

RI Engineering, Inc.



Civil Engineering
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www.riengineering.com

December 5, 2022

County of Santa Clara
Department of Planning and Development
County Government Center, East Wing
70 West Hedding Street, 7th Floor
San Jose, California 95110

Subject: Response to County of Santa Clara Department of Planning and Development Comments on the Required offsite improvements for building site approval
Address: 0 Sleepy Valley Road
APN: 776-17-007
County File No. PLN21-108 – Building Site Approval and Grading Approval

We have prepared this response letter based on the email received from Robert Cain dated October 7, 2022. The following responses correspond to the particular comments provided. *RI Engineering responses are in italics and blue.*

If the applicant does not intend to make the required offsite improvements, please do one or both of the following:

- 1) Seek an Exception from the State Minimum Fire Safe Regulations from Cal Fire

RI ENGINEERING RESPONSE: RI Engineering contacted Carlos Alcantar of Cal Fire, who stated Cal Fire will deny all exception requests. However, he stated the county has jurisdiction to override Cal Fire and approve projects.

- 2) Provide the Planning Office with a cost estimate of the off-site improvements so that County Staff can evaluate the possibility of waiving or reducing requirements. This estimate should include the following information:
 - a. Description and map of project's access route up to a road that clearly meets the Fire Safe Regulations (e.g., highway 17) and distance of each segment. [Note: Jurisdictional boundaries are irrelevant for purposes of the Regulations and, consequently, the "takings" analysis.]

RI ENGINEERING RESPONSE: The attached exhibit titled "Project Access Route" details the project's access route beginning at the intersection of Sycamore Drive and Armsby Lane up to the property in question. Sycamore Drive is a county maintained road that appears to meet Fire Safe Regulations.

- b. Explanation of whether access route is a dead-end road that exceeds maximum allowed length in Regulations.



RI ENGINEERING RESPONSE: Armsby Lane is a dead end road approximately 7,400 feet long. Per “§1273.08 Dead-end Roads” in the SRA Fire Safe Regulations: parcels zoned for 20 acres or larger have a maximum road length of 5,280 feet. The existing access route to the subject property is 3,575 feet, which does not exceed the maximum allowed length. Additionally, a fire turnaround is provided at our driveway.

- c. Whether the road has been dedicated to public use (e.g., as a condition of a subdivision approval), but not accepted into the County-maintained system.

RI ENGINEERING RESPONSE: RI Engineering does not have knowledge if roadway was dedicated to the county. If so, it was not accepted.

- d. The estimated cost of bringing the entire portion of each road providing access to the subject parcel into compliance with the Regulations. This estimate should be based on a preliminary design level of analysis, identify each cost category, and explain all assumptions. (See attached example.)

RI ENGINEERING RESPONSE: The attached “Cost Estimate A” details the proposed improvements to comply with regulations. This includes asphalt widening to 20 feet, and bridge replacement. The estimated cost is \$710,300.

- e. The approximate total number of parcels (developed and undeveloped) that are served by the access road(s).

RI ENGINEERING RESPONSE: There are 41 developed parcels and 22 undeveloped parcels served by the access road.

- f. If the total cost of bringing the access roads into compliance with the Regulations is very high, identify a subset of improvements that could be made that address particularly problematic areas and the associated cost estimate.

RI ENGINEERING RESPONSE: The cost estimate B attached details an alternative improvement solution. The estimated cost is \$19,000. The alternative improvements are shown on the attached Road Study & Improvements. The improvements include gravel shoulders at narrow sections of access road, and gravel approach at bridge crossing.

If there are questions or comments to RI Engineering’s responses please contact us.

Sincerely,
RI Engineering Inc.

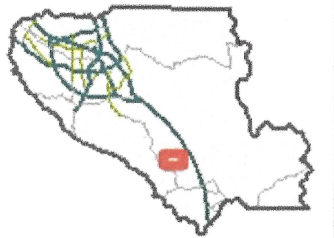
Mark Grofcsik
RCE # 83644





Attachments

- Project Access Route Map
- Cost Estimate A
- Cost Estimate B
- Road Study & Improvements Plan



- Legend**
- City Labels
 - Cities
 - Counties
 - Major Roads**
 - Freeways
 - Highways, Routes
 - Expressways
 - Arterials - Major
 - Arterials
 - Streets**
 - Parcels**
 - Condos
 - Parcels

1:20,019



0.6 0 0.32 0.6 Miles

Cost Estimate A



Armsby Lane Entire Portion to Meet Fire Safe Regulations
Preliminary Engineer's Estimate of Probable Costs
For roadway improvements for house construction @ Sleepy Hollow Road
Santa Clara County, CA
12/5/2022
Construction Costs

By: RI Engineering, Inc.

