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RESIDENCE**

16968 BOHLMAN ROAD
SARATOGA, CA 95070
APN 517-30-013

REVISIONS



**EXTERIOR
ELEVATIONS**

WEST ELEVATION
EAST ELEVATION

DATE : 3/26/2021

SCALE : 1/4" = 1'-0"

DRAWN BY : D.Z.

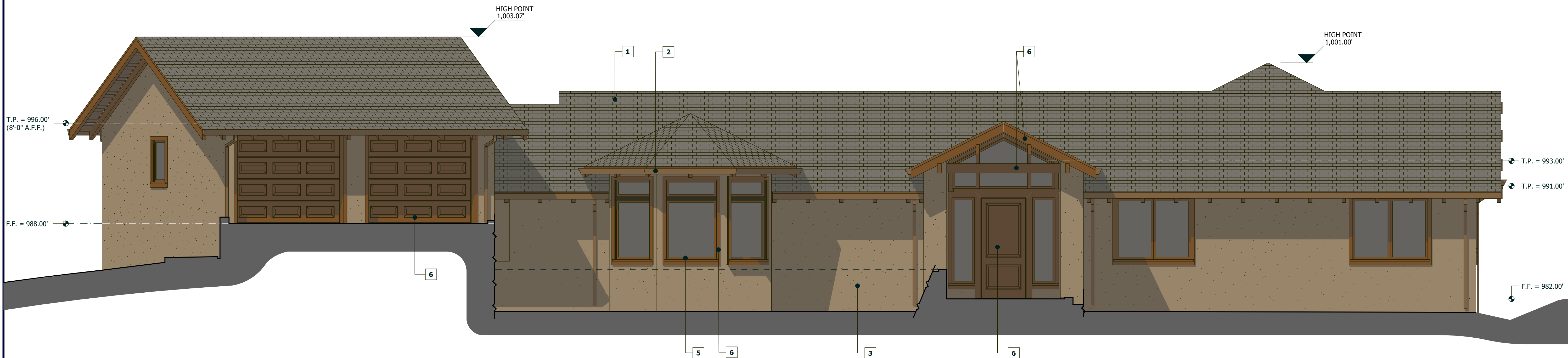
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 20695

SHEET NUMBER

A-4.0



WEST ELEVATION



EAST ELEVATION

EXTERIOR FINISHES

- | | | |
|---|---|---|
| 1 | ROOF: | CLASS -A 'CERTAINTED' ASPHALT SHINGLES STYLE - LANDMARK PRO
- COLOR- COBBLE STONE LRV 35 |
| 2 | GUTTERS, DOWNSPOUTS
SCUPPERS: | ARCHITECTURAL COPPER LRV 6 |
| 3 | EXTERIOR WALLS &
RETAINING WALLS | LATEX COLOR INTEGRAL STUCCO
-MEDIUM TAN COLOR
TO MATCH KELLY MOORE KM5716-3
'RODEO ROUNDUP'-LRV 30 |
| 4 | WAINSCOT: | 'BUECHEL STONE' LEDGESTONE
- NATURAL STONE VENEER
- CINNAMON BARK COLOR LRV 25 |
| 5 | WINDOWS/EXTERIOR
DOORS, EXTERIOR WALLS
METAL CLAD | ALUMINUM WOOD CLAD /
ALUMINUM CLAD 'DARK BRONZE'
ANODIZED ALUMINUM, LRV 5 |
| 6 | BEAMS, RAFTER TAILS,
FASCIA BOARD/ WINDOW &
DOOR EXTERIOR CASINGS | CINNAMON STAINED DOUGLAS FIR WOOD/
'AZEK, BORAL OR SIMILAR' TRIMS PAINTED
TO MATCH WOOD COLOR, LRV 15 |



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16968 BOHLMAN ROAD
SARATOGA, CA 95070
APN 517-30-013

REVISIONS

NO.	DESCRIPTION	DATE



EXTERIOR ELEVATIONS

DATE : 3/26/2021

SCALE : 1/4" = 1'-0"

DRAWN BY : D.Z.