Item	Item Description	Unit	Quantity	Unit Price	Item Cost
Roadway Improvements					
1	6" Aggregate Baserock and Compact	CY	300	\$ 80.00	\$ 24,000.00
2	2.5" Asphalt Pavement	TON	225	\$ 250.00	\$ 56,250.00
Roadway Improvements Subtotal:					\$ 80,300.00
Bridge Improvements					
8	Remove existing structure	LS	1	\$ 15,000.00	\$ 15,000.00
9	Install New 36' x 24' Bridge	LS	1	\$ 605,000.00	\$ 605,000.00
Bridge Improvements Subtotal					\$ 620,000.00
General					
14	Mobilization	LS	1	\$ 10,000.00	\$ 10,000.00
General Subtotal:					\$ 10,000.00
Total Cost Estimate:					\$ 710,300.00

** This estimate does not include engineering design fees, permit application fees, surveying and construction staking, geotechnical investigation, or any possible required easements for road widening.

** Includes 20 ft wide asphalt roadway for entire access route to Talamo Property.

Cost Estimate B
Alternative Solution to Problem Areas
Preliminary Engineer's Estimate of Probable Costs
For roadway improvements for house construction @ Sleepy Hollow Road
Santa Clara County, CA
12/5/2022
Construction Costs



By: RI Engineering, Inc.

Item	Item Description	Unit	Quantity	Unit Price	Item Cost
Roadway Improvements					
1	6" Aggregate Baserock and Compact	CY	200	\$ 80.00	\$ 16,000.00
Roadway Improvements Subtotal:					\$ 16,000.00
General					
14	Mobilization	LS	1	\$ 3,000.00	\$ 3,000.00
General Subtotal:					\$ 3,000.00
Total Cost Estimate:					\$ 19,000.00

** This estimate does not include engineering design fees, permit application fees, surveying and construction staking, or any possible required easements for road widening.

** Includes gravel widening at narrow roadway locations, and widening of bridge approach. Excludes 12 ft wide bridge replacement.



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SINGLE FAMILY RESIDENCE
FOR
JOSEPH TALAMO
SLEEPY VALLEY ROAD
MORGAN HILL, CA
APN 776-17-006, -007, -009

**ROAD STUDY PAGE 1
& IMPROVEMENT PLAN**

project no.
20-041-1

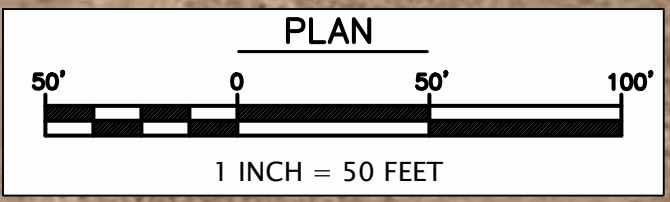
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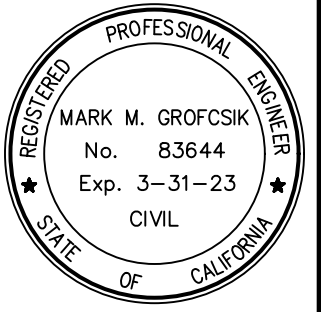
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dwg name
ROADSTUDY.DWG

STATIONING SHOW IS BASED UPON GOOGLE MAPS MEASUREMENT AND FEILD MEASUREMENTS BY RI ENGINEERING. CONTRACTOR TO VERIFY ROAD WIDTHS AND LOCATIONS OF WIDENING IN FIELD WITH DIRECTION FROM RI ENGINEERING.

STATION "0+00" BEGINNING OF ROAD SURVEY @ INTERSECTION WITH SYCAMORE DRIVE (COUNTY MAINTAINED ROADWAY). STATIONING COUNTS UPWARDS TOWARD THE TALAMO PROPERTY WITH THE LEFT AND RIGHT SIDE OF ROAD CALLED OUT IN DIRECTION OF TRAVEL TO RESIDENCE.





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**ROAD STUDY PAGE 2
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20-041-1

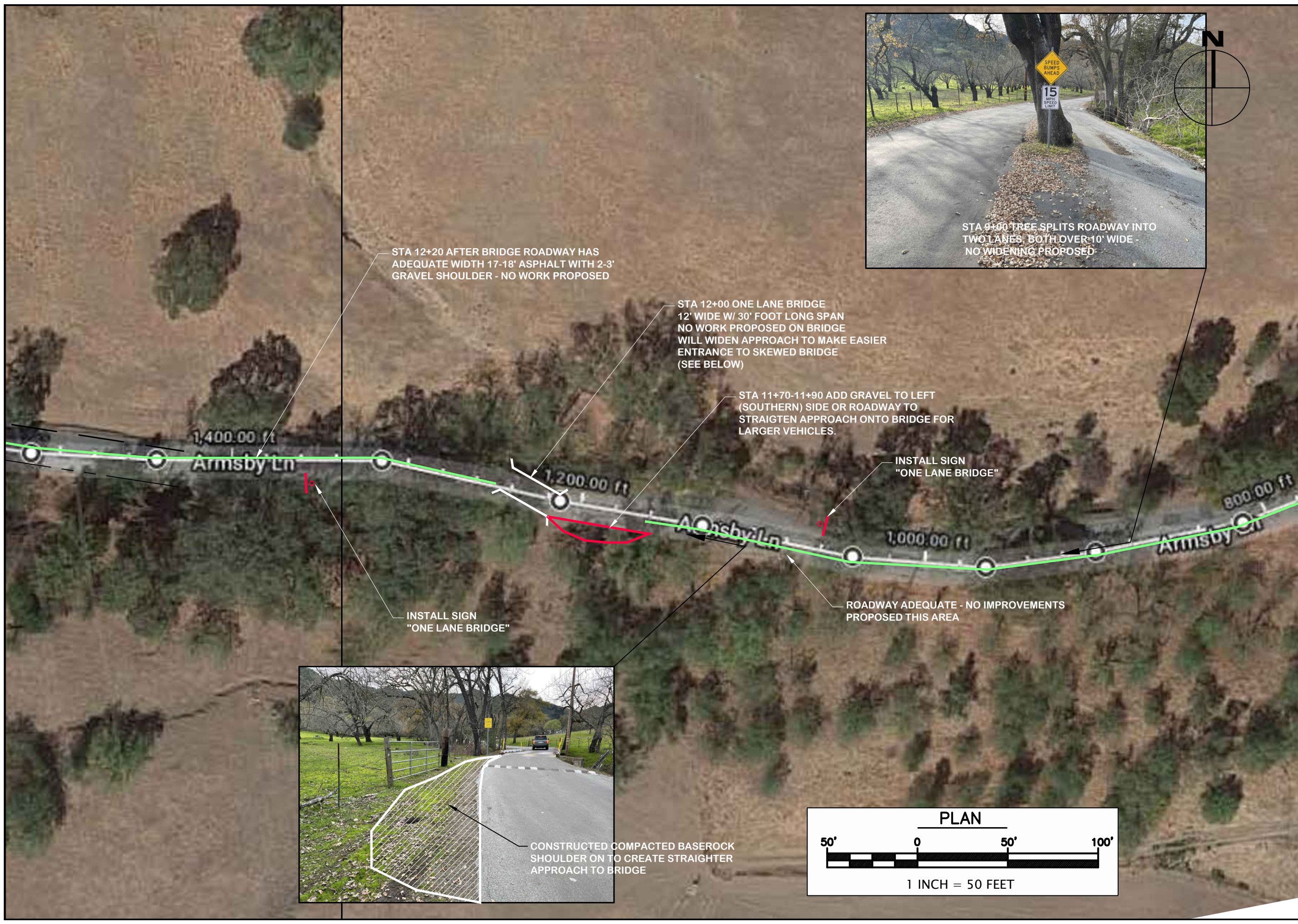
date
DEC 2022

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STA 9+00 TREE SPLITS ROADWAY INTO TWO LANES, BOTH OVER 10' WIDE - NO WIDENING PROPOSED