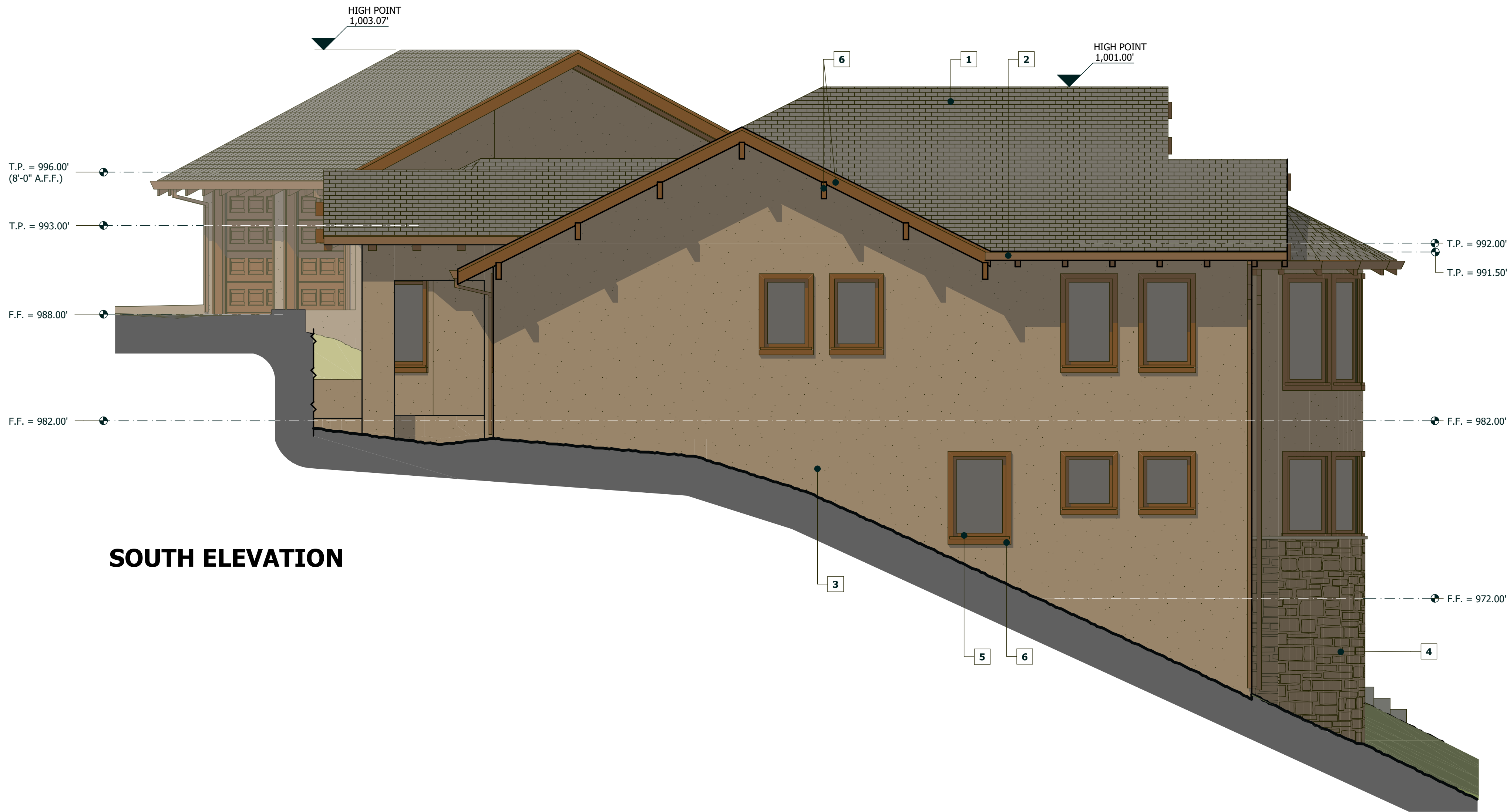
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 20695