STA 12+20 AFTER BRIDGE ROADWAY HAS ADEQUATE WIDTH 17-18' ASPHALT WITH 2-3' GRAVEL SHOULDER - NO WORK PROPOSED

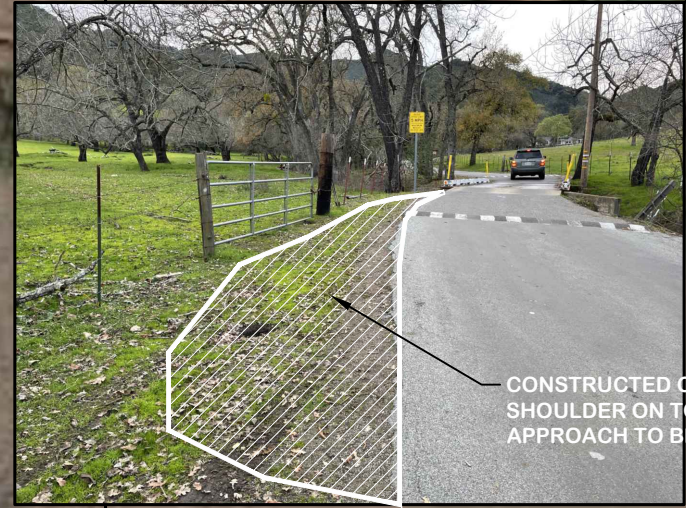
STA 12+00 ONE LANE BRIDGE 12' WIDE W/ 30' FOOT LONG SPAN NO WORK PROPOSED ON BRIDGE WILL WIDEN APPROACH TO MAKE EASIER ENTRANCE TO SKEWED BRIDGE (SEE BELOW)

STA 11+70-11+90 ADD GRAVEL TO LEFT (SOUTHERN) SIDE OR ROADWAY TO STRAIGHTEN APPROACH ONTO BRIDGE FOR LARGER VEHICLES.

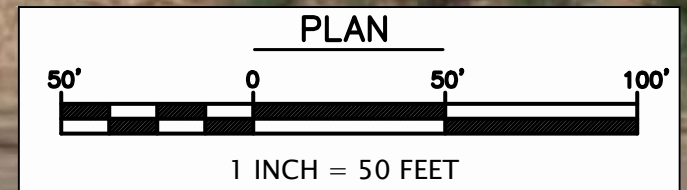
INSTALL SIGN "ONE LANE BRIDGE"

INSTALL SIGN "ONE LANE BRIDGE"

ROADWAY ADEQUATE - NO IMPROVEMENTS PROPOSED THIS AREA



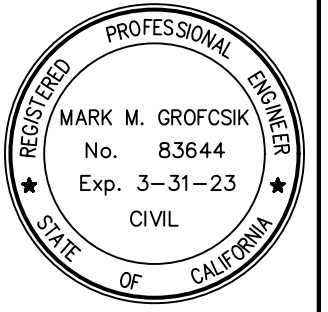
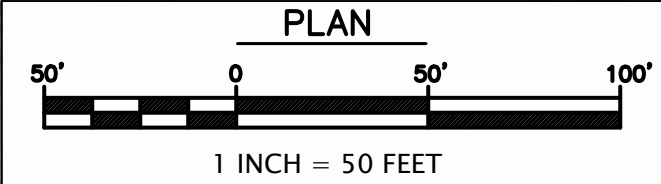
CONSTRUCTED COMPACTED BASEROCK SHOULDER ON TO CREATE STRAIGHTER APPROACH TO BRIDGE





MAX SLOPE OF ROADWAY MEASURED HERE AT APPROXIMATELY 12%. NO PRORTION OF ARMSBY LANE OVER 16%

STA 12+20 AFTER BRIDGE ROADWAY HAS ADEQUATE WIDTH 17-18' ASPHALT WITH 2-3' GRAVEL SHOULDER - NO WORK PROPOSED



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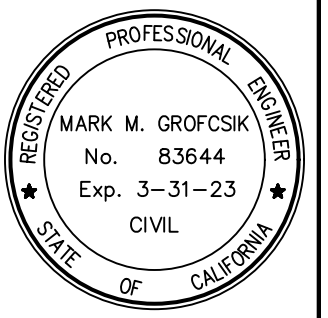
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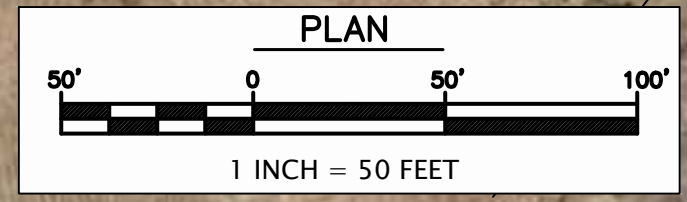
**ROAD STUDY PAGE 4
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**ROAD STUDY PAGE 5
& IMPROVEMENT PLAN**

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