SHEET NUMBER

A-4.1



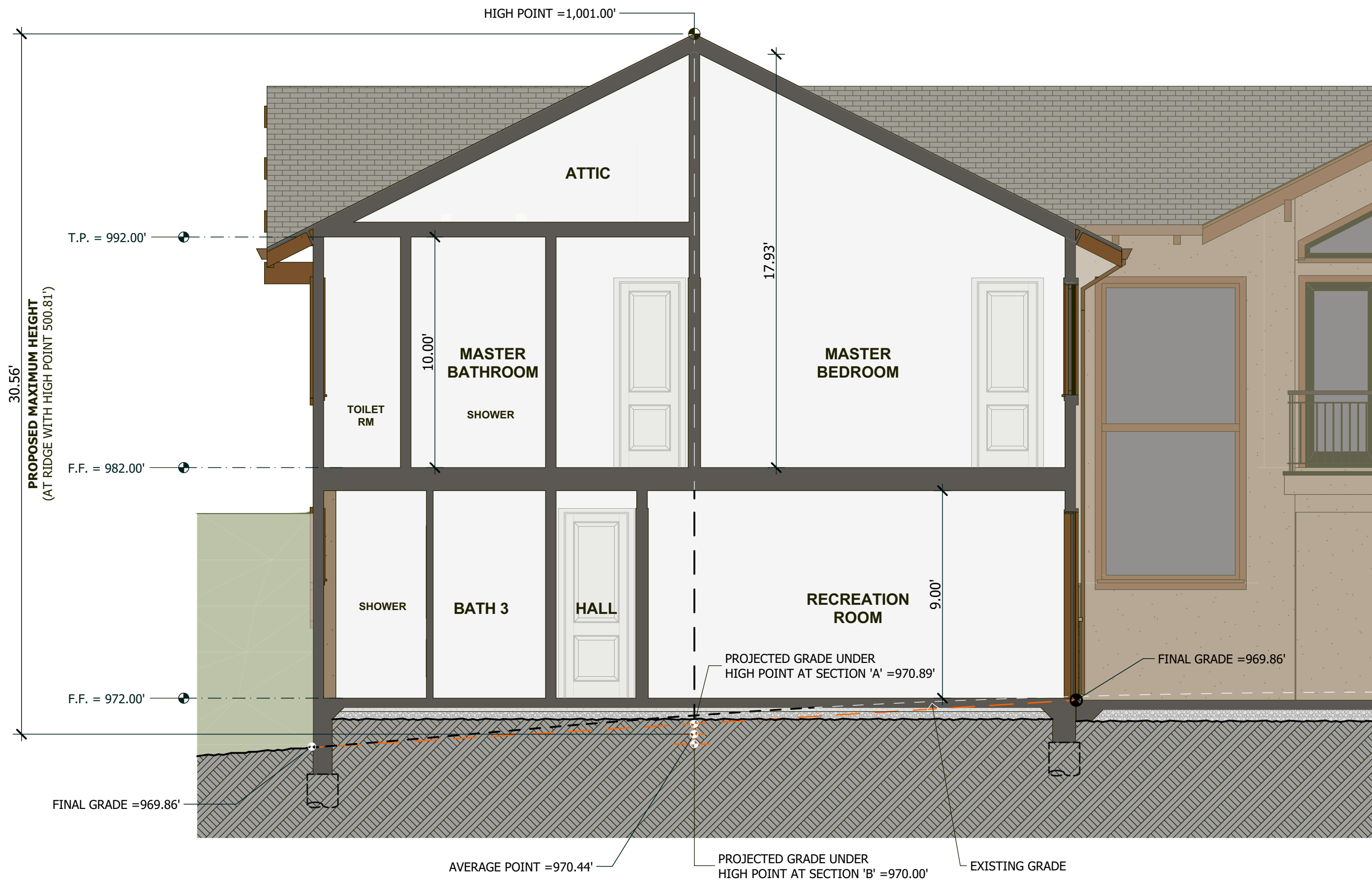
SOUTH ELEVATION



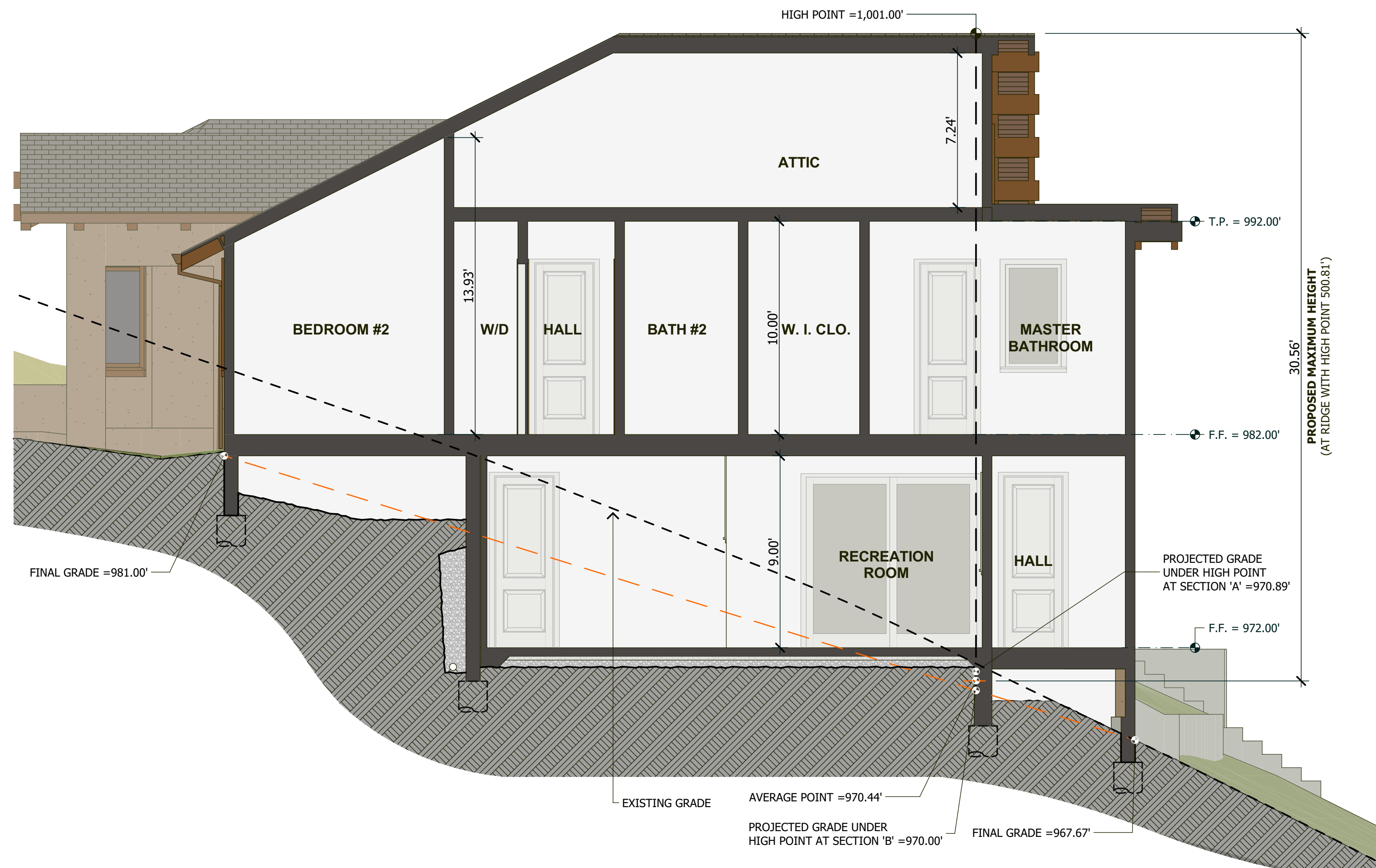
NORTH ELEVATION

EXTERIOR FINISHES

1	ROOF:	CLASS -A 'CERTAINTED' ASPHALT SHINGLES STYLE - LANDMARK PRO - COLOR- COBBLE STONE LRV 35
2	GUTTERS, DOWNSPOUTS SCUPPERS:	ARCHITECTURAL COPPER LRV 6
3	EXTERIOR WALLS & RETAINING WALLS	LATEX COLOR INTEGRAL STUCCO -MEDIUM TAN COLOR TO MATCH KELLY MOORE KM5716-3 'RODEO ROUNDUP'-LRV 30
4	WAINSCOT:	'BUECHEL STONE' LEDGESTONE - NATURAL STONE VENEER - CINNAMON BARK COLOR LRV 25
5	WINDOWS/EXTERIOR DOORS, EXTERIOR WALLS METAL CLAD	ALUMINUM WOOD CLAD / ALUMINUM CLAD 'DARK BRONZE' ANODIZED ALUMINUM, LRV 5
6	BEAMS, RAFTER TAILS, FASCIA BOARD/ WINDOW & DOOR EXTERIOR CASINGS	CINNAMON STAINED DOUGLAS FIR WOOD/ 'AZEK, BORAL OR SIMILAR' TRIMS PAINTED TO MATCH WOOD COLOR, LRV 15



SECTION A-A



SECTION B-B

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PROJECT NAME
**SINAPI
RESIDENCE**
16968 BOHLMAN ROAD
SARATOGA, CA 95070
APN 517-30-013

REVISIONS	



**PROPOSED
SECTIONS**

SECTION 'A'
SECTION 'B'
DATE : 3/26/2021
SCALE : 1/4" = 1'-0"
DRAWN BY : D.Z.
CHECKED BY : TS
ARCHITECT : TOM SLOAN
PROJECT NO : 20695

SHEET NUMBER

A-5.0



1475 S. BASCOM AVE SUITE 208
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SINAPI RESIDENCE

REVISIONS	



PROPOSED SECTIONS

SECTION 'C'
SECTION 'D'

DATE : 3/26/2021

SCALE : 1/4" = 1'-0"

DRAWN BY : D.Z.

CHECKED BY : TS

ARCHITECT : TOM SLOAN

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